



DEVELOPMENT REVIEW BOARD  
SUPPLEMENTAL SUBMITTAL

**(Deadline is Friday at noon unless noted on 2019 agenda – late submittals will not be accepted unless approved by the DRB)**

PROJECT NO. PR-2019-002277  
Application No. SI-2019-00246

TO:

Planning Department/Chair

Hydrology

Transportation Development

Albuquerque/ Bernalillo Co. WUA

Code Enforcement

\*(Please attach this sheet with each collated set for each board member)

**NOTE: ELECTRONIC VERSION (ie disk, thumbdrive) is Required. Submittal will not be accepted without.**

DRB SCHEDULED HEARING DATE: 12/8/2021 HEARING DATE OF DEFERRAL: 11/5/2021

SUBMITTAL DESCRIPTION: DRB Site Plan Resubmittal.

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CONTACT NAME: Jeremy Shell

TELEPHONE: 505.918.1053 EMAIL: jeremy.shell@respec.com



December 2, 2021

Development Review Board  
City of Albuquerque, Planning

RE: Adagio Apartments  
PR-2019-002277

Dear Madam Chair and Members of the DRB:

This letter is intended to address comments received related to the Site Plan application heard on October 20, 2021.

ABCWUA

- / Serviceability letter #190401 has been issued and provides the requirements for service. Public waterline and sanitary sewer extensions are required in this serviceability letter. An infrastructure list will be required.
  - *Response: Acknowledged.*
  
- / UPDATE: Please submit a formal request for a revision to the statement, either by email or on the Availability Statement request website. PREVIOUS COMMENT: This development was required to extend public sanitary sewer along its frontage along Oakridge St. so that Tract 3 is able to obtain service. Current proposed service connection locations in this area would negate the need for this extension. To process this, a revision to the serviceability letter and development agreement are required.
  - *Response: Acknowledged. The revised Fire 1 Plan is in progress. A formal request will be sent once it has been approved by the Fire Marshall.*
  
- / Pro rata is owed and shall be paid prior to approval of the site plan.
  - Sanitary sewer: \$14,468.13
  - Water: \$4,215.48
    - *Response: Acknowledged.*
  
- / Utility Plan
  - If the 2-inch water meter does not provide sufficient flows, a larger meter, meter vault, and easement may be required. Please confirm sizing of the proposed meter.
    - *Response: Conceptual calculations have been completed and a 2-inch water meter will be sufficient to provide service to this development.*
  - Please label the 8-inch fire line connection.
    - *Response: The 8-inch fire line connection has been labeled. See revised Conceptual Utility Plan attached.*
  - Clearly delineate the existing versus proposed 8-inch sewer main.
    - *Response: Labeling for the existing and proposed sewer has been updated to clearly delineate between the two. See revised Conceptual Utility Plan attached.*

7770 JEFFERSON ST., NE  
SUITE 200  
ALBUQUERQUE, NM 87109  
505.268.2661



- / For information only.
  - o The development agreement was approved by the Water Authority Board and has been executed.
    - *Response: Acknowledged.*
  - o Revisions to the development agreement require board approval.
    - *Response: Acknowledged.*

### Transportation

- / List number of multi-housing units on plan.
  - o *Response: Multi-housing units have been listed under Site Data on the revised Site Plan attached.*
  
- / Provide more detail at the entrance with regard to ADA accessibility, and provide civil details showing with additional curb ramp details as needed, sidewalk details showing 2% maximum sidewalk cross-slopes, crosswalks, handicapped parking spot details, bike rack details, etc. (Follow IDO/DPM guidelines on needed bike rack details.) (Use COA standard detail references for the entrance.)
  - o *Response: Keyed note 6 has been updated to reference COA standard detail 2420. See revised Site Plan attached.*
  
- / Keyed notes are needed for curb ramps at the van accessible aisles and at the end of each crosswalk. Also indicate bicycle rack locations.
  - o *Response: Keyed notes have been added for curb ramps at the van accessible aisles. Proposed bike rack location is also included. See revised Site Plan attached.*
  
- / Provide sight distance lines on the landscaping plan that match the site plan.
  - o *Response: The revised landscaping plan attached has been updated to show the sight distance lines that match the site plan.*
  
- / Label width of all sidewalks on the plan.
  - o *Response: Sidewalk widths have been labeled throughout on the revised Site Plan attached.*
  
- / Provide a Fire Marshall approved plan.
  - o *Response: The approved Fire 1 Plan is attached. A revised plan is in progress. I will provide once it has been approved. However, we are only updating to reflect the latest building design as nothing else changes from the previously approved plan.*
  
- / The ADA accessible parking sign detail shows "Violators Are Subject to a Fine and/or Towing." (This wording should be more visible on the plan.)
  - o *Response: The revised Site Plan attached has been updated to make this text more visible.*
  
- / The ADA access aisles shall have the words "**NO PARKING**" in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978). This should be clearly called out on a note or a detail.
  - o *Response: A note has been added to the revised Site Plan attached.*



**Planning**

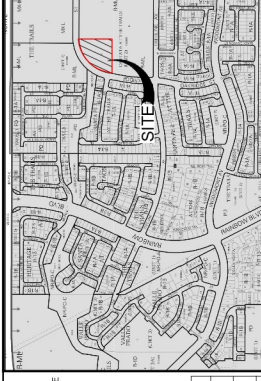
- / The townhomes shall have a color palette consistent with the depiction on the color elevations included in the October 20 supplemental submittal from the applicant.
  - o *Response: I believe this comment was addressed with our last submittal. Regardless, the latest elevations are included with this submittal.*
  
- / All Site Plan sheets must be sealed and signed by a design professional licensed in the State of New Mexico. The Landscape Plan must be sealed and signed by a Landscape Architect licensed in the State of New Mexico.
  - o *Response: All sheets have been stamped and sealed by a design professional.*
  
- / The project and application numbers must be added to the Site Plan prior to final sign off by Planning.
  - o *Response: Project and application numbers are included on the Site Plan.*
  
- / An Infrastructure List is included with this application. A recorded IIA must be submitted prior to final sign off of the Site Plan by Planning.
  - o *Response: Acknowledged.*

If you should have any further comments, questions, or concerns, please feel free to reach out to me at your convenience.

Thank you,

Jeremy Shell, PE  
**RESPEC**  
Community Design Solutions  
505.918.1053 cell  
[jeremy.shell@respec.com](mailto:jeremy.shell@respec.com)





PROJECT NUMBER: PR-2019-00277  
Application Number: SI-2019-00246

This Plan is consistent with the specific Site Development Plan approved by the City of Cambridge, Massachusetts, on 12/10/2019, and the findings and conclusions in the Official Map of the City of Cambridge, Massachusetts, on 12/10/2019, and the findings and conclusions in the Official Map of the City of Cambridge, Massachusetts, on 12/10/2019, and the findings and conclusions in the Official Map of the City of Cambridge, Massachusetts, on 12/10/2019.

DATE: 12/02/2021

Date	By	Description
12/02/2021	[Signature]	Final Design
12/02/2021	[Signature]	Final Design
12/02/2021	[Signature]	Final Design
12/02/2021	[Signature]	Final Design
12/02/2021	[Signature]	Final Design
12/02/2021	[Signature]	Final Design
12/02/2021	[Signature]	Final Design
12/02/2021	[Signature]	Final Design
12/02/2021	[Signature]	Final Design
12/02/2021	[Signature]	Final Design

**ZONING INFORMATION**

PROJECT NAME: ADAGIO APARTMENTS  
MUNICIPALITY: CITY OF CAMBRIDGE  
PROJECT ADDRESS: 271 4TH ST. NW ALBUQUERQUE, NM 87102  
ACRE/AREA: 3.26 ACRES  
ZONE: C-89 Z  
ADJACENT ZONING: ESR-MULTIFAMILY - LOW DENSITY  
USES: APARTMENTS  
RETRACTS:

HEIGHT LIMIT:	REQUIREMENT	PROVIDED
FRONT YARD:	15 FT.	15 FT.
REAR YARD:	5 FT.	5 FT.
REAR YARD:	15 FT.	15 FT.
HEIGHT LIMIT:	LESS THAN 35 FT.	35 FT.

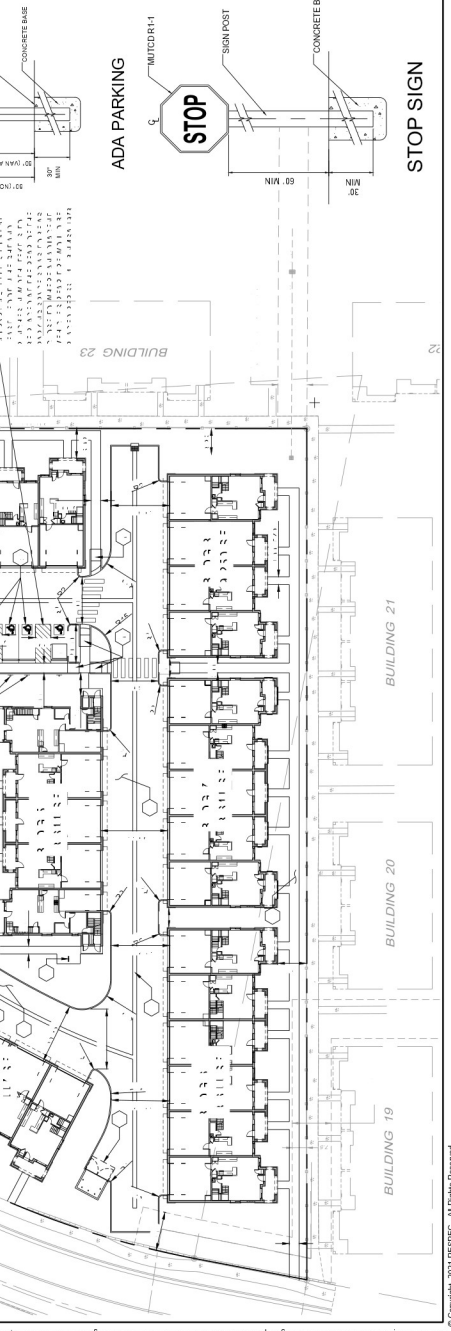
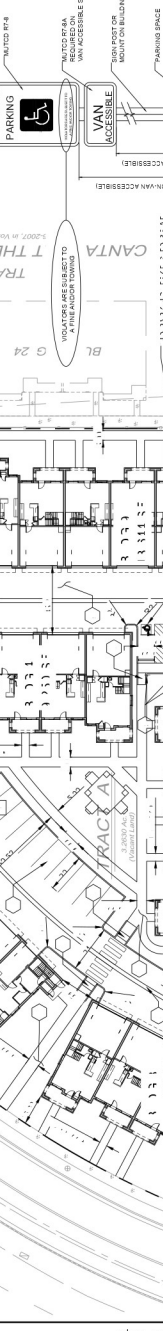
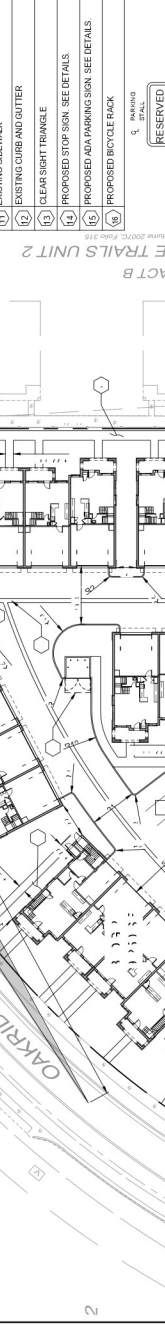
PARKING:	REQUIREMENT	PROVIDED
REQUIRED:	78 SPACES	78 SPACES
PROVIDED:	72 PER APARTMENT & 14 STALLS	72 PER APARTMENT & 14 STALLS
REQUIREMENT:	4 ADA SPACES	4 ADA SPACES
PROVIDED:	5 ADA PARKING SPACES	5 ADA PARKING SPACES
REQUIREMENT:	25 SPACES	25 SPACES
PROVIDED:	3 SPACES	3 SPACES

LANDSCAPE: 15% NET LOT AREA  
GREEN SPACE: 300 SQ FT UNIT  
SITE DATA: LEGAL TRACTS OF TRACTS A, B AND C CONTRA AT THE TRAILS UNIT 2  
SITE AREA: 3.26 ACRES  
ZONING: R-1M  
TOTAL MULTIFAMILY DWELLINGS: 52 UNITS

**KEYED NOTES**

- ALL SIDEWALK CURB RAMPS, CROSSWALKS, ADA VERTICAL CLEARANCE AND ADA VERTICAL CURB RAMP ARE TO HAVE A 5% MINIMUM CROSS SLOPE.
- NO LANDSCAPING SHALL INTERFERE WITH THE SIGHT DISTANCE TRIANGLE.

ID #	DESCRIPTION
1	PROPOSED CURB
2	PROPOSED SIDE WALK
3	PROPOSED FIRE LANE
4	PROPOSED HANDICAP PARKING
5	PROPOSED 3000' PARKING SPACE
6	PROPOSED DRIVEWAY ENTRY PER COA STD DTL
7	PROPOSED DUMPSTER ENCLOSURE
8	PROPOSED ASPHALT DRIVING SURFACE
9	PROPOSED VALLEY GUTTER
10	PROPOSED ADA RAMP: SEE DETAILS AND GENERAL NOTE 10
11	EXISTING SIDEWALK
12	EXISTING CURB AND GUTTER
13	CLEAR SIGHT TRIANGLE
14	PROPOSED STOP SIGN: SEE DETAILS
15	PROPOSED ADA PARKING SIGN: SEE DETAILS
16	PROPOSED BICYCLE BACK



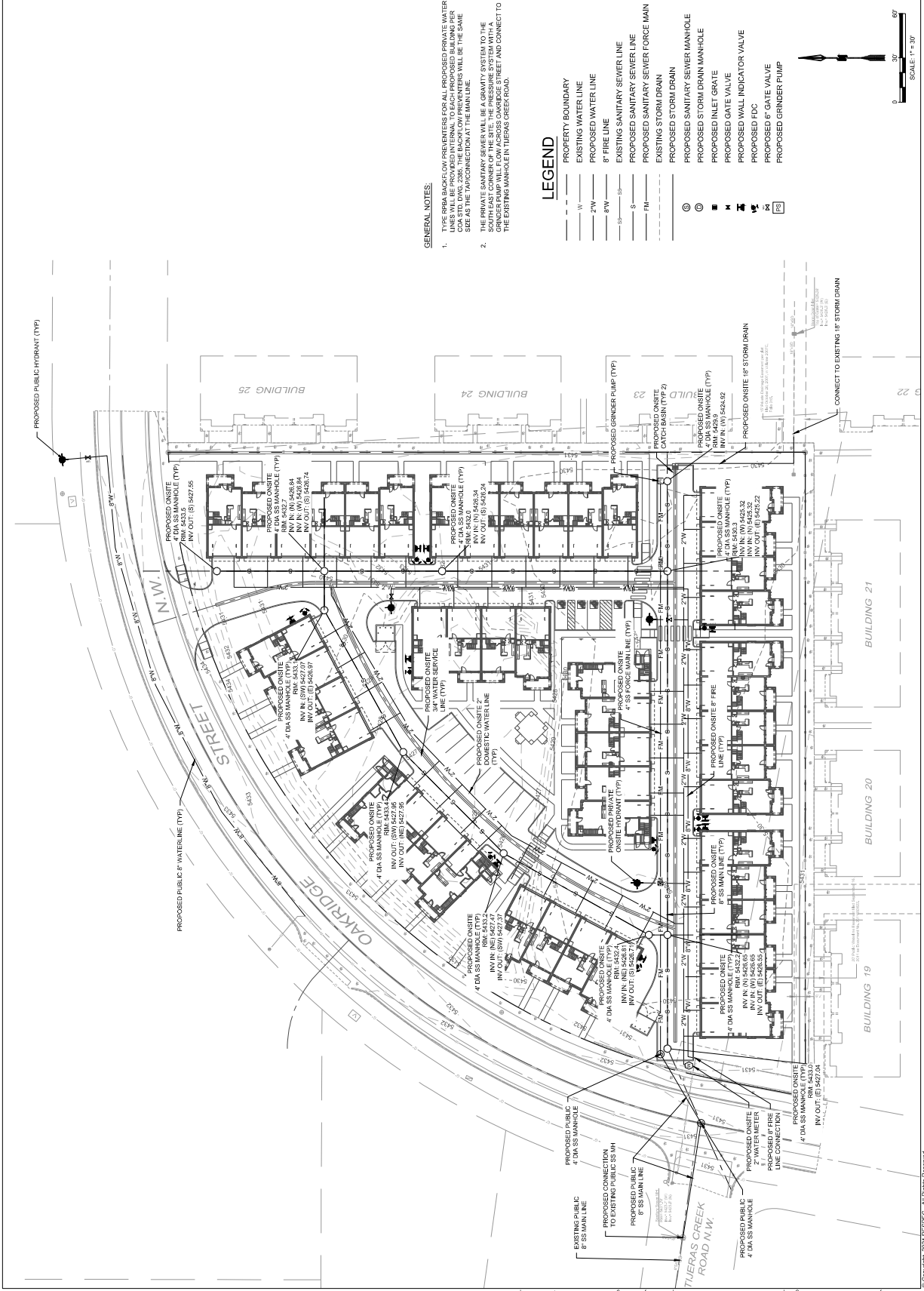








<b>REVISION</b> NO. DATE BY 1 10/22/2021 DWAN RE DESIGNED RPE			<b>ADAGIO APARTMENTS</b> PROJECT NAME:	<b>CONCEPTUAL UTILITY PLAN</b> SHEET TITLE:	<b>DRB SITE PLAN</b> SUBMITTED FOR:	<b>C-103</b> SHEET NUMBER:
			5971 JEFFERSON STREET SUITE 101 MEMPHIS, TN 38117 WWW.M811.COM 555.353.9116	DATE: 10/22/2021 DWAN RE DESIGNED RPE		











JOSEPH F. SIMONS, JR., ARCHITECT  
 1000 ARCHITECTURE CENTER, SUITE 1000  
 1000 ARCHITECTURE CENTER, SUITE 1000  
 1000 ARCHITECTURE CENTER, SUITE 1000  
 1000 ARCHITECTURE CENTER, SUITE 1000

Joseph F. Simons Jr., architect  
 m/fc 002880  
 p. 916.42.008  
 ph. 916.42.008  
 simonsarchitect.com

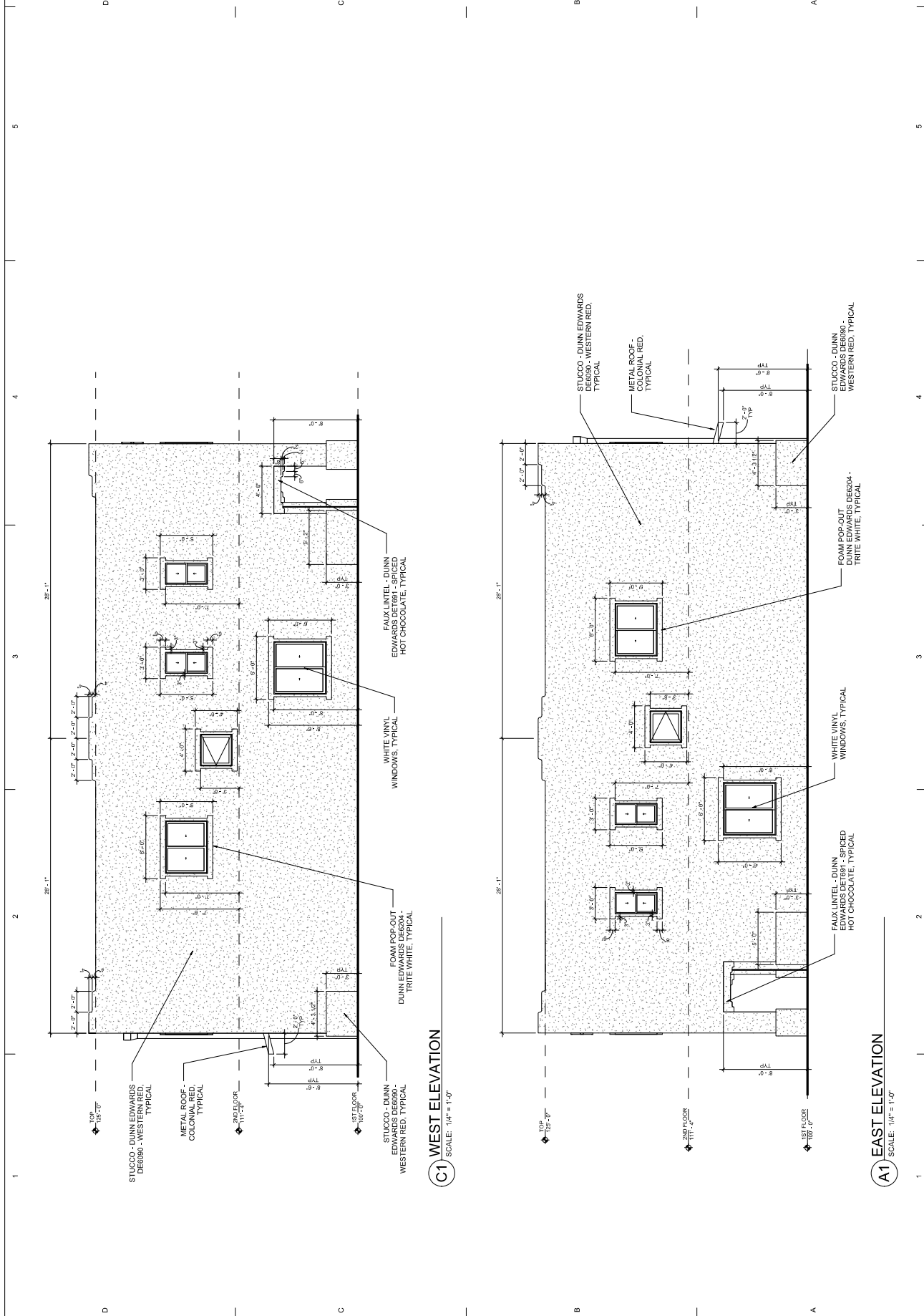


ADAGIO TOWNHOMES  
 FOUR-PLEX  
 Enter address here

JOB NUMBER	XX-XXX
DATE	NOVEMBER 2021
REVISIONS	

DESIGNED BY  
 JFS  
 SHEET NAME  
 ELEVATIONS - SDS

**A-305**



**C1 WEST ELEVATION**  
 SCALE: 1/4" = 1'-0"

**A1 EAST ELEVATION**  
 SCALE: 1/4" = 1'-0"

- STUCCO - DUNN EDWARDS DE6090 - WESTERN RED, TYPICAL
- METAL ROOF - COLORED RED, TYPICAL
- 2ND FLOOR 111'-7 1/2"
- 3RD FLOOR 109'-7 1/2"
- FAUX INTEL - DUNN EDWARDS DE1891 - HOT CHOCOLATE, TYPICAL
- WHITE VINYL WINDOWS, TYPICAL
- FOAM POP-OUT DUNN EDWARDS DE6204 - TRITE WHITE, TYPICAL
- STUCCO - DUNN EDWARDS DE6090 - WESTERN RED, TYPICAL
- 1ST FLOOR 107'-4"

- STUCCO - DUNN EDWARDS DE6090 - WESTERN RED, TYPICAL
- METAL ROOF - COLORED RED, TYPICAL
- STUCCO - DUNN EDWARDS DE6090 - WESTERN RED, TYPICAL
- FOAM POP-OUT DUNN EDWARDS DE6204 - TRITE WHITE, TYPICAL
- WHITE VINYL WINDOWS, TYPICAL
- FAUX INTEL - DUNN EDWARDS DE1891 - HOT CHOCOLATE, TYPICAL
- 1ST FLOOR 107'-4"
- 2ND FLOOR 111'-7 1/2"
- 3RD FLOOR 109'-7 1/2"





JOSEPH T. SIMONS, JR., ARCHITECT  
 1000 WEST PALM BLVD., SUITE 200  
 WEST PALM BEACH, FLORIDA 33411  
 PH: 561.833.7388  
 FAX: 561.833.7389  
 WWW.JTARCHITECT.COM

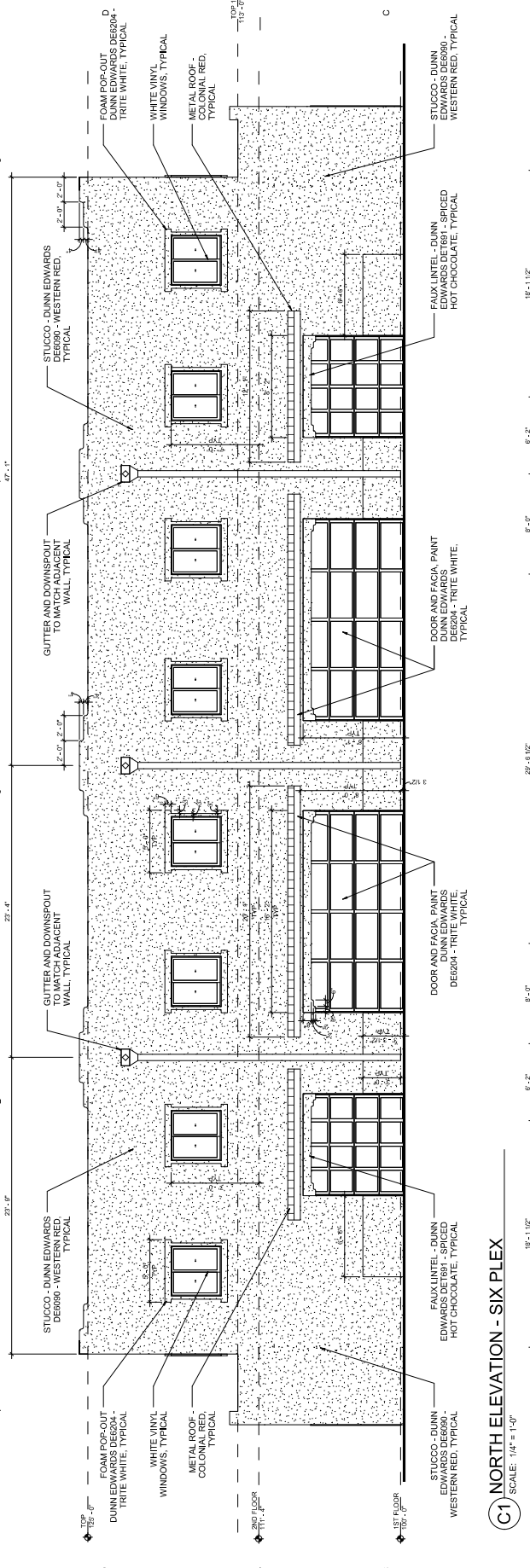
JOSEPH T. SIMONS, JR., ARCHITECT  
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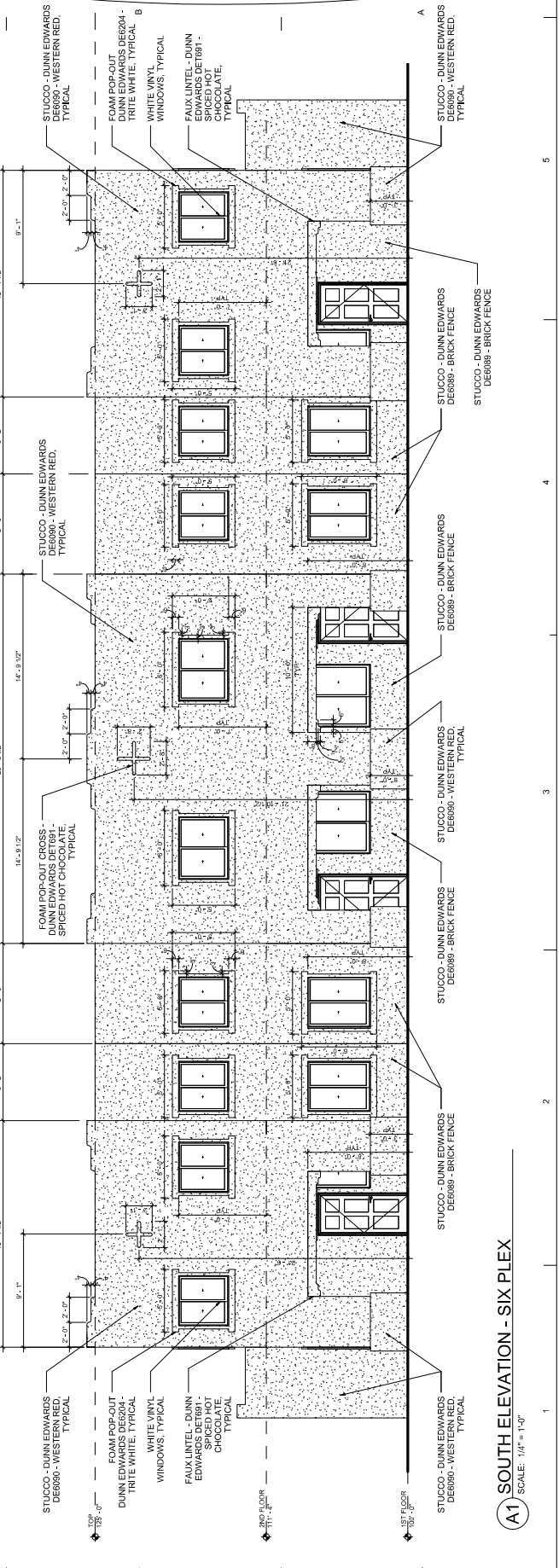
ADAGIO TOWNHOMES  
 FOUR PLEX  
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JOB NUMBER XX-XXX	REVISIONS
DATE NOVEMBER 2021	
DESIGNER, DRAWN BY JFS	SHEET NAME ELEVATIONS - SIX PLEX

A-301A



(C1) NORTH ELEVATION - SIX PLEX  
 SCALE: 1/4" = 1'-0"



(A1) SOUTH ELEVATION - SIX PLEX  
 SCALE: 1/4" = 1'-0"



JOSEPH F. SIMONS, JR., ARCHITECT  
 1000 COMMONWEALTH CENTER DRIVE, SUITE 200  
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JOSEPH F. SIMONS, JR., ARCHITECT  
 1000 COMMONWEALTH CENTER DRIVE, SUITE 200  
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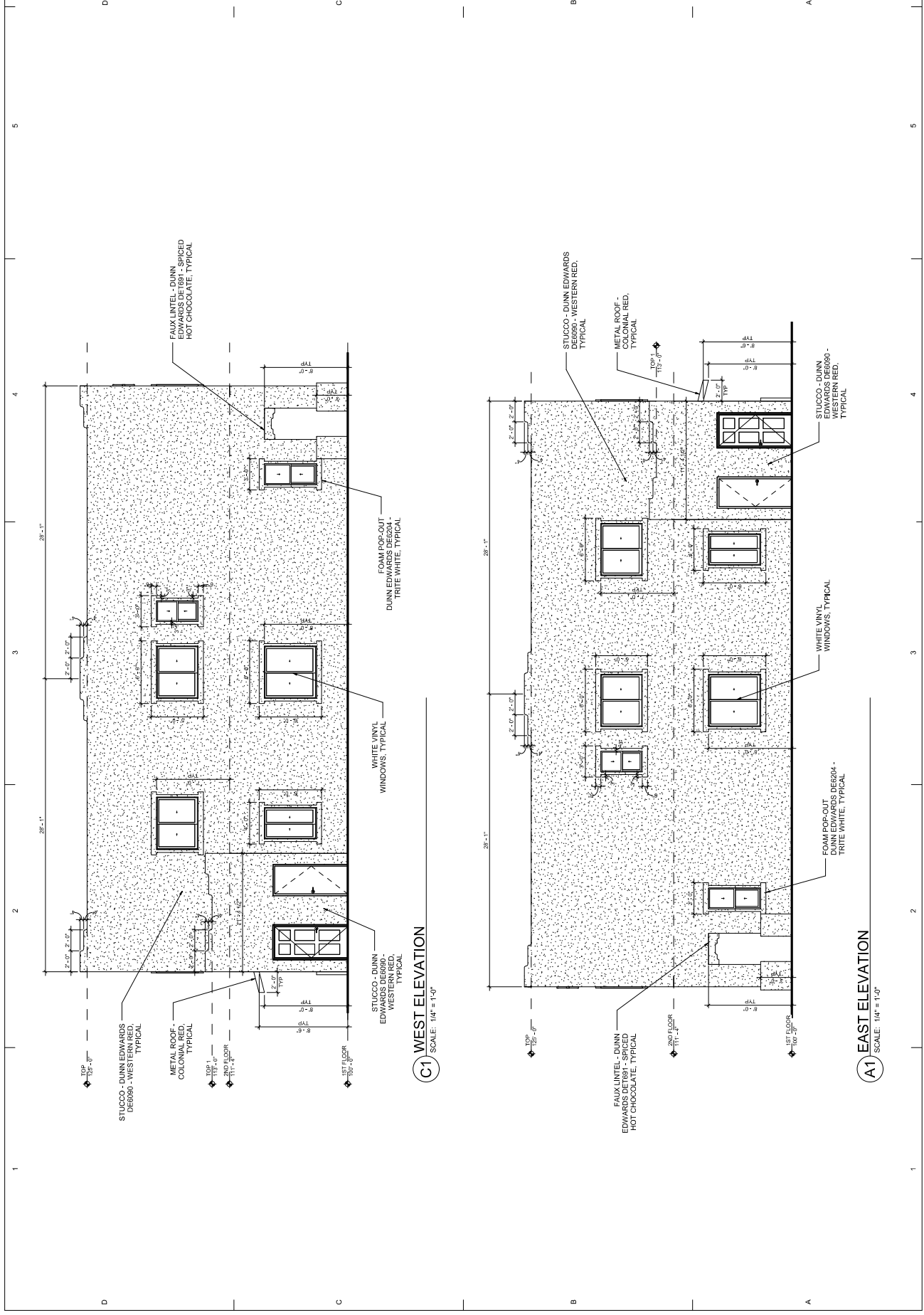


ADAGIO TOWNHOMES  
 FOUR PLEX  
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JOB NUMBER	XX-XXX
DATE	NOVEMBER 2021
REVISIONS	

DESIGNED BY  
 AUTH'D  
 SHEET NAME  
 ELEVATIONS - SIDE

A-306A





JOSEPH F. SIMONS JR., ARCHITECT  
 200 WEST WILKINSON STREET, SUITE 200  
 CHARLOTTE, NC 28202  
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 FAX: 704.375.4001  
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 CHARLOTTE, NC 28202  
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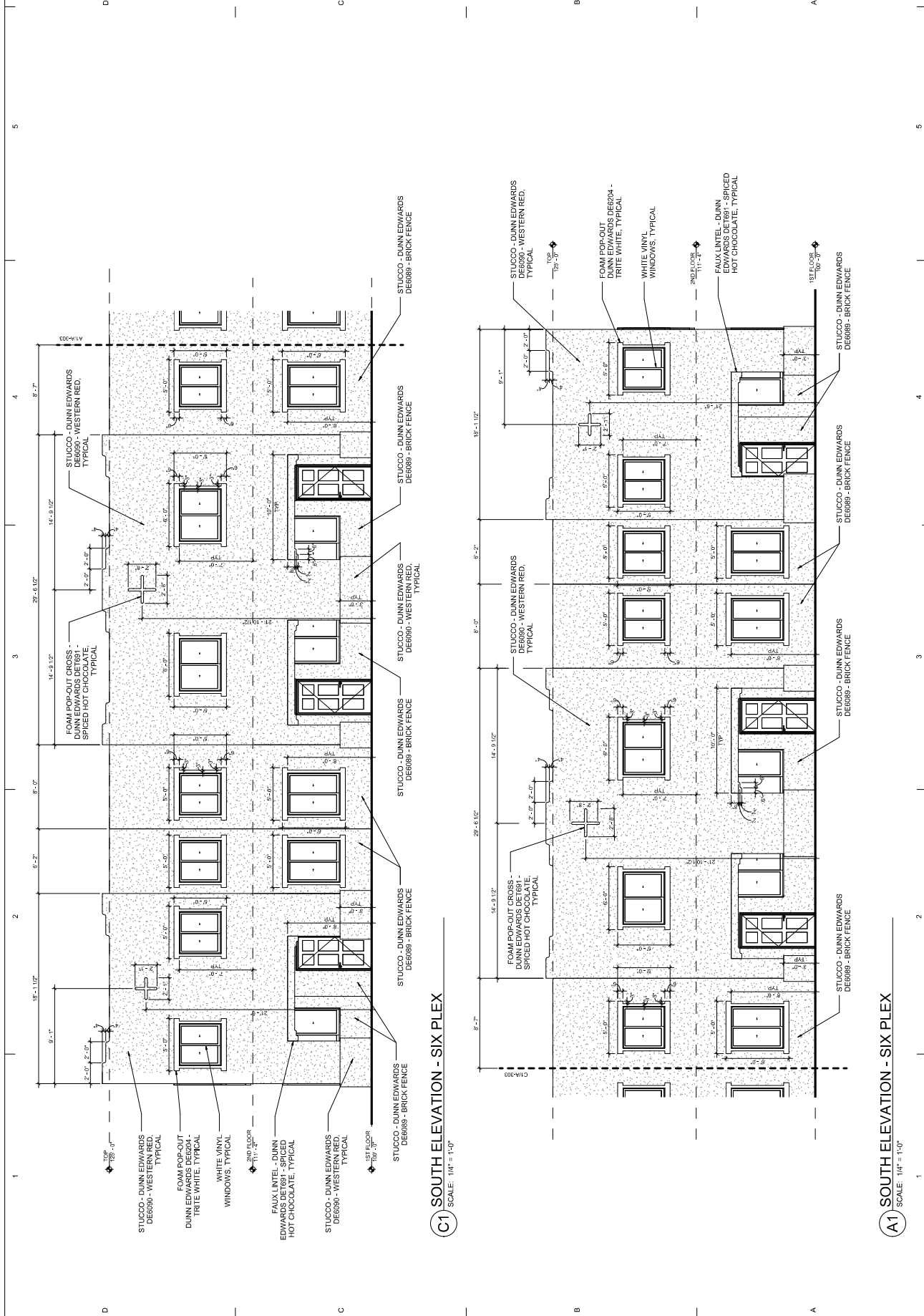


ADAGIO TOWNHOMES  
 SIX-PLEX  
 Enter address here

JOB NUMBER  
 XX-XXX  
 DATE  
 NOVEMBER 2021  
 REVISIONS

DESIGNER, DRAWN BY  
 JFS  
 CHECKED BY  
 ELEVATIONS - SIX PLEX

A-303



C1 SOUTH ELEVATION - SIX PLEX  
 SCALE: 1/4" = 1'-0"

A1 SOUTH ELEVATION - SIX PLEX  
 SCALE: 1/4" = 1'-0"



JOSEPH F. SIMONS, JR., ARCHITECT  
 800 W. WASHINGTON ST., SUITE 200  
 TAMPA, FL 33606  
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 FAX: 813.251.1112  
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JOSEPH F. SIMONS, JR., ARCHITECT  
 800 W. WASHINGTON ST., SUITE 200  
 TAMPA, FL 33606  
 TEL: 813.251.1111  
 FAX: 813.251.1112  
 WWW.JFSIMONS.COM

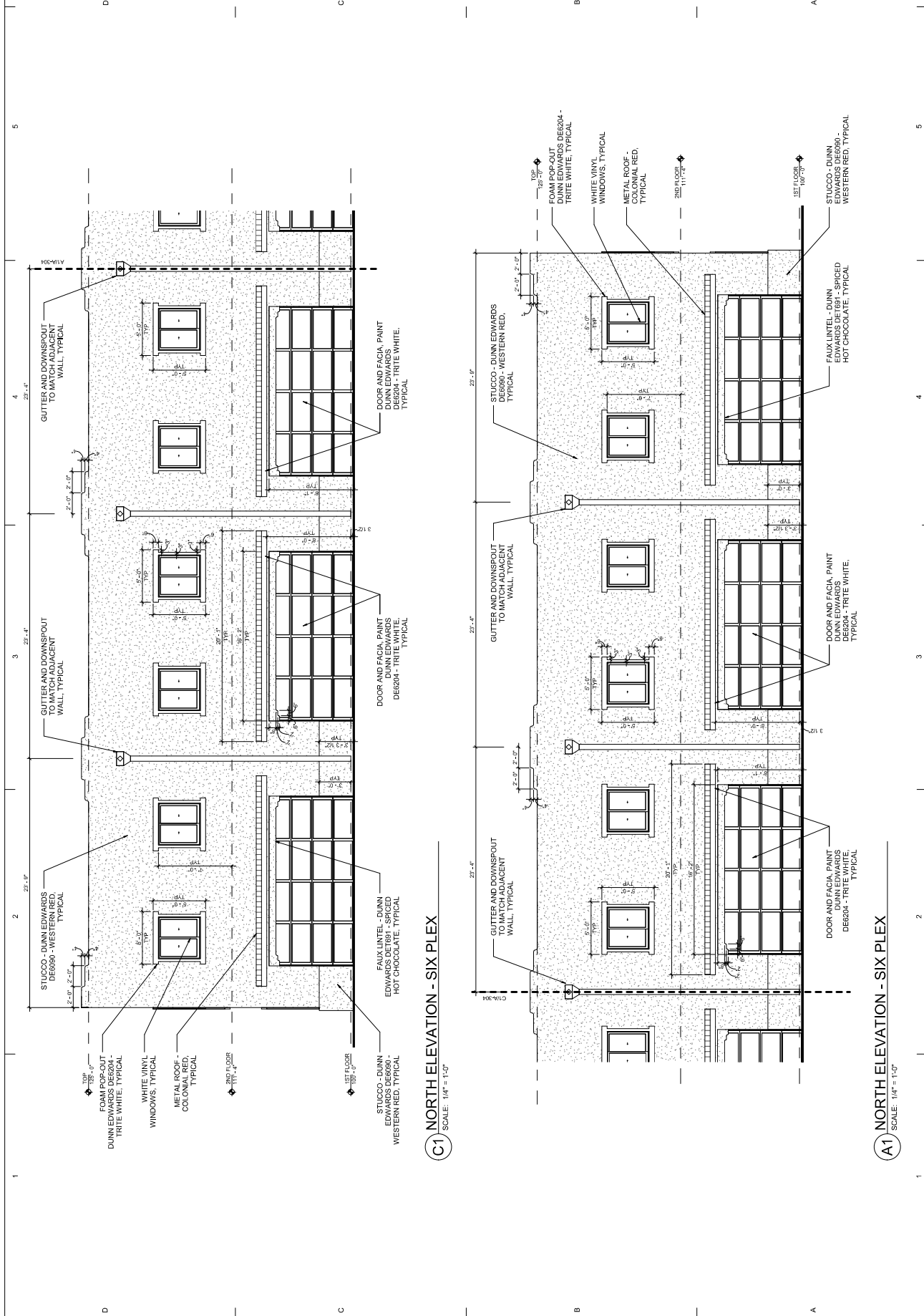


ADAGIO TOWNHOMES  
 SIX-PLEX  
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JOB NUMBER	XX-XXX
DATE	NOVEMBER 2021
REVISIONS	

DESIGNER, DRAWN BY  
 JFS  
 SHEET NAME  
 ELEVATIONS - SIX PLEX

A-304





JOSEPH F. SIMONS, JR., ARCHITECT  
 12587  
 STATE OF CALIFORNIA  
 LICENSE NO. 12587

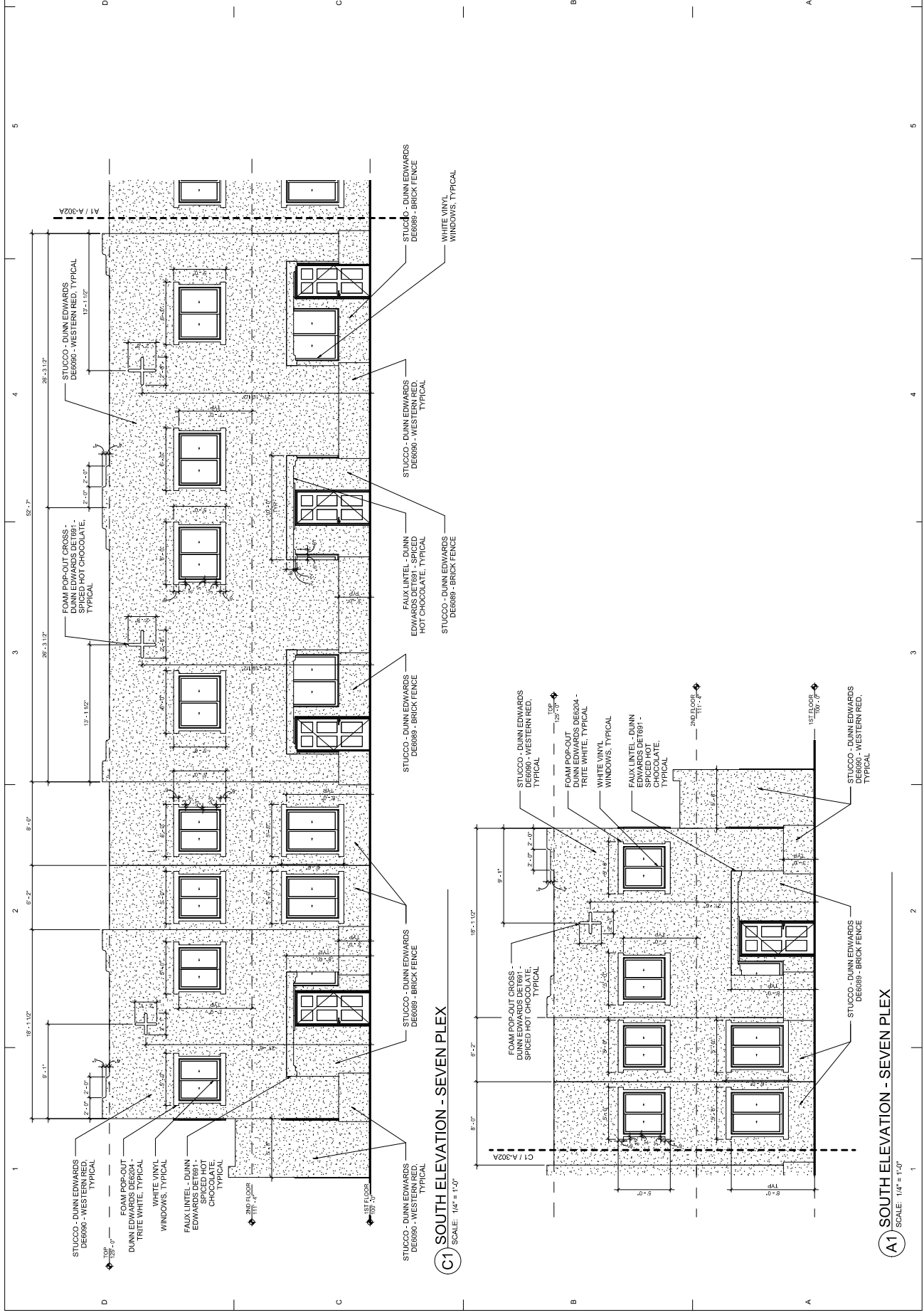
JOSEPH F. SIMONS, JR., ARCHITECT  
 12587  
 STATE OF CALIFORNIA  
 LICENSE NO. 12587



ADAGIO TOWNHOMES  
 FIVE-PLEX  
 Enter address here

JOB NUMBER XX-XXX  
 DATE NOVEMBER 2021  
 REVISIONS  
 AUTHORITY  
 SHEET NAME  
 ELEVATIONS - SEVEN PLEX

**A-302A**



**(C1) SOUTH ELEVATION - SEVEN PLEX**  
 SCALE: 1/4" = 1'-0"

**(A1) SOUTH ELEVATION - SEVEN PLEX**  
 SCALE: 1/4" = 1'-0"



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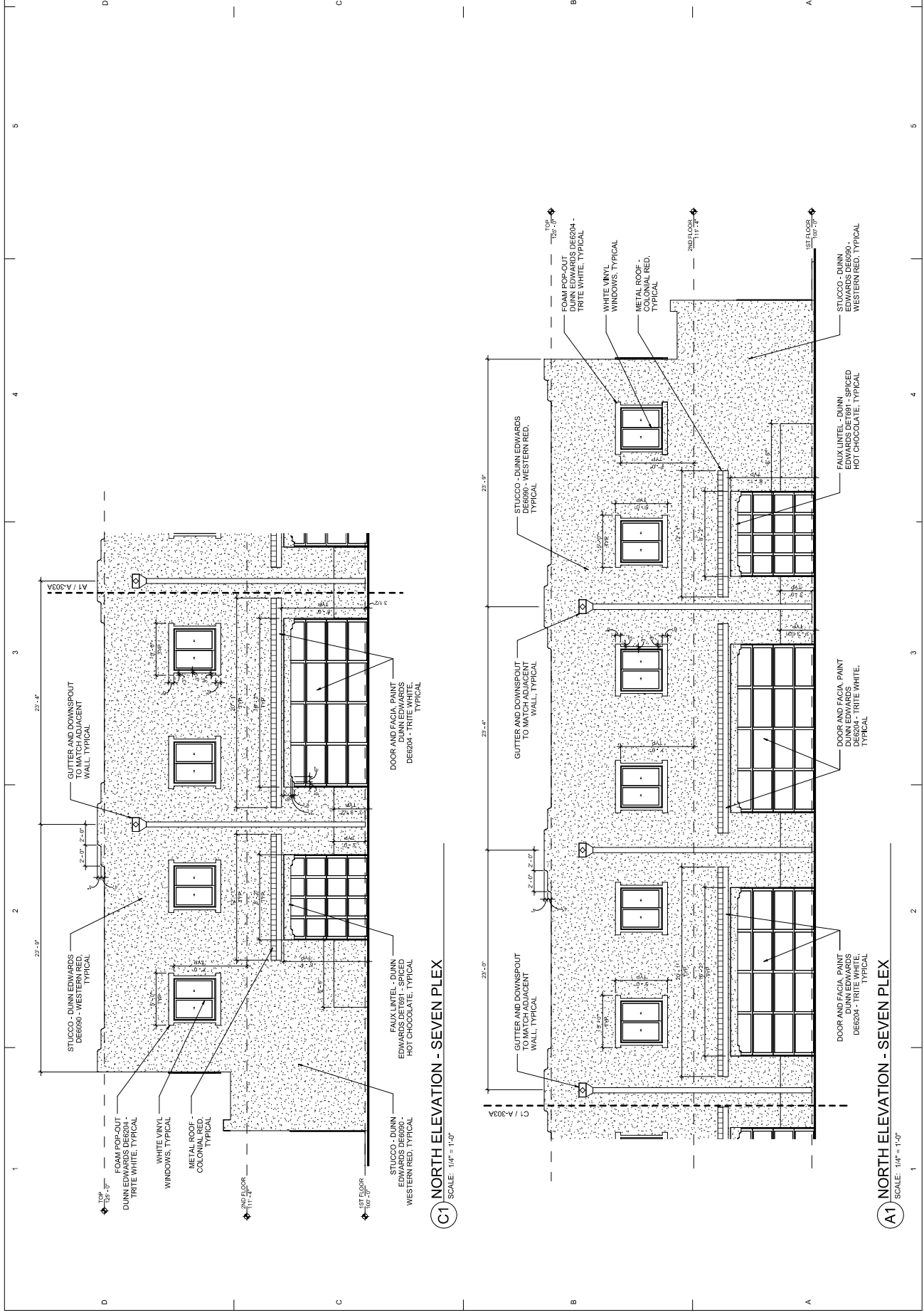
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www.jfsimons.com



ADAGIO TOWNHOMES  
FIVE-PLEX  
Enter address here

JOB NUMBER	XX-MX
DATE	NOVEMBER 2011
REVISIONS	
DESIGNED BY	JFS
DRAWN BY	JFS
PROJECT NAME	ELEVATIONS - SEVEN PLEX

A-303A



C1 NORTH ELEVATION - SEVEN PLEX  
SCALE: 1/4" = 1'-0"

A1 NORTH ELEVATION - SEVEN PLEX  
SCALE: 1/4" = 1'-0"

Current DRC  
Project Number: \_\_\_\_\_

**FIGURE 12**

Date Submitted: October 15, 2021  
 Date Site Plan Approved: \_\_\_\_\_  
 Date Preliminary Plat Approved: \_\_\_\_\_  
 Date Preliminary Plat Expires: \_\_\_\_\_  
 DRB Project No.: \_\_\_\_\_  
 DRB Application No.: \_\_\_\_\_

**INFRASTRUCTURE LIST**

(Rev. 2-16-18)

**EXHIBIT "A"**

**TO SUBDIVISION IMPROVEMENTS AGREEMENT  
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

**ADAGIO APARTMENTS, TRACT A, CANTATA AT THE TRAILS UNIT 2,  
PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN**

**TRACT A, CANTATA AT THE TRAILS UNIT 2  
EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION**

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Inspector	P.E.	City Cnst Engineer
		WATER 8" DIA	NEW PUBLIC WATER MAIN ~400'	OAKRIDGE STREET	EXISTING WATER LINE AT RED STONE ROAD	EAST PROPERTY BOUNDARY	/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification	
							Inspector	City Cnst Engineer
<input type="text"/>	<input type="text"/>						/	/
<input type="text"/>	<input type="text"/>						/	/

Approval of Creditable Items: \_\_\_\_\_  
 Impact Fee Administrator Signature \_\_\_\_\_ Date \_\_\_\_\_  
 City User Dept. Signature \_\_\_\_\_ Date \_\_\_\_\_

**NOTES**

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.  
 Street lights per City requirements.

- 1 \_\_\_\_\_
- 2 \_\_\_\_\_
- 3 \_\_\_\_\_

**AGENT / OWNER** \_\_\_\_\_ **DEVELOPMENT REVIEW BOARD MEMBER APPROVALS**

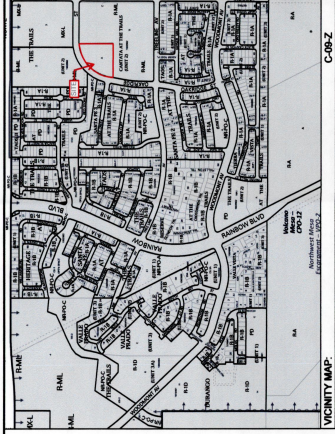
**JEREMY SHELL**  
 NAME (print)  
**RESPEC**  
 FIRM  
 SIGNATURE - date \_\_\_\_\_

DRB CHAIR - date \_\_\_\_\_ PARKS & RECREATION - date \_\_\_\_\_  
 TRANSPORTATION DEVELOPMENT - date \_\_\_\_\_ AMAFCA - date \_\_\_\_\_  
 UTILITY DEVELOPMENT - date \_\_\_\_\_ CODE ENFORCEMENT - date \_\_\_\_\_  
 CITY ENGINEER - date \_\_\_\_\_ - date \_\_\_\_\_

**DESIGN REVIEW COMMITTEE REVISIONS**

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER





**FIRE ONE NOTES:**  
 1. THE TOTAL HEIGHT OF THE PROPOSED BUILDINGS SHALL BE LESS THAN 30'.  
 SQUARE FOOTAGE OF BUILDINGS:  
 BUILDING 2, 4, 8 & 9 = 9,250 SF  
 BUILDING 1 & 3 = 11,447 SF  
 BUILDING 5, 6, 7, 9, & 10 = 13,644 SF.  
 CONSTRUCTION TYPE OF ALL THE BUILDINGS IS V-L.  
 THE BUILDING OCCUPANCY IS R-2.  
 2. THE PROPOSED BUILDINGS SHALL BE FULLY SPRINKLED TO COMPLY WITH NFPA 13R PER IRC. THE BUILDINGS WILL ALSO REQUIRE FIRE AND SMOKE ALARMS PER IBC 907.2.3  
 3. EACH APARTMENT UNIT MUST BE SEPARATED BY OTHER UNITS BY MINIMUM 1 HOUR FIRE RATING PER IBC 708.3 EXCEPTION 2 (FIRE SPRINKLER).  
 4. THE PARKING LOT SURFACE SHALL BE ASPHALT AND CAPABLE OF SUPPORTING AN IMPROD LOAD OF 100 PSF. THE PARKING SPACES SHALL BE 9'0" WIDE UNLESS OTHERWISE SPECIFIED.  
 5. BUILDINGS SHALL HAVE IMPROVED ADDRESS NUMBERS OR BUILDING IDENTIFICATION PLACED IN A PROMINENT LOCATION, LEGIBLE AND VISIBLE FROM THE STREET.  
 6. ALL OPENING SPACES SHALL NOT EXCEED 10 FEET IN GRADE.  
 7. FIRE DEPARTMENT CONNECTIONS SHALL BE LOCATED WITHIN LOT OF A HYDRANT AND BE MINIMUM DISTANCE OF 3'.  
 8. INDICATOR VALVES SHALL BE PROVIDED PER NFPA 13.  
 9. WORK SHALL BE IN ACCORDANCE WITH THE APPROVED CONSTRUCTION DOCUMENTS, AND SHALL BE IN COMPLIANCE WITH THE CONSTRUCTION DOCUMENTS THAT ARE NOT IN COMPLIANCE WITH THE APPROVED CONSTRUCTION DOCUMENTS SHALL BE REVISIONS TO THE CONSTRUCTION DOCUMENTS. APPROVED SET OF CONSTRUCTION DOCUMENTS SHALL BE ON SITE FOR INSPECTION.  
 10. FIRE DEPARTMENT CONNECTIONS SHALL BE PROVIDED PER NFPA 13.  
 11. 4x6x8 BOX WILL BE PROVIDED.

