

For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

## IDO Zone Atlas May 2018

IDO Zoning information as of May 17, 2018  
The Zone Districts and Overlay Zones  
are established by the  
Integrated Development Ordinance (IDO).

Zone Atlas Page:  
**C-18-Z**

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

Gray Shading  
Represents Area Outside  
of the City Limits

N

0 250 500 1,000  
Feet

March 4, 2022

Reference: Chick-fil-A #01996 Paseo Del Norte FSU  
8110 San Pedro Drive Northeast, Albuquerque, NM 87113  
IP No.: 2022.0013  
Letter of Authorization

To Whom It May Concern:

Please accept this letter as authorization for Interplan LLC, to act as agent in correspondence and representation of all approval and permitting matters required for Chick-fil-A #01196 Paseo Del Norte at the location referenced above.

If you have any questions, please contact me at 714-866-1444 or via email, Kari.teresa@cfacorp.com.

Sincerely,



Title Principal Program Lead

Subscribed and sworn to before me this see attached day of \_\_\_\_\_, 2022.

Notary Public \_\_\_\_\_

Seal

My Commission Expires:



**PRE-APPLICATION MEETING NOTES**

PA#: 22-066 Notes Provided (date): \_\_\_\_\_

Site Address and/or Location: \_\_\_\_\_

Pre-application notes are for informational purposes only and are non-binding. They do not constitute an approval of any kind. Additional research may be necessary to determine the exact type of process and/or application required. Factors unknown and/or thought of as minor at this time could become significant as a case progresses.

**Request** Drive-through modification with canopy for a Chick Fil-A restaurant

**Basic Site Information**

Current Use(s): Commercial Retail-Restaurant Size (acreage): 1.52

Zoning: NR-BP Overlay Zone(s): \_\_\_\_\_

**Comprehensive Plan Designations**

Corridor(s): Paseo Del Norte Commuter

Development Area: Consistency Near Major Public Open Space (MPOS)?: N/A

Center: N/A

**Integrated Development Ordinance (IDO)**

Please refer to the IDO for requirements regarding dimensional standards, parking, landscaping, walls, signage, etc. <https://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

Proposed Use(s): Drive-through, Accessory Structure

Use Specific Standards: 4-3(F)(4), 4-3(F)(16) Other Use Accessory to Non-residential Primary Use

Applicable Definition(s): \_\_\_\_\_

**Drive-through or Drive-up Facility**

Facilities associated with a primary use, including but not limited to banks, financial institutions, restaurants, dry cleaners, and drug stores, but not including car washes or light vehicle fueling, to offer goods and services directly to customers waiting in motor vehicles.

**Canopy**

A roof-like decorative feature projecting from the exterior of a building that may serve as a shelter from the sun, rain, or wind. A tree canopy includes the area beneath a tree’s dripline.

**Accessory Structure**

A structure detached from and located on the same lot as a primary building, customarily used with and clearly incidental and subordinate to the primary building or use. Accessory structures include but are not limited to shade structures such as covered patios, gazebos, pergolas, ramadas, or similar roofed structures.

**Parking Lot – Multiple Drive Aisles**

A parking lot that may have more than 1 drive aisle.

Sensitive Lands: *Please see IDO Section 14-16-5-2 for information about required analysis, development standards, and changes to process that may result if this Section applies.*

**Notice**

Neighborhood Meeting Offer Required? (see IDO Table 6-1-1). If yes, please refer to:

<https://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>

## Process

Decision Type(s) (see IDO Table 6-1-1): Site Plan Administrative

Specific Procedure(s)\*: 6-5(G)

*\*Please refer to specific procedures for relevant decision criteria required to be addressed.*

Decision Making Body/ies: Staff Is this a PRT requirement? No

## Handouts Provided

- |  |  |  |   |
|--|--|--|---|
| <input type="checkbox"/> Zoning Map Amendment        | <input type="checkbox"/> Site Plan Amendments      | <input type="checkbox"/> Site Plan- EPC  | <input type="checkbox"/> Site Plan- DRB |
| <input checked="" type="checkbox"/> Site Plan- Admin | <input type="checkbox"/> Variance-ZHE              | <input type="checkbox"/> Conditional Use | <input type="checkbox"/> Subdivision    |
| <input type="checkbox"/> Site History/Research       | <input checked="" type="checkbox"/> Transportation | <input type="checkbox"/> Hydrology       | <input type="checkbox"/> Fire           |

*If you have additional questions, please contact Staff at [planningprt@cabq.gov](mailto:planningprt@cabq.gov) or at (505) 924-3860. Please include the PA# with your inquiry.*

## Additional Notes:

- The proposed OMD Canopy is referred to as an “accessory structure-covered” per IDO definitions and uses. (See definitions above).
- The location is not within an overlay district
- Building setbacks in the NR-BP zone can be found on **Table 2-5-3: NR-BP Zone District Dimensional Standards Summary (pg. 45 of the IDO)**.
- Parking requirements in the NR-BP zone district for a restaurant with drive-through can be found in **Table 5-5-1: Minimum Off-street Parking Requirements (please see Parking & Loading 14-16-5-5 of the IDO)**
  - **8 spaces / 1,000 sq. ft. GFA**
  - **UC-MS-PT: 5 spaces / 1,000 sq. ft. GFA**
  - Stall requirements can be found in the Development Process Manual.
  - Please see attached transportation comments
- Please find the Site Plan Admin Procedure and link to the fee schedule, required application forms, deadlines and checklists in the attached handout.
- Is a separate submittal and or approval required by the planning and zoning department for site plan approval as opposed to submitting the site plan documents as part of a concurrent Building department submittal?
  - You will have to submit for a Site Plan- Administrative Amendment before receiving a building permit approval.
  - Are the accessory structures subject to the required setbacks?
    - The canopy/accessory structure may encroach
    - Please see Table 5-1-4: Allowed Exceptions and Encroachments for the NR-BP zone district (pg. 224 of the IDO).

## Kellan Black

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**From:** Kellan Black  
**Sent:** Thursday, October 13, 2022 3:20 PM  
**To:** peggyd333@yahoo.com; Rodenbeck, Jay B.  
**Cc:** Kris Wiest; Nuckols, Maggie  
**Subject:** CFA#1996 Paseo Del Norte - Proposed Modification - Major Site Plan Amendment requiring DRB Approval  
**Attachments:** 1260 - C2.0 - SITE PLAN.pdf; 8110 San Pedro Dr NE - 8.5x11 - Scale in Feet.pdf; Emailed-Mailed-Notice-PublicMeetingHearing-PrintFill (Peggy).pdf; IDOZoneAtlasPage\_C-18-Z (1).pdf; NeighborhoodMeetingRequest-Print&Fill (Peggy).pdf

Good afternoon,

My name is Kellan Black the Civil Engineer for Merrick & Company acting on behalf of our Client Chick-fil-A regarding the proposed modifications to the existing Chick-fil-A #1996 Paseo Del Norte located at 8110 San Pedro Dr NE, Albuquerque, NM 87113.

I have sent Certified mail to your Neighborhood Association address provided by the City of Albuquerque dated today, October 13, 2022.

Our scope of work is as follows: Expanding the single lane drive through to a dual lane drive through to better accommodate the high customer demand and improve vehicle traffic through the site. The improvements will include a dual lane Order Meal Delivery (OMD) canopy. These improvements will also include the removal of thirteen (13) parking stalls, the Site will still have a total of 35 parking stalls, exceeding the required number of parking stalls, two of which will be handicap accessible.

Please see the supporting site plan reflecting our proposed modifications and the Public Hearing Meeting notice attached.

If you have any questions or require any additional information, please contact me at 303-353-3590 or via email and I will address as best and as promptly as possible.

Thank you for your attention to this matter and your time!

**Kellan Black, PE** | Civil Engineer | Merrick & Company  
5970 Greenwood Plaza Blvd. | Greenwood Village, CO 80111  
T: 303-353-3590 | [www.merrick.com](http://www.merrick.com)

**As of 12/16/2022 Merrick & Company has not received any requests for a meeting**



*Engineering | Architecture | Design-Build | Surveying | Planning | Geospatial Solutions*

[Note: Items with an asterisk (\*) are required.]

## Public Notice of a Proposed Project in the City of Albuquerque for Decisions Requiring a Meeting or Hearing Mailed/Emailed to a Neighborhood Association

Date of Notice\*: 10/13/2022

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)\*: West La Cueva

Name of NA Representative\*: Peggy Neff

Email Address\* or Mailing Address\* of NA Representative<sup>1</sup>: peggyd333@yahoo.com

### Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address\* 8110 San Pedro Dr NE  
Location Description LT 3-A-1 Plat of Lot 3-A-1 Del Norte Plaza Cont 1.5213 AC
2. Property Owner\* \_\_\_\_\_
3. Agent/Applicant\* [if applicable] Kellan Black; Merrick & Company c/o Chick-Fil-A, Inc.
4. Application(s) Type\* per IDO [Table 6-1-1](#) [mark all that apply]
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan
  - Subdivision \_\_\_\_\_ (Minor or Major)
  - Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - Variance
  - Waiver
  - Other: Major Site Plan Amendment (DRB)

#### Summary of project/request<sup>2</sup>\*:

Chick-Fil-A, Inc. is proposing expanding the single lane drive through to a dual lane drive through to better accommodate the high customer demand and improve vehicle traffic through the site. The improvements will include a dual lane Order Meal Delivery (OMD) canopy. These improvements will also include the removal of thirteen (13) parking stalls, the Site will still have 35 parking stalls, two (2) of which will be handicap accessible.

<sup>1</sup> Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

<sup>2</sup> Attach additional information, as needed to explain the project/request.





[Note: Items with an asterisk (\*) are required.]

- 5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:
  - a. Location of proposed buildings and landscape areas.\*
  - b. Access and circulation for vehicles and pedestrians.\*
  - c. Maximum height of any proposed structures, with building elevations.\*
  - d. **For residential development\***: Maximum number of proposed dwelling units.
  - e. **For non-residential development\***:
    - Total gross floor area of proposed project.
    - Gross floor area for each proposed use.

**Additional Information [Optional]:**

From the IDO Zoning Map<sup>6</sup>:

- 1. Area of Property [typically in acres] 1.521 AC
  - 2. IDO Zone District NR-BP Non-Residential Business Park
  - 3. Overlay Zone(s) [if applicable] \_\_\_\_\_
  - 4. Center or Corridor Area [if applicable] \_\_\_\_\_
- Current Land Use(s) [vacant, if none] Existing Chick-Fil-A Drive-Through Restaurant
- 

**NOTE:** Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

**Useful Links**

**Integrated Development Ordinance (IDO):**

<https://ido.abc-zone.com/>

**IDO Interactive Map**

<https://tinyurl.com/IDOzoningmap>

Cc: West La Cueva - Erica Vasquez [Other Neighborhood Associations, if any]  
\_\_\_\_\_

<sup>6</sup> Available here: <https://tinurl.com/idozoningmap>

[Note: Items with an asterisk (\*) are required.]

## Neighborhood Meeting Request for a Proposed Project in the City of Albuquerque

Date of Request\*: 10/13/2022

This request for a Neighborhood Meeting for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)\*: West La Cueva

Name of NA Representative\*: Peggy Neff

Email Address\* or Mailing Address\* of NA Representative<sup>1</sup>: peggyd333@yahoo.com; 8305 Calle Soquelle NE, Albuquerque, NM 87113

The application is not yet submitted. If you would like to have a Neighborhood Meeting about this proposed project, please respond to this request within 15 days.<sup>2</sup>

Email address to respond yes or no: kellan.black@merrick.com

The applicant may specify a Neighborhood Meeting date that must be at least 15 days from the Date of Request above, unless you agree to an earlier date.

Meeting Date / Time / Location:  
10/26/2022 - Time & Location To Be Determined

### Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address\* 8110 San Pedro Dr NE  
Location Description LT 3-A-1 Plat of Lot 3-A-1 Del Norte Plaza Cont 1.5213 AC
2. Property Owner\* Levine Investments LP
3. Agent/Applicant\* [if applicable] \_\_\_\_\_
4. Application(s) Type\* per IDO [Table 6-1-1](#) [mark all that apply]
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan
  - Subdivision \_\_\_\_\_ (Minor or Major)

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<sup>2</sup> If no one replies to this request, the applicant may be submitted to the City to begin the review/decision process.

[Note: Items with an asterisk (\*) are required.]

- Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
- Variance
- Waiver
- Zoning Map Amendment
- Other: \_\_\_\_\_

Summary of project/request<sup>3\*</sup>:

Chick-Fil-A, Inc. is proposing expanding the single lane drive through to a dual lane drive through to better accomodate the high customer demand and improve vehicle traffic through the site. The improvements will include a dual lane Order Meal Delivery (OMD) canopy. These improvements will also include the removal of thirteen (13) parking stalls, the Site will still have 35 parking stalls, two (2) of which will be handicap accessible.

5. This type of application will be decided by\*:  City Staff

OR at a public meeting or hearing by:

- Zoning Hearing Examiner (ZHE)  Development Review Board (DRB)
- Landmarks Commission (LC)  Environmental Planning Commission (EPC)
- City Council

6. Where more information about the project can be found\*<sup>4</sup>:

Kellan Black w/ Merrick & Company can be contacted at [kellan.black@merrick.com](mailto:kellan.black@merrick.com) or at 303-353-3590

**Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

1. Zone Atlas Page(s)\*<sup>5</sup> C-18-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards will be requested for this project\*:
  - Deviation(s)       Variance(s)       Waiver(s)

Explanation:

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4. An offer of a Pre-submittal Neighborhood Meeting is required by [Table 6-1-1\\*](#):  Yes     No

<sup>3</sup> Attach additional information, as needed to explain the project/request. Note that information provided in this meeting request is conceptual and constitutes a draft intended to provide sufficient information for discussion of concerns and opportunities.

<sup>4</sup> Address (mailing or email), phone number, or website to be provided by the applicant

<sup>5</sup> Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (\*) are required.]

5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:
- a. Location of proposed buildings and landscape areas.\*
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  - c. Maximum height of any proposed structures, with building elevations.\*
  - d. **For residential development\***: Maximum number of proposed dwelling units.
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    - Total gross floor area of proposed project.
    - Gross floor area for each proposed use.

**Additional Information:**

1. From the IDO Zoning Map<sup>6</sup>:
- a. Area of Property [typically in acres] 1.521 AC
  - b. IDO Zone District NR-BP Non-Residential Business Park
  - c. Overlay Zone(s) [if applicable] \_\_\_\_\_
  - d. Center or Corridor Area [if applicable] \_\_\_\_\_
2. Current Land Use(s) [vacant, if none] Existing Chick-Fil-A Drive-Through Restaurant
- \_\_\_\_\_

**Useful Links**

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**IDO Interactive Map**

<https://tinyurl.com/IDOzoningmap>

Cc: West La Cueva NA - Erica Vasquez [Other Neighborhood Associations, if any]

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

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## Kellan Black

---

**From:** Kellan Black  
**Sent:** Thursday, October 13, 2022 3:17 PM  
**To:** ericamvas@gmail.com; Rodenbeck, Jay B.  
**Cc:** Kris Wiest; Nuckols, Maggie  
**Subject:** CFA#1996 Paseo Del Norte - Proposed Modification - Major Site Plan Amendment requiring DRB Approval  
**Attachments:** 1260 - C2.0 - SITE PLAN.pdf; 8110 San Pedro Dr NE - 8.5x11 - Scale in Feet.pdf; Emailed-Mailed-Notice-PublicMeetingHearing-PrintFill (Erica).pdf; IDOZoneAtlasPage\_C-18-Z (1).pdf; NeighborhoodMeetingRequest-Print&Fill (Erica).pdf

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Please see the supporting site plan reflecting our proposed modifications and the Public Hearing Meeting notice attached.

If you have any questions or require any additional information, please contact me at 303-353-3590 or via email and I will address as best and as promptly as possible.

Thank you for your attention to this matter and your time!

**Kellan Black, PE** | Civil Engineer | Merrick & Company  
5970 Greenwood Plaza Blvd. | Greenwood Village, CO 80111  
T: 303-353-3590 | [www.merrick.com](http://www.merrick.com)



**As of 12/16/2022 Merrick & Company has not received any requests for a meeting**

*Engineering | Architecture | Design-Build | Surveying | Planning | Geospatial Solutions*

[Note: Items with an asterisk (\*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque  
for Decisions Requiring a Meeting or Hearing  
Mailed/Emailed to a Neighborhood Association**

Date of Notice\*: 10/13/2022

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)\*: West La Cueva

Name of NA Representative\*: Erica Vasquez

Email Address\* or Mailing Address\* of NA Representative<sup>1</sup>: ericamvas@gmail.com

**Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)**

1. Subject Property Address\* 8110 San Pedro Dr NE  
Location Description LT 3-A-1 Plat of Lot 3-A-1 Del Norte Plaza Cont 1.5213 AC
2. Property Owner\* Levine Investments LP
3. Agent/Applicant\* [if applicable] Kellan Black; Merrick & Company c/o Chick-Fil-A, Inc.
4. Application(s) Type\* per IDO [Table 6-1-1](#) [mark all that apply]
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan
  - Subdivision \_\_\_\_\_ (Minor or Major)
  - Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - Variance
  - Waiver
  - Other: Major Site Plan Amendment (DRB)

Summary of project/request<sup>2\*</sup>:

Chick-Fil-A, Inc. is proposing expanding the single lane drive through to a dual lane drive through to better accommodate the high customer demand and improve vehicle traffic through the site. The improvements will include a dual lane Order Meal Delivery (OMD) canopy. These improvements will also include the removal of thirteen (13) parking stalls, the Site will still have 35 parking stalls, two (2) of which will be handicap accessible.

<sup>1</sup> Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

<sup>2</sup> Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (\*) are required.]

5. This application will be decided at a public meeting or hearing by\*:

- Zoning Hearing Examiner (ZHE)                       Development Review Board (DRB)
- Landmarks Commission (LC)                       Environmental Planning Commission (EPC)

Date/Time\*: 10/28/2022

Location\*<sup>3</sup>: Join Zoom Meeting: <https://cabq.zoom.us/j/81711919604>  
Meeting ID: 817 1191 9604; By Phone:+1 346 248 7799; or Find your local number: <https://cabq.zoom.us/u/kegTsk3nfp>

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found\*<sup>4</sup>:

Kellan Black w/ Merrick & Company can be contacted at [kellan.black@merrick.com](mailto:kellan.black@merrick.com) or at 303-353-3590

**Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

1. Zone Atlas Page(s)\*<sup>5</sup> C-18-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project\*:

- Deviation(s)                       Variance(s)                       Waiver(s)

Explanation\*:  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#):  Yes     No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:  
A Pre-submittal Neighborhood Meeting is not specifically required, but it is required to be offered to the Neighborhood Associations. Please see the attached form.  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

<sup>3</sup> Physical address or Zoom link

<sup>4</sup> Address (mailing or email), phone number, or website to be provided by the applicant

<sup>5</sup> Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (\*) are required.]

- 5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:
  - a. Location of proposed buildings and landscape areas.\*
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    - Gross floor area for each proposed use.

**Additional Information [Optional]:**

From the IDO Zoning Map<sup>6</sup>:

- 1. Area of Property [typically in acres] 1.521 AC
  - 2. IDO Zone District NR-BP Non-Residential Business Park
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- Current Land Use(s) [vacant, if none] Existing Chick-Fil-A Drive-Through Restaurant
- 

**NOTE:** Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

**Useful Links**

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Cc: West La Cueva NA - Peggy Neff [Other Neighborhood Associations, if any]  
\_\_\_\_\_

<sup>6</sup> Available here: <https://tinurl.com/idozoningmap>



[Note: Items with an asterisk (\*) are required.]

## Neighborhood Meeting Request for a Proposed Project in the City of Albuquerque

Date of Request\*: 10/13/2022

This request for a Neighborhood Meeting for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)\*: West La Cueva

Name of NA Representative\*: Erica Vasquez

Email Address\* or Mailing Address\* of NA Representative<sup>1</sup>: ericamvas@gmail.com; 8511 Rancho Del Oro Place NE, Albuquerque, NM 87113

The application is not yet submitted. If you would like to have a Neighborhood Meeting about this proposed project, please respond to this request within 15 days.<sup>2</sup>

Email address to respond yes or no: kellan.black@merrick.com

The applicant may specify a Neighborhood Meeting date that must be at least 15 days from the Date of Request above, unless you agree to an earlier date.

Meeting Date / Time / Location:  
10/26/2022 - Time & Location To Be Determined

### Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address\* 8110 San Pedro Dr NE  
Location Description LT 3-A-1 Plat of Lot 3-A-1 Del Norte Plaza Cont 1.5213 AC
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3. Agent/Applicant\* [if applicable] \_\_\_\_\_
4. Application(s) Type\* per IDO [Table 6-1-1](#) [mark all that apply]
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan
  - Subdivision \_\_\_\_\_ (Minor or Major)

<sup>1</sup> Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

<sup>2</sup> If no one replies to this request, the applicant may be submitted to the City to begin the review/decision process.

[Note: Items with an asterisk (\*) are required.]

- Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
- Variance
- Waiver
- Zoning Map Amendment
- Other: \_\_\_\_\_

Summary of project/request<sup>3\*</sup>:

Chick-Fil-A, Inc. is proposing expanding the single lane drive through to a dual lane drive through to better accomodate the high customer demand and improve vehicle traffic through the site. The improvements will include a dual lane Order Meal Delivery (OMD) canopy. These improvements will also include the removal of thirteen (13) parking stalls, the Site will still have 35 parking stalls, two (2) of which will be handicap accessible.

5. This type of application will be decided by<sup>\*</sup>:  City Staff

OR at a public meeting or hearing by:

- Zoning Hearing Examiner (ZHE)  Development Review Board (DRB)
- Landmarks Commission (LC)  Environmental Planning Commission (EPC)
- City Council

6. Where more information about the project can be found<sup>4\*</sup>:

Kellan Black w/ Merrick & Company can be contacted at kellan.black@merrick.com or at 303-353-3590

**Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

1. Zone Atlas Page(s)<sup>5\*</sup> C-18-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant<sup>\*</sup>: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards will be requested for this project<sup>\*</sup>:
  - Deviation(s)       Variance(s)       Waiver(s)

Explanation:

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4. An offer of a Pre-submittal Neighborhood Meeting is required by [Table 6-1-1\\*](#):  Yes     No

<sup>3</sup> Attach additional information, as needed to explain the project/request. Note that information provided in this meeting request is conceptual and constitutes a draft intended to provide sufficient information for discussion of concerns and opportunities.

<sup>4</sup> Address (mailing or email), phone number, or website to be provided by the applicant

<sup>5</sup> Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (\*) are required.]

5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:
- a. Location of proposed buildings and landscape areas.\*
  - b. Access and circulation for vehicles and pedestrians.\*
  - c. Maximum height of any proposed structures, with building elevations.\*
  - d. **For residential development\***: Maximum number of proposed dwelling units.
  - e. **For non-residential development\***:
    - Total gross floor area of proposed project.
    - Gross floor area for each proposed use.

**Additional Information:**

1. From the IDO Zoning Map<sup>6</sup>:
- a. Area of Property [typically in acres] 1.521 AC
  - b. IDO Zone District NR-BP Non-Residential Business Park
  - c. Overlay Zone(s) [if applicable] \_\_\_\_\_
  - d. Center or Corridor Area [if applicable] \_\_\_\_\_
2. Current Land Use(s) [vacant, if none] Existing Chick-Fil-A Drive-Through Restaurant
- \_\_\_\_\_

**Useful Links**

**Integrated Development Ordinance (IDO):**

<https://ido.abc-zone.com/>

**IDO Interactive Map**

<https://tinyurl.com/IDOzoningmap>

Cc: West La Cueva NA - Peggy Neff [Other Neighborhood Associations, if any]

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

<sup>6</sup> Available here: <https://tinurl.com/idozoningmap>

# SIGN POSTING AGREEMENT

## REQUIREMENTS

### POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from 10/13/2022 To 10/28/2022

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

\_\_\_\_\_  
(Applicant or Agent)

\_\_\_\_\_  
(Date)

I issued \_\_\_\_\_ signs for this application, \_\_\_\_\_, \_\_\_\_\_  
(Date) (Staff Member)

**PROJECT NUMBER:** \_\_\_\_\_



Certificate of Mailing — Firm

Name and Address of Sender

Teresa Robinson  
Merrick & Company  
5970 Greenwood Plaza Blvd.  
Greenwood Village, CO 80111

TOTAL NO.  
of Pieces Listed by Sender

16

TOTAL NO.  
of Pieces Received at Post Office™

16

Affix Stamp Here

Postmark with Date of Receipt.



Postmaster, per (name of receiving employee)

USPS® Tracking Number  
Firm-specific Identifier

1.

CENTURY BANK  
498 N. GUADALUPE ST.  
SANTA FE, NM 87501-1870



1023

U.S. POSTAGE PAID  
FCM LETTER  
GREENWOOD VILLAGE, CO  
80112  
OCT 13 22  
AMOUNT  
**\$1.75**  
R2305K135290-12

2.

PASEO NUEVO LTD CO  
8220 SAN PEDRO DR. NE, SUITE 500  
ALBUQUERQUE, NM 87113-2476



1023

U.S. POSTAGE PAID  
FCM LETTER  
GREENWOOD VILLAGE, CO  
80112  
OCT 13 22  
AMOUNT  
**\$1.75**  
R2305K135290-12

3.

SPIRIT MASTER FUNDING VIII LLC  
PO BOX 4900, DEPT. 420  
SCOTTSDALE, AZ 85261-4900



1023

U.S. POSTAGE PAID  
FCM LETTER  
GREENWOOD VILLAGE, CO  
80112  
OCT 13 22  
AMOUNT  
**\$1.75**  
R2305K135290-12

4.

CRP-GREP OVERTURE  
ALBUQUERQUE OWNER LLC  
SKARSGARD GORDON L & PATIENCE PYE  
750 BERING DR. SUITE 200  
HOUSTON, TX 77057-2132

5.

JOBBOY LLC  
16286 WAYFARER LN.  
HUNTINGTON BEACH, CA 92649  
GC GONZALES LLC



1023

U.S. POSTAGE PAID  
FCM LETTER  
GREENWOOD VILLAGE, CO  
80112  
OCT 13 22  
AMOUNT  
**\$1.75**  
R2305K135290-12

6.

8100 WYOMING BLVD. NE  
SUITE M4 #288  
ALBUQUERQUE, NM 87113-1946

OVER

## Instructions for Certificate of Mailing — Firm

This service provides evidence that the mailer has presented individual items to the Postal Service™ for mailing, and is available for the following products:

- Domestic services: First-Class Mail®, First-Class Package Service®, Priority Mail®, Media Mail®, Library Mail, Bound Printed Matter, Merchandise Return Service, Parcel Return Service, and USPS Retail Ground™.
- International services: First-Class Mail International® (unregistered items), First-Class Package International Service® (unregistered items), Free Matter for the Blind, and Airmail M-bags®.

The following instructions are for the preparation and use of PS Form 3665, *Certificate of Mailing – Firm* (including USPS-approved facsimiles):

1. Complete and print all forms in ink or ball point pen.
2. Enter the name and address of the sender at the top of the form.
3. Enter a complete return address on each article.
4. Ensure the articles are properly packaged.
5. In the appropriate column, enter the applicable postage and fees.
6. Insert a firm-specific identifier or account number if desired. (This number is for the sender's use only, and the Postal Service will not use it for identification.)
7. When describing and listing three or more individual pieces but not presenting the pieces in the order shown on the sheet, consecutively number each entry line on the sheet and number each piece to show both the corresponding sheet and line number.
8. Enter the total number of articles in the proper space at the top of the form.
9. Obliterate all unused portions of the "Address" column by drawing a diagonal line through the unused portion on the form.
10. When the number of articles presented exceeds the allotted space on the form, use multiple sheets, and in the provided blank spaces in the lower left of the form, number them consecutively to show sheet number and total number of sheets (such as "Page 1 of 4," "Page 2 of 4," etc.).

11. Present PS Form 3665 and the mailing as follows:

- When the mailing has fewer than 50 mailpieces and less than 50 pounds, present the form and mailing at a retail Post Office™ location.
- When the mailing has at least 50 mailpieces or at least 50 pounds, present the form and mailing at a business mail entry unit (BMEU) or USPS-authorized detached mail unit (DMU).

**Privately Printed Forms:** The Postal Service allows mailers to use USPS-approved privately printed or computer-generated firm sheets that are nearly identical in design elements and color to the USPS-provided PS Form 3665. See DMM 503 for details on the approval process.

The mailer must retain the original written approval granted by the Postal Service as evidence that the privately printed facsimile of PS Form 3665 has been approved by the Postal Service. The Postal Service does not retain records on the facsimile approvals. A mailer using privately prepared forms must periodically verify them against the USPS-provided version and, if necessary, make routine updates and obtain approval of the updated facsimile form.

A mailer using an approved privately printed form and wanting the form sheets postmarked by the Postal Service must present the forms with the articles to be mailed at a Post Office facility. The forms become the mailer's only receipt (the Postal service does not retain a copy).

U.S. POSTAGE PAID  
FORM LETTER  
GREENWOOD VILLAGE, CO  
90112  
OCT 13 22  
AMOUNT  
**\$1.75**  
R2305K135290-12

1023



*GAC Guarantees*

**\$1.75**

R2305K135290-12

1023



U.S. POSTAGE PAID  
FORM LETTER  
GREENWOOD VILLAGE, CO  
90112  
OCT 13 22  
AMOUNT

*Jobby*



# Certificate of Mailing — Firm

Name and Address of Sender

Teresa Robinson  
Merrick & Company  
5970 Greenwood Plaza Blvd.  
Greenwood Village, CO 80111

TOTAL NO.  
of Pieces Listed by Sender

16

TOTAL NO.  
of Pieces Received at Post Office™

19

Affix Stamp Here  
Postmark with Date of Receipt.



Postmaster, per (name of receiving employee)

USPS® Tracking Number  
Firm-specific Identifier

Address  
(Name, Street, City, State, and ZIP Code™)

- CENTURY BANK  
ATTN: ACCOUNTING DEPT.  
PO BOX 1507  
SANTA FE, NM 87504
- BETHSAIDA HOLDINGS LLC  
6401 HOLLY AVE NE  
ALBUQUERQUE, NM 87113-2474
- HOPE CHRISTIAN SCHOOLS, INC.  
8005 LOUISIANA BLVD. NE  
ALBUQUERQUE, NM 87109
- L CHAIM HOLDINGS LP  
8091 RUN OF THE KNOLLS  
SAN DIEGO, CA 92127-2529
- CFT NEW MEXICO DEVELOPMENTS LLC  
1683 WALNUT GROVE AVE.  
ROSEMEAD, CA 91770
- LEVINE INVESTMENTS LP  
2801 E. CAMELBACK RD., SUITE 450  
PHOENIX, AZ 85016-4363

U.S. POSTAGE PAID  
FCM LETTER  
GREENWOOD VILLAGE, CO  
80112  
OCT 13 22  
AMOUNT

**\$1.75**

R2305K135290-12



1023

U.S. POSTAGE PAID  
FCM LETTER  
GREENWOOD VILLAGE, CO  
80112  
OCT 13 22  
AMOUNT

**\$1.75**

R2305K135290-12



1023

U.S. POSTAGE PAID  
FCM LETTER  
GREENWOOD VILLAGE, CO  
80112  
OCT 13 22  
AMOUNT

**\$1.75**

R2305K135290-12



1023

U.S. POSTAGE PAID  
FCM LETTER  
GREENWOOD VILLAGE, CO  
80112  
OCT 13 22  
AMOUNT

**\$1.75**

R2305K135290-12



1023

OVER →

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R2305K135290-12

**\$1.75**

OCT 13 22  
AMOUNT

U.S. POSTAGE PAID  
FORM LETTER  
GREENWOOD VILLAGE, CO

1023



Levine

R2305K135290-12

**\$1.75**

OCT 13 22  
AMOUNT

U.S. POSTAGE PAID  
FORM LETTER  
GREENWOOD VILLAGE, CO

1023



OFF





Certificate of Mailing — Firm

Name and Address of Sender

Teresa Robinson  
Merrick & Company  
5970 Greenwood Plaza Blvd.  
Greenwood Village, CO 80111

TOTAL NO.  
of Pieces Listed by Sender

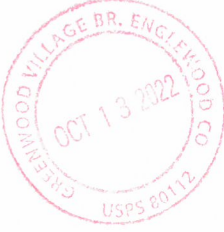
16

TOTAL NO.  
of Pieces Received at Post Office™

19

Affix Stamp Here

Postmark with Date of Receipt.



Postmaster, per (name of receiving employee)

USPS® Tracking Number  
Firm-specific Identifier

1.

CH RETAIL FUND II/ALBUQUERQUE HOLLY  
SHOPS LLC  
ASSET MGR: HOLLY SHOPS  
3819 MAPLE AVE.  
DALLAS, TX 75219-3913

2.

PRESBYTERIAN HEALTHCARE SERVICES  
PO BOX 26666

3.

ALBUQUERQUE, NM 87103-6666  
Peggy Neff  
West La Cueva NA  
8305 Calle Soquelle NE  
Albuquerque, NM 87113  
Erica Vasquez

4.

West La Cueva NA  
8511 Rancho Del Oro Place NE  
Albuquerque, NM 87113

5.

6.



1023

U.S. POSTAGE PAID  
FCM LETTER  
GREENWOOD VILLAGE, CO  
80112  
OCT 13 22  
AMOUNT

\$1.75

R2305K135290-12



1023

U.S. POSTAGE PAID  
FCM LETTER  
GREENWOOD VILLAGE, CO  
80112  
OCT 13 22  
AMOUNT

\$1.75

R2305K135290-12



1023

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R2305K135290-12



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80112  
OCT 13 22  
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\$1.75

R2305K135290-12

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4. Ensure the articles are properly packaged.
5. In the appropriate column, enter the applicable postage and fees.
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CENTURY BANK  
498 N. GUADALUPE ST.  
SANTA FE, NM 87501-1870

PASEO NUEVO LTD CO  
8220 SAN PEDRO DR. NE, SUITE 500  
ALBUQUERQUE, NM 87113-2476

SPIRIT MASTER FUNDING VIII LLC  
PO BOX 4900, DEPT. 420  
SCOTTSDALE, AZ 85261-4900

CRP-GREP OVERTURE  
ALBUQUERQUE OWNER LLC  
SKARSGARD GORDON L & PATIENCE PYE  
750 BERING DR. SUITE 200  
HOUSTON, TX 77057-2132

JOBBY LLC  
16286 WAYFARER LN.  
HUNTINGTON BEACH, CA 92649

GC GONZALES LLC  
8100 WYOMING BLVD. NE  
SUITE M4 #288  
ALBUQUERQUE, NM 87113-1946

CENTURY BANK  
ATTN: ACCOUNTING DEPT.  
PO BOX 1507  
SANTA FE, NM 87504

BETHSAIDA HOLDINGS LLC  
6401 HOLLY AVE NE  
ALBUQUERQUE, NM 87113-2474

HOPE CHRISTIAN SCHOOLS, INC.  
8005 LOUISIANA BLVD. NE  
ALBUQUERQUE, NM 87109

L CHAIM HOLDINGS LP  
8091 RUN OF THE KNOLLS  
SAN DIEGO, CA 92127-2529

CFT NEW MEXICO DEVELOPMENTS LLC  
1683 WALNUT GROVE AVE.  
ROSEMEAD, CA 91770

LEVINE INVESTMENTS LP  
2801 E. CAMELBACK RD., SUITE 450  
PHOENIX, AZ 85016-4363

CH RETAIL FUND II/ALBUQUERQUE HOLLY  
SHOPS LLC  
ASSET MGR: HOLLY SHOPS  
3819 MAPLE AVE.  
DALLAS, TX 75219-3913

PRESBYTERIAN HEALTHCARE SERVICES  
PO BOX 26666  
ALBUQUERQUE, NM 87103-6666

Peggy Neff  
West La Cueva NA  
8305 Calle Soquelle NE  
Albuquerque, NM 87113

Erica Vasquez  
West La Cueva NA  
8511 Rancho Del Oro Place NE  
Albuquerque, NM 87113

As of 12/16/2022 Merrick &  
Company has not received  
any requests for a meeting



GREENWOOD VILLAGE  
6855 S DAYTON ST  
GREENWOOD VILLAGE, CO 80112-9998  
(800)275-8777

10/13/2022 01:27 PM

Product	Qty	Unit Price	Price
First-Class Mail® Letter	1		\$0.84
Santa Fe, NM 87501			
Weight: 0 lb 1.30 oz			
Estimated Delivery Date			
Mon 10/17/2022			
Cert of Mailing		\$1.75	
Total			\$2.59
First-Class Mail® Letter	1		\$0.84
Albuquerque, NM 87113			
Weight: 0 lb 1.30 oz			
Estimated Delivery Date			
Mon 10/17/2022			
Cert of Mailing		\$1.75	
Total			\$2.59
First-Class Mail® Letter	1		\$0.84
Scottsdale, AZ 85261			
Weight: 0 lb 1.30 oz			
Estimated Delivery Date			
Mon 10/17/2022			
Cert of Mailing		\$1.75	
Total			\$2.59
First-Class Mail® Letter	1		\$0.84
Houston, TX 77057			
Weight: 0 lb 1.30 oz			
Estimated Delivery Date			
Mon 10/17/2022			
Cert of Mailing		\$1.75	
Total			\$2.59
First-Class Mail® Letter	1		\$0.84
Huntington Beach, CA 92649			
Weight: 0 lb 1.30 oz			
Estimated Delivery Date			
Mon 10/17/2022			
Cert of Mailing		\$1.75	
Total			\$2.59
First-Class Mail® Letter	1		\$0.84
Albuquerque, NM 87113			
Weight: 0 lb 1.30 oz			
Estimated Delivery Date			
Mon 10/17/2022			
Cert of Mailing		\$1.75	
Total			\$2.59
First-Class Mail® Letter	1		\$0.84
Santa Fe, NM 87504			
Weight: 0 lb 1.30 oz			
Estimated Delivery Date			
Mon 10/17/2022			
Cert of Mailing		\$1.75	
Total			\$2.59

First-Class Mail® Letter	1		\$0.84
Albuquerque, NM 87113			
Weight: 0 lb 1.30 oz			
Estimated Delivery Date			
Mon 10/17/2022			
Cert of Mailing		\$1.75	
Total			\$2.59
First-Class Mail® Letter	1		\$0.84
Albuquerque, NM 87109			
Weight: 0 lb 1.30 oz			
Estimated Delivery Date			
Mon 10/17/2022			
Cert of Mailing		\$1.75	
Total			\$2.59
First-Class Mail® Letter	1		\$0.84
San Diego, CA 92127			
Weight: 0 lb 1.30 oz			
Estimated Delivery Date			
Mon 10/17/2022			
Cert of Mailing		\$1.75	
Total			\$2.59
First-Class Mail® Letter	1		\$0.84
Rosemead, CA 91770			
Weight: 0 lb 1.30 oz			
Estimated Delivery Date			
Mon 10/17/2022			
Cert of Mailing		\$1.75	
Total			\$2.59
First-Class Mail® Letter	1		\$0.84
Phoenix, AZ 85016			
Weight: 0 lb 1.30 oz			
Estimated Delivery Date			
Mon 10/17/2022			
Cert of Mailing		\$1.75	
Total			\$2.59
First-Class Mail® Letter	1		\$0.84
Dallas, TX 75219			
Weight: 0 lb 1.30 oz			
Estimated Delivery Date			
Mon 10/17/2022			
Cert of Mailing		\$1.75	
Total			\$2.59
First-Class Mail® Letter	1		\$0.84
Albuquerque, NM 87103			
Weight: 0 lb 1.30 oz			
Estimated Delivery Date			
Mon 10/17/2022			
Cert of Mailing		\$1.75	
Total			\$2.59
First-Class Mail® Letter	1		\$0.84
Albuquerque, NM 87113			
Weight: 0 lb 1.80 oz			
Estimated Delivery Date			
Mon 10/17/2022			
Cert of Mailing		\$1.75	
Total			\$2.59
First-Class Mail® Letter	1		\$0.84
Albuquerque, NM 87113			
Weight: 0 lb 1.80 oz			
Estimated Delivery Date			
Mon 10/17/2022			
Cert of Mailing		\$1.75	
Total			\$2.59

-----  
Grand Total: \$41.44  
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Credit Card Remit \$41.44

Card Name: VISA  
Account #: XXXXXXXXXXXXX7839  
Approval #: 090210  
Transaction #: 165  
AID: A0000000031010 Chip  
AL: VISA CREDIT  
PIN: Verified  
-----

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or scan this code with your mobile device,



or call 1-800-410-7420

-----  
UFN: 072882-0181  
Receipt #: 840-58000029-1-4887370-2  
Clerk: 12

[Note: Items with an asterisk (\*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque  
for Decisions Requiring a Meeting or Hearing  
Mailed to a Property Owner**

Date of Notice\*: 10/13/2022

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet\*: Bethsaida Holdings LLC

Mailing Address\*: 6401 Holly Ave NE Albuquerque, NM 87113-2474

**Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)**

1. Subject Property Address\* 8110 San Pedro Dr NE  
Location Description LT 3-A-1 Plat of Lot 3-A-1 Del Norte Plaza Cont 1.5213 AC
2. Property Owner\* Levine Investments LP
3. Agent/Applicant\* *[if applicable]* Kellan Black; Merrick & Company c/o Chick-Fil-A, Inc.
4. Application(s) Type\* per IDO [Table 6-1-1](#) *[mark all that apply]*
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan
  - Subdivision \_\_\_\_\_ (Minor or Major)
  - Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - Variance
  - Waiver
  - Other: Major Site Plan Amendment (DRB)

Summary of project/request<sup>1\*</sup>:

Chick-Fil-A, Inc. is proposing expanding the single lane drive through to a dual lane drive through to better accomodate the high customer demand and improve vehicle traffic through the site. The improvements will include a dual lane Order Meal Delivery (OMD) canopy. These improvements will also include the removal of thirteen (13) parking stalls, the Site

will still have 35 parking stalls, two (2) of which will be handicap accessible.

5. This application will be decided at a public meeting or hearing by\*:
  - Zoning Hearing Examiner (ZHE)
  - Development Review Board (DRB)
  - Landmarks Commission (LC)
  - Environmental Planning Commission (EPC)

<sup>1</sup> Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (\*) are required.]

Date/Time\*: 10/28/2022

Location\*<sup>2</sup>: Join Zoom Meeting: <https://cabq.zoom.us/j/81711919604>  
Meeting ID: 817 1191 9604; By Phone:+1 346 248 7799; or Find your local number: <https://cabq.zoom.us/u/kegTsk3nfp>

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860.

- 6. Where more information about the project can be found\*<sup>3</sup>:  
Kellan Black w/ Merrick & Company can be contacted at [kellan.black@merrick.com](mailto:kellan.black@merrick.com) or at 303-353-3590

**Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

- 1. Zone Atlas Page(s)\*<sup>4</sup> C-18-Z
- 2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above
- 3. The following exceptions to IDO standards have been requested for this project\*:

Deviation(s)       Variance(s)       Waiver(s)

Explanation\*:  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

- 4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#):  Yes     No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:  
A Pre-submittal Neighborhood Meeting is not specifically required, but it is required to be offered to the Neighborhood Associations. Please see the attached form.  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

- 5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:

- a. Location of proposed buildings and landscape areas.\*
- b. Access and circulation for vehicles and pedestrians.\*
- c. Maximum height of any proposed structures, with building elevations.\*

<sup>2</sup> Physical address or Zoom link

<sup>3</sup> Address (mailing or email), phone number, or website to be provided by the applicant

<sup>4</sup> Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (\*) are required.]

- d. For residential development\*: Maximum number of proposed dwelling units.
- e. For non-residential development\*:
  - Total gross floor area of proposed project.
  - Gross floor area for each proposed use.

**Additional Information:**

From the IDO Zoning Map<sup>5</sup>:

1. Area of Property [typically in acres] 1.521 AC
  2. IDO Zone District NR-BP Non-Residential Business Park
  3. Overlay Zone(s) [if applicable] \_\_\_\_\_
  4. Center or Corridor Area [if applicable] \_\_\_\_\_
- Current Land Use(s) [vacant, if none] Existing Chick-Fil-A Drive-Through Restaurant
- 

**NOTE:** Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

**Useful Links**

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<https://ido.abc-zone.com/>

**IDO Interactive Map**

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**Public Notice of a Proposed Project in the City of Albuquerque  
for Decisions Requiring a Meeting or Hearing  
Mailed to a Property Owner**

Date of Notice\*: 10/13/2022

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet\*: Century Bank

Mailing Address\*: 498 N Guadalupe St Sante Fe, NM 87501-1870

**Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)**

1. Subject Property Address\* 8110 San Pedro Dr NE  
Location Description LT 3-A-1 Plat of Lot 3-A-1 Del Norte Plaza Cont 1.5213 AC
2. Property Owner\* Levine Investments LP
3. Agent/Applicant\* *[if applicable]* Kellan Black; Merrick & Company c/o Chick-Fil-A, Inc.
4. Application(s) Type\* per IDO [Table 6-1-1](#) *[mark all that apply]*
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan
  - Subdivision \_\_\_\_\_ (Minor or Major)
  - Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - Variance
  - Waiver
  - Other: Major Site Plan Amendment (DRB)

Summary of project/request<sup>1\*</sup>:

Chick-Fil-A, Inc. is proposing expanding the single lane drive through to a dual lane drive through to better accomodate the high customer demand and improve vehicle traffic through the site. The improvements will include a dual lane Order Meal Delivery (OMD) canopy. These improvements will also include the removal of thirteen (13) parking stalls, the Site

will still have 35 parking stalls, two (2) of which will be handicap accessible.

5. This application will be decided at a public meeting or hearing by\*:
  - Zoning Hearing Examiner (ZHE)
  - Development Review Board (DRB)
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<sup>1</sup> Attach additional information, as needed to explain the project/request.

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Date/Time\*: 10/28/2022

Location\*<sup>2</sup>: Join Zoom Meeting: <https://cabq.zoom.us/j/81711919604>  
Meeting ID: 817 1191 9604; By Phone:+1 346 248 7799; or Find your local number: <https://cabq.zoom.us/u/kegTsk3nfp>

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- 6. Where more information about the project can be found\*<sup>3</sup>:  
Kellan Black w/ Merrick & Company can be contacted at [kellan.black@merrick.com](mailto:kellan.black@merrick.com) or at 303-353-3590

**Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

- 1. Zone Atlas Page(s)\*<sup>4</sup> C-18-Z
- 2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above
- 3. The following exceptions to IDO standards have been requested for this project\*:

Deviation(s)             Variance(s)             Waiver(s)

Explanation\*:  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

- 4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#):     Yes     No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:  
A Pre-submittal Neighborhood Meeting is not specifically required, but it is required to be offered to the Neighborhood Associations. Please see the attached form.  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

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- c. Maximum height of any proposed structures, with building elevations.\*

<sup>2</sup> Physical address or Zoom link

<sup>3</sup> Address (mailing or email), phone number, or website to be provided by the applicant

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[Note: Items with an asterisk (\*) are required.]

- d. **For residential development\***: Maximum number of proposed dwelling units.
- e. **For non-residential development\***:
  - Total gross floor area of proposed project.
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**Additional Information:**

From the IDO Zoning Map<sup>5</sup>:

1. Area of Property [typically in acres] 1.521 AC
  2. IDO Zone District NR-BP Non-Residential Business Park
  3. Overlay Zone(s) [if applicable] \_\_\_\_\_
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- 

**NOTE:** Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

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**Public Notice of a Proposed Project in the City of Albuquerque  
for Decisions Requiring a Meeting or Hearing  
Mailed to a Property Owner**

Date of Notice\*: 10/13/2022

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet\*: Century Bank Attn: Accounting Department

Mailing Address\*: PO BOX 1507 Sante Fe, NM 87504

**Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)**

1. Subject Property Address\* 8110 San Pedro Dr NE  
Location Description LT 3-A-1 Plat of Lot 3-A-1 Del Norte Plaza Cont 1.5213 AC
2. Property Owner\* Levine Investments LP
3. Agent/Applicant\* *[if applicable]* Kellan Black; Merrick & Company c/o Chick-Fil-A, Inc.
4. Application(s) Type\* per IDO [Table 6-1-1](#) *[mark all that apply]*
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
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  - Waiver
  - Other: Major Site Plan Amendment (DRB)

Summary of project/request<sup>1\*</sup>:

Chick-Fil-A, Inc. is proposing expanding the single lane drive through to a dual lane drive through to better accomodate the high customer demand and improve vehicle traffic through the site. The improvements will include a dual lane Order Meal Delivery (OMD) canopy. These improvements will also include the removal of thirteen (13) parking stalls, the Site

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**Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

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- 2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above
- 3. The following exceptions to IDO standards have been requested for this project\*:

Deviation(s)             Variance(s)             Waiver(s)

Explanation\*:  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

- 4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#):     Yes     No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:  
A Pre-submittal Neighborhood Meeting is not specifically required, but it is required to be offered to the Neighborhood Associations. Please see the attached form.  
\_\_\_\_\_  
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\_\_\_\_\_

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<sup>2</sup> Physical address or Zoom link

<sup>3</sup> Address (mailing or email), phone number, or website to be provided by the applicant

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[Note: Items with an asterisk (\*) are required.]

- d. For residential development\*: Maximum number of proposed dwelling units.
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**Additional Information:**

From the IDO Zoning Map<sup>5</sup>:

1. Area of Property [typically in acres] 1.521 AC
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- 

**NOTE:** Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

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**Public Notice of a Proposed Project in the City of Albuquerque  
for Decisions Requiring a Meeting or Hearing  
Mailed to a Property Owner**

Date of Notice\*: 10/13/2022

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet\*: CFT New Mexico Developments LLC

Mailing Address\*: 1683 Walnut Grove Ave Rosemead, CA 91770

**Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)**

1. Subject Property Address\* 8110 San Pedro Dr NE  
Location Description LT 3-A-1 Plat of Lot 3-A-1 Del Norte Plaza Cont 1.5213 AC
2. Property Owner\* Levine Investments LP
3. Agent/Applicant\* *[if applicable]* Kellan Black; Merrick & Company c/o Chick-Fil-A, Inc.
4. Application(s) Type\* per IDO [Table 6-1-1](#) *[mark all that apply]*
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan
  - Subdivision \_\_\_\_\_ (Minor or Major)
  - Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - Variance
  - Waiver
  - Other: Major Site Plan Amendment (DRB)

Summary of project/request<sup>1\*</sup>:

Chick-Fil-A, Inc. is proposing expanding the single lane drive through to a dual lane drive through to better accomodate the high customer demand and improve vehicle traffic through the site. The improvements will include a dual lane Order Meal Delivery (OMD) canopy. These improvements will also include the removal of thirteen (13) parking stalls, the Site

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Date/Time\*: 10/28/2022

Location\*<sup>2</sup>: Join Zoom Meeting: <https://cabq.zoom.us/j/81711919604>  
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- 6. Where more information about the project can be found\*<sup>3</sup>:  
Kellan Black w/ Merrick & Company can be contacted at [kellan.black@merrick.com](mailto:kellan.black@merrick.com) or at 303-353-3590

**Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

- 1. Zone Atlas Page(s)\*<sup>4</sup> C-18-Z
- 2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above
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Explanation\*:  
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\_\_\_\_\_  
\_\_\_\_\_

- 4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#):     Yes     No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:  
A Pre-submittal Neighborhood Meeting is not specifically required, but it is required to be offered to the Neighborhood Associations. Please see the attached form.  
\_\_\_\_\_  
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<sup>3</sup> Address (mailing or email), phone number, or website to be provided by the applicant

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**Additional Information:**

From the IDO Zoning Map<sup>5</sup>:

1. Area of Property [typically in acres] 1.521 AC
  2. IDO Zone District NR-BP Non-Residential Business Park
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  4. Center or Corridor Area [if applicable] \_\_\_\_\_
- Current Land Use(s) [vacant, if none] Existing Chick-Fil-A Drive-Through Restaurant
- 

**NOTE:** Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

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**Public Notice of a Proposed Project in the City of Albuquerque  
for Decisions Requiring a Meeting or Hearing  
Mailed to a Property Owner**

Date of Notice\*: 10/13/2022

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet\*: CH Retail Fund II/Albuquerque Holly Shops LLC Asset Mgr: Holly Shops

Mailing Address\*: 3819 Maple Ave Dallas, TX 75219-3913

**Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)**

1. Subject Property Address\* 8110 San Pedro Dr NE  
Location Description LT 3-A-1 Plat of Lot 3-A-1 Del Norte Plaza Cont 1.5213 AC
2. Property Owner\* Levine Investments LP
3. Agent/Applicant\* *[if applicable]* Kellan Black; Merrick & Company c/o Chick-Fil-A, Inc.
4. Application(s) Type\* per IDO [Table 6-1-1](#) *[mark all that apply]*
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
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  - Subdivision \_\_\_\_\_ (Minor or Major)
  - Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - Variance
  - Waiver
  - Other: Major Site Plan Amendment (DRB)

Summary of project/request<sup>1\*</sup>:

Chick-Fil-A, Inc. is proposing expanding the single lane drive through to a dual lane drive through to better accomodate the high customer demand and improve vehicle traffic through the site. The improvements will include a dual lane Order Meal Delivery (OMD) canopy. These improvements will also include the removal of thirteen (13) parking stalls, the Site

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[Note: Items with an asterisk (\*) are required.]

Date/Time\*: 10/28/2022

Location\*<sup>2</sup>: Join Zoom Meeting: <https://cabq.zoom.us/j/81711919604>  
Meeting ID: 817 1191 9604; By Phone:+1 346 248 7799; or Find your local number: <https://cabq.zoom.us/u/kegTsk3nfp>

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**Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

- 1. Zone Atlas Page(s)\*<sup>4</sup> C-18-Z
- 2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above
- 3. The following exceptions to IDO standards have been requested for this project\*:

Deviation(s)       Variance(s)       Waiver(s)

Explanation\*:  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

- 4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#):     Yes     No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:  
A Pre-submittal Neighborhood Meeting is not specifically required, but it is required to be offered to the Neighborhood Associations. Please see the attached form.  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

- 5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:

- a. Location of proposed buildings and landscape areas.\*
- b. Access and circulation for vehicles and pedestrians.\*
- c. Maximum height of any proposed structures, with building elevations.\*

<sup>2</sup> Physical address or Zoom link

<sup>3</sup> Address (mailing or email), phone number, or website to be provided by the applicant

<sup>4</sup> Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (\*) are required.]

- d. **For residential development\***: Maximum number of proposed dwelling units.
- e. **For non-residential development\***:
  - Total gross floor area of proposed project.
  - Gross floor area for each proposed use.

**Additional Information:**

From the IDO Zoning Map<sup>5</sup>:

1. Area of Property [typically in acres] 1.521 AC
  2. IDO Zone District NR-BP Non-Residential Business Park
  3. Overlay Zone(s) [if applicable] \_\_\_\_\_
  4. Center or Corridor Area [if applicable] \_\_\_\_\_
- Current Land Use(s) [vacant, if none] Existing Chick-Fil-A Drive-Through Restaurant
- 

**NOTE:** Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

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<https://ido.abc-zone.com/>

**IDO Interactive Map**

<https://tinyurl.com/IDOzoningmap>

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[Note: Items with an asterisk (\*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque  
for Decisions Requiring a Meeting or Hearing  
Mailed to a Property Owner**

Date of Notice\*: 10/13/2022

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet\*: CRP-GREP Overture Albuquerque Owner LLC & Skarsgard Gordon L & Patience Pye

Mailing Address\*: 750 Bering Dr Suite 200 Houston, TX 77057-2132

**Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)**

1. Subject Property Address\* 8110 San Pedro Dr NE  
Location Description LT 3-A-1 Plat of Lot 3-A-1 Del Norte Plaza Cont 1.5213 AC
2. Property Owner\* Levine Investments LP
3. Agent/Applicant\* *[if applicable]* Kellan Black; Merrick & Company c/o Chick-Fil-A, Inc.
4. Application(s) Type\* per IDO [Table 6-1-1](#) *[mark all that apply]*
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan
  - Subdivision \_\_\_\_\_ (Minor or Major)
  - Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - Variance
  - Waiver
  - Other: Major Site Plan Amendment (DRB)

Summary of project/request<sup>1\*</sup>:

Chick-Fil-A, Inc. is proposing expanding the single lane drive through to a dual lane drive through to better accomodate the high customer demand and improve vehicle traffic through the site. The improvements will include a dual lane Order Meal Delivery (OMD) canopy. These improvements will also include the removal of thirteen (13) parking stalls, the Site

will still have 35 parking stalls, two (2) of which will be handicap accessible.

5. This application will be decided at a public meeting or hearing by\*:
  - Zoning Hearing Examiner (ZHE)
  - Development Review Board (DRB)
  - Landmarks Commission (LC)
  - Environmental Planning Commission (EPC)

<sup>1</sup> Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (\*) are required.]

Date/Time\*: 10/28/2022

Location\*<sup>2</sup>: Join Zoom Meeting: <https://cabq.zoom.us/j/81711919604>  
Meeting ID: 817 1191 9604; By Phone:+1 346 248 7799; or Find your local number: <https://cabq.zoom.us/u/kegTsk3nfp>

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860.

- 6. Where more information about the project can be found\*<sup>3</sup>:  
Kellan Black w/ Merrick & Company can be contacted at [kellan.black@merrick.com](mailto:kellan.black@merrick.com) or at 303-353-3590

**Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

- 1. Zone Atlas Page(s)\*<sup>4</sup> C-18-Z
- 2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above
- 3. The following exceptions to IDO standards have been requested for this project\*:

Deviation(s)       Variance(s)       Waiver(s)

Explanation\*:

---

---

---

- 4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#):     Yes     No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

A Pre-submittal Neighborhood Meeting is not specifically required, but it is required to be offered to the Neighborhood Associations. Please see the attached form.

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- 5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:

- a. Location of proposed buildings and landscape areas.\*
- b. Access and circulation for vehicles and pedestrians.\*
- c. Maximum height of any proposed structures, with building elevations.\*

<sup>2</sup> Physical address or Zoom link

<sup>3</sup> Address (mailing or email), phone number, or website to be provided by the applicant

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[Note: Items with an asterisk (\*) are required.]

- d. For residential development\*: Maximum number of proposed dwelling units.
- e. For non-residential development\*:
  - Total gross floor area of proposed project.
  - Gross floor area for each proposed use.

**Additional Information:**

From the IDO Zoning Map<sup>5</sup>:

1. Area of Property [typically in acres] 1.521 AC
  2. IDO Zone District NR-BP Non-Residential Business Park
  3. Overlay Zone(s) [if applicable] \_\_\_\_\_
  4. Center or Corridor Area [if applicable] \_\_\_\_\_
- Current Land Use(s) [vacant, if none] Existing Chick-Fil-A Drive-Through Restaurant
- 

**NOTE:** Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

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**Public Notice of a Proposed Project in the City of Albuquerque  
for Decisions Requiring a Meeting or Hearing  
Mailed to a Property Owner**

Date of Notice\*: 10/13/2022

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet\*: GC Gonzales LLC

Mailing Address\*: 8100 Wyoming Blvd NE Suite M4 #288 Albuquerque, NM 87113-1946

**Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)**

1. Subject Property Address\* 8110 San Pedro Dr NE  
Location Description LT 3-A-1 Plat of Lot 3-A-1 Del Norte Plaza Cont 1.5213 AC
2. Property Owner\* Levine Investments LP
3. Agent/Applicant\* *[if applicable]* Kellan Black; Merrick & Company c/o Chick-Fil-A, Inc.
4. Application(s) Type\* per IDO [Table 6-1-1](#) *[mark all that apply]*
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan
  - Subdivision \_\_\_\_\_ (Minor or Major)
  - Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - Variance
  - Waiver
  - Other: Major Site Plan Amendment (DRB)

Summary of project/request<sup>1\*</sup>:

Chick-Fil-A, Inc. is proposing expanding the single lane drive through to a dual lane drive through to better accomodate the high customer demand and improve vehicle traffic through the site. The improvements will include a dual lane Order Meal Delivery (OMD) canopy. These improvements will also include the removal of thirteen (13) parking stalls, the Site

will still have 35 parking stalls, two (2) of which will be handicap accessible.

5. This application will be decided at a public meeting or hearing by\*:
  - Zoning Hearing Examiner (ZHE)
  - Development Review Board (DRB)
  - Landmarks Commission (LC)
  - Environmental Planning Commission (EPC)

<sup>1</sup> Attach additional information, as needed to explain the project/request.



[Note: Items with an asterisk (\*) are required.]

Date/Time\*: 10/28/2022

Location\*<sup>2</sup>: Join Zoom Meeting: <https://cabq.zoom.us/j/81711919604>  
Meeting ID: 817 1191 9604; By Phone:+1 346 248 7799; or Find your local number: <https://cabq.zoom.us/j/81711919604>

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860.

- 6. Where more information about the project can be found\*<sup>3</sup>:  
Kellan Black w/ Merrick & Company can be contacted at [kellan.black@merrick.com](mailto:kellan.black@merrick.com) or at 303-353-3590

**Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

- 1. Zone Atlas Page(s)\*<sup>4</sup> C-18-Z
- 2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above
- 3. The following exceptions to IDO standards have been requested for this project\*:

Deviation(s)       Variance(s)       Waiver(s)

Explanation\*:  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

- 4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#):     Yes     No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:  
A Pre-submittal Neighborhood Meeting is not specifically required, but it is required to be offered to the Neighborhood Associations. Please see the attached form.  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

- 5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:

- a. Location of proposed buildings and landscape areas.\*
- b. Access and circulation for vehicles and pedestrians.\*
- c. Maximum height of any proposed structures, with building elevations.\*

<sup>2</sup> Physical address or Zoom link

<sup>3</sup> Address (mailing or email), phone number, or website to be provided by the applicant

<sup>4</sup> Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (\*) are required.]

- d. For residential development\*: Maximum number of proposed dwelling units.
- e. For non-residential development\*:
  - Total gross floor area of proposed project.
  - Gross floor area for each proposed use.

**Additional Information:**

From the IDO Zoning Map<sup>5</sup>:

1. Area of Property [typically in acres] 1.521 AC
  2. IDO Zone District NR-BP Non-Residential Business Park
  3. Overlay Zone(s) [if applicable] \_\_\_\_\_
  4. Center or Corridor Area [if applicable] \_\_\_\_\_
- Current Land Use(s) [vacant, if none] Existing Chick-Fil-A Drive-Through Restaurant
- 

**NOTE:** Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

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[Note: Items with an asterisk (\*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque  
for Decisions Requiring a Meeting or Hearing  
Mailed to a Property Owner**

Date of Notice\*: 10/13/2022

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet\*: Hope Christian Schools Inc

Mailing Address\*: 8005 Louisiana Blvd NE Albuquerque, NM 87109

**Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)**

1. Subject Property Address\* 8110 San Pedro Dr NE  
Location Description LT 3-A-1 Plat of Lot 3-A-1 Del Norte Plaza Cont 1.5213 AC
2. Property Owner\* Levine Investments LP
3. Agent/Applicant\* *[if applicable]* Kellan Black; Merrick & Company c/o Chick-Fil-A, Inc.
4. Application(s) Type\* per IDO [Table 6-1-1](#) *[mark all that apply]*
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan
  - Subdivision \_\_\_\_\_ (Minor or Major)
  - Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - Variance
  - Waiver
  - Other: Major Site Plan Amendment (DRB)

Summary of project/request<sup>1\*</sup>:

Chick-Fil-A, Inc. is proposing expanding the single lane drive through to a dual lane drive through to better accomodate the high customer demand and improve vehicle traffic through the site. The improvements will include a dual lane Order Meal Delivery (OMD) canopy. These improvements will also include the removal of thirteen (13) parking stalls, the Site

will still have 35 parking stalls, two (2) of which will be handicap accessible.

5. This application will be decided at a public meeting or hearing by\*:
  - Zoning Hearing Examiner (ZHE)
  - Development Review Board (DRB)
  - Landmarks Commission (LC)
  - Environmental Planning Commission (EPC)

<sup>1</sup> Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (\*) are required.]

Date/Time\*: 10/28/2022

Location\*<sup>2</sup>: Join Zoom Meeting: <https://cabq.zoom.us/j/81711919604>  
Meeting ID: 817 1191 9604; By Phone:+1 346 248 7799; or Find your local number: <https://cabq.zoom.us/u/kegTsk3nfp>

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To contact staff, email [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860.

- 6. Where more information about the project can be found\*<sup>3</sup>:  
Kellan Black w/ Merrick & Company can be contacted at [kellan.black@merrick.com](mailto:kellan.black@merrick.com) or at 303-353-3590

**Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

- 1. Zone Atlas Page(s)\*<sup>4</sup> C-18-Z
- 2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above
- 3. The following exceptions to IDO standards have been requested for this project\*:

Deviation(s)             Variance(s)             Waiver(s)

Explanation\*:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

- 4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#):     Yes     No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

A Pre-submittal Neighborhood Meeting is not specifically required, but it is required to be offered to the Neighborhood Associations. Please see the attached form.

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

- 5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:

- a. Location of proposed buildings and landscape areas.\*
- b. Access and circulation for vehicles and pedestrians.\*
- c. Maximum height of any proposed structures, with building elevations.\*

<sup>2</sup> Physical address or Zoom link

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[Note: Items with an asterisk (\*) are required.]

- d. **For residential development\***: Maximum number of proposed dwelling units.
- e. **For non-residential development\***:
  - Total gross floor area of proposed project.
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**Additional Information:**

From the IDO Zoning Map<sup>5</sup>:

1. Area of Property [typically in acres] 1.521 AC
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- 

**NOTE:** Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

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[Note: Items with an asterisk (\*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque  
for Decisions Requiring a Meeting or Hearing  
Mailed to a Property Owner**

Date of Notice\*: 10/13/2022

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet\*: Jobby LLC

Mailing Address\*: 16286 Wayfarer LN Huntington Beach, CA 92649

**Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)**

1. Subject Property Address\* 8110 San Pedro Dr NE  
Location Description LT 3-A-1 Plat of Lot 3-A-1 Del Norte Plaza Cont 1.5213 AC
2. Property Owner\* Levine Investments LP
3. Agent/Applicant\* *[if applicable]* Kellan Black; Merrick & Company c/o Chick-Fil-A, Inc.
4. Application(s) Type\* per IDO [Table 6-1-1](#) *[mark all that apply]*
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan
  - Subdivision \_\_\_\_\_ (Minor or Major)
  - Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - Variance
  - Waiver
  - Other: Major Site Plan Amendment (DRB)

Summary of project/request<sup>1\*</sup>:

Chick-Fil-A, Inc. is proposing expanding the single lane drive through to a dual lane drive through to better accomodate the high customer demand and improve vehicle traffic through the site. The improvements will include a dual lane Order Meal Delivery (OMD) canopy. These improvements will also include the removal of thirteen (13) parking stalls, the Site

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  - Zoning Hearing Examiner (ZHE)
  - Development Review Board (DRB)
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Date/Time\*: 10/28/2022

Location\*<sup>2</sup>: Join Zoom Meeting: <https://cabq.zoom.us/j/81711919604>  
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- 2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above
- 3. The following exceptions to IDO standards have been requested for this project\*:

Deviation(s)       Variance(s)       Waiver(s)

Explanation\*:  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

- 4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#):     Yes     No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:  
A Pre-submittal Neighborhood Meeting is not specifically required, but it is required to be offered to the Neighborhood Associations. Please see the attached form.  
\_\_\_\_\_  
\_\_\_\_\_  
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**Additional Information:**

From the IDO Zoning Map<sup>5</sup>:

- 1. Area of Property [typically in acres] 1.521 AC
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[Note: Items with an asterisk (\*) are required.]

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for Decisions Requiring a Meeting or Hearing  
Mailed to a Property Owner**

Date of Notice\*: 10/13/2022

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet\*: L Chaim Holdings LP

Mailing Address\*: 8091 Run of the Knolls San Diego, CO 92127-2529

**Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)**

1. Subject Property Address\* 8110 San Pedro Dr NE  
Location Description LT 3-A-1 Plat of Lot 3-A-1 Del Norte Plaza Cont 1.5213 AC
2. Property Owner\* Levine Investments LP
3. Agent/Applicant\* *[if applicable]* Kellan Black; Merrick & Company c/o Chick-Fil-A, Inc.
4. Application(s) Type\* per IDO [Table 6-1-1](#) *[mark all that apply]*
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan
  - Subdivision \_\_\_\_\_ (Minor or Major)
  - Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - Variance
  - Waiver
  - Other: Major Site Plan Amendment (DRB)

Summary of project/request<sup>1\*</sup>:

Chick-Fil-A, Inc. is proposing expanding the single lane drive through to a dual lane drive through to better accomodate the high customer demand and improve vehicle traffic through the site. The improvements will include a dual lane Order Meal Delivery (OMD) canopy. These improvements will also include the removal of thirteen (13) parking stalls, the Site

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5. This application will be decided at a public meeting or hearing by\*:
  - Zoning Hearing Examiner (ZHE)
  - Development Review Board (DRB)
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<sup>1</sup> Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (\*) are required.]

Date/Time\*: 10/28/2022

Location\*<sup>2</sup>: Join Zoom Meeting: <https://cabq.zoom.us/j/81711919604>  
Meeting ID: 817 1191 9604; By Phone:+1 346 248 7799; or Find your local number: <https://cabq.zoom.us/u/kegTsk3nfp>

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860.

- 6. Where more information about the project can be found\*<sup>3</sup>:  
Kellan Black w/ Merrick & Company can be contacted at [kellan.black@merrick.com](mailto:kellan.black@merrick.com) or at 303-353-3590

**Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

- 1. Zone Atlas Page(s)\*<sup>4</sup> C-18-Z
- 2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above
- 3. The following exceptions to IDO standards have been requested for this project\*:

Deviation(s)             Variance(s)             Waiver(s)

Explanation\*:  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

- 4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#):     Yes     No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:  
A Pre-submittal Neighborhood Meeting is not specifically required, but it is required to be offered to the Neighborhood Associations. Please see the attached form.  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

- 5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:

- a. Location of proposed buildings and landscape areas.\*
- b. Access and circulation for vehicles and pedestrians.\*
- c. Maximum height of any proposed structures, with building elevations.\*

<sup>2</sup> Physical address or Zoom link

<sup>3</sup> Address (mailing or email), phone number, or website to be provided by the applicant

<sup>4</sup> Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (\*) are required.]

- d. **For residential development\***: Maximum number of proposed dwelling units.
- e. **For non-residential development\***:
  - Total gross floor area of proposed project.
  - Gross floor area for each proposed use.

**Additional Information:**

From the IDO Zoning Map<sup>5</sup>:

1. Area of Property [typically in acres] 1.521 AC
  2. IDO Zone District NR-BP Non-Residential Business Park
  3. Overlay Zone(s) [if applicable] \_\_\_\_\_
  4. Center or Corridor Area [if applicable] \_\_\_\_\_
- Current Land Use(s) [vacant, if none] Existing Chick-Fil-A Drive-Through Restaurant
- 

**NOTE:** Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

**Useful Links**

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<https://ido.abc-zone.com/>

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**Public Notice of a Proposed Project in the City of Albuquerque  
for Decisions Requiring a Meeting or Hearing  
Mailed to a Property Owner**

Date of Notice\*: 10/13/2022

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet\*: Levine Investments LP

Mailing Address\*: 2801 E Camelback Rd Suite 450 Phoenix, AZ 85016-4363

**Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)**

1. Subject Property Address\* 8110 San Pedro Dr NE  
Location Description LT 3-A-1 Plat of Lot 3-A-1 Del Norte Plaza Cont 1.5213 AC
2. Property Owner\* Levine Investments LP
3. Agent/Applicant\* *[if applicable]* Kellan Black; Merrick & Company c/o Chick-Fil-A, Inc.
4. Application(s) Type\* per IDO [Table 6-1-1](#) *[mark all that apply]*
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan
  - Subdivision \_\_\_\_\_ (Minor or Major)
  - Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - Variance
  - Waiver
  - Other: Major Site Plan Amendment (DRB)

Summary of project/request<sup>1\*</sup>:

Chick-Fil-A, Inc. is proposing expanding the single lane drive through to a dual lane drive through to better accomodate the high customer demand and improve vehicle traffic through the site. The improvements will include a dual lane Order Meal Delivery (OMD) canopy. These improvements will also include the removal of thirteen (13) parking stalls, the Site

will still have 35 parking stalls, two (2) of which will be handicap accessible.

5. This application will be decided at a public meeting or hearing by\*:
  - Zoning Hearing Examiner (ZHE)
  - Development Review Board (DRB)
  - Landmarks Commission (LC)
  - Environmental Planning Commission (EPC)

<sup>1</sup> Attach additional information, as needed to explain the project/request.

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Date/Time\*: 10/28/2022

Location\*<sup>2</sup>: Join Zoom Meeting: <https://cabq.zoom.us/j/81711919604>  
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- 2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above
- 3. The following exceptions to IDO standards have been requested for this project\*:

Deviation(s)       Variance(s)       Waiver(s)

Explanation\*:  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

- 4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#):     Yes     No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:  
A Pre-submittal Neighborhood Meeting is not specifically required, but it is required to be offered to the Neighborhood Associations. Please see the attached form.  
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- 5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:

- a. Location of proposed buildings and landscape areas.\*
- b. Access and circulation for vehicles and pedestrians.\*
- c. Maximum height of any proposed structures, with building elevations.\*

<sup>2</sup> Physical address or Zoom link

<sup>3</sup> Address (mailing or email), phone number, or website to be provided by the applicant

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[Note: Items with an asterisk (\*) are required.]

- d. For residential development\*: Maximum number of proposed dwelling units.
- e. For non-residential development\*:
  - Total gross floor area of proposed project.
  - Gross floor area for each proposed use.

**Additional Information:**

From the IDO Zoning Map<sup>5</sup>:

1. Area of Property [typically in acres] 1.521 AC
  2. IDO Zone District NR-BP Non-Residential Business Park
  3. Overlay Zone(s) [if applicable] \_\_\_\_\_
  4. Center or Corridor Area [if applicable] \_\_\_\_\_
- Current Land Use(s) [vacant, if none] Existing Chick-Fil-A Drive-Through Restaurant
- 

**NOTE:** Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

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**Public Notice of a Proposed Project in the City of Albuquerque  
for Decisions Requiring a Meeting or Hearing  
Mailed to a Property Owner**

Date of Notice\*: 10/13/2022

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet\*: Paseo Nuevo LTD CO

Mailing Address\*: 8220 San Pedro Dr NE Suite 500 Albuquerque, NM 87113-2476

**Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)**

1. Subject Property Address\* 8110 San Pedro Dr NE  
Location Description LT 3-A-1 Plat of Lot 3-A-1 Del Norte Plaza Cont 1.5213 AC
2. Property Owner\* Levine Investments LP
3. Agent/Applicant\* *[if applicable]* Kellan Black; Merrick & Company c/o Chick-Fil-A, Inc.
4. Application(s) Type\* per IDO [Table 6-1-1](#) *[mark all that apply]*
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan
  - Subdivision \_\_\_\_\_ (Minor or Major)
  - Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - Variance
  - Waiver
  - Other: Major Site Plan Amendment (DRB)

Summary of project/request<sup>1\*</sup>:

Chick-Fil-A, Inc. is proposing expanding the single lane drive through to a dual lane drive through to better accomodate the high customer demand and improve vehicle traffic through the site. The improvements will include a dual lane Order Meal Delivery (OMD) canopy. These improvements will also include the removal of thirteen (13) parking stalls, the Site

will still have 35 parking stalls, two (2) of which will be handicap accessible.

5. This application will be decided at a public meeting or hearing by\*:
  - Zoning Hearing Examiner (ZHE)
  - Development Review Board (DRB)
  - Landmarks Commission (LC)
  - Environmental Planning Commission (EPC)

<sup>1</sup> Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (\*) are required.]

Date/Time\*: 10/28/2022

Location\*<sup>2</sup>: Join Zoom Meeting: <https://cabq.zoom.us/j/81711919604>  
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To contact staff, email [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860.

- 6. Where more information about the project can be found\*<sup>3</sup>:  
Kellan Black w/ Merrick & Company can be contacted at [kellan.black@merrick.com](mailto:kellan.black@merrick.com) or at 303-353-3590

**Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

- 1. Zone Atlas Page(s)\*<sup>4</sup> C-18-Z
- 2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above
- 3. The following exceptions to IDO standards have been requested for this project\*:

Deviation(s)             Variance(s)             Waiver(s)

Explanation\*:  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

- 4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#):     Yes     No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:  
A Pre-submittal Neighborhood Meeting is not specifically required, but it is required to be offered to the Neighborhood Associations. Please see the attached form.  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

- 5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:

- a. Location of proposed buildings and landscape areas.\*
- b. Access and circulation for vehicles and pedestrians.\*
- c. Maximum height of any proposed structures, with building elevations.\*

<sup>2</sup> Physical address or Zoom link

<sup>3</sup> Address (mailing or email), phone number, or website to be provided by the applicant

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- d. **For residential development\***: Maximum number of proposed dwelling units.
- e. **For non-residential development\***:
  - Total gross floor area of proposed project.
  - Gross floor area for each proposed use.

**Additional Information:**

From the IDO Zoning Map<sup>5</sup>:

1. Area of Property [typically in acres] 1.521 AC
  2. IDO Zone District NR-BP Non-Residential Business Park
  3. Overlay Zone(s) [if applicable] \_\_\_\_\_
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- Current Land Use(s) [vacant, if none] Existing Chick-Fil-A Drive-Through Restaurant
- 

**NOTE:** Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

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**Public Notice of a Proposed Project in the City of Albuquerque  
for Decisions Requiring a Meeting or Hearing  
Mailed to a Property Owner**

Date of Notice\*: 10/13/2022

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet\*: Presbyterian Healthcare Services

Mailing Address\*: PO BOX 26666 Albuquerque, NM 87103-6666

**Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)**

1. Subject Property Address\* 8110 San Pedro Dr NE  
Location Description LT 3-A-1 Plat of Lot 3-A-1 Del Norte Plaza Cont 1.5213 AC
2. Property Owner\* Levine Investments LP
3. Agent/Applicant\* *[if applicable]* Kellan Black; Merrick & Company c/o Chick-Fil-A, Inc.
4. Application(s) Type\* per IDO [Table 6-1-1](#) *[mark all that apply]*
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan
  - Subdivision \_\_\_\_\_ (Minor or Major)
  - Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - Variance
  - Waiver
  - Other: Major Site Plan Amendment (DRB)

Summary of project/request<sup>1\*</sup>:

Chick-Fil-A, Inc. is proposing expanding the single lane drive through to a dual lane drive through to better accomodate the high customer demand and improve vehicle traffic through the site. The improvements will include a dual lane Order Meal Delivery (OMD) canopy. These improvements will also include the removal of thirteen (13) parking stalls, the Site

will still have 35 parking stalls, two (2) of which will be handicap accessible.

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  - Zoning Hearing Examiner (ZHE)
  - Development Review Board (DRB)
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Location\*<sup>2</sup>: Join Zoom Meeting: <https://cabq.zoom.us/j/81711919604>  
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To contact staff, email [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860.

- 6. Where more information about the project can be found\*<sup>3</sup>:  
Kellan Black w/ Merrick & Company can be contacted at [kellan.black@merrick.com](mailto:kellan.black@merrick.com) or at 303-353-3590

**Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

- 1. Zone Atlas Page(s)\*<sup>4</sup> C-18-Z
- 2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above
- 3. The following exceptions to IDO standards have been requested for this project\*:

Deviation(s)             Variance(s)             Waiver(s)

Explanation\*:  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

- 4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#):     Yes     No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:  
A Pre-submittal Neighborhood Meeting is not specifically required, but it is required to be offered to the Neighborhood Associations. Please see the attached form.  
\_\_\_\_\_  
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<sup>2</sup> Physical address or Zoom link

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**Additional Information:**

From the IDO Zoning Map<sup>5</sup>:

1. Area of Property [typically in acres] 1.521 AC
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Date of Notice\*: 10/13/2022

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Property Owner within 100 feet\*: \_\_\_\_\_

Mailing Address\*: \_\_\_\_\_

**Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)**

1. Subject Property Address\* 8110 San Pedro Dr NE  
Location Description LT 3-A-1 Plat of Lot 3-A-1 Del Norte Plaza Cont 1.5213 AC
2. Property Owner\* Levine Investments LP
3. Agent/Applicant\* *[if applicable]* Kellan Black; Merrick & Company c/o Chick-Fil-A, Inc.
4. Application(s) Type\* per IDO [Table 6-1-1](#) *[mark all that apply]*
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
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Summary of project/request<sup>1\*</sup>:

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- 1. Zone Atlas Page(s)\*<sup>4</sup> C-18-Z
- 2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above
- 3. The following exceptions to IDO standards have been requested for this project\*:

Deviation(s)       Variance(s)       Waiver(s)

Explanation\*:  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

- 4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#):     Yes     No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:  
A Pre-submittal Neighborhood Meeting is not specifically required, but it is required to be offered to the Neighborhood Associations. Please see the attached form.  
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<sup>2</sup> Physical address or Zoom link

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for Decisions Requiring a Meeting or Hearing  
Mailed to a Property Owner**

Date of Notice\*: 10/13/2022

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet\*: Spirit Master Funding VIII LLC

Mailing Address\*: PO BOX 4900 Dept 420 Scottsdale, AZ 85261-4900

**Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)**

1. Subject Property Address\* 8110 San Pedro Dr NE  
Location Description LT 3-A-1 Plat of Lot 3-A-1 Del Norte Plaza Cont 1.5213 AC
2. Property Owner\* Levine Investments LP
3. Agent/Applicant\* *[if applicable]* Kellan Black; Merrick & Company c/o Chick-Fil-A, Inc.
4. Application(s) Type\* per IDO [Table 6-1-1](#) *[mark all that apply]*
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan
  - Subdivision \_\_\_\_\_ (Minor or Major)
  - Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - Variance
  - Waiver
  - Other: Major Site Plan Amendment (DRB)

Summary of project/request<sup>1\*</sup>:

Chick-Fil-A, Inc. is proposing expanding the single lane drive through to a dual lane drive through to better accomodate the high customer demand and improve vehicle traffic through the site. The improvements will include a dual lane Order Meal Delivery (OMD) canopy. These improvements will also include the removal of thirteen (13) parking stalls, the Site

will still have 35 parking stalls, two (2) of which will be handicap accessible.

5. This application will be decided at a public meeting or hearing by\*:
  - Zoning Hearing Examiner (ZHE)
  - Development Review Board (DRB)
  - Landmarks Commission (LC)
  - Environmental Planning Commission (EPC)

<sup>1</sup> Attach additional information, as needed to explain the project/request.



[Note: Items with an asterisk (\*) are required.]

Date/Time\*: 10/28/2022

Location\*<sup>2</sup>: Join Zoom Meeting: <https://cabq.zoom.us/j/81711919604>  
Meeting ID: 817 1191 9604; By Phone:+1 346 248 7799; or Find your local number: <https://cabq.zoom.us/u/kegTsk3nfp>

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860.

- 6. Where more information about the project can be found\*<sup>3</sup>:  
Kellan Black w/ Merrick & Company can be contacted at [kellan.black@merrick.com](mailto:kellan.black@merrick.com) or at 303-353-3590

**Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

- 1. Zone Atlas Page(s)\*<sup>4</sup> C-18-Z
- 2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above
- 3. The following exceptions to IDO standards have been requested for this project\*:

Deviation(s)       Variance(s)       Waiver(s)

Explanation\*:  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

- 4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#):     Yes     No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:  
A Pre-submittal Neighborhood Meeting is not specifically required, but it is required to be offered to the Neighborhood Associations. Please see the attached form.  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

- 5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:

- a. Location of proposed buildings and landscape areas.\*
- b. Access and circulation for vehicles and pedestrians.\*
- c. Maximum height of any proposed structures, with building elevations.\*

<sup>2</sup> Physical address or Zoom link

<sup>3</sup> Address (mailing or email), phone number, or website to be provided by the applicant

<sup>4</sup> Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (\*) are required.]

- d. **For residential development\***: Maximum number of proposed dwelling units.
- e. **For non-residential development\***:
  - Total gross floor area of proposed project.
  - Gross floor area for each proposed use.

**Additional Information:**

From the IDO Zoning Map<sup>5</sup>:

1. Area of Property [typically in acres] 1.521 AC
  2. IDO Zone District NR-BP Non-Residential Business Park
  3. Overlay Zone(s) [if applicable] \_\_\_\_\_
  4. Center or Corridor Area [if applicable] \_\_\_\_\_
- Current Land Use(s) [vacant, if none] Existing Chick-Fil-A Drive-Through Restaurant
- 

**NOTE:** Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

**Useful Links**

**Integrated Development Ordinance (IDO):**

<https://ido.abc-zone.com/>

**IDO Interactive Map**

<https://tinyurl.com/IDOzoningmap>

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<sup>5</sup> Available here: <https://tinurl.com/idozoningmap>

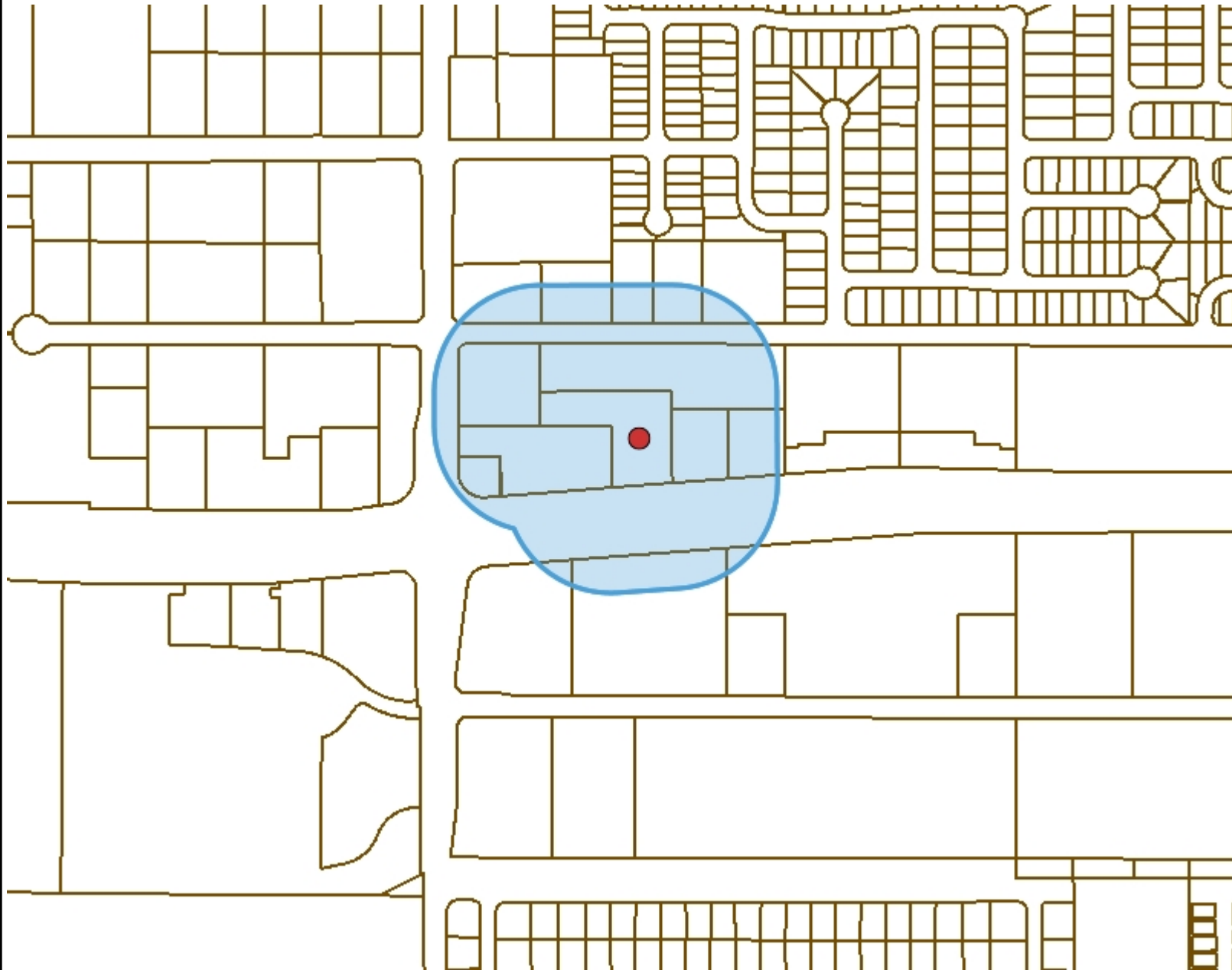


# 8110 San Pedro Dr NE



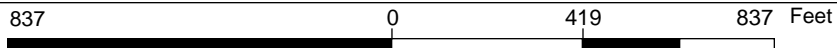
## Legend

□ Bernalillo County Parcels



## Notes

Buffer: 300 Ft.  
ROW Paseo Del Norte NE: 200 Ft.



WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere  
10/7/2022 © City of Albuquerque

1: 5,024

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**THIS MAP IS NOT TO BE USED FOR NAVIGATION**

# SITE PLAN CHECKLIST

Project #: \_\_\_\_\_ Application #: \_\_\_\_\_

This checklist will be used to verify the completeness of site plans submitted for review by the Planning Department. **Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Also there may additional requirements if a site is located in CPO, HPO, and/or VPO or if located in DT-UC-MS or PT areas. See the IDO or AGIS for boundaries.** Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

***I CERTIFY THAT THE SUBMITTED SITE PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.***

\_\_\_\_\_  
Applicant or Agent Signature / Date

Site plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. Site Plan (including utilities and easements)
2. Landscaping Plan
3. Grading and Drainage Plan
4. Utility Plan
5. Building and Structure Elevations
6. Previously approved Development Plan (if applicable)

**The electronic format must be organized in the above manner.**

The following checklist describes the minimum information necessary for each plan element. **The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A."** Each non-applicable designation must be explained by notation on the Checklist.

**NOTE: There may be addition information required if site is located with a CPO, VPO or HPO and/or any other special areas as defined by the IDO.**

**NOTE: If there requests for deviations (Section 14-16-6-4(O), they must be clearly labelled on the site plan (Sheet 1) as well as addressed in the application letter made with the submittal.**

## SHEET #1 - SITE PLAN

### A. General Information

1. Date of drawing and/or last revision
2. Scale: 1.0 acre or less 1" = 10'  
1.0 - 5.0 acres 1" = 20'  
Over 5 acres 1" = 50'  
Over 20 acres 1" = 100'

# SITE PLAN CHECKLIST

- 3. Bar scale
- 4. North arrow
- 5. Legend
- 6. Scaled vicinity map
- 7. Property lines (clearly identify)
- 8. Existing and proposed easements (identify each)
- 9. Phases of development, if applicable

## B. Proposed Development

### 1. Structural

- A. Location of existing and proposed structures (distinguish between existing & proposed) and include any accessory structures
- B. Square footage of each structure
- C. Proposed use of each structure
- D. Signs (freestanding) and other improvements
- E. Walls, fences, and screening: indicate height, length, color and materials
- F. Dimensions of all principal site elements or typical dimensions
- G. Loading facilities
- H. Site lighting (indicate height & fixture type)
- I. Indicate structures within 20 feet of site
- J. Elevation drawing of refuse container and enclosure, if applicable.
- K. Existing zoning/land use of all abutting properties

### 2. Parking, Loading and Internal Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
  - 1. Location and typical dimensions, including motorcycle spaces, bicycle spaces, ADA accessible spaces, and compact spaces
  - 2. Calculations: spaces required and proposed (include any reduction calculations) for motorcycle, bicycle, compact and ADA spaces
  - 3. On street parking spaces
- B. Bicycle parking & facilities
  - 1. Bicycle racks – location and detail
  - 2. Other bicycle facilities, if applicable
- C. Vehicular Circulation (Refer to DPM and IDO)
  - 1. Ingress and egress locations, including width and curve radii dimensions
  - 2. Drive aisle locations, including width and curve radii dimensions
  - 3. End aisle locations, including width and curve radii dimensions
  - 4. Location & orientation of refuse enclosure, with dimensions
  - 5. Loading, service area, and refuse service locations and dimensions
- D. Pedestrian Circulation
  - 1. Location and dimensions of all sidewalks and pedestrian paths (including ADA connection from ROW to building and from ADA parking to building)

## SITE PLAN CHECKLIST

- 2. Location and dimension of drive aisle crossings, including paving treatment
- 3. Location and description of amenities, including patios, benches, tables, etc.

### E. Off-Street Loading

- 1. Location and dimensions of all off-street loading areas

### F. Vehicle Stacking and Drive-Through or Drive-Up Facilities

- 1. Location and dimensions of vehicle stacking spaces and queuing lanes
- 2. Landscaped buffer area if drive-through lanes are adjacent to public R/W
- 3. Striping and Sign details for one-way drive through facilities

## 3. Streets and Circulation

### A. Locate and identify adjacent public and private streets and alleys.

- 1. Existing and proposed pavement widths, right-of-way widths and curve radii
- 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
- 3. Location of traffic signs and signals related to the functioning of the proposal
- 4. Identify existing and proposed medians and median cuts
- 5. Sidewalk widths and locations, existing and proposed
- 6. Location of street lights
- 7. Show and dimension clear sight triangle at each site access point
- 8. Show location of all existing driveways fronting and near the subject site.

### B. Identify Alternate transportation facilities within site or adjacent to site

- 1. Bikeways and bike-related facilities
- 2. Pedestrian trails and linkages
- 3. Transit facilities, including routes, bus bays and shelters existing or required

## 4. Phasing

- A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

## SHEET #2 - LANDSCAPING PLAN

- 1. Scale - must be same as scale on sheet #1 - Site plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Identify nature of ground cover materials
  - A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
  - B. Pervious areas (planting beds, gravel areas, grass, ground cover vegetation, etc.)
  - C. Ponding areas either for drainage or landscaping/recreational use

# SITE PLAN CHECKLIST

- 7. Identify type, location and size of plantings (common and/or botanical names).
  - A. Existing, indicating whether it is to be preserved or removed.
  - B. Proposed, to be established for general landscaping.
  - C. Proposed, to be established for screening/buffering.
- 8. Describe irrigation system – Phase I & II . . .
- 9. Planting Beds, indicating square footage of each bed
- 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- 11. Responsibility for Maintenance (statement)
- 12. Landscaped area requirement; square footage and percent (specify clearly on plan)
- 13. Landscaped buffer areas provided; dimensions, label clearly that it is a landscape buffer, square footage and percent (specify clearly on plan)
- 14. Planting or tree well detail
- 15. Street Trees (only trees from the Official Albuquerque Plant Palette and Sizing list or 8 inch caliper or larger will be counted)
- 16. Parking lot edges and interior – calculations, dimensions and locations including tree requirements
- 17. Show Edge Buffer Landscaping (14-16-5-6(D)) – location, dimensions and plant material

## SHEET #3 –GRADING AND DRAINAGE PLAN

A separate grading and drainage plan (and drainage report) must be submitted to the DRS Hydrology Section prior to the DRB submittal for a site plan (See DRWS Form).

### A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Building footprints
- 7. Location of Retaining walls

### B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas, erosion and sediment control facilities.
- 4. Cross Sections  
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

# SITE PLAN CHECKLIST

## SHEET #4- UTILITY PLAN

- A. Fire hydrant locations, existing and proposed. (or submit signed off Fire One Plan)
- B. Distribution lines
- C. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- D. Existing water, sewer, storm drainage facilities (public and/or private).
- E. Proposed water, sewer, storm drainage facilities (public and/or private)
- F. Existing electric lines both overhead and underground. Power Poles shown with dimensions to proposed buildings and structures must be clearly shown.

## SHEET #5 - BUILDING AND STRUCTURE ELEVATIONS

### A. General Information

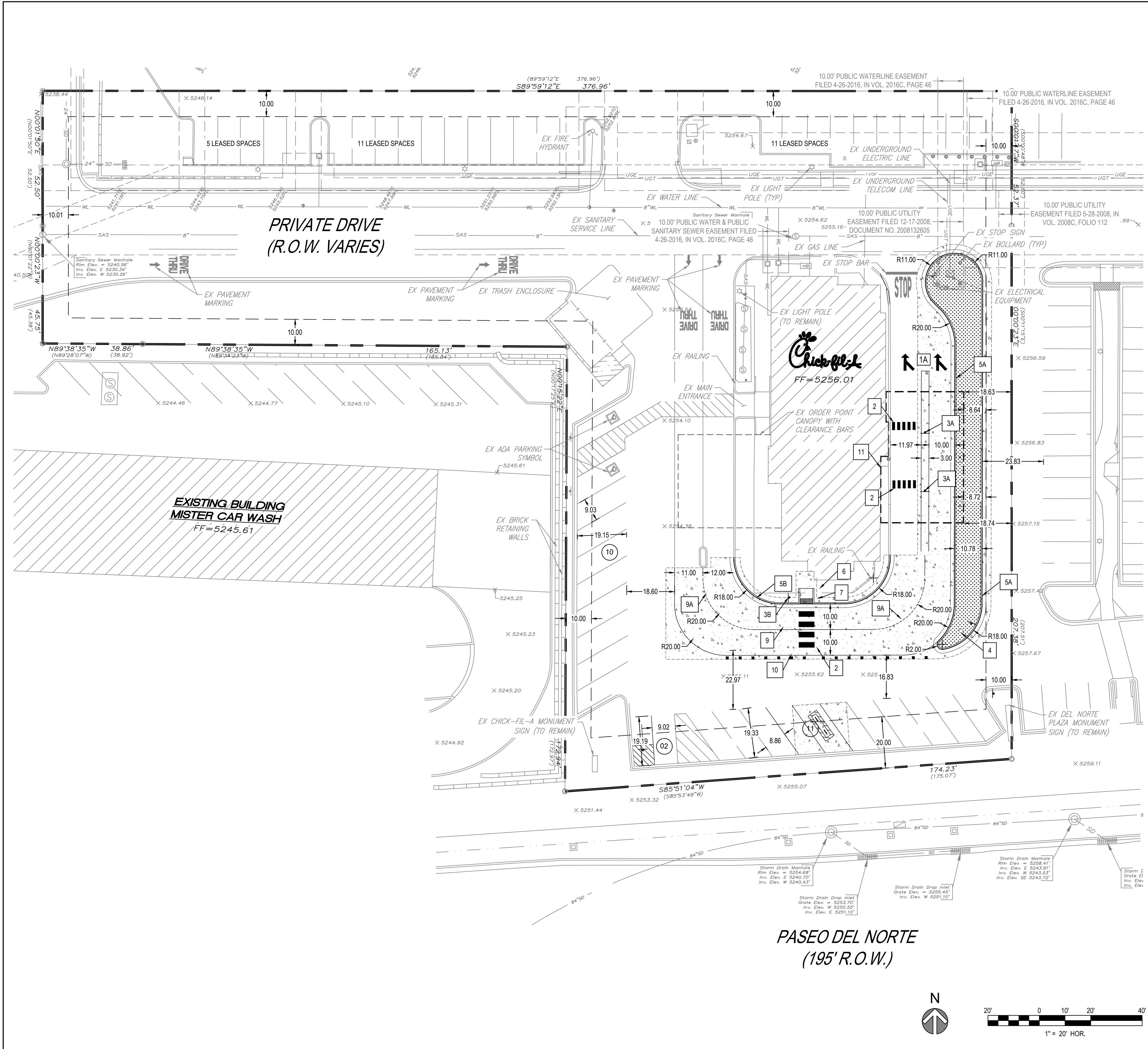
- A. Scale
- B. Bar Scale
- C. Detailed Building Elevations for each facade
  - 1. Identify facade orientation
  - 2. Dimensions of facade elements, including overall height and width
  - 3. Location, material and colors of windows, doors and framing
  - 4. Materials and colors of all building elements and structures
  - 5. Location and dimensions of mechanical equipment (roof and/or ground mounted)

### B. Building Mounted Signage N/A

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.
- 7. List the sign restrictions per the IDO



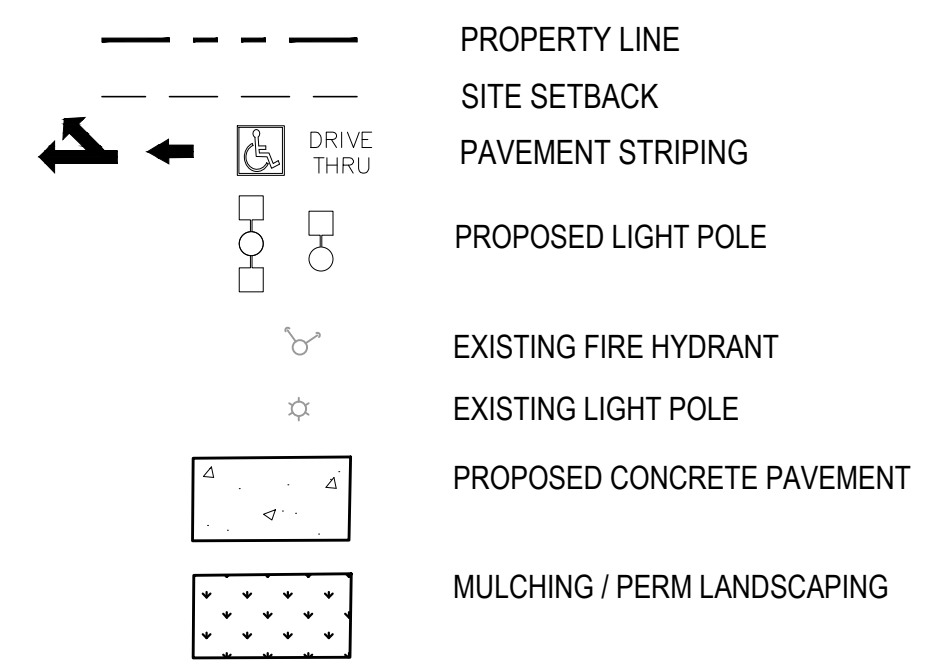
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**NOTES:**

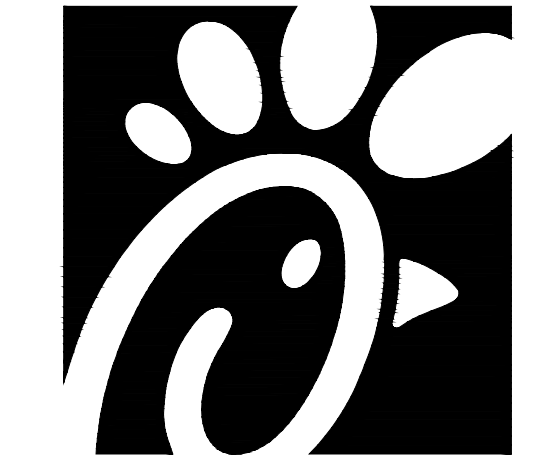
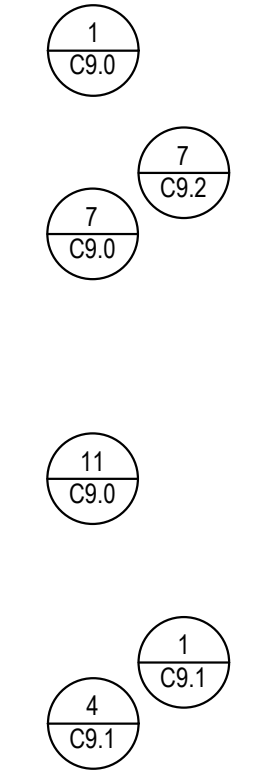
- 1) ALL DIMENSIONS ARE FROM FLOWLINE UNLESS OTHERWISE NOTED.
- 2) REFER TO ARCHITECTURE PLANS FOR CANOPY INFORMATION.
- 3) REFER TO SIGNAGE PACKAGE FOR ALL SITE AND CHICK-FIL-A SIGN DETAILS.
- 4) ALL CURBS ALONG CONCRETE DRIVE THROUGH TO BE MONOLITHICALLY POURED WITH DRIVE THROUGH.
- 5) STRIPING ON ASPHALT TO BE WHITE PAINT AND STRIPING ON CONCRETE TO BE YELLOW PAINT.

**LEGEND:**



**SITE PLAN DESIGN NOTES & KEY PLAN**

- 1 PAVEMENT MARKINGS - 1
  - 1A DIRECTIONAL ARROW
  - 1B MULTILANE DIRECTIONAL GRAPHIC - MERGE
- 2 CROSSWALK MARKINGS
- 3 DIRECTIONAL SIGNAGE
  - 3A TEAM MEMBER CROSSING SIGN
  - 3B PEDESTRIAN CROSSING
- 4 RELOCATED FLAG POLE
- 5 CONCRETE CURB & GUTTER - TYPE B
  - 5A CATCH CURB & GUTTER
  - 5B SPILL CURB & GUTTER
- 6 CURB RAMP w/ SHORT FLARED SIDES
- 7 DETECTABLE WARNING DEVICE
- 8 4" WIDE STRIPES AT 3' OFF CENTER  
YELLOW REFLECTIVE PAINT WITH ANTI-SLIP ADHESIVE
- 9 8" SOLID YELLOW STRIPE
- 9A 8" DASHED YELLOW STRIPE
- 10 PEXCO LLC. PERMANENT DELINEATORS



**Chick-fil-A**  
 5200 Buffington Road  
 Atlanta, Georgia 30349-2998



FOR AND ON BEHALF OF  
 MERRICK AND COMPANY

**CHICK-FIL-A**  
**PASEO DEL NORTE FSU**  
 8110 SAN PEDRO DR NE  
 ALBUQUERQUE, NM 87113

**FSR#1996**  
 BUILDING TYPE / SIZE: P12 LS LRG  
 RELEASE: vX.YY.MM

**REVISION SCHEDULE**

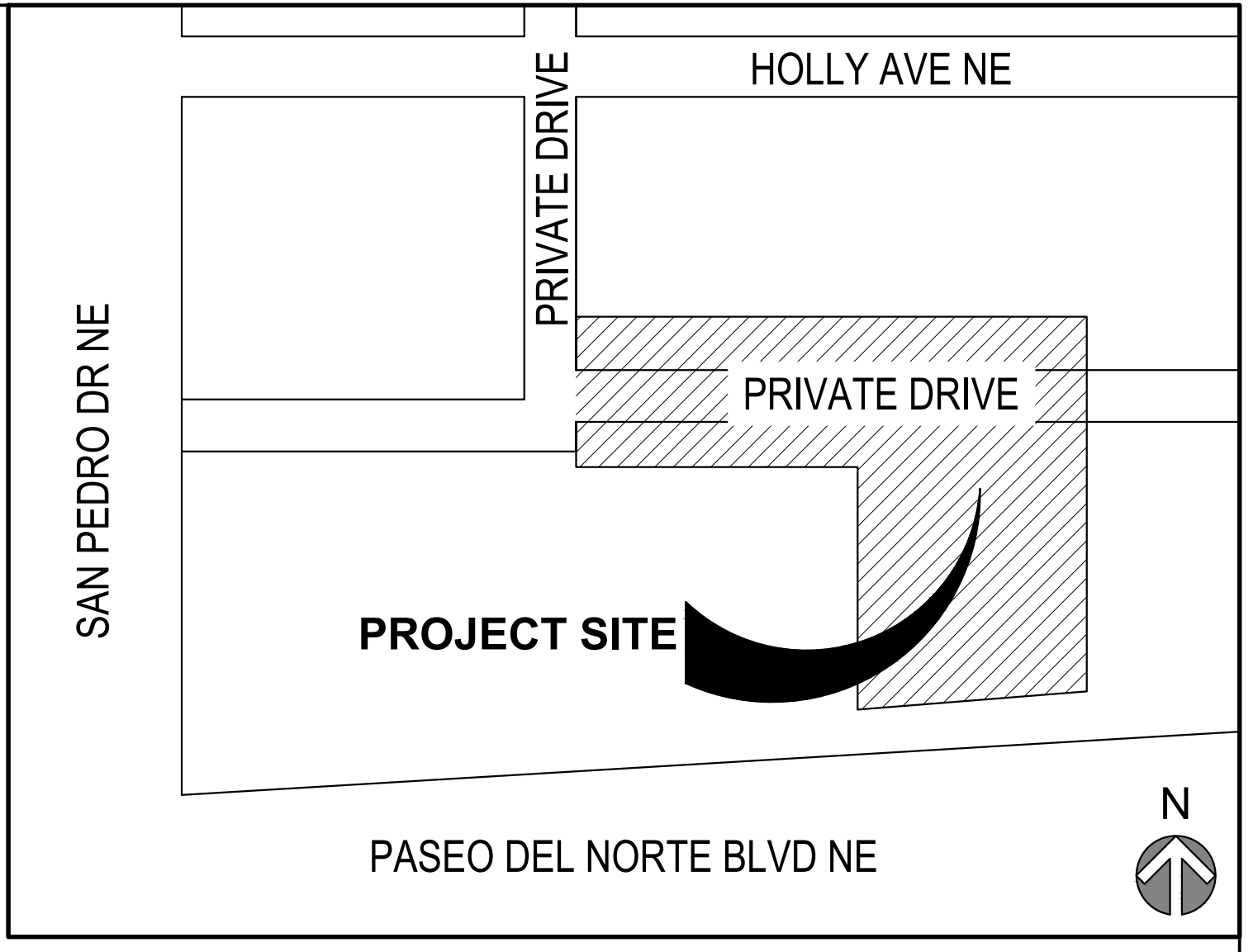
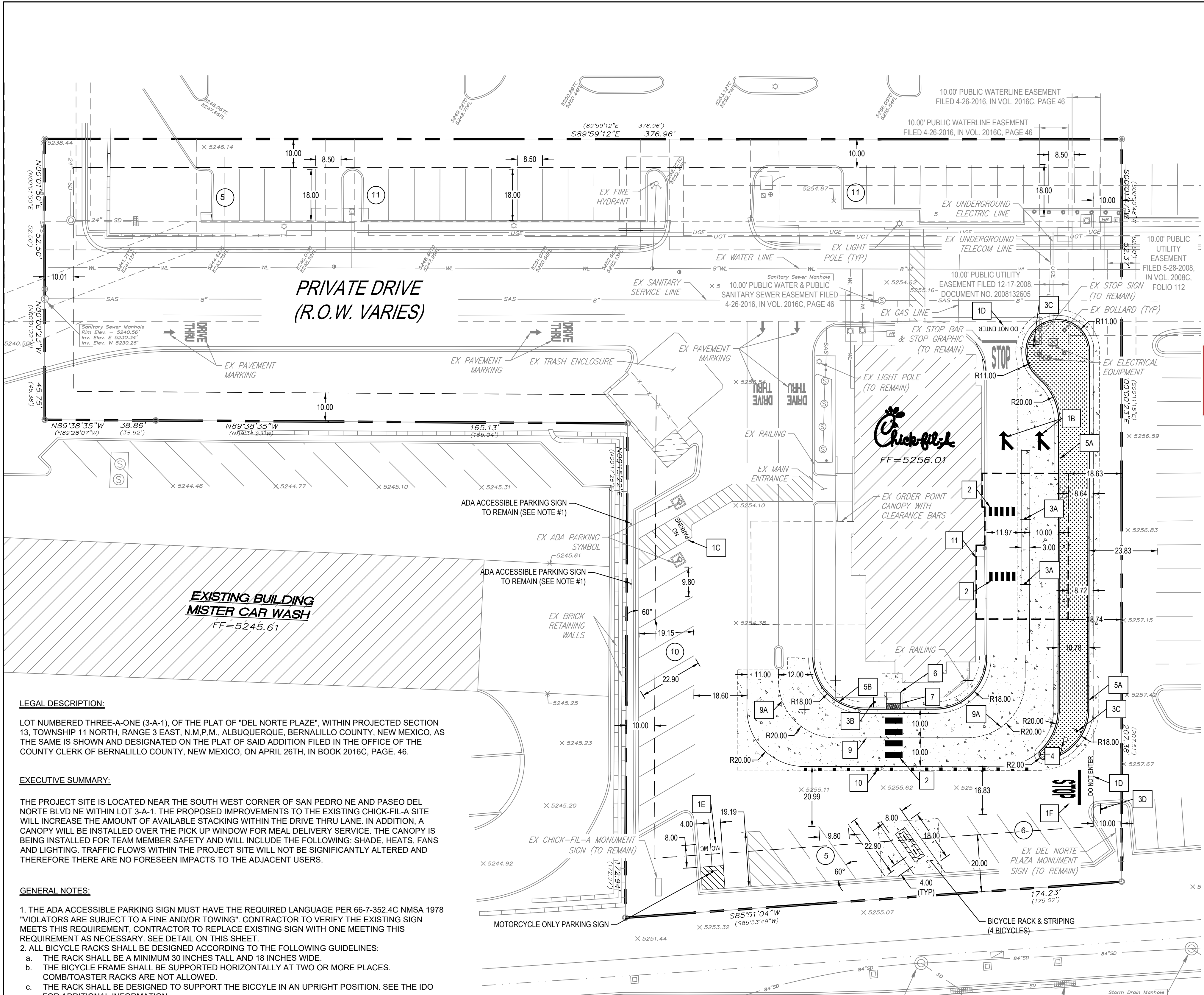
NO.	DATE	DESCRIPTION

CONSULTANT PROJECT #	65121260
PRINTED FOR	FOR REVIEW
DATE	12/16/2022
DRAWN BY	KEA
SHEET	SITE PLAN

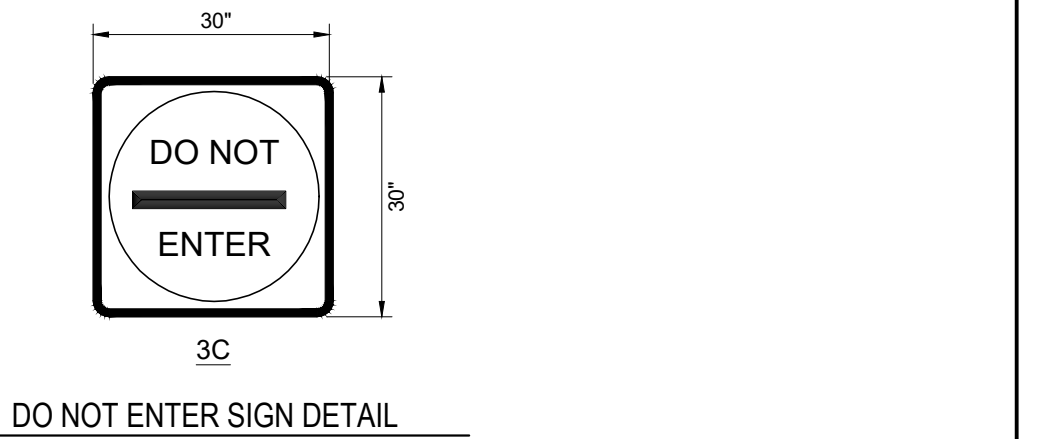
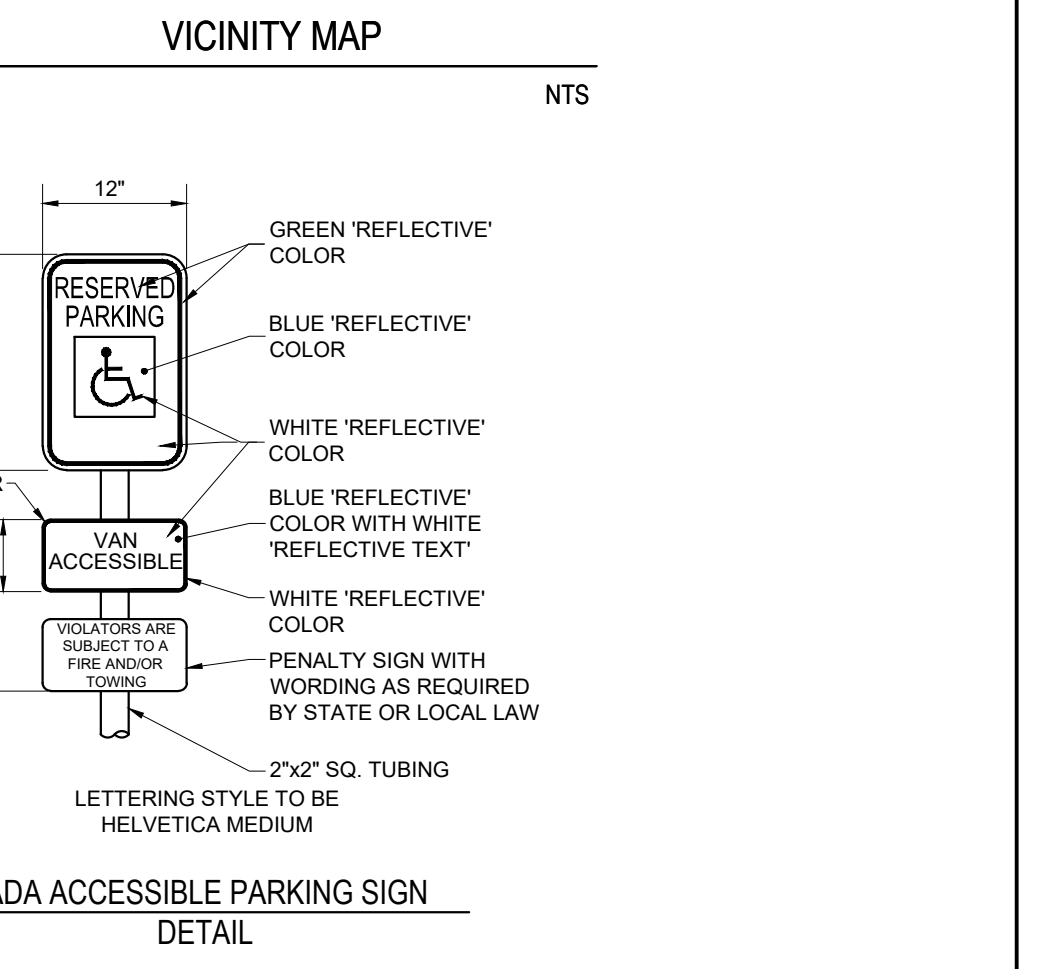
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**C1.0**



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**TRAFFIC CIRCULATION LAYOUT APPROVED**  
Ernest Olmigo 12/1/2022  
Signed Date



**SITE PLAN DESIGN NOTES & KEY PLAN**

- 1 PAVEMENT MARKINGS - 1
  - 1A DIRECTIONAL ARROW
  - 1B MULTILANE DIRECTIONAL GRAPHIC - MERGE
  - 1C NO PARKING GRAPHIC
  - 1D DO NOT ENTER GRAPHIC
  - 1E "MC" MOTORCYCLE PARKING GRAPHIC
  - 1F STOP BAR & STOP GRAPHIC
- 2 CROSSWALK MARKINGS
- 3 DIRECTIONAL SIGNAGE
  - 3A TEAM MEMBER CROSSING SIGN
  - 3B PEDESTRIAN CROSSING
  - 3C DO NOT ENTER SIGN
  - 3D STOP SIGN
- 4 RELOCATED FLAG POLE
- 5 CONCRETE CURB & GUTTER - TYPE B
  - 5A CATCH CURB & GUTTER
  - 5B SPILL CURB & GUTTER
- 6 CURB RAMP w/ HEADER CURB (REFER TO CITY OF ALBUQUERQUE STD. DWG 2443 FOR PARALLEL CURB RAMP)
- 7 DETECTABLE WARNING DEVICE
- 8 4" WIDE STRIPES AT 3' OFF CENTER
  - 9A 8" SOLID YELLOW STRIPE
  - 9B 8" DASHED YELLOW STRIPE
- 10 PEXCO LLC PERMANENT DELINEATORS
- 11 OMD CANOPY

**LEGAL DESCRIPTION:**

LOT NUMBERED THREE-A-ONE (3-A-1), OF THE PLAT OF "DEL NORTE PLAZE", WITHIN PROJECTED SECTION 13, TOWNSHIP 11 NORTH, RANGE 3 EAST, N.M.P.M., ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT OF SAID ADDITION FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON APRIL 26TH, IN BOOK 2016C, PAGE. 46.

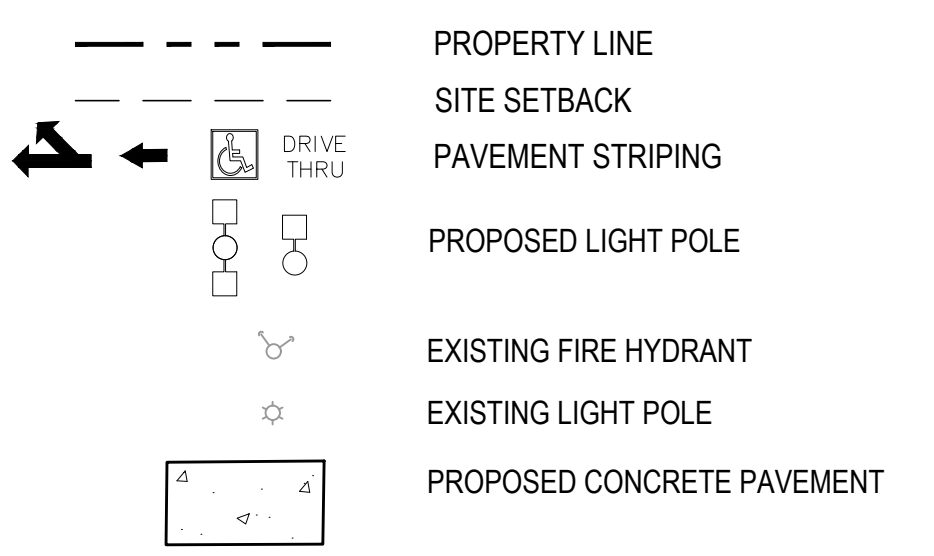
**EXECUTIVE SUMMARY:**

THE PROJECT SITE IS LOCATED NEAR THE SOUTH WEST CORNER OF SAN PEDRO NE AND PASEO DEL NORTE BLVD NE WITHIN LOT 3-A-1. THE PROPOSED IMPROVEMENTS TO THE EXISTING CHICK-FIL-A SITE WILL INCREASE THE AMOUNT OF AVAILABLE STACKING WITHIN THE DRIVE THRU LANE. IN ADDITION, A CANOPY WILL BE INSTALLED OVER THE PICK UP WINDOW FOR MEAL DELIVERY SERVICE. THE CANOPY IS BEING INSTALLED FOR TEAM MEMBER SAFETY AND WILL INCLUDE THE FOLLOWING: SHADE, HEATS, FANS AND LIGHTING. TRAFFIC FLOWS WITHIN THE PROJECT SITE WILL NOT BE SIGNIFICANTLY ALTERED AND THEREFORE THERE ARE NO FORESEEN IMPACTS TO THE ADJACENT USERS.

**GENERAL NOTES:**

1. THE ADA ACCESSIBLE PARKING SIGN MUST HAVE THE REQUIRED LANGUAGE PER 66-7-352.4C NMSA 1978 "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING". CONTRACTOR TO VERIFY THE EXISTING SIGN MEETS THIS REQUIREMENT. CONTRACTOR TO REPLACE EXISTING SIGN WITH ONE MEETING THIS REQUIREMENT AS NECESSARY. SEE DETAIL ON THIS SHEET.
2. ALL BICYCLE RACKS SHALL BE DESIGNED ACCORDING TO THE FOLLOWING GUIDELINES:
  - a. THE RACK SHALL BE A MINIMUM 30 INCHES TALL AND 18 INCHES WIDE.
  - b. THE BICYCLE FRAME SHALL BE SUPPORTED HORIZONTALLY AT TWO OR MORE PLACES. COMB/TOASTER RACKS ARE NOT ALLOWED.
  - c. THE RACK SHALL BE DESIGNED TO SUPPORT THE BICYCLE IN AN UPRIGHT POSITION. SEE THE IDO FOR ADDITIONAL INFORMATION.
  - d. THE RACK ALLOWS VARYING BICYCLE FRAME SIZES AND STYLES TO BE ATTACHED.
  - e. THE USER IS NOT REQUIRED TO LIFT THE BICYCLE ONTO THE BICYCLE RACK.
  - f. EACH BICYCLE PARKING SPACE IS ACCESSIBLE WITHOUT MOVING ANOTHER BICYCLE.
  - g. BICYCLE RACKS SHALL BE STURDY AND ANCHORED TO A CONCRETE PAD.
  - h. A 1-FOOT CLEAR ZONE AROUND THE BICYCLE PARKING STALL SHALL BE PROVIDED
3. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER AS NECESSARY; CONTRACTOR TO USE CITY OF ALBUQUERQUE STANDARD DETAILS 2415C & 2430 FOR REPLACEMENT.

**LEGEND:**



**SITE INFORMATION**

DEVELOPMENT TYPE: QUICK SERVICE RESTAURANT  
 ZONING: NR-BP  
 SITE SIZE: 66,255 SF / 1.521 AC  
 BUILDING SIZE: 4,360 SF  
 AREA OF DISTURBANCE: 7,516 SF / 0.17 AC

REQUIRED PARKING CALCULATION: 8 PARKING SPACES PER 1,000 GFA (4,360 SF / 1,000)\*8=35 SPACES

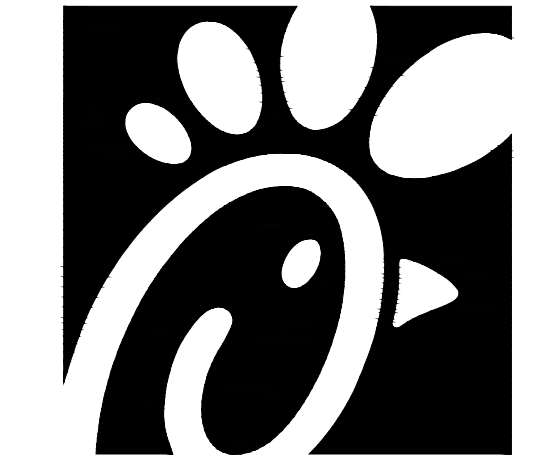
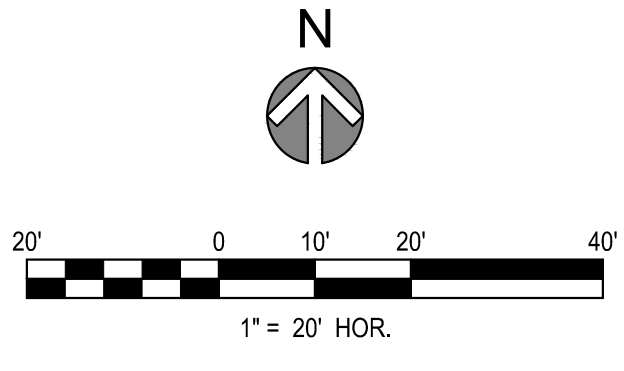
REQUIRED BICYCLE CALCULATION: 3 SPACES OR 10% OF REQUIRED OFF-STREET PARKING SPACES, WHICHEVER IS GREATER 35 SPACES \* 10%=4 BICYCLE SPACES

REQUIRED BICYCLE CALCULATION: 2 SPACES PER 26-50 REQ'D PARKING SPACES

**PARKING SUMMARY**

	REQUIRED	EXISTING	PROVIDED
STANDARD PARKING SPACES	31	33	46
ACCESSIBLE PARKING	2	2	2
TOTAL PARKING	33	35	48
MOTORCYCLE PARKING	2	-	2
BICYCLE SPACES	4	-	4

**PASEO DEL NORTE**  
(195' R.O.W.)



Chick-fil-A  
5200 Buffington Road  
Atlanta, Georgia 30349-2998

Chick-fil-A  
5200 Buffington Road  
Atlanta, Georgia 30349-2998



5970 GREENWOOD PLAZA BLVD  
GREENWOOD VILLAGE, CO 80111  
303-751-0741



FOR AND ON BEHALF OF  
MERRICK AND COMPANY

**CHICK-FIL-A**  
**PASEO DEL NORTE FSU**  
8110 SAN PEDRO DR NE  
ALBUQUERQUE, NM 87113

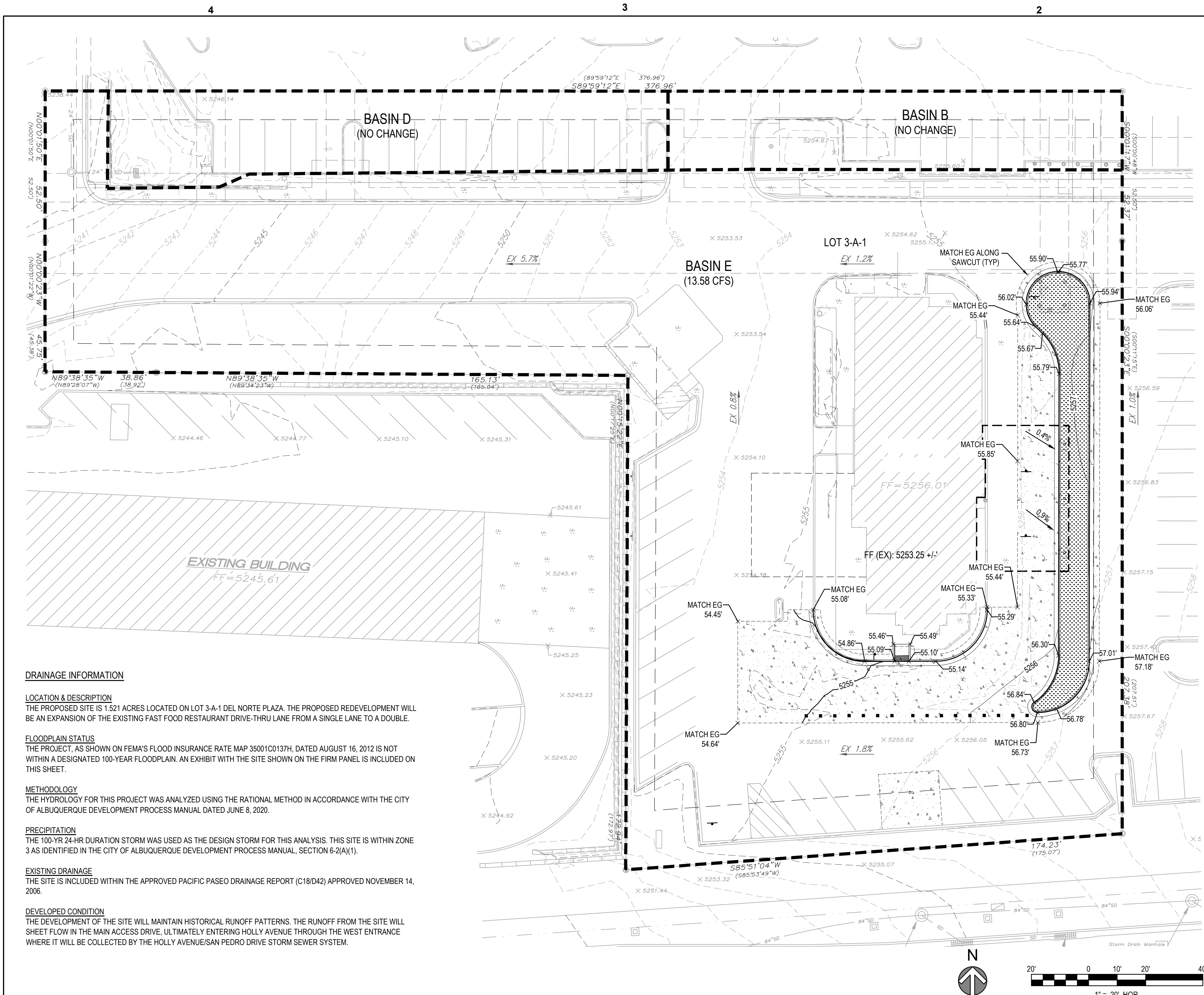
**FSR#1996**  
BUILDING TYPE / SIZE: P12 LS LRG  
RELEASE: VX.YY.MM

**REVISION SCHEDULE**

NO.	DATE	DESCRIPTION

CONSULTANT PROJECT # 65121260  
 PRINTED FOR FOR REVIEW  
 DATE 11/04/2022  
 DRAWN BY KEA  
 SHEET  
**TRAFFIC CIRCULATION LAYOUT**  
 SHEET NUMBER

**C1.1**



**DRAINAGE INFORMATION**

**LOCATION & DESCRIPTION**  
 THE PROPOSED SITE IS 1.521 ACRES LOCATED ON LOT 3-A-1 DEL NORTE PLAZA. THE PROPOSED REDEVELOPMENT WILL BE AN EXPANSION OF THE EXISTING FAST FOOD RESTAURANT DRIVE-THRU LANE FROM A SINGLE LANE TO A DOUBLE.

**FLOODPLAIN STATUS**  
 THE PROJECT, AS SHOWN ON FEMA'S FLOOD INSURANCE RATE MAP 35001C0137H, DATED AUGUST 16, 2012 IS NOT WITHIN A DESIGNATED 100-YEAR FLOODPLAIN. AN EXHIBIT WITH THE SITE SHOWN ON THE FIRM PANEL IS INCLUDED ON THIS SHEET.

**METHODOLOGY**  
 THE HYDROLOGY FOR THIS PROJECT WAS ANALYZED USING THE RATIONAL METHOD IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL DATED JUNE 8, 2020.

**PRECIPITATION**  
 THE 100-YR 24-HR DURATION STORM WAS USED AS THE DESIGN STORM FOR THIS ANALYSIS. THIS SITE IS WITHIN ZONE 3 AS IDENTIFIED IN THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL, SECTION 6-2(A)(1).

**EXISTING DRAINAGE**  
 THE SITE IS INCLUDED WITHIN THE APPROVED PASEO DRAINAGE REPORT (C18/D42) APPROVED NOVEMBER 14, 2006.

**DEVELOPED CONDITION**  
 THE DEVELOPMENT OF THE SITE WILL MAINTAIN HISTORICAL RUNOFF PATTERNS. THE RUNOFF FROM THE SITE WILL SHEET FLOW IN THE MAIN ACCESS DRIVE, ULTIMATELY ENTERING HOLLY AVENUE THROUGH THE WEST ENTRANCE WHERE IT WILL BE COLLECTED BY THE HOLLY AVENUE/SAN PEDRO DRIVE STORM SEWER SYSTEM.

**NOTES:**

- ADA STALLS SHALL HAVE A MAXIMUM SLOPE OF 2% IN ANY DIRECTION.
- ADA PEDESTRIAN RAMPS SHALL NOT HAVE A RUNNING SLOPE STEEPER THAN 1:12 AND A CROSS SLOPE THAT SHALL NOT EXCEED A SLOPE STEEPER THAN 1:48.
- ELEVATIONS ARE 51XX.XX, UNLESS OTHERWISE SPECIFIED.
- ALL DIMENSIONS REFERENCE FLOWLINE, BUILDING FOUNDATION OR PROPERTY LINE, UNLESS OTHERWISE SPECIFIED.

**EROSION CONTROL NOTES:**

- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
- REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

Basin	Land Treatment (ac)				Total
	A	B	C	D	
E	0	0.60	0	2.69	3.28

*Peak Runoff Comparison				
**EX 10YR (cfs)	10 YR (cfs)	**EX 100 YR (cfs)	100 YR (cfs)	
8.19	8.20	13.55	13.58	

\*Peak Runoff calculations were completed in accordance w/ the City of Albuquerque Development Process Manual (DPM) dated June 8, 2020  
 \*\*Existing Peak Runoff data was obtained from the Revised Drainage Report for Pacific Paseo Albuquerque, NM prepared by Tierra Est, LLC dated July 2006; Values depicted reflect revised Peak Runoff values obtained per previously mentioned report per updated DPM

City of Albuquerque  
 Planning Department  
 Development Review Services  
**HYDROLOGY SECTION**  
**APPROVED**  
 DATE: 11/07/22  
 BY: *Rosa C. Brant*  
 HydroTeam # C18D042A

THE APPROVAL OF THESE PLANS SHALL NOT BE CONSIDERED TO PREVENT VIOLATION OF ANY CITY ORDINANCES OR STATE LAWS, AND SHALL NOT PREVENT CONTRACTORS, OR OTHERS FROM OBTAINING NECESSARY PERMITS OR LICENSES TO CONDUCT ANY WORK THAT MAY BE REQUIRED TO IMPLEMENT THESE PLANS. ANY CHANGES TO THESE PLANS SHALL BE MADE BY THE CITY OF ALBUQUERQUE.

**LEGEND**

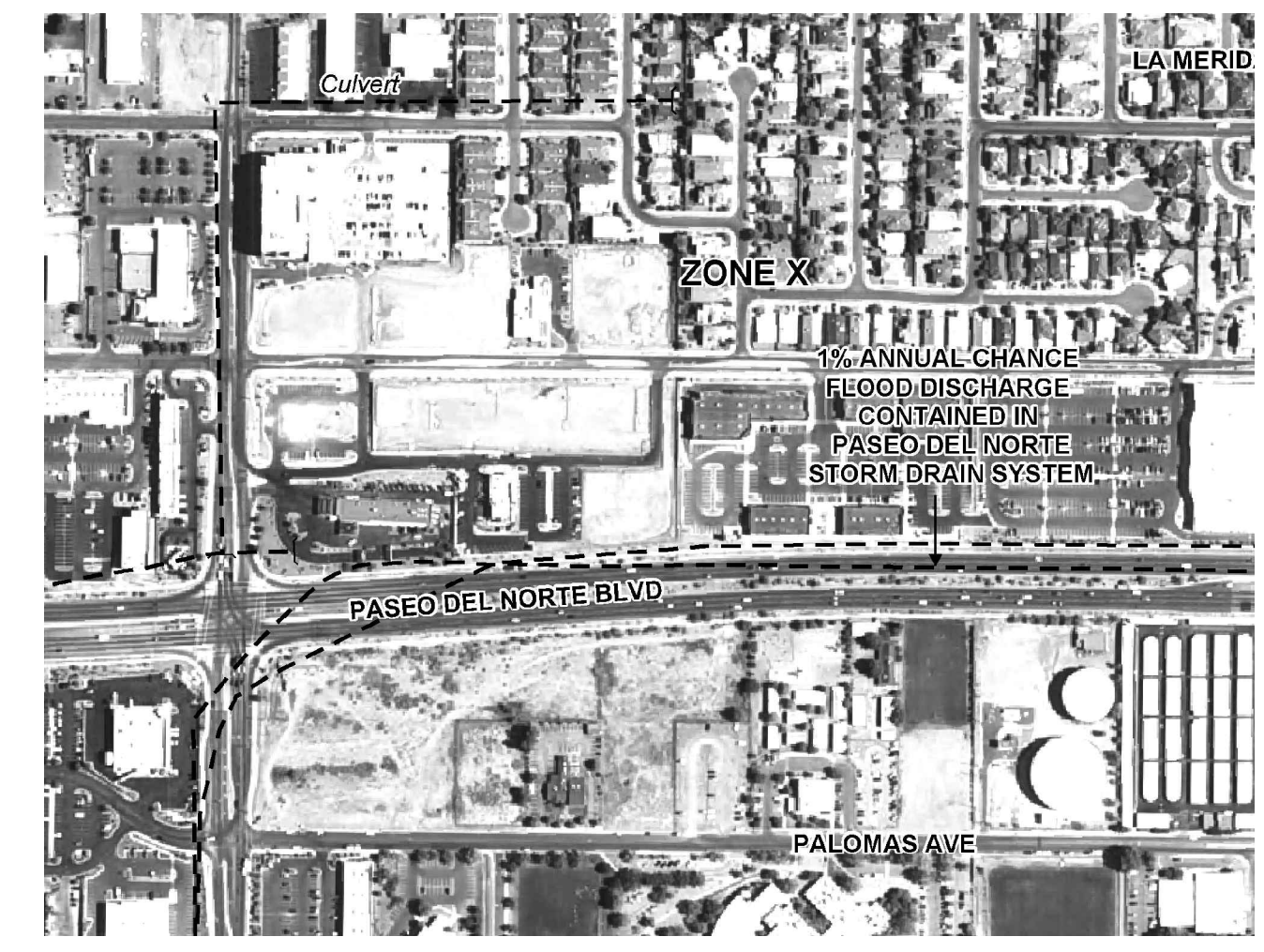
**SPECIAL FLOOD HAZARD AREAS (SUBJECT TO FUNDATION BY THE 1% ANNUAL CHANCE FLOOD)**  
 ZONE AE: Special Flood Hazard Area (SFHA) subject to inundation by the 1% annual chance flood.  
 ZONE A: Special Flood Hazard Area (SFHA) subject to inundation by the 1% annual chance flood.  
 ZONE AO: Special Flood Hazard Area (SFHA) subject to inundation by the 1% annual chance flood.  
 ZONE AR: Special Flood Hazard Area (SFHA) subject to inundation by the 1% annual chance flood.  
 ZONE AV: Special Flood Hazard Area (SFHA) subject to inundation by the 1% annual chance flood.  
 ZONE VE: Special Flood Hazard Area (SFHA) subject to inundation by the 1% annual chance flood.  
 ZONE V: Special Flood Hazard Area (SFHA) subject to inundation by the 1% annual chance flood.  
 ZONE X: Special Flood Hazard Area (SFHA) subject to inundation by the 1% annual chance flood.

**OTHER FLOOD AREAS**  
 ZONE X: Special Flood Hazard Area (SFHA) subject to inundation by the 1% annual chance flood.

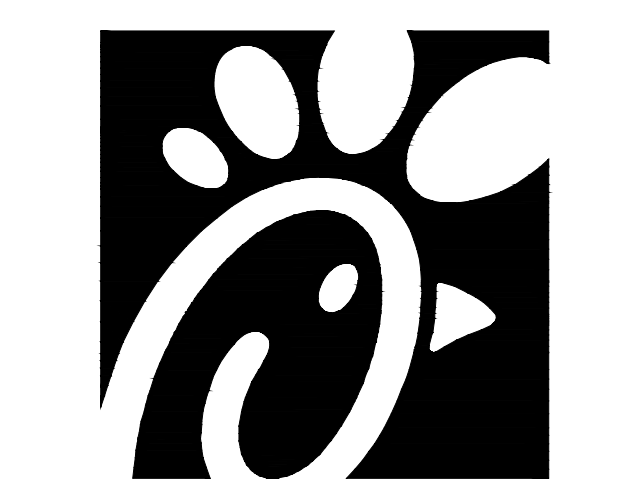
**LEGEND**

- PROPERTY LINE
- LIMITS OF GRADING
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- FLOWLINE SPOT ELEVATION
- FINISHED FLOOR SPOT ELEVATION
- FINISHED GRADE SPOT ELEVATION
- TOP OF CURB SPOT ELEVATION
- EXISTING GRADE SPOT ELEVATION
- EXISTING FLOWLINE SPOT ELEVATION
- PROPOSED SLOPE ARROWS
- EXISTING SLOPE ARROWS
- STORM SEWER
- STORM INLET
- STORM MANHOLE
- DRAINAGE BASIN

NATIONAL FLOOD INSURANCE PROGRAM  
**FIRM**  
 FLOOD INSURANCE RATE MAP  
 BERNALILLO COUNTY,  
 NEW MEXICO  
 AND UNINCORPORATED AREAS  
 PANEL 137 OF 825  
 (SEE MAP NUMBER FOR FIRM PANEL LOCUS)  
 CONTRACT NUMBER: 35001C0137H  
 MAP NUMBER: 35001C0137H  
 MAP REVISED: AUGUST 16, 2012  
 FEDERAL EMERGENCY MANAGEMENT AGENCY



FIRM MAP NO 35001C0137H



Chick-fil-A  
 Chick-fil-A  
 5200 Buffington Road  
 Atlanta, Georgia 30349-2998



5970 GREENWOOD PLAZA BLVD  
 GREENWOOD VILLAGE, CO 80111  
 303-751-0741

KRISTOFER KYLE WIEST  
 NEW MEXICO  
 26879  
 11/04/2022

FOR AND ON-BEHALF OF  
 MERRICK AND COMPANY

**CHICK-FIL-A**  
**PASEO DEL NORTE FSU**  
 8110 SAN PEDRO DR NE  
 ALBUQUERQUE, NM 87113

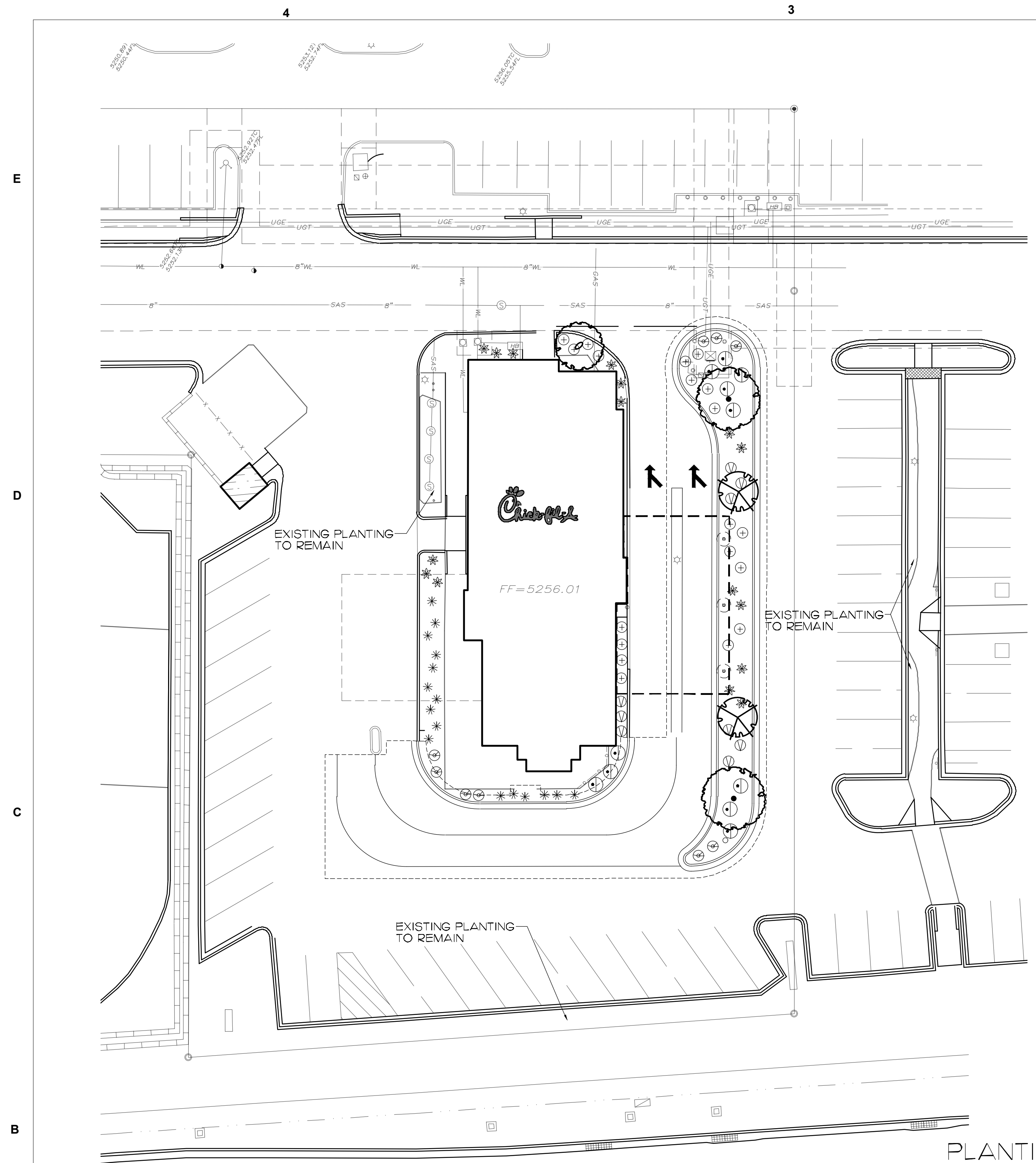
**FSR#1996**  
 BUILDING TYPE / SIZE: P12 LS LRG  
 RELEASE: VV.XY.MM

REVISION SCHEDULE		
NO.	DATE	DESCRIPTION

CONSULTANT PROJECT # 65121260  
 PRINTED FOR FOR REVIEW  
 DATE 11/04/2022  
 DRAWN BY KEA  
 SHEET GRADING & DRAINAGE PLAN  
 SHEET NUMBER

**C1.2**

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PASEO DEL NORTE

PLANTING LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	REMARKS
<b>TREES</b>					
	CRATAEGUS PHAENOPYRUM	WASHINGTON HAWTHORN	2' B&B	1	STANDARD
	PYRUS CALLERYANA	FLOWERING PEAR	15 GAL.	2	STANDARD
	FORESTIERA NEOMEXICANA	NEW MEXICO OLIVE	15 GAL.	2	STANDARD
<b>SHRUBS</b>					
	HESPERALOE PARVIFLORA	RED YUCCA	5 GAL.	16	AS SHOWN
	BACCHARIS (VARIETY TO MATCH CENTER)	DWARF COYOTE BUSH	5 GAL.	9	AS SHOWN
	MUHLENBERGIA C. 'REGAL MIST'	REGAL DEER GRASS	1 GAL.	19	AS SHOWN
	CALAMAGROSTIS ACUTIFLORA	KARL FOERSTER GRASS	5 GAL.	16	AS SHOWN
	RHUS (VARIETY TO MATCH CENTER)	GRE LOW SUMAC	5 GAL.	11	AS SHOWN
	ERICAMERIA L. 'AGUIRRE'	TURPENTINE BUSH	5 GAL.	9	AS SHOWN

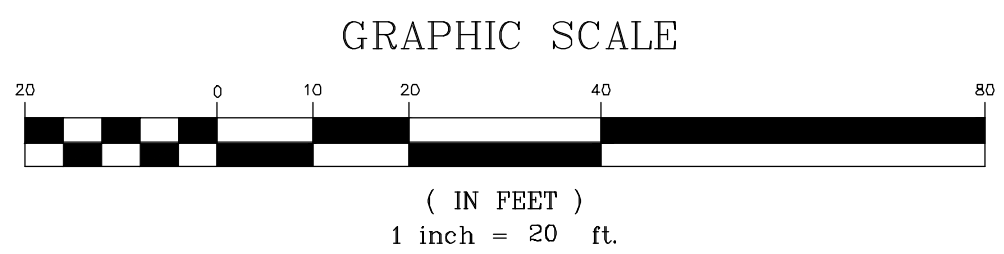
NOTE: ALL PLANTER AREAS SHALL BE TOP DRESSED WITH A 3" DEEP LAYER OF A ROCK MULCH/RIVER ROCK MIXTURE TO MATCH CENTER - PLACED OVER FILTER FABRIC

LANDSCAPE AREAS

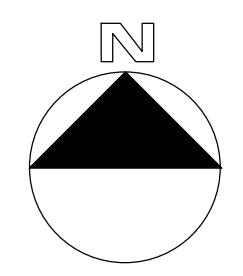
SHRUBS/TREES - LOW/MOD. WATER USE = 2,705 S.F.  
 IRRIGATION - HIGH EFFICIENCY DRIP TUBING  
 PERCENTAGE OF LANDSCAPED AREA - 100%

PLANTING NOTES

- CONTRACTOR IS TO REVIEW PLANS, VERIFY SITE CONDITIONS AND PLANT QUANTITIES PRIOR TO INSTALLATION. CONFLICTS BETWEEN THE SITE AND THESE PLANS OR WITHIN THESE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO LANDSCAPE INSTALLATION. ANY DEVIATION(S) FROM THE PLANS OR SPECIFICATIONS IS TO HAVE WRITTEN APPROVAL.
- ALL PLANT MATERIAL SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF "AMERICAN NURSERY AND LANDSCAPE ASSOCIATION" STANDARDS. WWW.ANLA.ORG
- LANDSCAPE ARCHITECT SHALL APPROVE PLANT MATERIAL PLACEMENT BY CONTRACTOR PRIOR TO INSTALLATION.
- CONTRACTOR TO INCLUDE IN HIS BID THE REPAIR OF ANY AND ALL DAMAGE RESULTING FROM INSTALLATION OF PLANTING ITEMS. CONNECT TO EXISTING CONDITIONS.
- ALL TREES WITHIN 5' OF ANY HARDSCAPE SURFACE TO HAVE A ROOT BARRIER TO REDIRECT ROOT GROWTH PER MANUFACTURER'S SPECIFICATIONS.
- FINISH GRADE TO BE 2" BELOW TOP OF CURB OR SIDEWALK FOR PLANTING AREAS.
- FERTILIZER FOR ALL PLANTING AREAS SHALL BE AS SPECIFIED WITHIN THE SOILS REPORT.
- ALL PLANTING AND IRRIGATION ON THIS PROJECT TO MEET OR EXCEED CITY LANDSCAPE GUIDELINES, STANDARDS AND AGENCY REQUIREMENTS.
- ALL PLANTER AREAS SHALL BE TOP DRESSED WITH 3" MINIMUM MULCH COVER.
- THE LANDSCAPE CONTRACTOR SHALL MAINTAIN ALL PLANTED AREAS BY MEANS OF CONTINUOUS WATERING, PRUNING, RAISING TREE BALLS WHICH SETTLE BELOW GRADE, FERTILIZING, APPLICATION OF SPRAYS WHICH ARE NECESSARY TO KEEP THE PLANTINGS FREE OF INSECTS AND DISEASES, WEEDING, AND/OR OTHER OPERATIONS NECESSARY FOR PROPER CARE AND UPKEEP. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS AS SPECIFIED ABOVE FOR A PERIOD OF NINETY (90) DAYS. ALL PLANTER BEDS TO BE AMENDED WITH SOIL PREPARATION PER SPECIFICATIONS. NO DEVIATIONS ARE ALLOWED.
- ALL PLANTING SHALL BE IRRIGATED WITH LOW VOLUME SPRAY HEADS, BUBBLERS AND/OR DRIP EMITTERS CONNECTED TO AUTOMATIC REMOTE CONTROL VALVES AND TIED INTO AN AUTOMATIC IRRIGATION CONTROLLER.



**PRELIMINARY PLANTING PLAN**  
 1" = 20'



PROJECT STATUS

CONSULTANT PROJECT #	65121260
PRINTED FOR	
DATE	08/10/22
DRAWN BY	RA/JH
SHEET	
<b>PRELIMINARY PLANTING PLAN</b>	
SHEET NUMBER	

**CHICK-FIL-A**  
**PASEO DEL NORTE FSU**  
 8110 SAN PEDRO DR NE  
 ALBUQUERQUE, NM 87113

**FSR#1996**

BUILDING TYPE / SIZE: P12 LS LRG  
 RELEASE: vX.YY.MM

REVISION SCHEDULE

NO.	DATE	DESCRIPTION

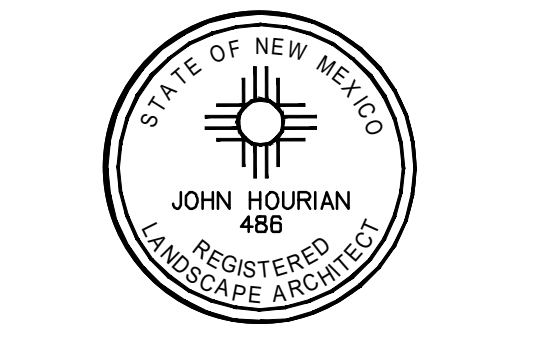
**1-1-0**



Chick-fil-A

**Chick-fil-A**  
 5200 Buffington Road  
 Atlanta, Georgia 30349-2998

**hourian associates, inc.**  
 landscape architecture + design  
 san clemente | santa barbara, california  
 o: 949-489-5623 f: 858-810-0335



CANOPY FACIA & COLUMNS:  
 DARK BRONZE  
 DURA COAT, DC19ST-2073,  
 OIL RUBBED  
 BRONZE METALLIC TEXTURE PVD

DECK SOFFIT:  
 SMOOTH WHITE,  
 HIGH GLOSS



FRONT ELEVATION (SOUTH)



SIDE ENTRY ELEVATION (WEST)

EXISTING FACE TO FACE ORDER  
 CANOPY (F2F CANOPY) TO REMAIN

EXISTING ORDER  
 POINT TO REMAIN



**CHICK-FIL-A 1996**  
 8110 SAN PEDRO DR  
 ALBUQUERQUE, NM



THE COLORS SHOWN IN THIS RENDERING ARE CLOSE APPROXIMATIONS. DUE TO INK VARIATIONS AND DIFFERENCES IN PRINTERS, AN EXACT COLOR MATCH CANNOT BE ACHIEVED.  
 THE VIEWER IS ADVISED TO USE THE RENDERING AS A GUIDELINE FOR THE ARRANGEMENT OF COLORS ON THE BUILDING, AND TO THEN REFER TO THE ACTUAL COLOR OR MATERIAL SAMPLES PROVIDED.

INTERPLAN NO. 2018.0534  
 01-06-2022

CANOPY FACIA & COLUMNS:  
 DARK BRONZE  
 DURA COAT, DC19ST-2073,  
 OIL RUBBED  
 BRONZE METALLIC TEXTURE PVD

DECK SOFFIT:  
 SMOOTH WHITE,  
 HIGH GLOSS



NEW OUTSIDE MEAL DELIVERY  
 CANOPY (OMD CANOPY)

EXISTING FACE TO FACE ORDER  
 CANOPY (F2F CANOPY) TO REMAIN

REAR ELEVATION (NORTH)



DRIVE THRU ELEVATION (EAST)

NEW OUTSIDE MEAL DELIVERY  
 CANOPY (OMD CANOPY)



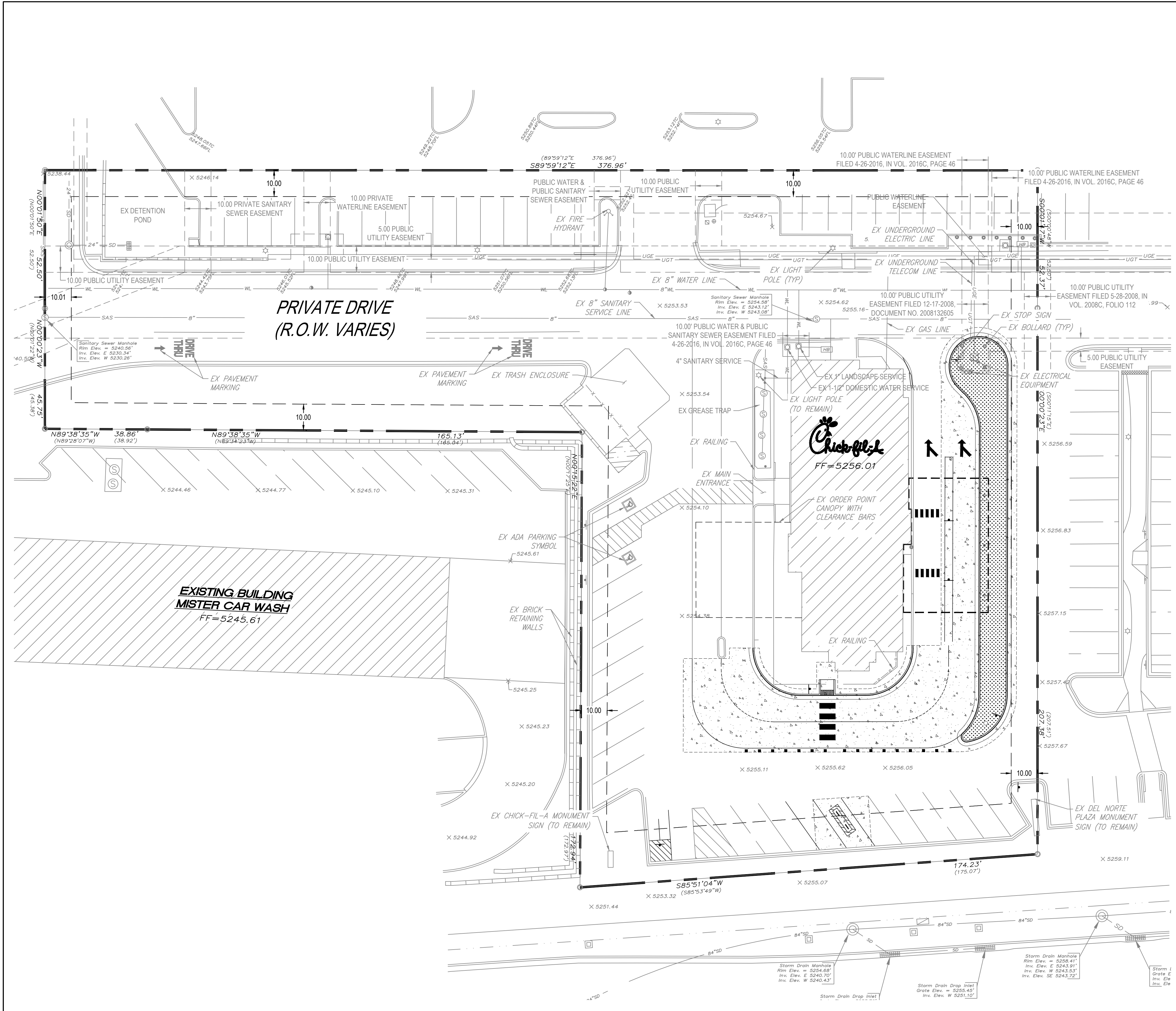
CHICK-FIL-A 1996  
 8110 SAN PEDRO DR  
 ALBUQUERQUE, NM



THE COLORS SHOWN IN THIS RENDERING ARE CLOSE APPROXIMATIONS. DUE TO INK VARIATIONS AND DIFFERENCES IN PRINTERS, AN EXACT COLOR MATCH CANNOT BE ACHIEVED.  
 THE VIEWER IS ADVISED TO USE THE RENDERING AS A GUIDELINE FOR THE ARRANGEMENT OF COLORS ON THE BUILDING, AND TO THEN REFER TO THE ACTUAL COLOR OR MATERIAL SAMPLES PROVIDED.

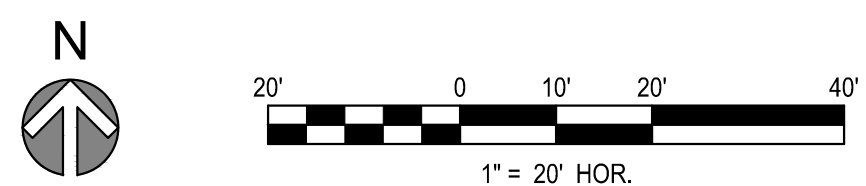
INTERPLAN NO. 2018.0534  
 01-06-2022

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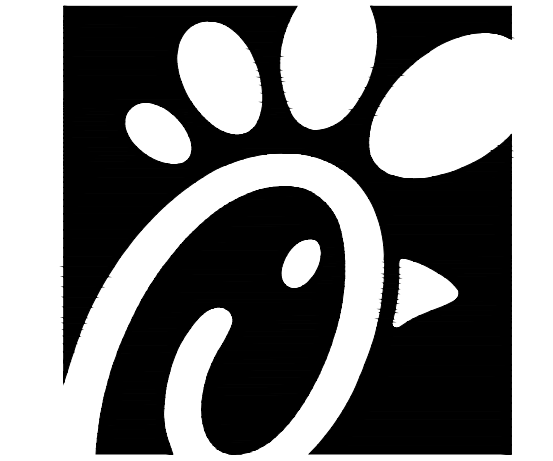


**NOTES:**

- 1) CONTRACTOR TO FIELD VERIFY ALL UTILITIES PRIOR TO COMMENCING WORK. IF ANY DISCREPANCIES ARE FOUND FROM WHAT IS SHOWN ON THE PLANS NOTIFY THE ENGINEER OF RECORD.
- 2) NO UTILITIES ARE PROPOSED WITHIN THE SCOPE OF THIS DEVELOPMENT. ALL EXISTING UTILITIES ARE TO BE PROTECTED IN PLACE.



Know what's below.  
Call before you dig.



*Chick-fil-A*

**Chick-fil-A**  
5200 Buffington Road  
Atlanta, Georgia 30349-2998



FOR AND ON-BEHALF OF  
MERRICK AND COMPANY

**CHICK-FIL-A**  
**PASEO DEL NORTE FSU**  
8110 SAN PEDRO DR NE  
ALBUQUERQUE, NM 87113

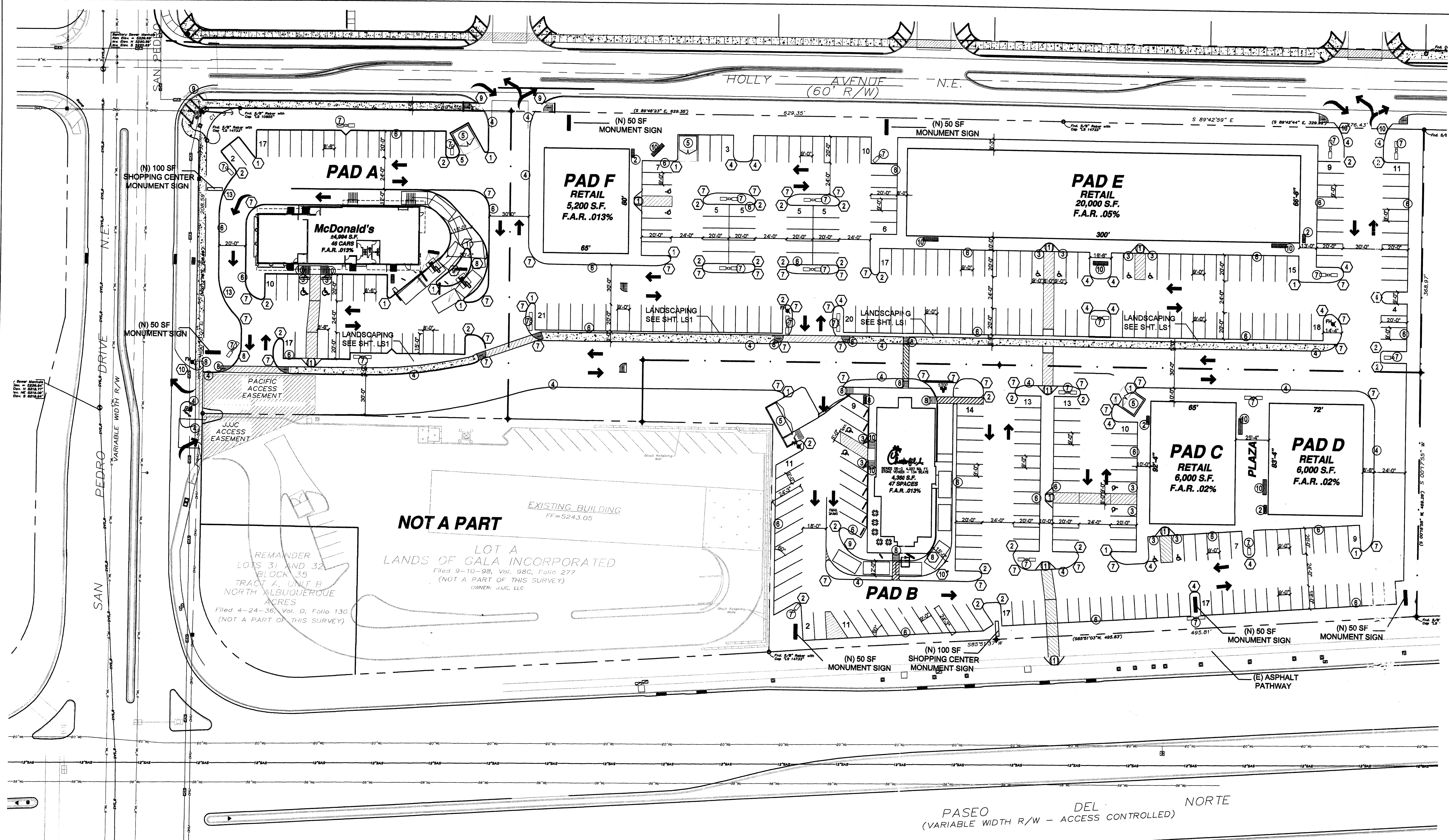
**FSR#1996**  
BUILDING TYPE / SIZE: P12 LS LRG  
RELEASE: vX.YY.MM

REVISION SCHEDULE		
NO.	DATE	DESCRIPTION

CONSULTANT PROJECT #	65121260
PRINTED FOR	FOR REVIEW
DATE	12/16/2022
DRAWN BY	KEA
SHEET	UTILITY PLAN

SHEET NUMBER  
**C1.3**

PROJECT # 1006868



- PARKING NOTES:**  
 TYPICAL STANDARD SPACES ARE 9'-0" x 20'-0"  
 TYPICAL SMALL CAR SPACES ARE 7'-0" x 18'-0"  
 TYPICAL HANDICAP SPACES ARE 8'-0" x 20'-0"  
 WITH A WIDE ACCESSIBLE 8'-0" x 20'-0"  
 \*ALL SPACES ARE STANDARD SIZE UNLESS OTHERWISE NOTED\*
- RADIUS:**
- ① RADIUS = 2'-0"
  - ② RADIUS = 3'-0"
  - ③ RADIUS = 3'-6"
  - ④ RADIUS = 5'-0"
  - ⑤ RADIUS = 10'-0"
  - ⑥ RADIUS = 12'-0"
  - ⑦ RADIUS = 15'-0"
  - ⑧ RADIUS = 20'-0"
  - ⑨ RADIUS = 25'-0"
  - ⑩ RADIUS = 28'-0"
  - ⑪ RADIUS = 30'-0"
  - ⑫ RADIUS = 37'-6"

**CODE REFERENCES**

BUILDING CODE: IBC "2003"  
 MECHANICAL CODE: UMC "2003"  
 PLUMBING CODE: UPC "2003"  
 ELECTRICAL CODE: NEC "2005"  
 ACCESSIBILITY CODE: ANSI "1998"  
 FIRE CODE: IFC "2003"

**CODE DATA**

ADDRESS: NE CORNER OF PASEO DEL NORTE & SAN PEDRO DRIVE

ZONING: SU-2/JP

OCCUPANCY: A & M

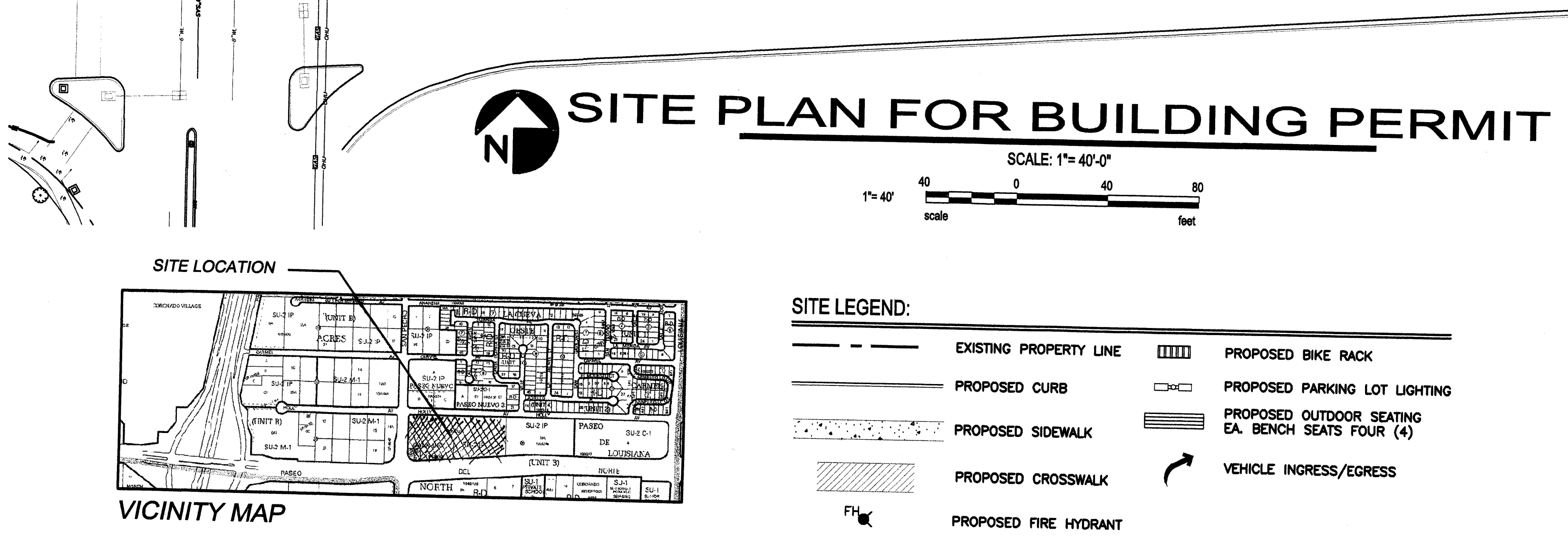
BUILDING TYPE: TYPE IIB

SEISMIC ZONE: 2B

# OF STORIES: ONE

FIRE PROTECTION:

MCDONALDS:	UN-SPRINKLED	(4,994 SF)
CHICK-FIL-A:	UN-SPRINKLED	(4,360 SF)
<b>FUTURE PHASE</b>		
PAD C:	UN-SPRINKLED	(6,000 SF)
PAD D:	UN-SPRINKLED	(20,000 SF)
PAD E:	SPRINKLED	(5,200 SF)
PAD F:	UN-SPRINKLED	(5,200 SF)



**SITE DATA:**

PROPOSED USAGE: C-2 USE

LOT AREA: 374,664 SF (8.6 ACRES)

LANDSCAPE REQUIRED: 6.5%

OCCUPANT LOAD:

MCDONALDS - 5,322 SF/15 = 354 PERSONS  
 CHICK-FIL-A - 4,360 SF/15 = 291 PERSONS

**FUTURE PHASE (PROPOSED RETAIL)**

PAD C - 6,000 SF/30 = 200 PERSONS  
 PAD D - 6,000 SF/30 = 200 PERSONS  
 PAD E - 20,000 SF/30 = 667 PERSONS  
 PAD F - 5,200 SF/30 = 173 PERSONS

**PARKING DATA:**

SITE DATA	BUILDING AREA	PARKING REQD.	PARKING PROVIDED
PAD A	4,994 S.F.	25	46
PAD B	4,360 S.F.	22	47
PAD C	6,000 S.F.	30	44
PAD D	6,000 S.F.	30	44
PAD E	20,000 S.F.	80	90
PAD F	5,200 S.F.	26	51

**PARKING DATA CONT:**

MCDONALDS - H.C. PRKNG. REQD. 1 SPACE - PROVIDED 2 SPACES  
 MOTORCYCLE PRKNG. REQD. 1 SPACE - PROVIDED 1 SPACE  
 BICYCLE SPACES REQD. 2 SPACES - PROVIDED 5 SPACES

CHICK-FIL-A - H.C. PRKNG. REQD. 1 SPACE - PROVIDED 2 SPACES  
 MOTORCYCLE PRKNG. REQD. 1 SPACE - PROVIDED 1 SPACE  
 BICYCLE SPACES REQD. 2 SPACES - PROVIDED 5 SPACES

**FUTURE PHASE (PROPOSED RETAIL)**

PAD C - H.C. PRKNG. REQD. 2 SPACES - PROVIDED 2 SPACES  
 MOTORCYCLE PRKNG. REQD. 1 SPACE - PROVIDED 1 SPACE  
 BICYCLE SPACES REQD. 2 SPACES - PROVIDED 5 SPACES  
 SITTING SPACES 4 SEATS - PROVIDED 1 BENCH (SEATS 4)

PAD D - H.C. PRKNG. REQD. 2 SPACES - PROVIDED 2 SPACES  
 MOTORCYCLE PRKNG. REQD. 1 SPACE - PROVIDED 1 SPACE  
 BICYCLE SPACES REQD. 2 SPACES - PROVIDED 5 SPACES  
 SITTING SPACES 4 SEATS - PROVIDED 1 BENCH (SEATS 4)

PAD E - H.C. PRKNG. REQD. 4 SPACES - PROVIDED 4 SPACES  
 MOTORCYCLE PRKNG. REQD. 3 SPACES - PROVIDED 3 SPACES  
 BICYCLE SPACES REQD. 4 SPACES - PROVIDED 5 SPACES  
 SITTING SPACES 12 SEATS - PROVIDED 3 BENCHES (1 SEATS 4)

PAD F - H.C. PRKNG. REQD. 2 SPACES - PROVIDED 2 SPACES  
 MOTORCYCLE PRKNG. REQD. 3 SPACES - PROVIDED 3 SPACES  
 BICYCLE SPACES REQD. 2 SPACES - PROVIDED 5 SPACES  
 SITTING SPACES 4 SEATS - PROVIDED 1 BENCH (SEATS 4)

○ DENOTES A SITE DETAIL, REFER TO SHEET AS3

PROJECT NUMBER: 1006868

APPLICATION NUMBER: 07DRB-70390

**DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL**

<i>[Signature]</i>	11-28-07
Traffic Engineering, Transportation Division	Date
<i>[Signature]</i>	11-28-07
ABQWA	Date
Christina Sandford	11/28/07
Parks and Recreation Department	Date
<i>[Signature]</i>	3/24/08
Bradley D. Byrne	Date
City Engineer	
Environmental Health Department	Date
<i>[Signature]</i> Ped B	11/27/07
Solid Waste Management	Date
<i>[Signature]</i>	3/24/08
DRB Chairperson, Planning Department	Date

\* Environmental Health, if necessary

REVISION

REV	DATE	BY
1		
2		
3		
4		
5		
6		

GEORGE RAINHART ARCHITECT AND ASSOCIATES PC  
 2325 SAN PEDRO N.E. SUITE 2-B  
 ALBUQUERQUE, NEW MEXICO 87110  
 PHONE (505) 884-9110 FAX (505) 837-9877

PRELIMINARY NOT FOR CONSTRUCTION

PROJECT TITLE: DEL NORTE PLAZA  
 SAN PEDRO & PASEO DEL NORTE  
 ALBUQUERQUE, NEW MEXICO

PROJECT MANAGER: [Name] JOB NO. 0536A

DRAWN BY: WRS

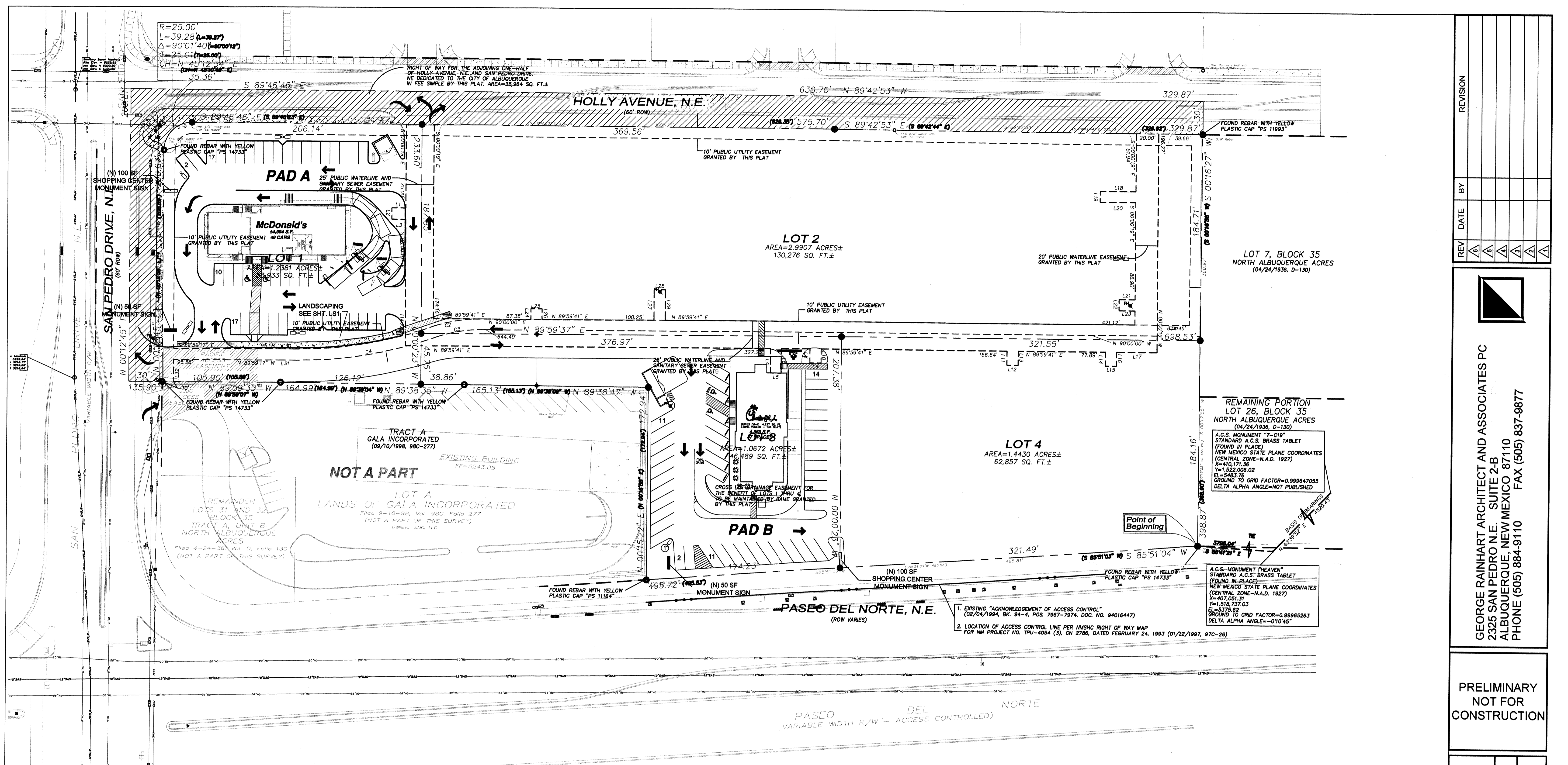
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DATE: 11.26.2007 sheet-  
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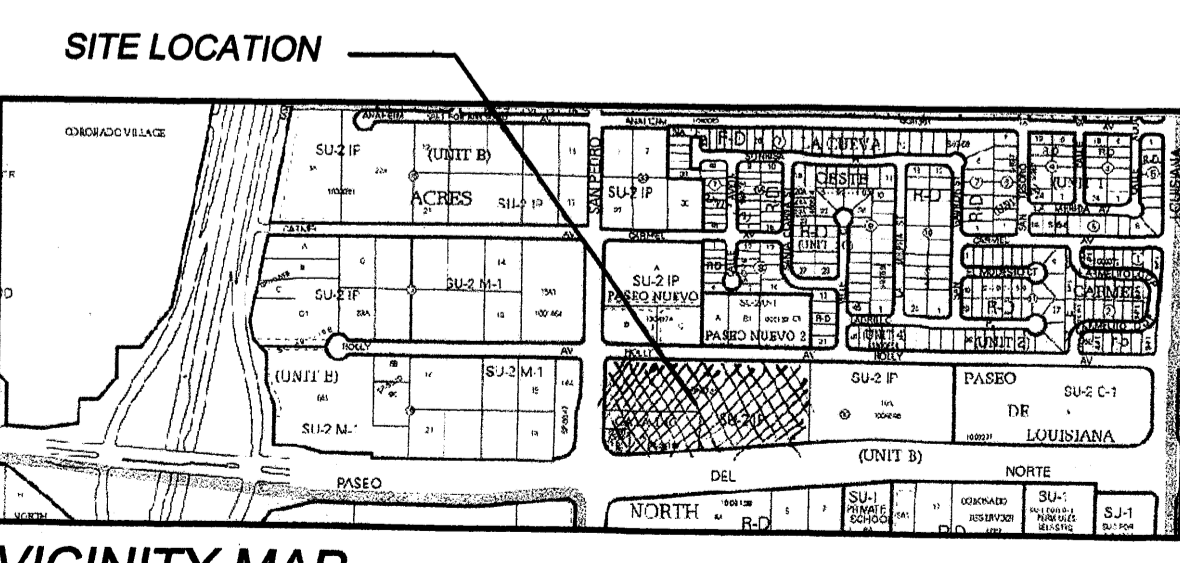
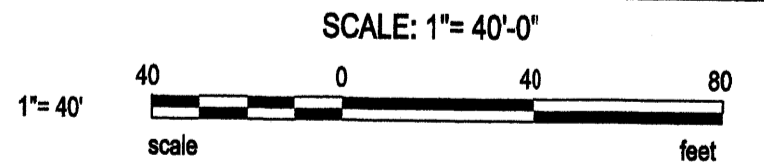
DRB SUBMITTAL

AS1





# SITE PLAN FOR SUBDIVISION



**SITE LEGEND:**

	EXISTING PROPERTY LINE		PROPOSED BIKE RACK
	PROPOSED CURB		PROPOSED PARKING LOT LIGHTING
	PROPOSED SIDEWALK		PROPOSED OUTDOOR SEATING EA. BENCH SEATS FOUR (4)
	PROPOSED CROSSWALK		VEHICLE INGRESS/EGRESS
	PROPOSED FIRE HYDRANT		

**PARKING DATA:**

McDONALD'S - H.C. PRKNG. REQD. 1 SPACE - PROVIDED 2 SPACES  
 MOTORCYCLE PRKNG. REQD. 1 SPACE - PROVIDED 1 SPACE  
 BICYCLE SPACES REQD. 2 SPACES - PROVIDED 5 SPACES

CHICK-FIL-A - H.C. PRKNG. REQD. 1 SPACE - PROVIDED 2 SPACES  
 MOTORCYCLE PRKNG. REQD. 1 SPACE - PROVIDED 1 SPACE  
 BICYCLE SPACES REQD. 2 SPACES - PROVIDED 5 SPACES

SITE DATA	BUILDING AREA	PARKING REQD.	PARKING PROVIDED
PAD A	4,994 S.F.	25	46
PAD B	4,360 S.F.	22	47

**SITE DATA TABLE**

PROPOSED PARCEL	USE	ZONING	MAX. BLDG. HEIGHT	F.A.R.
PAD A	RESTAURANT	C-2	30 FEET	.013%
PAD B	RESTAURANT	C-2	30 FEET	.013%
PAD C	RETAIL	C-2	30 FEET	.02%
PAD D	RETAIL	C-2	30 FEET	.02%
PAD E	RETAIL	C-2	30 FEET	.05%
PAD F	RETAIL	C-2	30 FEET	.013%

**NOTES:**

- PEDESTRIAN CONNECTIONS SHALL BE PER THE OFF-STREET PARKING REQUIREMENTS OF THE ZONING CODE.

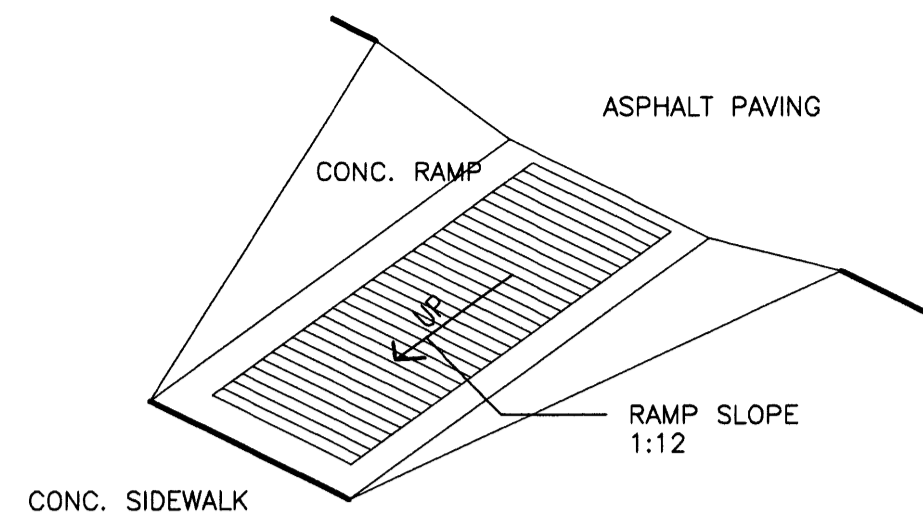
PROJECT NUMBER: 1026868  
 APPLICATION NUMBER: 01DRB-70359

**DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL**

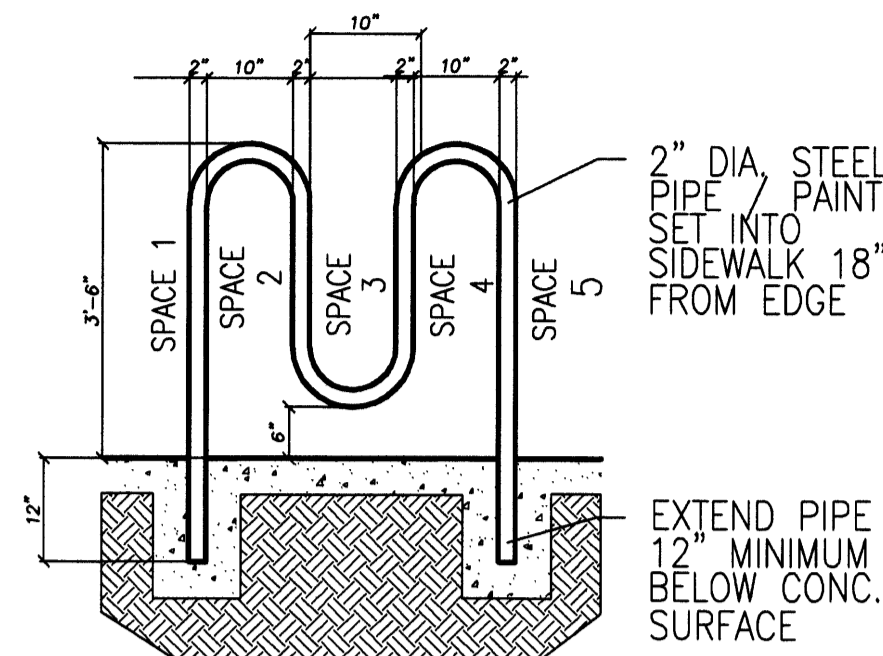
	Traffic Engineering, Transportation Division	11-28-07
	Parks and Recreation Department	11-28-07
	City Engineer	3/24/08
	Environmental Health Department	
	Solid Waste Management	11/27/07
	DRB Chairperson, Planning Department	3/24/08

\* Environmental Health, if necessary

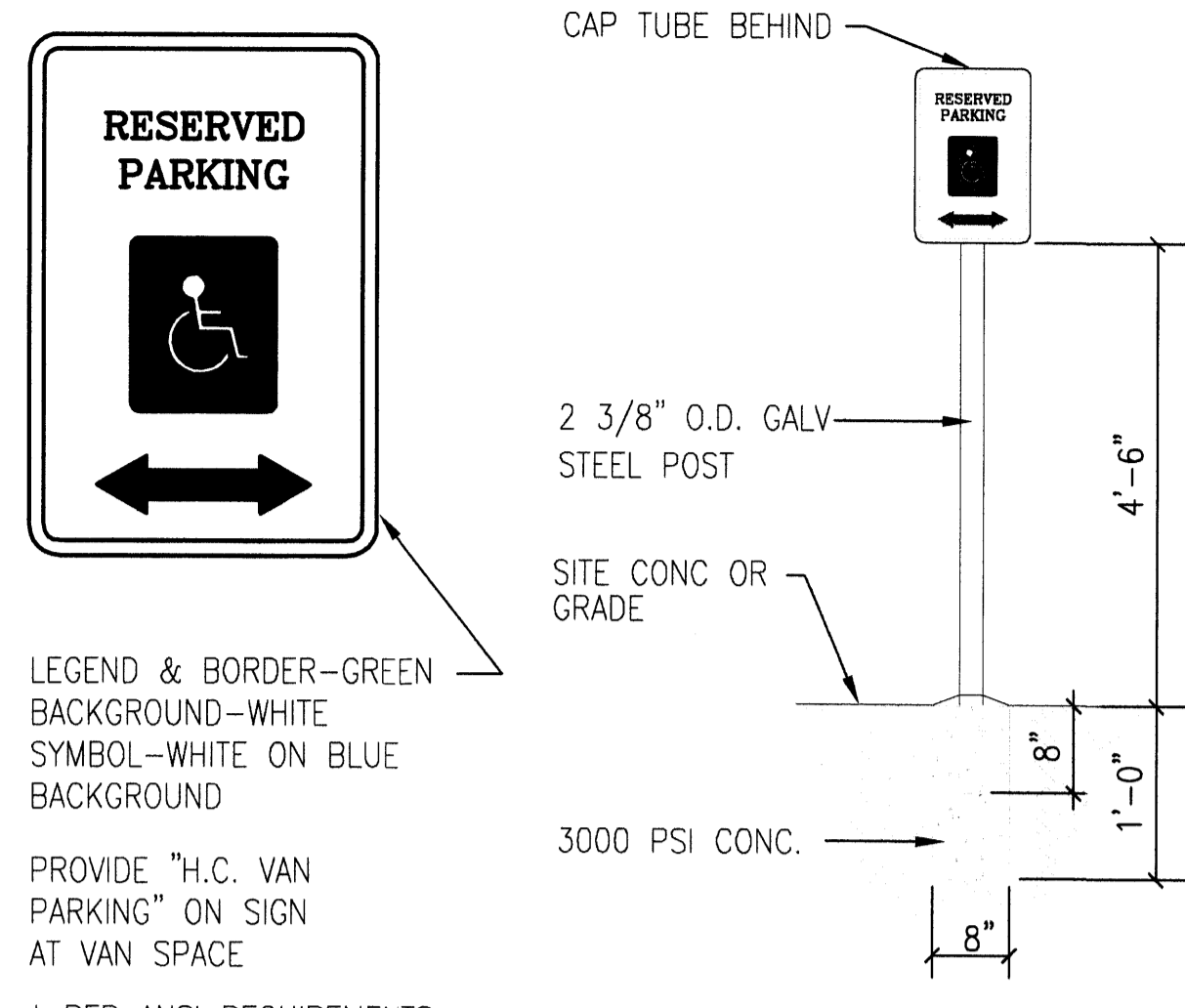
	<b>REVISION</b> BY _____ DATE _____ REV _____ DATE _____
<b>GEORGE RAINHART ARCHITECT AND ASSOCIATES PC</b> 2325 SAN PEDRO N.E. SUITE 2-B ALBUQUERQUE, NEW MEXICO 87110 PHONE (505) 884-9110 FAX (505) 837-9877	
<b>PRELIMINARY NOT FOR CONSTRUCTION</b>	
<b>DEL NORTE PLAZA</b> SAN PEDRO & PASEO DEL NORTE ALBUQUERQUE, NEW MEXICO	<b>SITE PLAN FOR SUBDIVISION</b>
PROJECT TITLE: DEL NORTE PLAZA PROJECT MANAGER: _____ JOB NO.: 0636A DRAWN BY: WRS SHEET TITLE: SITE PLAN FOR SUBDIVISION	DATE: 11.26.2007 SCALE: 1"=40'-0" SHEET: <b>AS2</b> OF: _____



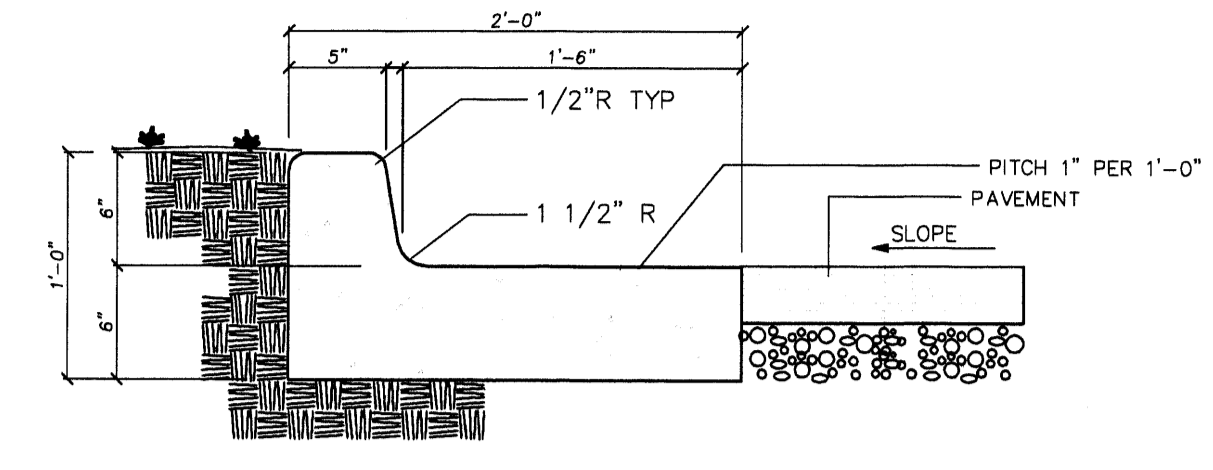
**1 HANDICAP RAMP DETAIL**  
AS3 SCALE: N.T.S.



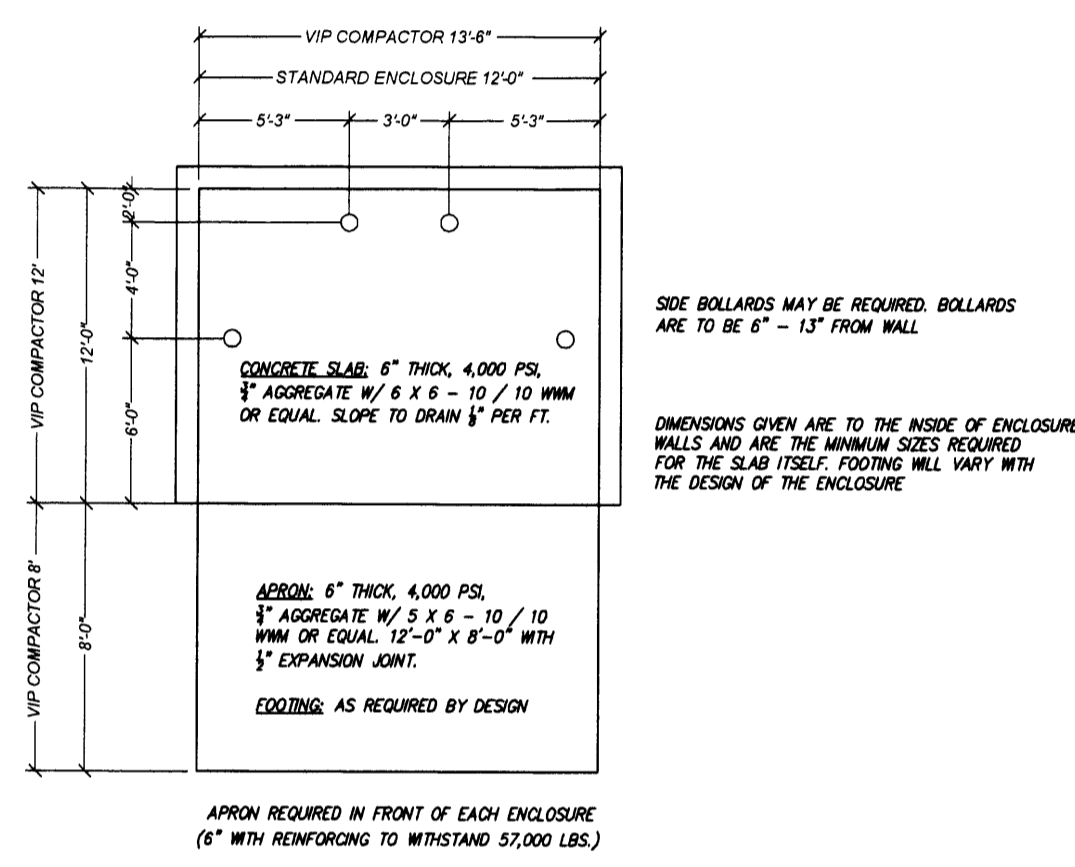
**2 BIKE RACK DETAIL**  
AS3 SCALE: N.T.S.



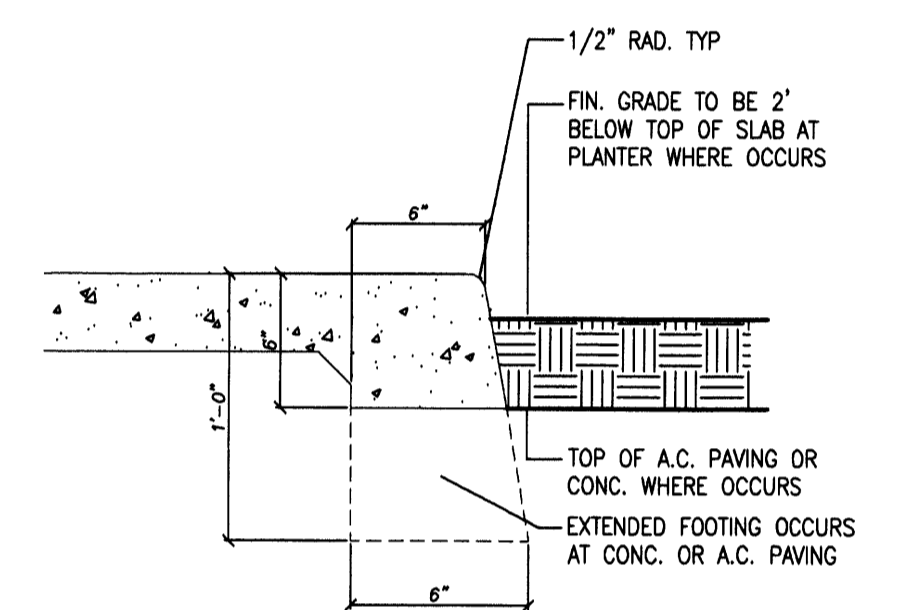
**3 ACCESSIBLE PARKING SIGN**  
AS3 SCALE: N.T.S.



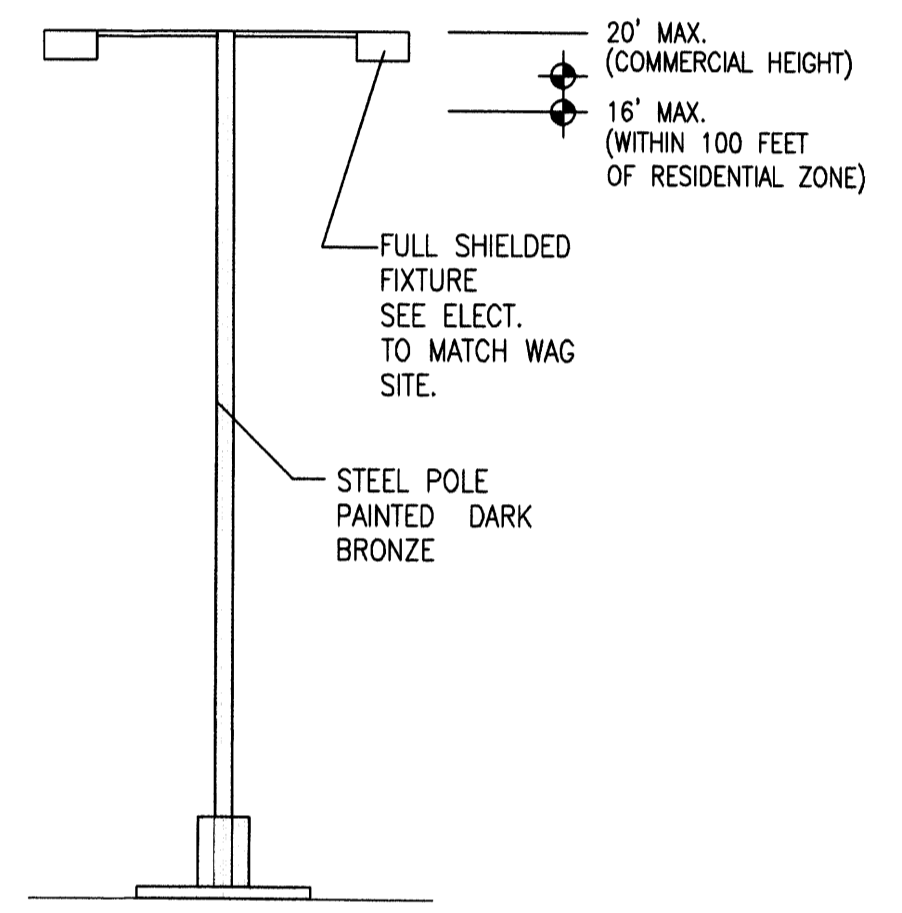
**4 CURB & GUTTER**  
AS3 SCALE: N.T.S.



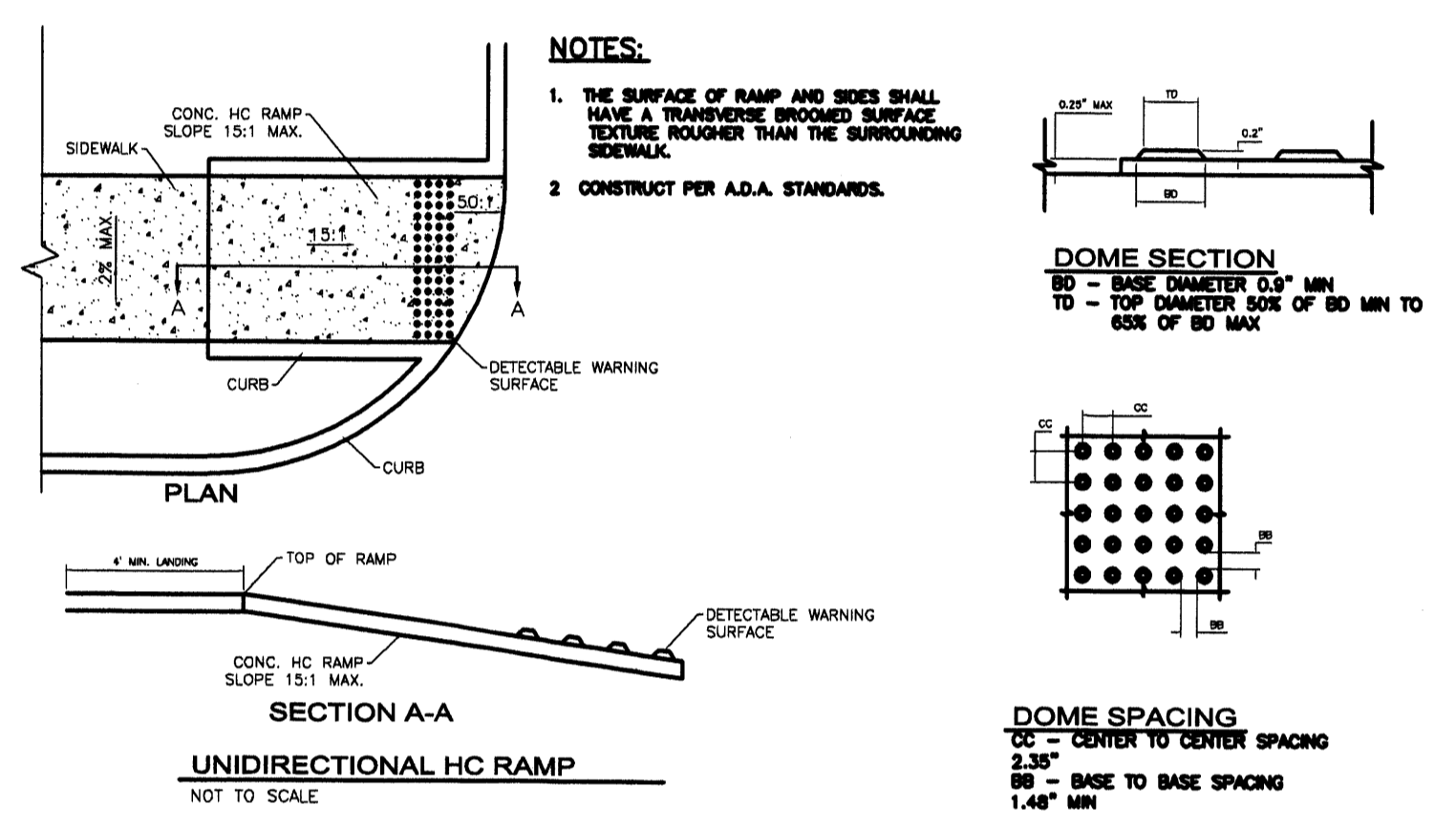
**5 TRASH ENCLOSURE**  
AS3 SCALE: N.T.S.



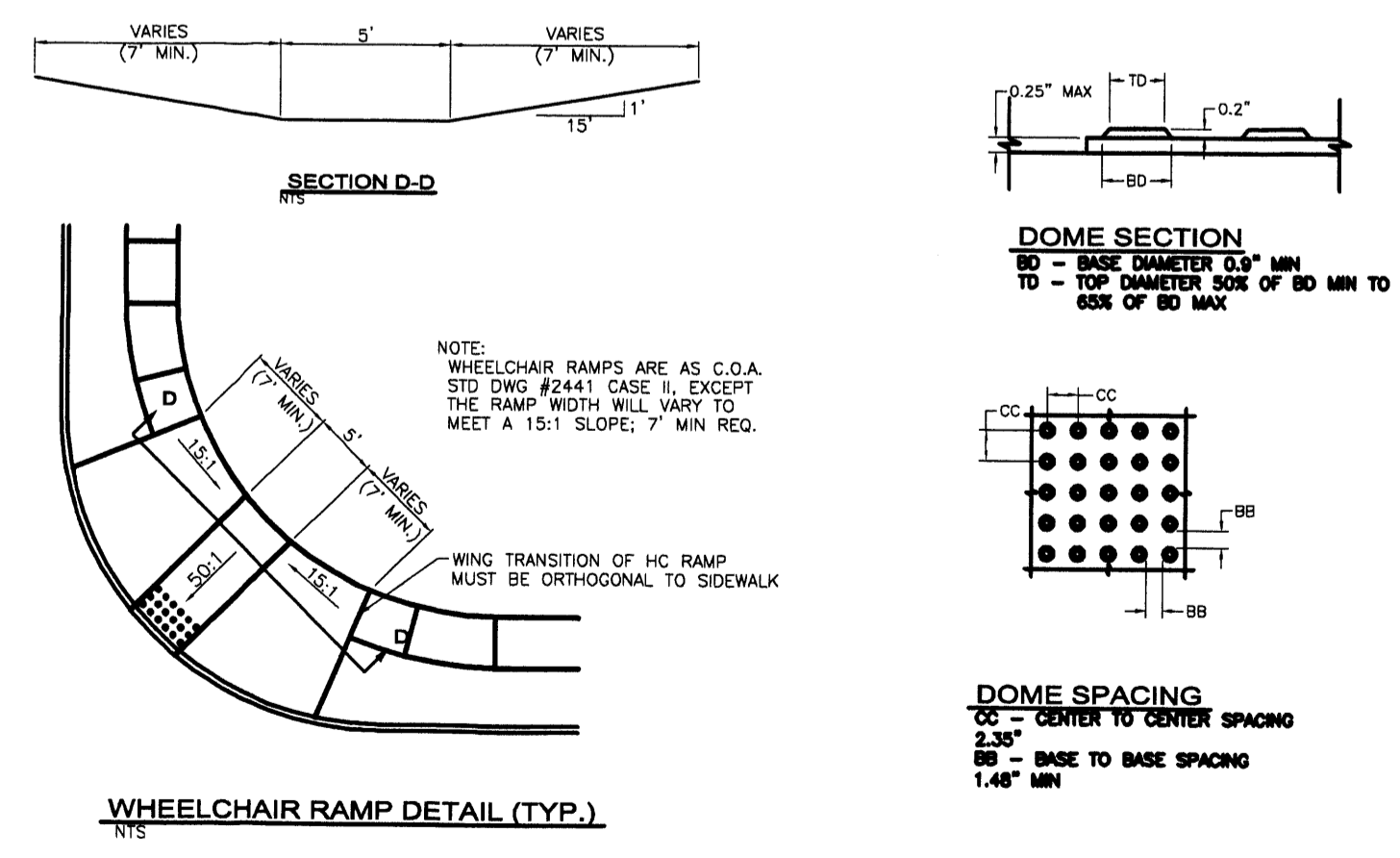
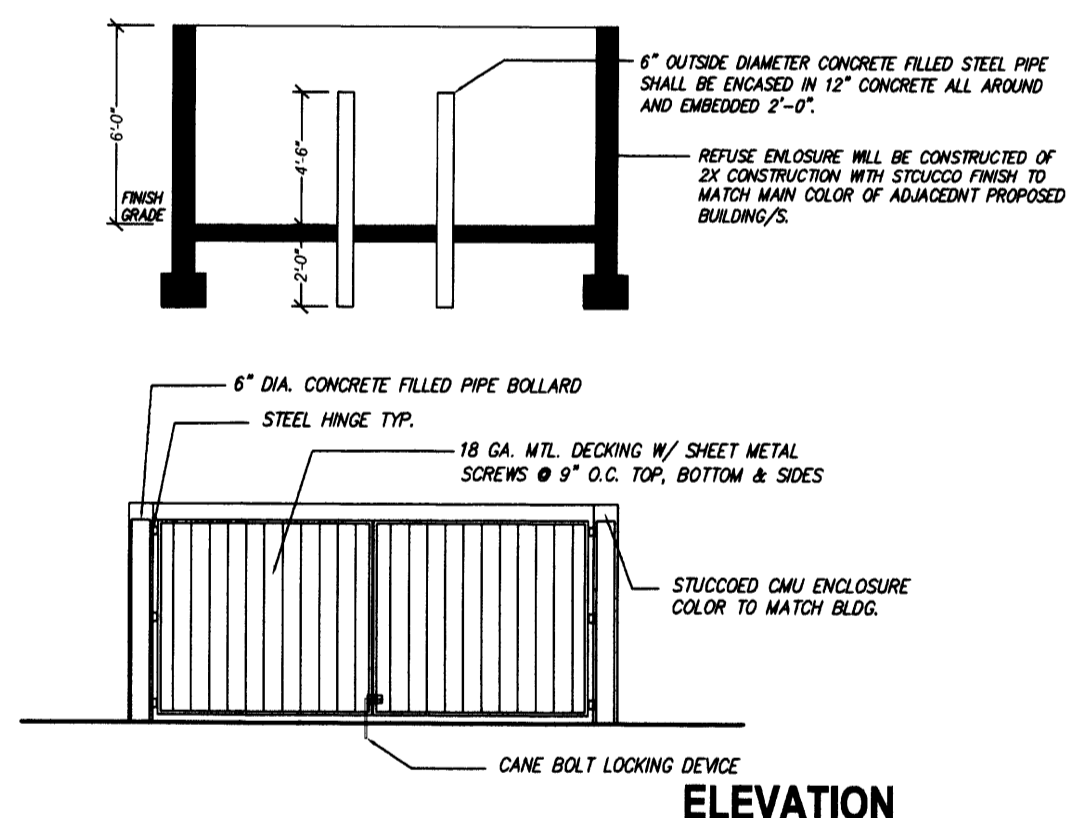
**6 CURB DETAIL**  
AS3 SCALE: N.T.S.



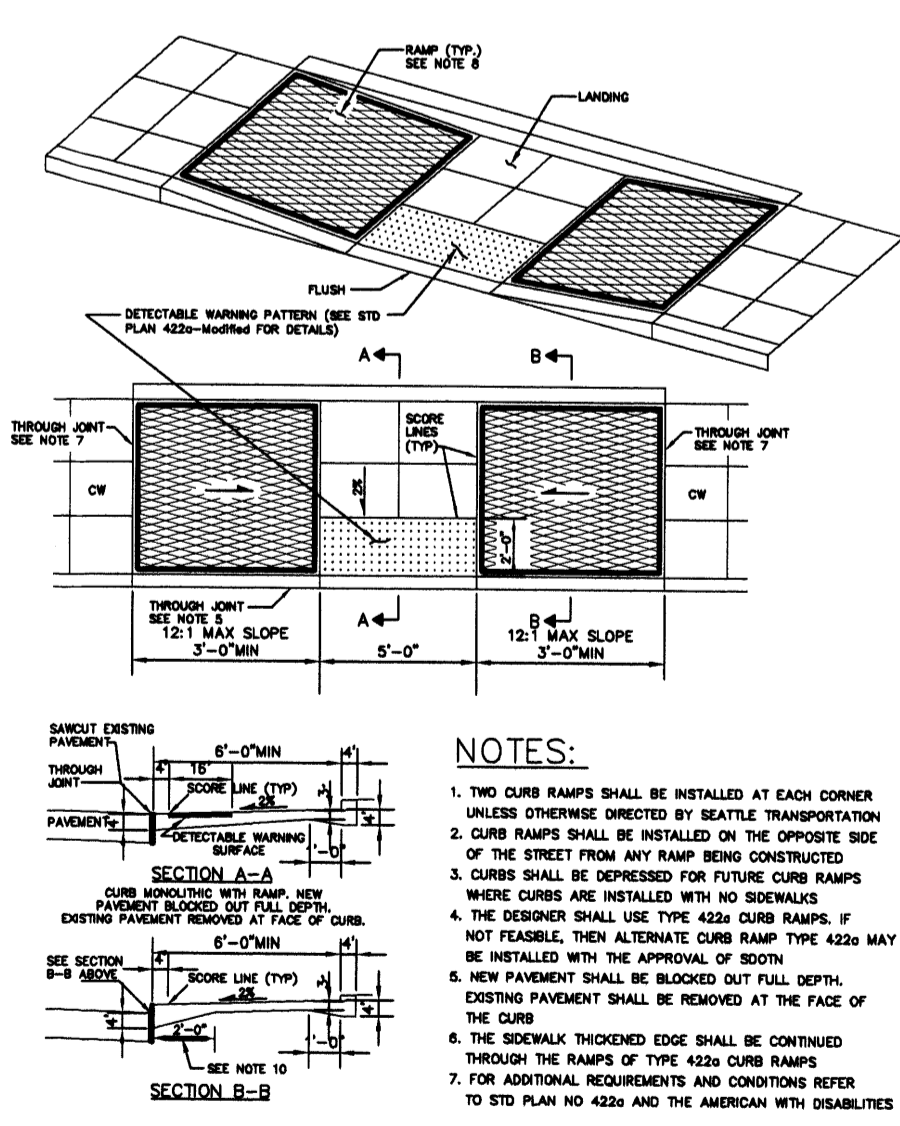
**7 SITE LIGHTING DETAIL**  
AS3 SCALE: N.T.S.



**8 RAMP DETAIL**  
AS3 SCALE: N.T.S.



**9 RAMP DETAIL**  
AS3 SCALE: N.T.S.



**10 RAMP DETAIL**  
AS3 SCALE: N.T.S.

**KEY NOTES**

- HANDICAP RAMP DETAIL (SEE 1/AS3)
- BIKE RACK (SEE 2/AS3)
- ACCESSIBLE PARKING SIGN (SEE 3/AS3)
- CURB & GUTTER (SEE 4/AS3)
- TRASH ENCLOSURE (SEE 5/AS3)
- CURB /SIDEWALK DETAIL (SEE 6/AS3)
- SITE LIGHTING, 20' MAX HEIGHT (SEE 7/AS3)
- HANDICAP RAMP DETAIL (SEE 8/AS3)
- HANDICAP RAMP DETAIL (SEE 9/AS3)
- SITE BENCH SEATING (TO BE DETERMINED BY OWNER/CONTRACTOR)

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GEORGE RAINHART ARCHITECT AND ASSOCIATES PC  
2325 SAN PEDRO N.E. SUITE 2-B  
ALBUQUERQUE, NEW MEXICO 87110  
PHONE (505) 884-9110 FAX (505) 837-9877

PRELIMINARY  
NOT FOR  
CONSTRUCTION

PROJECT TITLE  
**DEL NORTE PLAZA**  
SAN PEDRO & PASEO DEL NORTE  
ALBUQUERQUE, NEW MEXICO

PROJECT MANAGER  
JOB NO. 0536A

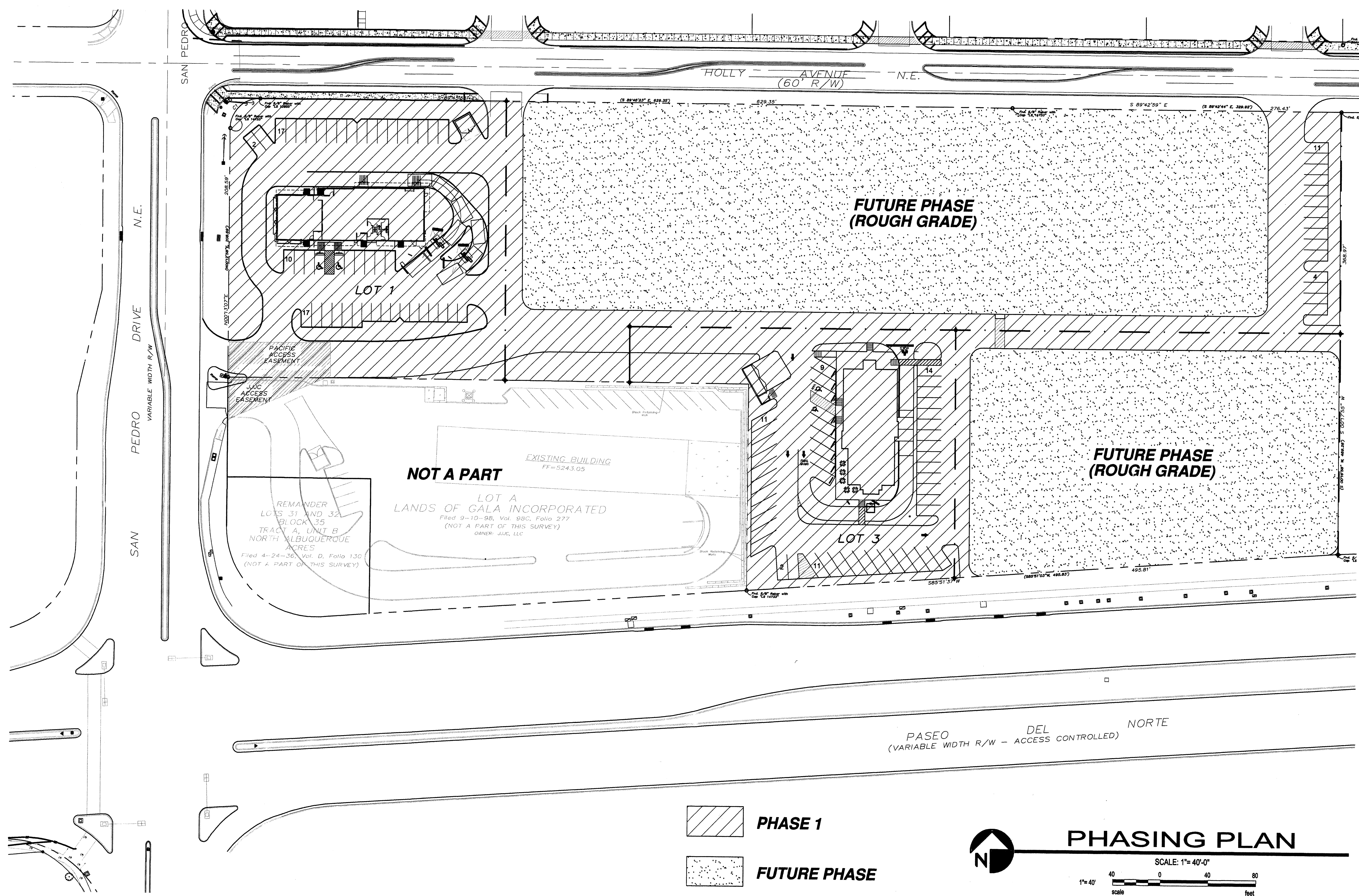
DRAWN BY:  
WRS

SHEET TITLE  
**SITE DETAILS**

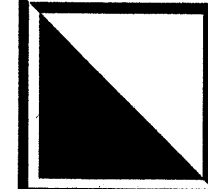
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**GEORGE RAINHART ARCHITECT AND ASSOCIATES PC**  
 2325 SAN PEDRO N.E. SUITE 2-B  
 ALBUQUERQUE, NEW MEXICO 87110  
 PHONE (505) 884-9110 FAX (505) 837-9877

**PRELIMINARY**  
**NOT FOR**  
**CONSTRUCTION**

PROJECT TITLE	DEL NORTE PLAZA	PROJECT MANAGER	WRS
	SAN PEDRO & PASEO DEL NORTE	JOB NO.	0536A
	ALBUQUERQUE, NEW MEXICO	DRAWN BY:	WRS
SHEET TITLE	<b>PHASING PLAN</b>		

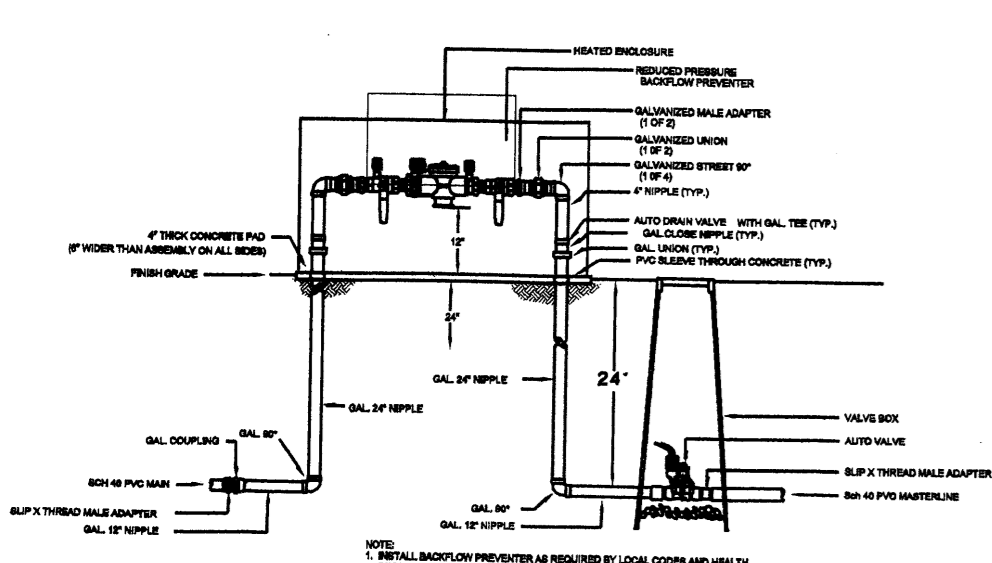
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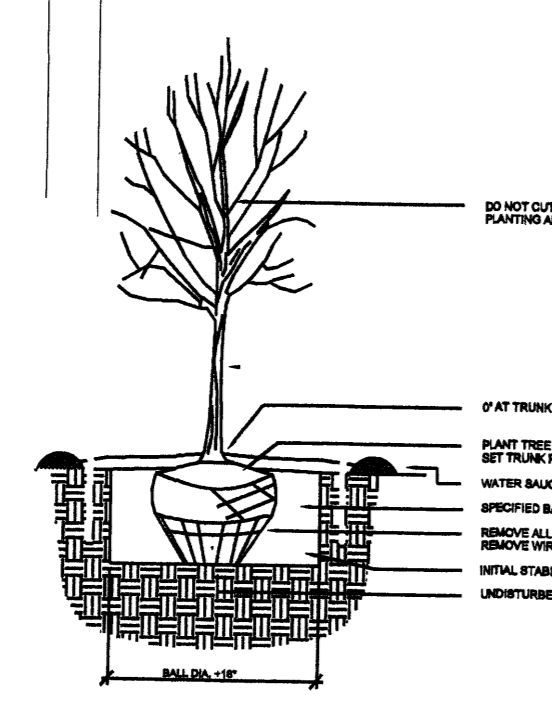
**PLANT LEGEND**

Qty.	Symbol	Scientific Name Common Name	Size	Water Use
<b>Trees</b>				
18		Chilopsis linearis Desert Willow	15-Gal	Low +
14		Crataegus phaenopyrum Washington Hawthorn	2" B&B	Medium+
22		Forestiera neomexicana New Mexico Olive	15-Gal	Medium
16		Fraxinus velutina 'Modesto' Modesto Ash	2" B&B	Medium +
11		Gleditsia triacanthos Honeylocust	2" B&B	Medium
24		Pinus nigra Austrian Pine	5'-6"	Medium
9		Pistacia chinensis Chinese Pistache	2" B&B	Medium +
25		Prunus calleryana Flowering Pear	15-Gal	Medium +
23		Quercus buckleyi Texas Red Oak	2" B&B	Medium
<b>Shrubs/Groundcovers</b>				
11		Buddleia davidii Butterfly Bush	5-Gal	Medium
67		Caryopteris clandonensis Blue Mist	1-Gal	Medium
23		Elaeagnus Silverberry	5-Gal	Low +
53		Cotoneaster parneyi Clusterberry	5-Gal	Medium
73		Ericameria laricifolia 'Aguirre' Turpentine Bush	5-Gal	Low+
24		Hesperaloe parviflora Red Yucca	5-Gal	Low+
68		Baccharis Dwarf Coyotebush	5-Gal	Low +
15		Potentilla fruticosa Shrubby Cinquefoil	5-Gal	Medium+
52		Prunus besseyi Western Sand Cherry	5-Gal	Medium
78		Rhus Gro Low Sumac	5-Gal	Low+
26		Rosmarinus officinalis Rosemary	5-Gal	Low +
32		Cornus Red Twig Dogwood	5-Gal	Low +
<b>Ornamental Grasses</b>				
35		Calamagrostis acutiflora Karl Foerster Grass	5-Gal	Medium
58		Miscanthus sinensis 'Gracillimus' Maiden Grass	5-Gal	Medium
25		Muhlenbergia capillaris 'Regal Mist' Regal Mist	1-Gal	Medium

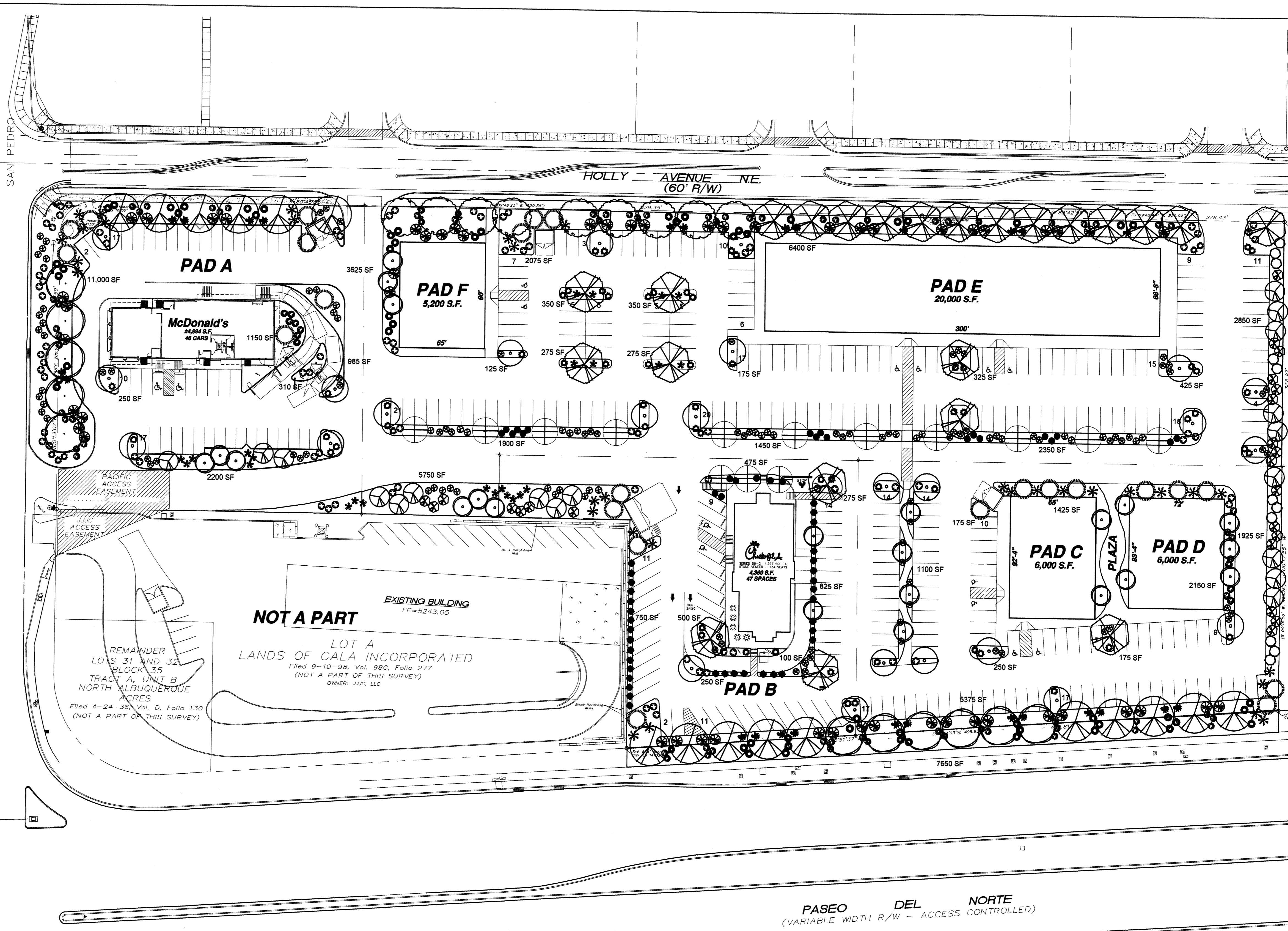
DATE: 11.13.2007  
 DRAWN BY: WRS  
 CHECKED BY: WRS  
 PROJECT NO: 0536A



Mastervalue w/RPBA



1  
1100 Deciduous Tree



**SITE DATA**

GROSS LOT AREA	374,684 SF
LESS BUILDING(S)	48,915 SF
NET LOT AREA	327,749 SF
REQUIRED LANDSCAPE	15% OF NET LOT AREA
PROPOSED LANDSCAPE	49,162 SF
PERCENT OF NET LOT AREA	67,995 SF
	20 %
REQUIRED STREET TREES	PROVIDED AT 30' O.C. SPACING ALONG STREET
REQUIRED PARKING LOT TREES	PROVIDED AT 1 PER 10 SPACES (342 SPACES/10)
	56
	34

**NOTE**  
 MAINTENANCE OF LANDSCAPE AND IRRIGATION PROVIDED BY OWNER

PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION SYSTEM WITH REDUCED PRESSURE BACKFLOW PREVENTER (WILKINS MODEL 975) PER CITY OF ALBUQUERQUE

WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER

THIS PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE PLANTING RESTRICTIONS APPROACH

IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN. 75% LIVE GROUND COVER OF LANDSCAPE AREAS AT MATURITY

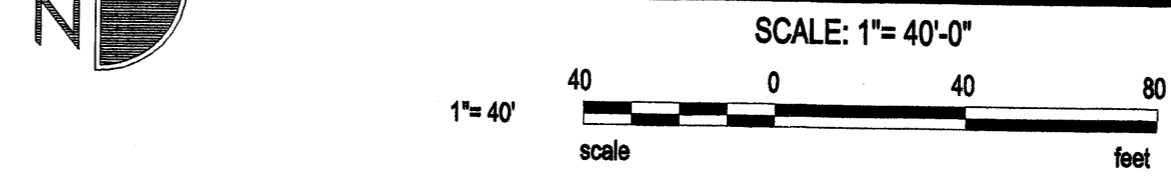
LANDSCAPE AREAS TO BE MULCHED WITH GRAVEL MULCH AT 2"-3" DEPTH OVER FILTER FABRIC

APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE OR IMPLY COMPLIANCE WITH, OR EXEMPTION FROM, THE C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE

TREES ARE NOT TO BE PLACED IN PUBLIC UTILITY EASEMENTS

NO PARKING SPACE SHALL BE MORE THAN 100' FROM A TREE.

**OVERALL LANDSCAPE PLAN**



Growing Better  
**Up**  
HEADS  
LANDSCAPE CONTRACTORS  
www.headsuplandscape.com

P.O. BOX 10597  
 Albuquerque, NM 87114  
 505.898.9615  
 505.898.2105 (fax)  
 design@hulc.com

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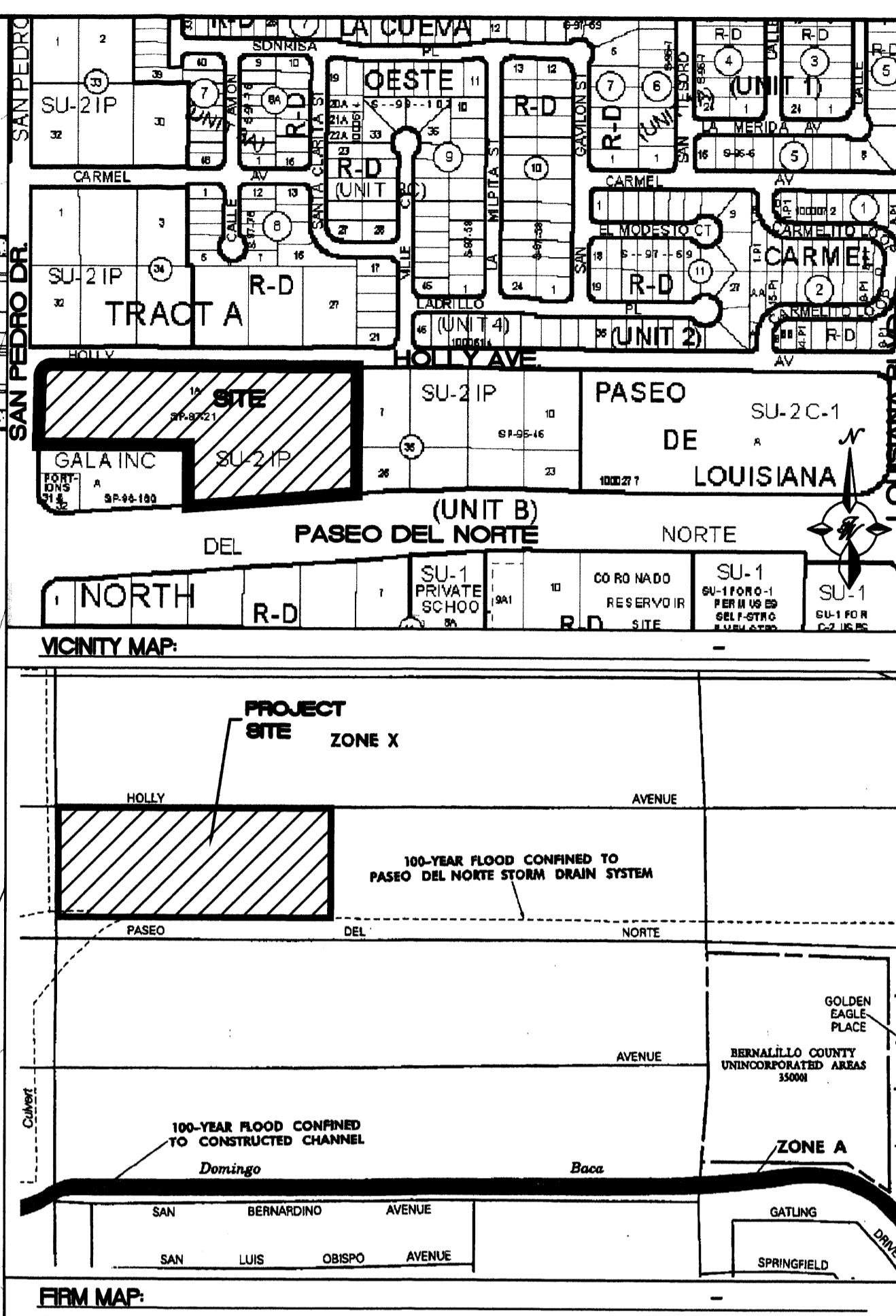
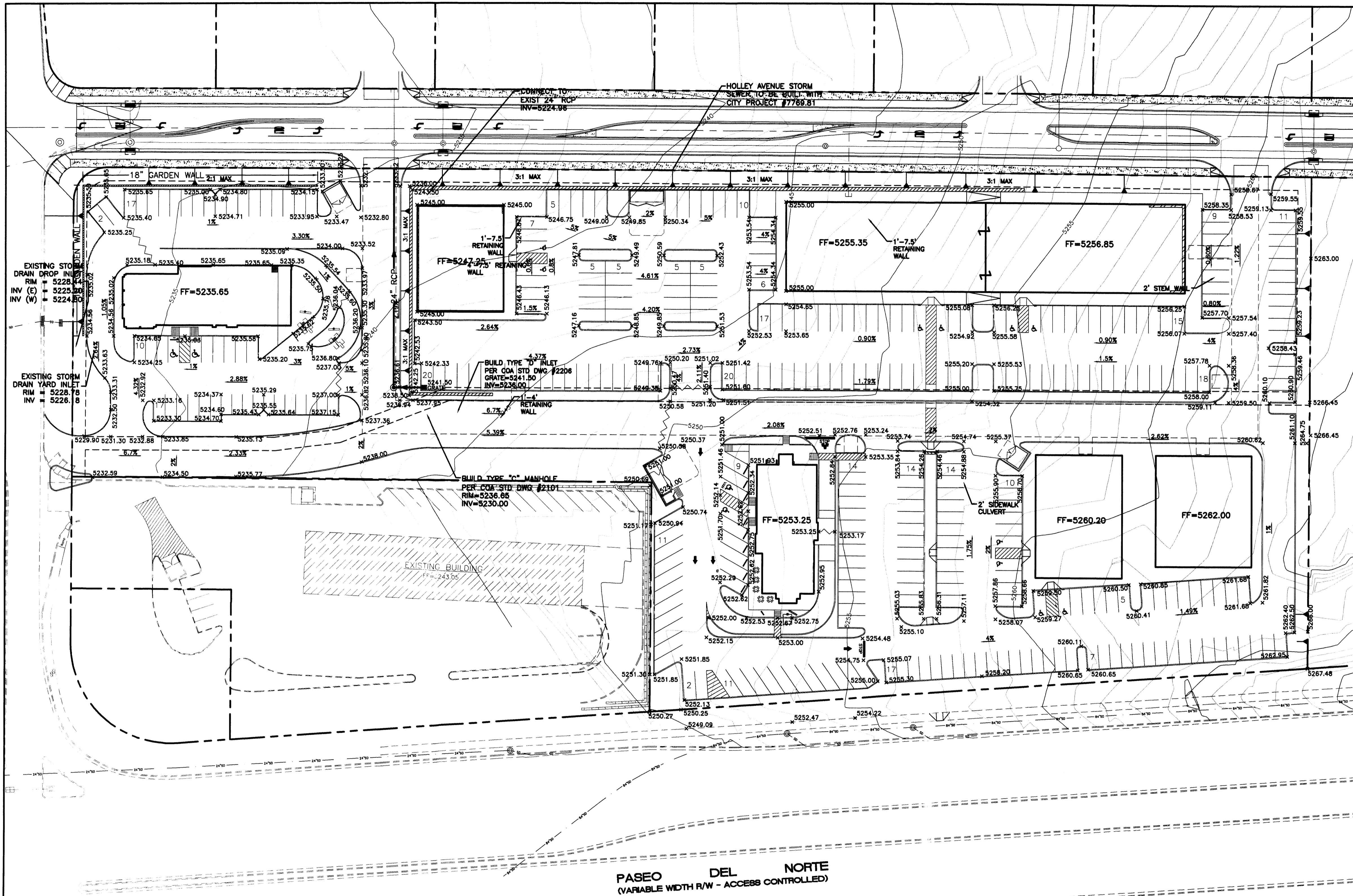
PROJECT TITLE: DEL NORTE PLAZA  
 SAN PEDRO & PASEO DEL NORTE  
 ALBUQUERQUE, NEW MEXICO

PROJECT MANAGER: [Name]  
 JOB NO.: 0536A  
 DRAWN BY: WRS

GEORGE RAINHART ARCHITECT AND ASSOCIATES PC  
 2325 SAN PEDRO N.E. SUITE 2-B  
 ALBUQUERQUE, NEW MEXICO 87110  
 PHONE (505) 884-9110 FAX (505) 837-9877

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DATE:	11.13.2007	sheet:	LS1
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**LEGEND**

	PROPOSED CURB & GUTTER
	BOUNDARY LINE
	PROPOSED SIDEWALK
	PROPOSED RETAINING WALL
	FLOW ARROW
	SLOPE TIE
	PROPOSED SPOT ELEVATION
	PROPOSED STORM SEWER LINE
	PROPOSED STORM SEWER MANHOLE
	PROPOSED SNGL. "D" INLET
	DIRECTION OF FLOW
	CENTERLINE
	EXISTING CURB & GUTTER
	EXISTING SIDEWALK
	EASEMENT
	EXISTING CONTOUR
	EXISTING INDEX CONTOUR
	EXISTING SPOT ELEVATION
	EXISTING STORM SEWER MANHOLE
	EXISTING STORM SEWER INLET
	EXISTING STORM SEWER LINE
	GRADE BREAK LOCATIONS

**EROSION CONTROL PLAN, NPDES PERMIT AND POLLUTION PREVENTION NOTES**

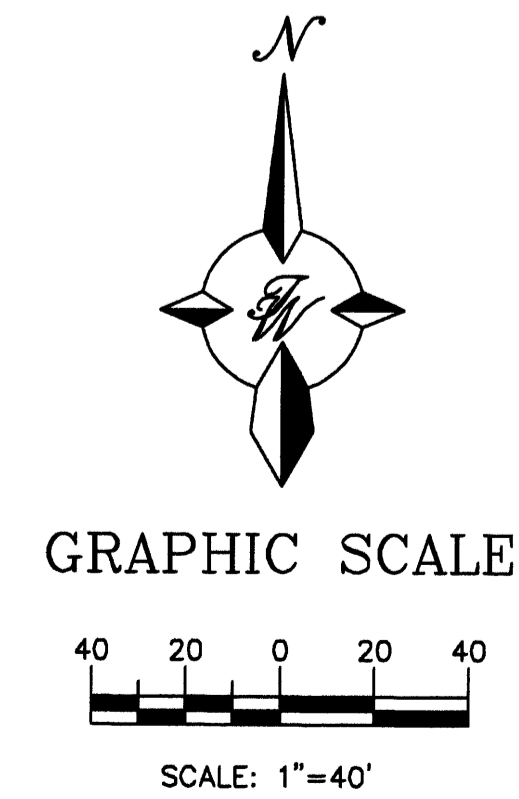
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUN OFF ON SITE.
- REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
- ALL SITES OVER 1 ACRE DISTURBANCE REQUIRE FEDERAL NPDES PERMIT.

ROUGH GRADING APPROVAL \_\_\_\_\_ DATE \_\_\_\_\_

**NOTICE TO CONTRACTORS**

- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HERON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVAL	NAME	DATE
INSPECTOR		



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PROJECT TITLE: DEL NORTE PLAZA  
SAN PEDRO & PASEO DEL NORTE  
ALBUQUERQUE, NEW MEXICO

JOB NO.: 24065

PROJECT MANAGER: JN

DRAWN BY: ET

SHEET TITLE: GRADING AND DRAINAGE PLAN

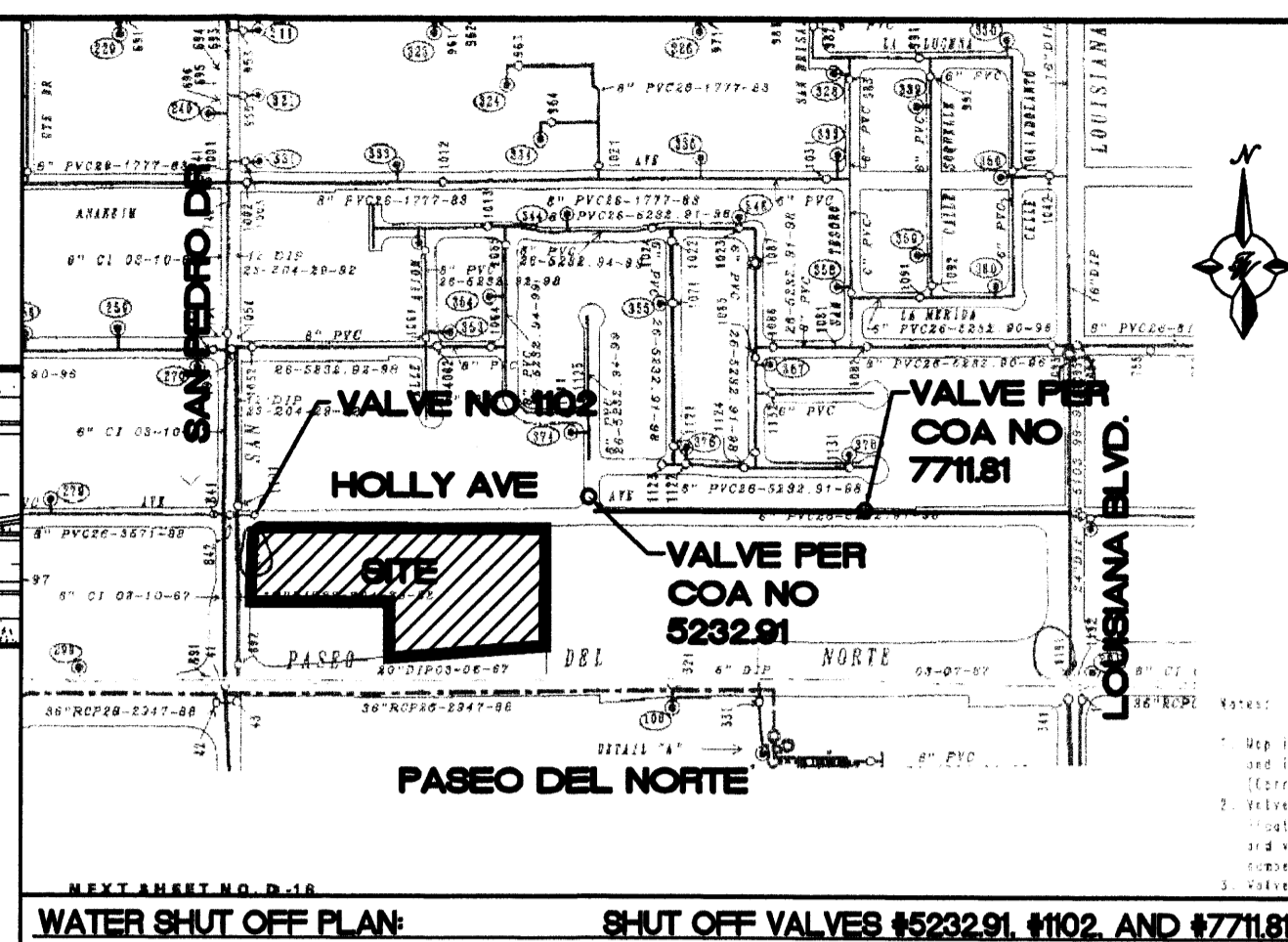
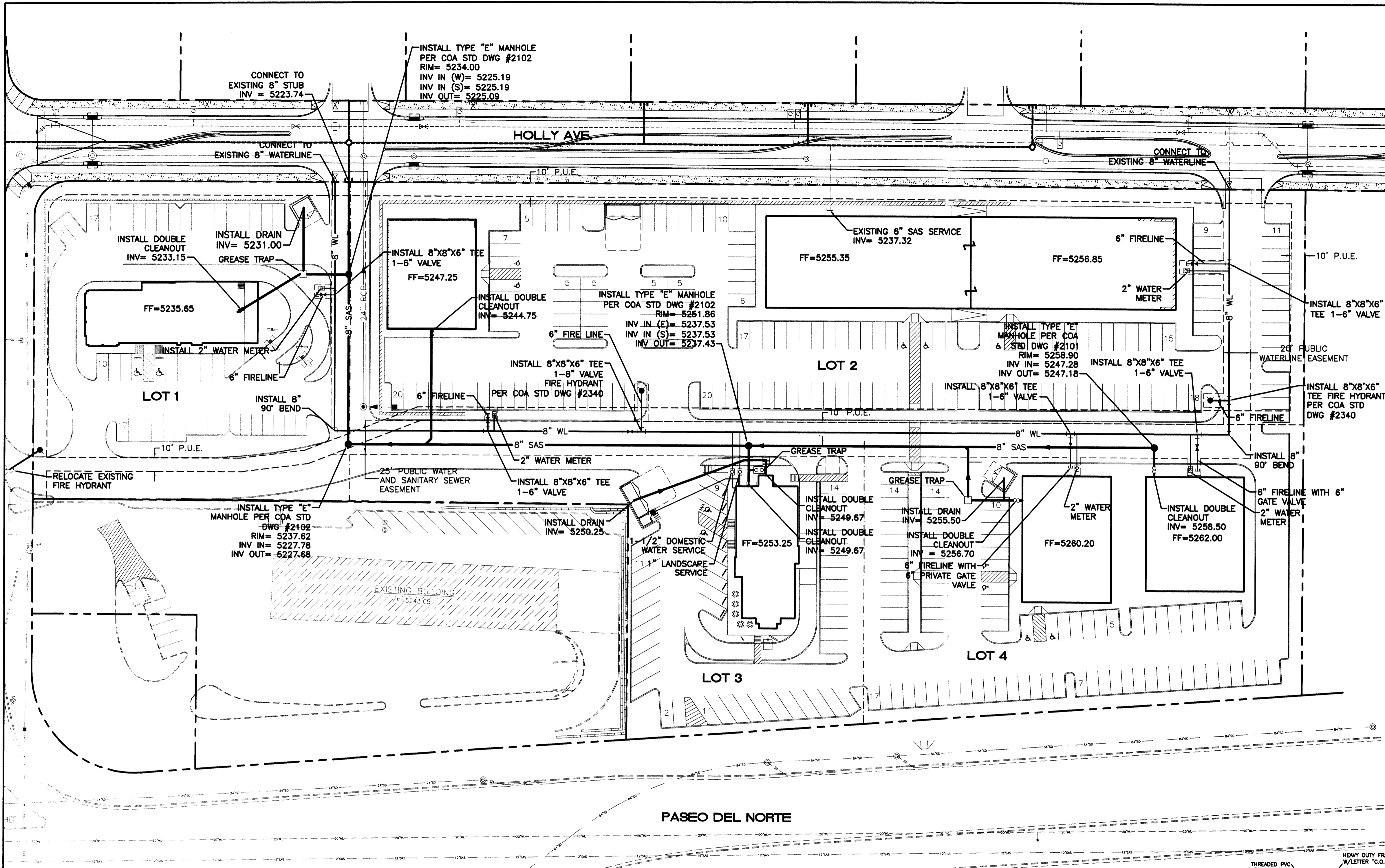
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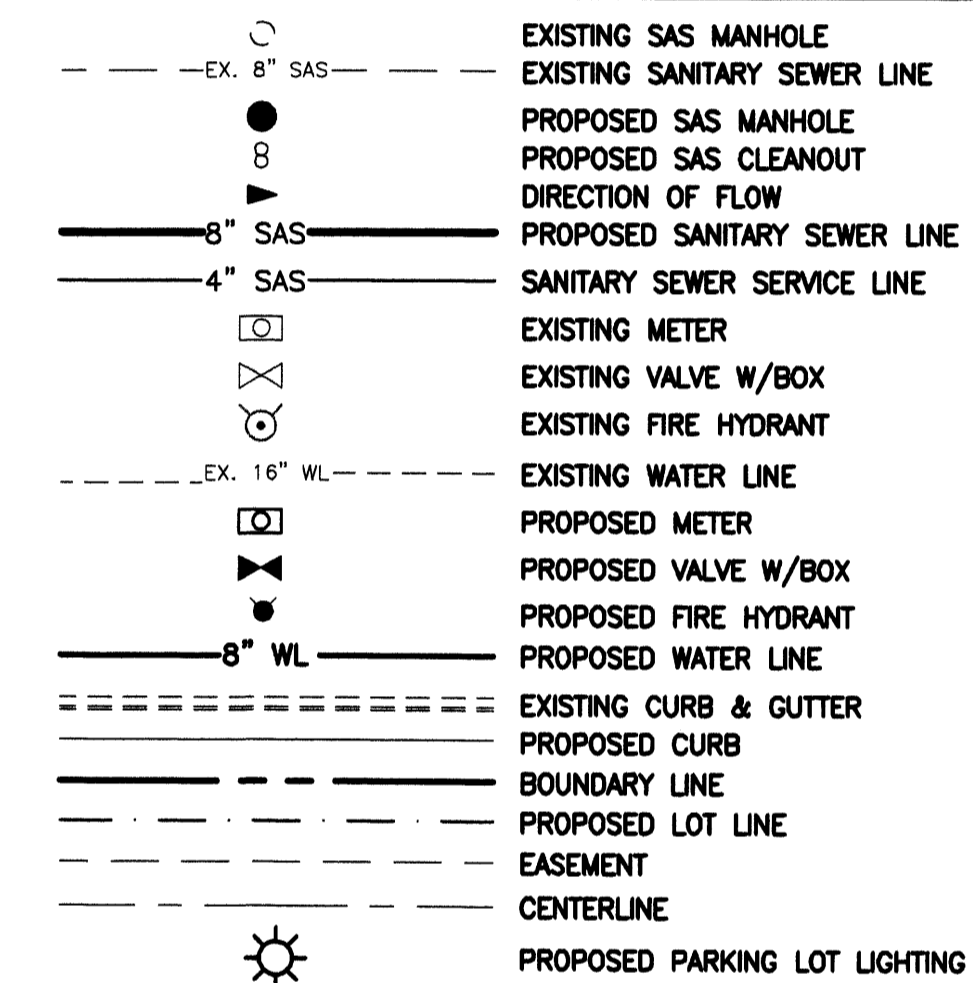
GEORGE RAINHART ARCHITECT AND ASSOCIATES PC  
2325 SAN PEDRO N.E. SUITE 2-B  
ALBUQUERQUE, NEW MEXICO 87110  
PHONE (505) 884-9110 FAX (505) 837-9877



WATER SHUT OFF PLAN: SHUT OFF VALVES #5232.91, #1102, AND #77181

- WATER SHUT OFF PLAN NOTES:**
1. ONLY WATER SYSTEMS PERSONNEL ARE AUTHORIZED TO OPERATE VALVES.
  2. NOTIFY CITY OF ALBUQUERQUE, WATER SYSTEMS DIVISION (PHONE 857-8200) SEVEN (7) WORKING DAYS IN ADVANCE OF NEEDING EXECUTION OF THE WATER SHUT OFF PLAN.
  3. APPROXIMATE SHUT OFF TIME WILL BE 24 HOURS.
  4. SHUT OFF THE VALVES INDICATED IN THE ABOVE PLAN. TO BE DONE ONLY IN THE EVENT OF EMERGENCY. CONNECTION TO EXISTING WATER LINE TO BE PRESSURIZED.

**LEGEND**



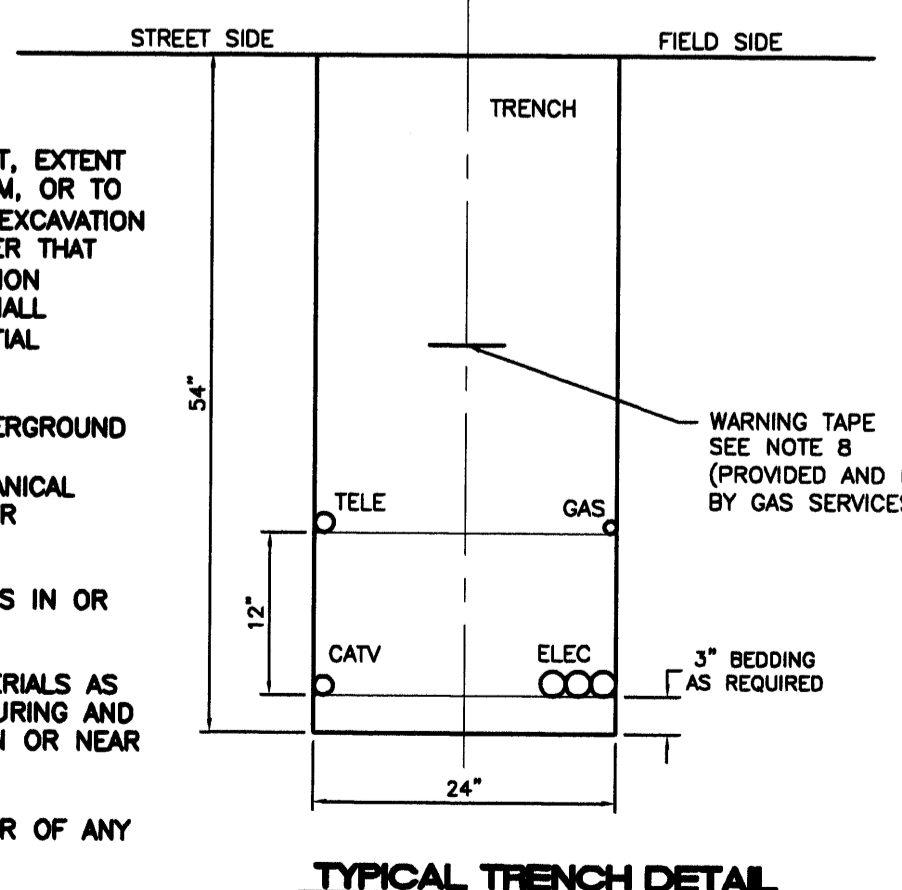
**GENERAL NOTES**

1. ALL 8" SANITARY SEWER PIPE TO BE SDR-35.
2. ALL 6" AND 8" WATERLINE PIPE TO BE C-900.
3. ALL SANITARY SEWER SERVICE PIPE TO BE 4" PVC.
4. ALL WATERLINE SERVICE PIPE TO MATCH DESIGNATED METER SIZE AND BE OF PVC MATERIAL.
5. 4" MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
6. REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
7. CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
8. ALL BLOCKING IS PER CITY OF ALBUQUERQUE STANDARD DWG. 2320.
9. ALL PIPE MATERIAL TO BE USED PER UPC.

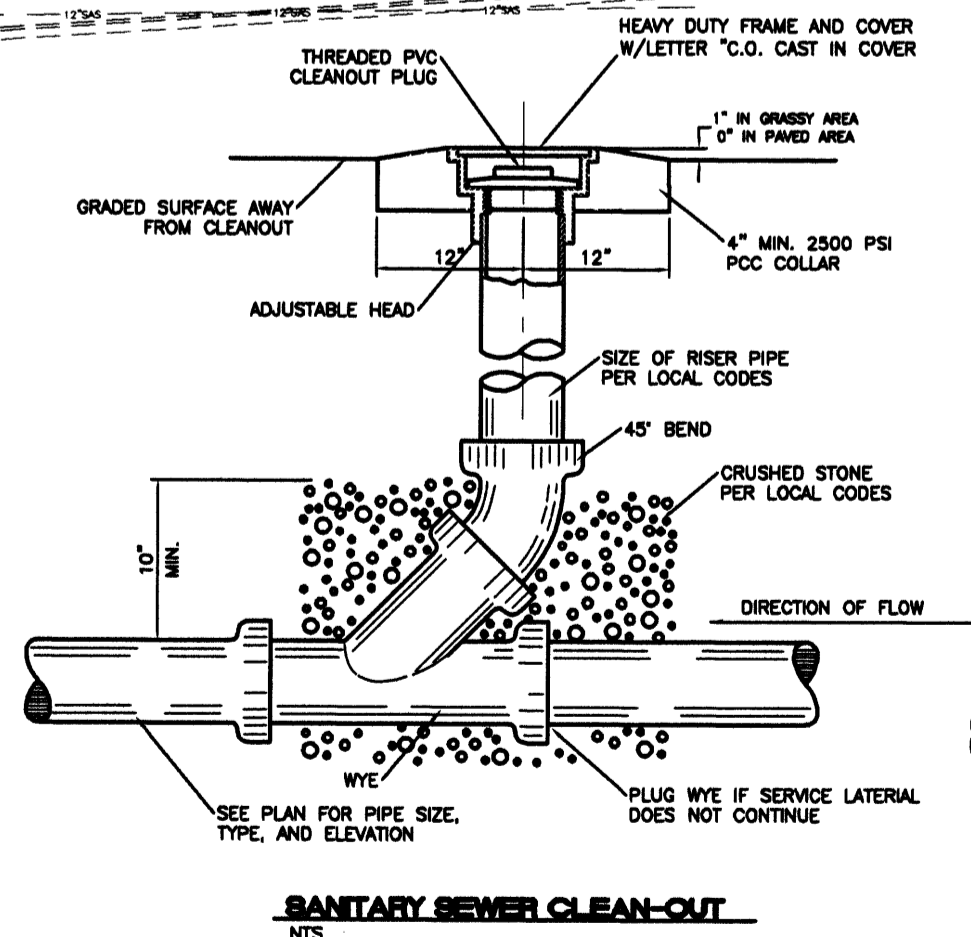
**NOTICE TO CONTRACTORS**

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
8. CONTRACTOR IS RESPONSIBLE TO PROVIDE UTILITY STUBS 5' FROM BUILDING
9. CONTRACTOR SHALL DETERMINE LOCATION OF ANY UNDERGROUND FACILITY IN OR NEAR WORK AREAS, INCLUDING REQUESTS TO OWNERS/OPERATORS OF SAID FACILITIES PER SECTION 62-14-5 NMSA 1978.
10. CONTRACTOR SHALL PLAN ALL EXCAVATION TO MINIMIZE INTERFERENCE OF DAMAGE OF UNDERGROUND FACILITIES.

11. CONTRACTOR SHALL PROVIDE ADVANCE TELEPHONE NOTICE OF COMMENCEMENT, EXTENT AND DURATION OF ALL EXCAVATION WORK TO THE ONE-CALL NOTIFICATION SYSTEM, OR TO OWNERS/OPERATORS OF ANY EXISTING UNDERGROUND FACILITY IN OR NEAR THE EXCAVATION AREA THAT ARE NOT MEMBERS OF THE ONE-CALL NOTIFICATION CENTER; IN ORDER THAT OWNERS/OPERATORS MAY LOCATE AND MARK UNDERGROUND FACILITIES PER SECTION 62-14-5 NMSA 1978 PRIOR TO ANY COMMENCEMENT OF WORK. CONTRACTOR SHALL REQUEST REAFFIRMATION OF LOCATING EVERY TEN (10) WORKING DAYS AFTER INITIAL REQUEST.
12. CONTRACTOR SHALL MAINTAIN EIGHTEEN (18) INCHES BETWEEN EXISTING UNDERGROUND FACILITIES FOR WHICH HAVE BEEN PREVIOUSLY IDENTIFIED AND MARKED BY THE OWNERS/OPERATORS OF SAID FACILITIES. CUTTING EDGE OR POINT OF ANY MECHANICAL EXCAVATING EQUIPMENT UTILIZED IN EXCAVATION AREA WILL BE USED IN A MANNER NECESSARY TO PREVENT DAMAGE TO EXISTING UNDERGROUND FACILITIES.
13. CONTRACTOR SHALL PROVIDE SUPPORT FOR EXISTING UNDERGROUND FACILITIES IN OR NEAR EXCAVATION AREA AS NECESSARY TO PREVENT DAMAGE TO SAID FACILITIES.
14. CONTRACTOR SHALL BACKFILL ALL EXCAVATIONS IN A MANNER AND WITH MATERIALS AS MAY BE NECESSARY TO PREVENT DAMAGE TO AND PROVIDE RELIABLE SUPPORT DURING AND FOLLOWING BACK FILLING ACTIVITIES FOR PREEXISTING UNDERGROUND FACILITIES IN OR NEAR EXCAVATION AREA.
15. CONTRACTOR SHALL IMMEDIATELY NOTIFY BY TELEPHONE THE OWNER/OPERATOR OF ANY UNDERGROUND FACILITY WHICH MAY HAVE BEEN DAMAGED OR DISLOGGED DURING EXCAVATION WORK.
16. CONTRACTOR SHALL NOT MOVE OR OBLITERATE MARKINGS MADE PURSUANT TO CHAPTER 62, ARTICLE 14 NMSA 1978, OR FABRICATE MARKINGS IN AN UNMARKED LOCATION FOR THE PURPOSE OF CONCEALING OR AVOIDING LIABILITY FOR VIOLATION OF OR NONCOMPLIANCE WITH THE PROVISIONS OF CHAPTER 62, ARTICLE 11 NMSA 1978.

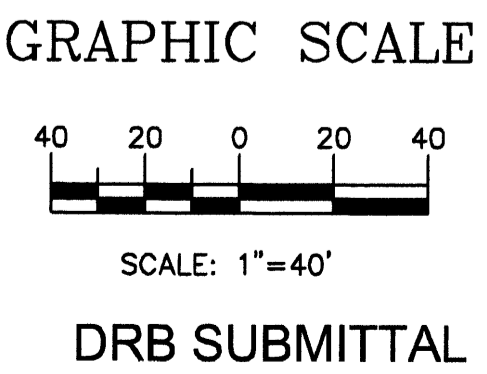


- GENERAL NOTES:**
1. COMPACTION IN CITY OR STATE RIGHT-OF-WAYS SHALL MEET OR EXCEED MINIMUM SPECIFIED REQUIREMENTS.
  2. SHADING AND BEDDING MATERIAL TO BE TYPE IV, CLASS 1 FOR DIRECT BURIED CABLE IN CONDUIT, TYPE III MATERIAL IS SUITABLE FOR EITHER TYPE OF INSTALLATION. REFER TO DS-10-12.4 FOR FILL MATERIAL REQUIREMENTS.
  3. IF TRENCH-RUN MATERIAL MEETS BACK FILL MATERIAL REQUIREMENTS TYPE REQUIREMENTS, 3" BEDDING MAY BE OMITTED PROVIDED THE TRENCH BOTTOM IS SMOOTH, FLAT AND WITHOUT SURFACE IRREGULARITIES.
  4. SEPARATION BETWEEN JACKETED PRIMARY AND COMMUNICATION CABLE SHALL BE AT LEAST 12".
  5. SPOIL PILE SHALL BE PLACED ON THE FIELD SIDE A MINIMUM OF 2' FROM TRENCH EDGE.
  6. WATER LINES SHALL MAINTAIN 12" MINIMUM HORIZONTAL SEPARATION FROM OTHER UTILITIES AND MAY BE INSTALLED EITHER ABOVE OR BELOW OTHER UTILITIES DEPENDING ON FREEZE DEPTH.
  7. LATEST OSHA TRENCH SAFETY REQUIREMENTS SHALL BE STRICTLY OBSERVED.
  8. WARNING TAPE SHALL BE PLACED A MINIMUM OF 12" ABOVE THE UPPER LEVEL OF UTILITIES AT THE CENTER OF TRENCH.



**SANITARY SEWER DOUBLE CLEAN-OUT**

**CAUTION:**  
ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



REV	DATE	BY	REVISION

GEORGE RAINHART ARCHITECT AND ASSOCIATES PC  
2325 SAN PEDRO N.E., SUITE 2-B  
ALBUQUERQUE, NEW MEXICO 87110  
PHONE (505) 884-9110 FAX (505) 837-9877

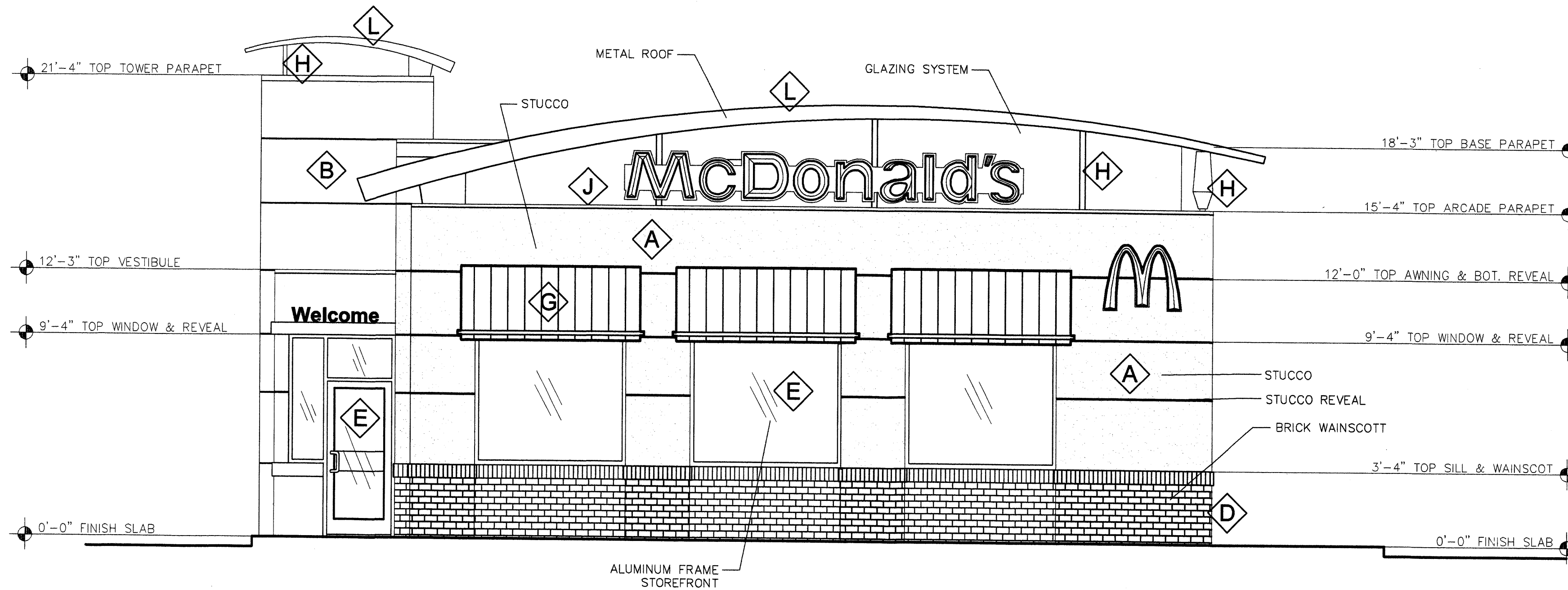
PRELIMINARY  
NOT FOR  
CONSTRUCTION

PROJECT TITLE: DEL NORTE PLAZA  
SAN PEDRO & PASEO DEL NORTE  
ALBUQUERQUE, NEW MEXICO

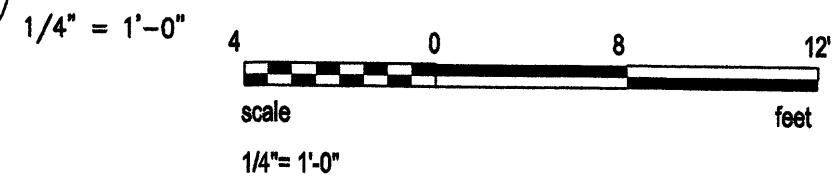
PROJECT MANAGER: JN  
JOB NO.: 24665  
DRAWN BY: ET  
SHEET TITLE: MASTER UTILITY PLAN

DATE: 11.13.2007  
SCALE: 1"=40'-0"  
sheet: C2 of

DRB SUBMITTAL

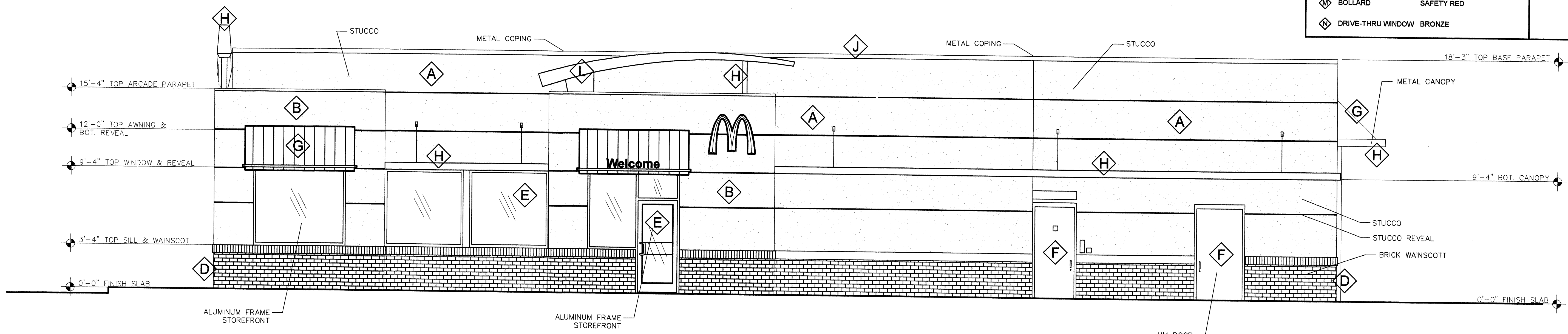


1 FRONT (WEST) ELEVATION

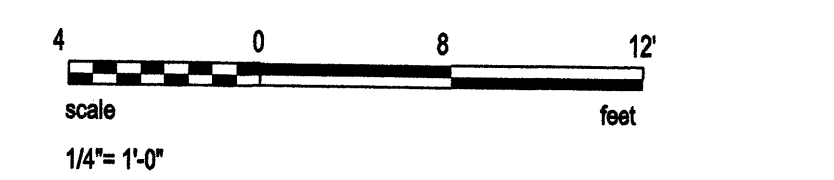


NOTES:  
 ALL MECH. EQUIP. SHALL BE SHIELDED  
 ALUM. STOREFRONT SHALL BE RECESSED 2"  
 FROM FACE OF STUCCO.  
 BUILDING SIGNAGE DETERMINED BY LOCAL  
 CODE. TENANT SIGNAGE TO BE APPROVED  
 BY ZONING AND DONE UNDER SEPARATE  
 ZONING PERMIT.  
 ALL BUILDING MATERIALS SHALL BE  
 NON-REFLECTIVE.

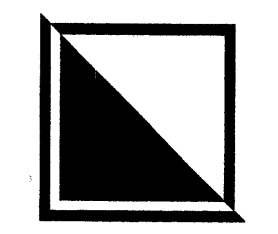
Keyed Color / Material Schedule		Common Name
◇	STUCCO EL REY 821 LARIAT	OFF WHITE/ LT.TAN
◇	STUCCO EL REY 803 SAGE	LT. TANYELLOW
◇	STUCCO EL REY 430 PEAK	LT. GREY
◇	BRICK WAINSCOT FIRE-BRICK RED	
◇	ALUM. STOREFRONT BRONZE	
◇	HOLLOW METAL DOOR PAINT TO MATCH ADJACENT FINISH	
◇	METAL AWNING GALVALUME	
◇	TUBE STEEL PAINT TO MATCH EL REY 430 - PEAK	
◇	METAL COPING SILVER	
◇	E.F.I.S. EL REY 430 PEAK	
◇	METAL ROOFING GALVALUME	
◇	BOLLARD SAFETY RED	
◇	DRIVE-THRU WINDOW BRONZE	



4 NON DRIVE-THRU (SOUTH) ELEVATION



REV	DATE	BY	REVISION
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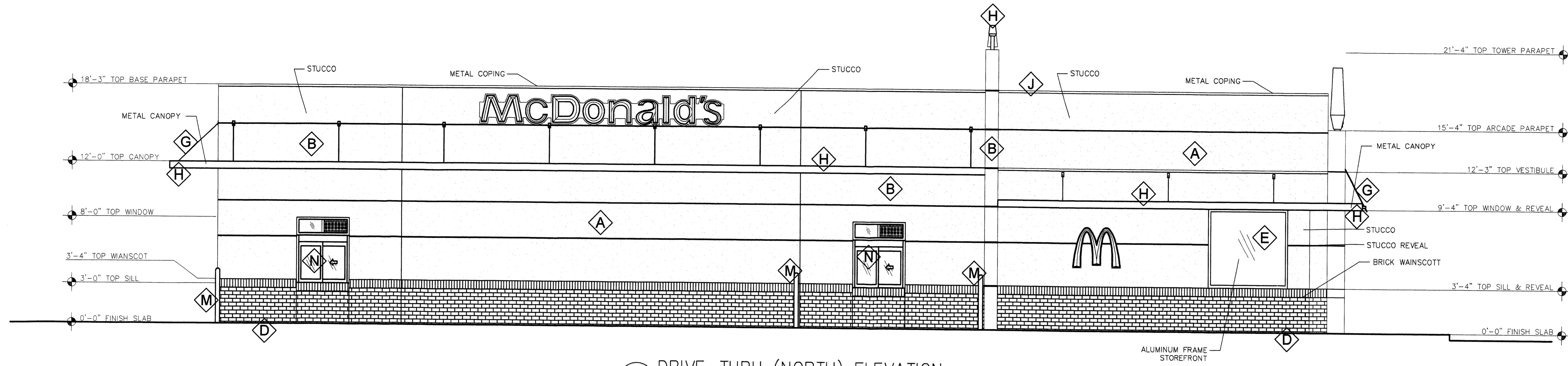
GEORGE RAINHART ARCHITECT AND ASSOCIATES PC  
 2325 SAN PEDRO N.E. SUITE 2-B  
 ALBUQUERQUE, NEW MEXICO 87110  
 PHONE (505) 884-9110 FAX (505) 837-9877

PRELIMINARY  
 NOT FOR  
 CONSTRUCTION

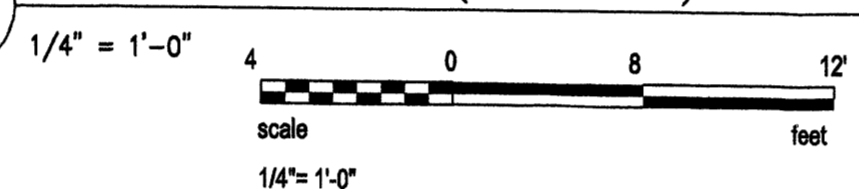
PROJECT TITLE  
**DEL NORTE PLAZA**  
 SAN PEDRO & PASEO DEL NORTE  
 ALBUQUERQUE, NEW MEXICO  
 PROJECT MANAGER  
 JOB NO. 0538A  
 DRAWN BY: JS  
 SHEET TITLE  
**McDonald's ELEVATIONS**

DATE: 11.13.2007  
 SCALE: AS NOTED  
 sheet: **A1**  
 of.

DRB SUBMITTAL

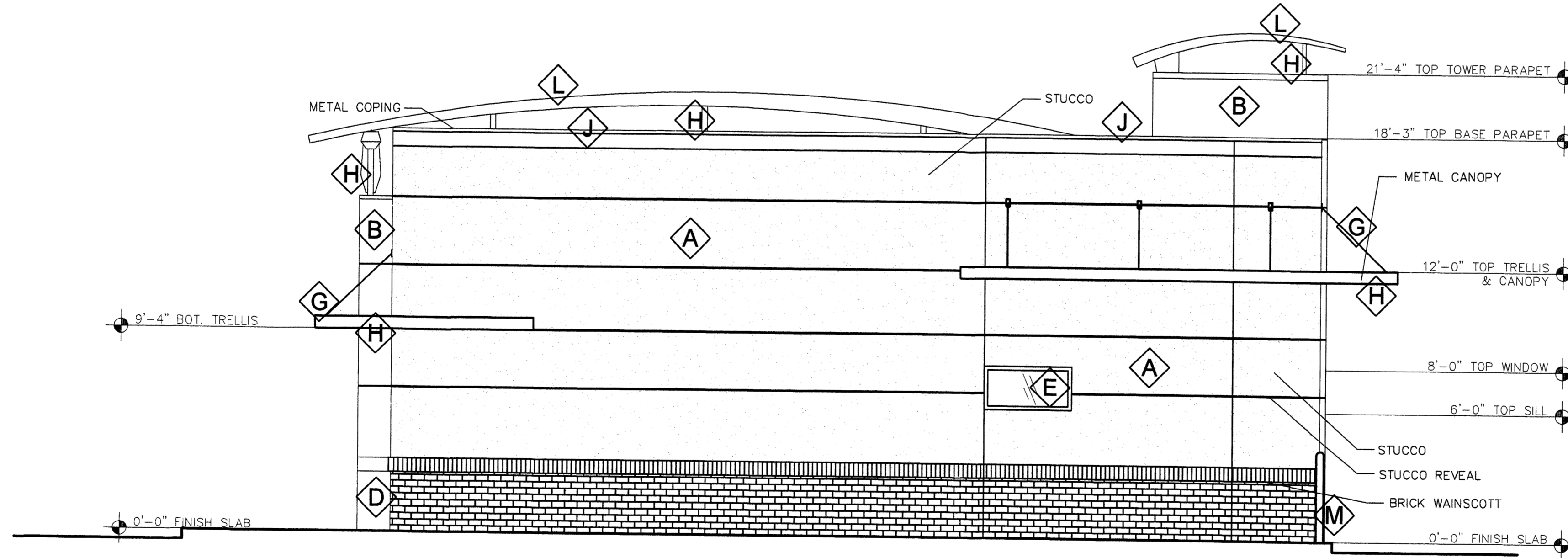


2 DRIVE-THRU (NORTH) ELEVATION

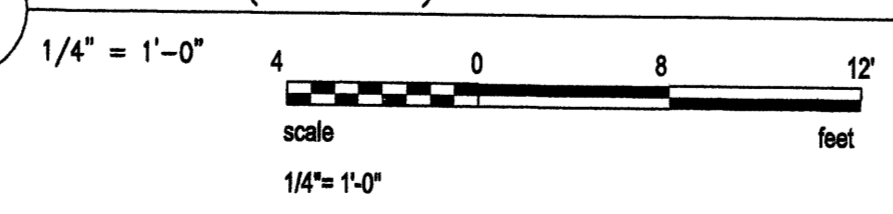


NOTES:  
 ALL MECH. EQUIP. SHALL BE SHIELDED  
 ALUM. STOREFRONT SHALL BE RECESSED 2" FROM FACE OF STUCCO.  
 BUILDING SIGNAGE DETERMINED BY LOCAL CODE. TENANT SIGNAGE TO BE APPROVED BY ZONING AND DONE UNDER SEPARATE ZONING PERMIT.  
 ALL BUILDING MATERIALS SHALL BE NON-REFLECTIVE.

Keyed Color / Material Schedule		Common Name
◇	STUCCO EL REY 821 LARIAT	OFF WHITE/ LT.TAN
◇	STUCCO EL REY 803 SAGE	LT. TANYELLOW
◇	STUCCO EL REY 430 PEAK	LT. GREY
◇	BRICK WAINSCOT FIRE-BRICK RED	
◇	ALUM. STOREFRONT BRONZE	
◇	HOLLOW METAL DOOR PAINT TO MATCH ADJACENT FINISH	
◇	METAL AWNING GALVALUME	
◇	TUBE STEEL PAINT TO MATCH EL REY 430 - PEAK	
◇	METAL COPING SILVER	
◇	E.F.I.S. EL REY 430 PEAK	
◇	METAL ROOFING GALVALUME	
◇	BOLLARD SAFETY RED	
◇	DRIVE-THRU WINDOW BRONZE	



3 REAR (EAST) ELEVATION



REV	DATE	BY	REVISION
1			
2			
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4			
5			

GEORGE RAINHART ARCHITECT AND ASSOCIATES PC  
 2325 SAN PEDRO N.E. SUITE 2-B  
 ALBUQUERQUE, NEW MEXICO 87110  
 PHONE (505) 884-9110 FAX (505) 837-9877

PRELIMINARY  
 NOT FOR  
 CONSTRUCTION

PROJECT TITLE  
**DEL NORTE PLAZA**  
 SAN PEDRO & PASEO DEL NORTE  
 ALBUQUERQUE, NEW MEXICO

PROJECT MANAGER  
 JOB NO. 0536A

DRAWN BY:  
 JS

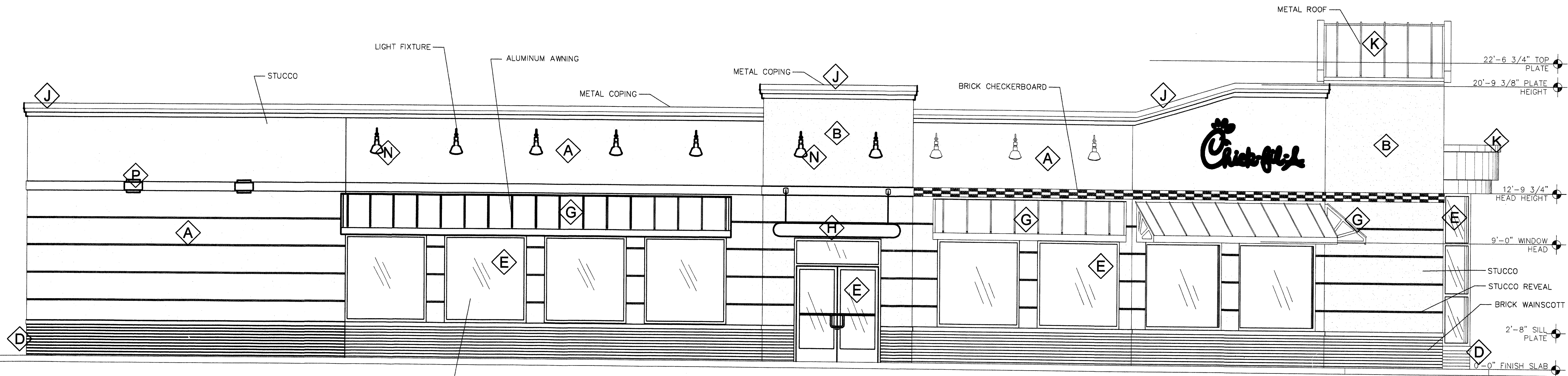
SHEET TITLE  
**McDonald's ELEVATIONS**

DATE:  
 11.13.2007

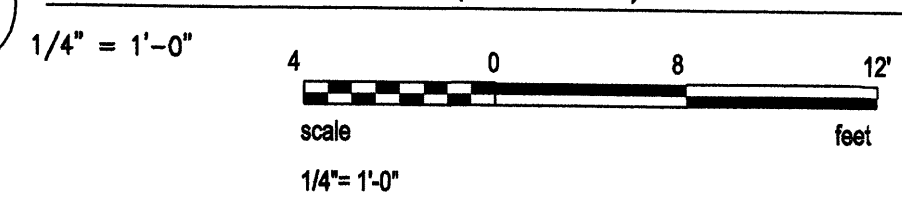
SCALE:  
 AS NOTED

sheet  
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 of



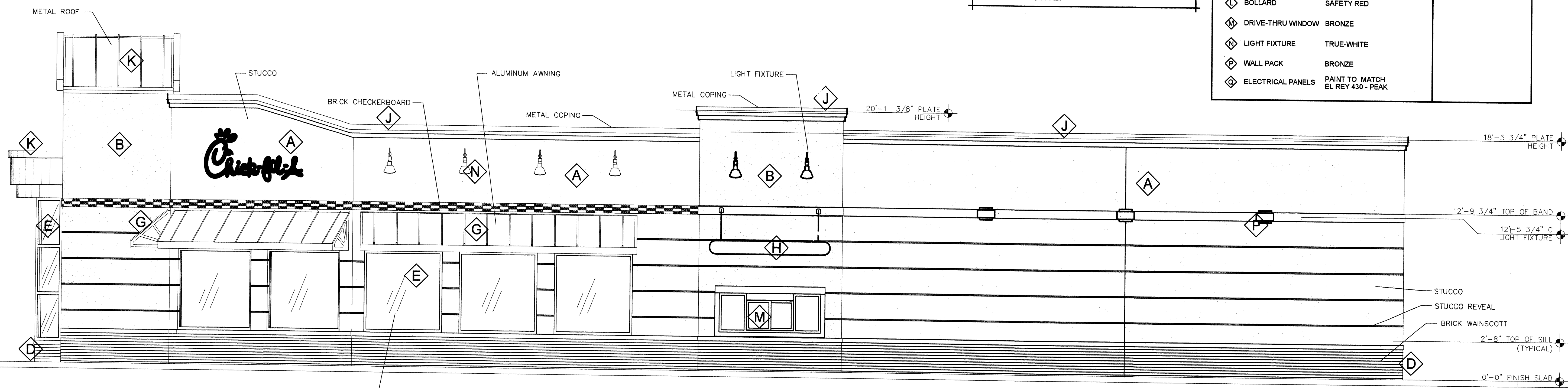


1 MAIN ENTRY (WEST) ELEVATION

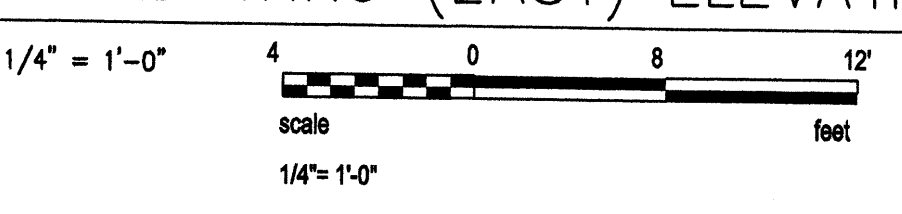


NOTES:  
 ALL MECH. EQUIP. SHALL BE SHIELDED  
 ALUM. STOREFRONT SHALL BE RECESSED 2\"/>

Keyed Color / Material Schedule		Common Name
◆	STUCCO EL REY 821 LARIAT	OFF WHITE/ LT.TAN
◆	STUCCO EL REY 803 SAGE	LT. TANYELLOW
◆	STUCCO EL REY 430 PEAK	LT. GREY
◆	BRICK WAINSCOT FIRE-BRICK RED	
◆	ALUM. STOREFRONT BRONZE	
◆	HOLLOW METAL DOOR PAINT TO MATCH ADJACENT FINISH	
◆	METAL AWNING GALVALUME	
◆	TUBE STEEL PAINT TO MATCH EL REY 430 - PEAK	
◆	METAL COPING SILVER	
◆	METAL ROOFING GALVALUME	
◆	BOLLARD SAFETY RED	
◆	DRIVE-THRU WINDOW BRONZE	
◆	LIGHT FIXTURE TRUE-WHITE	
◆	WALL PACK BRONZE	
◆	ELECTRICAL PANELS PAINT TO MATCH EL REY 430 - PEAK	



2 DRIVE-THRU (EAST) ELEVATION



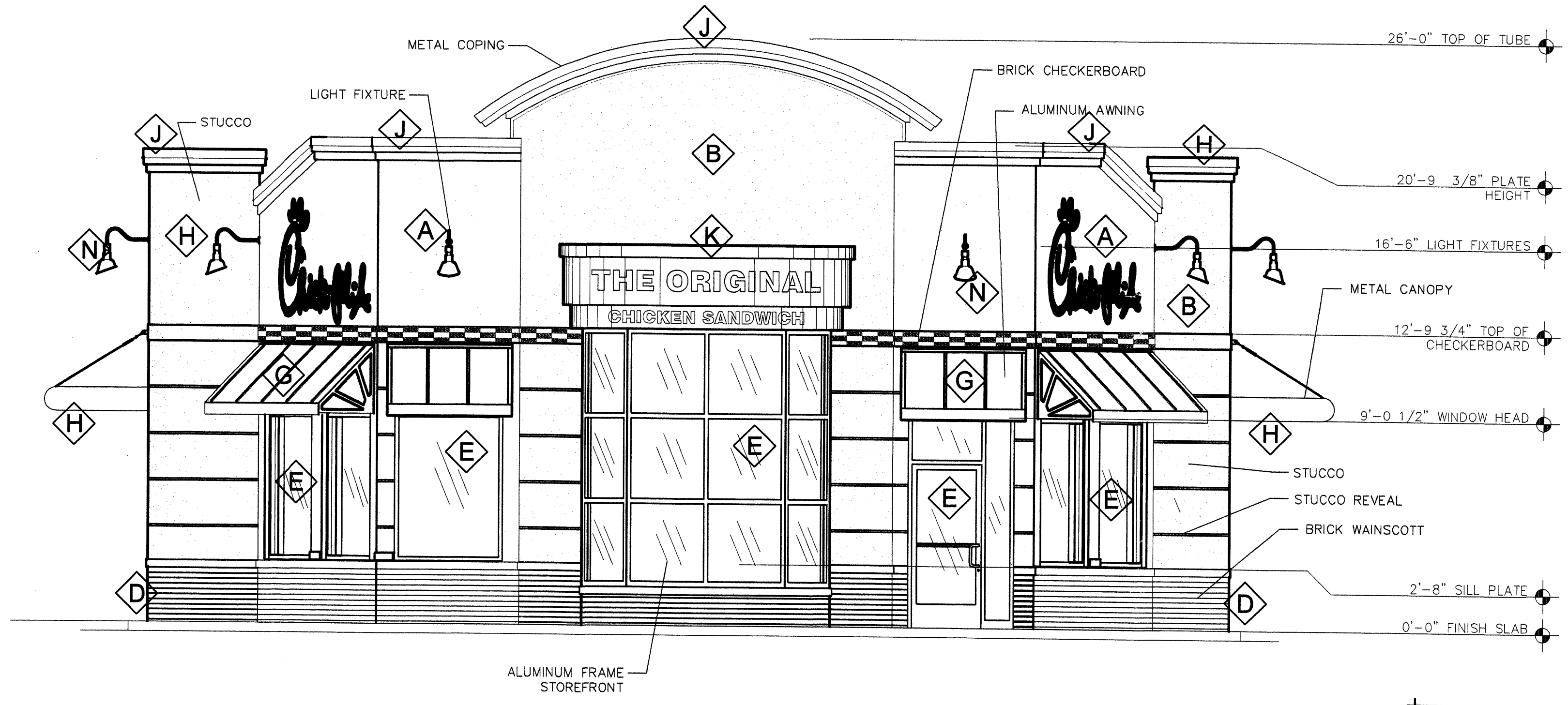
REV	DATE	BY	REVISION
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GEORGE RAINHART ARCHITECT AND ASSOCIATES PC  
 2325 SAN PEDRO N.E. SUITE 2-B  
 ALBUQUERQUE, NEW MEXICO 87110  
 PHONE (505) 884-9110 FAX (505) 837-9877

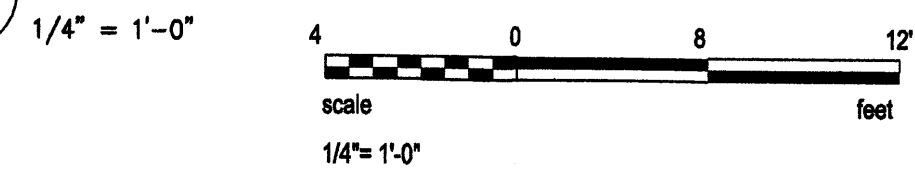
PRELIMINARY  
 NOT FOR  
 CONSTRUCTION

PROJECT TITLE  
**DEL NORTE PLAZA**  
 SAN PEDRO A PASO DEL NORTE  
 ALBUQUERQUE, NEW MEXICO  
 PROJECT MANAGER  
 JOB NO. 0536A  
 DRAWN BY: JS  
 SHEET TITLE  
**Chick Fil-A ELEVATIONS**

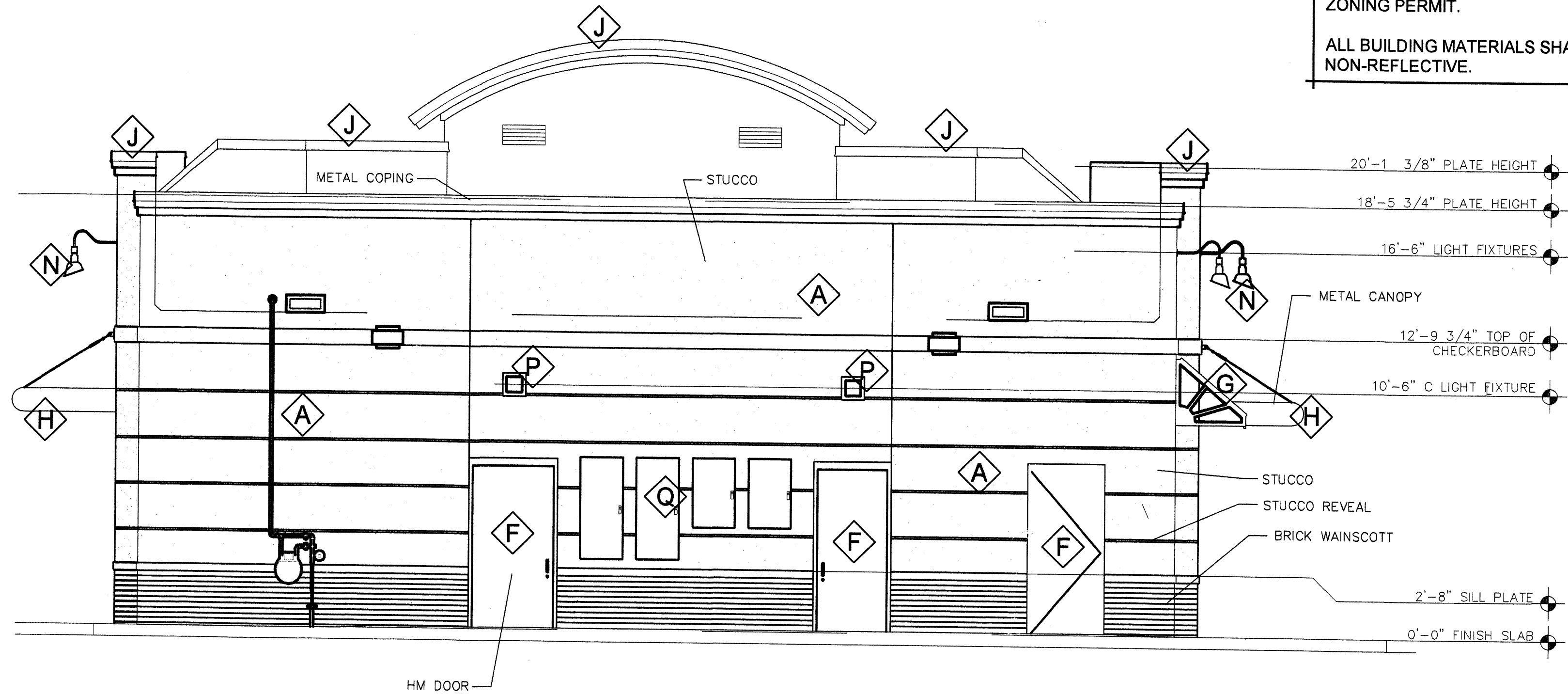
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**A3**



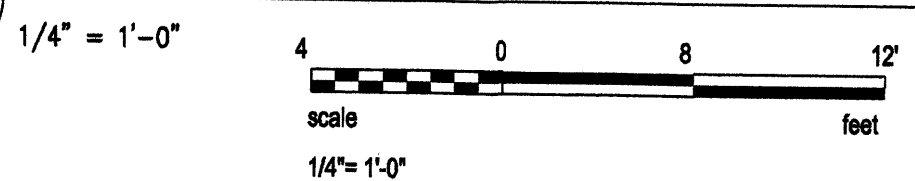
1 FRONT (NORTH) ELEVATION



**NOTES:**  
 ALL MECH. EQUIP. SHALL BE SHIELDED  
 ALUM. STOREFRONT SHALL BE RECESSED 2" FROM FACE OF STUCCO.  
 BUILDING SIGNAGE DETERMINED BY LOCAL CODE. TENANT SIGNAGE TO BE APPROVED BY ZONING AND DONE UNDER SEPARATE ZONING PERMIT.  
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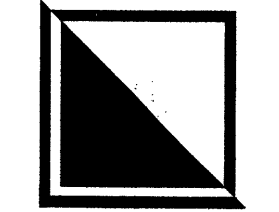


2 REAR (SOUTH) ELEVATION



Keyed Color / Material Schedule		Common Name
◇	STUCCO EL REY 821 LARIAT	OFF WHITE/LT.TAN
◇	STUCCO EL REY 803 SAGE	LT. TANYELLOW
◇	STUCCO EL REY 430 PEAK	LT. GREY
◇	BRICK WAINSCOTT FIRE-BRICK RED	
◇	ALUM. STOREFRONT BRONZE	
◇	HOLLOW METAL DOOR PAINT TO MATCH ADJACENT FINISH	
◇	METAL AWNING GALVALUME	
◇	TUBE STEEL PAINT TO MATCH EL REY 430 - PEAK	
◇	METAL COPING SILVER	
◇	METAL ROOFING GALVALUME	
◇	BOLLARD SAFETY RED	
◇	DRIVE-THRU WINDOW BRONZE	
◇	LIGHT FIXTURE TRUE-WHITE	
◇	WALL PACK BRONZE	
◇	ELECTRICAL PANELS PAINT TO MATCH EL REY 430 - PEAK	

REV	DATE	BY	REVISION
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GEORGE RAINHART ARCHITECT AND ASSOCIATES PC  
 2325 SAN PEDRO N.E. SUITE 2-B  
 ALBUQUERQUE, NEW MEXICO 87110  
 PHONE (505) 884-9110 FAX (505) 837-9877

PRELIMINARY  
 NOT FOR  
 CONSTRUCTION

PROJECT TITLE  
**DEL NORTE PLAZA**  
 SAN PEDRO & PASSEO DEL NORTE  
 ALBUQUERQUE, NEW MEXICO  
 PROJECT MANAGER  
 JOB NO. 0538A  
 DRAWN BY:  
 JS  
 SHEET TITLE  
**Chick Fil-A ELEVATIONS**

DATE:  
 11.13.2007  
 SCALE:  
 1"=40'-0"  
 sheet:  
**A4**  
 of:

**FORM P: PRE-APPROVALS/SIGNATURES**

Please refer to the DRB public meeting schedule for meeting dates and deadlines. Your attendance is required.

**Hydrology:**

- Grading and Drainage Plan  Approved  NA
- AMAFCA  Approved  NA
- Bernalillo County  Approved  NA
- NMDOT  Approved  NA
- MRGCD  Approved  NA

*Renée C. Brissette*

12/05/22

\_\_\_\_\_  
Hydrology Department

\_\_\_\_\_  
Date

**Transportation:**

- Traffic Circulations Layout (TCL)  Approved  NA
- Traffic Impact Study (TIS)  Approved  NA
- Neighborhood Impact Analysis (NIA)  Approved  NA
- Bernalillo County  Approved  NA
- MRCOG  Approved  NA
- NMDOT  Approved  NA
- MRGCD  Approved  NA

\_\_\_\_\_  
Transportation Department

\_\_\_\_\_  
Date

**Albuquerque Bernalillo County Water Utility Authority (ABCWUA):**

- Water/Sewer Availability Statement/Serviceability Letter  Approved  NA
- ABCWUA Development Agreement  Approved  NA
- ABCWUA Service Connection Agreement  Approved  NA

*Adrian Hernandez*

9/27/2022

\_\_\_\_\_  
ABCWUA

\_\_\_\_\_  
Date

- Infrastructure Improvements Agreement (IIA\*)  Approved  NA
- Solid Waste Department Signature on the plan  Approved  NA
- Fire Marshall Signature on the plan  Approved  NA

\* Prior to Final Site Plan approval submittals (include a copy of the recorded IIA)

**FORM P: PRE-APPROVALS/SIGNATURES**

Please refer to the DRB public meeting schedule for meeting dates and deadlines. Your attendance is required.

**Hydrology:**

- Grading and Drainage Plan      \_\_\_\_\_ Approved                      \_\_\_\_\_ NA
- AMAFCA                                      \_\_\_\_\_ Approved                      \_\_\_\_\_ NA
- Bernalillo County                      \_\_\_\_\_ Approved                      \_\_\_\_\_ NA
- NMDOT                                      \_\_\_\_\_ Approved                      \_\_\_\_\_ NA
- MRGCD                                      \_\_\_\_\_ Approved                      \_\_\_\_\_ NA

\_\_\_\_\_  
Hydrology Department

\_\_\_\_\_  
Date

**Transportation:**

- Traffic Circulations Layout (TCL)                        X   Approved                      \_\_\_\_\_ NA
- Traffic Impact Study (TIS)                      \_\_\_\_\_ Approved                        X   NA
- Neighborhood Impact Analysis (NIA)                      \_\_\_\_\_ Approved                        X   NA
- Bernalillo County                      \_\_\_\_\_ Approved                        X   NA
- MRCOG                                      \_\_\_\_\_ Approved                        X   NA
- NMDOT                                      \_\_\_\_\_ Approved                        X   NA
- MRGCD                                      \_\_\_\_\_ Approved                        X   NA

Ernest Armijo  
\_\_\_\_\_  
Transportation Department

12/5/2022  
\_\_\_\_\_  
Date

**Albuquerque Bernalillo County Water Utility Authority (ABCWUA):**

- Water/Sewer Availability Statement/Serviceability Letter      \_\_\_\_\_ Approved                        X   NA
- ABCWUA Development Agreement                      \_\_\_\_\_ Approved                        X   NA
- ABCWUA Service Connection Agreement                      \_\_\_\_\_ Approved                        X   NA

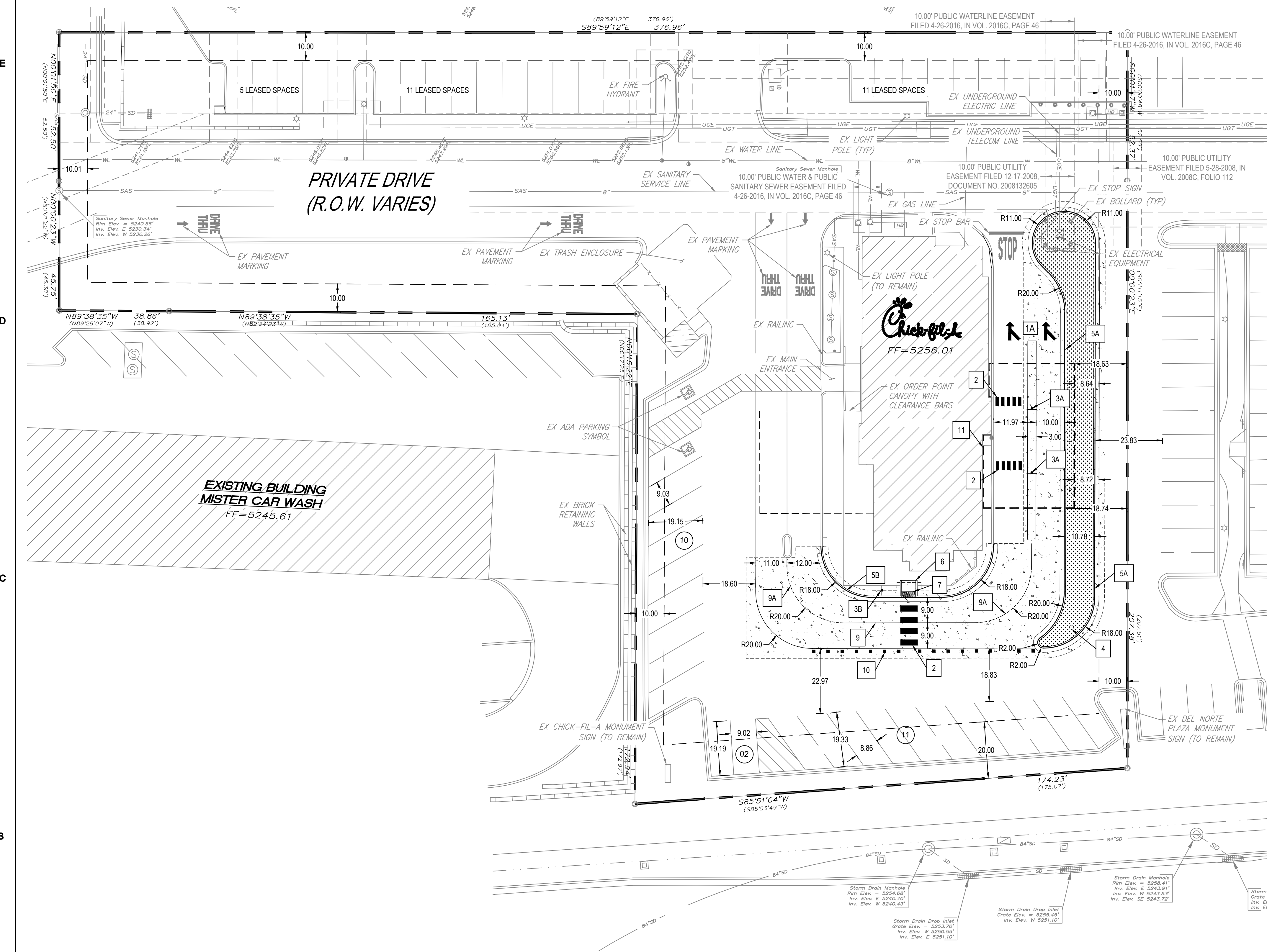
Adolfo Hernandez  
\_\_\_\_\_  
ABCWUA

9/27/2022  
\_\_\_\_\_  
Date

- Infrastructure Improvements Agreement (IIA\*)      \_\_\_\_\_ Approved                      \_\_\_\_\_ NA
- Solid Waste Department Signature on the plan      \_\_\_\_\_ Approved                      \_\_\_\_\_ NA
- Fire Marshall Signature on the plan                      \_\_\_\_\_ Approved                      \_\_\_\_\_ NA

\* Prior to Final Site Plan approval submittals (include a copy of the recorded IIA)

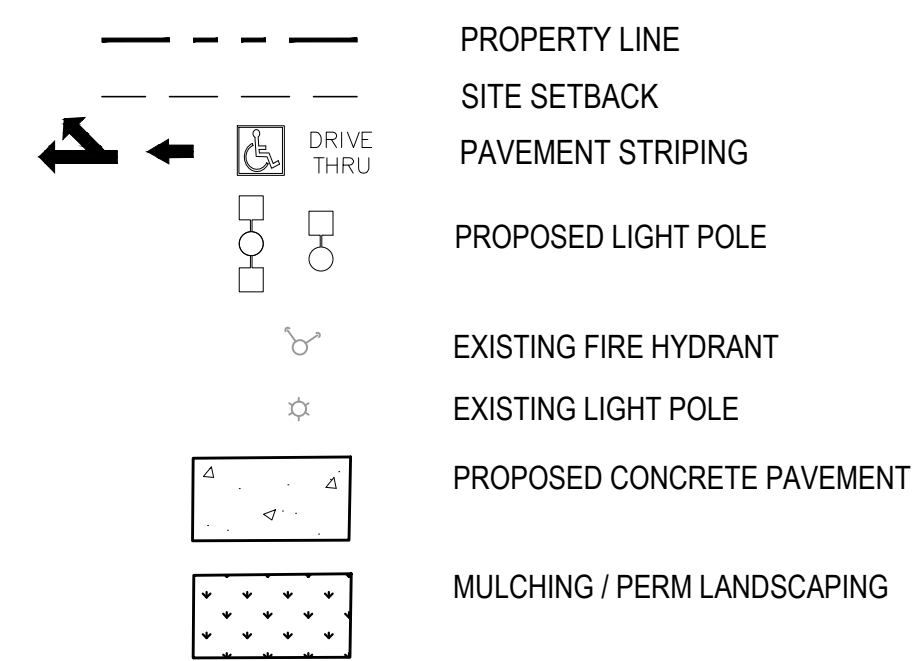
Approved for access by the Solid Waste Department for the existing double trash enclosure  
 Herman Gallegos 09-22-22 *Herman Gallegos*



**NOTES:**

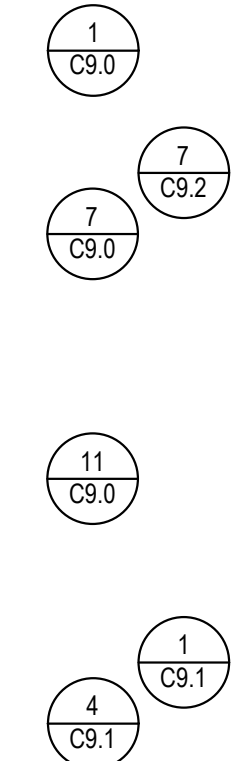
- 1) ALL DIMENSIONS ARE FROM FLOWLINE UNLESS OTHERWISE NOTED.
- 2) REFER TO ARCHITECTURE PLANS FOR CANOPY INFORMATION.
- 3) REFER TO SIGNAGE PACKAGE FOR ALL SITE AND CHICK-FIL-A SIGN DETAILS.
- 4) ALL CURBS ALONG CONCRETE DRIVE THROUGH TO BE MONOLITHICALLY POURED WITH DRIVE THROUGH.
- 5) STRIPING ON ASPHALT TO BE WHITE PAINT AND STRIPING ON CONCRETE TO BE YELLOW PAINT.

**LEGEND:**

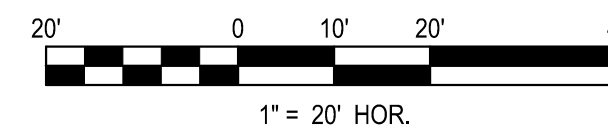


**SITE PLAN DESIGN NOTES & KEY PLAN**

- 1 PAVEMENT MARKINGS - 1
  - 1A DIRECTIONAL ARROW
  - 1B MULTILANE DIRECTIONAL GRAPHIC - MERGE
- 2 CROSSWALK MARKINGS
- 3 DIRECTIONAL SIGNAGE
  - 3A TEAM MEMBER CROSSING SIGN
  - 3B PEDESTRIAN CROSSING
- 4 RELOCATED FLAG POLE
- 5 CONCRETE CURB & GUTTER - TYPE B
  - 5A CATCH CURB & GUTTER
  - 5B SPILL CURB & GUTTER
- 6 CURB RAMP w/ SHORT FLARED SIDES
- 7 DETECTABLE WARNING DEVICE
- 8 4" WIDE STRIPES AT 3' OFF CENTER  
YELLOW REFLECTIVE PAINT WITH ANTI-SLIP ADHESIVE
- 9 8" SOLID YELLOW STRIPE
- 9A 8" DASHED YELLOW STRIPE
- 10 PEXCO LLC. PERMANENT DELINEATORS



PASEO DEL NORTE  
 (195' R.O.W.)



*Chick-fil-A*

**Chick-fil-A**  
 5200 Buffington Road  
 Atlanta, Georgia 30349-2998



FOR AND ON BEHALF OF  
 MERRICK AND COMPANY

**CHICK-FIL-A**  
**PASEO DEL NORTE FSU**  
 8110 SAN PEDRO DR NE  
 ALBUQUERQUE, NM 87113

**FSR#1996**

BUILDING TYPE / SIZE: P12 LS LRG  
 RELEASE: vX.YY.MM

REVISION SCHEDULE		
NO.	DATE	DESCRIPTION

**FOR REVIEW**

CONSULTANT PROJECT #	65121260
PRINTED FOR	FOR REVIEW
DATE	08/26/2022
DRAWN BY	KEA
SHEET	SITE PLAN

SHEET NUMBER

**C1.0**

File Path: C:\DEN\Projects\1260-00 CFA Paseo Del Norte 1996\CAD\CDS\Site Plan\1260 - C2.0 - SITE PLAN.dwg Last Saved  
 By: KATHERINE ADAMS  
 9/6/2022 8:42 AM  
 00-LS-0000-A101-SHEET NAME



Know what's below.  
 Call before you dig.

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

December 1, 2022

Kellan Black, PE  
Merrick & Company  
5970 Greenwood Plaza Blvd.  
Greenwood Village, CO 80111

**Re: Chick-Fil-A**  
**8110 San Pedro Dr. NE**  
**Traffic Circulation Layout**  
Engineer's Stamp 11-30-22 (C18-D042A)

Dear Mr. Black,

The TCL submittal received 11-16-2022 is approved for Building Permit by Transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

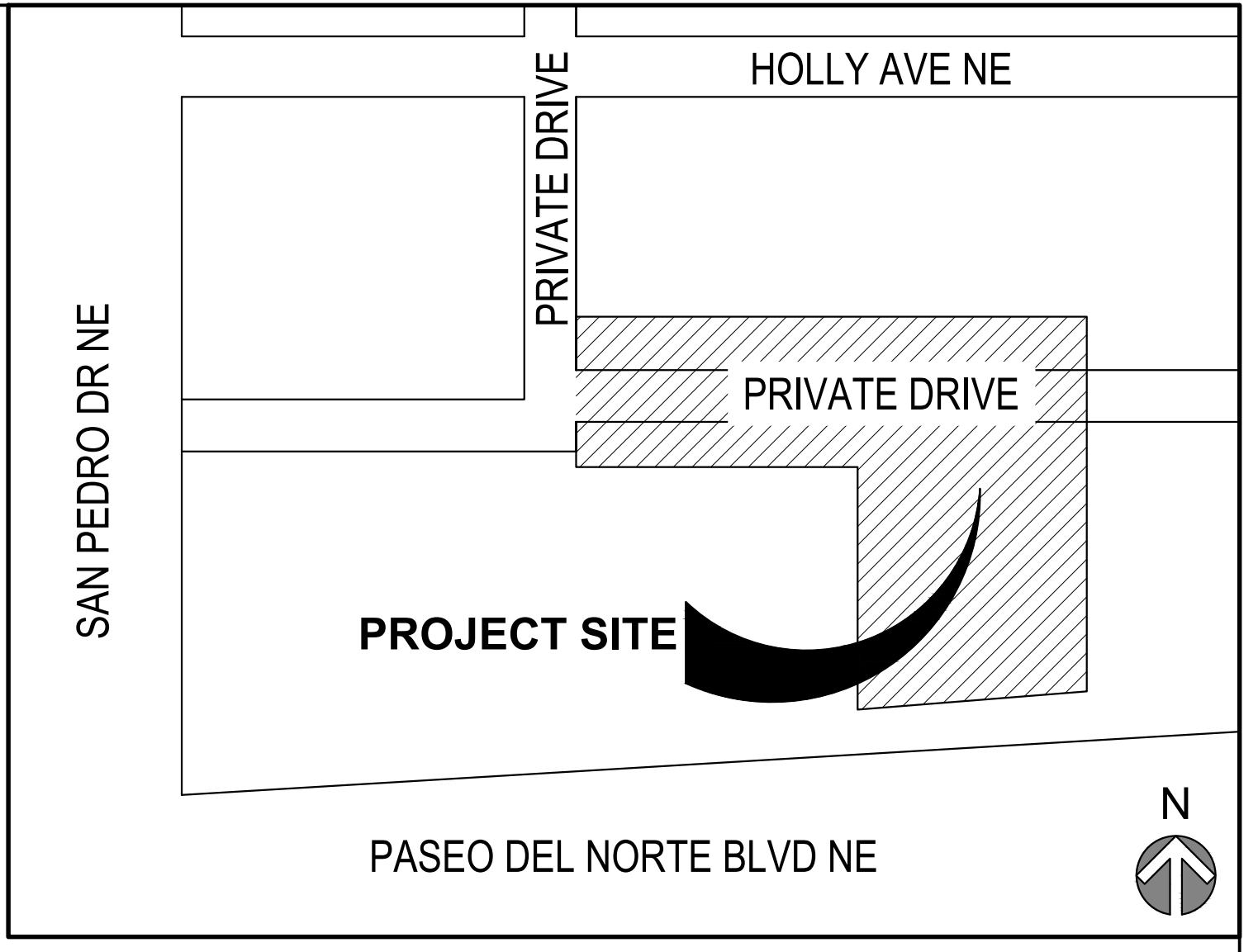
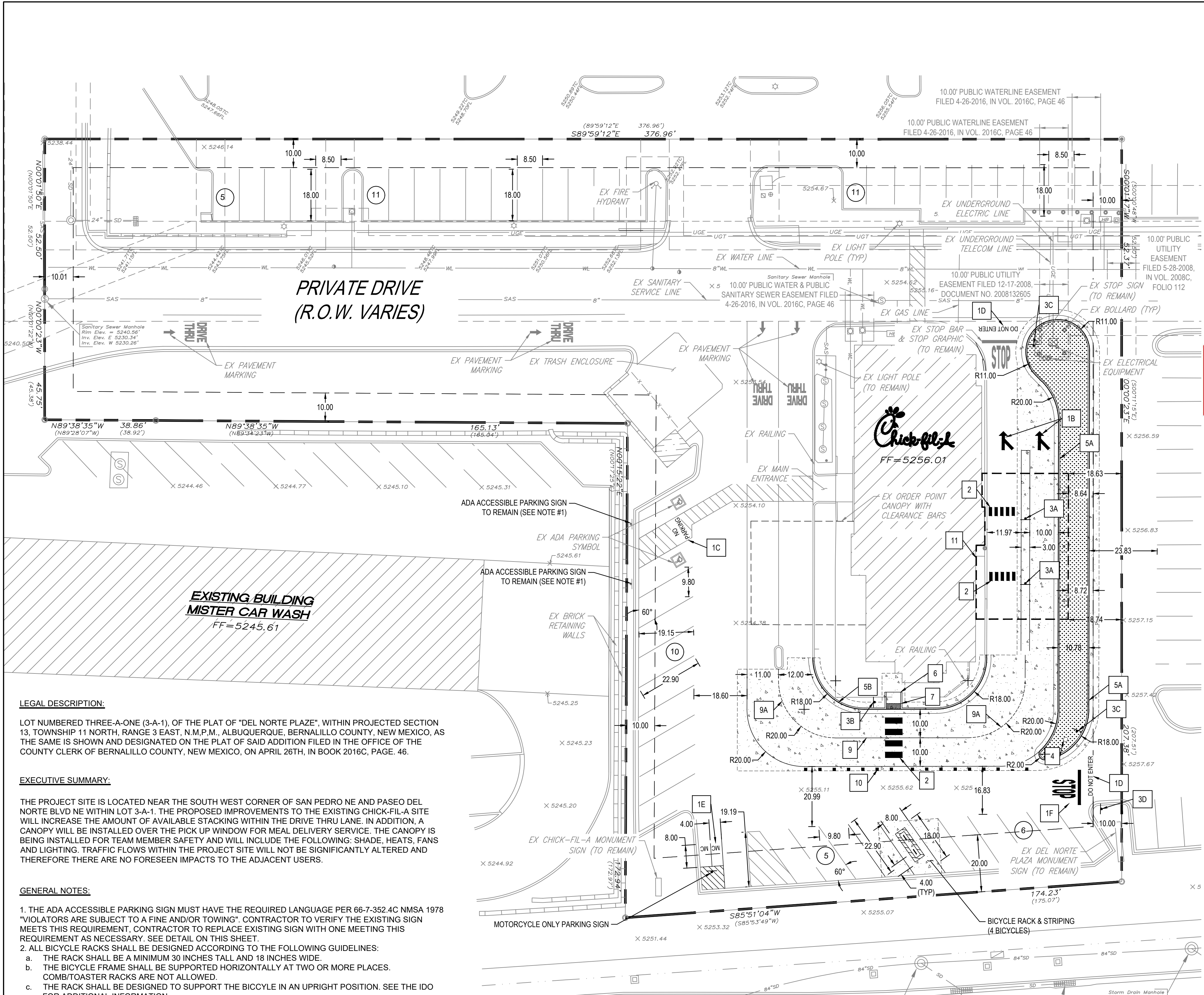
Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

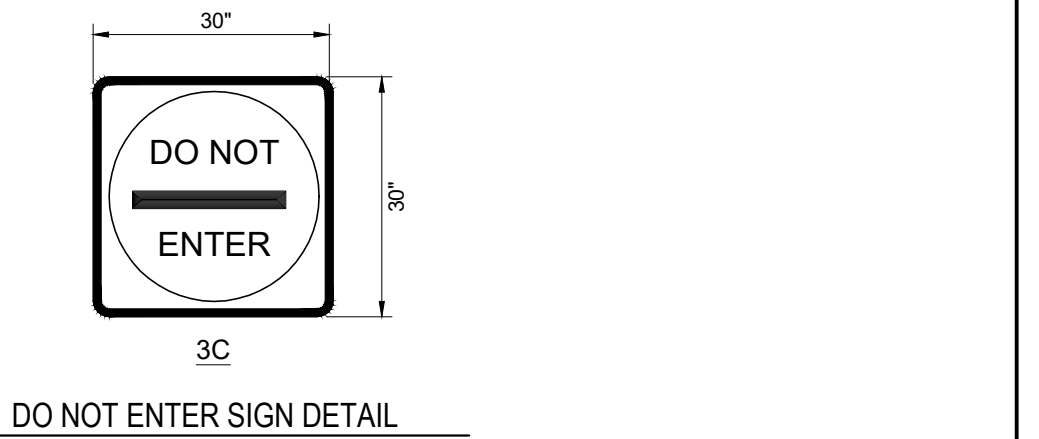
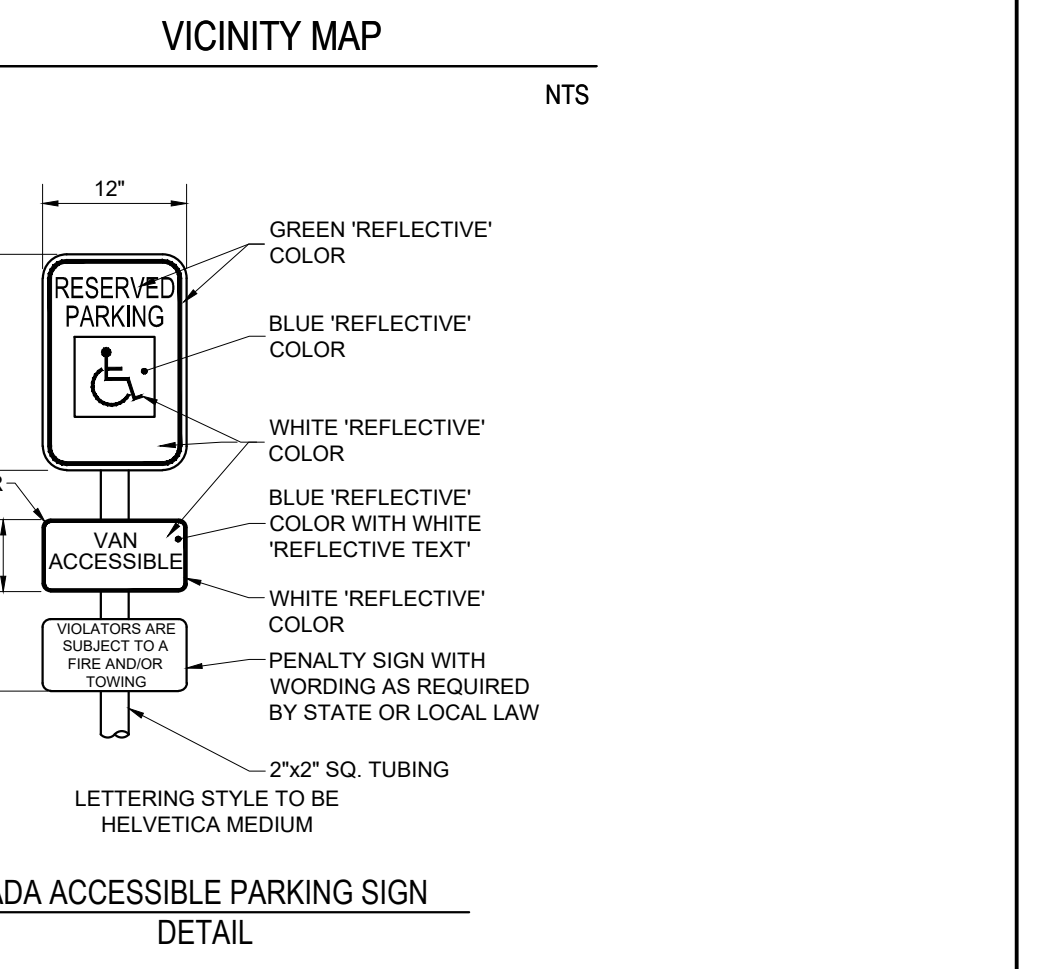
Ernest Armijo, P.E.  
Principal Engineer, Planning Dept.  
Development Review Services

C: CO Clerk, File

File Path: C:\DEN\Projects\1260-00 CFA Paseo Del Norte 1996\CAD\CDS\Site Plan\1260-Traffic Circulation Layout.dwg Last Saved By: KBLACK 11/30/2022 2:40 PM 00-LS-0000-A101-SHEET NAME



**TRAFFIC CIRCULATION LAYOUT APPROVED**  
Ernest Olmigo 12/1/2022  
Signed Date



**SITE PLAN DESIGN NOTES & KEY PLAN**

- 1 PAVEMENT MARKINGS - 1
  - 1A DIRECTIONAL ARROW
  - 1B MULTILANE DIRECTIONAL GRAPHIC - MERGE
  - 1C NO PARKING GRAPHIC
  - 1D DO NOT ENTER GRAPHIC
  - 1E "MC" MOTORCYCLE PARKING GRAPHIC
  - 1F STOP BAR & STOP GRAPHIC
- 2 CROSSWALK MARKINGS
- 3 DIRECTIONAL SIGNAGE
  - 3A TEAM MEMBER CROSSING SIGN
  - 3B PEDESTRIAN CROSSING
  - 3C DO NOT ENTER SIGN
  - 3D STOP SIGN
- 4 RELOCATED FLAG POLE
- 5 CONCRETE CURB & GUTTER - TYPE B
  - 5A CATCH CURB & GUTTER
  - 5B SPILL CURB & GUTTER
- 6 CURB RAMP w/ HEADER CURB (REFER TO CITY OF ALBUQUERQUE STD. DWG 2443 FOR PARALLEL CURB RAMP)
- 7 DETECTABLE WARNING DEVICE
- 8 4" WIDE STRIPES AT 3' OFF CENTER
  - 9A 8" SOLID YELLOW STRIPE
  - 9B 8" DASHED YELLOW STRIPE
- 10 PEXCO LLC PERMANENT DELINEATORS
- 11 OMD CANOPY

**LEGAL DESCRIPTION:**

LOT NUMBERED THREE-A-ONE (3-A-1), OF THE PLAT OF "DEL NORTE PLAZE", WITHIN PROJECTED SECTION 13, TOWNSHIP 11 NORTH, RANGE 3 EAST, N.M.P.M., ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT OF SAID ADDITION FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON APRIL 26TH, IN BOOK 2016C, PAGE. 46.

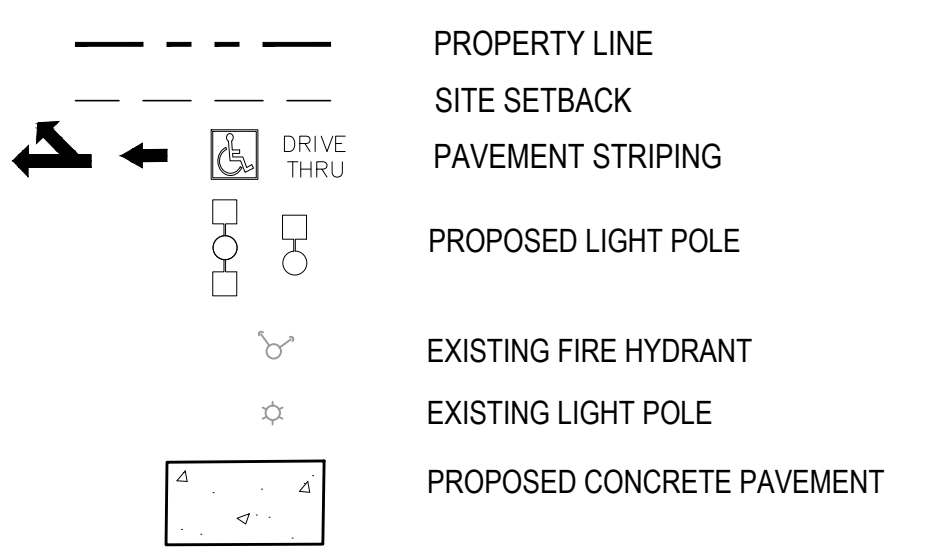
**EXECUTIVE SUMMARY:**

THE PROJECT SITE IS LOCATED NEAR THE SOUTH WEST CORNER OF SAN PEDRO NE AND PASEO DEL NORTE BLVD NE WITHIN LOT 3-A-1. THE PROPOSED IMPROVEMENTS TO THE EXISTING CHICK-FIL-A SITE WILL INCREASE THE AMOUNT OF AVAILABLE STACKING WITHIN THE DRIVE THRU LANE. IN ADDITION, A CANOPY WILL BE INSTALLED OVER THE PICK UP WINDOW FOR MEAL DELIVERY SERVICE. THE CANOPY IS BEING INSTALLED FOR TEAM MEMBER SAFETY AND WILL INCLUDE THE FOLLOWING: SHADE, HEATS, FANS AND LIGHTING. TRAFFIC FLOWS WITHIN THE PROJECT SITE WILL NOT BE SIGNIFICANTLY ALTERED AND THEREFORE THERE ARE NO FORESEEN IMPACTS TO THE ADJACENT USERS.

**GENERAL NOTES:**

1. THE ADA ACCESSIBLE PARKING SIGN MUST HAVE THE REQUIRED LANGUAGE PER 66-7-352.4C NMSA 1978 "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING". CONTRACTOR TO VERIFY THE EXISTING SIGN MEETS THIS REQUIREMENT. CONTRACTOR TO REPLACE EXISTING SIGN WITH ONE MEETING THIS REQUIREMENT AS NECESSARY. SEE DETAIL ON THIS SHEET.
2. ALL BICYCLE RACKS SHALL BE DESIGNED ACCORDING TO THE FOLLOWING GUIDELINES:
  - a. THE RACK SHALL BE A MINIMUM 30 INCHES TALL AND 18 INCHES WIDE.
  - b. THE BICYCLE FRAME SHALL BE SUPPORTED HORIZONTALLY AT TWO OR MORE PLACES. COMB/TOASTER RACKS ARE NOT ALLOWED.
  - c. THE RACK SHALL BE DESIGNED TO SUPPORT THE BICYCLE IN AN UPRIGHT POSITION. SEE THE IDO FOR ADDITIONAL INFORMATION.
  - d. THE RACK ALLOWS VARYING BICYCLE FRAME SIZES AND STYLES TO BE ATTACHED.
  - e. THE USER IS NOT REQUIRED TO LIFT THE BICYCLE ONTO THE BICYCLE RACK.
  - f. EACH BICYCLE PARKING SPACE IS ACCESSIBLE WITHOUT MOVING ANOTHER BICYCLE.
  - g. BICYCLE RACKS SHALL BE STURDY AND ANCHORED TO A CONCRETE PAD.
  - h. A 1-FOOT CLEAR ZONE AROUND THE BICYCLE PARKING STALL SHALL BE PROVIDED
3. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER AS NECESSARY; CONTRACTOR TO USE CITY OF ALBUQUERQUE STANDARD DETAILS 2415C & 2430 FOR REPLACEMENT.

**LEGEND:**



**SITE INFORMATION**

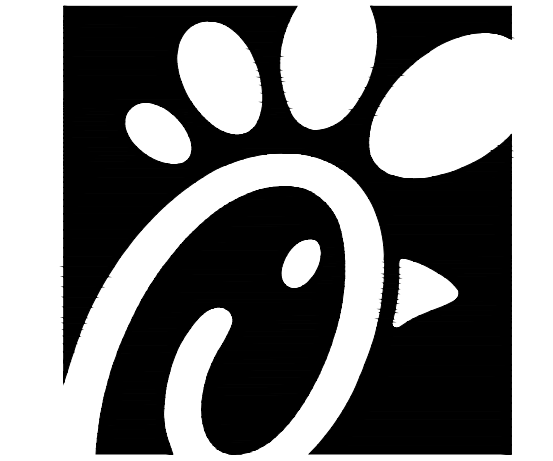
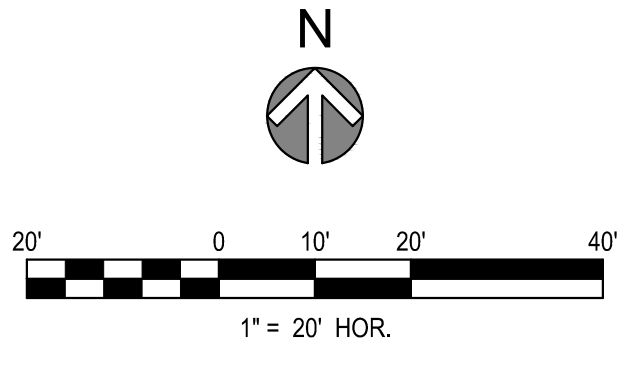
DEVELOPMENT TYPE: QUICK SERVICE RESTAURANT  
 ZONING: NR-BP  
 SITE SIZE: 66,255 SF / 1.521 AC  
 BUILDING SIZE: 4,360 SF  
 AREA OF DISTURBANCE: 7,516 SF / 0.17 AC

REQUIRED PARKING CALCULATION: 8 PARKING SPACES PER 1,000 GFA (4,360 SF / 1,000)\*8=35 SPACES  
 REQUIRED BICYCLE CALCULATION: 3 SPACES OR 10% OF REQUIRED OFF-STREET PARKING SPACES, WHICHEVER IS GREATER 35 SPACES \* 10%=4 BICYCLE SPACES  
 REQUIRED BICYCLE CALCULATION: 2 SPACES PER 26-50 REQ'D PARKING SPACES

**PARKING SUMMARY**

	REQUIRED	EXISTING	PROVIDED
STANDARD PARKING SPACES	31	33	46
ACCESSIBLE PARKING	2	2	2
TOTAL PARKING	33	35	48
MOTORCYCLE PARKING	2	-	2
BICYCLE SPACES	4	-	4

**PASEO DEL NORTE (195' R.O.W.)**



Chick-fil-A  
 5200 Buffington Road  
 Atlanta, Georgia 30349-2998

Chick-fil-A  
 5200 Buffington Road  
 Atlanta, Georgia 30349-2998



5970 GREENWOOD PLAZA BLVD  
 GREENWOOD VILLAGE, CO 80111  
 303-751-0741



FOR AND ON BEHALF OF  
 MERRICK AND COMPANY

**CHICK-FIL-A**  
**PASEO DEL NORTE FSU**  
 8110 SAN PEDRO DR NE  
 ALBUQUERQUE, NM 87113

**FSR#1996**  
 BUILDING TYPE / SIZE: P12 LS LRG  
 RELEASE: VX.YY.MM

**REVISION SCHEDULE**

NO.	DATE	DESCRIPTION

CONSULTANT PROJECT #: 65121260  
 PRINTED FOR: FOR REVIEW  
 DATE: 11/04/2022  
 DRAWN BY: KEA  
 SHEET: TRAFFIC CIRCULATION LAYOUT  
 SHEET NUMBER: C1.1

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

November 7, 2022

Kristofer Kyle Wiest, PE  
Merrick  
5970 Greenwood Plaza Blvd.  
Greenwood Village, CO 80111

**RE: Chik-Fil-A – San Pedro  
8110 San Pedro Dr  
Grading & Drainage Plan  
Engineer's Stamp Date: 11/04/22  
Hydrology File: C18D042A**

Dear Mr. Wiest:

PO Box 1293

Based upon the information provided in your submittal received 10/12/2022, the Grading & Drainage Plans are approved for Grading Permit, Paving Permit, and for action by the DRB for Site Plan for Building Permit. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

Albuquerque

**PRIOR TO CERTIFICATE OF OCCUPANCY:**

NM 87103

1. Engineer's Certification, per the DPM Part 6-14 (F): *Engineer's Certification Checklist For Non-Subdivision* is required.
2. Please pay the Payment-in-Lieu of \$ **1,007.76** by emailing the attached approved Waiver Application from Stormwater Quality Volume Management On-site to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov). Once this is received, a receipt will then produce and email back with instructions on how to pay online. Once paid, please email me proof of payment.

[www.cabq.gov](http://www.cabq.gov)

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, [jhughes@cabq.gov](mailto:jhughes@cabq.gov), 924-3420) 14 days prior to any earth disturbance.



# CITY OF ALBUQUERQUE

*Planning Department*  
Alan Varela, Director



*Mayor Timothy M. Keller*

If you have any questions, please contact me at 924-3995 or [rbrissette@cabq.gov](mailto:rbrissette@cabq.gov).

Sincerely,

*Renée C. Brissette*

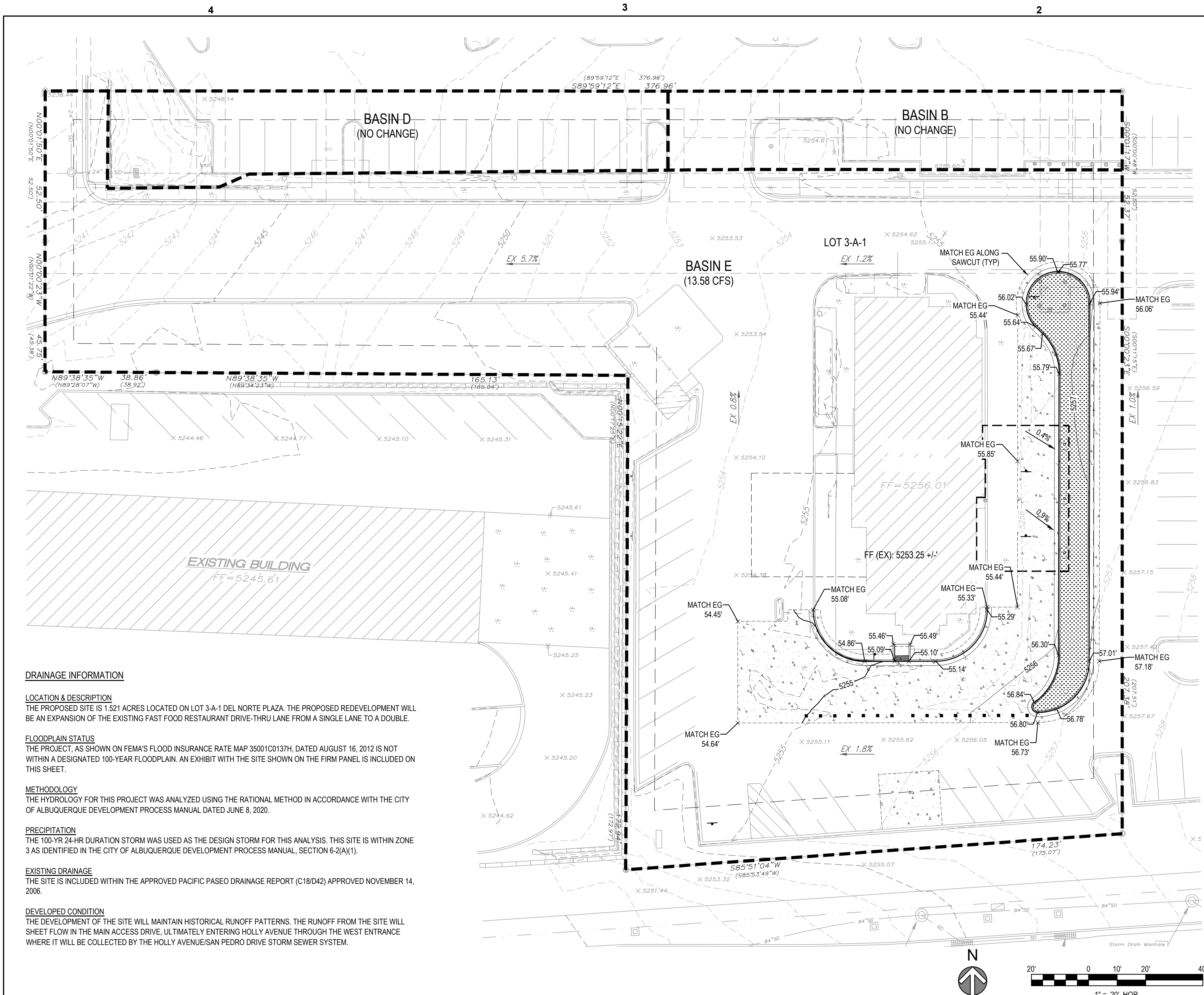
Renée C. Brissette, P.E. CFM  
Senior Engineer, Hydrology  
Planning Department

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)



**DRAINAGE INFORMATION**

**LOCATION & DESCRIPTION**  
 THE PROPOSED SITE IS 1.521 ACRES LOCATED ON LOT 3-A-1 DEL NORTE PLAZA. THE PROPOSED REDEVELOPMENT WILL BE AN EXPANSION OF THE EXISTING FAST FOOD RESTAURANT DRIVE-THRU LANE FROM A SINGLE LANE TO A DOUBLE.

**FLOODPLAIN STATUS**  
 THE PROJECT, AS SHOWN ON FEMA'S FLOOD INSURANCE RATE MAP 35001C0137H, DATED AUGUST 16, 2012 IS NOT WITHIN A DESIGNATED 100-YEAR FLOODPLAIN. AN EXHIBIT WITH THE SITE SHOWN ON THE FIRM PANEL IS INCLUDED ON THIS SHEET.

**METHODOLOGY**  
 THE HYDROLOGY FOR THIS PROJECT WAS ANALYZED USING THE RATIONAL METHOD IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL DATED JUNE 8, 2020.

**PRECIPITATION**  
 THE 100-YR 24-HR DURATION STORM WAS USED AS THE DESIGN STORM FOR THIS ANALYSIS. THIS SITE IS WITHIN ZONE 3 AS IDENTIFIED IN THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL, SECTION 6-2(A)(1).

**EXISTING DRAINAGE**  
 THE SITE IS INCLUDED WITHIN THE APPROVED PASEO DRAINAGE REPORT (C18/D42) APPROVED NOVEMBER 14, 2006.

**DEVELOPED CONDITION**  
 THE DEVELOPMENT OF THE SITE WILL MAINTAIN HISTORICAL RUNOFF PATTERNS. THE RUNOFF FROM THE SITE WILL SHEET FLOW IN THE MAIN ACCESS DRIVE, ULTIMATELY ENTERING HOLLY AVENUE THROUGH THE WEST ENTRANCE WHERE IT WILL BE COLLECTED BY THE HOLLY AVENUE/SAN PEDRO DRIVE STORM SEWER SYSTEM.

**NOTES:**

- ADA STALLS SHALL HAVE A MAXIMUM SLOPE OF 2% IN ANY DIRECTION.
- ADA PEDESTRIAN RAMPS SHALL NOT HAVE A RUNNING SLOPE STEEPER THAN 1:12 AND A CROSS SLOPE THAT SHALL NOT EXCEED A SLOPE STEEPER THAN 1:48.
- ELEVATIONS ARE 51XX.XX, UNLESS OTHERWISE SPECIFIED.
- ALL DIMENSIONS REFERENCE FLOWLINE, BUILDING FOUNDATION OR PROPERTY LINE, UNLESS OTHERWISE SPECIFIED.

**EROSION CONTROL NOTES:**

- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
- REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

Basin	Land Treatment (ac)				Total
	A	B	C	D	
E	0	0.60	0	2.69	3.28

*Peak Runoff Comparison				
**EX 10YR (cfs)	10 YR (cfs)	**EX 100 YR (cfs)	100 YR (cfs)	
8.19	8.20	13.55	13.58	

\*Peak Runoff calculations were completed in accordance w/ the City of Albuquerque Development Process Manual (DPM) dated June 8, 2020  
 \*\*Existing Peak Runoff data was obtained from the Revised Drainage Report for Pacific Paseo Albuquerque, NM prepared by Tierra Est, LLC dated July 2006; Values depicted reflect revised Peak Runoff values obtained per previously mentioned report per updated DPM

City of Albuquerque  
 Planning Department  
 Development Review Services  
**HYDROLOGY SECTION**  
**APPROVED**  
 DATE: 11/07/22  
 BY: *Rosa C. Brant*  
 HydroTeam # C18D042A

THE APPROVAL OF THESE PLANS SHALL NOT BE CONSIDERED TO PREVENT VIOLATION OF ANY CITY ORDINANCES OR STATE LAWS, AND SHALL NOT PREVENT CONTRACTORS, OR OTHERS FROM OBTAINING NECESSARY PERMITS OR LICENSES TO CONDUCT ANY WORK. ANY CHANGES TO THESE PLANS SHALL NOT BE MADE WITHOUT THE WRITTEN APPROVAL OF THE CITY OF ALBUQUERQUE.

**LEGEND**

- SPECIAL FLOOD HAZARD AREAS (SPECIAL SUBJECT TO FLOODING BY THE 1% ANNUAL CHANCE FLOOD)
- ZONE AE: Special Flood Hazard Area (SFHA) subject to flooding by the 1% annual chance flood.
- ZONE A: Flood depths of 1 to 3 feet (usually areas of ponding). Non-Flood Hazard Areas.
- ZONE AO: Flood depths of 1 to 3 feet (usually areas of ponding). Non-Flood Hazard Areas.
- ZONE AR: Flood Hazard Area formerly protected from the 1% annual chance flood by a levee system that is no longer maintained.
- ZONE AV: Area to be protected from 1% annual chance flood by a Federal Flood Insurance Policy (FFIP) or other flood insurance policy.
- ZONE VE: Coastal Flood Hazard Area (SFHA) subject to flooding by the 1% annual chance flood.

**OTHER FLOOD AREAS**

- ZONE X: Areas of 0.2% annual chance flood, zone of 1% annual chance flood with average depth of one foot or less, or with average depth of one foot or less, and are protected from 1% annual chance flood by a levee system that is no longer maintained.

**OTHER AREAS**

- ZONE B: Areas adjacent to the 1% annual chance flood.
- ZONE C: Areas of 0.2% annual chance flood, zone of 1% annual chance flood with average depth of one foot or less, or with average depth of one foot or less, and are protected from 1% annual chance flood by a levee system that is no longer maintained.
- ZONE D: Areas of 0.2% annual chance flood, zone of 1% annual chance flood with average depth of one foot or less, or with average depth of one foot or less, and are protected from 1% annual chance flood by a levee system that is no longer maintained.

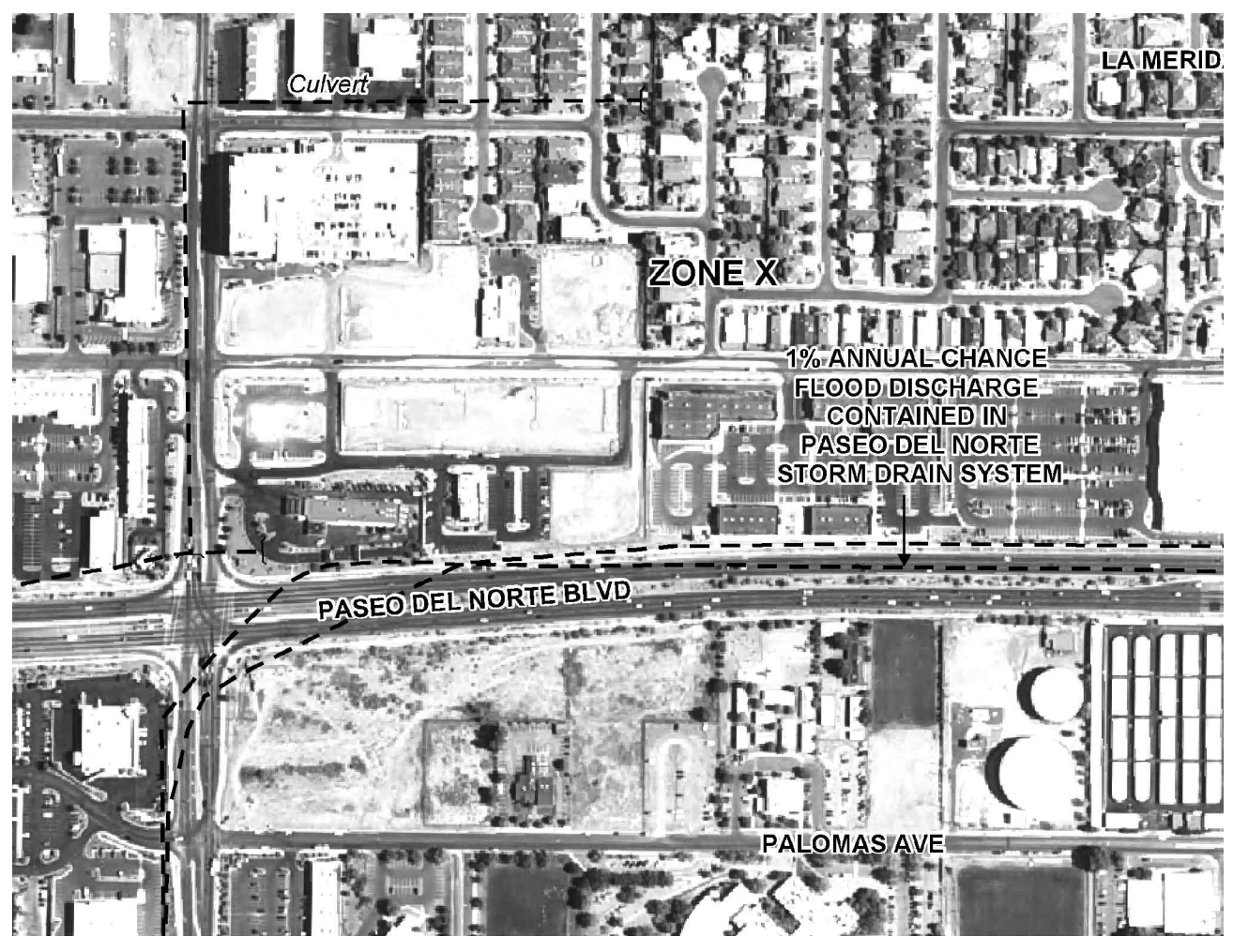
**OTHER AREAS**

- ZONE E: Areas of 0.2% annual chance flood, zone of 1% annual chance flood with average depth of one foot or less, or with average depth of one foot or less, and are protected from 1% annual chance flood by a levee system that is no longer maintained.

**LEGEND:**

- PROPERTY LINE
- LIMITS OF GRADING
- 4945 PROPOSED MAJOR CONTOUR
- 4943 PROPOSED MINOR CONTOUR
- 4945 EXISTING MAJOR CONTOUR
- 4943 EXISTING MINOR CONTOUR
- 42.69'x FLOWLINE SPOT ELEVATION
- FF: 42.69'x FINISHED FLOOR SPOT ELEVATION
- FG: 42.69'x FINISHED GRADE SPOT ELEVATION
- TC: 93.41'x TOP OF CURB SPOT ELEVATION
- EG: 93.41'x EXISTING GRADE SPOT ELEVATION
- EX FL: 93.41'x EXISTING FLOWLINE SPOT ELEVATION
- 2.7% PROPOSED SLOPE ARROWS
- EX 2.7% EXISTING SLOPE ARROWS
- STORM SEWER
- STORM INLET
- STORM MANHOLE
- DRAINAGE BASIN

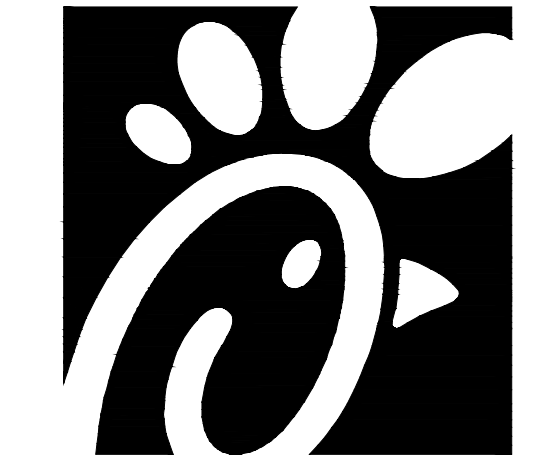
NATIONAL FLOOD INSURANCE PROGRAM  
**FIRM**  
 FLOOD INSURANCE RATE MAP  
 BERNALILLO COUNTY,  
 NEW MEXICO  
 AND UNINCORPORATED AREAS  
 PANEL 137 OF 825  
 (SEE MAP NUMBER FOR FIRM PANEL LOCUS)  
 CONTRACT NUMBER: 35001C0137H  
 MAP NUMBER: 35001C0137H  
 MAP REVISED: AUGUST 16, 2012  
 Federal Emergency Management Agency



FIRM MAP NO 35001C0137H



Know what's below.  
 Call before you dig.



Chick-fil-A

Chick-fil-A  
 5200 Buffington Road  
 Atlanta, Georgia 30349-2998



5970 GREENWOOD PLAZA BLVD  
 GREENWOOD VILLAGE, CO 80111  
 303-751-0741



FOR AND ON BEHALF OF  
 MERRICK AND COMPANY

**CHICK-FIL-A**  
**PASEO DEL NORTE FSU**  
 8110 SAN PEDRO DR NE  
 ALBUQUERQUE, NM 87113

**FSR#1996**  
 BUILDING TYPE / SIZE: P12 LS LRG  
 RELEASE: VV.XY.MM

REVISION SCHEDULE		
NO.	DATE	DESCRIPTION

CONSULTANT PROJECT # 65121260  
 PRINTED FOR FOR REVIEW  
 DATE 11/04/2022  
 DRAWN BY KEA  
 SHEET GRADING & DRAINAGE PLAN  
 SHEET NUMBER

**C1.2**

**CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
HYDROLOGY DEVELOPMENT SECTION**

**WAIVER APPLICATION FROM STORMWATER  
QUALITY VOLUME MANAGEMENT ON-SITE**

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**GENERAL INFORMATION**

---

APPLICANT: \_\_\_\_\_ DATE: \_\_\_\_\_

DEVELOPMENT: \_\_\_\_\_

LOCATION: \_\_\_\_\_

---

**STORMWATER QUALITY POND VOLUME**

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Per the DPM Article 6-12 - Stormwater Quality and Low-Impact Development, the calculated sizing for required Stormwater Quality Pond volume is equal to the impervious area draining to the BMP multiplied by 0.42 inches for new development sites and by 0.26 inches for redevelopment sites.

The required volume is \_\_\_\_\_ cubic feet

The provided volume is \_\_\_\_\_ cubic feet

The deficient volume is \_\_\_\_\_ cubic feet

---

**WAIVER JUSTIFICATION**

---

Per the DPM Article 6-12(C), private off-site mitigation and payment-in-lieu may only be considered if management on-site is waived in accordance with the following criteria and procedures.

1. Management on-site shall be waived by the City Engineer if the following conditions are met:

- a. Stormwater quality can be effectively controlled through private off-site mitigation or through an arrangement (approved by the City) to use a cooperators existing regional stormwater management infrastructure or facilities that are available to control stormwater quality.
  - b. Any of the following conditions apply:
    - i. The lot is too small to accommodate management on site while also accommodating the full plan of development.
    - ii. The soil is not stable as demonstrated by a geotechnical report certified by a professional engineer licensed in the State of New Mexico.
    - iii. The site use is inconsistent with the capture and reuse of stormwater.
    - iv. Other physical conditions exist where compliance with on-site stormwater quality control leaves insufficient area.
    - v. Public or private off-site facilities provide an opportunity to effectively accomplish the mitigation requirements of the Drainage Ordinance (Part 14-5-2 ROA 1994) as demonstrated on as-built construction drawings and an approved drainage report.
    - vi. The developer constructs a project to replenish regional groundwater supplies at an off-site location.
    - vii. A waiver to State water law or acquisition of water rights would be required in order to implement management on site.
2. The basis for requesting payment-in-lieu or private off-site mitigation is to be clearly demonstrated on the drainage plan.

This projects justification: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_  
Professional Engineer or Architect

---

**PAYMENT-IN-LIEU**

---

Per the DPM Article 6-12(C)(1), the amount of payment-in-lieu is deficient volume (cubic feet) times \$6 per cubic feet for detached single-family residential projects or \$8 per cubic feet for all other projects.

AMOUNT OF PAYMENT-IN-LIEU = \$ \_\_\_\_\_

---

**THIS SECTION IS FOR CITY USE ONLY**

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- Waiver is approved. The amount of payment-in-lieu from above must be paid prior to Certificate of Occupancy.
- Waiver is DENIED.

*Renée C. Brissette*

11/04/22

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City of Albuquerque  
Hydrology Section