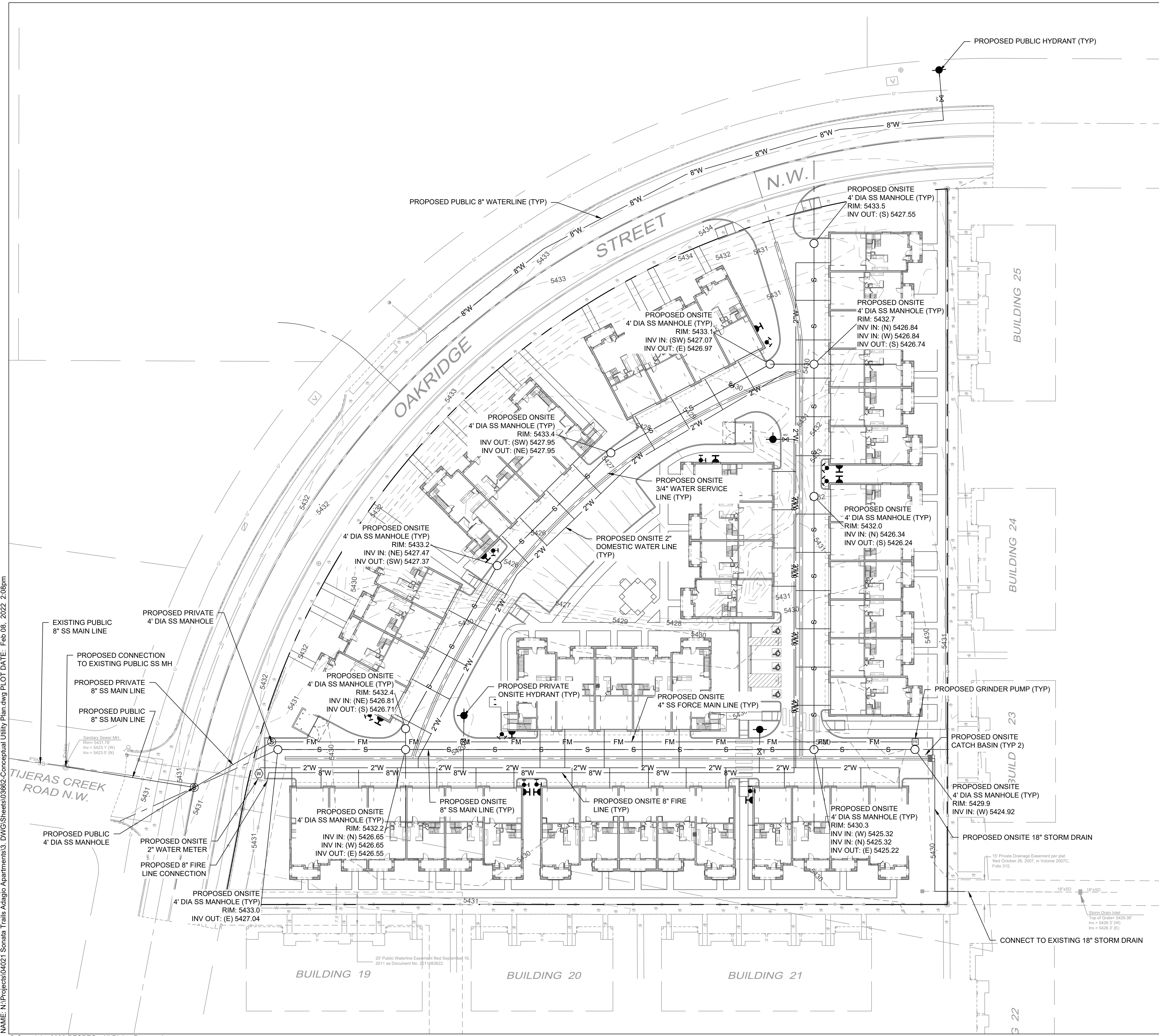


NAME: N:\Projects\04021_Sonata Trails Adagio Apartments\3_DWG\Sheets\03662-Conceptual Utility Plan.dwg PLOT DATE: Feb 08, 2022 2:08pm

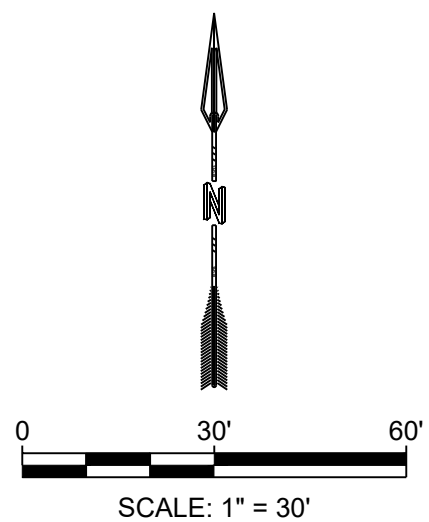




GENERAL NOTES:

1. TYPE RPBA BACKFLOW PREVENTERS FOR ALL PROPOSED PRIVATE WATER LINES WILL BE PROVIDED INTERNAL TO EACH PROPOSED BUILDING PER COA STD. DWG. 2385. THE BACKFLOW PREVENTERS WILL BE THE SAME SIZE AS THE TAP/CONNECTION AT THE MAIN LINE.
2. THE PRIVATE SANITARY SEWER WILL BE A GRAVITY SYSTEM TO THE SOUTH EAST CORNER OF THE SITE. THE PRESSURE SYSTEM WITH A GRINDER PUMP WILL FLOW ACROSS OAKRIDGE STREET AND CONNECT TO THE EXISTING MANHOLE IN TIJERAS CREEK ROAD.

LEGEND

---	PROPERTY BOUNDARY
---	EXISTING WATER LINE
---	PROPOSED WATER LINE
---	8"W 8" FIRE LINE
---	EXISTING SANITARY SEWER LINE
---	PROPOSED SANITARY SEWER LINE
---	PROPOSED SANITARY SEWER FORCE MAIN
---	EXISTING STORM DRAIN
---	PROPOSED STORM DRAIN
⊙	PROPOSED SANITARY SEWER MANHOLE
⊙	PROPOSED STORM DRAIN MANHOLE
■	PROPOSED INLET GRATE
⊕	PROPOSED GATE VALVE
⊕	PROPOSED WALL INDICATOR VALVE
⊕	PROPOSED FDC
⊕	PROPOSED 6" GATE VALVE
PS	PROPOSED GRINDER PUMP



<p>DESIGNED RPE DRAWN RPE CHECKED JS DATE 2.08.2022</p>	<p>REVISION</p>
<p>RESPEC 6971 JEFFERSON STREET SUITE 101 ALBUQUERQUE, NM 87109 WWW.RESPEC.COM 505.259.9718</p>	<p>STAMP</p> <div style="text-align: center;">  <p>12/2/21</p> <p>THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED</p> </div>
	
<p>PROJECT NAME:</p>	<p>ADAGIO APARTMENTS</p>
<p>SHEET TITLE:</p>	<p>CONCEPTUAL UTILITY PLAN</p>
<p>SUBMITTED FOR:</p>	<p>DRB SITE PLAN</p>
<p>SHEET NUMBER:</p>	<p>C-103</p>