



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	Policy Decisions
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Site Plan – DRB (Form P2)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input checked="" type="checkbox"/> Subdivision of Land – Minor (Form S2)	<input type="checkbox"/> Annexation of Land (Form Z)
Decisions Requiring a Public Meeting or Hearing	<input type="checkbox"/> Subdivision of Land – Major (Form S1)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
<input type="checkbox"/> Conditional Use Approval (Form ZHE)	<input type="checkbox"/> Vacation of Easement or Right-of-way (Form V)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Variance – DRB (Form V)	Appeals
<input type="checkbox"/> Expansion of Nonconforming Use or Structure (Form ZHE)	<input type="checkbox"/> Variance – ZHE (Form ZHE)	<input type="checkbox"/> Decision by EPC, LC, DRB, ZHE, or City Staff (Form A)

APPLICATION INFORMATION		
Applicant: Rainbow Paseo, LLC		Phone: (505) 259-3397
Address: 10439 Calle Leon NW		Email: jl@wcinm.com
City: Albuquerque	State: NM	Zip: 87114
Professional/Agent (if any): RESPEC		Phone: (505) 253-9811
Address: 5971 Jefferson St. NE, Suite 101		Email: jeremy.shell@respec.com
City: Albuquerque	State: NM	Zip: 87109
Proprietary Interest in Site: Owner	List all owners:	

BRIEF DESCRIPTION OF REQUEST
Sketch Plat Review

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)		
Lot or Tract No.: Tract A	Block:	Unit: 2
Subdivision/Addition: Cantata at the Trails	MRGCD Map No.:	UPC Code: 100906445841110201
Zone Atlas Page(s): C-09	Existing Zoning: R-ML	Proposed Zoning: R-ML
# of Existing Lots: One	# of Proposed Lots: One	Total Area of Site (acres): 3.26

LOCATION OF PROPERTY BY STREETS		
Site Address/Street: Oakridge St	Between: Universe Blvd	and: Tree Line Ave

CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

Signature:	Date: 4/2/19
Printed Name: Jeremy Shell	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

FOR OFFICIAL USE ONLY		
Case Numbers	Action	Fees
-		
-		
-		
Meeting/Hearing Date:		Fee Total:
Staff Signature:	Date:	Project #

FORM S2: SUBDIVISION OF LAND – MINOR ACTIONS

Please refer to the DRB minor case schedule for meeting dates and deadlines unless noted differently below. Bring original Mylar of plat with property owner's and City Surveyor's signatures on it to the meeting. Your attendance is required.

A Variance – DRB for the Bulk Transfer of Land requires application on Form V in addition to this FORM S2.

>> INFORMATION REQUIRED FOR ALL MINOR SUBDIVISION APPLICATIONS

- Interpreter Needed for Hearing? if yes, indicate language: _____
- A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@caba.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD. PDF *shall be organized* with the Development Review Application and this Form S2 at the front followed by the remaining documents *in the order provided on this form.*
- Zone Atlas map with the entire site clearly outlined and labeled

SKETCH PLAT REVIEW AND COMMENT

- Letter describing, explaining, and justifying the request
- Scale drawing of the proposed subdivision plat (7 copies, folded)
- Site sketch with measurements showing structures, parking, building setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (7 copies, folded)

MAJOR SUBDIVISION FINAL PLAT APPROVAL (requires published notice, heard on the DRB Major Case Schedule)

- Letter describing, explaining, and justifying the request
- Copy of recorded IIA
- Proposed Final Plat (7 copies, 24" x 36" folded)
- Design elevations & cross sections of perimeter walls (3 copies)
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- DXF file and hard copy of final plat data for AGIS submitted and approved

MINOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL

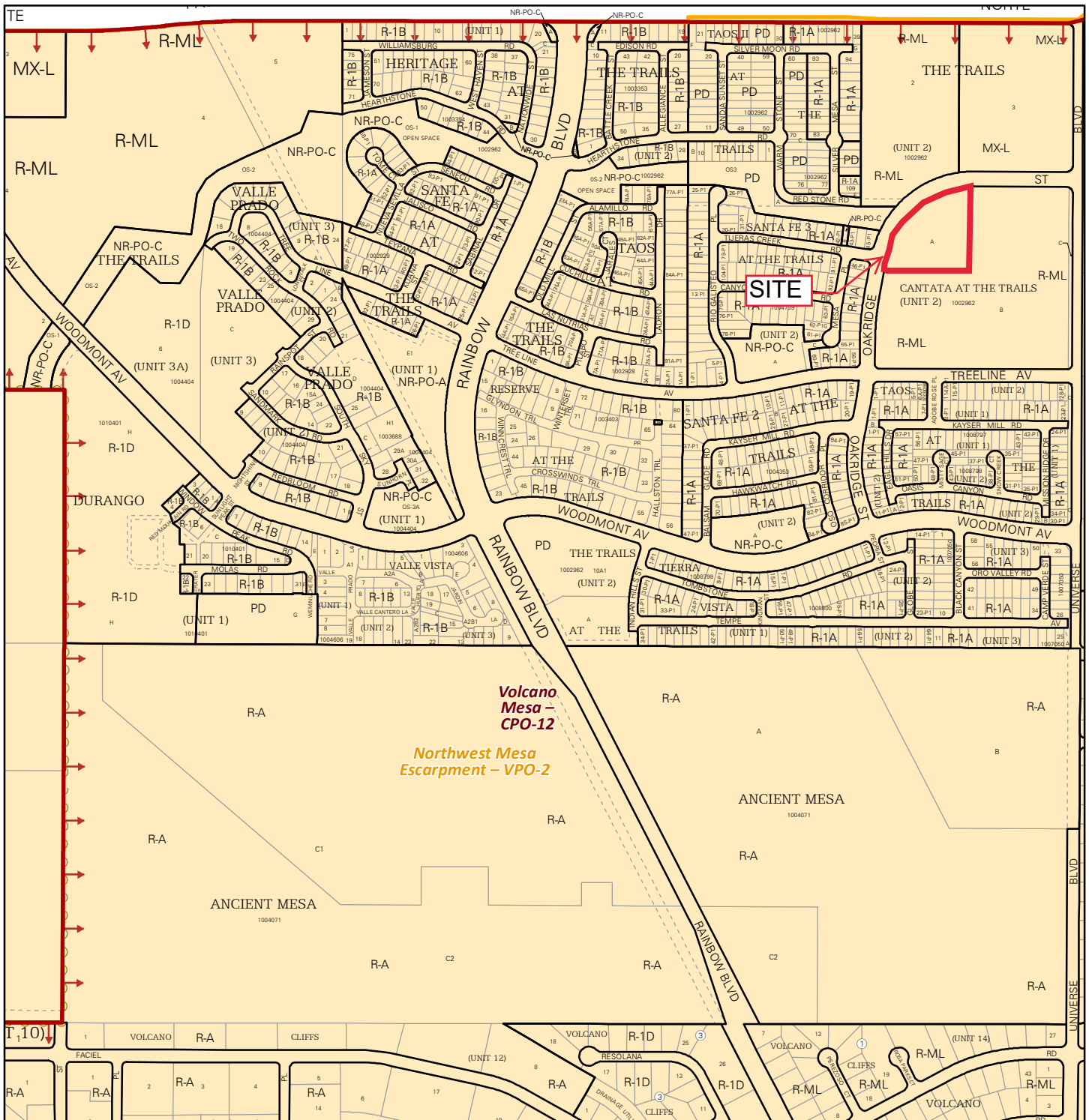
- Letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-6(I)
- Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A)
- Form DRWS Drainage Report, Grading and Drainage Plan, and Water & Sewer Availability Statement submittal information
- Required notice with content per IDO Section 14-16-6-4(K)(6)
 - Office of Neighborhood Coordination Public Notice Inquiry response
 - Proof of emailed notice to applicable Neighborhood Association representatives
- Proposed Preliminary / Final Plat with property owner's and City Surveyor's signatures on the plat prior to submittal (7 copies, folded)
- Sidewalk Exhibit and/or cross sections of proposed streets (3 copies, 11" by 17" maximum)
- Site sketch with measurements showing structures, parking, building setbacks, adjacent rights-of-way and street improvements (to include sidewalk, curb & gutter with distance to property line noted) if there is any existing land use (7 copies, folded)
- Landfill disclosure statement per IDO Section 14-16-5-2(G) if site is within a designated landfill buffer zone
- Proposed Infrastructure List, if applicable
- DXF file and hard copy of final plat data for AGIS submitted and approved

MINOR AMENDMENT TO PRELIMINARY PLAT OR INFRASTRUCTURE LIST

- Letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)
- Original Preliminary Plat, Infrastructure List, and/or Grading Plan (7 copies, folded)
- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (7 copies, folded)


Note: Any application that does not qualify as a Minor Amendment in IDO Section 14-16-6-4(X) must be processed as a Major Amendment. See Form S1.

<i>I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.</i>	
Signature:	Date: 4/2/19
Printed Name: Jeremy Shell	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent
FOR OFFICIAL USE ONLY	
Case Numbers: _____	Project Number _____
Staff Signature: _____	
Date: _____	

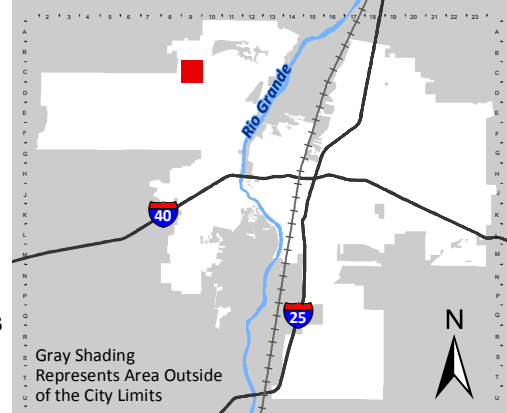


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018



IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones are established by the Integrated Development Ordinance (IDO).



Gray Shading Represents Area Outside of the City Limits

Zone Atlas Page:
C-09-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

0 250 500 1,000 Feet



April 2, 2019

Development Review Board
City of Albuquerque
600 2nd Street NW
Albuquerque, New Mexico 87102

**RE: Tract A Cantata at the Trails Unit 2, 46 Lot Townhome Development
Sketch Plat**

Dear Members of the Board:

RESPEC is acting as agent for the owner of the above referenced property and respectfully requests review and feedback of the subsequent attachments. Tract A is approximately 3.3 acres located near the intersection of Universe Boulevard and Oak Ridge Street. See vicinity map attached with this submittal. The surrounding development in the area is Cantata at the Trails Apartments.

Cantata at the Trails Apartments were originally proposed as a townhome development using a street and alley concept for the layout. However, construction was stopped in 2008 due to the economic downturn. Since then, it was determined that it would be more economical to develop the area as apartments rather than townhomes, and so the townhomes were converted to apartments and the development was completed as such while keeping the same layout.

The layout proposed for Tract A is for a 46-unit townhome subdivision using the same street and alley layout as the surrounding Cantata development. The goal is to closely match the appearance of the buildings and layout of the adjacent development. We request your feedback specifically on the following items:

- / Per IDO section 14-16-6-4(O), a 10% reduction in minimum lot area is allowed so long as the requirements in section 6-4(O)(2) for this deviation are met. A justification for a 10% deviation in minimum lot area will be included with our future Preliminary Plat submittal. In short, a 10% deviation is required due to the size and shape of the property as well as an inability to remain consistent with the layout of the adjacent development if the development standards are strictly enforced in this constrained circumstance.
- / All internal drive aisles are proposed as alleys similar to the surrounding development. Per the DPM, the minimum required pavement width for an alley is 20 feet. Currently, 24 feet is provided for the alley widths. While we do not believe a sidewalk along the alley is required, a sidewalk will be provided, but will be located on the private lot.

5971 JEFFERSON ST., NE
SUITE 101
ALBUQUERQUE, NM 87109
505.268.2661



- / The rear of the buildings will include the garages for each unit and face the internal alleys. The façade of each building will face either Oak Ridge Street or the front of the buildings constructed on the adjacent property to the east and south. We believe it is important to design the layout for Tract A in this manner because the buildings on the adjacent property face Tract A. If the subdivision is not laid out in this manner, the front of the apartments on the adjacent property will face the back of the proposed townhomes. The proposed layout will provide an open neighborhood environment consistent with the adjacent development. The proposed pedestrian connectivity to the public right-of-way will further help create this open environment. Per IDO section 14-16-5-1(C), the minimum setback for a garage off alley is 3 feet. However, a 20-foot set back and driveways is proposed in order to provide additional parking for each unit.
- / It is currently proposed that there will be a single access at the northeast portion of the property to Oak Ridge Street. It is anticipated that the Fire Marshal will require a secondary access due to the number of proposed units. Therefore, an emergency secondary access will be included at the southwest corner of the property through the proposed stub street.
- / The following easements are anticipated to be required. Please advise as to whether any easements need to be added or removed from this list.
 - Public water and sewer easements. The internal alleys are intended to be privately owned.
 - Cross drainage easements.
 - Cross access easements to cover sidewalks
- / A stub street justification will be provided that meet the requirements described in the IDO.

If you have any questions or comments concerning this submittal for Sketch Plat, please contact us at your convenience.

Sincerely,

Sheldon Greer, PE
Senior Project Manager
505-264-0472 cell
Sheldon.Greer@respec.com

Set 5/8" Rebar & Cap
Stamped "SURV-TEK CONTROL"
Project Coordinates
N=1523989.70
E=1497609.35
Elev.=5434.22 (NAVD88)

Set 5/8" Rebar & Cap
Stamped "SURV-TEK CONTROL"
Project Coordinates
N=1523731.13
E=1497208.01
Elev.=5432.08 (NAVD88)

TRACT A
3.2631 Ac
(Vacant Land)

BUILDING 25

BUILDING 24

BUILDING 23

BUILDING 22

BUILDING 19

BUILDING 20

BUILDING 21

OAKRIDGE STREET N.W.

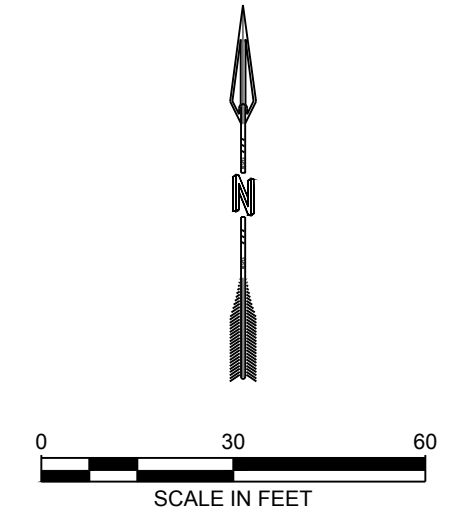
MURPHY 88.20'

S90°00'00"W

436.49'

500'00"03"W

431.95'



CANTATA TOWNHOMES

MARCH 28, 2019



RESPEC

5971 JEFFERSON STREET SUITE 101
ALBUQUERQUE, NEW MEXICO 87109
WATER & NATURAL RESOURCES
WWW.RESPEC.COM 505.253.9718