



For Minor Amendment Form P3

Effective 3/01/2022

Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

SUBDIVISIONS		<input type="checkbox"/> Final Sign off of EPC Site Plan(s) (Forms P & P2A)	<input type="checkbox"/> Extension of IIA: Temp. Def. of S/W (Form V2)
<input type="checkbox"/> Major – Preliminary Plat (Forms S & S1)	<input type="checkbox"/> Amendment to Site Plan (Forms P & P2)	<input type="checkbox"/> Vacation of Public Right-of-way (Form V)	
<input type="checkbox"/> Major – Bulk Land Plat (Forms S & S1)	MISCELLANEOUS APPLICATIONS		<input type="checkbox"/> Vacation of Public Easement(s) DRB (Form V)
<input type="checkbox"/> Extension of Preliminary Plat (Form S1)	<input type="checkbox"/> Extension of Infrastructure List or IIA (Form S1)	<input type="checkbox"/> Vacation of Private Easement(s) (Form V)	
<input checked="" type="checkbox"/> Minor Amendment - Preliminary Plat (Forms S & S2)	<input type="checkbox"/> Minor Amendment to Infrastructure List (Form S2)	PRE-APPLICATIONS	
<input type="checkbox"/> Minor - Final Plat (Forms S & S2)	<input type="checkbox"/> Temporary Deferral of S/W (Form V2)	<input type="checkbox"/> Sketch Plat Review and Comment (Form S2)	
<input type="checkbox"/> Minor – Preliminary/Final Plat (Forms S & S2)	<input type="checkbox"/> Sidewalk Waiver (Form V2)	<input type="checkbox"/> Sketch Plan Review and Comment (Form P2)	
SITE PLANS		<input type="checkbox"/> Waiver to IDO (Form V2)	APPEAL
<input type="checkbox"/> DRB Site Plan (Forms P & P2)	<input type="checkbox"/> Waiver to DPM (Form V2)	<input type="checkbox"/> Decision of DRB (Form A)	

BRIEF DESCRIPTION OF REQUEST

To build a shade canopy over 90' existing Pat.O

APPLICATION INFORMATION

Applicant: <i>Boxing Bear Brewing Co</i>	Phone: <i>505 220 5971</i>
Address: <i>12501 Candelaria Rd / NE</i>	Email: <i>Kevin@boxingbearbrewing.com</i>
City: <i>ABQ</i> State: <i>NM</i>	Zip: <i>87112</i>
Professional/Agent (if any): <i>OCW + Fab</i>	Phone: <i>505 573-7607</i>
Address: <i>53 KNOTTS Landing Dr.</i>	Email:
City: <i>Zia Pueblo</i> State: <i>NM</i>	Zip: <i>87053</i>
Proprietary Interest in Site: <i>Art Gardenschwartz</i>	List all owners:

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.: <i>TRACT 1, Section 3, T10N, R4E</i>	Block:	Unit:
Subdivision/Addition:	MRGCD Map No.:	UPC Code:
Zone Atlas Page(s): <i>H-22</i>	Existing Zoning: <i>MX-L</i>	Proposed Zoning <i>Same</i>
# of Existing Lots: <i>1</i>	# of Proposed Lots: <i>1</i>	Total Area of Site (Acres): <i>2.51</i>

LOCATION OF PROPERTY BY STREETS

Site Address/Street: *12501 Candelaria NE* Between: *at Candelaria and* and: *Tranway NE*

CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

1002635 (?)

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

Signature: <i>[Signature]</i>	Date: <i>2/9/22</i>
Printed Name: <i>Kevin Davis</i>	<input checked="" type="checkbox"/> Applicant or <input type="checkbox"/> Agent

FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS

A single PDF file of the complete application including all plans and documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD.

INFORMATION REQUIRED FOR ALL ADMINISTRATIVE DECISIONS OR AMENDMENTS

- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled

ARCHEOLOGICAL CERTIFICATE

- Archaeological Compliance Documentation Form with property information section completed
- Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)

MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(2)
- The approved Site Plan being amended
- Copy of the Official Notice of Decision associated with the prior approval
- The proposed Site Plan, with changes circled and noted
Refer to the Site Plan Checklist for information needed on the proposed Site Plan.
- Completed Site & Building Design Considerations Form in accordance with IDO Section 5-2(D) for new commercial and multifamily development except if the development is industrial or the multifamily is less than 25 units

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Z)(1)(a)
- The approved Site Development Plan being amended
- Copy of the Official Notice of Decision associated with the prior approval
- The proposed Site Development Plan, with changes circled and noted
Refer to the Site Plan Checklist for information needed on the proposed Site Plan.
- Completed Site & Building Design Considerations Form in accordance with IDO Section 5-2(D) for new commercial and multifamily development except if the development is industrial or the multifamily is less than 25 units

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

ACCELERATED EXPIRATION SITE PLAN

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)(c)
- Site Plan to be Expired

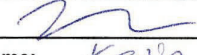
ALTERNATIVE SIGNAGE PLAN

- Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)
- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(C)(3)(b)
- Required notices with content per IDO Section 14-16-6-4(K)
 - Office of Neighborhood Coordination notice inquiry response and proof of emailed notice to affected Neighborhood Association representatives
 - Sign Posting Agreement

ALTERNATIVE LANDSCAPE PLAN

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-5-6(C)(16)
- Landscape Plan

I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.

Signature:  Date: 2/9/22
 Printed Name: Kevin Scott Applicant or Agent

FOR OFFICIAL USE ONLY

Project Number:	Case Numbers
PR-2019-002237	SI-2022-00329
	-
	-
Staff Signature:	
Date:	



IDO Interactive Map

Type text here

Find an address

11:59 AM 2/10/2022

51°F Sunny

IDO Zoning: MX-L

IDO Zone District: MX-L

IDO District Definition: Low Intensity

IDO Zoning Description: Mixed-Use

IDO Category: [More info](#)

Link to Allowable Use Table

Last Update Date: 11/29/2015

Old Zoning Designation: SU-1

Old Zoning Description: NEIGHB COMMER

Old Zoning Category: COMMERCIAL

TREVESTON ELLIOTT ARCHITECT

811 12TH STREET NW
ALBUQUERQUE NM 87102

o 505.259.4617

www TEarchitect.com

**PROJECT: 12501 Candelaria Rd NE
"Bridges on Tramway"**

Date: March 21, 2019

To: City of Albuquerque Administrative Approval Request

We are proposing the reimagining of the old mid sided pharmacy box store into a new neighborhood hub space containing up to nine independent retail, coffee, and restaurant uses. The existing building will remain intact as we are not adding any heated square footage. New storefront entrances with individual signage above will be constructed at each new suite location and we will reconfigure the facade to accommodate this new use. Adding tower elements to each end of the existing facade and re-stuccoing the entire building. Please see the attached elevations and renderings.

We will also repurpose the old delivery truck staging area to the west of the building by adding nine parking spaces and relocating the dumpster. This addition will occur inside the outer curb area and only impact a small amount the existing curb adjacent to the building. We will also repave the existing parking lot as it has not been maintained and is in serious disrepair. The landscaping will also be refreshed in all the existing landscape areas.

Thank You,



3.21.19

Treveston Elliott Architect

Minor Amendment Justification Letter

IDO 14-16-6-4 (Y) (2)

To Whom It May Concern:

This minor amendment has been requested because of safety concerns for our customers, staff, and families. Covid mitigation measures have become a frequent part of our lives since early 2020. This was not anticipated in 2019 when the latest Amended Site plan was approved.

It has become ever more important for us to be proactive in managing the safety of our customers and staffing on a permanent basis, not just during pandemics. The authorities tell us that outdoor activities are considerably safer for groups of people than indoor activities, so we intend to encourage more outdoor patronage with these improvements. This minor amendment will allow us to gain an additional 700 sq ft of patio space, (this expansion was already approved by the City back in July 2020) and will also allow us to place a shade canopy over our original patio so people can be seated outdoors, even during more extreme weather conditions.

This amendment does not violate any of the criteria as presented in IDO 14-16-6-4-2 (Y)(2) for it does not alter the building, setbacks, use of premises, landscaping, etc.

These improvements will not alter in any way whatsoever, any of the criteria listed on Table 6-4-4 'Allowable Minor Amendments.'

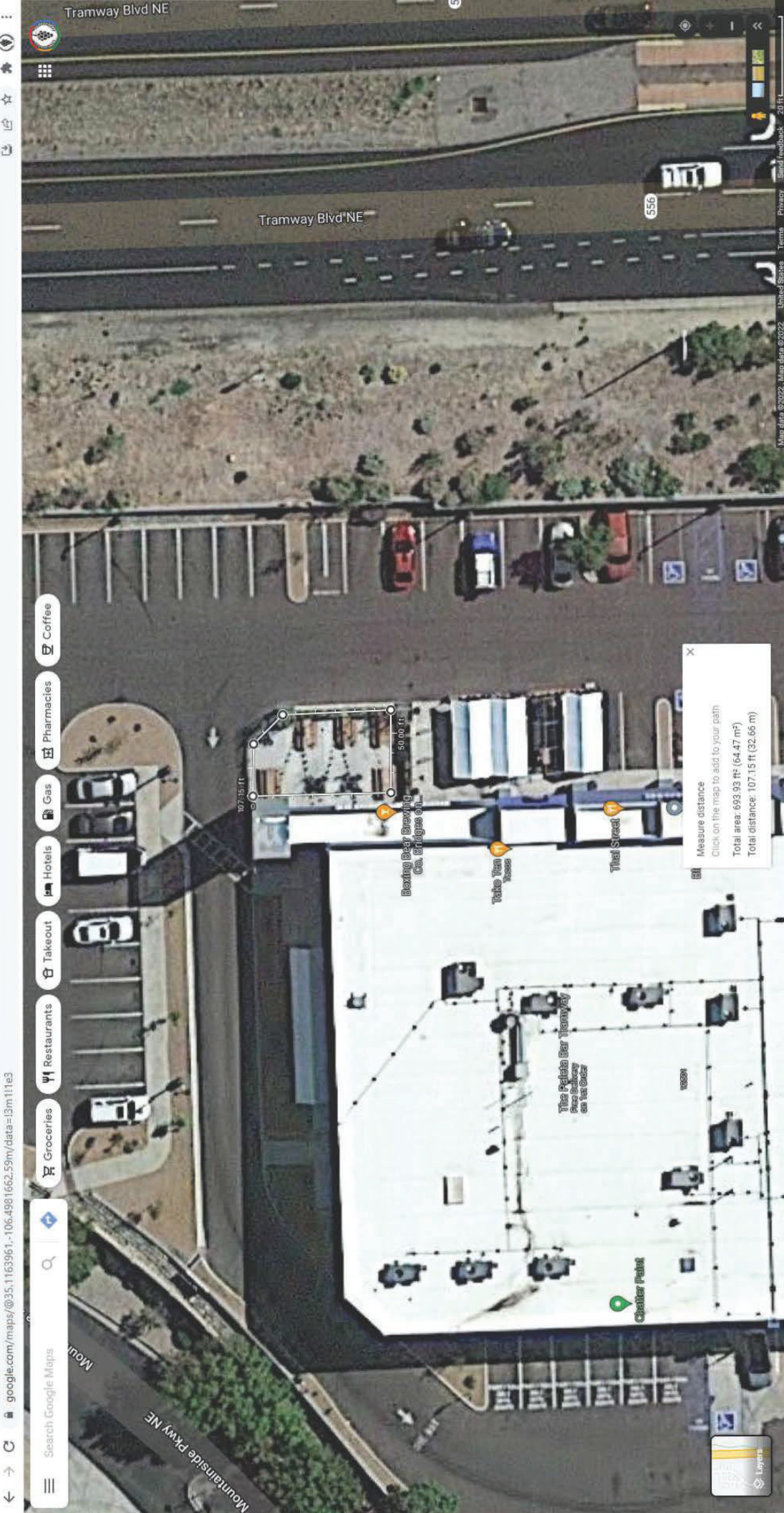
The only change will be a small increase in parking due to some additional seating. Our architect has addressed this by providing the new parking calculations. These calculations are listed on the attached new site plan, and will show that there is more than enough parking to meet the required amount.

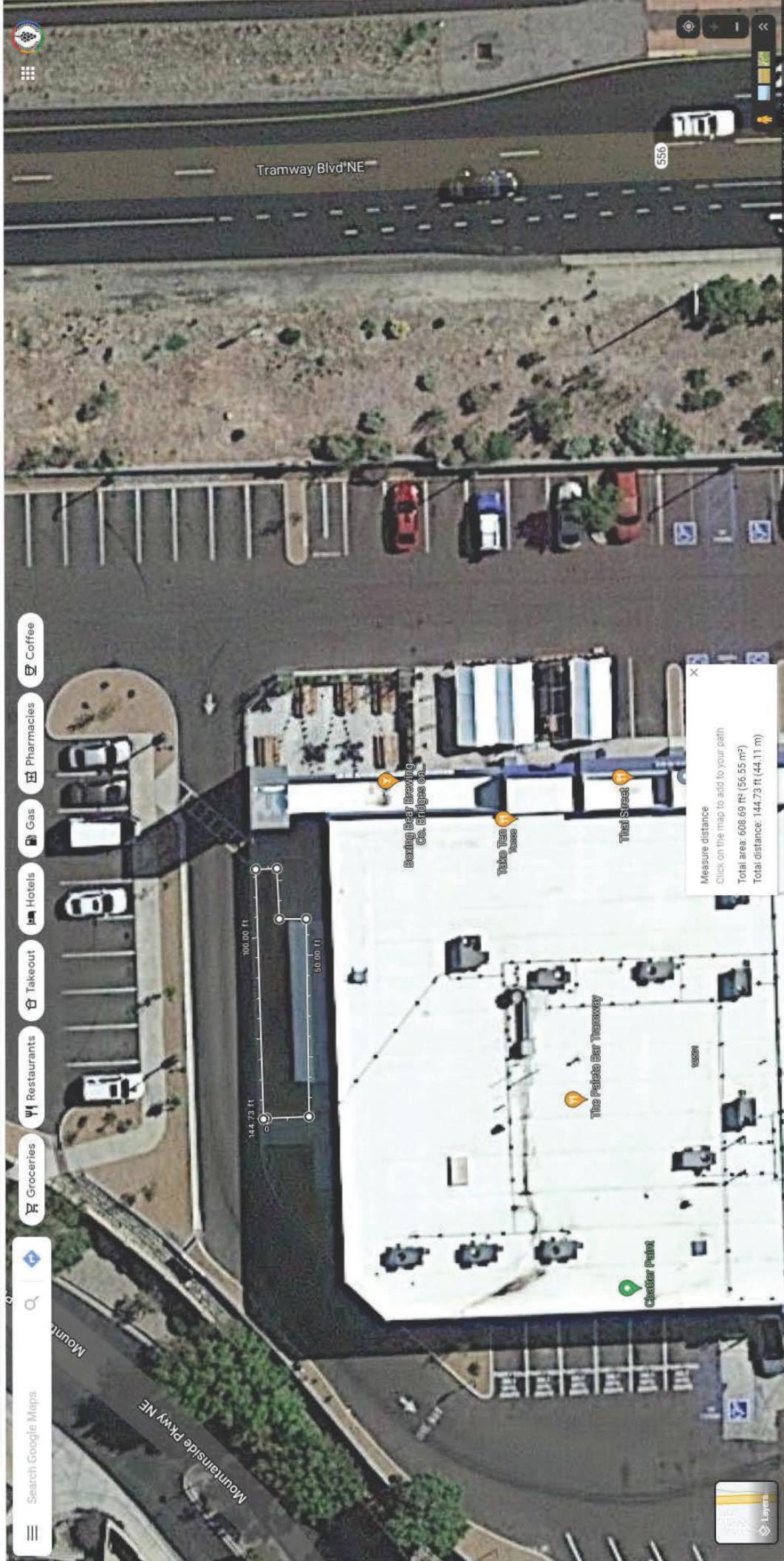
Thank you for your time,

Kevin Davis

Executive partner,

Boxing Bear Brewing Co





CODE DATA
 2015 International Building Code
 2015 Uniform Plumbing Code
 2017 National Mechanical Code
 2017 National Electrical Code
 2009 International Energy Conservation Code

City of Albuquerque
 Location: 12501 Candelaria Rd NE
 Albuquerque, New Mexico 87112

Parking:
 2,511,000 GSF (gym) = 1,641sq.ft. = 4.1
 3,511,000 GSF (office) = 888sq.ft. = 3.1
 51,000 GSF (retail) = 9,275sq.ft. = 27.1
 51,000 GSF (outdoor seating) = 1,197sq.ft. = 5.9
 51,000 GSF (outdoor seating) = 726sq.ft. = 3.6

NEW
 Total Spaces required before reduction = 121
 Motor Vehicle = 100
 Motorcycle = 2 (1 Van)

Shared Parking Reduction TABLE 5-5-3
 $(21.1 + 77.3) / 1.3 = 75.6 + 16.7(\text{office/gym/outdoor seating}) = 92$
Total Spaces Required = 92 (entire bldg.)
Total Spaces Provided = 103

GENERAL NOTE: All landscaping is existing - no addition to existing building.
 Street trees are existing.

REVESTON ELLIOTT
 ARCHITECT

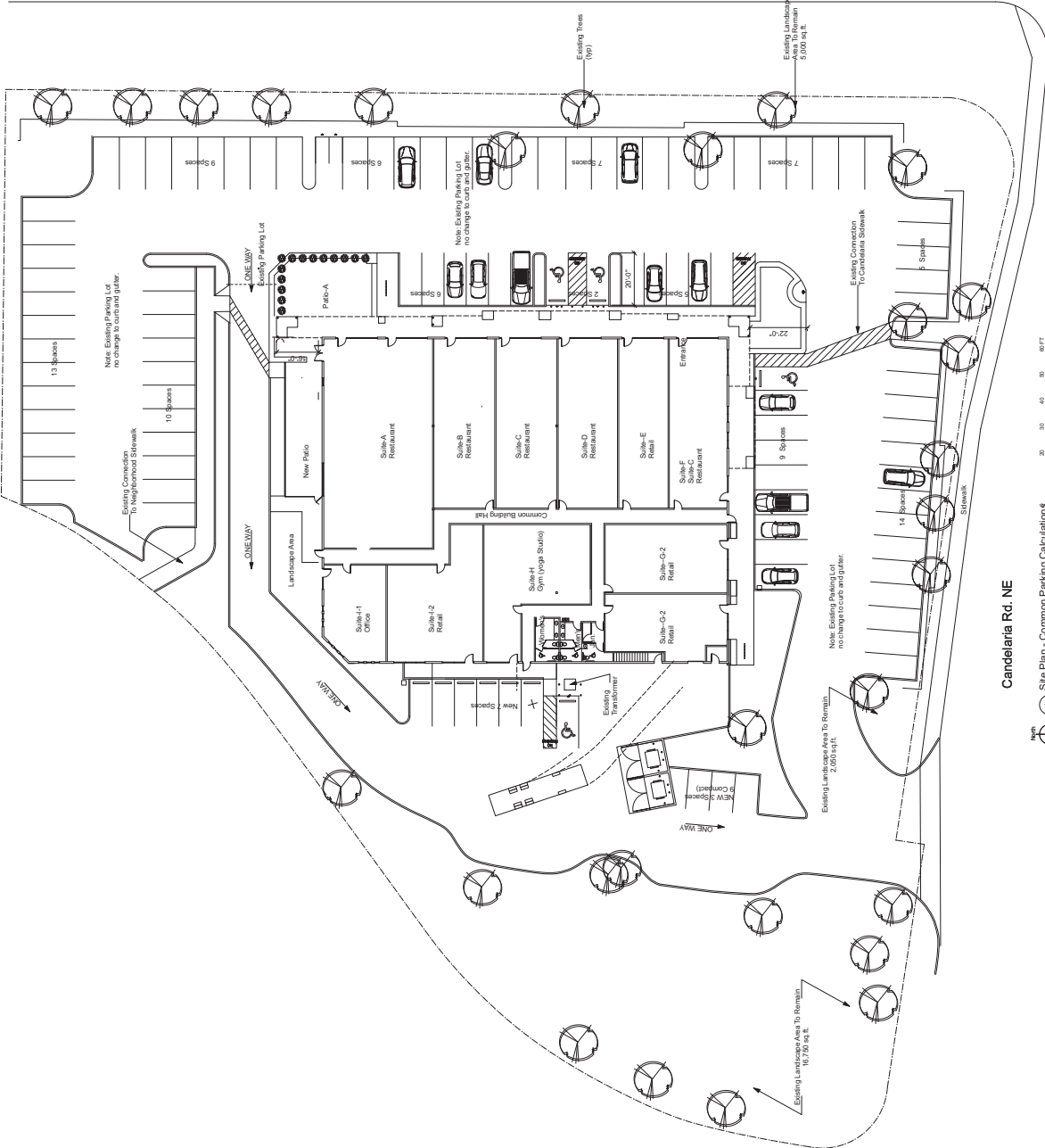
ALBUQUERQUE, NEW MEXICO
 87102
 C 505.559.4617
 reveston@revestonelliott.com
 www.revestonelliott.com

BRIDGES
 ON TRAMWAY
 ALBUQUERQUE, NEW MEXICO



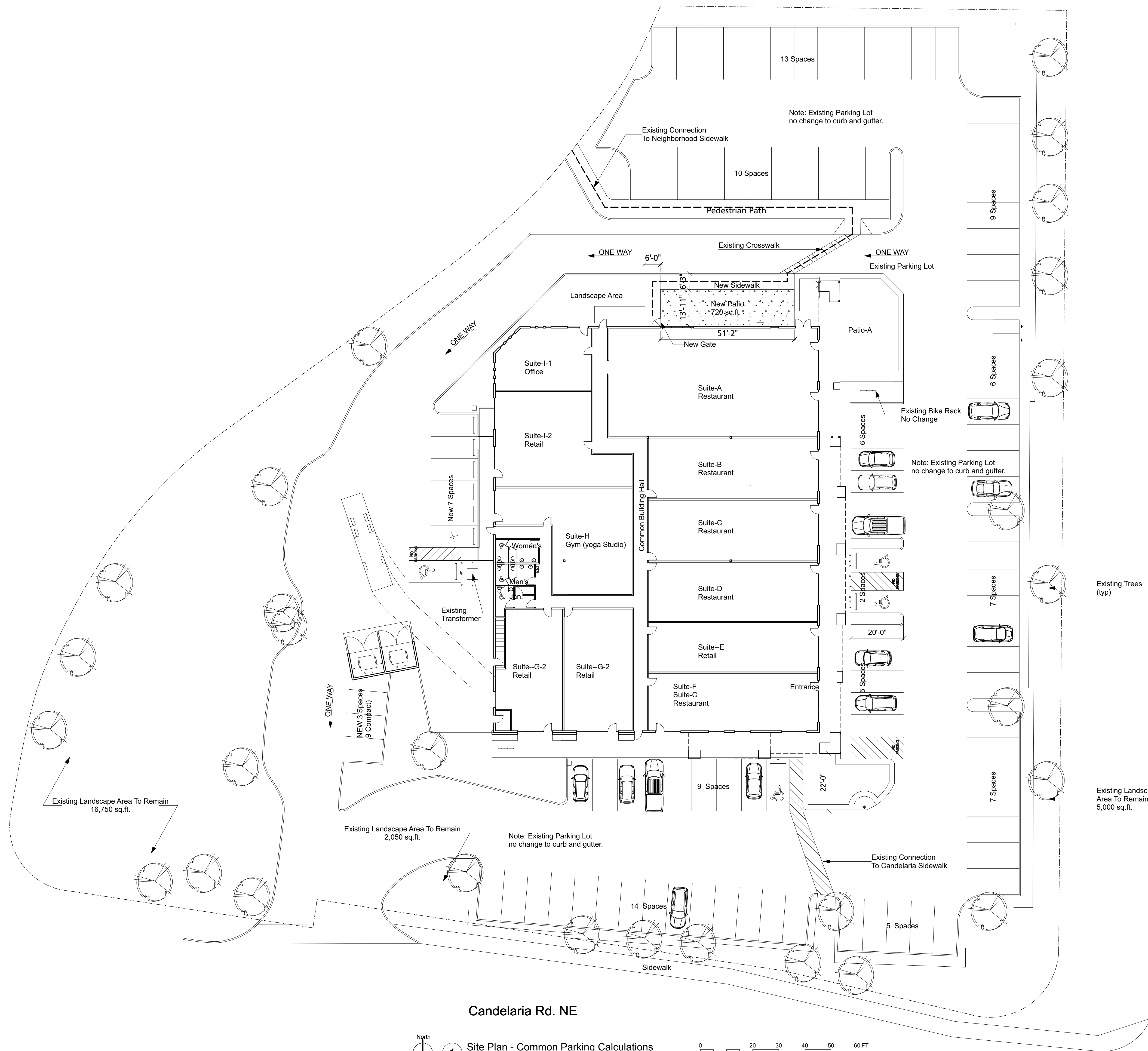
Date: February 10, 2022
 Sheet: Site Plan, Parking Calculations

A-083



1 Site Plan - Common Parking Calculations
 Scale: 1" = 20'-0"





1 Site Plan - Common Parking Calculations
Scale: 1" = 20'-0"

CODE DATA
 2015 International Building Code
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City of Albuquerque
 Location: 12501 Candelaria Rd NE
 Entire Building
 Albuquerque, New Mexico 87112

Parking:	2.5/1,000 GSF (gym)	1,641sq.ft.=4.1
	3.5/1,000 GSF (office)	898sq.ft. =3.1
	4/1,000 GSF (retail)	5,275sq.ft.=21.1
	8/1,000 GSF (restaurant)	9,668sq.ft.=77.3
	5/1,000 GSF (outdoor seating)	1,187sq.ft.=5.9
NEW	5/1,000 GSF (outdoor seating)	720sq.ft. =3.6
	Total Spaces required before reduction	= 115
	ADA	= 5 (1 Van)
	Motorcycle	= 2
	Shared Parking Reduction TABLE 5-5-3 Retail to Food / 1.3 (21.1 + 77.3) / 1.3 = 75.6 + 16.7(office,gym,outdoor seating) = 92	
	Total Spaces Required	= 92 (entire bldg.)
	Total Spaces Provided	= 103

GENERAL NOTE: All landscaping is existing - no addition to existing building. Street trees are existing.



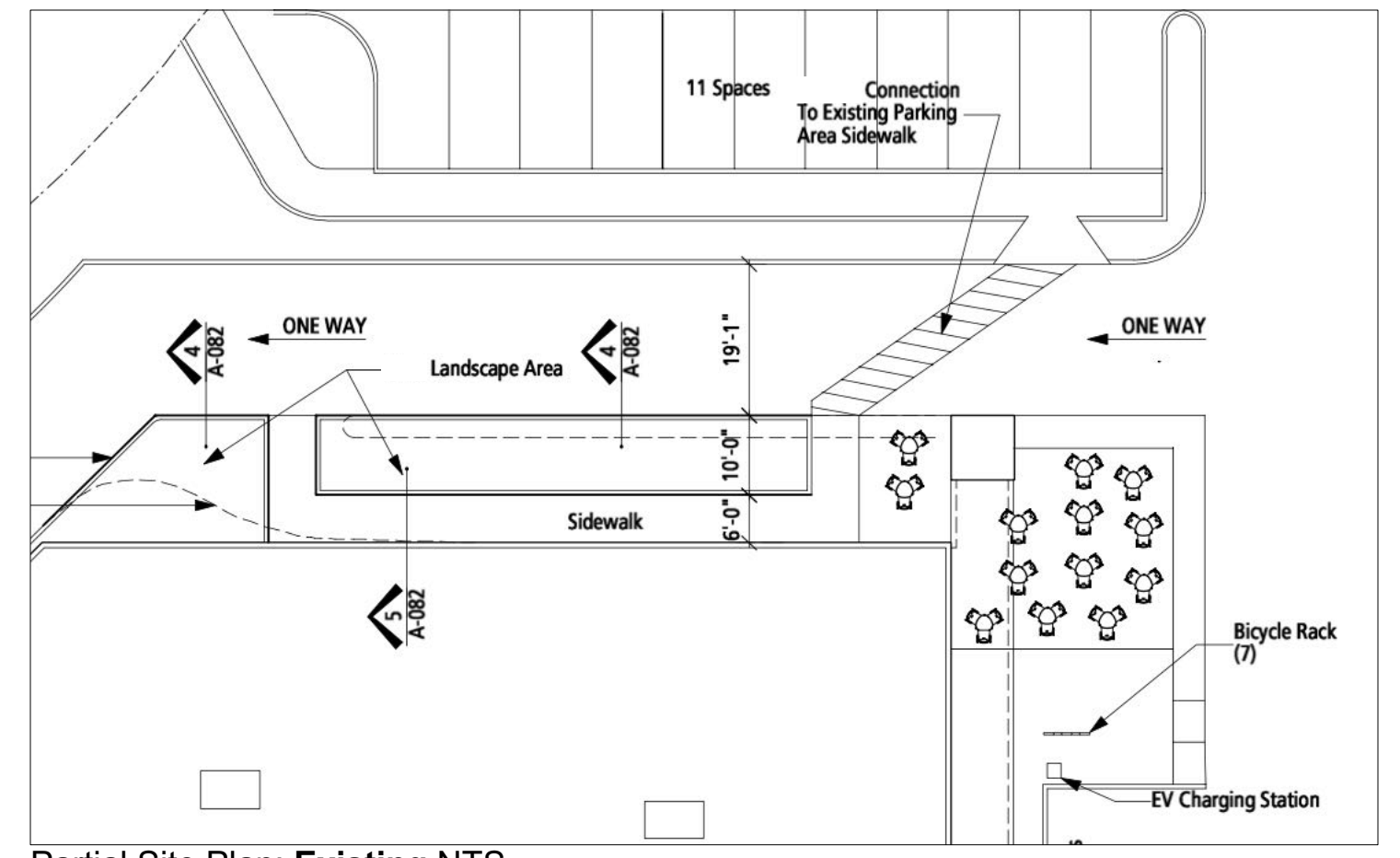
Project Scope:
 Increase Suite A Patio by 720 sq.ft. along the north side of the building in an existing landscape area. Realign existing sidewalk along north side of building to back of existing curb along the parking lot road to connect to existing crosswalk. No work outside of this area.

Landscape area calculations not affected



Landscape Requirements	
Site Area 2.44 Acres	106,425 sq.ft.
Existing Building Footprint	19,211 sq.ft.
Total Area:	90,473 sq.ft.
Required Landscape %	.15 sq.ft.
Landscape Area Required:	13,570 sq.ft.
Landscape Area Provided:	23,080 sq.ft.

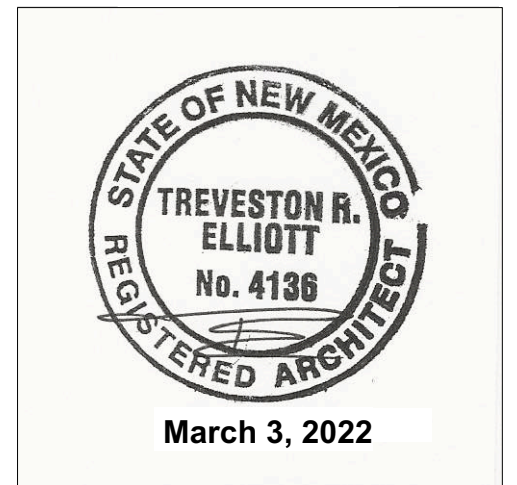
Tramway Blvd NW



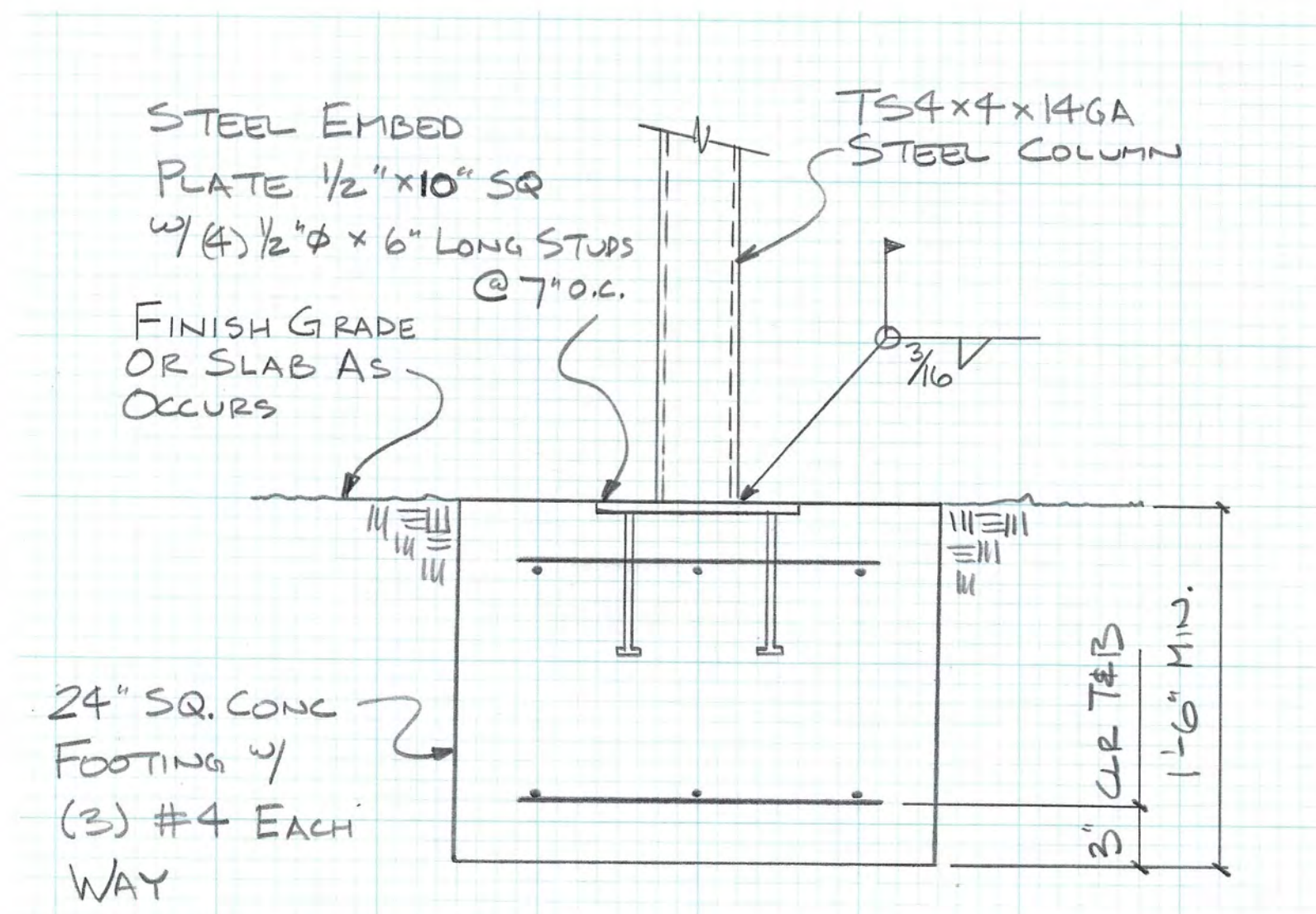
Partial Site Plan: Existing NTS

TREVESTON ELLIOTT
 ARCHITECT
 811 12TH ST. NW
 ALBUQUERQUE, NEW MEXICO
 87102
 C 505.259.4617
 treveston@earthlink.com
 www.earthlink.com

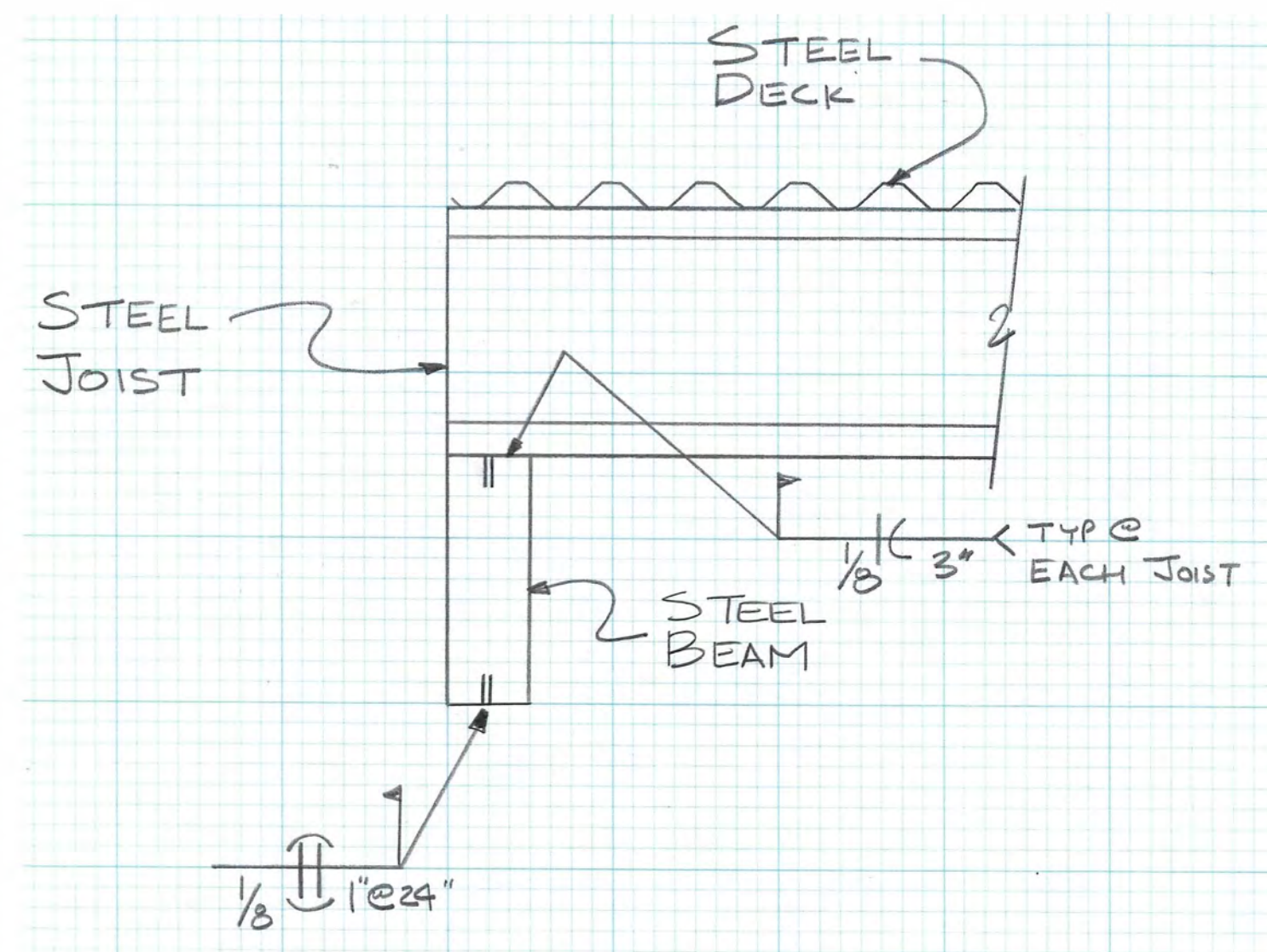
BRIDGES
 ON TRAMWAY
 ALBUQUERQUE, NEW MEXICO



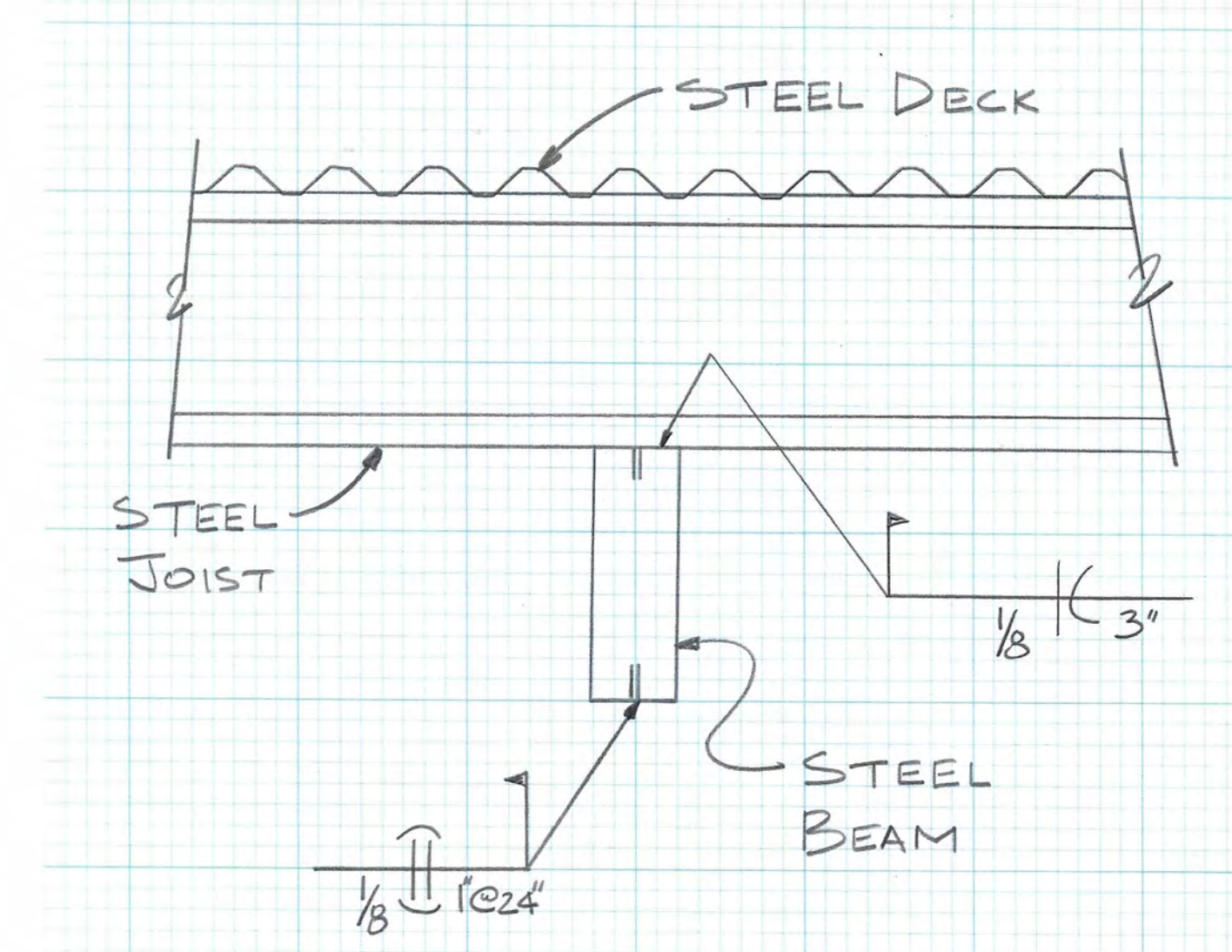
Date: March 3, 2022
 Sheet: Site Plan
 Parking Calculations



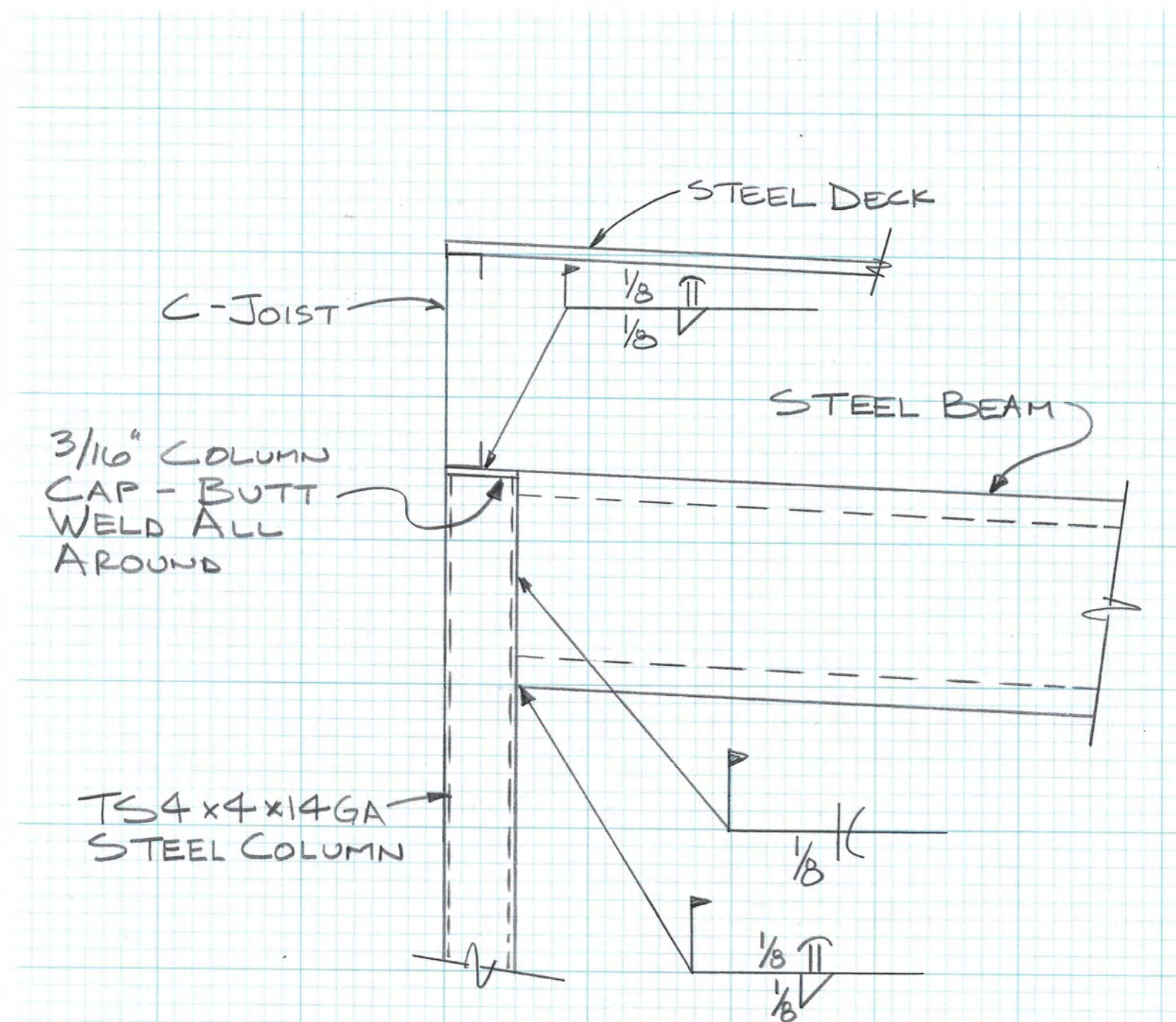
① STEEL COLUMN @ CONCRETE FOOTING
SCALE: 1/2" = 1'-0"



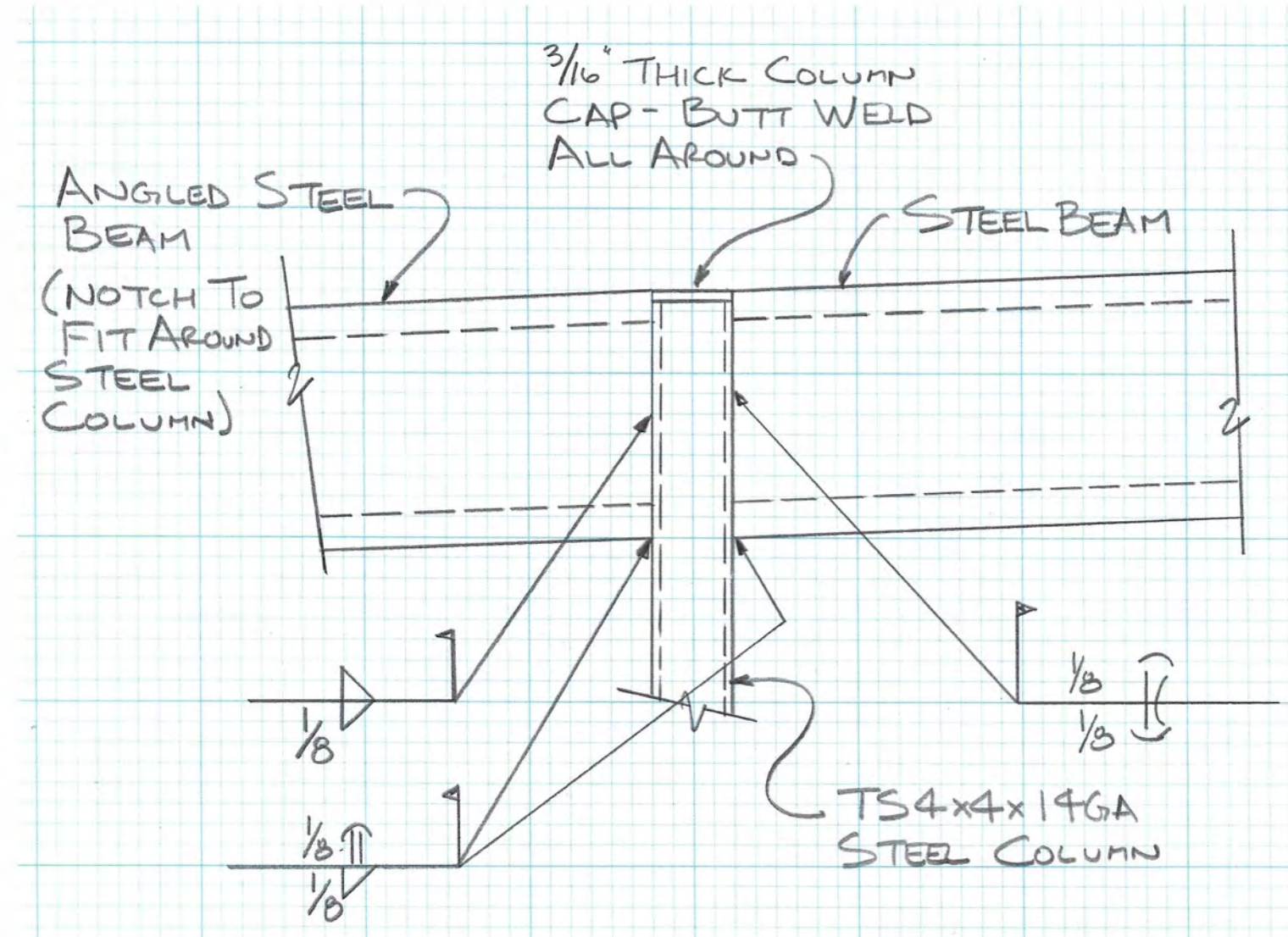
② STEEL JOIST @ STEEL BEAM
SCALE: 1/2" = 1'-0"



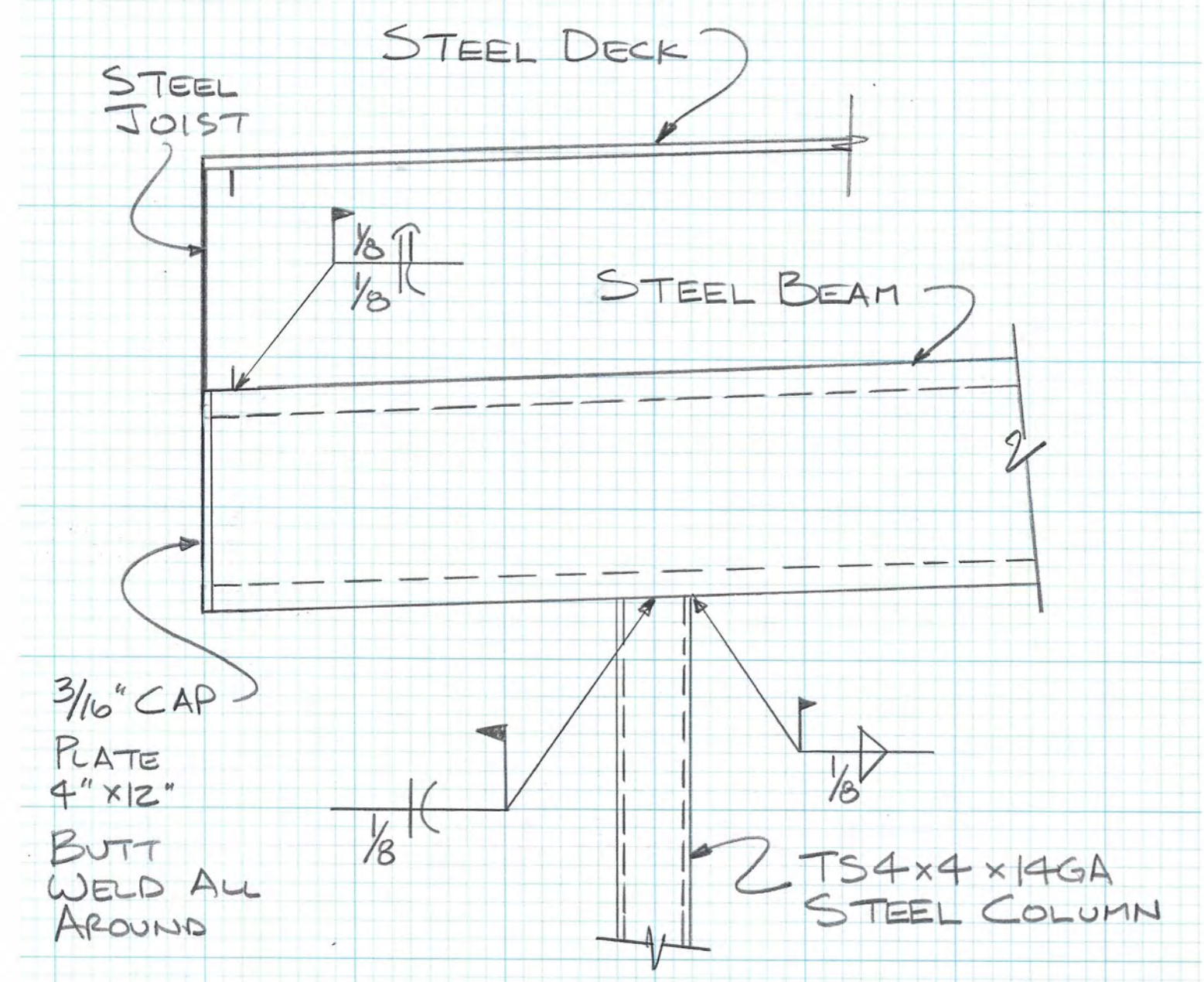
③ STEEL JOIST @ STEEL BEAM
SCALE: 1/2" = 1'-0"



④ STEEL BEAM @ TUBE STEEL COLUMN
SCALE: 1/2" = 1'-0"



⑤ STEEL BEAMS @ STEEL COLUMN
SCALE: 1/2" = 1'-0"



⑥ CANTILEVERED BEAM @ COLUMN
SCALE: 1/2" = 1'-0"



RANDALL
Structural Engineering
Jeremy Randall P.E., S. E.
505-463-0258
JEREMYRSE@OUTLOOK.COM

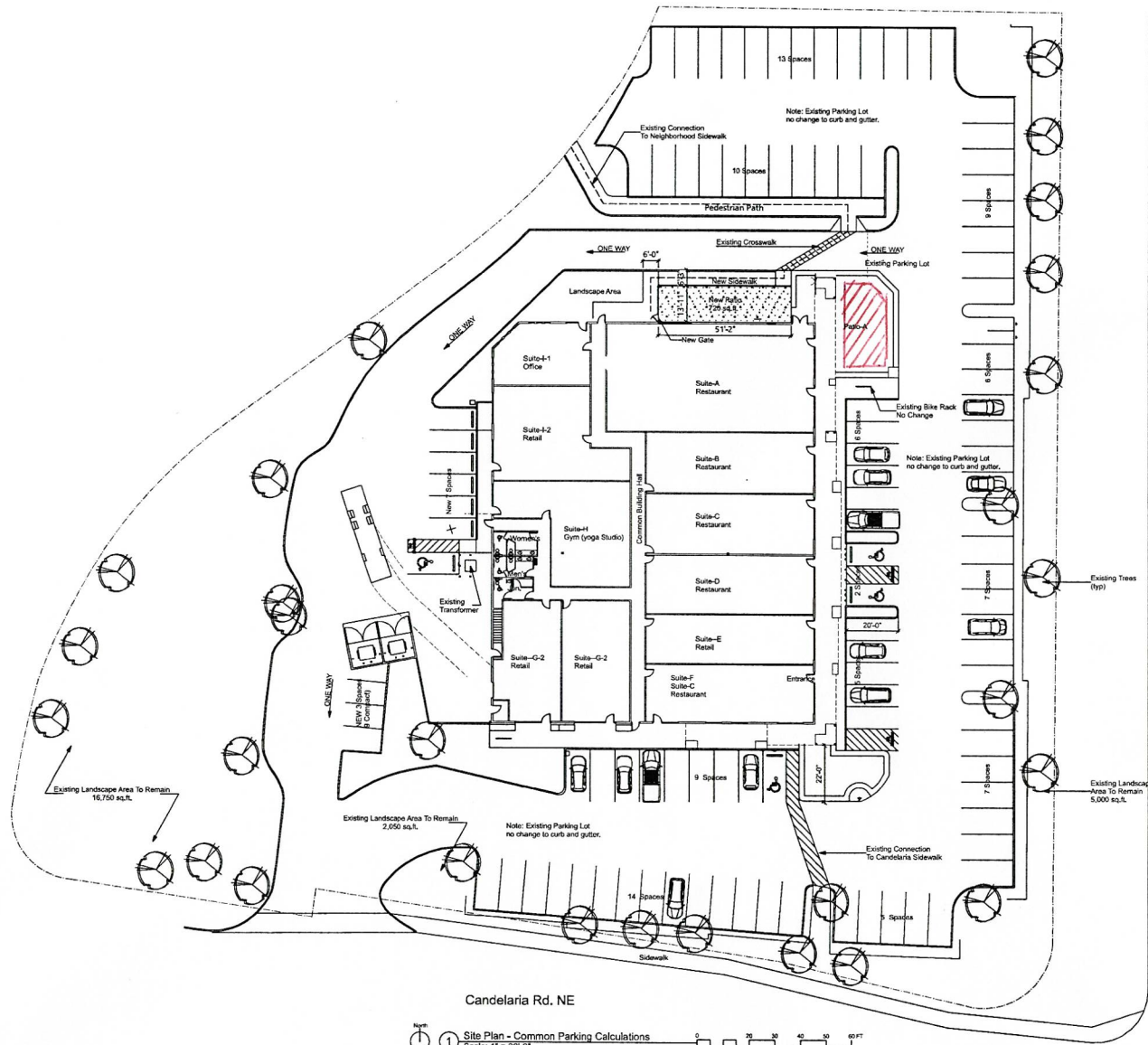
DETAILS

BOXING BEAR BREWING COMPANY
NEW SHADE CANOPY
12501 CANDELARIA ROAD NE
ALBUQUERQUE NM 87112

7 JAN 2022

S2

Existing Patio; new cover in Red



CODE DATA
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City of Albuquerque
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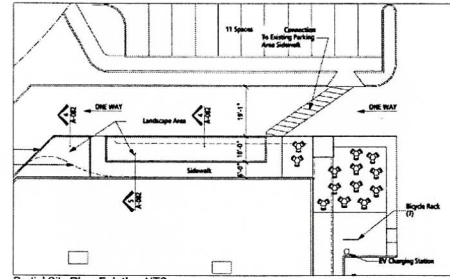
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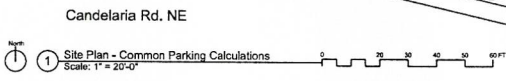
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Landscape Area Required:	13,570 sq.ft.
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Tramway Blvd NW



Partial Site Plan: Existing NTS

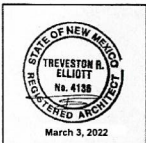


TREVESTON ELLIOTT
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BRIDGES

ON TRAMWAY
 ALBUQUERQUE, NEW MEXICO



Date: March 3, 2022

Sheet: Site Plan
 Parking Calculations

A-083

March 04, 2022

TO: Treveston Elliott Architect
FROM: Leroy Duarte, Staff Planner
City of Albuquerque Planning Department
TEL: (505) 924-3452
RE: AA PR-20219-002237 12501 Candelaria Rd. NE- Bridges on Tramway

I am the Staff Planner reviewing your application for project #2019-002237, an Administrative Amendment at 12501 Candelaria Rd. NE for a shade canopy over existing patio on site.

I have done my review, and discovered discrepancies with the drawings.

Please provide the following:

Please address the drawings A-081 and A-083. A-081 drawings show new sidewalk abutting building, whereas on drawing A-083 patio is enclosed. Please clarify proposed patio and new sidewalk.

Please show proposed covered patio drawings/details.

General Structural Notes:

Codes and Design Manuals:

2015 International Building Code and ASCE 7-10

ACI 318 Code for Reinforced Concrete

AISI Cold Formed Steel Manual Current Edition

AWS D1.1 and D1.3 for Welding

Design Loads:

Roof Loads: 5 psf dead and 20 psf Snow

Wind Speed = 115 mph and 18.5 psf

Seismic: $V = SDS I_e W/R = .138W$ $SDS = 0.393 / SD1 = 0.203$ Design Category = D

Importance Factors $I_w = 1.0 / I_s = 1.0 / I_e = 1.0$

Allowable Soil Bearing Pressure = 1,500 psf

Construction:

The contractor is responsible to verify all dimensions in the field. The contractor is responsible for providing safe and adequate shoring for all parts of the structure during construction and providing temporary bracing until the structure is complete as required for full stability during the construction phase. Removal of all concrete form work to be per ACI 347.

Foundations:

All concrete to bear over recompacted or native soil. Soil to be compacted to a minimum of 95%.

Concrete:

All concrete to be minimum 3000 psi at 28 days and be air entrained per code and local standards and requirements.

Reinforcing Steel:

All reinforcing steel shall be fabricated and placed per the contract drawings and ACI 318. All reinforcing steel shall be ASTM A615 40 or 60 grade. Minimum lap for all reinforcing steel shall be 30 bar diameters (18 inches minimum). Reinforcing steel shall be a minimum of 3 inches clear from all edges that are cast against and permanently exposed to soil. Reinforcing exposed to soil or weather shall be a minimum of 2 inches clear from edges. Bar supports and spacers shall be provided per ACI 315-99. Reinforcing shall not be welded unless specifically shown on drawings.

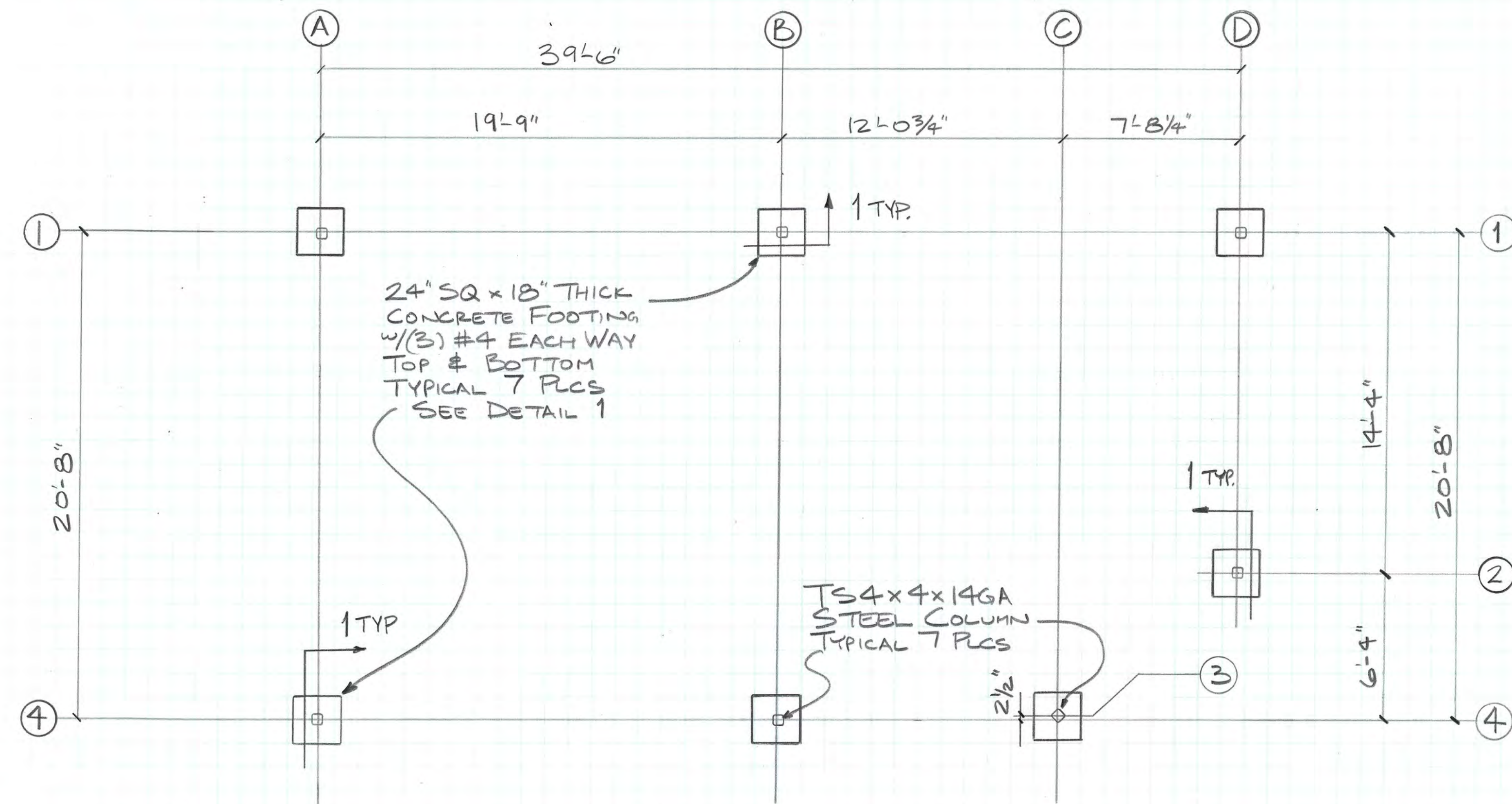
Cold Formed Steel:

All lightgauge metal framing shall conform to AISI "Specification for the design of cold-formed steel structural members", 2007.

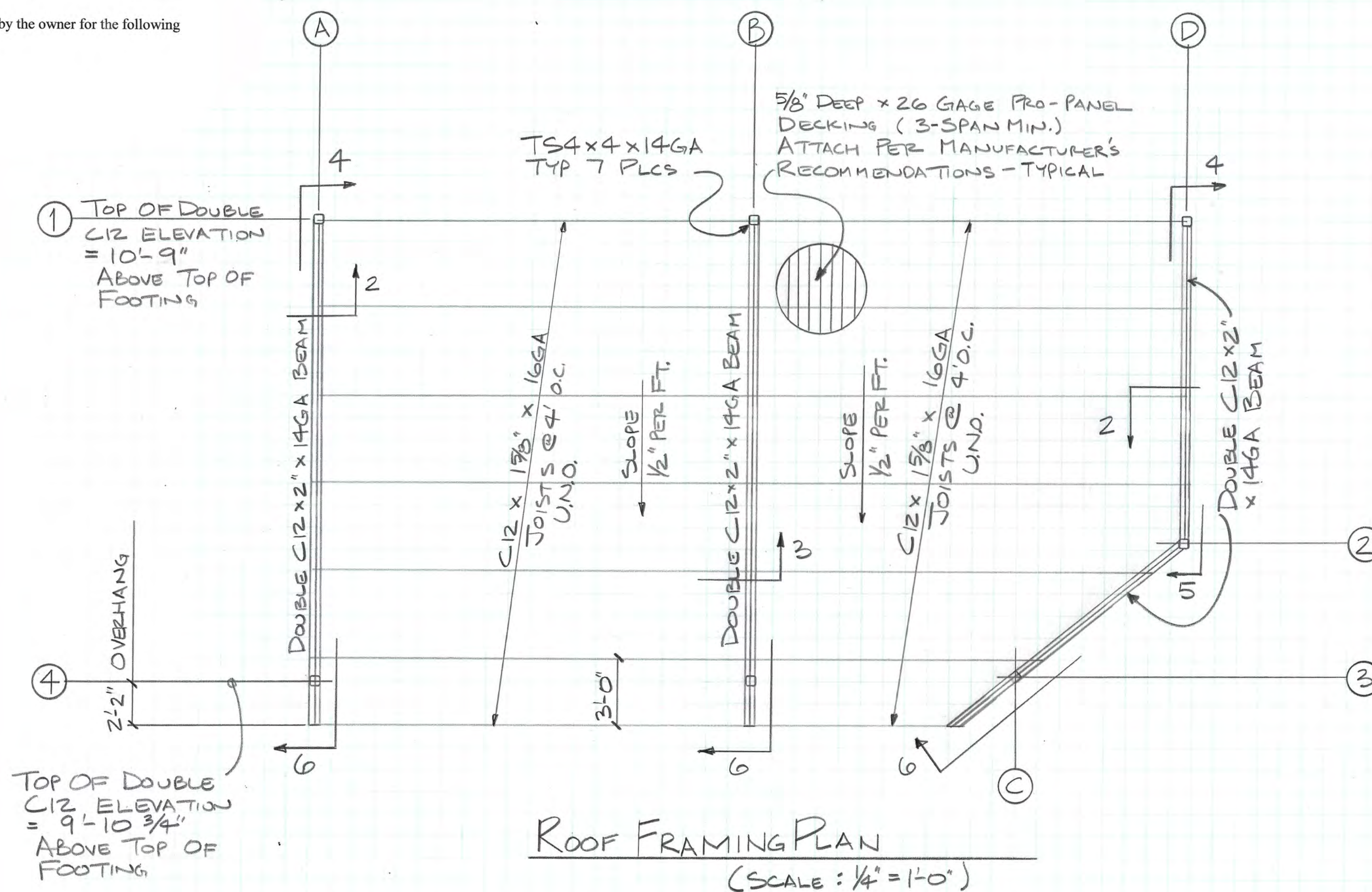
Special Inspections:

Special inspection is required by a third party inspector hired by the owner for the following items:

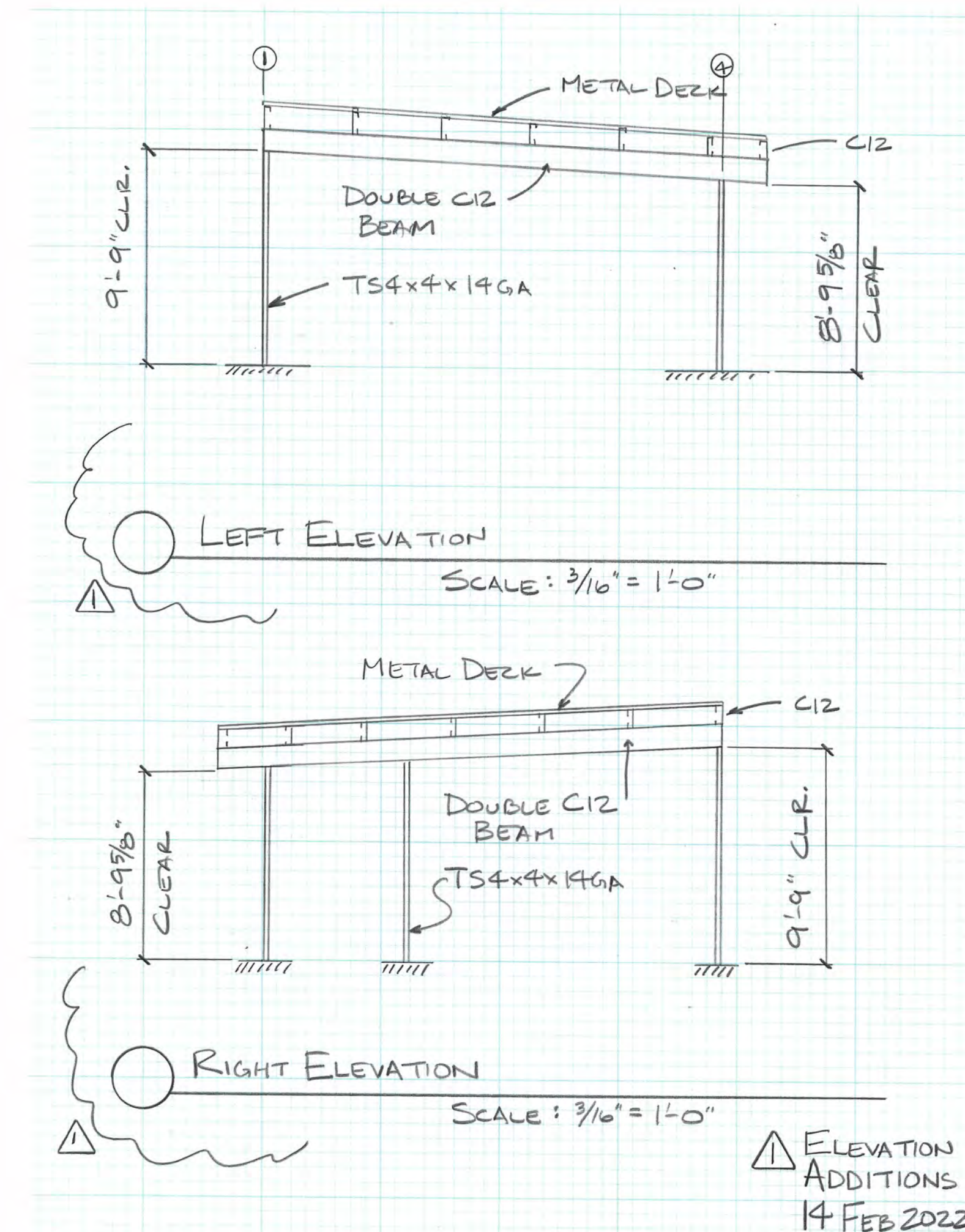
1. Concrete
2. Rebar placement
3. Welding



FOUNDATION PLAN
(SCALE: 1/4" = 1'-0")



ROOF FRAMING PLAN
(SCALE: 1/4" = 1'-0")



ELEVATION ADDITIONS
14 FEB 2022



RANDALL
Structural Engineering
Jeremy Randall P.E., S. E.
505-463-0258
JEREMYRSE@OUTLOOK.COM

GENERAL STRUCTURAL NOTES
FOUNDATION PLAN
ROOF FRAMING PLAN

BOXING BEAR BREWING COMPANY
NEW SHADE CANOPY
12501 CANDELARIA ROAD NE
ALBUQUERQUE NM 87112

7 JAN 2022

S1

Note: Existing Parking Lot
no change to curb and gutter.

