



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	Decisions Requiring a Public Meeting or Hearing	Policy Decisions
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input type="checkbox"/> Alternative Landscape Plan (Form P3)	<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Annexation of Land (Form Z)
<input checked="" type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
		Appeals
		<input type="checkbox"/> Decision by EPC, LC, ZHE, or City Staff (Form A)

APPLICATION INFORMATION

Applicant: Gina Kelly w/ SGA Design Group		Phone: (918)587-8602, ext. 299
Address: 1437 S Boulder Ave - Ste. 550		Email: ginak@sgadesigngroup.com
City: Tulsa	State: OK	Zip: 74119
Professional/Agent (if any):		Phone:
Address:		Email:
City:	State:	Zip:
Proprietary Interest in Site:		List all owners:

BRIEF DESCRIPTION OF REQUEST

We are updating the previous approved AA to update site to remove the OGP Canopy and update the OGP Parking updates and add 1 additional pole light to light up OGP parking area. See Civil Sheets.

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.: 1A	Block:	Unit:
Subdivision/Addition: Lamonica & Wenk	MRGCD Map No.:	UPC Code:
Zone Atlas Page(s): P10	Existing Zoning: MX-L	Proposed Zoning: No Change MX-L
# of Existing Lots:	# of Proposed Lots:	Total Area of Site (acres): 21+ acres

LOCATION OF PROPERTY BY STREETS

Site Address/Street: 3500 Coors Blvd SW	Between: Rio Bravo	and: Coors
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CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

SI-2021-00089	
Signature:	Date: 05/19/2021
Printed Name: Gina Kelly	<input checked="" type="checkbox"/> Applicant or <input type="checkbox"/> Agent

FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees	Case Numbers	Action	Fees

Meeting/Hearing Date:	Fee Total:
Staff Signature:	Date: Project #

FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS

A single PDF file of the complete application including all plans and documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD.

☐ ARCHEOLOGICAL CERTIFICATE

- ___ Archaeological Compliance Documentation Form with property information section completed
- ___ Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)
- ___ Letter of authorization from the property owner if application is submitted by an agent
- ___ Zone Atlas map with the entire site clearly outlined and labeled

☒ MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB

- ☒ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(2)
- ☒ Three (3) copies of all applicable sheets of the approved Site Plan being amended, folded
- ___ Copy of the Official Notice of Decision associated with the prior approval
- ☒ Three (3) copies of the proposed Site Plan, with changes circled and noted
Refer to the Site Plan Checklist for information needed on the proposed Site Plan.
- ☒ Letter of authorization from the property owner if application is submitted by an agent
- ☒ Zone Atlas map with the entire site clearly outlined and labeled

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

☐ MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO

- ___ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Z)(1)(a)
- ___ Three (3) copies of all applicable sheets of the approved Site Development Plan being amended, folded
- ___ Copy of the Official Notice of Decision associated with the prior approval
- ___ Three (3) copies of the proposed Site Development Plan, with changes circled and noted
Refer to the Site Plan Checklist for information needed on the proposed Site Plan.
- ___ Letter of authorization from the property owner if application is submitted by an agent
- ___ Zone Atlas map with the entire site clearly outlined and labeled

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

☐ ACCELERATED EXPIRATION SITE PLAN

- ___ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)(c)
- ___ Site Plan to be Expired
- ___ Letter of authorization from the property owner if application is submitted by an agent
- ___ Zone Atlas map with the entire site clearly outlined and labeled

☐ ALTERNATIVE SIGNAGE PLAN

- ___ Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)
- ___ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(F)(4)(c)
- ___ Required notices with content per IDO Section 14-16-6-4(K)
 - ___ Office of Neighborhood Coordination notice inquiry response and proof of emailed notice to affected Neighborhood Association representatives
 - ___ Sign Posting Agreement
- ___ Letter of authorization from the property owner if application is submitted by an agent
- ___ Zone Atlas map with the entire site clearly outlined and labeled

☐ ALTERNATIVE LANDSCAPE PLAN

- ___ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-5-6(C)(16)
- ___ Landscape Plan
- ___ Letter of authorization from the property owner if application is submitted by an agent
- ___ Zone Atlas map with the entire site clearly outlined and labeled

I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.

Signature:

Gina Kelly

Date: 005/19/2021

Printed Name: Gina Kelly

☒ Applicant or ☐ Agent

FOR OFFICIAL USE ONLY

Project Number:

Case Numbers

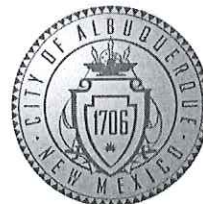
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Staff Signature:

Date:





SGA Design Group

May 17, 2021

Maggie Gould, Planning Manager
City of Albuquerque Planning Department
Land Development Coordination
600 Second Street NW
Albuquerque, NM 87109

Re. Walmart #5430.248 located at: 3500 Coors Blvd SW
Amendment to AA #SI-2021-00089

The scope of work for this Administrative Amendment review is the for updating of the current Walmart site changes. We are proposing the removal of the OGP canopy from the site and update OGP parking stalls plus addition of a electric light pole to match existing lighting for the site to add lighting to the updated OGP Parking area at the back left side of the store.

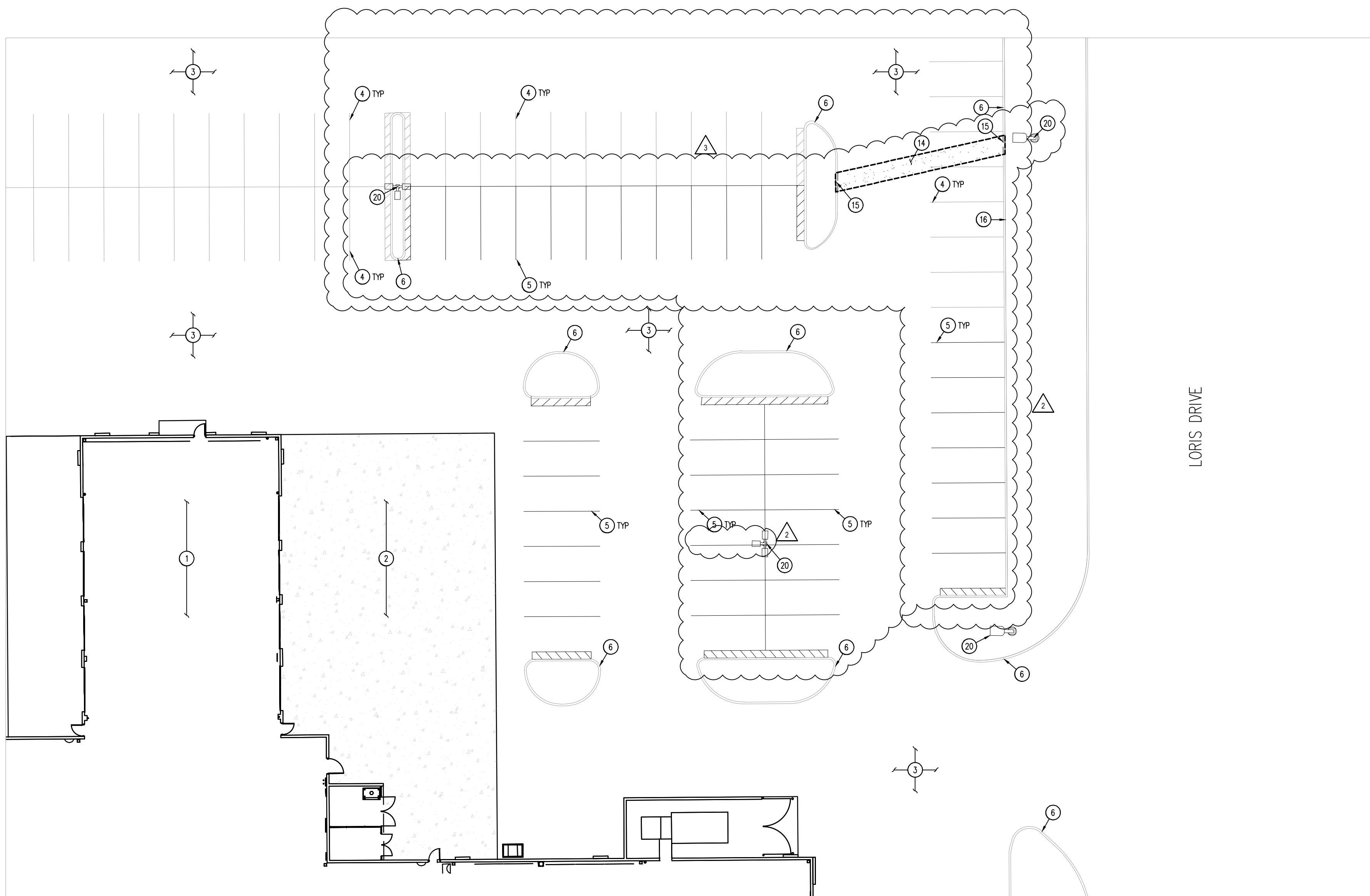
With these updates being proposed, the movement of the OGP items listed above will help serve the store staff and customers better.

The impact to the site will be minimal and we ask for approval to proceed upon approval of permit number BP-2020-54296 that is currently in plan review with the Building Department.

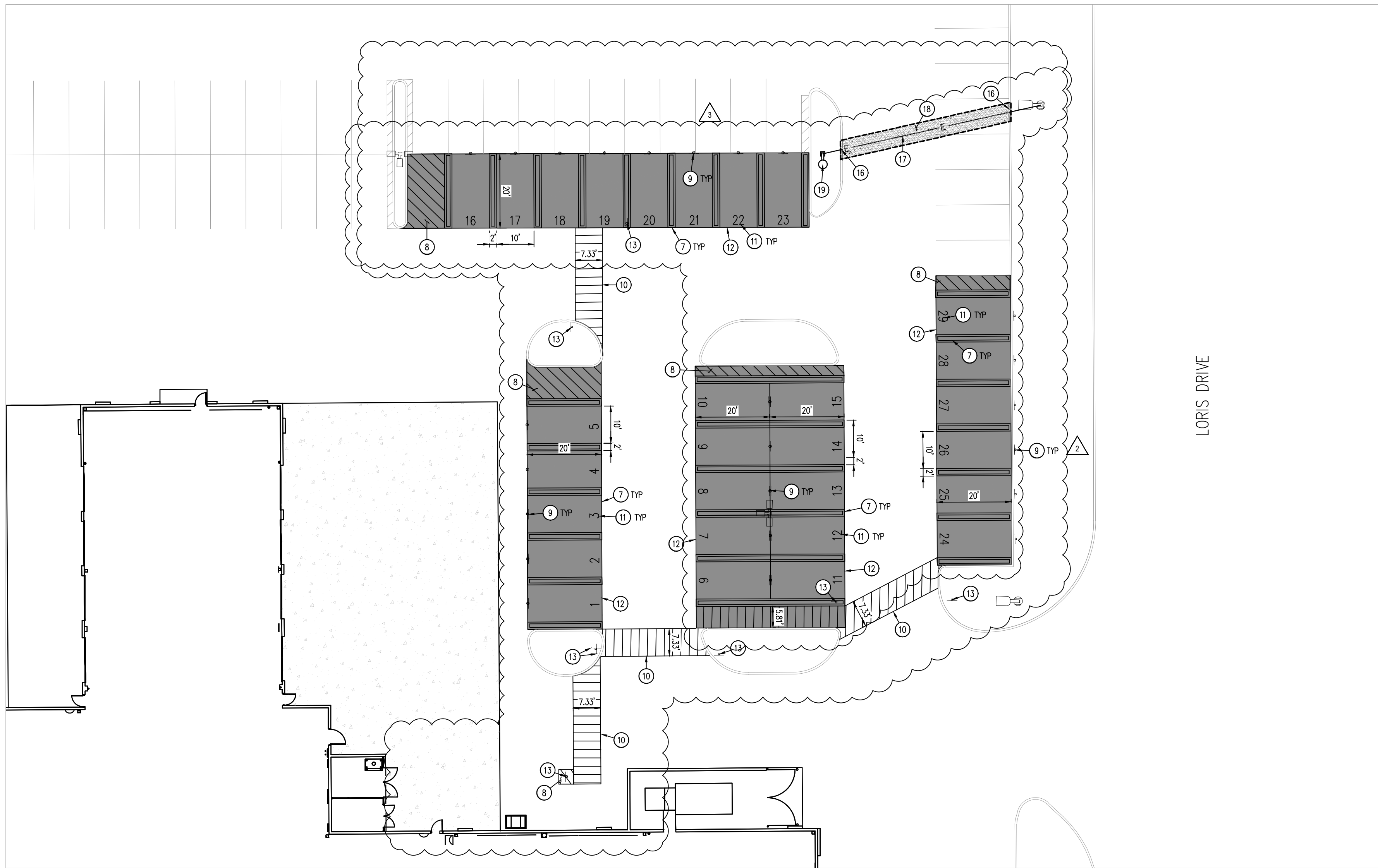
If you have any questions, please do not hesitate to contact me.

Thank you,

Gina Kelly
SGA Design Group
1437 S Boulder Ave-Ste. 550
Tulsa, OK 74119
ginak@sgadesigngroup.com



DEMOLITION PLAN - EXISTING PARKING
SCALE: 1"=10'



SITE PLAN - PROPOSED PICKUP PARKING
SCALE: 1"=10'

DEMOLITION NOTES

- THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSAL (IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES) ALL STRUCTURES, WALLS, FLOORS, FOUNDATIONS, PARKING, DRIVES, DRAINAGE STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE PROPOSED PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERGUT TO SUITABLE MATERIAL, AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL FOR THE SPECIFICATIONS. PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED.
- THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL.
- THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY THEMSELVES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
- THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR MARKING ON-SITE LOCATIONS OF EXISTING UTILITIES.
- ALL EXISTING SEWERS, PIPING AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. ONE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP LINES BEFORE PROCEEDING WITH THE WORK. UTILITIES DETERMINED TO BE ABANDONED AND LEFT IN PLACE SHALL BE GROUTED IF UNDER BUILDING.
- CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC., (AND OTHER APPROPRIATE BEST MANAGEMENT PRACTICES) AS APPROVED BY CITY AND OWNER. SHOULD REMOVAL AND/OR RELOCATION ACTIVITIES DAMAGE UTILITIES TO REMAIN, THE CONTRACTOR SHALL PROVIDE NEW MATERIALS/ STRUCTURES IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, EXCEPT FOR MATERIALS DESIGNED TO BE RELOCATED ON THIS PLAN, ALL OTHER CONSTRUCTION MATERIALS SHALL BE NEW DAMAGE TO ALL EXISTING CONDITIONS TO REMAIN WILL BE REPLACED AT CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL LIMIT SAW-CUT & PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS, BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, ETC., THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES WHICH MAY HAVE BURIED OR AERIAL UTILITIES WITHIN OR NEAR THE CONSTRUCTION AREA BEFORE COMMENCING WORK. THE CONTRACTOR SHALL PROVIDE 72 HOURS MINIMUM NOTICE TO ALL UTILITY COMPANIES PRIOR TO BEGINNING CONSTRUCTION.
- ALL EXISTING UTILITIES SHOWN ARE LOCATED ACCORDING TO THE INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME THE DRAWINGS WERE PREPARED AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THE ENGINEER. GUARANTEE IS NOT MADE THAT ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN OR THAT THE LOCATION OF THOSE SHOWN ARE ACCURATE. FINDING THE ACTUAL LOCATION OF ANY EXISTING UTILITIES IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE DONE BEFORE HE COMMENCES ANY WORK IN THE VICINITY. FURTHERMORE, THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ANY AND ALL DAMAGE DUE TO THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE OWNER OR ENGINEER WILL ASSUME NO LIABILITY FOR ANY DAMAGES SUSTAINED OR COST INCURRED BECAUSE OF THE OPERATIONS IN THE VICINITY OF EXISTING UTILITIES OR STRUCTURES, NOR FOR TEMPORARY BRACING AND SHORING OF SAME. IF IT IS NECESSARY TO SHORE, BRACE, SWING OR RELOCATE A UTILITY, THE UTILITY COMPANY OR DEPARTMENT AFFECTED SHALL BE CONTACTED BY THE CONTRACTOR AND THEIR PERMISSION OBTAINED REGARDING THE METHOD TO USE FOR SUCH WORK.
- THE CONTRACTOR SHALL HAVE AVAILABLE AT THE JOB SITE AT ALL TIMES ONE COPY OF THE CONTRACT DOCUMENTS INCLUDING PLANS, SPECIFICATIONS, COPIES OF ANY REQUIRED CONSTRUCTION PERMITS, AND EROSION CONTROL PLANS AND INSPECTION REPORTS (SWPPP).
- ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER/ENGINEER BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS FROM DESIGN ARE TO BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER AND NOTIFICATION TO THE ENGINEER. NO CONSIDERATION WILL BE GIVEN TO CHANGE ORDERS FOR WHICH THE OWNER AND ENGINEER WERE NOT CONTACTED PRIOR TO CONSTRUCTION OF THE AFFECTED ITEM.
- CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST OSHA STANDARDS FOR EXCAVATION AND TROWING PROCEDURES. CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BRACING, ETC., AS NECESSARY FOR THESE OPERATIONS, AND SHALL COMPLY WITH ALL OSHA PERFORMANCE CRITERIA.
- DO NOT INTERRUPT EXISTING UTILITIES SERVING FACILITIES OCCUPIED AND USED BY THE OWNER OR OTHERS DURING OCCUPIED HOURS EXCEPT WHEN SUCH INTERRUPTIONS HAVE BEEN AUTHORIZED IN WRITING BY THE OWNER AND THE LOCAL MUNICIPALITIES. INTERRUPTIONS SHALL ONLY OCCUR AFTER ACCEPTABLE TEMPORARY SERVICE HAS BEEN PROVIDED.
- ANY RECYCLED MATERIAL TO BE STOCKPILED ON THE SITE SHALL BE STORED IN AS SMALL AN AREA AS PRACTICAL, AND THE LOCATION OF ANY STOCKPILE SHALL BE WELL CLEAR OF THE BUILDING PAD AREA AND THE LOCATION MUST BE PRE-APPROVED BY THE ENGINEER AND OWNER PRIOR TO STOCKPILING.
- QUANTITIES SHOWN HERE ARE APPROXIMATE AND ARE PROVIDED FOR CONVENIENCE ONLY AND NOT FOR BID PURPOSES. CONTRACTOR SHALL VERIFY QUANTITIES NECESSARY TO DEMO FACILITIES SHOWN.
- ASBESTOS OR HAZARDOUS MATERIAL, IF FOUND ON SITE, SHALL BE REMOVED BY A LICENSED HAZARDOUS MATERIAL CONTRACTOR. REFERENCE ARCHITECTURAL PLANS FOR LIMITS OF BUILDING DEMOLITION.

SITE NOTES

- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
- CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
- ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, (UNLESS OTHERWISE NOTED ON PLANS) INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC., AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS AND PROJECT SITE WORK SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
- THE SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED "THE SITE SPECIFIC SPECIFICATIONS".

PICKUP EXTERIOR SIGN SCHEDULE		
DESCRIPTION	DIMENSIONS	QUANTITY
WAITING SPACES LEFT	18 X 24	X
WAITING SPACES RIGHT	18 X 24	X
WAITING SPACES AHEAD	18 X 24	X
RESERVED WAITING	18 X 24	X
PICKUP LEFT PHARMACY RIGHT	18 X 24	X
PICKUP RIGHT PHARMACY LEFT	18 X 24	X
STOP THANKS FOR ORDERING	18 X 36	X
PICKUP HOURS	18 X 36	X
RESERVED	18 X 18	29
PHONE NUMBER	8 X 18	29
VERTICAL PICKUP	18 X 36	29
PICKUP LEFT	18 X 24	2
PICKUP AHEAD	18 X 24	4
PICKUP RIGHT	18 X 24	2

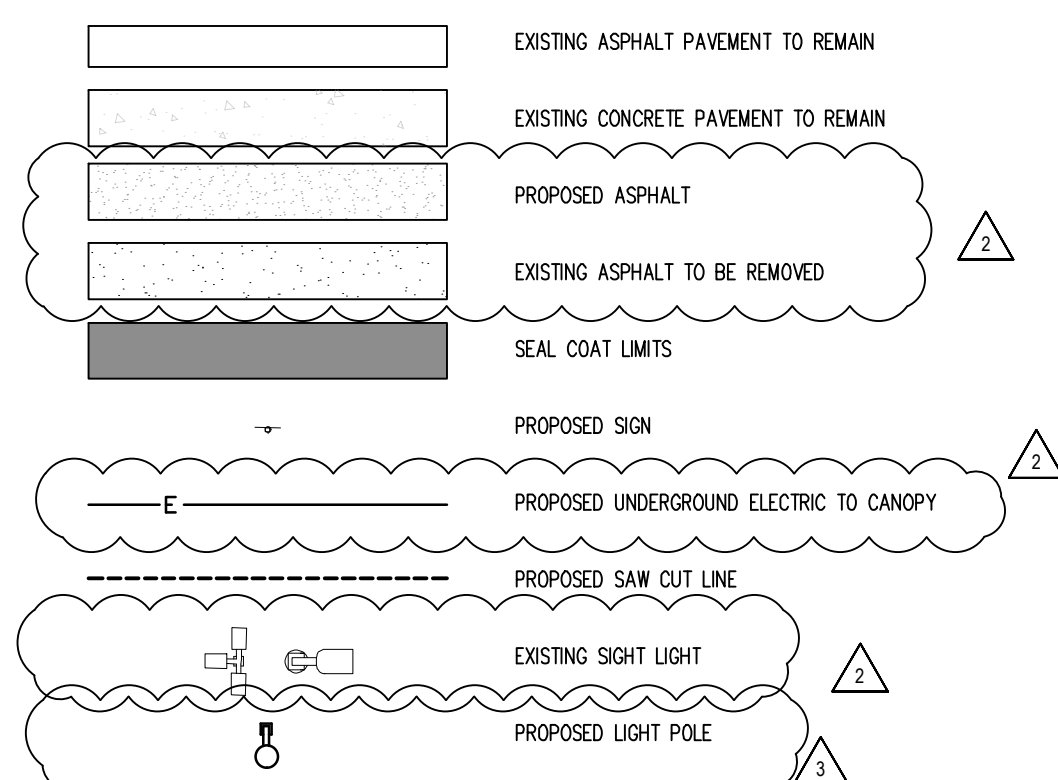
ALL PICKUP MARKING AND STALL SIGNS ARE WALMART SUPPLIED AND CONTRACTOR INSTALLED. CONTRACTOR TO PLACE SIGN ORDER AT LEAST 3 WEEKS IN ADVANCE. ORDER SHALL BE SENT VIA EMAIL TO GETTY THOMAS (getty.thomas@walmart.com) AND BRAD KEMER (brad.kemer@walmart.com). REQUEST SHALL CONTAIN A DELIVERY ADDRESS, DESIRED DELIVERY DATE, AND ANY SITE SPECIFIC SIGN SIZE AND/OR COLORS BASED ON APPROVED PLANS.

PARKING CALCULATIONS		
EXISTING STALL COUNT (OVERALL SITE)	998 STANDARD STALLS	8 PICKUP STALLS
	STANDARD STALLS ADDED	PICKUP STALLS ADDED
EXISTING LOCATION	10 STANDARD STALLS	LOSS OF 8 PICKUP STALLS
NEW LOCATION	LOSS OF 46 STANDARD STALLS	29 PICKUP STALLS
PROPOSED STALL COUNT (OVERALL SITE)	962 STANDARD STALLS	21 PICKUP STALLS
TOTAL PARKING REQUIRED (W/BUS CREDIT)	859	
TOTAL STALLS PROVIDED (STANDARD & PICKUP)	983	



KEY MAP
APPROX. 1" = 400'

LEGEND

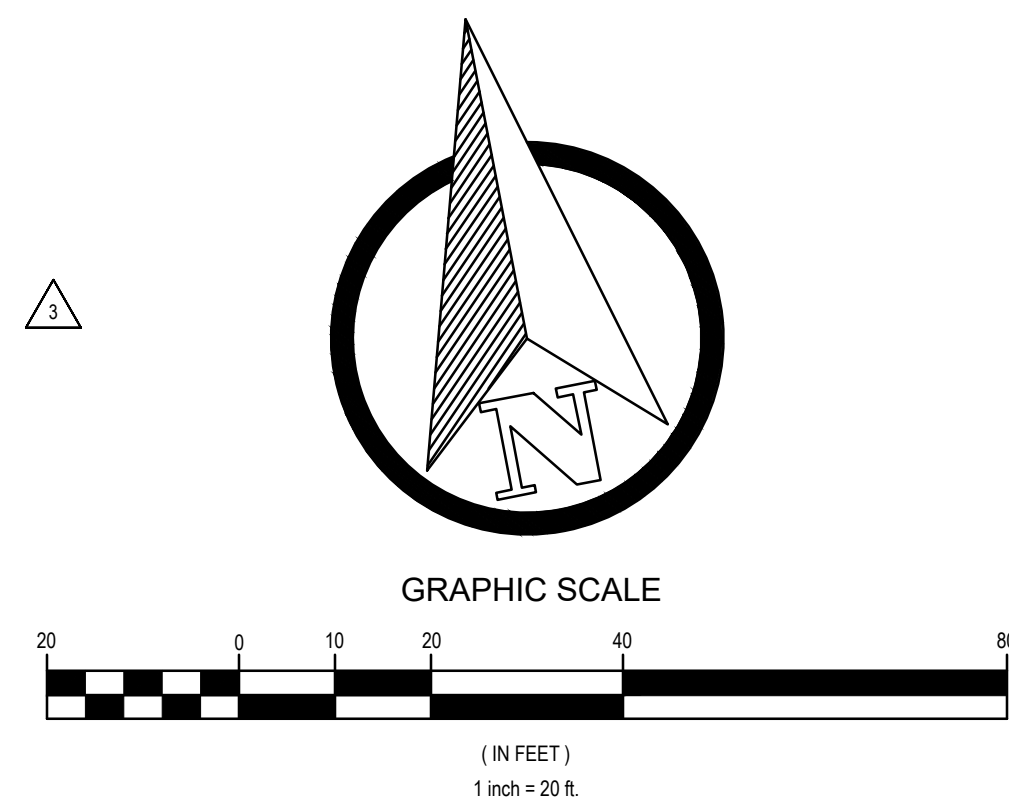


SITE & DEMOLITION SCHEDULE

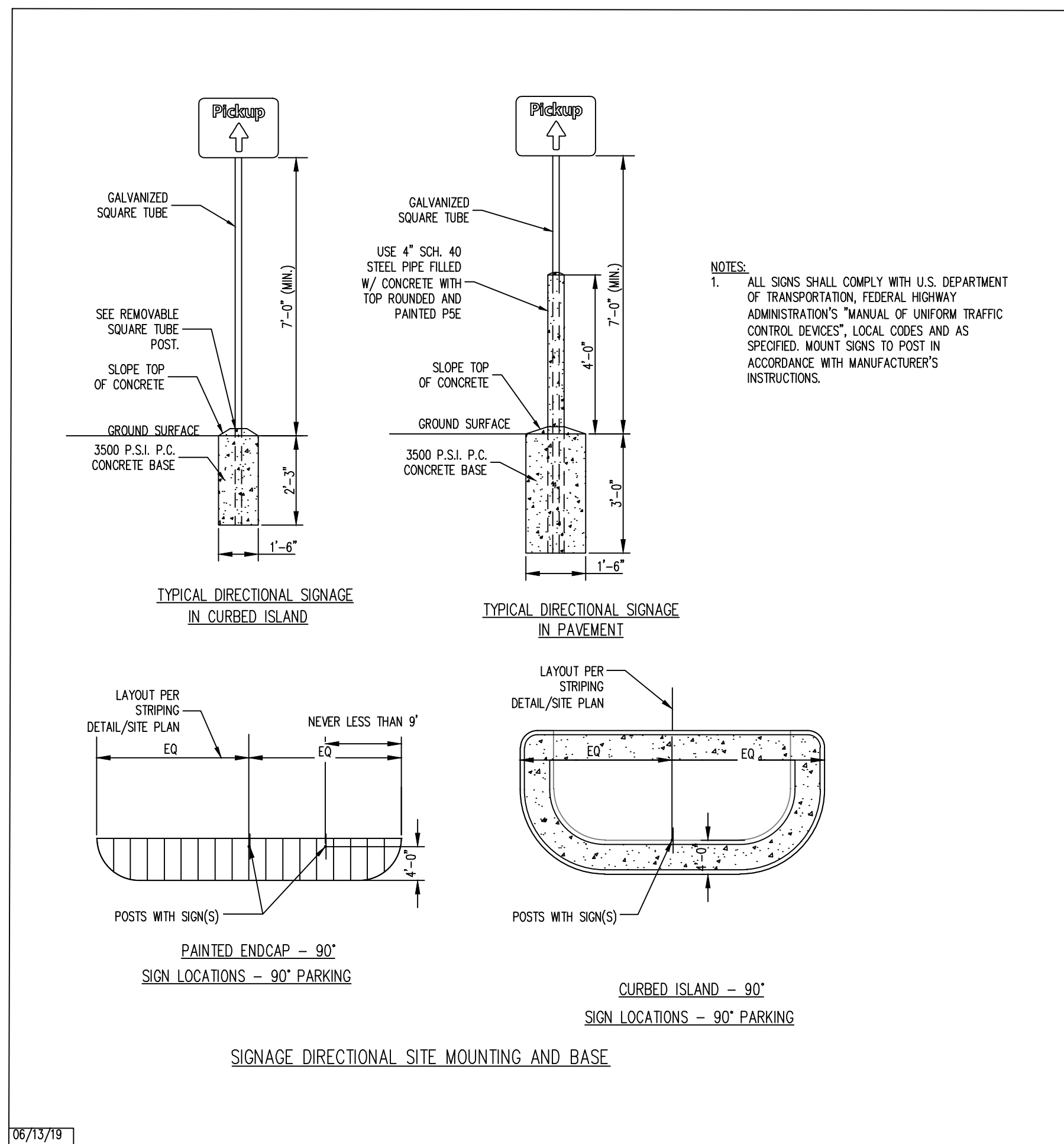
- EXISTING WALMART BUILDING TO REMAIN.
- EXISTING CONCRETE PAVEMENT TO REMAIN.
- EXISTING ASPHALT PAVEMENT TO REMAIN.
- EXISTING ASPHALT TO BE REMOVED.
- EXISTING STRIPING TO REMAIN.
- EXISTING CURB AND GUTTER TO REMAIN.
- PROPOSED 4" WIDE, SOLID YELLOW PARKING LOT STRIPING.
- PROPOSED 4" WIDE, SOLID YELLOW PARKING LOT STRIPING, 2" O.C. @ 45° WITH 4" PERIMETER STRIPE.
- PROPOSED PICKUP SIGNAGE, SIGN POST, AND BOLLARD (REF SITE DETAILS).
- NEW CROSSWALK MARKINGS - 6" WIDE PAINTED WHITE STRIPING PARALLEL TO DIRECTION OF TRAFFIC AT 2'-0" O.C. AND (1)-8" WHITE STRIPES PERPENDICULAR ON BOTH ENDS UNLESS NOTED OTHERWISE. SEE SITE PLAN FOR DIMENSIONS (REF SITE DETAILS).
- PROPOSED PICKUP NUMBER PAVEMENT MARKING (REF SITE DETAILS).
- PROPOSED SEAL COAT OVER EXISTING PAVEMENT.
- PROPOSED PEDESTRIAN CROSSING SIGNAGE AND BOLLARD BASE, MATCH EXISTING PEDESTRIAN CROSSING SIGNAGE ON SITE (W1-58 OR W1-2 & W16-7P).
- EXISTING ASPHALT TO BE REMOVED.
- EXISTING CURB AND GUTTER TO REMAIN. CONTRACTOR TO MATCH EXISTING TYPE AND ELEVATIONS.
- PROPOSED CURB AND GUTTER TO REMAIN. CONTRACTOR TO MATCH EXISTING TYPE AND ELEVATIONS.
- PROPOSED ASPHALT PATCH, (REF SITE DETAILS).
- PROPOSED LIGHT POLE (REF SITE DETAILS FOR LIGHT POLE BASE DETAILS) (REF. ELECTRICAL DRAWINGS).
- EXISTING SIGHT LIGHT TO REMAIN. CONTRACTOR TO PROTECT IN PLACE.

CAUTION - NOTICE TO CONTRACTOR

- ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE FIELD LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



ISSUE BLOCK			
PR #1	01/21/21		
ADD #1	02/16/21		
CCD 1#	05/14/21		



06/13/19



Stall Designation Signs
18" x 18"
2.25 SF



Logo Signs (Large)
Also Pickup Hours sign size
36" x 18"



Logo Signs (Small)
18" x 8"
1.00 SF

For pickup, please call:
555-555-5555

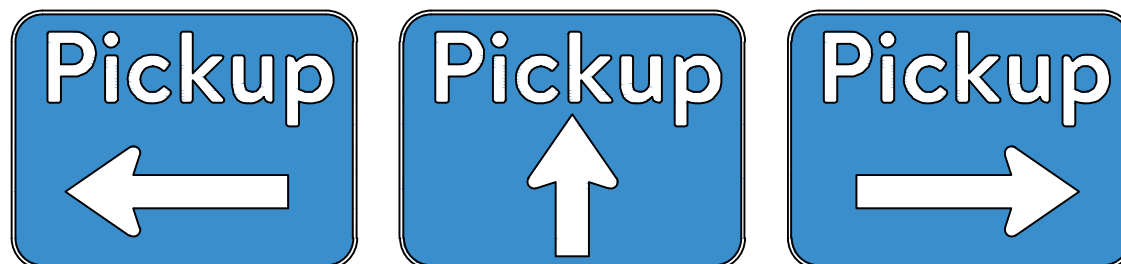
Call In Sign
18" x 8" 1.00 SF

SIGNS FURNISHED BY WALMART. ATTACHMENT TO WALL OR BOLLARD BY G.C.



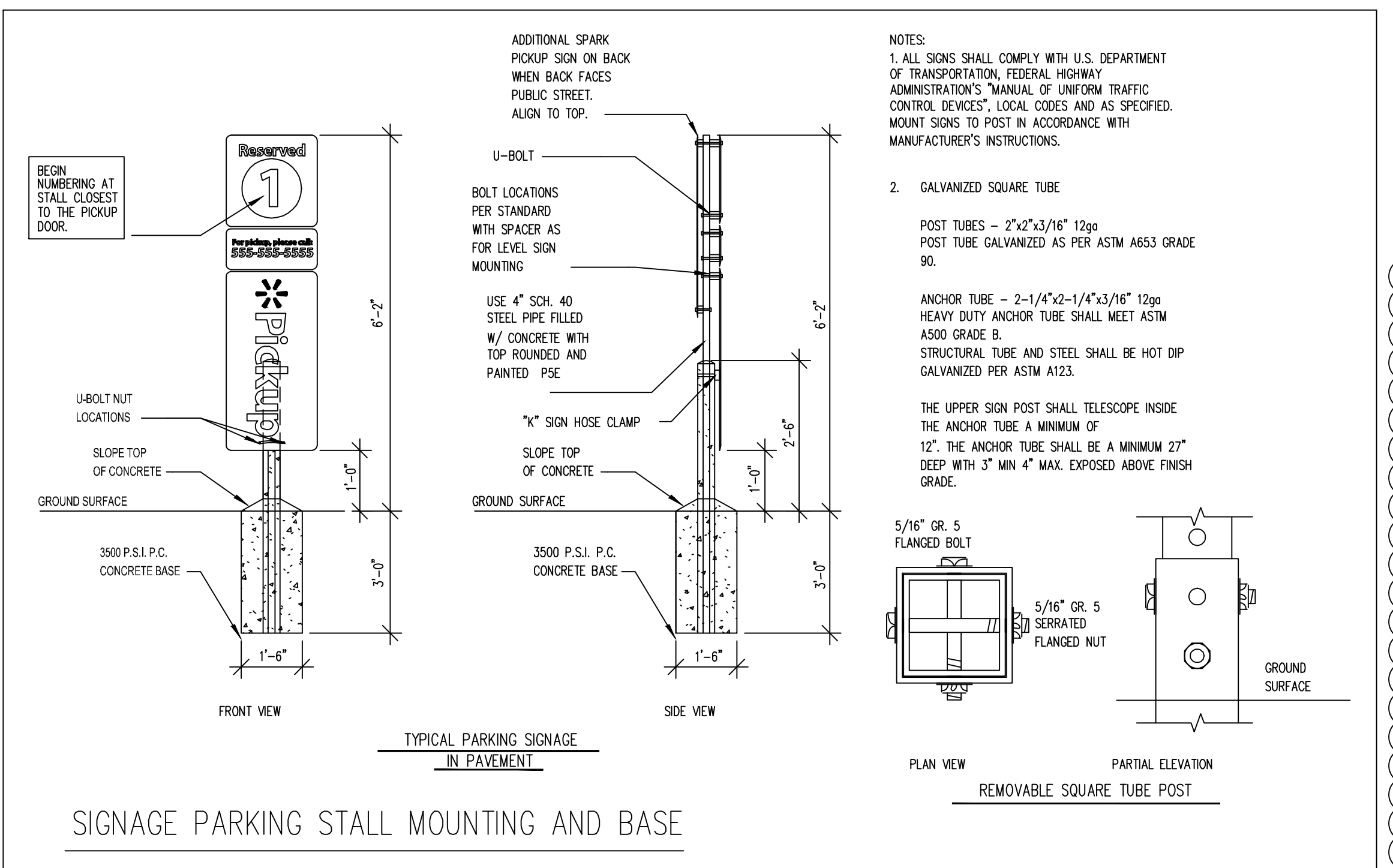
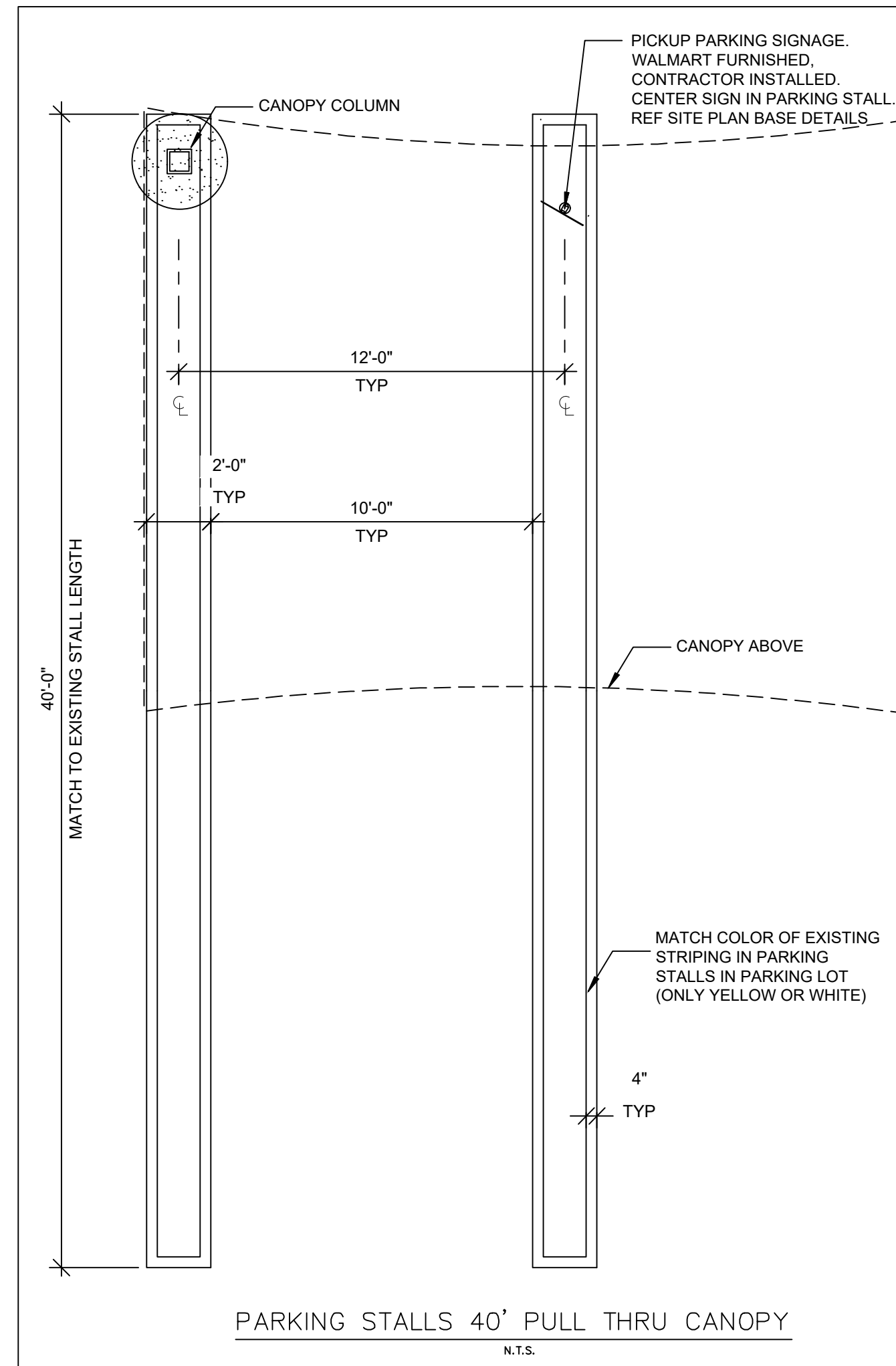
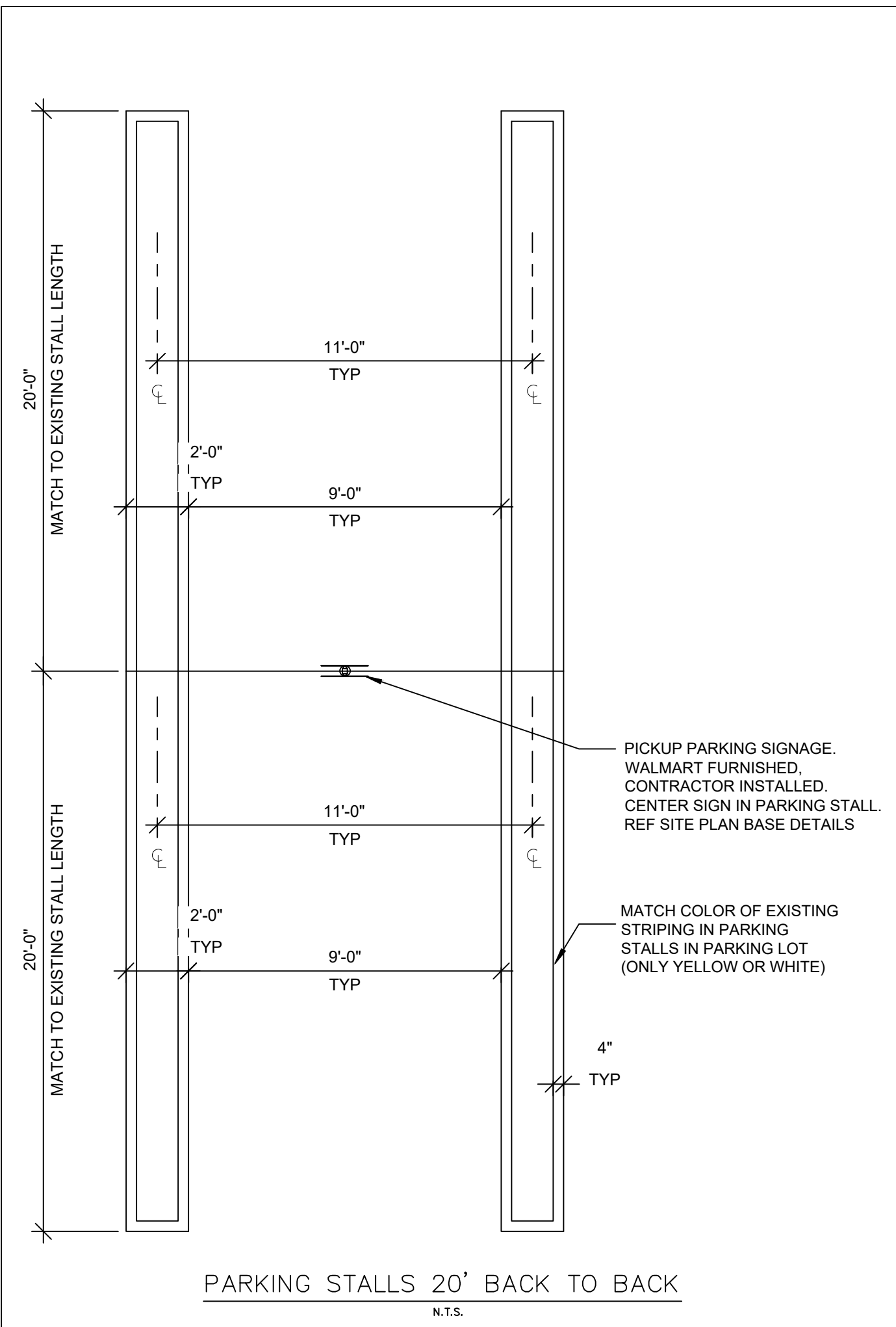
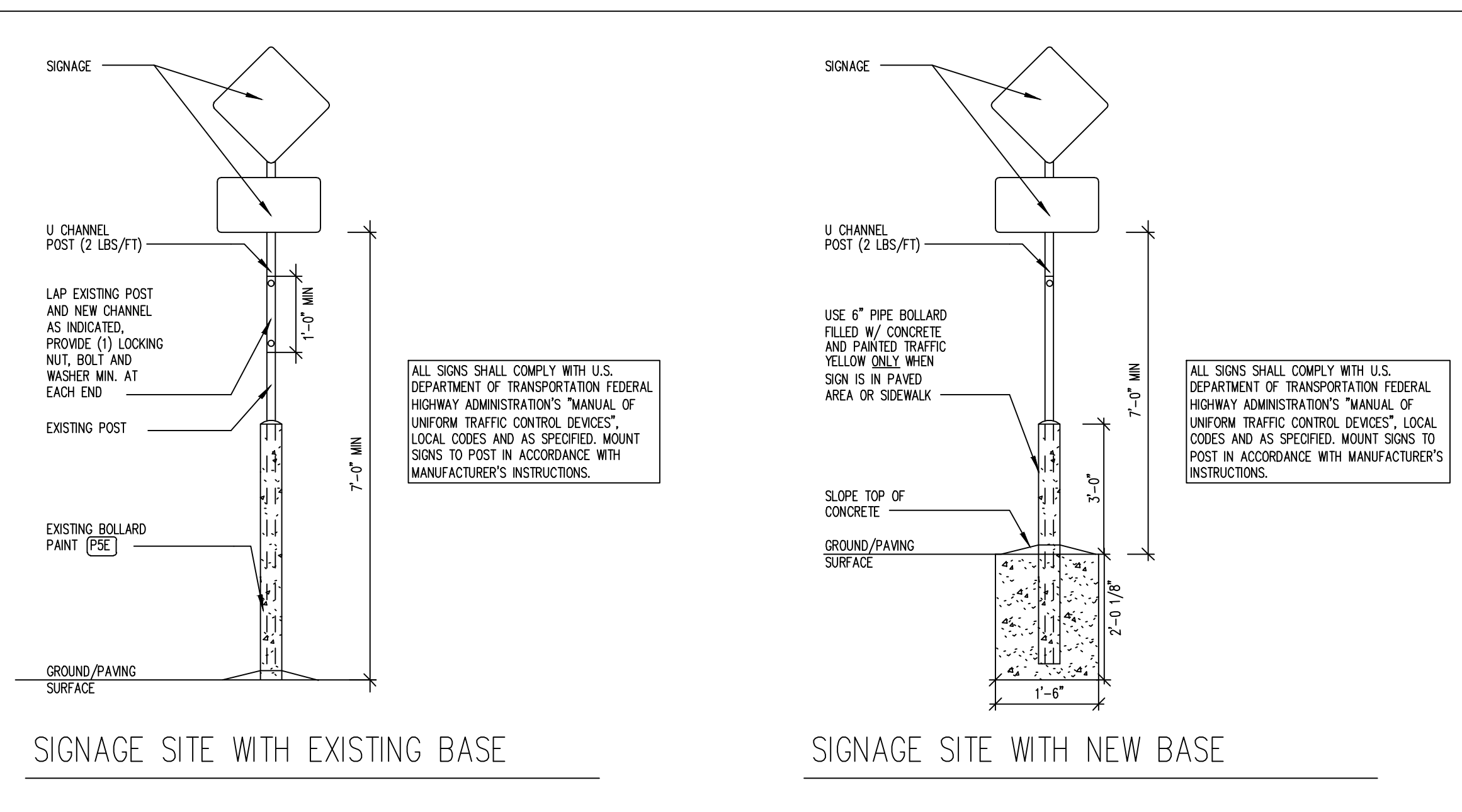
For pickup, please call:
555-555-5555

Parking Stall Placard

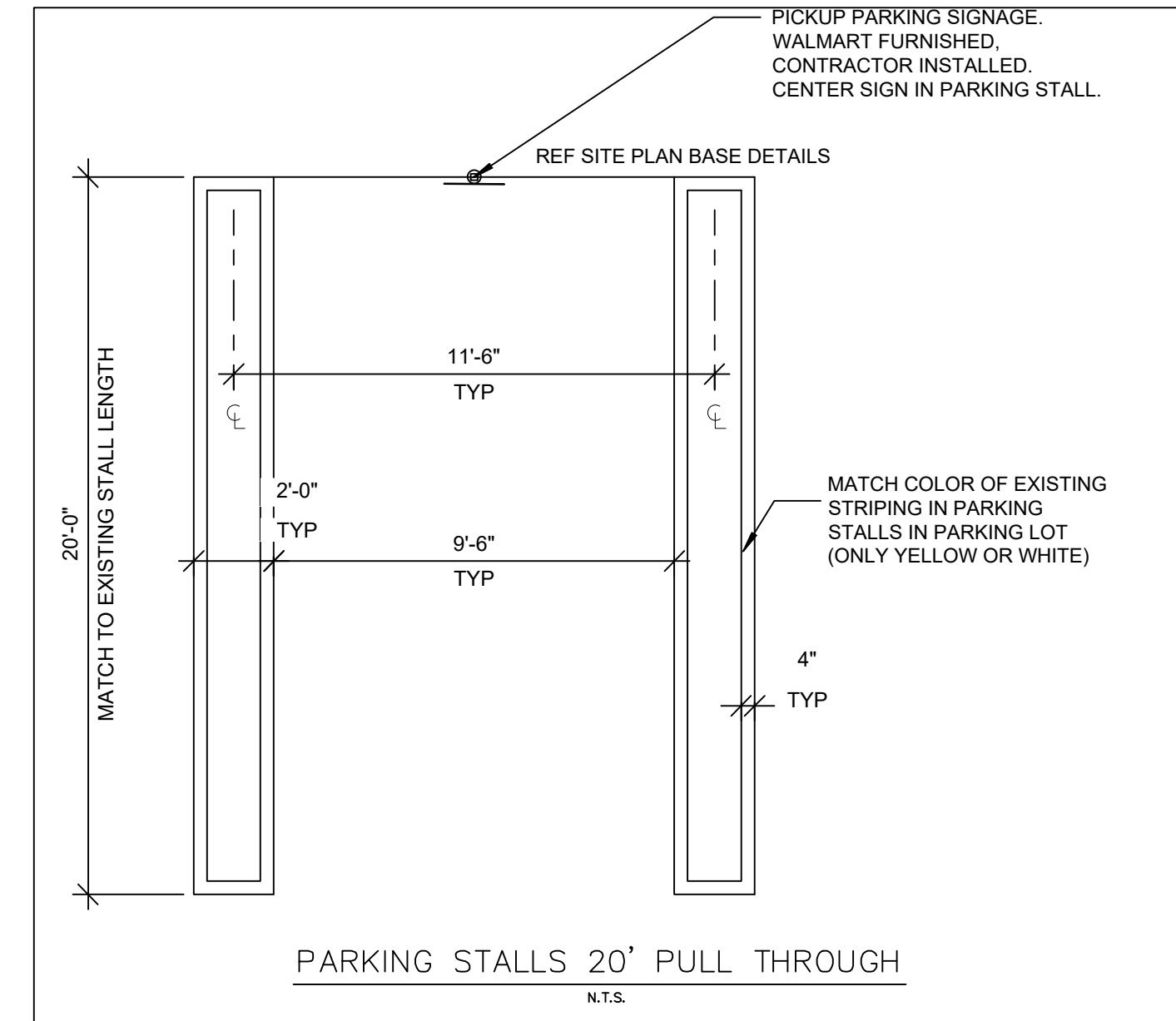
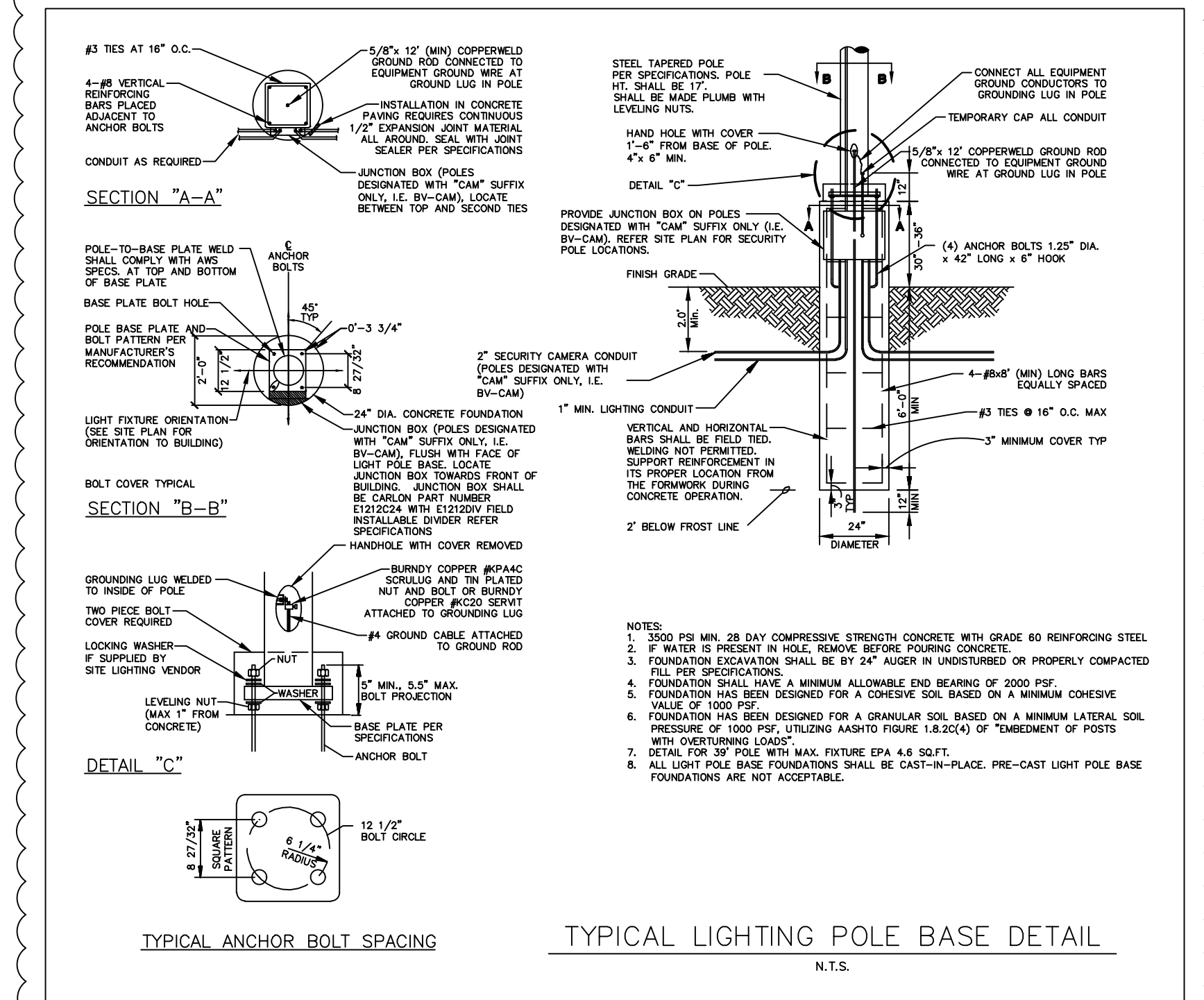
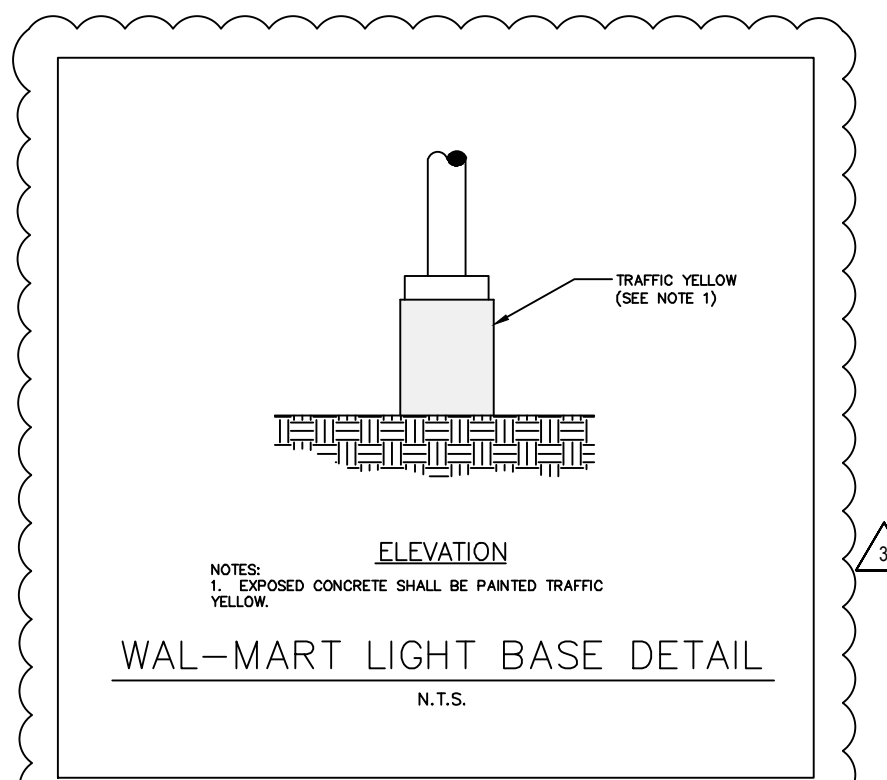
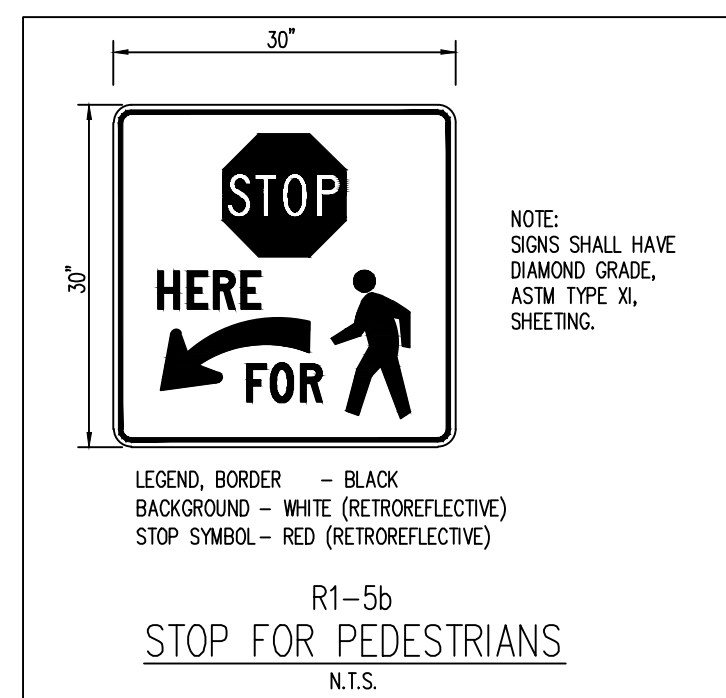
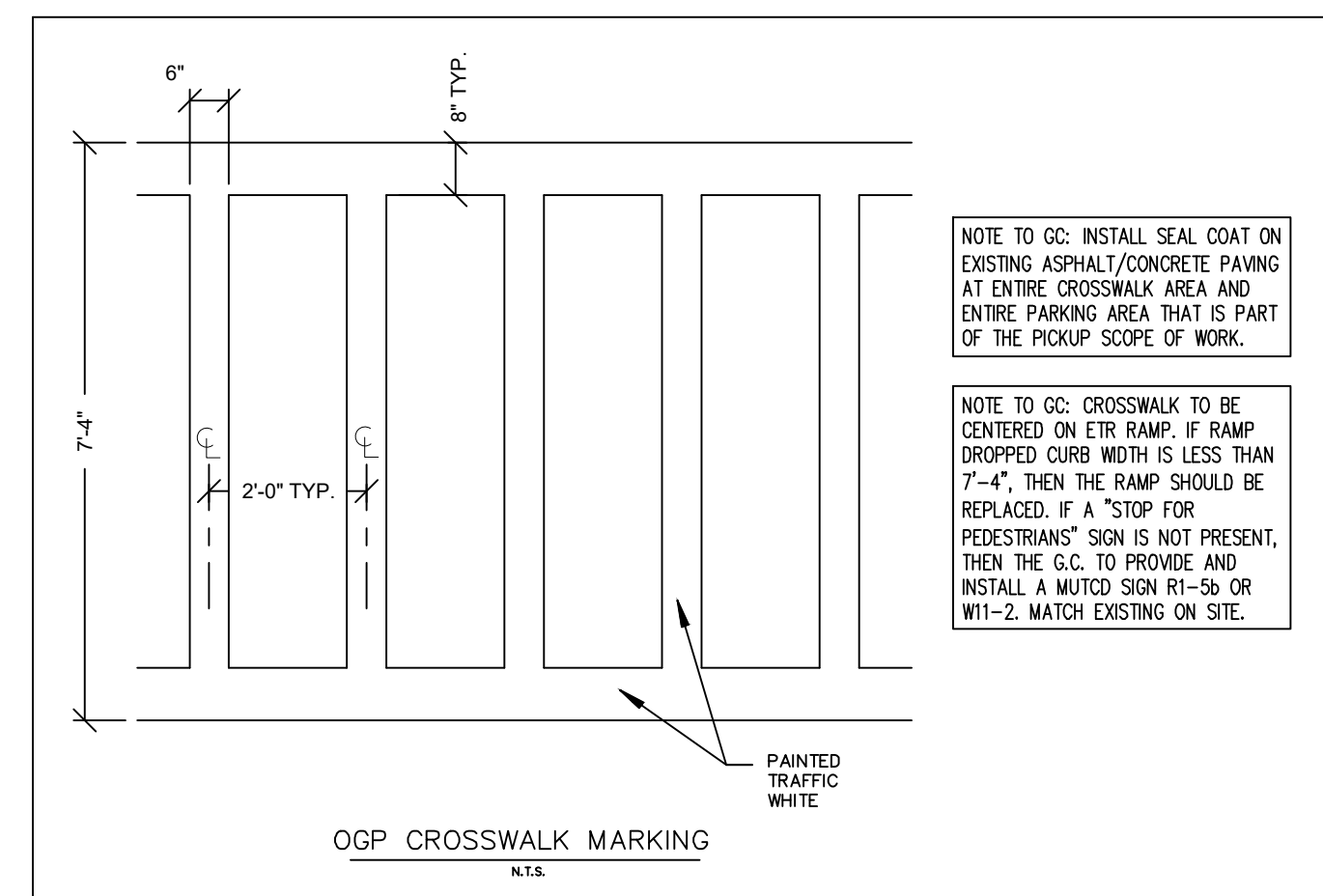


Directional Signs (Left / Straight / Right)
18" x 24"
3.00 SF

"PICKUP" SIGNAGE



FINISH LEGEND	
P76	WALMART BLUE SW#076
PSE	SAFETY YELLOW



ISSUE BLOCK		
PR #1	01/21/21	
ADD #1	02/16/21	
CCD #1	05/14/21	

CHECKED BY:	RCJ
DRAWN BY:	DJS
PROTO CYCLE:	09/25/20
DOCUMENT DATE:	01/21/21

ADMINISTRATIVE AMENDMENT

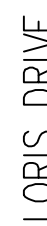
FILE # _____ **PROJECT #** _____

APPROVED BY

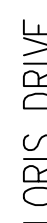
DATE

[illegible]





DEMOLITION PLAN – EXISTING PARKING
SCALE: 1"=10'



SITE PLAN – PROPOSED PICKUP PARKING
SCALE: 1"=10'

DEMOLITION NOTES

- SITE NOTES

SITE NOTES

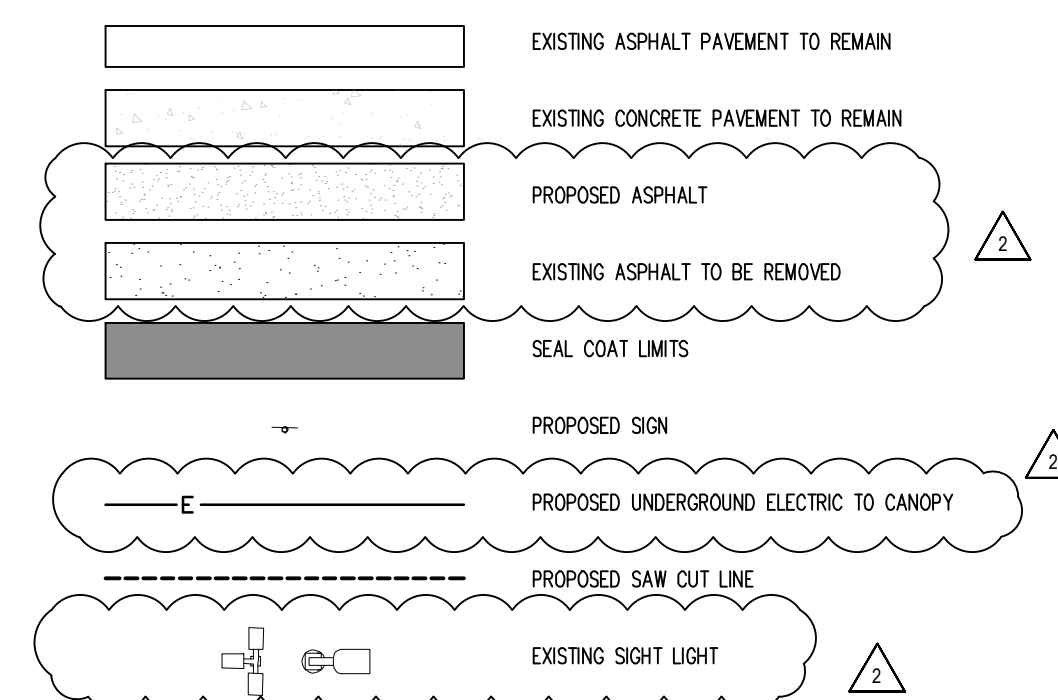
1. ALL WORK AND MATERIAL SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
2. CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SHOWERS, EXIT PORTALS, TRUCK DOORS, PRECAST BUILDING DIMENSIONS AND EXIST BUILDING UTILITY ENTRANCE LOCATIONS.
3. ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
4. MATERIALS AND CONSTRUCTION METHODS SHALL BE AS SHOWN ON PLANS. MATERIALS TO BE REMOVED, REMOVED OR RELOCATED AS NECESSARY, ALL COST SHALL BE INCLUDED IN BASE BID.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, (UNLESS OTHERWISE NOTED ON PLANS) WHICH ARE NOT SHOWN ON PLANS. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC SIGNALS OR POLICIES AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AGENCIES REQUIREMENTS AND PROJECT SITE WORK SPECIFICATIONS AND SHALL BE APPROVED BY CITY. ALL COST SHALL BE INCLUDED IN BASE BID.
6. THE SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED "THE SITE SPECIFIC SPECIFICATIONS".

ALL PICKUP WAYFINDING AND STALL SIGNS ARE WALMART SUPPLIED AND CONTRACTOR INSTALLED. CONTRACTOR TO PLACE SIGN ORDER AT LEAST 3 WEEKS IN ADVANCE. ORDER SHALL BE SENT VIA EMAIL TO GETTY THOMAS (Getty.Thomas@walmart.com) AND BRAD KEENER (Bradley.Keener@walmart.com). REQUEST SHALL CONTAIN A DELIVERY ADDRESS, DESIRED DELIVERY DATE, AND ANY SITE SPECIFIC SIGN SIZE AND/OR COLORS BASED ON APPROVED PLANS.

PARKING CALCULATIONS		
EXISTING STALL COUNT (OVERALL SITE)	988 STANDARD STALLS	8 PICKUP STALLS
	<u>STANDARD STALLS ADDED</u>	<u>PICKUP STALLS ADDED</u>
EXISTING LOCATION	10 STANDARD STALLS	LOSS OF 8 PICKUP STALLS
NEW LOCATION	LOSS OF 46 STANDARD STALLS	29 PICKUP STALLS
PROPOSED STALL COUNT (OVERALL SITE)	962 STANDARD STALLS	21 PICKUP STALLS
TOTAL PARKING REQUIRED (W/IN CREW)	869	
TOTAL STALLS PROVIDED (STANDARD & PICKUP)	983	



LEGEND

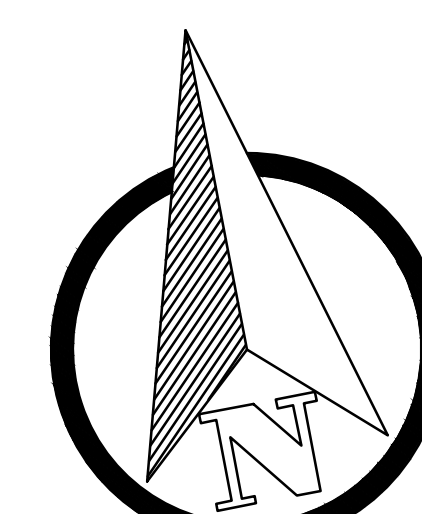


SITE & DEMOLITION SCHEDULE

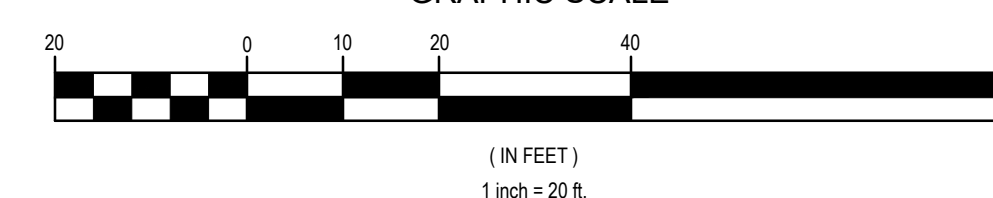
- (1) EXISTING MAINTAIN BUILDING TO REMAIN.
- (2) EXISTING CONCRETE PAVEMENT TO REMAIN.
- (3) EXISTING ASPHALT PAVEMENT TO REMAIN.
- (4) EXISTING STRIPING TO REMAIN.
- (5) EXISTING STRIPING TO BE REMOVED.
- (6) EXISTING CURB AND GUTTER TO REMAIN.
- (7) PROPOSED 4" WIDE, SOLID YELLOW PARKING LOT STRIPING.
- (8) PROPOSED 4" WIDE, SOLID YELLOW PARKING LOT STRIPING, 2' O.C. & 45" WITH 4" PERMETER STRIPE.
- (9) PROPOSED POOPY SIGNAGE, SIGN POST, AND BOLLARD (REF SITE DETAILS).
- (10) NEW CROSSWALK MARKINGS - 6" WIDE PAINTED WHITE STRIPING PARALLEL TO DIRECTION OF TRAFFIC AT 1'-2" O.C. AND (1)-8" WHITE STRIPE PERPENDICULAR ON BOTH SIDES UNLESS NOTED OTHERWISE. SEE PLAN FOR DIMENSIONS (REF SITE DETAILS).
- (11) PROPOSED POOPY NUMBER PAVEMENT MARKING (REF SITE DETAILS).
- (12) PROPOSED SEAL COAT OVER EXISTING PAVEMENT.
- (13) PROPOSED PEDESTRIAN CROSSING SIGNAGE AND BOLLARD BASE MATCH EXISTING PEDESTRIAN CROSSING SIGNAGE ON SITE (R#-58 OR M#-1 & 2, W#-1P).
- (14) PROPOSED CANOPY FOOTING (REF ARCHITECTURAL DRAWINGS).
- (15) PROPOSED IF RELOCATED CANOPY (REF ARCHITECTURAL DRAWINGS).
- (16) EXISTING ASPHALT TO BE REMOVED.
- (17) PROPOSED ELECTRIC LINE TO CANOPY. (REF ARCHITECTURAL DRAWINGS).
- (18) PROPOSED ASPHALT PATCH. (REF SITE DETAILS).

CAUTION – NOTICE TO CONTRACTOR

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE FIELD LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH DITCHING OR ALTERNATE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



GRAPHIC SCALE



(IN FEET)

Galloway

1755 Telesar Drive, Suite 107
Colorado Springs, CO 80920

STIPULATION FOR REUSE
THIS DRAWING WAS PREPARED FOR
USE ON A SPECIFIC SITE AT:
ALBUQUERQUE (S) AND
CONTEMPORANEOUSLY WITH ITS
DATE ON 01/21/2021, AND IT IS NOT
INTENDED TO BE REUSEABLE FOR
SUITABLE FOR USE ON A DIFFERENT
PROJECT SITE OR AT A LATER
DATE. THIS DRAWING FOR REFERENCE
FOR EXAMPLE ON ANOTHER PROJECT
REQUIRES THE SERVICES OF PROPERLY
LICENSED ARCHITECTS AND ENGINEERS.
REPRODUCTION OF THIS DRAWING FOR
REUSE ON ANOTHER PROJECT IS NOT
AUTHORIZED AND MAY BE CONTRARY



Walmart*
ALBUQUERQUE (S), NM
 3500 COORS BLVD SW
 STORE NO: 05430-248

2021 MAJOR PROJECT

ISSUE BLOCK

CHECKED BY:	RO
DRAWN BY:	DJ
PROTO CYCLE:	09/25/2
DOCUMENT DATE:	01/21/

CHECKED BY: RO

DRAWN BY: D.

PROTO CYCLE: 09/25/2

DOCUMENT DATE: 01/31/2012

PROPOSED PICKUP DEMOLITION & SITE PLAN

SHEET: CS2

A
B
C
D
E
F
G
H
I
J
K
L
M
N



SIGNAGE & STRIPING SCHEDULE NOTES

- PROPOSED PICKUP PICKUP SIGNAGE, LEFT. SEE DETAIL SHEET C3 FOR SIGNAGE AND LOCATION DETAILS.
- PROPOSED PICKUP PICKUP SIGNAGE, STRAIGHT. SEE DETAIL SHEET C3 FOR SIGNAGE AND LOCATION DETAILS.
- PROPOSED PICKUP PICKUP SIGNAGE, RIGHT. SEE DETAIL SHEET C3 FOR SIGNAGE AND LOCATION DETAILS.
- EXISTING PICKUP SIGNAGE TO BE REMOVED AND PROPERLY DISPOSED OF. POST AND BASE TO BE REUSED AND LEFT IN PLACE.
- EXISTING PICKUP SIGNAGE TO BE REMOVED AND PROPERLY DISPOSED OF.
- PROPOSED SEAL COAT OVER EXISTING PAVEMENT MARKINGS.

SITE SIGNAGE LEGEND

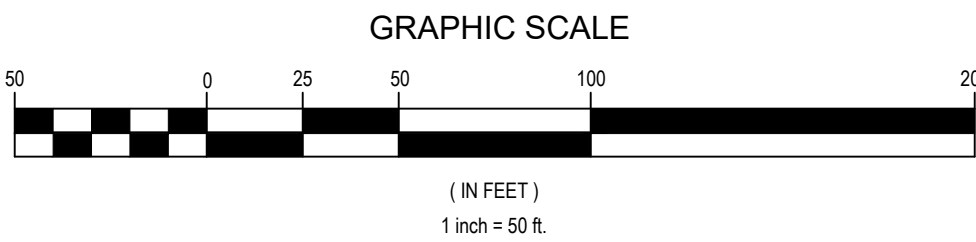
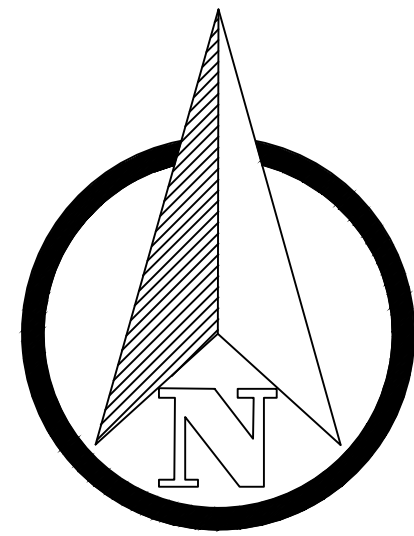
- PROPERTY LINE
- PROPOSED PATH OF TRAVEL FOR PICKUP CUSTOMER.
- PROPOSED PICKUP AREA

SITE SIGNAGE NOTES

- THIS PLAN WAS PREPARED BASED ON AN AERIAL CAPTURED 03/26/2016. THIS PLAN IS FOR ILLUSTRATIVE PURPOSES ONLY. ACTUAL FIELD CONDITIONS MAY VARY SIGNIFICANTLY FROM THIS DRAWING.
- REFERENCE SITE DETAILS FOR SIGN LOCATION & VESTIBULE CROSSWALK DETAILS FOR SITE SIGNAGE OFFSETS.

PICKUP EXTERIOR SIGN SCHEDULE		
DESCRIPTION	DIMENSIONS	QUANTITY
WAITING SPACES LEFT	18 X 24	X
WAITING SPACES RIGHT	18 X 24	X
WAITING SPACES AHEAD	18 X 24	X
RESERVED WAITING	18 X 24	X
PICKUP LEFT PHARMACY RIGHT	18 X 24	X
PICKUP RIGHT PHARMACY LEFT	18 X 24	X
STOP THANKS FOR ORDERING	18 X 36	X
PICKUP HOURS	18 X 36	X
RESERVED	18 X 18	29
PHONE NUMBER	8 X 18	29
VERTICAL PICKUP	18 X 36	29
PICKUP LEFT	18 X 24	2
PICKUP AHEAD	18 X 24	4
PICKUP RIGHT	18 X 24	2

ALL PICKUP MARKING AND STALL SIGNS ARE WALMART SUPPLIED AND CONTRACTOR INSTALLED. CONTRACTOR TO PLACE SIGN ORDER AT LEAST 3 WEEKS IN ADVANCE. ORDER SHALL BE SENT VIA EMAIL TO GETTY THOMAS (getty.thomas@walmart.com) AND BRAD KEENER (brad.keener@walmart.com). REQUEST SHALL CONTAIN A DELIVERY ADDRESS, DESIRED DELIVERY DATE, AND ANY SITE SPECIFIC SIGN SIZE AND/OR COLORS BASED ON APPROVED PLANS.





SGA Design Group

May 17, 2021

Maggie Gould, Planning Manager
City of Albuquerque Planning Department
Land Development Coordination
600 Second Street NW
Albuquerque, NM 87109

Re. Walmart #5430.248 located at: 3500 Coors Blvd SW
Amendment to AA #SI-2021-00089

The scope of work for this Administrative Amendment review is the for updating of the current Walmart site changes. We are proposing the removal of the OGP canopy from the site and update OGP parking stalls plus addition of a electric light pole to match existing lighting for the site to add lighting to the updated OGP Parking area at the back left side of the store.

With these updates being proposed, the movement of the OGP items listed above will help serve the store staff and customers better.

The impact to the site will be minimal and we ask for approval to proceed upon approval of permit number BP-2020-54296 that is currently in plan review with the Building Department.

If you have any questions, please do not hesitate to contact me.

Thank you,

Gina Kelly
SGA Design Group
1437 S Boulder Ave-Ste. 550
Tulsa, OK 74119
ginak@sgadesigngroup.com

FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS

A single PDF file of the complete application including all plans and documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD.

☐ ARCHEOLOGICAL CERTIFICATE

- ___ Archaeological Compliance Documentation Form with property information section completed
- ___ Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)
- ___ Letter of authorization from the property owner if application is submitted by an agent
- ___ Zone Atlas map with the entire site clearly outlined and labeled

☒ MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB

- ☒ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(2)
- ☒ Three (3) copies of all applicable sheets of the approved Site Plan being amended, folded
- ___ Copy of the Official Notice of Decision associated with the prior approval
- ☒ Three (3) copies of the proposed Site Plan, with changes circled and noted
Refer to the Site Plan Checklist for information needed on the proposed Site Plan.
- ☒ Letter of authorization from the property owner if application is submitted by an agent
- ☒ Zone Atlas map with the entire site clearly outlined and labeled

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

☐ MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO

- ___ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Z)(1)(a)
- ___ Three (3) copies of all applicable sheets of the approved Site Development Plan being amended, folded
- ___ Copy of the Official Notice of Decision associated with the prior approval
- ___ Three (3) copies of the proposed Site Development Plan, with changes circled and noted
Refer to the Site Plan Checklist for information needed on the proposed Site Plan.
- ___ Letter of authorization from the property owner if application is submitted by an agent
- ___ Zone Atlas map with the entire site clearly outlined and labeled

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

☐ ACCELERATED EXPIRATION SITE PLAN

- ___ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)(c)
- ___ Site Plan to be Expired
- ___ Letter of authorization from the property owner if application is submitted by an agent
- ___ Zone Atlas map with the entire site clearly outlined and labeled

☐ ALTERNATIVE SIGNAGE PLAN

- ___ Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)
- ___ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(F)(4)(c)
- ___ Required notices with content per IDO Section 14-16-6-4(K)
 - ___ Office of Neighborhood Coordination notice inquiry response and proof of emailed notice to affected Neighborhood Association representatives
 - ___ Sign Posting Agreement
- ___ Letter of authorization from the property owner if application is submitted by an agent
- ___ Zone Atlas map with the entire site clearly outlined and labeled

☐ ALTERNATIVE LANDSCAPE PLAN

- ___ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-5-6(C)(16)
- ___ Landscape Plan
- ___ Letter of authorization from the property owner if application is submitted by an agent
- ___ Zone Atlas map with the entire site clearly outlined and labeled

I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.

Signature: Gina Kelly

Date: 005/19/2021

Printed Name: Gina Kelly

☒ Applicant or ☐ Agent

FOR OFFICIAL USE ONLY

Project Number:

Case Numbers

-

-

-

Staff Signature:

Date:



SCALE: 1"=10'

SCALE: 1"=10'

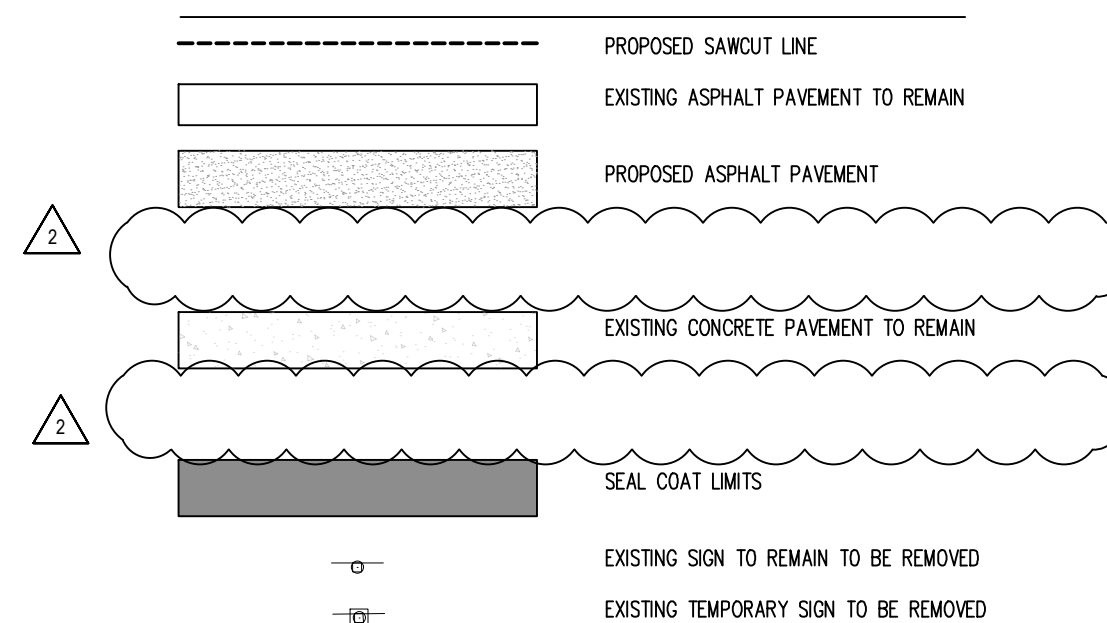
- THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL, REMEDIATION, AND DISPOSAL. (IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES) ALL STRUCTURES, PILES, WALLS, FLOODGATES, FOUNDATIONS, AND OTHER STRUCTURES AND MATERIALS THAT ARE NOT TO BE REMOVED OR RECYCLED, OR FOR WHICH PROPOSED PLANS CAN BE CONSTRUCTED, ALL FACILITIES TO BE REMOVED SHALL BE UNDERTAKEN TO STABLE MATERIAL AND BROUGHT TO GRADE WITH SUFFICIENT COMPACTED ALL MATERIAL FOR THE RECYCLED MATERIAL TO BE USED TO RECONSTRUCT THE EXISTING STRUCTURE.
2. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR THE REMOVAL AND DISPOSAL OF DEBRIS.
3. THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY THEMSELVES AND SHALL BE REQUIRED TO BE PRESENT AT ALL TIMES FOR THEIR SERVICES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
4. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE RECORD DRAWINGS AND FIELD SURVEY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTING ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR MARKING ONCE LOCATIONS OF UTILITIES.
5. ALL EXISTING SEWERS, PIPING AND UTILITIES SHOWN ARE NOT TO BE INTERFERED AS THE EXIST LOCATION, OR AT ANY OTHER LOCATIONS THAT MAY OCCUR ON THE SITE. VERY EXISTING EXISTING UTILITIES ARE TO BE PROTECTED AND NOT TO BE REMOVED OR RELOCATED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND COORDINATING WITH THE UTILITY COMPANIES REGARDING DESTRUCTION AND LOCATION OF ALL SERVICE LINES AND CALL LINES BEFORE PROCEEDING WITH THE WORK. UTILITIES WHEN DETECTED TO BE ABANDONED AND LEFT IN PLACE, SHALL BE PROTECTED AND NOT TO BE REMOVED OR RELOCATED.
6. CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRETTAGE, ENCLOSURES, ETC., (AND OTHER APPROPRIATE BEST MANAGEMENT PRACTICES) AS APPROVED BY CITY AND OTHER. SHOULD ANY DAMAGE OR DAMAGE OCCUR TO ANY EXISTING UTILITIES, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING NEW MATERIALS/STRUCTURES IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. SHOULD ANY MATERIALS DETECTED TO BE RELOCATED ON THIS PLAN, ALL OTHER CONSTRUCTION MATERIALS SHALL BE NEW. DAMAGE TO ALL EXISTING CONDITIONS TO REMAIN WILL BE REPLACED AT CONTRACTOR'S EXPENSE.
7. CONTRACTOR SHALL LIMIT SAW-OFF AT PAYMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS, BUT IF ANY DAMAGE IS INCURRED DUE TO THE USE OF SAWING EQUIPMENT, ETC., THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REPAIR AND REPAIR.
8. IF THE CONTRACTORS RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES WHICH MAY HAVE ANY UTILITIES LOCATED ON THE SITE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FOLLOWING:
- THE CONTRACTOR SHALL PROVIDE 72 HOURS MINIMUM NOTICE TO ALL UTILITY COMPANIES PRIOR TO BEGINNING CONSTRUCTION.
9. IF ANY UTILITIES SHOWN ARE LOCATED ACCORDING TO THE INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME, THE DRAWINGS WERE PREPARED AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THE ENGINEER, GUARANTEE IS NOT MADE THAT ALL EXISTING UNDERGROUND UTILITIES ARE ACCURATELY LOCATED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ANY EXISTING UTILITIES IN THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE DONE BEFORE HE COMMENCES ANY WORK IN THE MOUNTAIN. FURTHERMORE, THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ANY DAMAGE TO ANY EXISTING UTILITIES, AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ANY AND ALL UNDERGROUND UTILITIES. THE OWNER OR ENGINEER WILL ASSUME NO LIABILITY FOR ANY DAMAGES SUSTAINED OR LOSS INCURRED BECAUSE OF THE OPERATIONS IN THE MOUNTAIN OF EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ANY EXISTING UTILITIES TO SHORE, BRIDGE, SINK OR RELOCATE A UTILITY, THE UTILITY COMPANY OR REPRESENTATIVE ACCEPTS THE NEW LOCATION OF THE CONTRACTOR AND THEIR PERMISSION OR AGREEMENT REGARDING THE METHOD TO BE USED FOR SUCH WORK.
10. THE CONTRACTOR SHALL HAVE AVAILABLE AT THE JOB SITE AT ALL TIMES ONE COPY OF THE CONTRACT DOCUMENTS INCLUDING PLANS, SPECIFICATIONS, COPIES OF ANY REQUIRED CONSTRUCTION PERMITS, AND RECORD DRAWINGS AND RECORDS AND RECORDS.
11. ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER/ENGINEER BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS FROM DESIGN ARE TO BE MADE WITHOUT THE WRITTEN APPROVAL OF THE OWNER/ENGINEER. ANY CHANGES TO THE CONTRACTOR SHALL BE GIVEN TO CHANGE ORDERS FOR WHICH THE OWNER AND ENGINEER WERE NOT CONSIDERED TO BE RESPONSIBLE FOR THE EFFECTED ITEM.
12. THE CONTRACTOR SHALL MEET OR EXCEED ALL LATEST GOVERNMENT STANDARDS FOR EXCAVATION AND TRENCHING PROCEDURES. CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING, ETC. AS NECESSARY FOR THESE OPERATIONS, AND SHALL COMPLY WITH ALL OSHA PERFORMANCE OBJECTIVES.
13. DO NOT INTERRUPT EXISTING UTILITIES SERVING FACILITIES OCCUPIED AND USED BY THE OWNER OR OTHERS DURING OCCUPANCY HOURS EXCEPT WHEN SUCH INTERRUPTIONS HAVE BEEN AUTHORIZED IN WRITING AND IN ACCORDANCE WITH THE OSHA REGULATIONS. INTERRUPTIONS SHALL ONLY OCCUR AFTER ACCEPTABLE TEMPORARY SERVICE HAS BEEN PROVIDED.
14. ANY RECYCLED MATERIAL TO BE STOCKPILED ON THIS SITE SHALL BE STORED IN A SMALL AREA AS PRACTICAL, AND THE LOCATION OF ANY STOCKPILE SHALL BE WELL CLEAR OF THE BUILDING PAD AND SHALL BE PROTECTED BY FENCING AND BARRETTAGE.
15. QUANTITIES SHOWN HERE ARE APPROXIMATE AND ARE PROVIDED FOR CONVENIENCE ONLY AND NOT FOR BID PURPOSES. CONTRACTOR SHALL VERIFY QUANTITIES NECESSARY FOR REMOVAL FACILITIES. SHOWN.
16. RECYCLED MATERIAL SHALL BE STOCKPILED IN A SMALL AREA AS PRACTICAL, AND THE LOCATION OF ANY STOCKPILE SHALL BE WELL CLEAR OF THE BUILDING PAD AND SHALL BE PROTECTED BY FENCING AND BARRETTAGE.
17. MATERIAL, CONTRACTOR, REFERENCE MATERIALS, PLANS FOR LIMITS OF BUILDING FOUNDATION.

1. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
2. CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF EXISTING STRIPES, CURB, SIDEWALK, DRIVE, PAVED AREAS, DRIVE DOORS, PRECISE BUILDING DIMENSIONS AND EXIST BUILDING UTILITY ENTRANCE LOCATIONS.
3. ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
4. EXISTING STRIPES SHALL BE MAINTAINED. IF TO BE ABOLISHED, REMOVED OR RELOCATED AS NECESSARY, ALL COST SHALL BE INCLUDED IN BIDDING PRICE.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, (UNLESS OTHERWISE NOTED ON PLANS) OF ALL UTILITIES (UNDERGROUND AND OVERHEAD) SUCH AS GAS, WATER, SANITARY AND POWER, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES REGULATIONS AND PROJECT SITE WORK SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BIDDING PRICE.
6. THE SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED "THE SITE SPECIFIC SPECIFICATIONS".

PARKING CALCULATIONS		
EXISTING STALL COUNT (OVERALL SITE)	998 STANDARD STALLS	8 PICKUP STALLS
	STANDARD STALLS ADDED	PICKUP STALLS ADDED
EXISTING LOCATION	10 STANDARD STALLS	LOSS OF 8 PICKUP STALLS
NEW LOCATION	LOSS OF 46 STANDARD STALLS	29 PICKUP STALLS
PROPOSED STALL COUNT (OVERALL SITE)	962 STANDARD STALLS	21 PICKUP STALLS
TOTAL PARKING REQUIRED (VEHICLE CREDIT)	859	
TOTAL STALLS PROVIDED (STANDARD & PICKUP)	983	

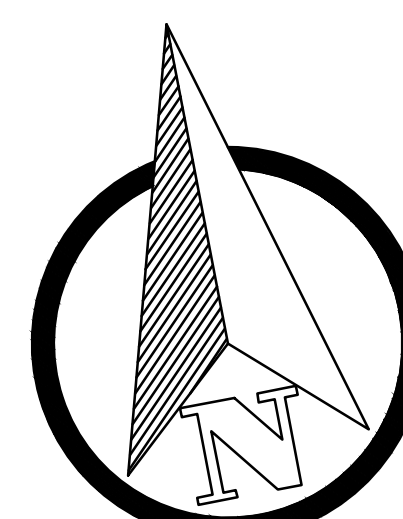


APPROX. $1'' = 4$

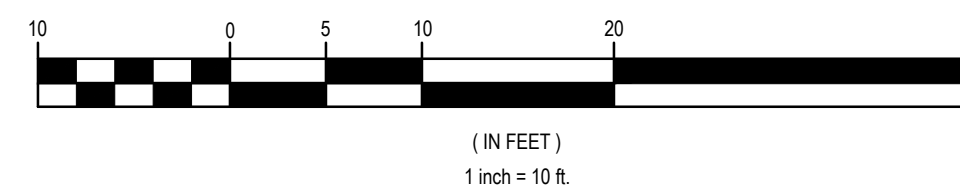


- 1 EXISTING MUMART BUILDING TO REMAIN.
- 2 EXISTING CONCRETE PAVEMENT TO REMAIN.
- 3 EXISTING ASPHALT PAVEMENT TO REMAIN.
- 4 EXISTING STRIPING TO BE REMOVED.
- 5 EXISTING PICKUP PAVEMENT MARKINGS TO BE REMOVED.
- 6 EXISTING PICKUP SIGNAGE, POST AND BASE TO BE REMOVED AND PROPERLY DISPOSED OF.
- 7 EXISTING CURB AND GUTTER TO REMAIN.
- 8 EXISTING TEMPORARY SIGNAGE TO BE REMOVED AND PROPERLY DISPOSED OF.
- 9 EXISTING CROSSMALK STRIPING TO BE REMOVED.
- 10 EXISTING CANOPY COLUMNS TO BE REMOVED. EXISTING COLUMNS TO BE CUT, FILLED WITH EXISTING PAVEMENT AND FILLED WITH CONCRETE TO MATCH EXISTING GRADE.
- 11 EXISTING STRIPING TO REMAIN.
- 12 N/A
- 13 N/A
- 14 N/A
- 15 PROPOSED "A" WIDE, SOLID YELLOW PARKING LOT STRIPING.
- 16 N/A
- 17 PROPOSED SEAL COAT OVER EXISTING PAVEMENT.

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE FIELD LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLES OR AN ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



GRAPHIC SCALE



Galloway

STIPULATION FOR REUSE. THIS DRAWING WAS PREPARED FOR REUSE ON A SPECIFIC SITE AT: **ALBUQUERQUE (S), NM**. IT IS NOT TO BE USED CONTEMPORANEOUSLY WITH ITS ISSUE DATE ON 01/21/2021, AND IT IS NOT REPRODUCIBLE FOR USE ON A DIFFERENT PROJECT SITE OR AT A LATER TIME. THE REUSE OF THIS DRAWING FOR REFERENCE PURPOSES WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER IS PROHIBITED. THE ENGINEER'S LICENSED ARCHITECTS AND ENGINEERS, REPRODUCTION OF THIS DRAWING FOR REUSE ON ANOTHER PROJECT IS NOT AUTHORIZED AND MAY BE CONTRARY TO LAW.



Walmart*
ALBUQUERQUE (S), NM
3500 COORS BLVD SW
STORE NO. 05430-248

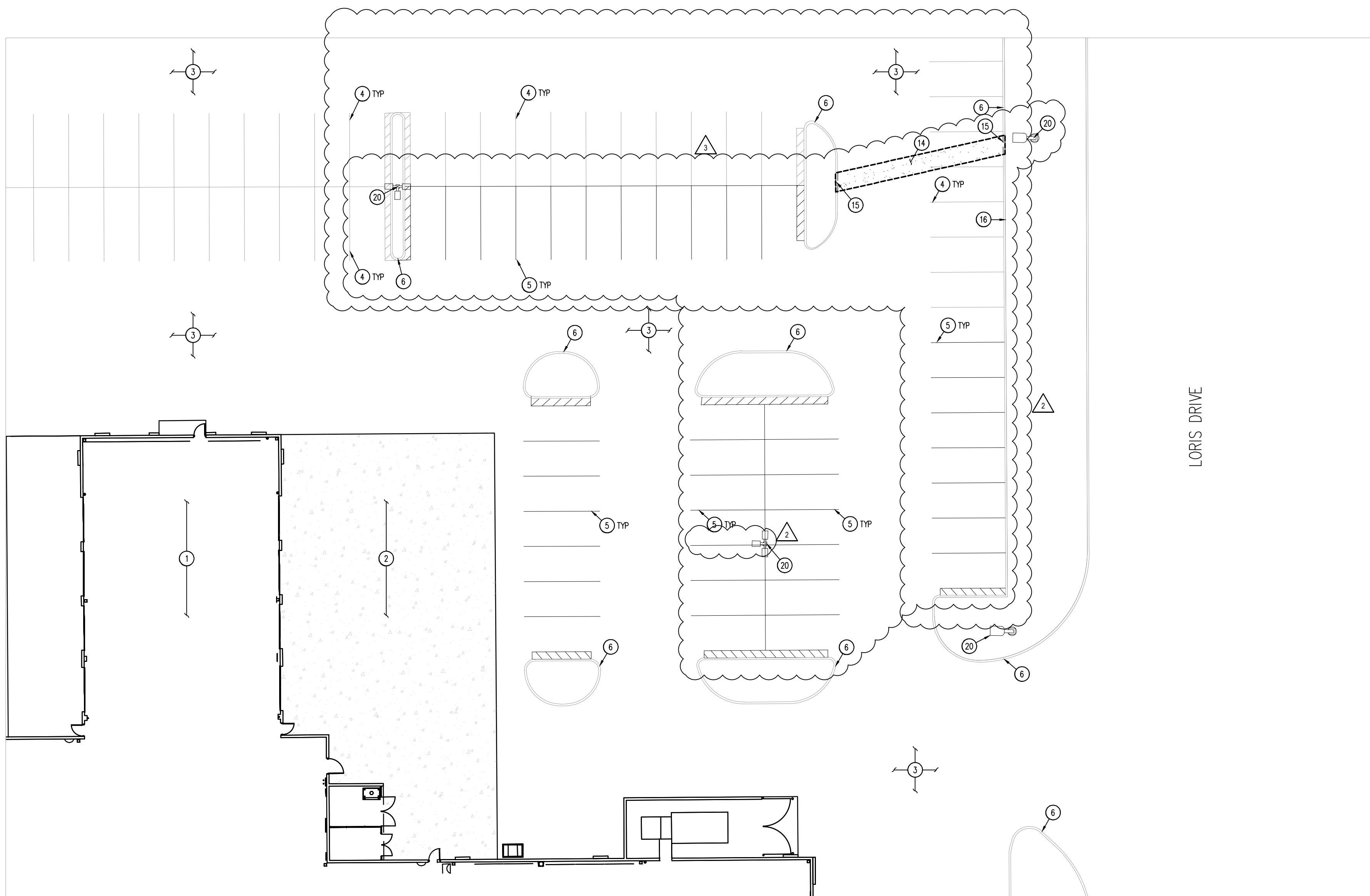
2021 MAJOR PROJECT

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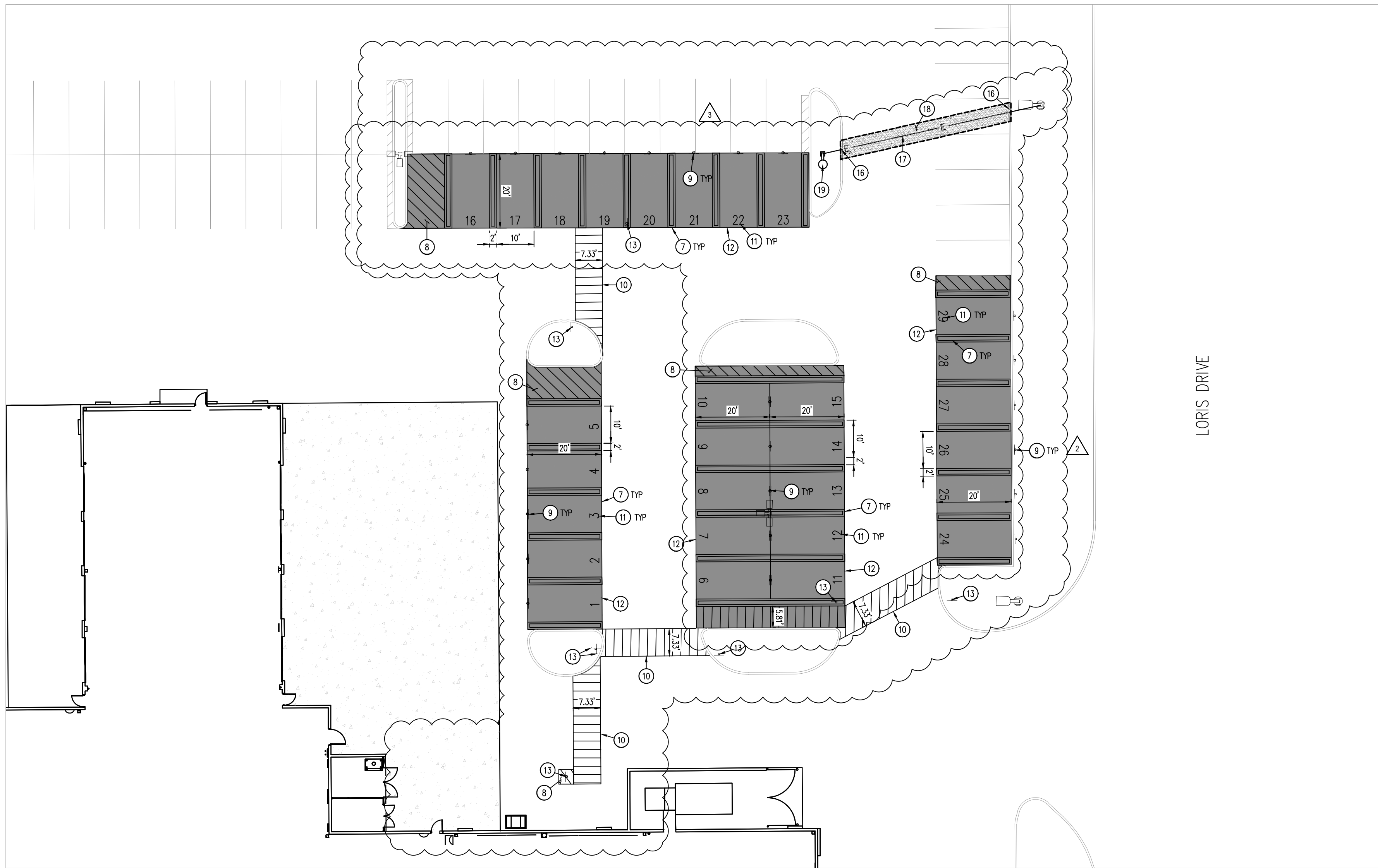
CHECKED BY:	RO
DRAWN BY:	DJ
PROTO CYCLE:	09/25/2
DOCUMENT DATE:	01/21/

EXISTING
PICKUP
DEMOLITION
&
SITE PLAN

SHEET: **CS1**



DEMOLITION PLAN - EXISTING PARKING
SCALE: 1"=10'



SITE PLAN - PROPOSED PICKUP PARKING
SCALE: 1"=10'

DEMOLITION NOTES

- THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSAL (IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES) ALL STRUCTURES, WALLS, FENCES, FOUNDATIONS, PARKING, DRIVES, DRAINAGE STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE PROPOSED PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERGUT TO SUITABLE MATERIAL, AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL FOR THE SPECIFICATIONS. PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED.
- THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL.
- THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY THEMSELVES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
- THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR MARKING ON-SITE LOCATIONS OF EXISTING UTILITIES.
- ALL EXISTING SEWERS, PIPING AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. ONE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP LINES BEFORE PROCEEDING WITH THE WORK. UTILITIES DETERMINED TO BE ABANDONED AND LEFT IN PLACE SHALL BE GROUTED IF UNDER BUILDING.
- CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC., (AND OTHER APPROPRIATE BEST MANAGEMENT PRACTICES) AS APPROVED BY CITY AND OWNER. SHOULD REMOVAL AND/OR RELOCATION ACTIVITIES DAMAGE UTILITIES TO REMAIN, THE CONTRACTOR SHALL PROVIDE NEW MATERIALS/ STRUCTURES IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, EXCEPT FOR MATERIALS DESIGNED TO BE RELOCATED ON THIS PLAN, ALL OTHER CONSTRUCTION MATERIALS SHALL BE NEW DAMAGE TO ALL EXISTING CONDITIONS TO REMAIN WILL BE REPLACED AT CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL LIMIT SAW-CUT & PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS, BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, ETC., THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES WHICH MAY HAVE BURIED OR AERIAL UTILITIES WITHIN OR NEAR THE CONSTRUCTION AREA BEFORE COMMENCING WORK. THE CONTRACTOR SHALL PROVIDE 72 HOURS' NOTICE TO ALL UTILITY COMPANIES PRIOR TO BEGINNING CONSTRUCTION.
- ALL EXISTING UTILITIES SHOWN ARE LOCATED ACCORDING TO THE INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME THE DRAWINGS WERE PREPARED AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THE ENGINEER. GUARANTEE IS NOT MADE THAT ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN OR THAT THE LOCATION OF THOSE SHOWN ARE ACCURATE. FINDING THE ACTUAL LOCATION OF ANY EXISTING UTILITIES IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE DONE BEFORE HE COMMENCES ANY WORK IN THE VICINITY. FURTHERMORE, THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ANY AND ALL DAMAGE DUE TO THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE OWNER OR ENGINEER WILL ASSUME NO LIABILITY FOR ANY DAMAGES SUSTAINED OR COST INCURRED BECAUSE OF THE OPERATIONS IN THE VICINITY OF EXISTING UTILITIES OR STRUCTURES, NOR FOR TEMPORARY BRACING AND SHORING OF SAME. IF IT IS NECESSARY TO SHORE, BRACE, SWING OR RELOCATE A UTILITY, THE UTILITY COMPANY OR DEPARTMENT AFFECTED SHALL BE CONTACTED BY THE CONTRACTOR AND THEIR PERMISSION OBTAINED REGARDING THE METHOD TO USE FOR SUCH WORK.
- THE CONTRACTOR SHALL HAVE AVAILABLE AT THE JOB SITE AT ALL TIMES ONE COPY OF THE CONTRACT DOCUMENTS INCLUDING PLANS, SPECIFICATIONS, COPIES OF ANY REQUIRED CONSTRUCTION PERMITS, AND EROSION CONTROL PLANS AND INSPECTION REPORTS (SWPPP).
- ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER/ENGINEER BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS FROM DESIGN ARE TO BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER AND NOTIFICATION TO THE ENGINEER. NO CONSIDERATION WILL BE GIVEN TO CHANGE ORDERS FOR WHICH THE OWNER AND ENGINEER WERE NOT CONTACTED PRIOR TO CONSTRUCTION OF THE AFFECTED ITEM.
- CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST OSHA STANDARDS FOR EXCAVATION AND TROWING PROCEDURES. CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BRACING, ETC., AS NECESSARY FOR THESE OPERATIONS, AND SHALL COMPLY WITH ALL OSHA PERFORMANCE CRITERIA.
- DO NOT INTERRUPT EXISTING UTILITIES SERVING FACILITIES OCCUPIED AND USED BY THE OWNER OR OTHERS DURING OCCUPIED HOURS EXCEPT WHEN SUCH INTERRUPTIONS HAVE BEEN AUTHORIZED IN WRITING BY THE OWNER AND THE LOCAL MUNICIPALITIES. INTERRUPTIONS SHALL ONLY OCCUR AFTER ACCEPTABLE TEMPORARY SERVICE HAS BEEN PROVIDED.
- ANY RECYCLED MATERIAL TO BE STOCKPILED ON THE SITE SHALL BE STORED IN AS SMALL AN AREA AS PRACTICAL, AND THE LOCATION OF ANY STOCKPILE SHALL BE WELL CLEAR OF THE BUILDING PAD AREA AND THE LOCATION MUST BE PRE-APPROVED BY THE ENGINEER AND OWNER PRIOR TO STOCKPILING.
- QUANTITIES SHOWN HERE ARE APPROXIMATE AND ARE PROVIDED FOR CONVENIENCE ONLY AND NOT FOR BID PURPOSES. CONTRACTOR SHALL VERIFY QUANTITIES NECESSARY TO DEMO FACILITIES SHOWN.
- ASBESTOS OR HAZARDOUS MATERIAL, IF FOUND ON SITE, SHALL BE REMOVED BY A LICENSED HAZARDOUS MATERIAL CONTRACTOR. REFERENCE ARCHITECTURAL PLANS FOR LIMITS OF BUILDING DEMOLITION.

SITE NOTES

- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
- CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
- ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, (UNLESS OTHERWISE NOTED ON PLANS) INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC., AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS AND PROJECT SITE WORK SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
- THE SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED "THE SITE SPECIFIC SPECIFICATIONS".

PICKUP EXTERIOR SIGN SCHEDULE		
DESCRIPTION	DIMENSIONS	QUANTITY
WAITING SPACES LEFT	18 X 24	X
WAITING SPACES RIGHT	18 X 24	X
WAITING SPACES AHEAD	18 X 24	X
RESERVED WAITING	18 X 24	X
PICKUP LEFT PHARMACY RIGHT	18 X 24	X
PICKUP RIGHT PHARMACY LEFT	18 X 24	X
STOP THANKS FOR ORDERING	18 X 36	X
PICKUP HOURS	18 X 36	X
RESERVED	18 X 18	29
PHONE NUMBER	8 X 18	29
VERTICAL PICKUP	18 X 36	29
PICKUP LEFT	18 X 24	2
PICKUP AHEAD	18 X 24	4
PICKUP RIGHT	18 X 24	2

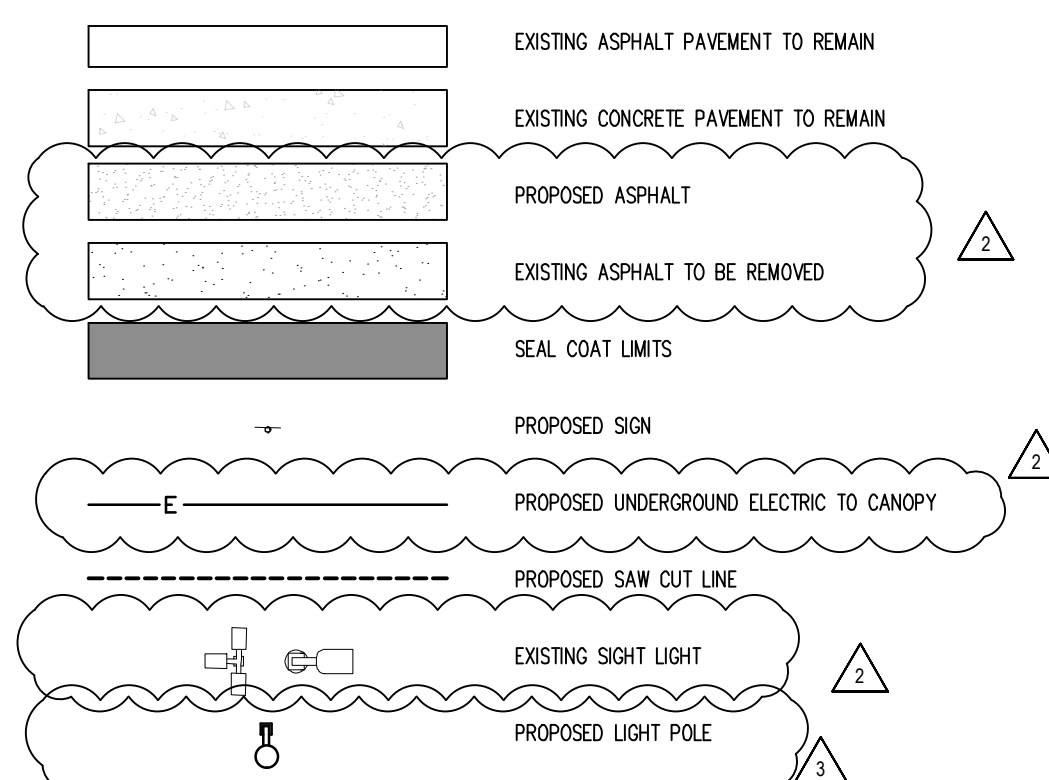
ALL PICKUP MARKING AND STALL SIGNS ARE WALMART SUPPLIED AND CONTRACTOR INSTALLED. CONTRACTOR TO PLACE SIGN ORDER AT LEAST 3 WEEKS IN ADVANCE. ORDER SHALL BE SENT VIA EMAIL TO GETTY THOMAS (getty.thomas@walmart.com) AND BRAD KEMER (brad.kemer@walmart.com). REQUEST SHALL CONTAIN A DELIVERY ADDRESS, DESIRED DELIVERY DATE, AND ANY SITE SPECIFIC SIGN SIZE AND/OR COLORS BASED ON APPROVED PLANS.

PARKING CALCULATIONS		
EXISTING STALL COUNT (OVERALL SITE)	998 STANDARD STALLS	8 PICKUP STALLS
	STANDARD STALLS ADDED	PICKUP STALLS ADDED
EXISTING LOCATION	10 STANDARD STALLS	LOSS OF 8 PICKUP STALLS
NEW LOCATION	LOSS OF 46 STANDARD STALLS	29 PICKUP STALLS
PROPOSED STALL COUNT (OVERALL SITE)	962 STANDARD STALLS	21 PICKUP STALLS
TOTAL PARKING REQUIRED (W/BUS CREDIT)	859	
TOTAL STALLS PROVIDED (STANDARD & PICKUP)	983	



KEY MAP
APPROX. 1" = 400'

LEGEND

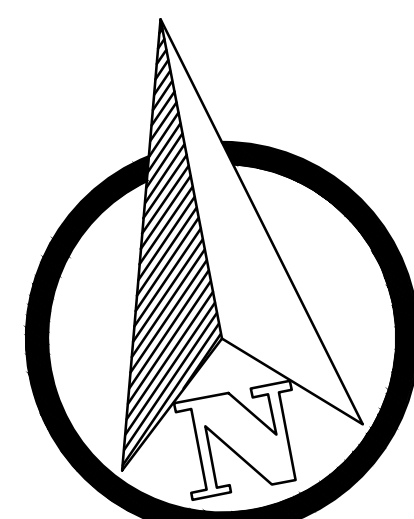


SITE & DEMOLITION SCHEDULE

- EXISTING WALMART BUILDING TO REMAIN.
- EXISTING CONCRETE PAVEMENT TO REMAIN.
- EXISTING ASPHALT PAVEMENT TO REMAIN.
- EXISTING STRIPING TO REMAIN.
- EXISTING CURB AND GUTTER TO REMAIN.
- PROPOSED 4" WIDE, SOLID YELLOW PARKING LOT STRIPING.
- PROPOSED 4" WIDE, SOLID YELLOW PARKING LOT STRIPING, 2" O.C. @ 45° WITH 4" PERIMETER STRIPE.
- PROPOSED PICKUP SIGNAGE, SIGN POST, AND BOLLARD (REF SITE DETAILS).
- NEW CROSSWALK MARKINGS - 6" WIDE PAINTED WHITE STRIPING PARALLEL TO DIRECTION OF TRAFFIC AT 2'-0" O.C. AND (1)-8" WHITE STRIPES PERPENDICULAR ON BOTH ENDS UNLESS NOTED OTHERWISE. SEE SITE PLAN FOR DIMENSIONS (REF SITE DETAILS).
- PROPOSED PICKUP NUMBER PAVEMENT MARKING (REF SITE DETAILS).
- PROPOSED SEAL COAT OVER EXISTING PAVEMENT.
- PROPOSED PEDESTRIAN CROSSING SIGNAGE AND BOLLARD BASE, MATCH EXISTING PEDESTRIAN CROSSING SIGNAGE ON SITE (W1-58 OR W1-2 & W16-7P).
- EXISTING ASPHALT TO BE REMOVED.
- EXISTING CURB AND GUTTER TO BE REMOVED.
- PROPOSED CURB AND GUTTER TO REMAIN. CONTRACTOR TO MATCH EXISTING TYPE AND ELEVATIONS.
- PROPOSED ELECTRIC LINE TO NEW LIGHT POLE. (REF ARCHITECTURAL DRAWINGS).
- PROPOSED ASPHALT PATCH. (REF SITE DETAILS).
- PROPOSED LIGHT POLE. (REF SITE DETAILS FOR LIGHT POLE BASE DETAILS) (REF ELECTRICAL DRAWINGS).
- EXISTING SIGHT LIGHT TO REMAIN. CONTRACTOR TO PROTECT IN PLACE.

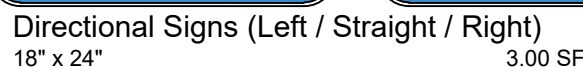
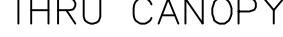
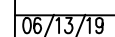
CAUTION - NOTICE TO CONTRACTOR

- ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE FIELD LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



ISSUE BLOCK			
PR #1	01/21/21		
ADD #1	02/16/21		
CCD 1#	05/14/21		

CHECKED BY:	RCJ
DRAWN BY:	DJS
PROTO CYCLE:	09/25/20
DOCUMENT DATE:	01/21/21



	WALMART BLUE :
	SAFETY YELLOW

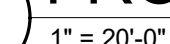
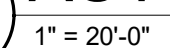
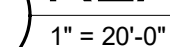
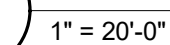
ADMINISTRATIVE AMENDMENT

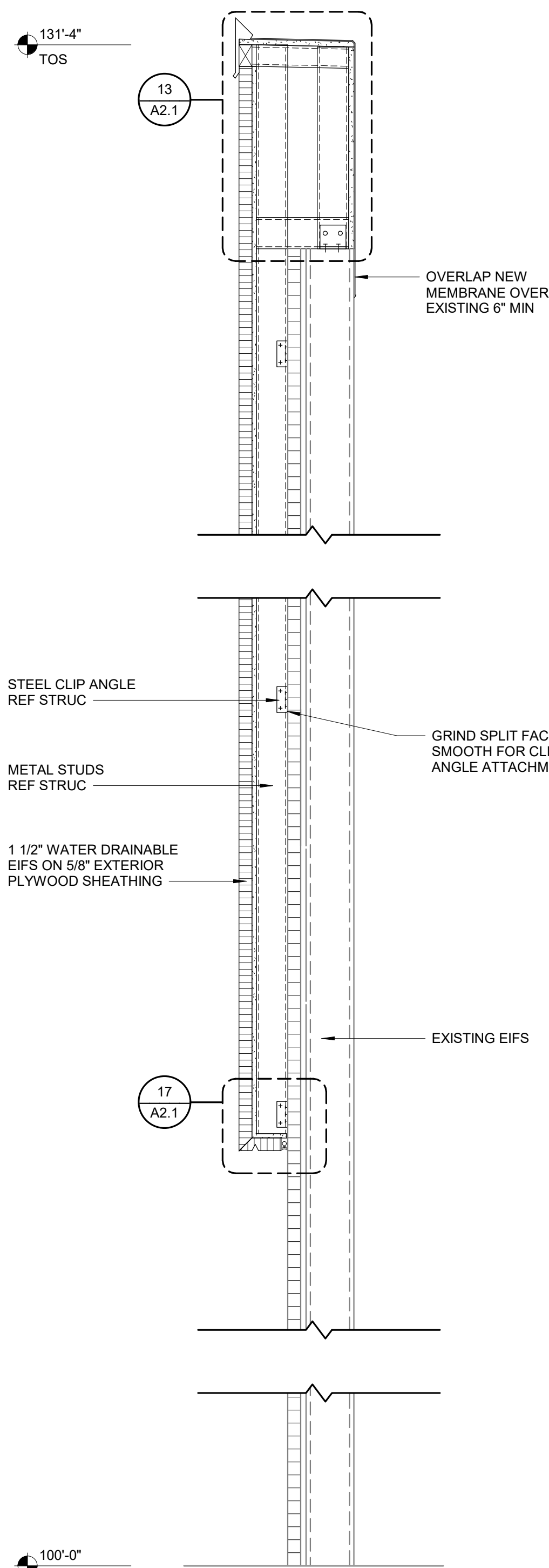
FILE # _____ **PROJECT #** _____

APPROVED BY

DATE

CONSULTANTS	<p>STIPULATION FOR REUSE</p> <p>THIS IS A REPRODUCTION OF THE ORIGINAL CONTRACT FOR CONSULTING SERVICES BETWEEN THE STATE OF OKLAHOMA AND THE FIRM OF SCA DESIGN GROUP, P.C. THE PROJECT LETTER IS A LATER DATE REVISION OF THE ORIGINAL CONTRACT. THE REUSE OF THIS CONTRACT IS PROHIBITED. ANY REUSE OF THIS CONTRACT SHALL BE AT THE USER'S SOLE RISK. THE USER SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMISSIONS FROM THE ORIGINAL CONTRACTOR FOR REUSE OF THE CONTRACT. THE USER SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMISSIONS FROM THE ORIGINAL CONTRACTOR FOR REUSE OF THE CONTRACT. THE USER SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMISSIONS FROM THE ORIGINAL CONTRACTOR FOR REUSE OF THE CONTRACT.</p>
SCA DESIGN GROUP, P.C.	<p>1437 South Boulder, Suite 550 Tulsa, Oklahoma 74119-8609 p 918.587.8600 f 918.587.8601 www.scdesigngroup.com</p>





13 WALL SECTION
1" = 1'-0"

PRIOR TO PERFORMING THIS WORK, VERIFY EXISTING SUBSTRATE MATERIAL. IF EXISTING SUBSTRATE IS CMU OR PLYWOOD (5/8" OR THICKER), SUBSTRATE REPLACEMENT IS NOT REQ'D

MOUNTING HOLE PATTERNS FOR NON-ILLUMINATED SIGN INSTALLATION

PLASTIC MOUNT FOR ALL-THREAD STUD, TYP

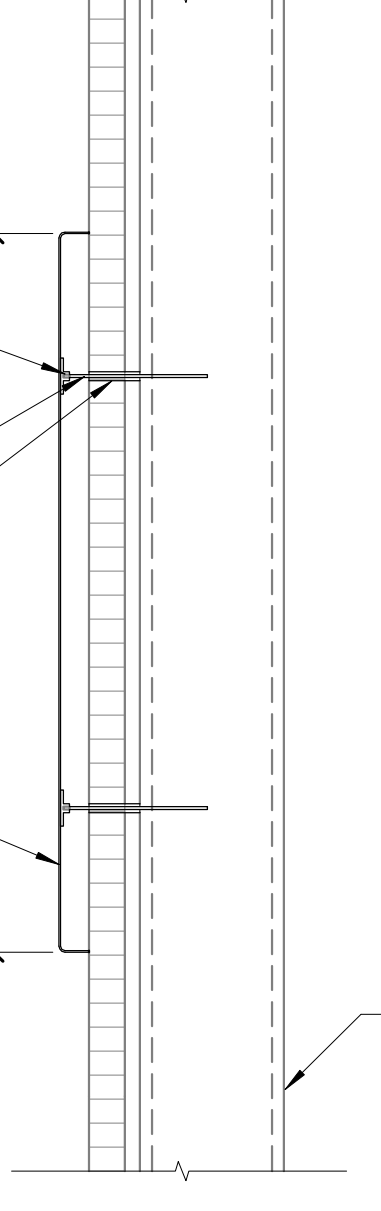
INSTALL 1/8" DIA ALL-THREAD STUDS INTO PLASTIC MOUNTS, TYP

3/8" DIA HOLE FILLED WITH ADHESIVE SEALANT, TYP

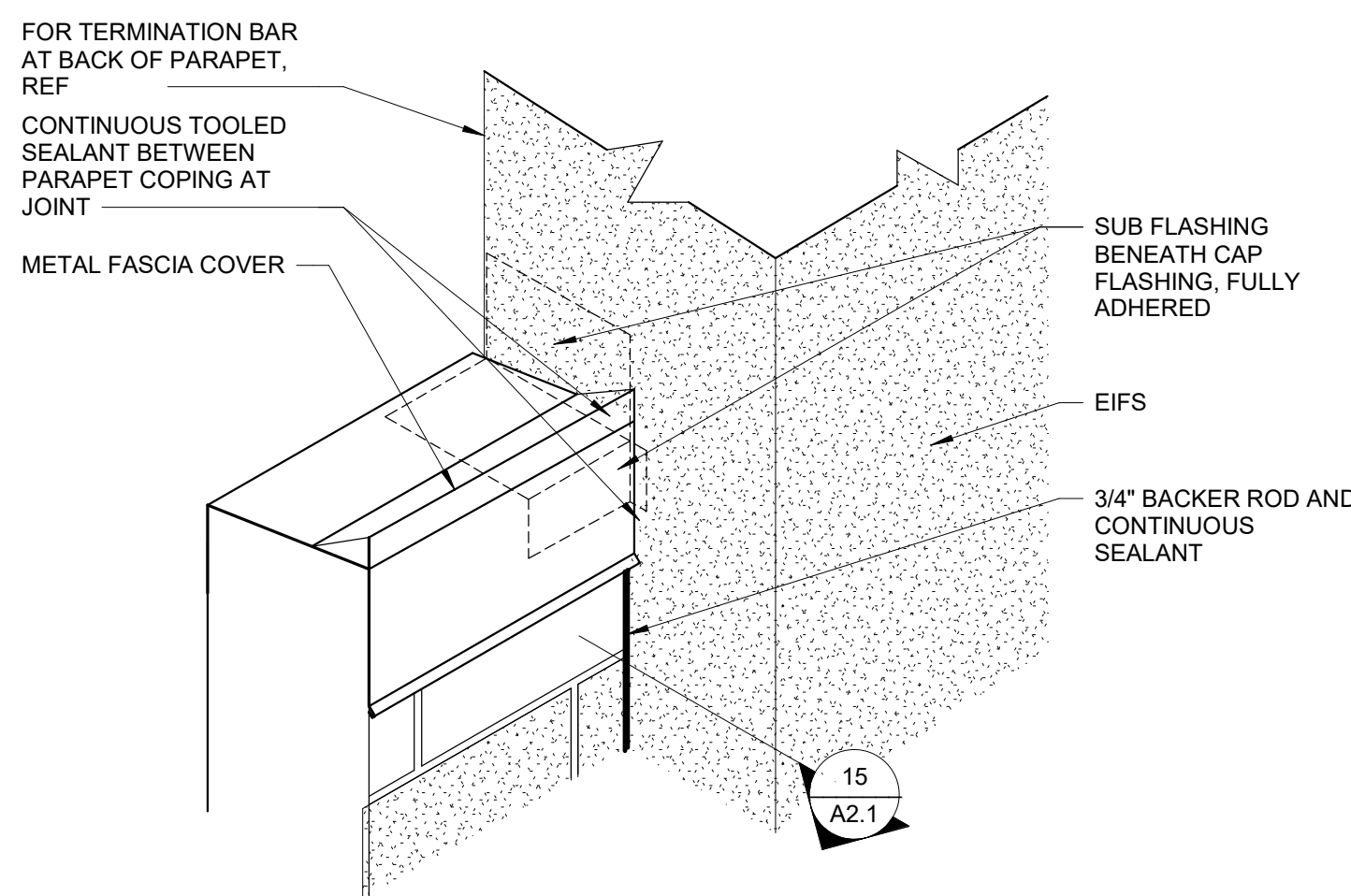
PLASTIC NON-ILLUMINATED CHANNEL LETTER

"ADHESIVE SEALANT" IS TO BE PRODUCT LN-950 BY LIQUID NAILS OR SIMILAR POLYURETHANE CONSTRUCTION ADHESIVE, MEETING ASTM D3498 AND C557 STANDARDS, EXTERIOR APPLICATION, WEATHER RESISTANT, LOW VOC, WITH A MINIMUM SHEAR STRENGTH OF 250 PSI

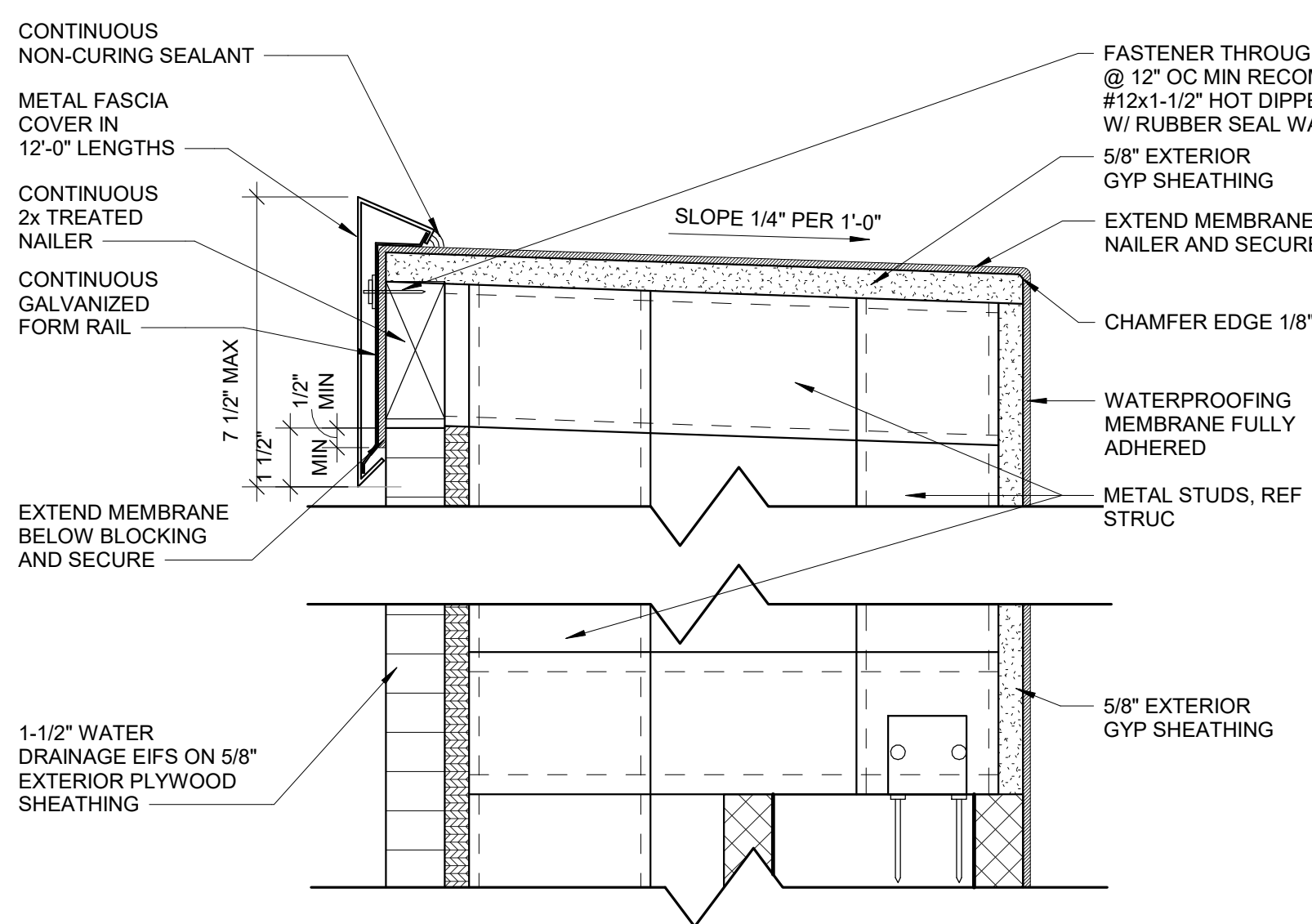
REFER TO SIGNAGE GENERAL NOTES FOR ADDITIONAL REQUIREMENTS



14 PARAPET STEP
1" = 1'-0"



15 PARAPET STEP
1" = 1'-0"



16 METAL STUD PARAPET
1" = 1'-0"

17 PARAPET CAP FLASHING
3" = 1'-0"

SIM CONDITION: SMOOTH CMU

MOUNTING HOLE PATTERNS FOR NON-ILLUMINATED SIGN INSTALLATION PROVIDED BY WALMART

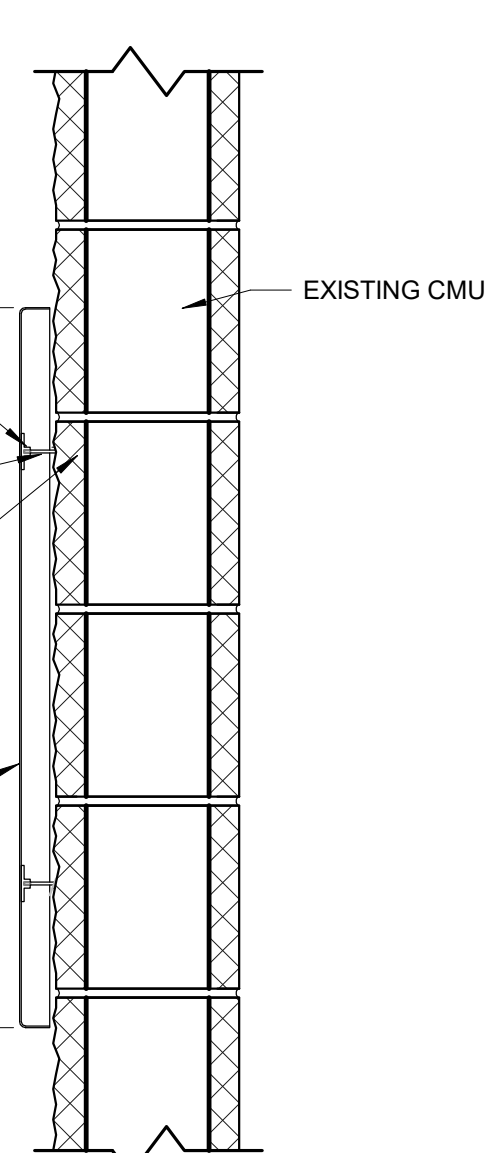
PLASTIC MOUNT FOR ALL-THREAD STUD TYP BY WALMART

INSTALL 1/8" DIA ALL-THREAD STUDS INTO PLASTIC MOUNTS PRIOR TO SIGN INSTALLATION TYP BY SIGN CONTRACTOR

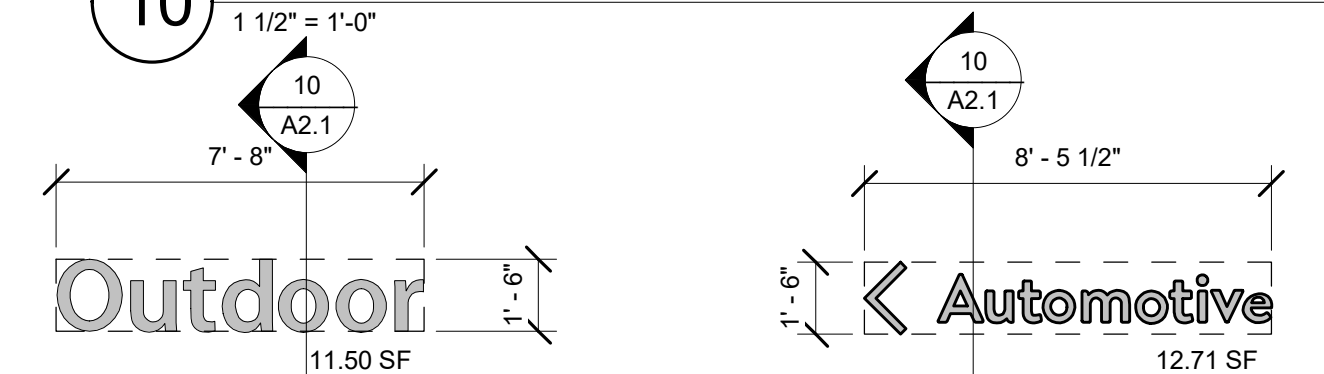
3/8" DIA HOLE FILLED WITH ADHESIVE SEALANT, COAT ALL-THREAD STUD WITH ADHESIVE SEALANT PRIOR TO WALL ATTACHMENT TYP BY SIGN CONTRACTOR

PLASTIC NON-ILLUMINATED CHANNEL LETTER BY WALMART

"ADHESIVE SEALANT" IS TO BE PRODUCT LN-950 BY LIQUID NAILS OR SIMILAR POLYURETHANE CONSTRUCTION ADHESIVE, MEETING ASTM D3498 AND C557 STANDARDS, EXTERIOR APPLICATION, WEATHER RESISTANT, LOW VOC, WITH A MINIMUM SHEAR STRENGTH OF 250 PSI

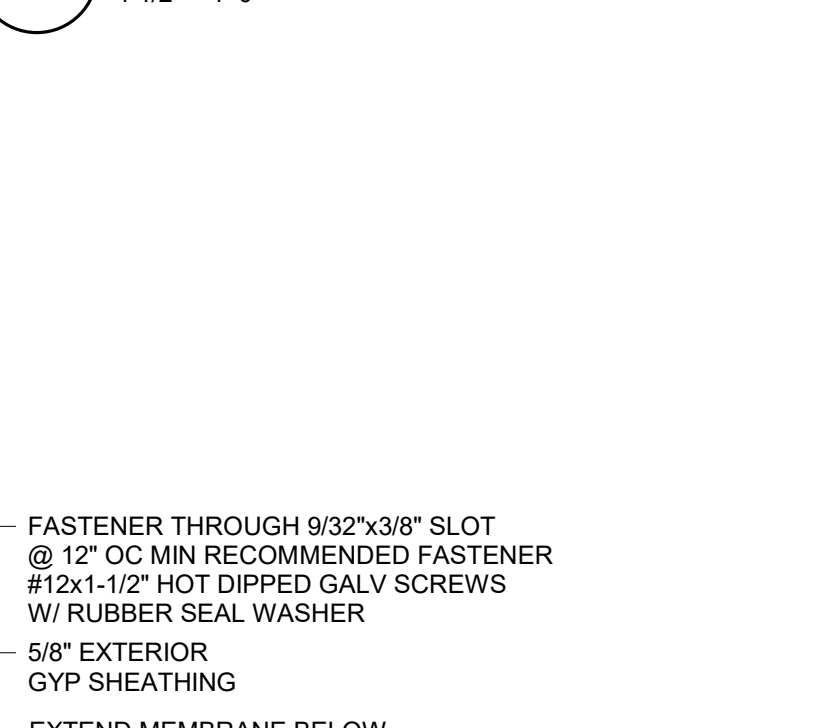


18 SIGN ATTACHMENT AT CMU WALL
1" = 1'-0"

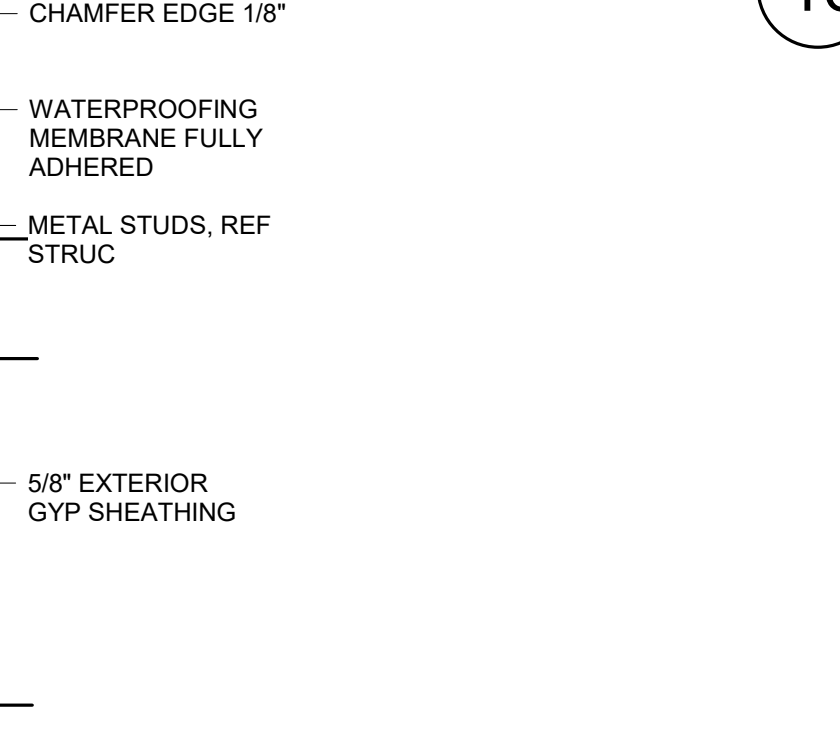


19 SIGN ATTACHMENT AT CMU WALL
1" = 1'-0"

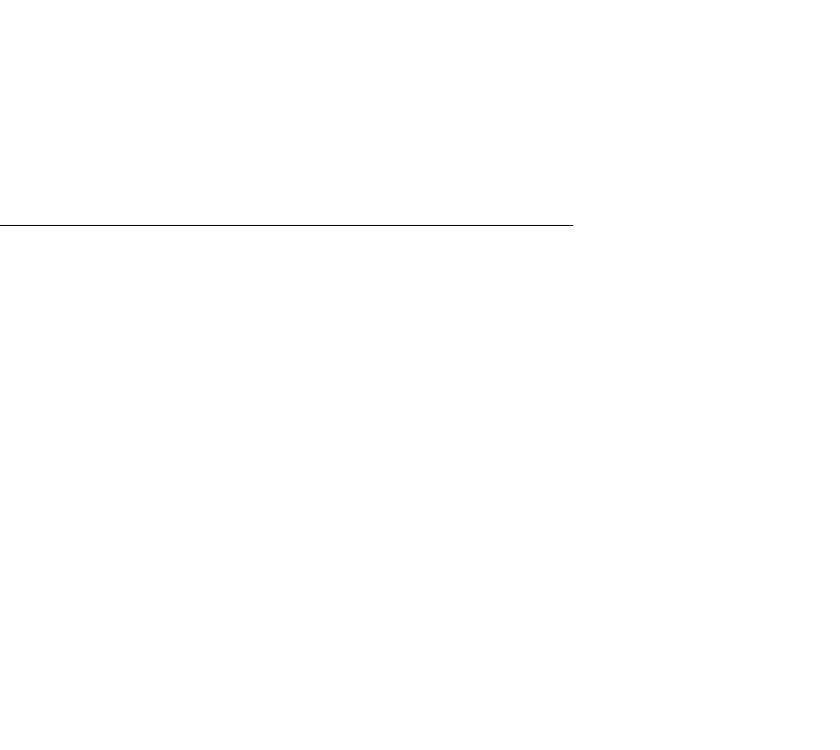
20 EIFS DETAIL
1 1/2" = 1'-0"



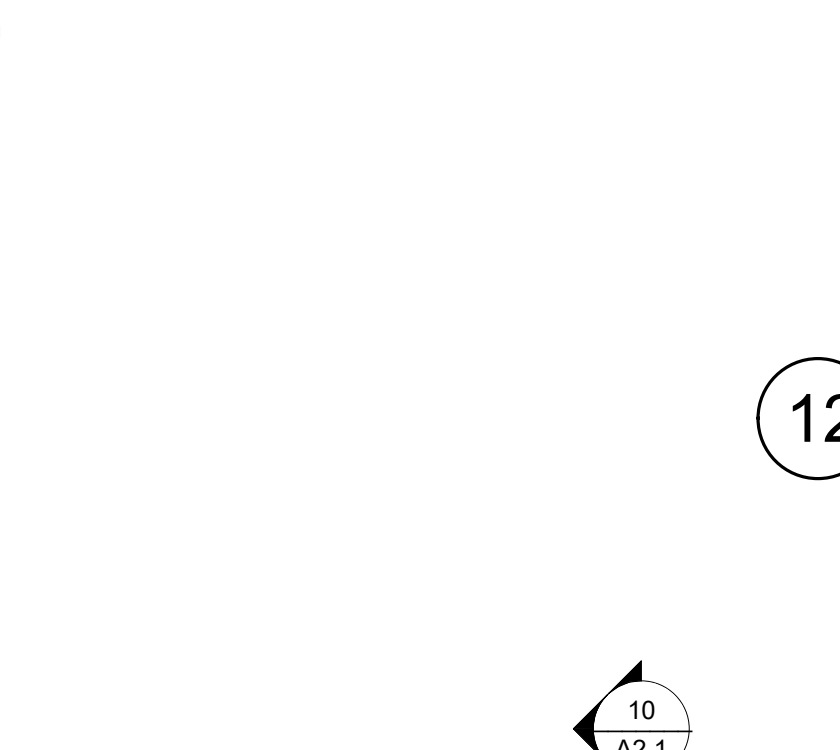
22 EIFS DETAIL
1 1/2" = 1'-0"



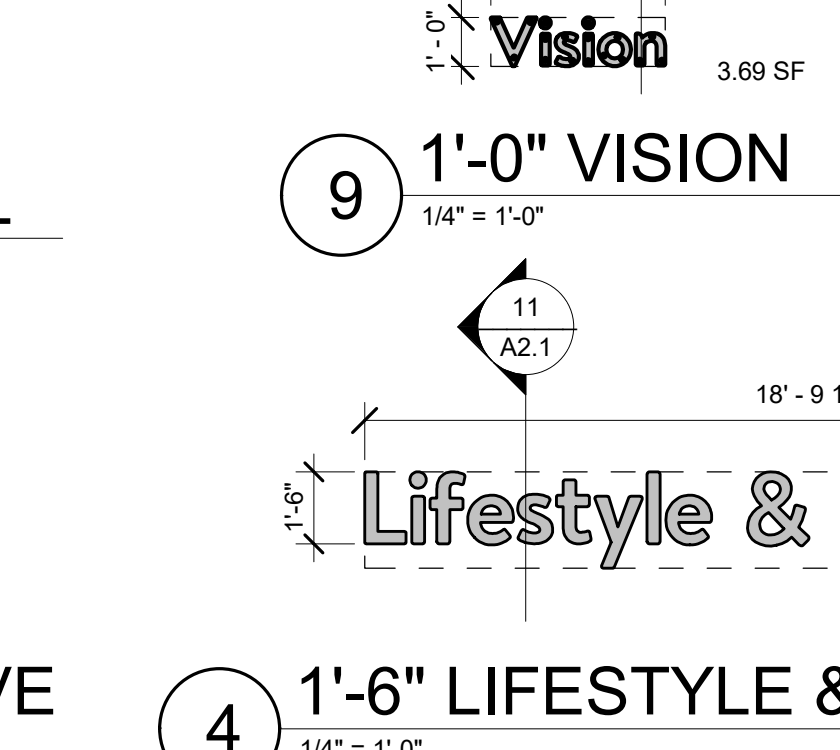
24 EIFS DETAIL
1 1/2" = 1'-0"



26 EIFS DETAIL
1 1/2" = 1'-0"

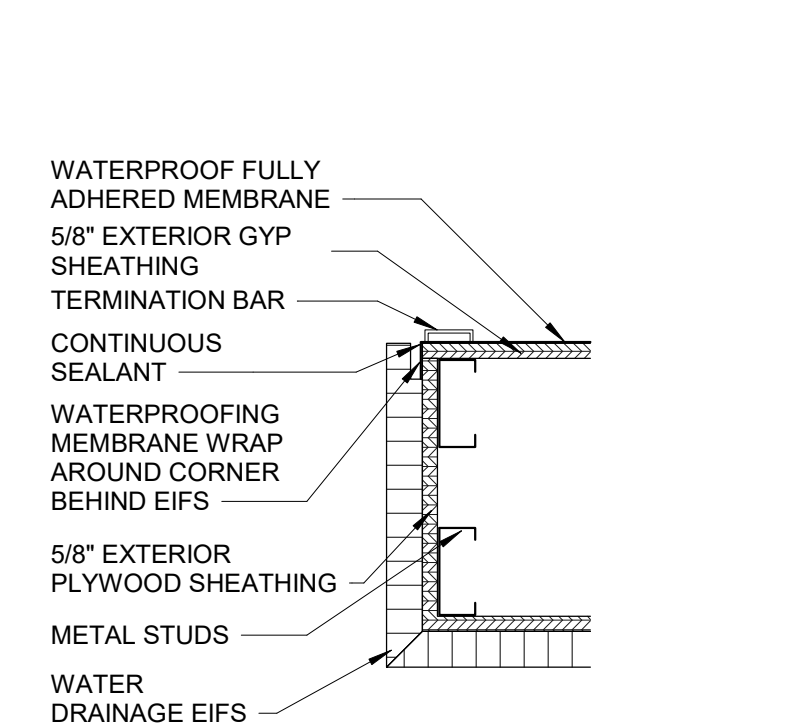


28 EIFS DETAIL
1 1/2" = 1'-0"

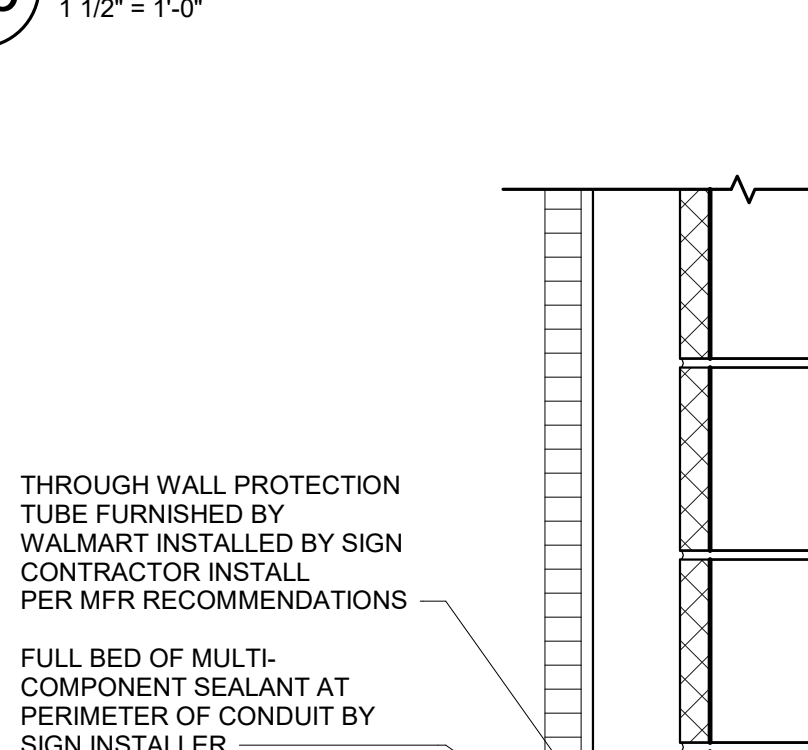


30 EIFS DETAIL
1 1/2" = 1'-0"

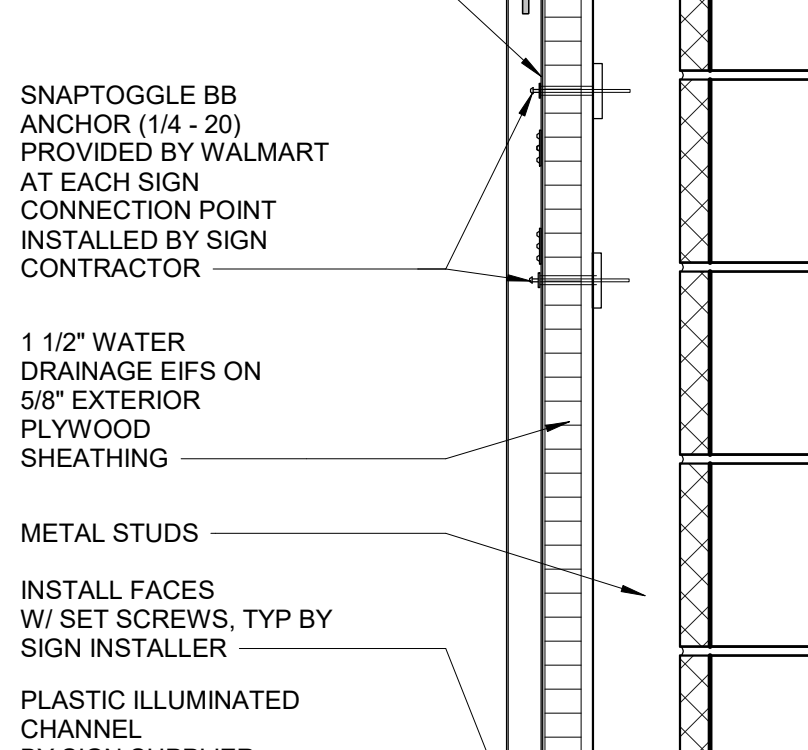
31 METAL STUD PARAPET
1 1/2" = 1'-0"



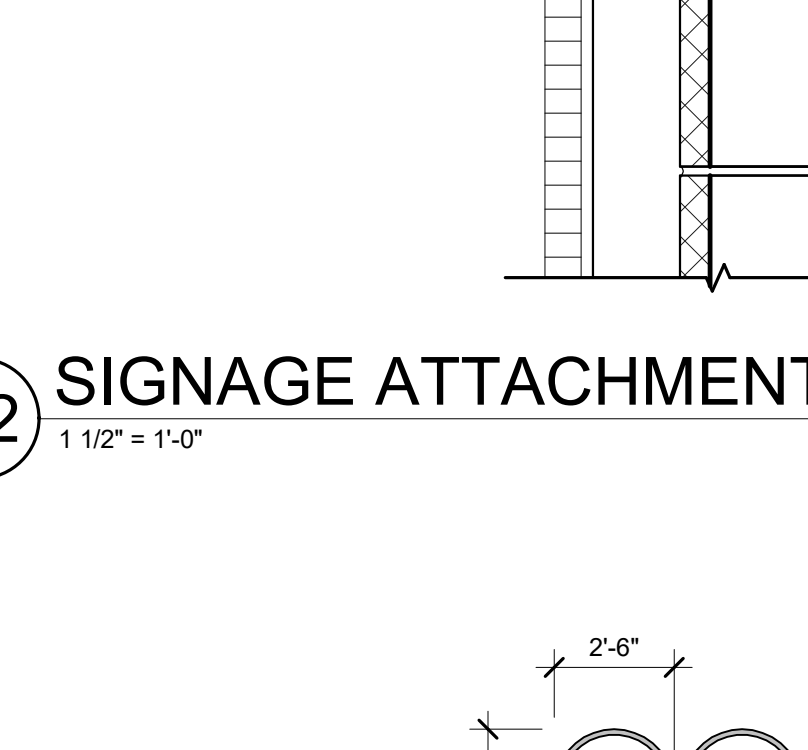
33 METAL STUD PARAPET
1 1/2" = 1'-0"



35 METAL STUD PARAPET
1 1/2" = 1'-0"



37 METAL STUD PARAPET
1 1/2" = 1'-0"



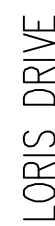
39 METAL STUD PARAPET
1 1/2" = 1'-0"



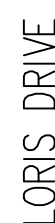
41 METAL STUD PARAPET
1 1/2" = 1'-0"

EXISTING SIGNAGE SCHEDULE

SIGNAGE LOCATION	QTY	LIGHTED	COLOR	SIZE	AREA (SF)	TOTAL AREA (SF)
AUTOMOTIVE SIGNAGE						
<Auto Center	1	N/A	WHITE	1'-6"	19.03 SF	19.03 SF
AUTOMOTIVE SIGNAGE						
FRONT SIGNAGE	1	N/A	WHITE	1'-6"	19.03 SF	19.03 SF
Walmart (Spark)	1	LED	WHITE/YELLOW	5'-6"	299.04 SF	299.04 SF
(Spark) Pickup	1	LED	WHITE	2'-6"	66.76 SF	66.76 SF
Grocery	1	N/A	WHITE	2'-0"	26.27 SF	26.27 SF
Home & Pharmacy	1	N/A	WHITE	2'-0"	60.74 SF	60.74 SF
Lawn & Garden	1	N/A	WHITE	2'-0"	37.34 SF	37.34 SF
Vision Center	1	N/A	WHITE	1'-0"	8.49 SF	8.49 SF
FRONT SIGNAGE						
Walmart (Spark)	2	LED	WHITE/YELLOW	4'-6"	198.26 SF	396.52 SF
SIDE AND REAR SIGNAGE						
Walmart (Spark)	1	N/A	WHITE	1'-6"	17.23 SF	17.23 SF
LUBE	1	N/A	WHITE	1'-0"	2.98 SF	2.98 SF
TIRE	2	N/A	WHITE	1'-0"	2.58 SF	5.16 SF
TOTAL BUILDING SIGNAGE						
Walmart (Spark)	1	N/A	WHITE	1'-6"	17.23 SF	17.23 SF
LUBE	1	N/A	WHITE	1'-0"	2.98 SF	2.98 SF
TIRE	2	N/A	WHITE	1'-0"	2.58 SF	5.16 SF
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DEMOLITION PLAN – EXISTING PARKING
SCALE: 1"=10'



SITE PLAN – PROPOSED PICKUP PARKING
SCALE: 1"=10'

DEMOLITION NOTES

- SITE NOTES

SITE NOTES

1. ALL WORK AND MATERIAL SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
2. CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SHOWERS, EXIT PORTALS, TRUCK DOCS, PRECAST BUILDING DIMENSIONS AND EXIST BUILDING UTILITY ENTRANCE LOCATIONS.
3. ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
4. MATERIALS AND CONSTRUCTION METHODS SHALL BE AS SHOWN ON PLANS. MATERIALS TO BE REMOVED, REMOVED OR RELOCATED AS NECESSARY, ALL COST SHALL BE INCLUDED IN BASE BID.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, (UNLESS OTHERWISE NOTED ON PLANS) WHICH ARE NOT SHOWN ON PLANS. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC SIGNALS AS POLICED AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AGENCIES REQUIREMENTS AND PROJECT SITE WORK SPECIFICATIONS AND SHALL BE APPROVED BY CITY. ALL COST SHALL BE INCLUDED IN BASE BID.
6. THE SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED "THE SITE SPECIFIC SPECIFICATIONS".

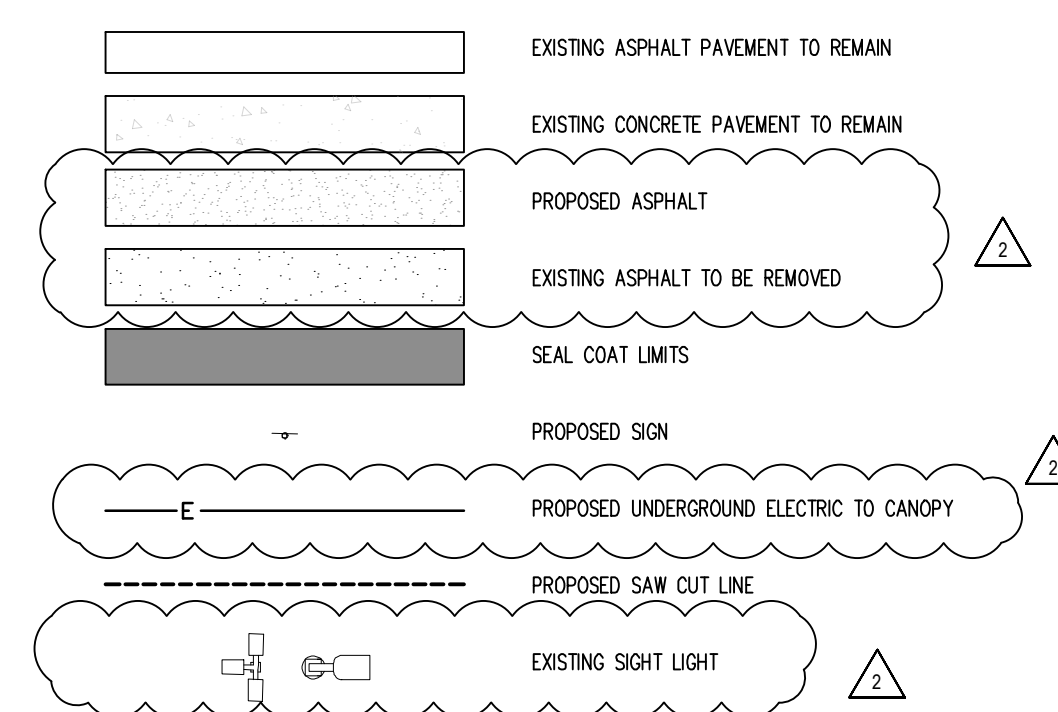
PICKUP EXTERIOR SIGN SCHEDULE		
DESCRIPTION	DIMENSIONS	QUANTITY
WAITING SPACES LEFT	18 X 24	X
WAITING SPACES RIGHT	18 X 24	X
WAITING SPACES AHEAD	18 X 24	X
RESERVED WAITING	18 X 24	X
PICKUP LEFT PHARMACY RIGHT	18 X 24	X
PICKUP RIGHT PHARMACY LEFT	18 X 24	X
STOP THANKS FOR ORDERING	18 X 36	X
PICKUP HOURS	18 X 36	X
RESERVED	18 X 18	29
PHONE NUMBER	8 X 18	29
VERTICAL PICKUP	18 X 36	29
PICKUP LEFT	18 X 24	2
PICKUP AHEAD	18 X 24	4
PICKUP RIGHT	18 X 24	2

ALL PICKUP WAYFINDING AND STALL SIGNS ARE WALMART SUPPLIED AND CONTRACTOR INSTALLED. CONTRACTOR TO PLACE SIGN ORDER AT LEAST 3 WEEKS IN ADVANCE. ORDER SHALL BE SENT VIA EMAIL TO GETTY THOMAS (Getty.Thomas@walmart.com) AND BRAD KEENER (Bradley.Keener@walmart.com). REQUEST SHALL CONTAIN A DELIVERY ADDRESS, DESIRED DELIVERY DATE, AND ANY SITE SPECIFIC SIGN SIZE AND/OR COLORS BASED ON APPROVED PLANS.

EXISTING STALL COUNT (OVERALL SITE)	998 STANDARD STALLS	8 PICKUP STALLS
	<u>STANDARD STALLS ADDED</u>	<u>PICKUP STALLS ADDED</u>
EXISTING LOCATION	10 STANDARD STALLS	LOSS OF 8 PICKUP STALLS
NEW LOCATION	LOSS OF 46 STANDARD STALLS	29 PICKUP STALLS
PROPOSED STALL COUNT (OVERALL SITE)	962 STANDARD STALLS	21 PICKUP STALLS
TOTAL PARKING REQUIRED (W/BUS GROUP)	859	
TOTAL STALLS PROVIDED (STANDARD & PICKUP)	983	



LEGEND

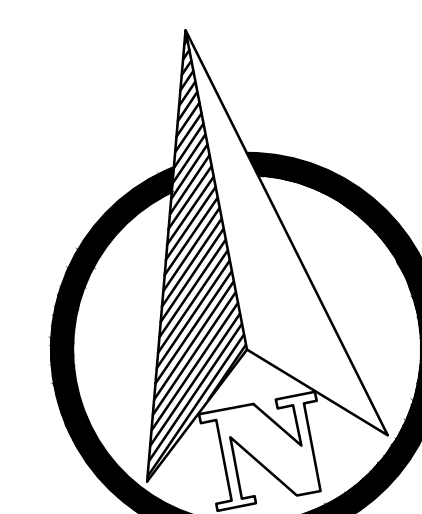


SITE & DEMOLITION SCHEDULE

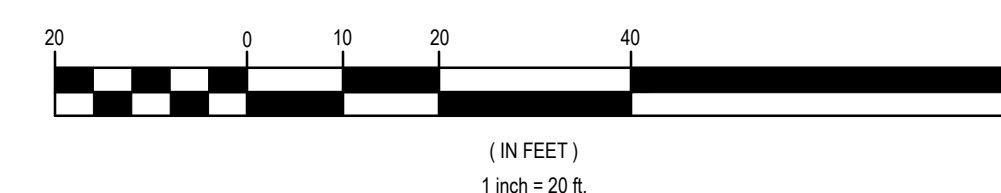
- (1) EXISTING MAINTAIN BUILDING TO REMAIN.
- (2) EXISTING CONCRETE PAVEMENT TO REMAIN.
- (3) EXISTING ASPHALT PAVEMENT TO REMAIN.
- (4) EXISTING STRIPING TO REMAIN.
- (5) EXISTING STRIPING TO BE REMOVED.
- (6) EXISTING CURB AND GUTTER TO REMAIN.
- (7) PROPOSED 4" WIDE, SOLID YELLOW PARKING LOT STRIPING.
- (8) PROPOSED 4" WIDE, SOLID YELLOW PARKING LOT STRIPING, 2' O.C. & 45" WITH 4" PERMETER STRIPE.
- (9) PROPOSED POOPY SIGNAGE, SIGN POST, AND BOLLARD (REF SITE DETAILS).
- (10) NEW CROSSWALK MARKINGS - 6" WIDE PAINTED WHITE STRIPING PARALLEL TO DIRECTION OF TRAFFIC AT 1'-2" O.C. AND (1)-8" WHITE STRIPE PERPENDICULAR ON BOTH SIDES UNLESS NOTED OTHERWISE. SEE PLAN FOR DIMENSIONS (REF SITE DETAILS).
- (11) PROPOSED POOPY NUMBER PAVEMENT MARKING (REF SITE DETAILS).
- (12) PROPOSED SEAL COAT OVER EXISTING PAVEMENT.
- (13) PROPOSED PEDESTRIAN CROSSING SIGNAGE AND BOLLARD BASE MATCH EXISTING PEDESTRIAN CROSSING SIGNAGE ON SITE (R#-58 OR M#-1 & 2, W#-1P).
- (14) PROPOSED CANOPY FOOTING (REF ARCHITECTURAL DRAWINGS).
- (15) PROPOSED IF RELOCATED CANOPY (REF ARCHITECTURAL DRAWINGS).
- (16) EXISTING ASPHALT TO BE REMOVED.
- (17) PROPOSED ELECTRIC LINE TO CANOPY. (REF ARCHITECTURAL DRAWINGS).
- (18) PROPOSED ASPHALT PATCH. (REF SITE DETAILS).

CAUTION – NOTICE TO CONTRACTOR

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE FIELD LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH DITCHING OR ALTERNATE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



GRAPHIC SCALE



1 inch = 20

Galloway

1755 Teller Drive, Suite 107
Colorado Springs, CO 80920

STIPULATION FOR REUSE
THIS DRAWING WAS PREPARED FOR THE PROJECT OF THE
ALBUQUERQUE (SA) AND
CONTEMPORANEOUSLY WITH ITS ISSUE
DATE ON 01/21/2021, AND IT IS NOT
SATISFACTORY FOR USE ON A DIFFERENT
PROJECT SITE OR AT A LATER TIME.
FOR EXAMPLE ON ANOTHER PROJECT
SITES, THESE DRAWINGS MAY BE
LICENSED ARCHITECTS AND ENGINEERS
REPRODUCTION OF THIS DRAWING FOR
REUSE ON ANOTHER PROJECT IS NOT
AUTHORIZED AND MAY BE CONTRARY



Walmart*
ALBUQUERQUE (S), NM
 3500 COOPS BLVD SW
 STORE NO: 05430-248

2021 MAJOR PROJECT

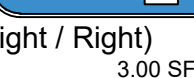
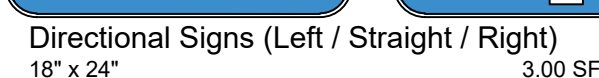
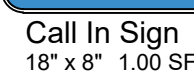
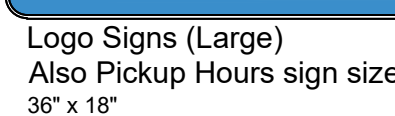
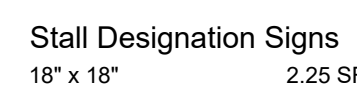
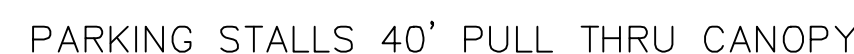
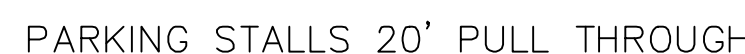
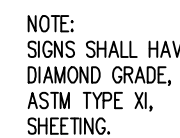
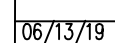
ISSUE BLOCK

[illegible]

CHECKED BY:	RO
DRAWN BY:	DJ
PROTO CYCLE:	09/25/2
DOCUMENT DATE:	01/21/

PROPOSED
PICKUP
DEMOLITION
&
SITE PLAN

SHEET: CS2



FINISH LEGEND



CITY OF ALBUQUERQUE INVOICE

GINA KELLY

1437 S. BOULDER AVE - SUITE 550 SGA
DESIGN GROUP

Reference NO: SI-2021-00739

Customer NO: CU-97137236

Date	Description	Amount
5/19/21	Application Fee (Manual)	\$50.00

Due Date: **5/19/21**

Total due for this invoice:

\$50.00

Options to pay your Invoice:

1. Online with a credit card: <http://posse.cabq.gov/posse/pub/lms/Default.aspx>
2. In person: Plaza Del Sol, 600 2nd St. NW, Albuquerque, NM 87102

PLEASE RETURN THE BOTTOM PORTION OF THIS INVOICE NOTICE WITH PAYMENT



City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

Date: 5/19/21
Amount Due: **\$50.00**
Reference NO: SI-2021-00739
Payment Code: 130
Customer NO: CU-97137236

GINA KELLY
1437 S. BOULDER AVE - SUITE 550 SGA
DESIGN GROUP
TULSA, OK 74119



130 0000SI202100739000993551135091338000000000000050000CU97137236