



DEVELOPMENT REVIEW BOARD  
SUPPLEMENTAL SUBMITTAL

**(Deadline is Friday at noon unless noted on 2019 agenda – late submittals will not be accepted unless approved by the DRB)**

PROJECT NO. PR-2019-002277  
Application No. SI-2019-00246

TO:

Planning Department/Chair

Hydrology

Transportation Development

Albuquerque/ Bernalillo Co. WUA

Code Enforcement

\*(Please attach this sheet with each collated set for each board member)

**NOTE: ELECTRONIC VERSION (ie disk, thumbdrive) is Required. Submittal will not be accepted without.**

DRB SCHEDULED HEARING DATE: 1/26/2022 HEARING DATE OF DEFERRAL: 12/8/2021

SUBMITTAL DESCRIPTION: DRB Site Plan Resubmittal.

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CONTACT NAME: Jeremy Shell

TELEPHONE: 505.918.1053 EMAIL: jeremy.shell@respec.com



January 20, 2022

Development Review Board  
City of Albuquerque, Planning

**RE: Adagio Apartments  
PR-2019-002277**

Dear Madam Chair and Members of the DRB:

This letter is intended to address comments received related to the Site Plan application heard on October 20, 2021.

**ABCWUA**

- / Serviceability letter #190401 has been issued and provides the requirements for service. Public waterline and sanitary sewer extensions are required in this serviceability letter. An infrastructure list will be required.
  - *Response: Acknowledged.*
  
- / UPDATE: Please submit a formal request for a revision to the statement, either by email or on the Availability Statement request website. PREVIOUS COMMENT: This development was required to extend public sanitary sewer along its frontage along Oakridge St. so that Tract 3 is able to obtain service. Current proposed service connection locations in this area would negate the need for this extension. To process this, a revision to the serviceability letter and development agreement are required.
  - *Response: Acknowledged. I believe the update to the development agreement is under way. Please advise if any additional information is needed from me to proceed.*
  
- / Pro rata is owed and shall be paid prior to approval of the site plan.
  - Sanitary sewer: \$14,468.13
  - Water: \$4,215.48
    - *Response: Acknowledged.*
  
- / Utility Plan
  - The lack of a sewerline in Oakridge requires the update to the serviceability letter and board approval.
    - *Response: Acknowledged.*
  
- / For information only.
  - The development agreement was approved by the Water Authority Board and has been executed.
    - *Response: Acknowledged.*
  - Revisions to the development agreement require board approval.
    - *Response: Acknowledged.*

7770 JEFFERSON ST., NE  
SUITE 200  
ALBUQUERQUE, NM 87109  
505.268.2661



### Transportation

- / Provide more detail at the entrance with regard to ADA accessibility. Provide bike rack detail along with spacing in between bike racks. Provide curb and sidewalk detail showing 2% maximum cross-slope. (Follow IDO/DPM guidelines on needed bike rack details.) (Use correct COA standard detail references for the entrance.)
  - o *Response: A bike rack detail has been included on Detail Sheet C-500 as well as curb and sidewalk details. Driveway entrance on the Site Plan references COA Standard Detail 2420.*
  
- / Between Buildings 7 and 8, provide curb ramp for ADA accessibility or demonstrate ADA accessibility at this location.
  - o *Response: A keyed note has been added to the Site Plan to show the ADA ramp between Buildings 7 and 8.*
  
- / Provide all driving aisle dimensions along Buildings 6, 7, and 8.
  - o *Response: Drive aisle dimensions are included along Buildings 6, 7, and 8 on the Site Plan.*
  
- / Label width of all sidewalks on the plan. (Note this for sidewalk to individual apartments. Typical note can be used.)
  - o *Response: Sidewalk widths are labeled on the Site Plan.*

### Planning

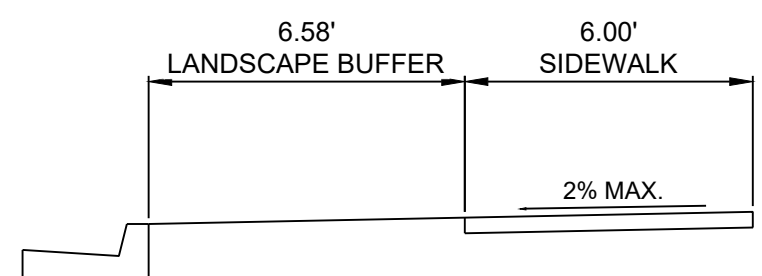
- / An infrastructure List is included with this application. A recorded IIA must be submitted prior to final sign off of the Site Plan by Planning.
  - o *Response: Acknowledged.*

If you should have any further comments, questions, or concerns, please feel free to reach out to me at your convenience.

Thank you,

Jeremy Shell, PE  
**RESPEC**  
Community Design Solutions  
505.918.1053 cell  
[jeremy.shell@respec.com](mailto:jeremy.shell@respec.com)

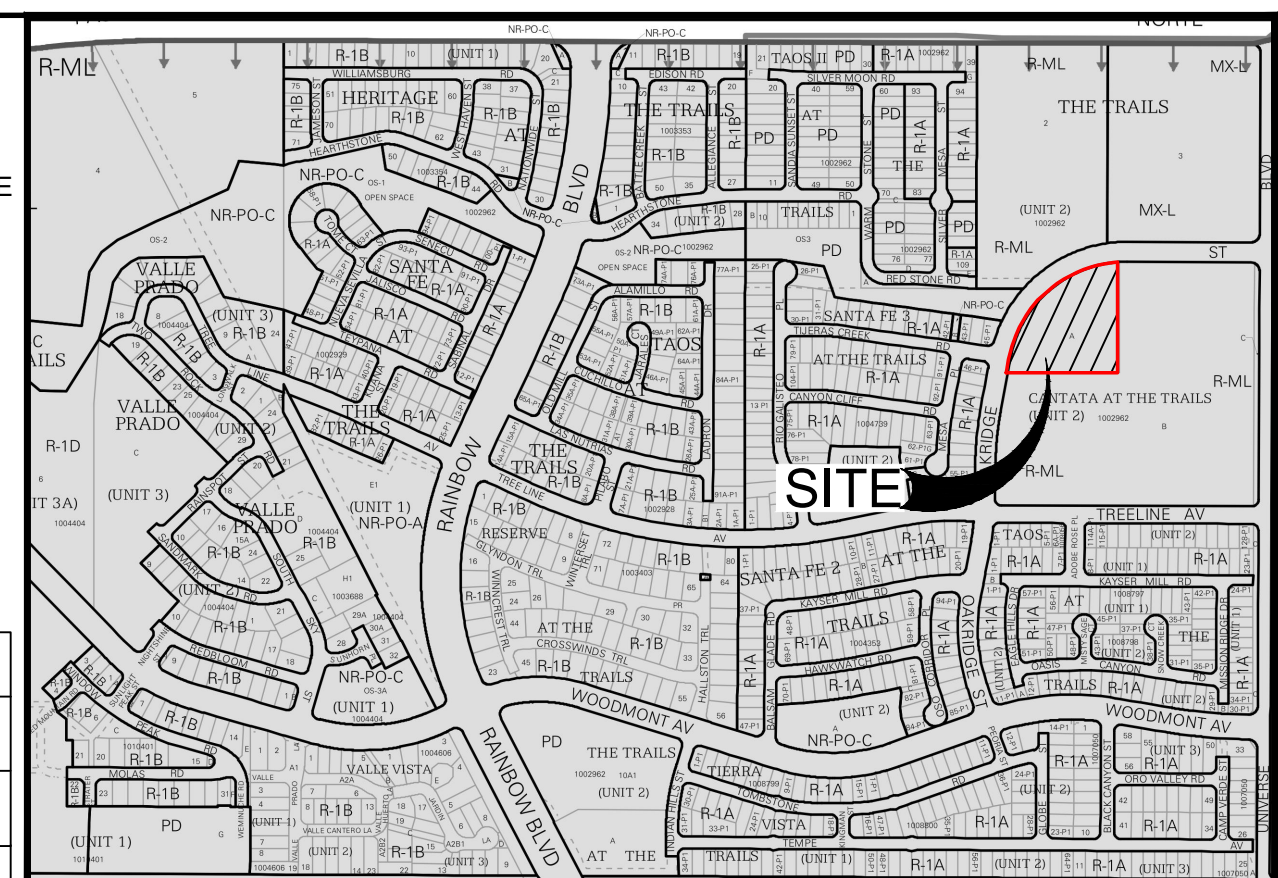




OAKRIDGE STREET SIDEWALK SECTION

- LEGEND**
- PROPERTY LINE
  - NO. OF PARKING SPACES
  - ACCESSIBLE PARKING SPACES

- GENERAL NOTE**
- ALL SIDEWALK, CURB RAMPS, CROSSWALKS, ADA SPACES AND BIKE RACK PADS ARE TO HAVE A 2% MINIMUM CROSS SLOPE.
  - NO LANDSCAPING SHALL INTERFERE WITH THE SIGHT DISTANCE TRIANGLE.



LOCATION MAP SCALE: NTS  
ZONE ATLAS MAP C-09-Z

DESIGNED	DATE
DRAWN	CHECKED
CHECKED	DATE
DATE	1.18.2022

**KEYED NOTES**

I.D.#	DESCRIPTION
1	PROPOSED CURB
2	PROPOSED SIDE WALK
3	PROPOSED FIRE LANE
4	PROPOSED 9'X20' PARKING SPACE
5	PROPOSED HANDICAP PARKING
6	PROPOSED DRIVEWAY ENTRY PER COA STD DTL 2420.
7	PROPOSED DUMPSTER ENCLOSURE
8	PROPOSED ASPHALT DRIVING SURFACE
9	PROPOSED VALLEY GUTTER
10	PROPOSED ADA RAMP. SEE DETAILS AND GENERAL NOTE 1.
11	EXISTING SIDEWALK
12	EXISTING CURB AND GUTTER
13	CLEAR SIGHT TRIANGLE
14	PROPOSED STOP SIGN. SEE DETAILS.
15	PROPOSED ADA PARKING SIGN. SEE DETAILS.
16	PROPOSED BICYCLE RACK

PROJECT NUMBER: PR-2019-002277  
Application Number: SI-2019-00246

This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated \_\_\_\_\_ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? ( ) Yes ( ) No. If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
City Engineer	Date 6-28-19
Solid Waste Management	Date
Code Enforcement	Date
DRB Chairperson, Planning Department	Date

**ZONING INFORMATION**

PROJECT NAME: ADAGIO APARTMENTS  
MUNICIPALITY: CITY OF ALBUQUERQUE  
PROJECT ADDRESS: 2217 4TH ST. NW ALBUQUERQUE, NM 87102  
ACRE / AREA: 3.26 ACRES.  
ZONE: C-09-Z  
ADJACENT ZONING: E/S-R-ML-MULTI FAMILY - LOW DENSITY  
USES: APARTMENTS

SETBACKS:  
FRONT YARD: 15 FT.  
SIDE YARD: 5/10 FT.  
REAR YARD: 15 FT.

HEIGHT LIMIT: LESS THAN 35 FT.

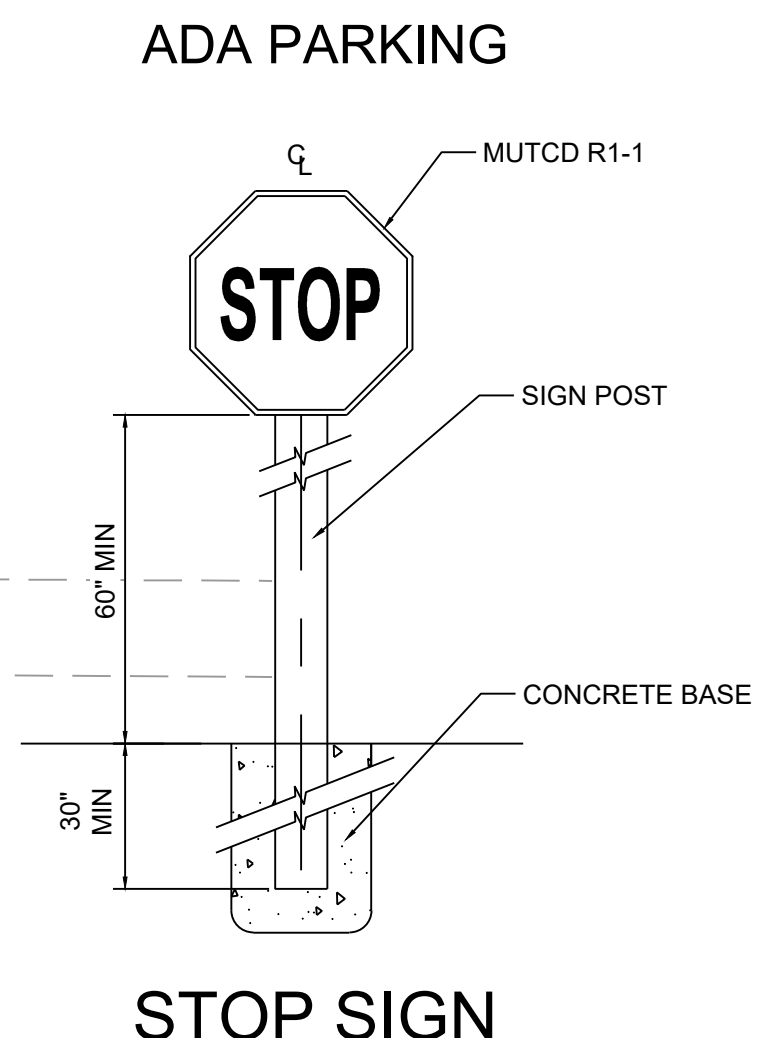
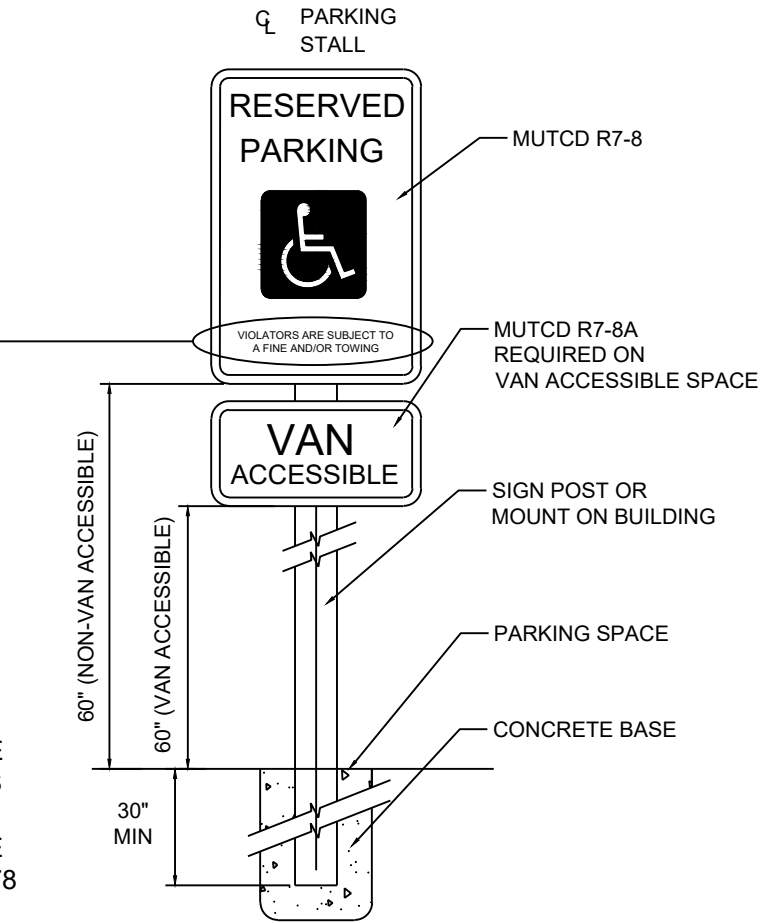
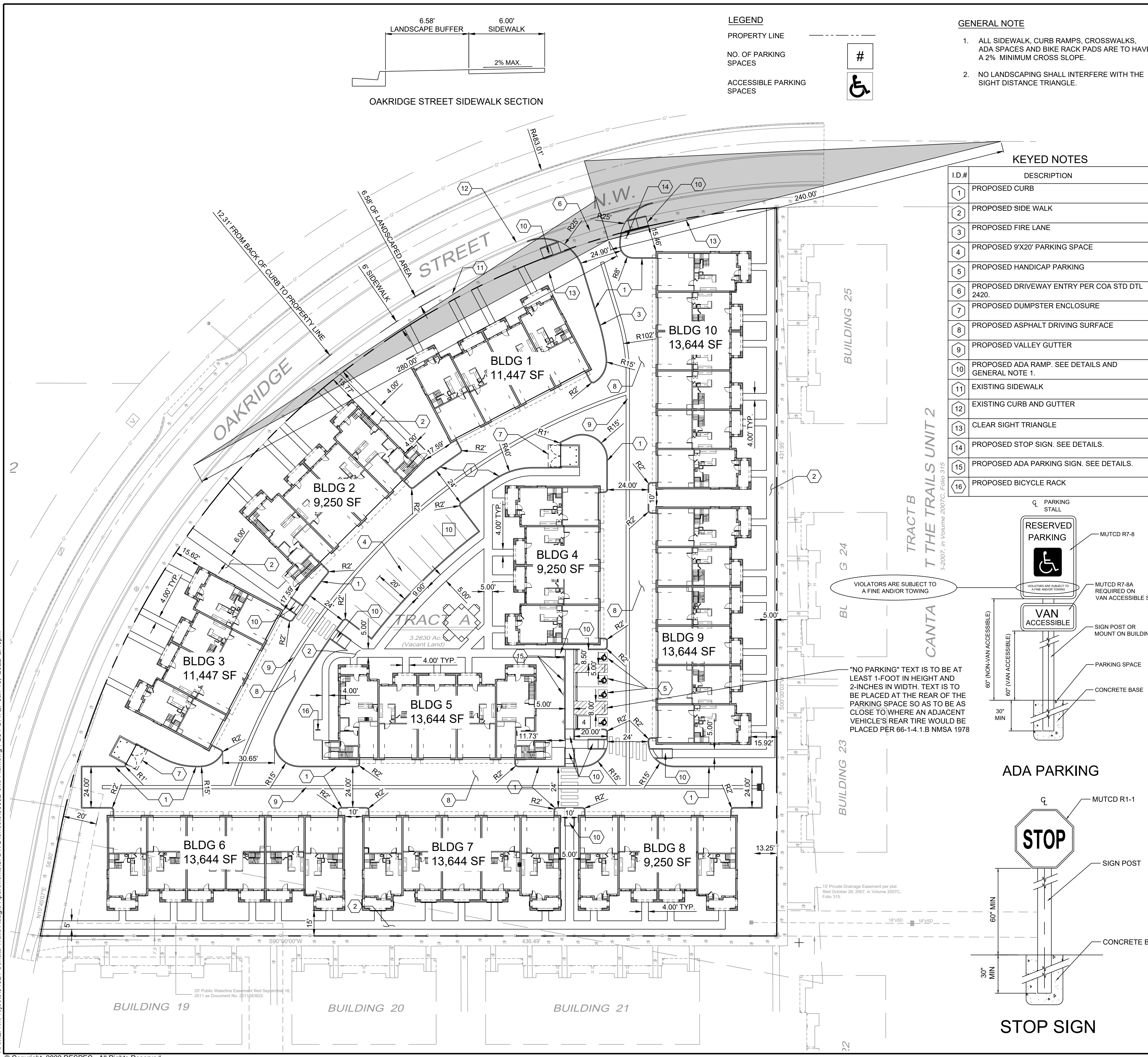
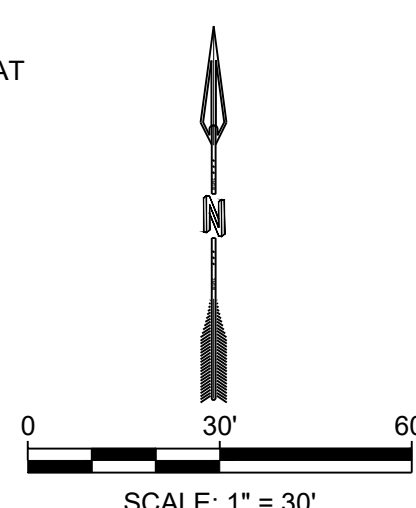
PARKING: REQUIRED PROVIDED  
78 SPACES 93 SPACES\*  
4 ADA SPACES \*(2 PER PARKING & 14 STALLS)  
5 ADA PARKING SPACES

BICYCLE PARKING: REQUIRED PROVIDED  
2.6 SPACES 3 SPACES

LANDSCAPE: REQUIRED PROVIDED  
15% NET LOT AREA 27% NET LOT AREA

OPEN SPACE: REQUIRED PROVIDED  
300 SQ-FT /UNIT 773 SQ-FT /UNIT

**SITE DATA**  
LEGAL: TR A PLAT OF TRACTS A, B AND C CANTATA AT THE TRAILS UNIT 2.  
SITE AREA: 3.26 ACRES  
ZONING: R-ML  
TOTAL MULTI-FAMILY DWELLINGS: 52 UNITS



NAME: N:\Projects\04021\_Sonata Trails Adagio Apartments\3\_DWG\Sheets\03682-Site Plan.dwg PLOT DATE: Jan 18, 2022 2:48pm



12/2/21  
THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED.



PROJECT NAME: ADAGIO APARTMENTS

SHEET TITLE: SITE PLAN

DRB SITE PLAN

SHEET NUMBER: C-100



**GENERAL LANDSCAPE NOTES**

**LANDSCAPE DESIGN:**  
ALL PLANTING AREAS SHALL BE TOP DRESSED WITH MULCHES PER THE LEGEND.

**IRRIGATION:**  
IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE SHALL BE STRICTLY ADHERED TO. A FULLY AUTOMATED IRRIGATION SYSTEM WILL BE USED TO IRRIGATE TREE, SHRUB AND GROUND COVER PLANTING AREAS. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO ISOLATE PLANT MATERIAL ACCORDING TO SOLAR EXPOSURE AND WILL BE SET UP BY PLANT ZONES ACCORDING TO WATER REQUIREMENTS. THE TREES WILL BE PROVIDED WITH (6) 5 GPH EMITTERS, WITH THE ABILITY TO BE EXPANDED TO ACCOMMODATE THE GROWTH OF THE TREE. SHRUBS AND GROUND COVERS WILL BE PROVIDED WITH (2) 2 GPH EMITTERS. TREES, SHRUBS, ACCENTS, AND GROUND COVERS WILL BE GROUPED ON THE SAME VALVE.

POINT OF CONNECTION FOR IRRIGATION SYSTEM SHALL BE PER THE UTILITY PLAN. POWER SHALL BE PROVIDED TO THIS POINT TO PROVIDE POSITIVE HEAT SOURCE TO THE BACKFLOW PREVENTER ENCLOSURE.

IRRIGATION SYSTEM WILL BE OPERATED BY AN AUTOMATIC CONTROLLER. LOCATION OF CONTROLLER TO BE FIELD DETERMINED AND POWER SOURCE FOR CONTROLLER TO BE PROVIDED BY OTHERS.

**RESPONSIBILITY OF MAINTENANCE:**  
MAINTENANCE OF ALL PLANTING AND IRRIGATION, INCLUDING THOSE WITHIN THE PUBLIC R.O.W., SHALL BE THE RESPONSIBILITY OF THE OWNER.

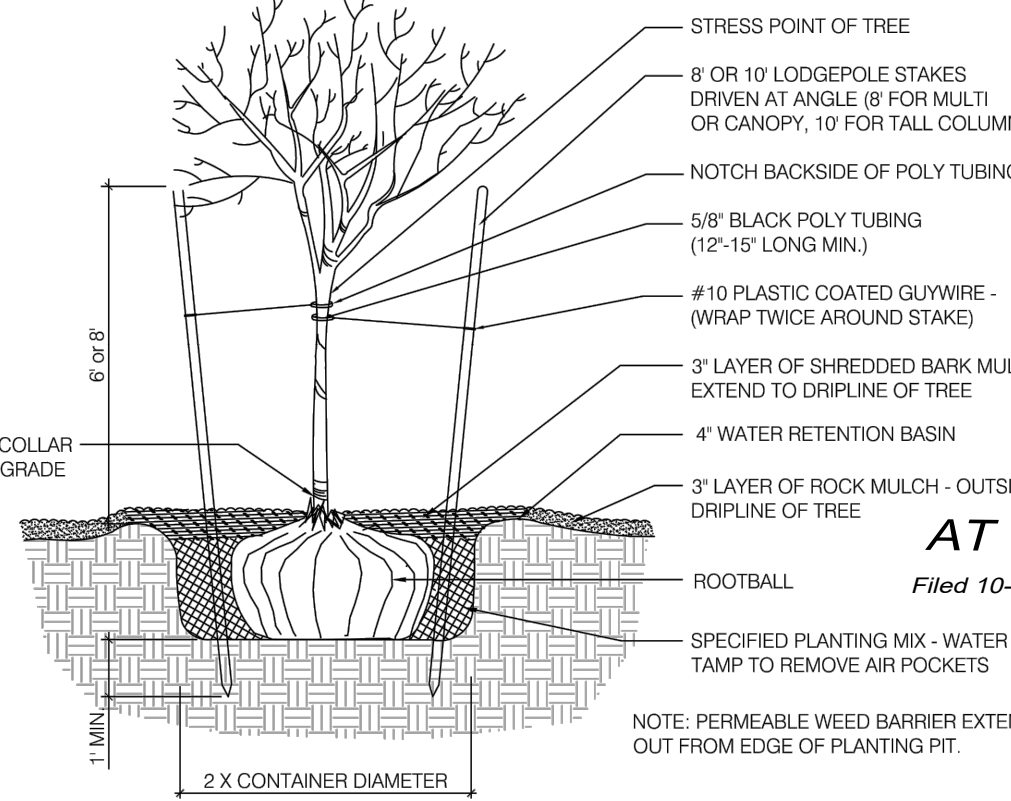
**METHOD FOR COMPLYING WITH WATER CONSERVATION ORDINANCE**  
THE LANDSCAPE PLAN SHALL LIMIT THE PROVISION OF HIGH WATER USE TURF TO A MAXIMUM OF 20 PERCENT OF THE REQUIRED LANDSCAPED AREA. THE PLANT PALETTE IS PREDOMINANTLY COMPRISED OF PLANTS WITH LOW TO MEDIUM WATER USE REQUIREMENTS, THEREBY MINIMIZING IRRIGATION NEEDS WHILE ENSURING THE VIABILITY OF THE PLANTS. AN EVAPOTRANSPIRATION MANAGEMENT CONTROLLER WILL BE INCLUDED IN THE DESIGN OF THE IRRIGATION SYSTEM TO MONITOR WEATHER CONDITIONS SO THAT THE OPTIMUM MOISTURE BALANCE IS ACHIEVED AND THE POSSIBILITY OF OVER-WATERING IS REDUCED.

**PNM COORDINATION:**  
COORDINATION WITH PNM'S NEW SERVICE DELIVERY DEPARTMENT IS NECESSARY REGARDING PROPOSED TREE LOCATION AND HEIGHT, SIGN LOCATION AND HEIGHT, AND LIGHTING HEIGHT IN ORDER TO ENSURE SUFFICIENT SAFETY CLEARANCES.

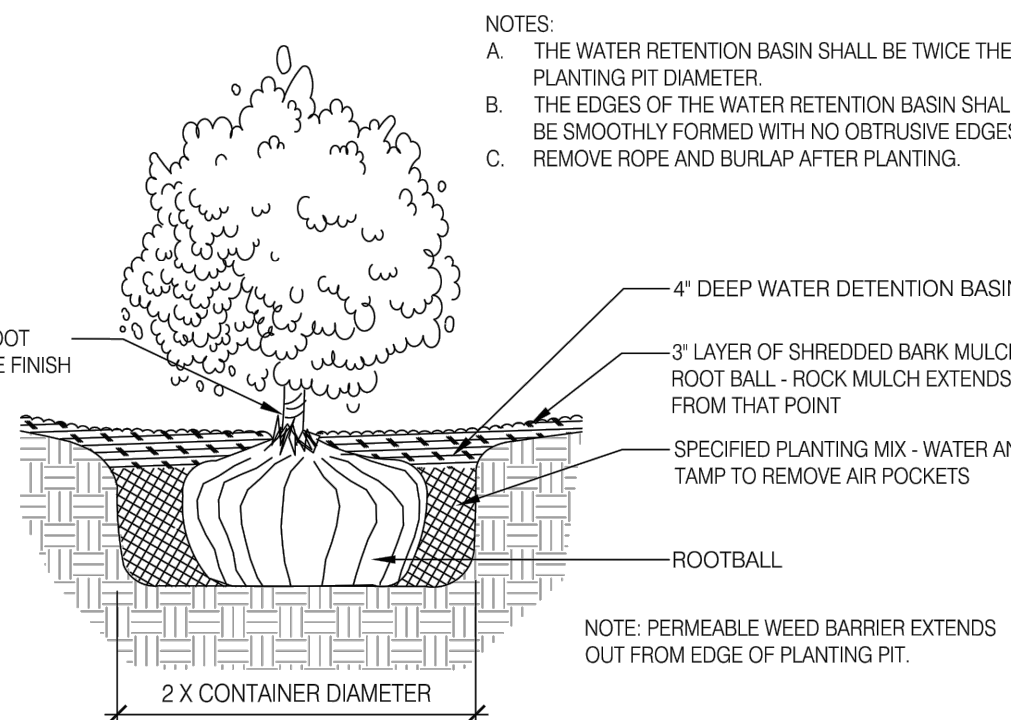
SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO ELECTRIC UTILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET IN FRONT AND AT LEAST FIVE FEET ON THE REMAINING THREE SIDES SURROUNDING ALL GROUND-MOUNTED EQUIPMENT FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

**CLEAR SIGHT DISTANCE:**  
LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE AREA.

- NOTES:  
A. THE WATER RETENTION BASIN SHALL BE TWICE THE PLANTING PIT DIAMETER.  
B. THE EDGES OF THE WATER RETENTION BASIN SHALL BE SMOOTHLY FORMED WITH NO OBTRUSIVE EDGES.  
C. REMOVE ROPE AND BURLAP AFTER PLANTING.



TREE PLANTING DETAIL



SHRUB PLANTING DETAIL

**SANTA FE 3 AT THE TRAILS UNIT 2**  
Filed 10-30-2006, in Volume 2006C, Folio 333

**TRACT OS-3 THE TRAILS UNIT 2**  
Filed 10-18-2004, in Volume 2004C, Folio 332

**SANTA FE 3 AT THE TRAILS UNIT 2**  
Filed 10-30-2006, in Volume 2006C, Folio 333

**TRACT 2 THE TRAILS UNIT 2**  
Filed 10-18-2004, in Volume 2004C, Folio 332

**TRACT 3 THE TRAILS UNIT 2**  
Filed 10-18-2004, in Volume 2004C, Folio 332

**TRACT B CANTATA AT THE TRAILS UNIT 2**  
Filed 10-26-2007, in Volume 2007C, Folio 315

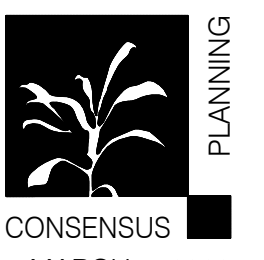
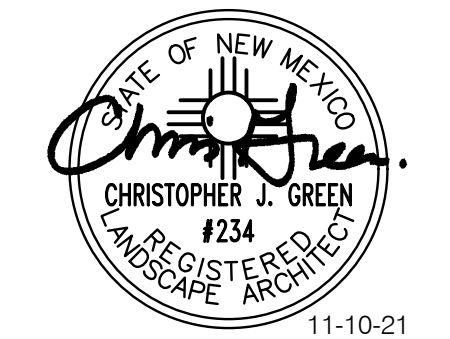
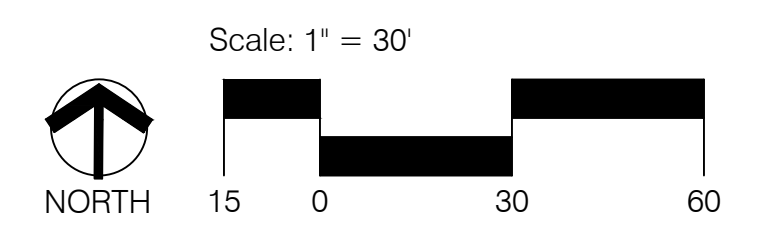
**TRACT B CANTATA AT THE TRAILS UNIT 2**  
Filed 10-26-2007, in Volume 2007C, Folio 315

**PLANT LEGEND**

QTY.	SYMBOL	SCIENTIFIC NAME COMMON NAME	SIZE	INSTALLED SIZE MATURE SIZE	WATER USE
<b>TREES</b>					
9	[Symbol]	ACER TATARICUM 'GARANN' HOT WINGS MAPLE	2" B&B	20HT. X 24' SPR.	MED+
14	[Symbol]	CHLOPSIS LINEARIS 'BUBBA' BUBBA DESERT WILLOW	8' MS	20 HT. X 20' SPR.	LOW+
12	[Symbol]	FRAXINUS OXYCARPA RAYWOOD RAYWOOD ASH	2.5" B&B	35' HT. X 25' SPR.	MED+
15	[Symbol]	JUNIPERUS SCOPULORUM 'SKYROCKET' SKYROCKET JUNIPER	15 GAL	12' HT. X 5' SPR.	LOW+
5	[Symbol]	PINUS NIGRA AUSTRIAN PINE	B&B	35' HT. X 25' SPR.	MED
4	[Symbol]	PISTACIA ATLANTICA X RED PUSH RED PUSH PISTACHE	2.5" B&B	40 HT. X 30' SPR.	MED
8	[Symbol]	ULMUS CARP. X PARV. 'FRONTIER' FRONTIER ELM	2.5" B&B	40 HT. X 30' SPR.	MED+
12	[Symbol]	PYRUS CALLERYANA 'AUTUMN BLAZE' AUTUMN BLAZE PEAR	2.5" B&B	30' HT. X 25' SPR.	MED+
5	[Symbol]	VITEX AGNUS-CASTUS PURPLE CHASTETREE (MULTI-TRUNK)	15-GAL	20' HT. X 20' SPR.	MED
<b>SHRUBS AND GROUNDCOVERS</b>					
52	[Symbol]	ACHILLEA MOONSHINE MOONSHINE YARROW	1-GAL	2' HT. X 2' SPR.	MED
30	[Symbol]	Buddleia DAVIDII 'NAN-HOENSIS' DWARF BLUE BUTTERFLY BUSH	5-GAL	4' HT. X 4' SPR.	MED
32	[Symbol]	CARYOPTERIS CLAN. 'DARK KNIGHT' DARK KNIGHT SPIREA	5-GAL	4' HT. X 4' SPR.	LOW
40	[Symbol]	CYTISUS SCOPARIUS 'ALL GOLD' ALL GOLD SCOTCH BROOM	5GAL	4' HT. X 4' SPR.	LOW
37	[Symbol]	FALLUGIA PARADOXA APACHE PLUME	5-GAL	5' HT. X 5' SPR.	LOW
16	[Symbol]	JUNIPERUS HORIZ. 'BLUE CHIP' BLUE CHIP JUNIPER	5-GAL	1' HT. X 7' SPR.	MED
31	[Symbol]	JUNIPERUS SABINA 'BUFFALO' BUFFALO JUNIPER	5-GAL	1' HT. X 8' SPR.	MED
15	[Symbol]	NANDINA DOMESTICA 'GULFSTREAM' HEAVENLY BAMBOO	5-GAL	4' HT. X 4' SPR.	MED+
12	[Symbol]	PINUS MUGO 'PUMILIO' DWARF MUGO PINE	5-GAL	4' HT. X 6' SPR.	MED
38	[Symbol]	POTENTILLA FRUTICOSA 'JACKMANII' JACKMAN'S SHRUBBY CINQUEFOIL	5-GAL	3' HT. X 3' SPR.	MED
22	[Symbol]	PRUNUS CISTENA CISTENA PLUM	5-GAL	6' HT. X 6' SPR.	MED
37	[Symbol]	RHUS AROMATICA 'GRO-LOW' PROSTRATE SUMAC	5-GAL	2' HT. X 4' SPR.	LOW+
48	[Symbol]	SALVIA DORRII PURPLE SAGE	5-GAL	3' HT. X 3' SPR.	MED
23	[Symbol]	SALVIA GREGGII 'FURMAN'S RED' FURMAN'S RED AUTUMN SAGE	3-GAL	30' HT. X 3' SPR.	MED
<b>DESERT ACCENTS</b>					
23	[Symbol]	DASYLIRION WHEELERI DESERT SPOON	5-GAL	4' HT. X 4' SPR.	LOW
43	[Symbol]	HESPERALOE PARVIFLORA 'BRAKELIGHTS' BRAKELIGHTS RED YUCCA	3-GAL	3' HT. X 3' SPR.	LOW
<b>ORNAMENTAL GRASSES</b>					
35	[Symbol]	CALAMOGROSTIS A. 'KARL FOERSTER' KARL FOERSTER FEATHER REED GRASS	5-GAL	30' HT. X 3' SPR.	MED
113	[Symbol]	MUHLENBERGIA C. 'REGAL MIST' MUHLY GRASS	5-GAL	3' HT. X 4' SPR.	MED
<b>TURF GRASS</b>					
878 SF	[Symbol]	REVELLE BLUEGRASS SOD			
<b>MULCHES AND BOULDERS</b>					
102	[Symbol]	BASALT BOULDERS (3x3' MIN)			
11,535 SF	[Symbol]	7/16" BUILDOLGY BROWN GRAVEL MULCH (3" DEPTH OVER FILTER FABRIC, DEWITT PRO-5 WEED CONTROL, OR EQUAL)			
12,965 SF	[Symbol]	3/4" GRAY CRUSHED GRAVEL MULCH (3" DEPTH OVER FILTER FABRIC, DEWITT PRO-5 WEED CONTROL, OR EQUAL)			
6,840 SF	[Symbol]	2"-4" SAN LAZARUS GOLD COBBLE (4" DEPTH OVER FILTER FABRIC, DEWITT PRO-5 WEED CONTROL, OR EQUAL)			
<b>HARDSCAPE</b>					
	[Symbol]	6" CONCRETE EDGER AT TURF			

Prepared for:  
**RAINBOW PASEO, LLC**

Prepared by:  
**CONSENSUS PLANNING, INC.**



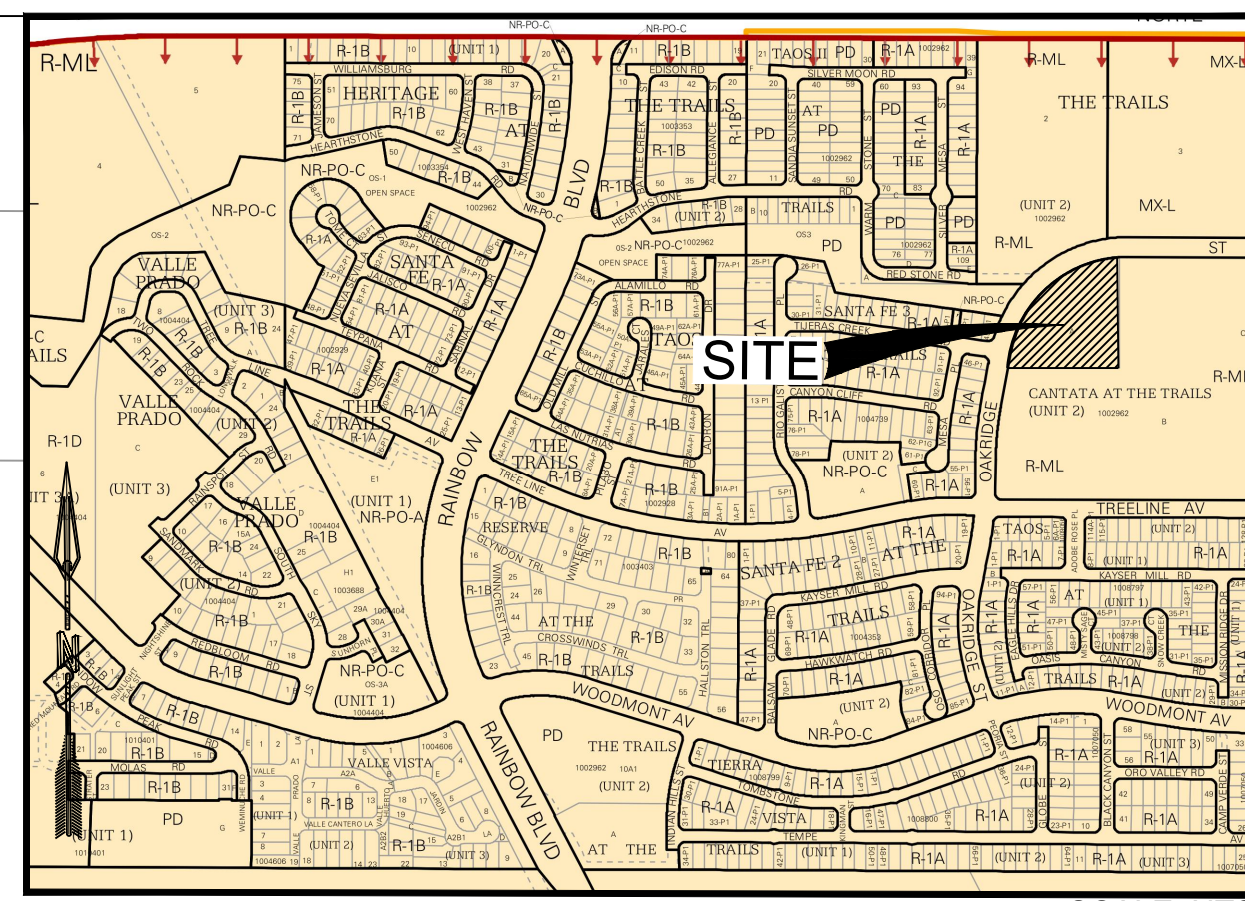


NAME: G:\Shared drives\NMP\Projects\03662 Rainbow Paseo Tract A\3\_DWG\Sheets\03662 Grading Plan.dwg PLOT DATE: Aug 16, 2019 11:05am

Abiquiuque Control Survey Monument "UNION"  
New Mexico State Plane Coordinates (Central Zone - NAD 83)  
North = 1,823,903.476 feet  
East = 1,493,655.030 feet  
Elevation = 5244.650 feet  
Ground To Grid Factor = 0.999664360

20' Public Watering Easement filed September 16, 2011 as Document No. 2011983622

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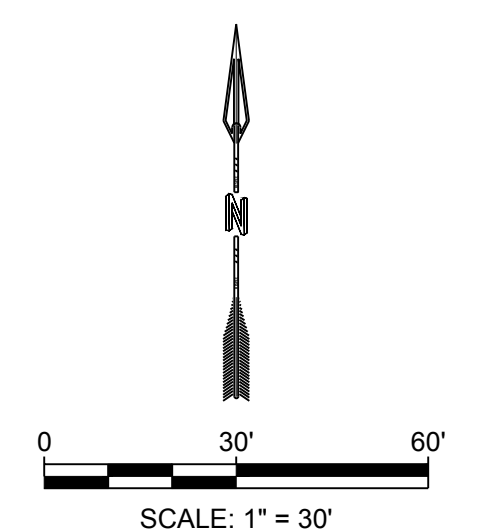


LOCATION MAP  
ZONE ATLAS MAP C-9-Z

- GENERAL NOTE:**
1. SEE ARCHITECTURAL SITE PLAN FOR ADDITIONAL SITE DETAILS.
  2. ALL PROPOSED ELEVATIONS ARE AT FLOWLINE UNLESS OTHERWISE SPECIFIED.
  3. ALL DRAINAGE INFRASTRUCTURE WILL BE PRIVATE.

**LEGEND**

- PROPERTY BOUNDARY
- - - 5430 - - - EXISTING MAJOR CONTOUR
- - - 5430 - - - EXISTING MINOR CONTOUR
- - - 5430 - - - PROPOSED MAJOR CONTOUR
- - - 5430 - - - PROPOSED MINOR CONTOUR
- - - EXISTING STORM DRAIN
- - - PROPOSED STORM DRAIN
- - - PROPOSED SPOT GRADE
- ⊙ EXISTING SANITARY SEWER MANHOLE
- ⊙ PROPOSED STORM DRAIN MANHOLE
- ⊙ PROPOSED INLET GRATE



DESIGNED BJE DRAWN BJE CHECKED JS DATE 8.16.2019	 5971 JEFFERSON STREET SUITE 101 ALBUQUERQUE, NM 87113 WWW.RESPEC.COM 505.253.9718	REVISION
 SHELDON E. GREER NEW MEXICO LICENSED PROFESSIONAL ENGINEER		THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED
PROJECT NAME: <b>ADAGIO APARTMENTS</b>		SHEET TITLE: <b>CONCEPT GRADING PLAN</b>
SUBMITTED FOR: <b>DRB SITE PLAN</b>		SHEET NUMBER: <b>C-101</b>



**Hydrology Calculations**

The following calculations are based on Albuquerque's Development Process Manual, Section 22.2

**Runoff Rate:**

Treatment Type Areas

Subbasin	Area <sub>A</sub> (ac)	Area <sub>B</sub> (ac)	Area <sub>C</sub> (ac)	Area <sub>D</sub> (ac)	Total (ac)
Subbasin 1.1	0.00	0.08	0.08	0.15	0.30
Subbasin 1.2	0.00	0.11	0.11	1.48	1.69
Subbasin 2.1	0.00	0.04	0.04	0.09	0.17
Subbasin 2.2	0.00	0.03	0.03	0.06	0.13
Subbasin 2.3	0.00	0.04	0.04	0.08	0.16
Subbasin 3.1	0.00	0.09	0.09	0.19	0.38
Subbasin 3.2	0.00	0.10	0.10	0.19	0.38
Subbasin 4.1	0.00	0.09	0.09	0.18	0.35
Subbasin 4.2	0.00	0.07	0.07	0.15	0.30
Subbasin 4.3	0.00	0.08	0.08	0.16	0.32
Total	0.00	0.73	0.73	2.73	4.18

Peak Discharge values based on Zone 1 from Table A-9

$Q_A = 1.29 \text{ cfs/ac}$     $Q_B = 2.03 \text{ cfs/ac}$     $Q_C = 2.87 \text{ cfs/ac}$     $Q_D = 4.37 \text{ cfs/ac}$

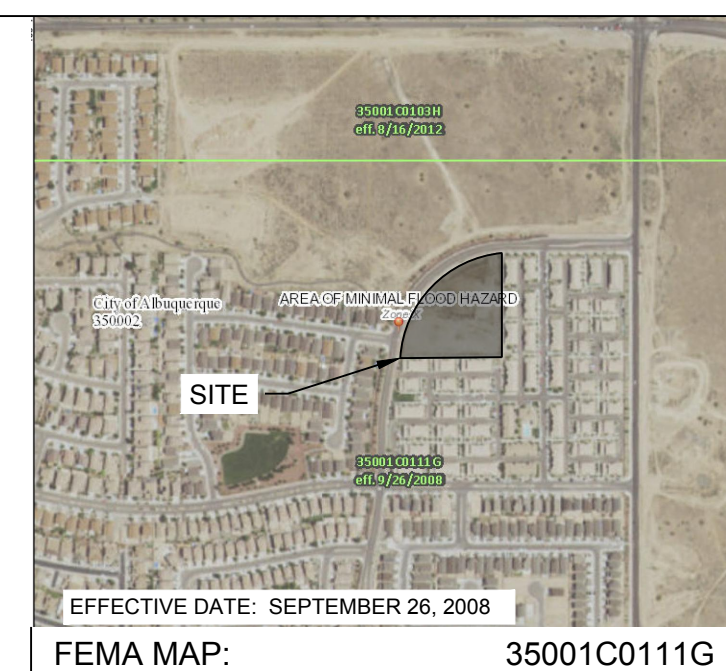
Peak Discharge calculation for a 100-yr, 24-hr storm event from equation A-10

Subbasin	Discharge (cfs)
Subbasin 1.1	1.0
Subbasin 1.2	7.0
Subbasin 2.1	0.6
Subbasin 2.2	0.4
Subbasin 2.3	0.5
Subbasin 3.1	1.3
Subbasin 3.2	1.3
Subbasin 4.1	1.2
Subbasin 4.2	1.0
Subbasin 4.3	1.1
Total	15.5

**Water Quality:**

Required Water Quality volume for first flush of 0.34"

Subbasin	Volume (cu. ft.)	Volume Provided (cu. ft.)
Subbasin 1.1	370	570
Subbasin 1.2	2,086	0
Subbasin 2.1	213	213
Subbasin 2.2	159	178
Subbasin 2.3	197	202
Subbasin 3.1	249	432
Subbasin 3.2	214	432
Subbasin 4.1	221	445
Subbasin 4.2	188	445
Subbasin 4.3	148	223
Total	3,709	2,473



**BACKGROUND**

TRACT A OF THE CANTANA AT THE TRAILS UNIT 2 IS APPROXIMATELY 3.26 ACRES IN THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO. THE PROPERTY IS LOCATED JUST WEST OF UNIVERSE BOULEVARD BETWEEN TREELINE AVENUE AND OAKRIDGE STREET. THE SITE CURRENTLY IS AN UNDEVELOPED LOT. THE PROPOSED PROJECT IS AN APARTMENT COMPLEX. THERE IS NO DESIGNATED 100-YEAR FLOODPLAIN SHOWN ON THE SITE. THE SITE RECEIVES SOME OFFSITE FLOWS FROM NEIGHBORING PROPERTY. THE PLAN IS IN COMPLIANCE WITH THE TRAILS DMP BY TEC, 2015.

**METHODOLOGY**

HYDROLOGY CALCULATIONS FOR THE SITE ARE PERFORMED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE TECHNICAL STANDARDS. THE RATIONAL METHOD WAS USED, BASED ON THE 100-YR, 24-HR STORM EVENT, TO CALCULATE PEAK FLOW RATES IN ORDER TO ENSURE ALL FLOW PATHS ARE SUFFICIENT TO CARRY FLOWS. THE REQUIRED DETENTION POND VOLUME WAS CALCULATED BASED ON THE DIFFERENCE BETWEEN PRE AND POST DEVELOPMENT PEAK DISCHARGES. ALL HYDROLOGIC AND HYDRAULIC CALCULATIONS CAN BE FOUND ON THIS SHEET.

**EXISTING CONDITIONS**

THE AREA, IN GENERAL, SLOPES TOWARDS LOW POINT AT CENTER OF PROPERTY AND EVENTUALLY DRAINS TO THE SOUTHEAST AT AN APPROXIMATE SLOPE OF 2% - 4% TO A LOW RETENTION BASIN APPROXIMATELY FOUR FEET DEEP. STORM WATER RUNOFF GENERATED BY TRACT A SHEET DRAINS INTO RETENTION BASIN LOCATED ON THE PROPERTY. THE LOT TO THE EAST, TRACT B, CURRENTLY DRAINS TO THE EAST TO A DETENTION BASIN ON THE EAST SIDE OF UNIVERSE BOULEVARD. THERE IS AN EXISTING STORM DRAIN CONNECTION NEAR THE SOUTH-EAST CORNER OF THE TRACT A PROPERTY BOUNDARY WITHIN A DRAINAGE EASEMENT AND IS AVAILABLE TO CONNECT TO. THE TRACT A STORMWATER DISCHARGE INTO THE EXISTING STORM DRAIN PIPING IS LIMITED TO 10 CFS PER THE STORM DRAIN HYDRAULIC ANALYSIS BY BHI ON OCTOBER 2, 2012 FOR CANTATA AT THE TRAILS (C-09/D001B).

**PROPOSED CONDITIONS**

THE PROPOSED DEVELOPMENT WILL CONSIST OF ASPHALT AND CONCRETE PAVING FOR PARKING AND DRIVING SURFACES AND 52 INDIVIDUAL APARTMENT BUILDINGS. THE BASIN HAS BEEN SPLIT INTO 4 MAIN SUBBASINS.

SUBBASIN 1 IS 1.89 ACRES AND GENERATES 8.0 CFS. THIS SUBBASIN CONSISTS PRIMARILY OF THE RUNOFF GENERATED BY ASPHALT ROAD SURFACE, PARKING LOT, APARTMENT BUILDINGS, AND OPEN SPACE. THE ROADWAY GENERALLY SLOPES SOUTH AND EAST FROM THE PROPOSED ENTRY OFF OF OAKRIDGE STREET NW TO CATCH BASINS AT THE ULTIMATE LOW POINT AT THE SOUTH-EAST END OF THE PROPERTY. RUNOFF EXISTS THE CATCH BASINS AND IS CONVEYED VIA 18" STORM DRAIN PIPING TO THE SOUTH-EAST AND CONNECTS TO AN EXISTING 18" STORM DRAIN LOCATED WITHIN THE 15' PRIVATE DRAINAGE EASEMENT. THE FLOW FROM THIS SUB-BASIN WILL BE REDUCED FROM 8.0 CFS TO 5.6 CFS VIA DETENTION PONDING AND FLOW RESTRICTION AT THE OUTFALL TO SATISFY THE 10 CFS LIMITATION DISCHARGING TO THE CANTATA STORM DRAIN.

SUBBASIN 2 IS 0.46 ACRES AND GENERATES 1.6 CFS. THIS SUBBASIN CONSISTS OF HALF THE ROOF AREA OF THE PROPOSED APARTMENT BUILDINGS, LANDSCAPING, AND RETENTION BASINS. THIS AREA WILL FLOW WEST VIA SWALES AND DISCHARGE INTO SUBBASIN 1.

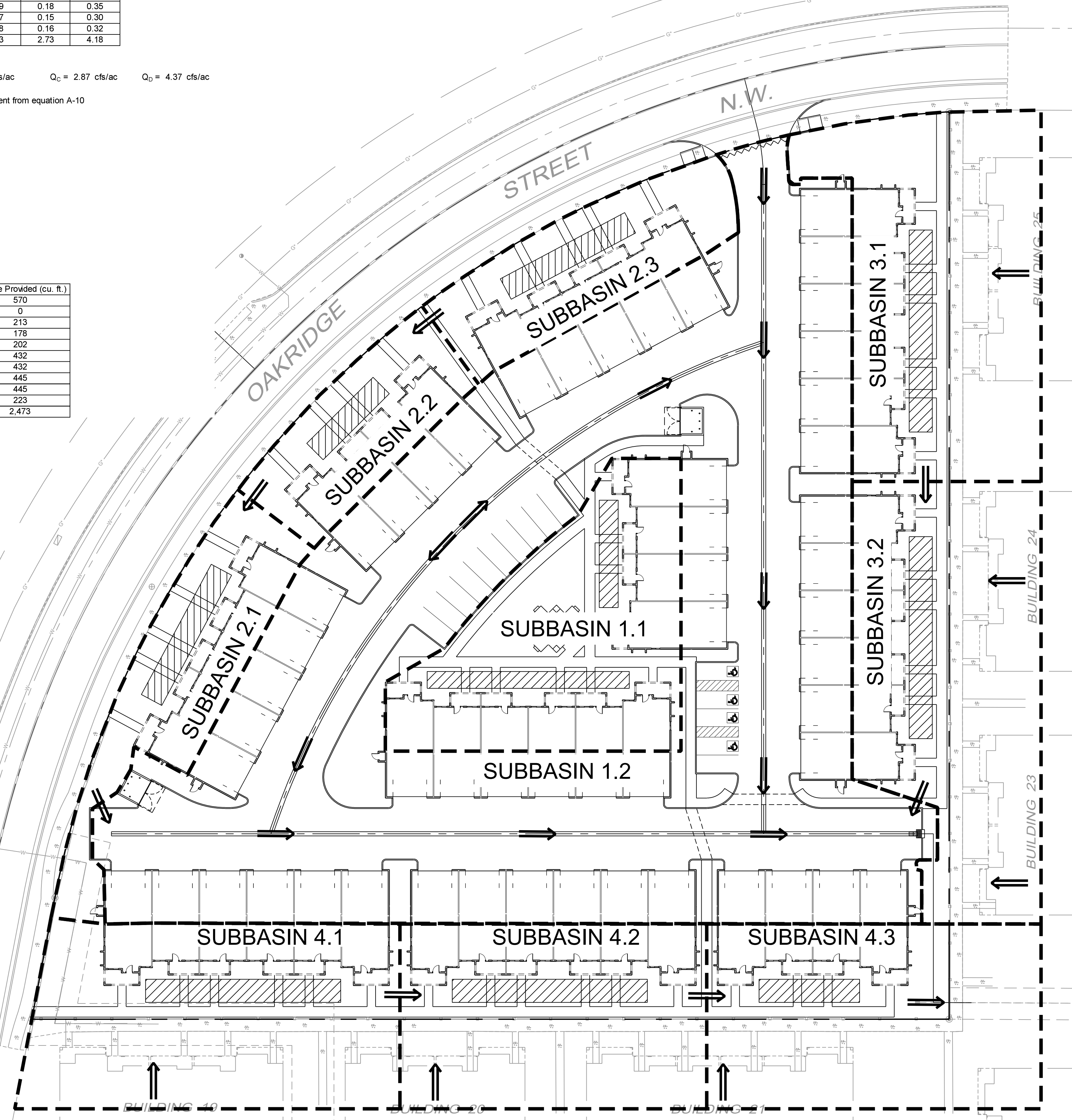
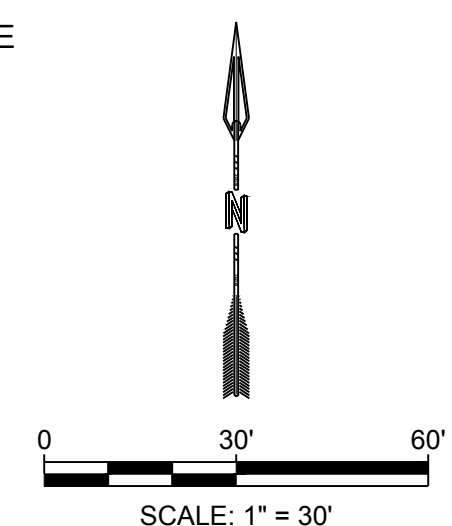
SUBBASIN 3 IS 0.76 ACRES AND GENERATES 2.6 CFS. OF THE 0.76 ACRES, 0.39 ACRES IS OFF-SITE. THIS SUBBASIN CONSISTS OF HALF THE ROOF AREA OF THE PROPOSED APARTMENT BUILDINGS, LANDSCAPING, AND RETENTION BASINS. THIS AREA WILL FLOW SOUTH VIA SWALES AND DISCHARGE INTO SUBBASIN 1.

SUBBASIN 4 IS 0.97 ACRES AND GENERATES 3.3 CFS. OF THE 0.97 ACRES, 0.52 ACRES IS OFF-SITE. THIS SUBBASIN CONSISTS OF HALF THE ROOF AREA OF THE PROPOSED APARTMENT BUILDINGS, LANDSCAPING, AND RETENTION BASINS. THIS AREA WILL FLOW EAST VIA SWALES AND DISCHARGE TO THE EXISTING STORM DRAIN.

THE WATER QUALITY TABLE AT THE TOP LEFT OF THIS SHEET SUMMARIZES THE WATER QUALITY VOLUMES REQUIRED AND PROVIDED. SUFFICIENT PONDING HAS BEEN PROVIDED FOR SUBBASINS 2 - 4 IN THE FRONT YARDS THE UNITS. THE PONDING REQUIREMENTS FOR SUBBASINS 3 & 4 ONLY INCLUDE THE ON-SITE STORMWATER VOLUME. THE OWNER HAS ELECTED TO PAY THE PAYMENT IN LIEU FOR THE STORMWATER QUALITY VOLUME OF 2,086 CF. THIS PAYMENT AMOUNT = 2,086 CF x \$8/CF = \$16,688.00.

**LEGEND**

- PROPERTY BOUNDARY
- - - 5430 EXISTING MAJOR CONTOUR
- - - 5430 EXISTING MINOR CONTOUR
- ⊙ EXISTING SANITARY SEWER MANHOLE
- ⊕ PROPOSED STORM DRAIN MANHOLE
- PROPOSED INLET GRATE
- - - - SUBBASIN BOUNDARY

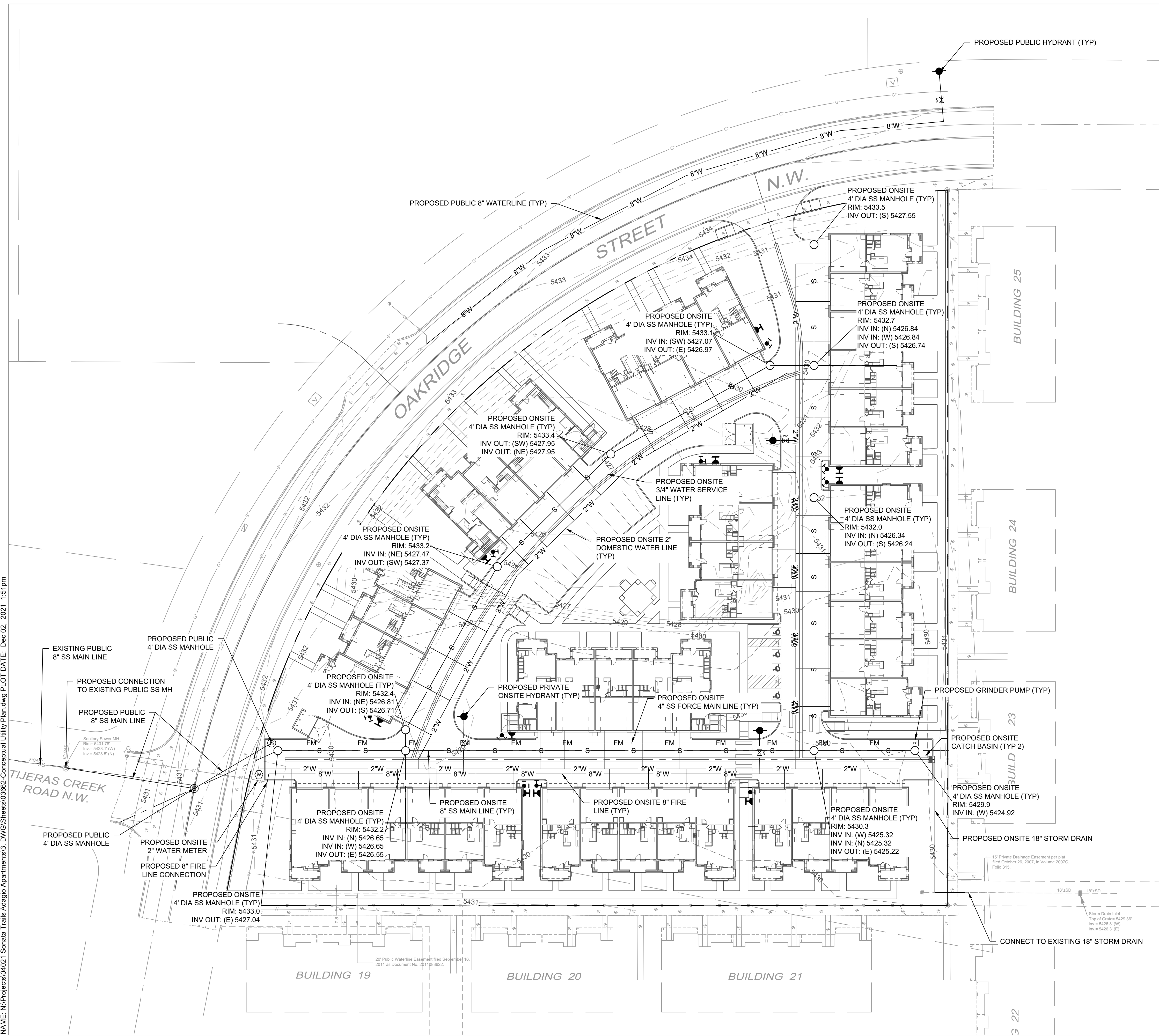


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<p>DESIGNED RPE DRAWN RPE CHECKED JS DATE 8.16.2019</p>	<p>REVISION</p>
<p>RESPEC 5971 JEFFERSON STREET SUITE 101 ALBUQUERQUE, NM 87110 WWW.RESPEC.COM 505.253.9718</p>	<p>STAMP SHELDON E. GREER NEW MEXICO 17154 REGISTERED PROFESSIONAL ENGINEER</p>
<p>THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED</p>	<p>ADAGIO APARTMENTS</p>
<p>PROJECT NAME:</p>	<p>CONCEPT DRAINAGE PLAN</p>
<p>SHEET TITLE:</p>	<p>DRB SITE PLAN</p>
<p>SUBMITTED FOR:</p>	<p>SHEET NUMBER: <b>C-102</b></p>



NAME: N:\Projects\04021 Sonata Trails Adagio Apartments\3\_DWG\Sheets\03662-Conceptual Utility Plan.dwg PLOT DATE: Dec 02, 2021 1:15 pm

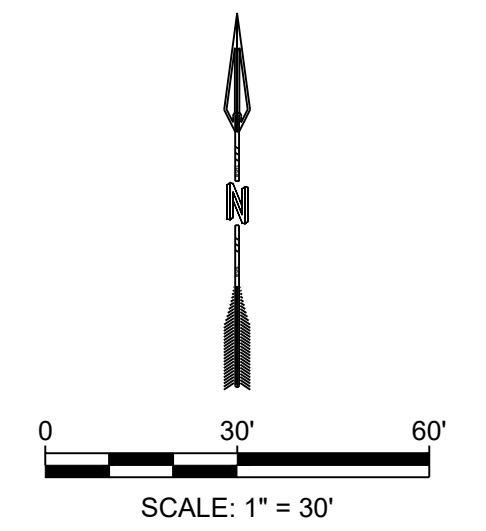


**GENERAL NOTES:**

- TYPE RPBA BACKFLOW PREVENTERS FOR ALL PROPOSED PRIVATE WATER LINES WILL BE PROVIDED INTERNAL TO EACH PROPOSED BUILDING PER COA STD. DWG. 2385. THE BACKFLOW PREVENTERS WILL BE THE SAME SIZE AS THE TAP/CONNECTION AT THE MAIN LINE.
- THE PRIVATE SANITARY SEWER WILL BE A GRAVITY SYSTEM TO THE SOUTH EAST CORNER OF THE SITE. THE PRESSURE SYSTEM WITH A GRINDER PUMP WILL FLOW ACROSS OAKRIDGE STREET AND CONNECT TO THE EXISTING MANHOLE IN TIJERAS CREEK ROAD.

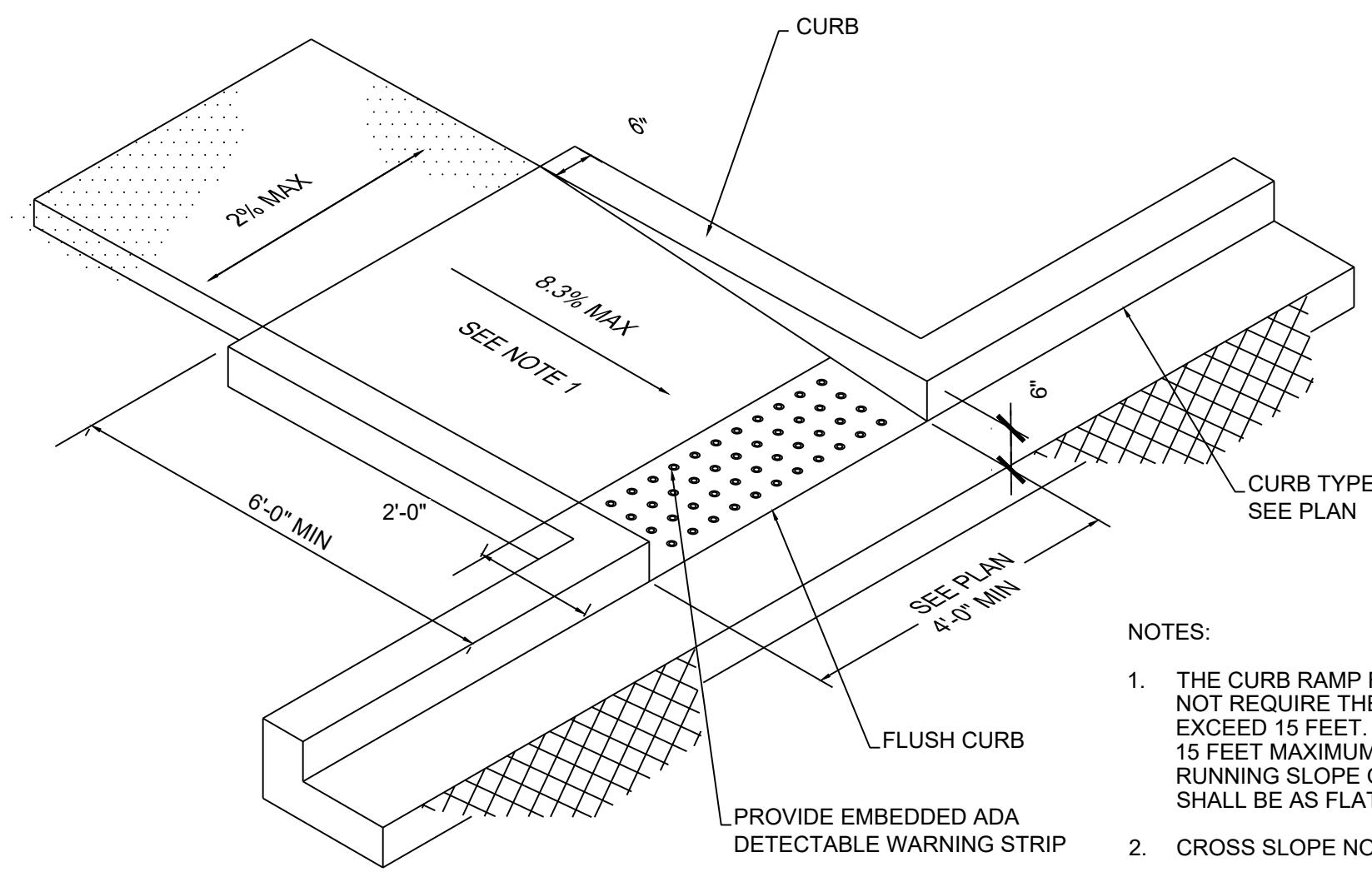
**LEGEND**

---	PROPERTY BOUNDARY
W	EXISTING WATER LINE
2"W	PROPOSED WATER LINE
8"W	8" FIRE LINE
SS	EXISTING SANITARY SEWER LINE
S	PROPOSED SANITARY SEWER LINE
FM	PROPOSED SANITARY SEWER FORCE MAIN
---	EXISTING STORM DRAIN
---	PROPOSED STORM DRAIN
⊙	PROPOSED SANITARY SEWER MANHOLE
⊕	PROPOSED STORM DRAIN MANHOLE
■	PROPOSED INLET GRATE
⊥	PROPOSED GATE VALVE
⊥	PROPOSED WALL INDICATOR VALVE
⊥	PROPOSED FDC
⊥	PROPOSED 6" GATE VALVE
PS	PROPOSED GRINDER PUMP



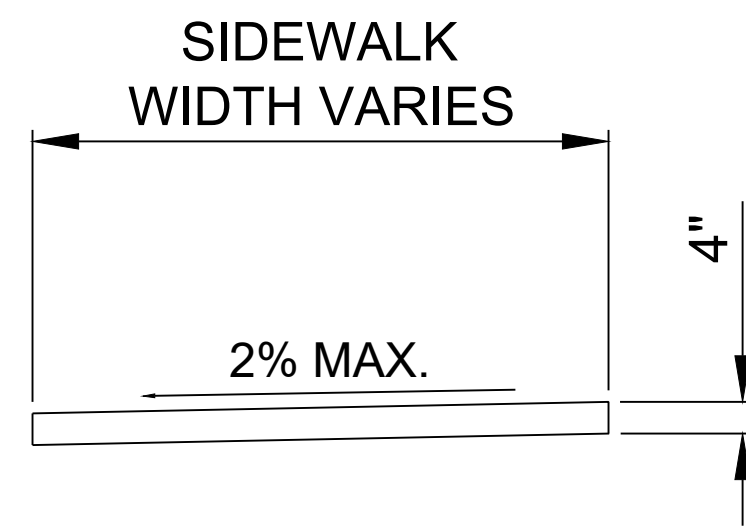
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 6971 JEFFERSON STREET SUITE 101 ALBUQUERQUE, NM 87109 WWW.RESPEC.COM 505.259.9718	
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 Know what's below. Call before you dig.	
PROJECT NAME: <b>ADAGIO APARTMENTS</b>	
SHEET TITLE: <b>CONCEPTUAL UTILITY PLAN</b>	
SUBMITTED FOR: <b>DRB SITE PLAN</b>	
SHEET NUMBER: <b>C-103</b>	



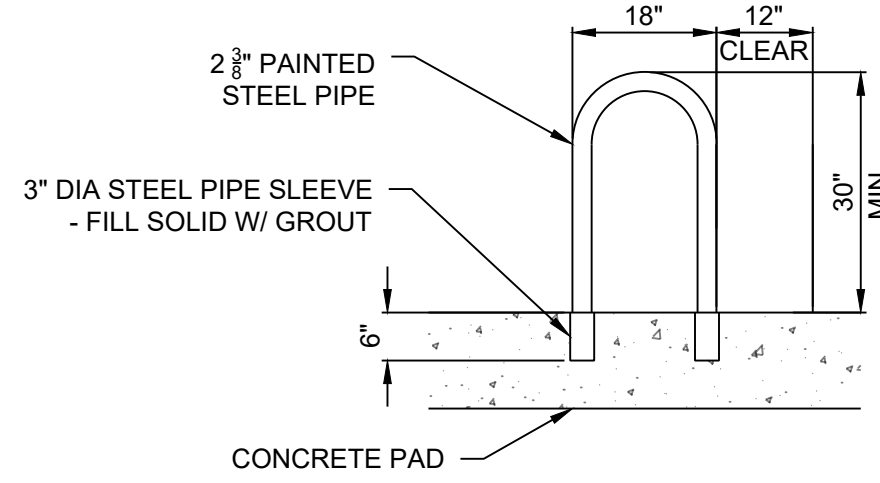


- NOTES:
1. THE CURB RAMP RUNNING SLOPE SHALL NOT REQUIRE THE RAMP LENGTH TO EXCEED 15 FEET. WHEN APPLYING THE 15 FEET MAXIMUM LENGTH, THE RUNNING SLOPE OF THE CURB RAMP SHALL BE AS FLAT AS POSSIBLE.
  2. CROSS SLOPE NOT TO EXCEED 2%.

ADA RAMP



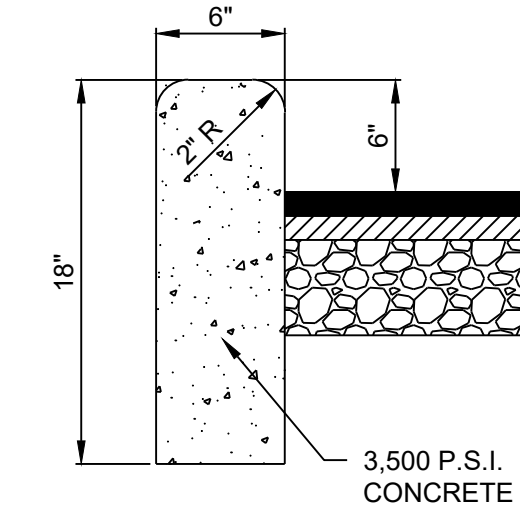
TYPICAL SIDEWALK SECTION



BICYCLE PARKING DETAIL  
NOT TO SCALE



BICYCLE RACK NOTES:

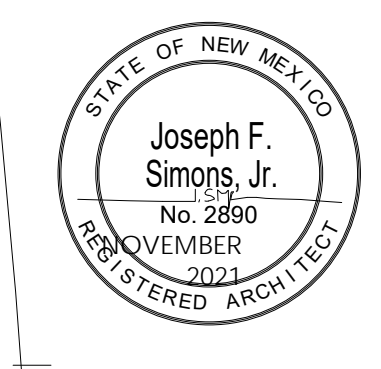
1. SEE SITE PLAN FOR BIKE RACK LOCATION.
2. THE BICYCLE FRAME SHALL BE SUPPORTED HORIZONTALLY AT TWO OR MORE PLACES. COMB/ TOASTER RACKS ARE NOT ALLOWED.
3. THE RACK SHALL BE DESIGNED TO SUPPORT THE BICYCLE IN AN UPRIGHT POSITION.
4. THE RACK ALLOWS VARYING BICYCLE FRAME SIZES AND STYLES TO BE ATTACHED.
5. THE USER IS NOT REQUIRED TO LIFT THE BICYCLE ONTO THE BICYCLE RACK.
6. EACH BICYCLE PARKING SPACE IS ACCESSIBLE WITHOUT MOVING ANOTHER BICYCLE.
7. BICYCLE RACK SHALL BE STURDY AND ANCHORED TO A CONCRETE PAD.
8. BICYCLE PARKING SPACES SHALL BE AT LEAST 6' LONG AND 2' WIDE.



HEADER CURB DETAIL  
NOT TO SCALE

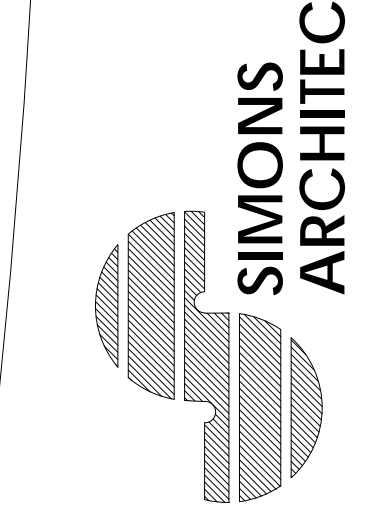
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DRAWN	RESPEC	
CHECKED	RESPEC	
DATE	1.18.2022	
5771 JEFFERSON STREET SUITE 101 ALBUQUERQUE, NM 87109 WWW.RESPEC.COM 505.253.9718		
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PROJECT NAME:	ADAGIO APARTMENTS	
SHEET TITLE:	DETAILS	
SUBMITTED FOR:	DRB DETAILS	
SHEET NUMBER:	C-500	



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 josephsimonsarchitecture.com

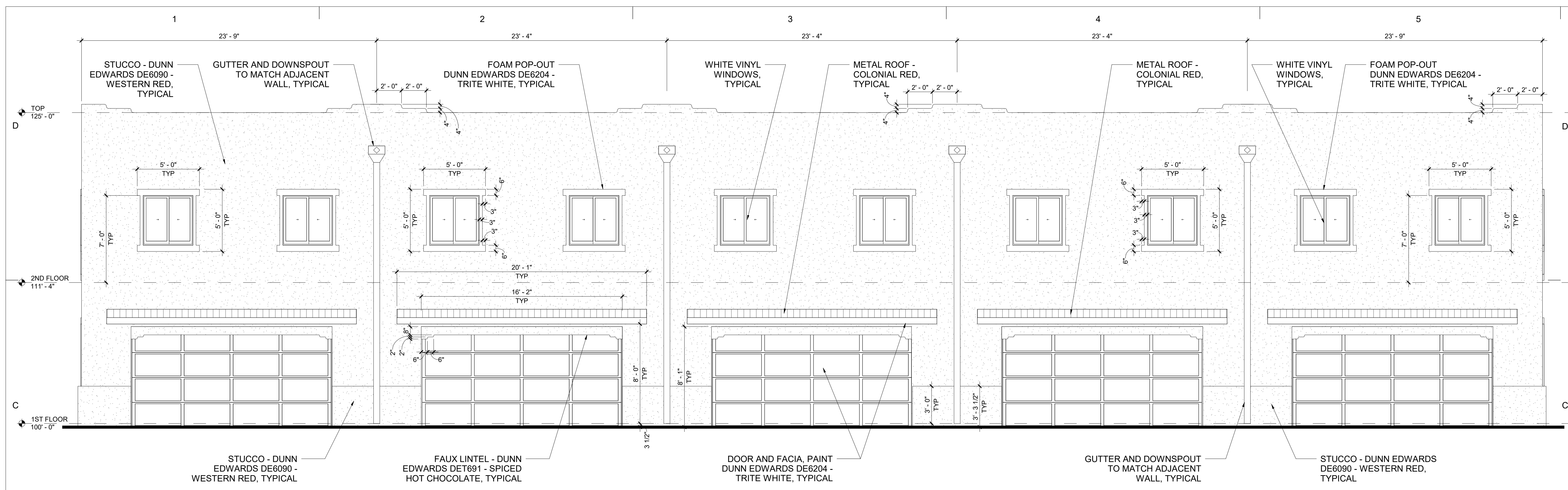


ADAGIO TOWNHOMES  
 FIVE-PLEX  
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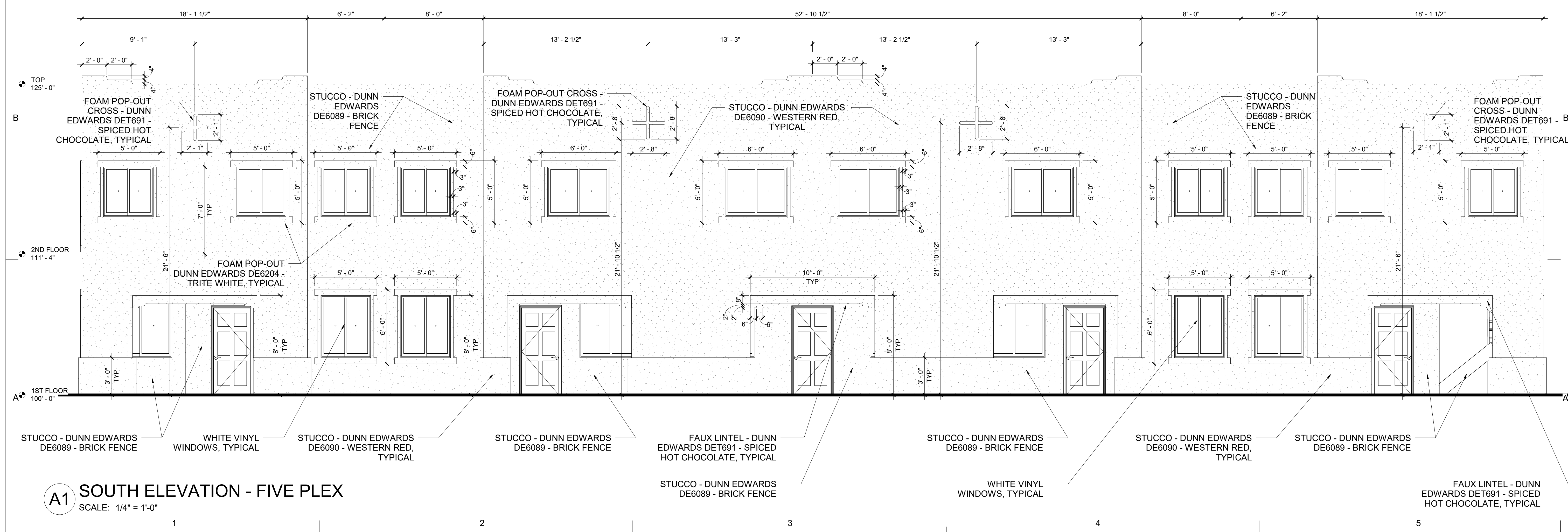
JOB NUMBER  
 XX-XXX  
 DATE  
 NOVEMBER 2021  
 REVISIONS

DESIGNED & DRAWN BY  
 JFS  
 SHEET NAME  
 ELEVATIONS - FIVE  
 PLEX

**A-302**

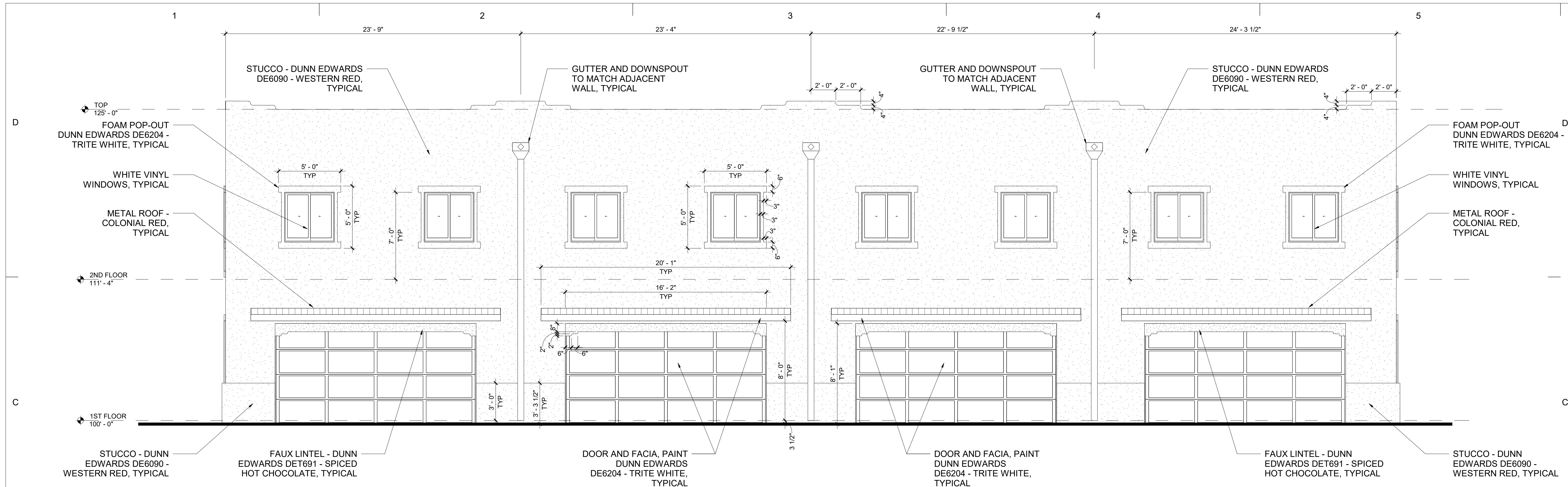


**C1 NORTH ELEVATION**  
 SCALE: 1/4" = 1'-0"

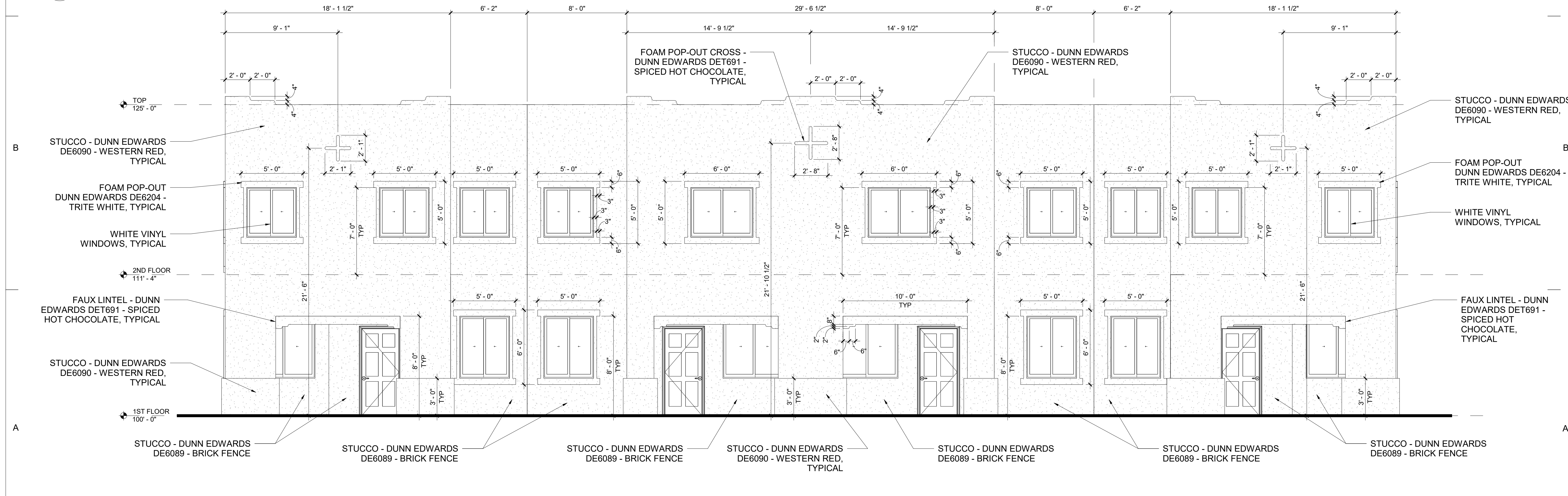


**A1 SOUTH ELEVATION - FIVE PLEX**  
 SCALE: 1/4" = 1'-0"





**C1 NORTH ELEVATION - FOUR PLEX**  
SCALE: 1/4" = 1'-0"

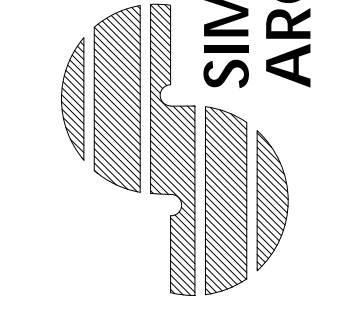


**A1 SOUTH ELEVATION - FOUR PLEX**  
SCALE: 1/4" = 1'-0"



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joes@smnsarchitecture.com



**ADAGIO TOWNHOMES  
FOUR-PLEX**

JOB NUMBER  
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DATE  
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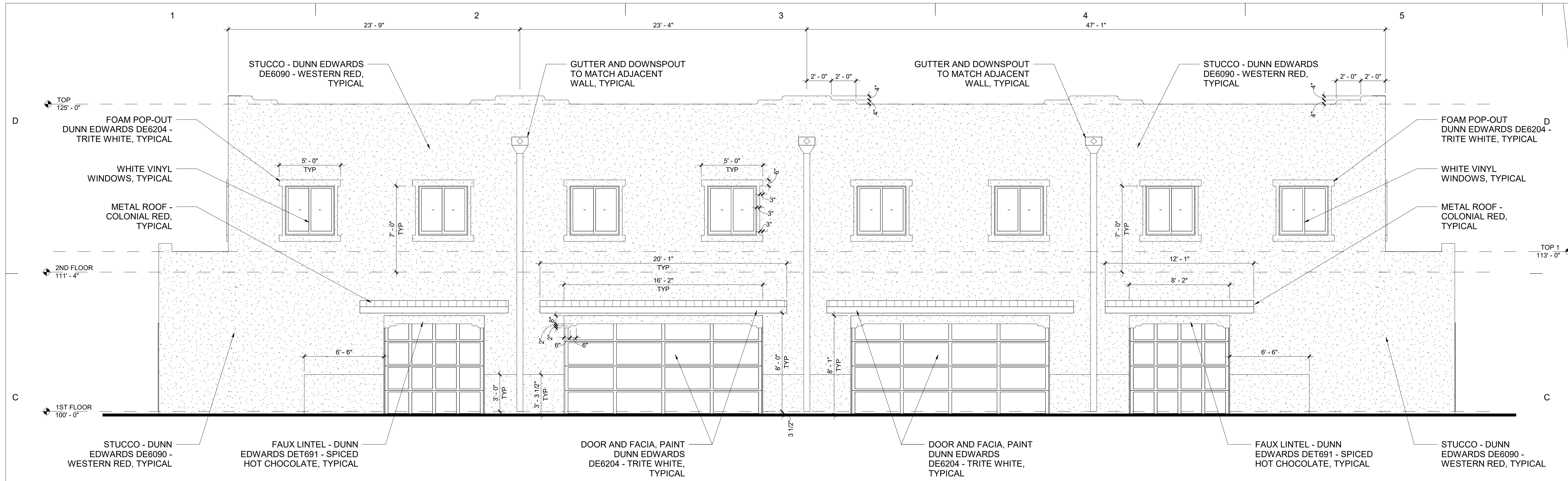
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ELEVATIONS - FOUR  
PLEX

**A-301**

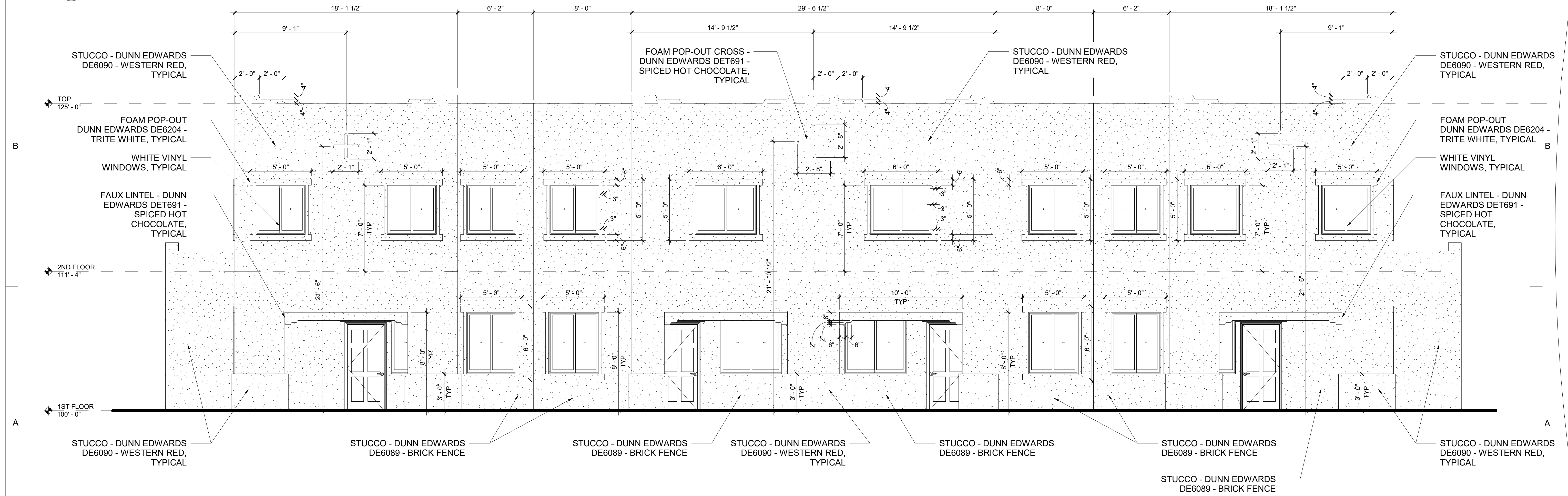
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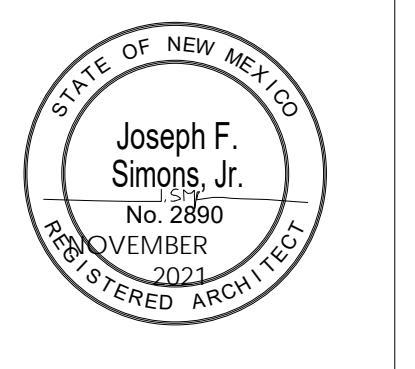




**C1 NORTH ELEVATION - SIX PLEX**  
SCALE: 1/4" = 1'-0"

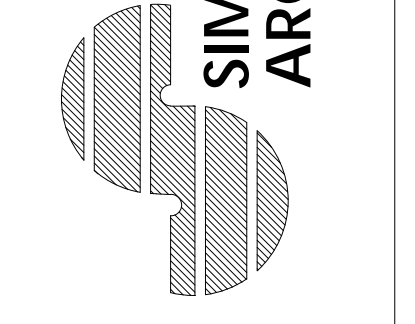


**A1 SOUTH ELEVATION - SIX PLEX**  
SCALE: 1/4" = 1'-0"



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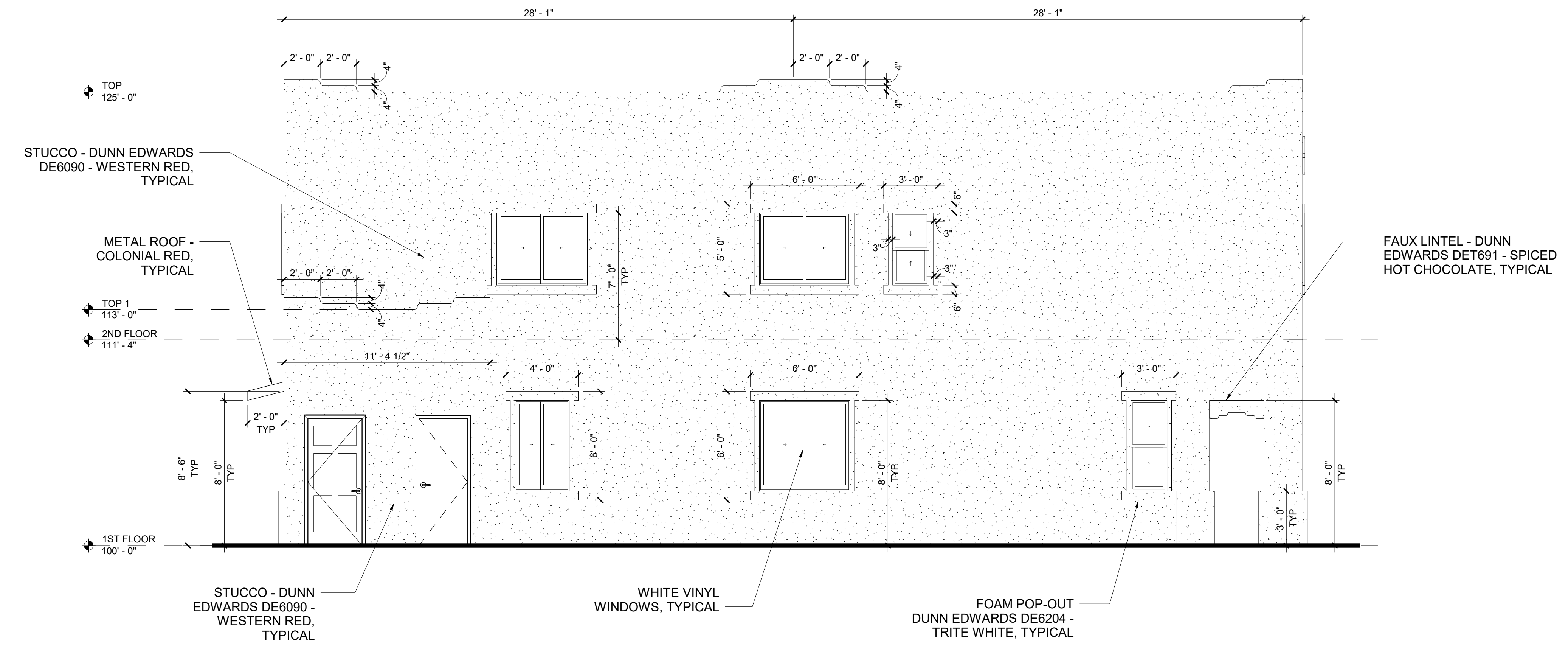
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FOUR PLEX**  
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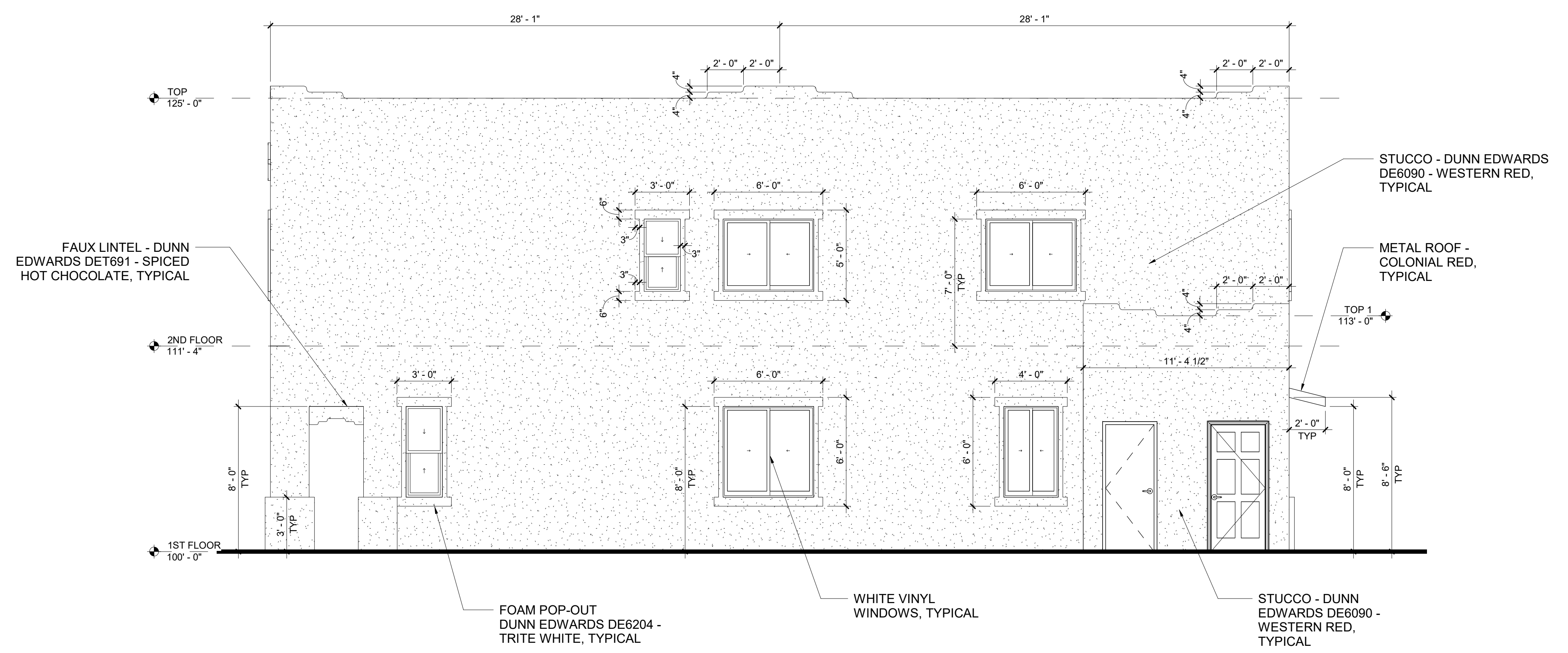
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ELEVATIONS - SIX PLEX

**A-301A**

1 2 3 4 5



**C1 WEST ELEVATION**  
SCALE: 1/4" = 1'-0"



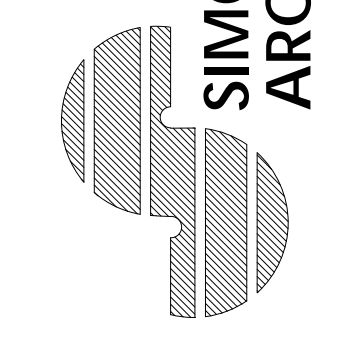
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SCALE: 1/4" = 1'-0"

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FOUR PLEX

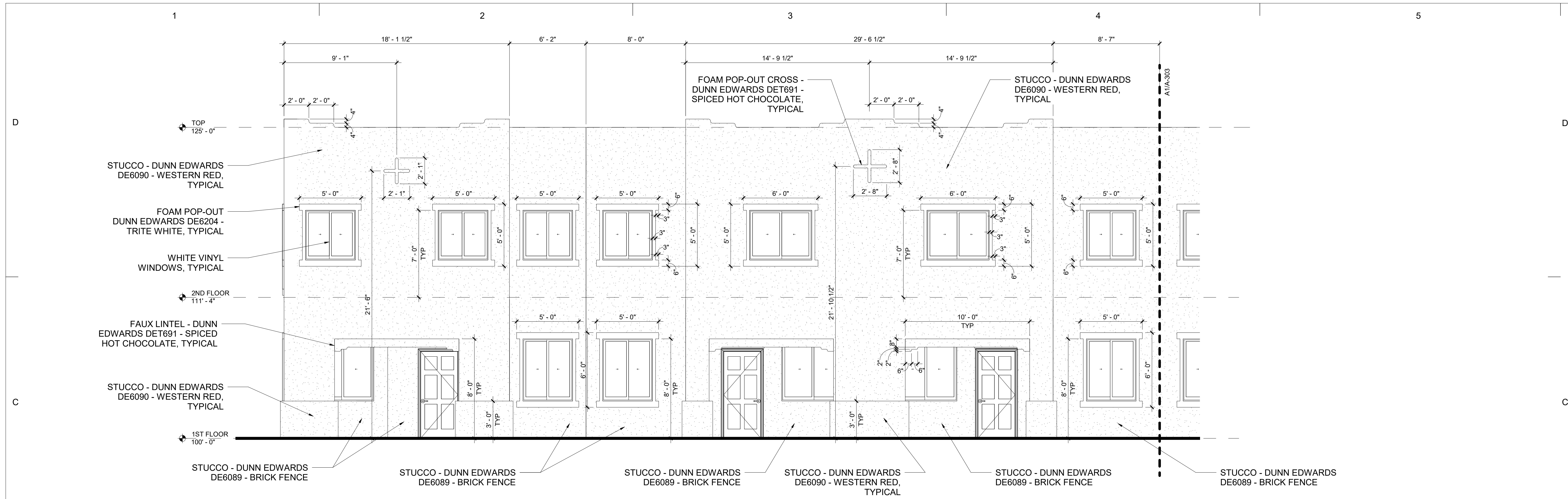
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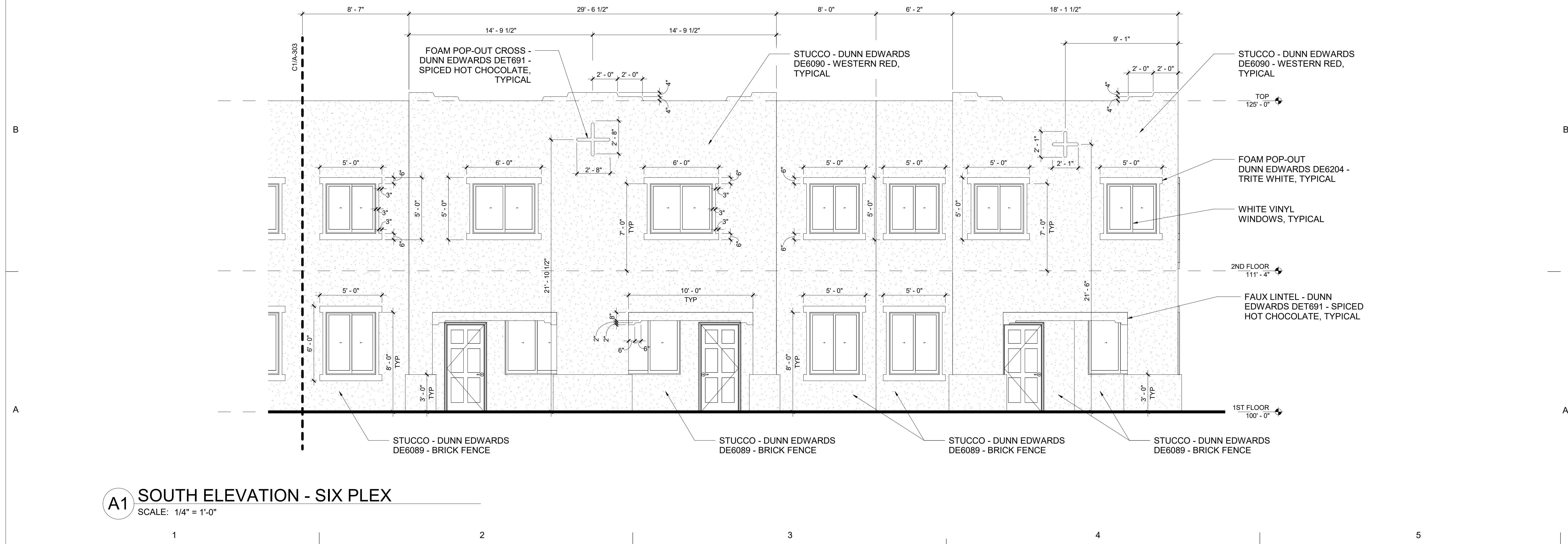
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Author  
SHEET NAME  
ELEVATIONS - SIDE

**A-306A**





**C1 SOUTH ELEVATION - SIX PLEX**  
SCALE: 1/4" = 1'-0"

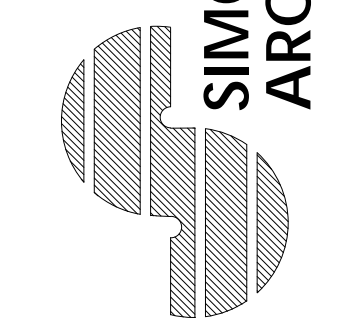


**A1 SOUTH ELEVATION - SIX PLEX**  
SCALE: 1/4" = 1'-0"



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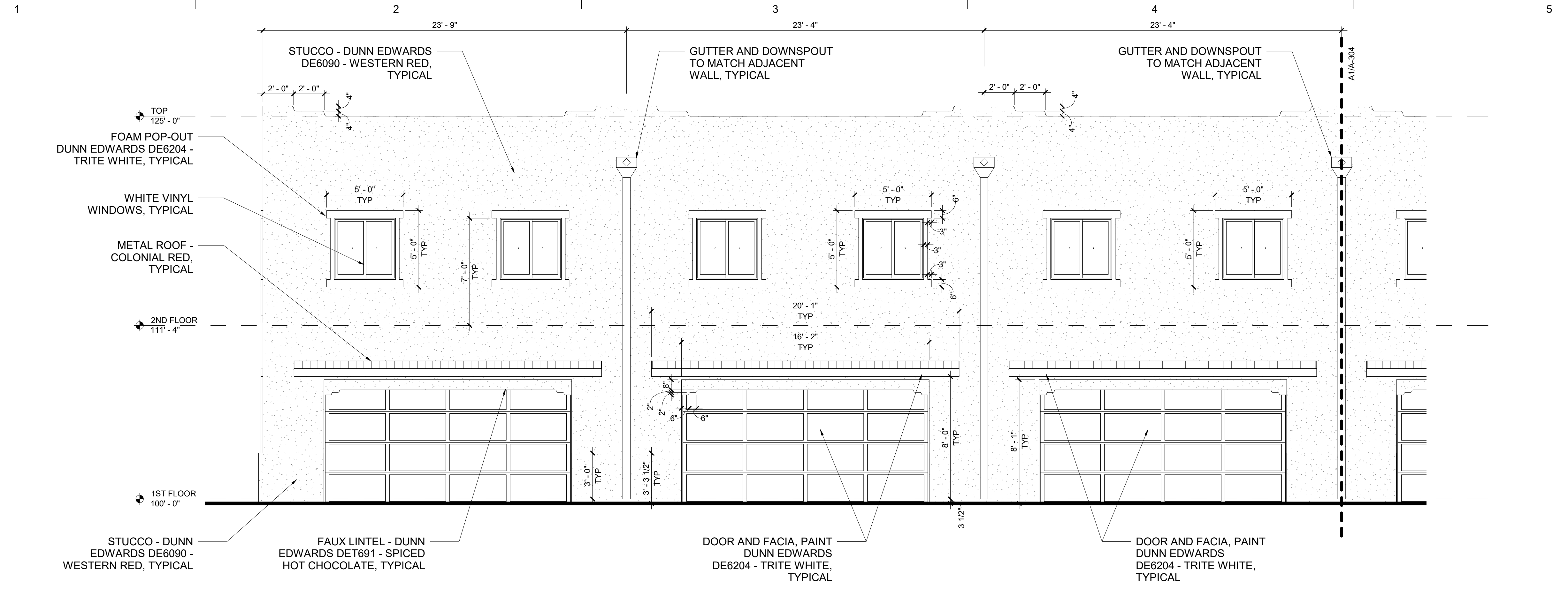
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SIX-PLEX**

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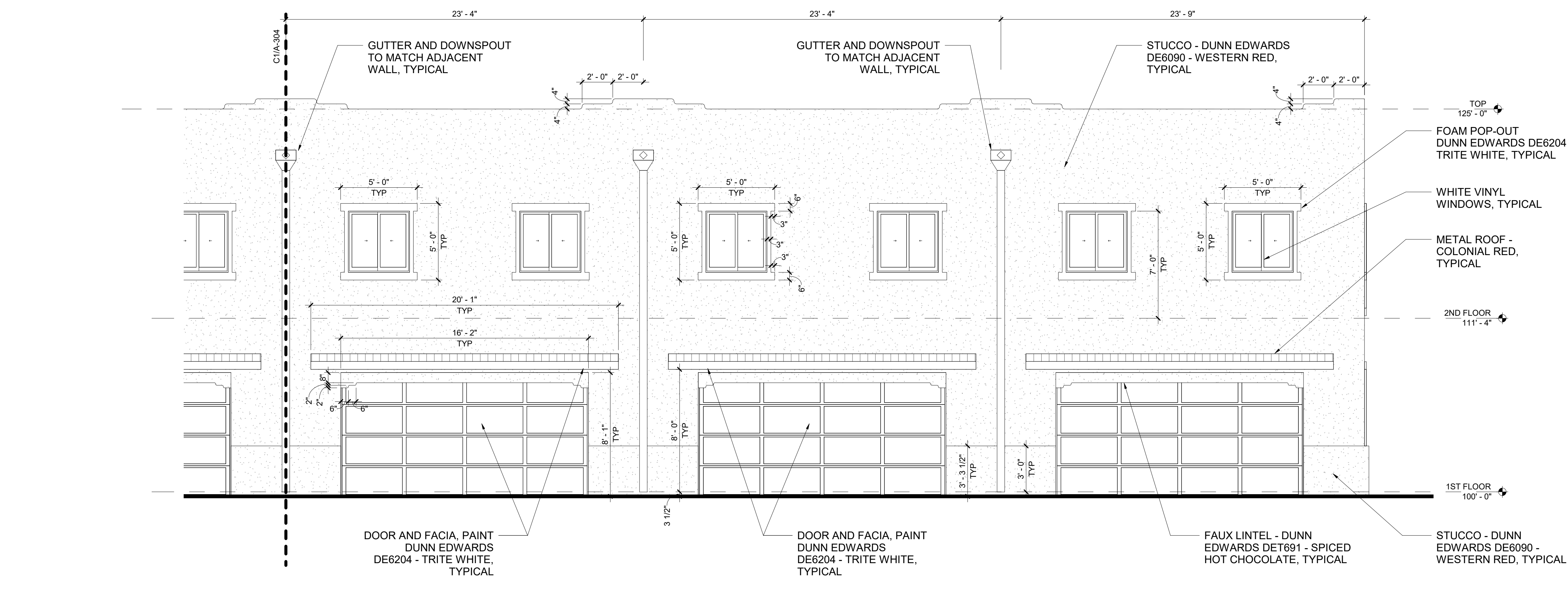
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SHEET NAME  
ELEVATIONS - SIX PLEX

**A-303**



**C1** NORTH ELEVATION - SIX PLEX  
SCALE: 1/4" = 1'-0"

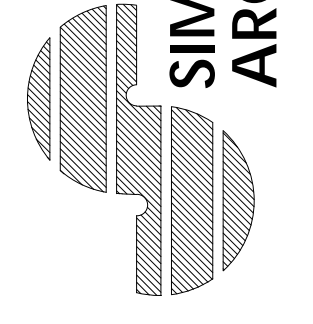


**A1** NORTH ELEVATION - SIX PLEX  
SCALE: 1/4" = 1'-0"



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ADAGIO TOWNHOMES  
SIX-PLEX

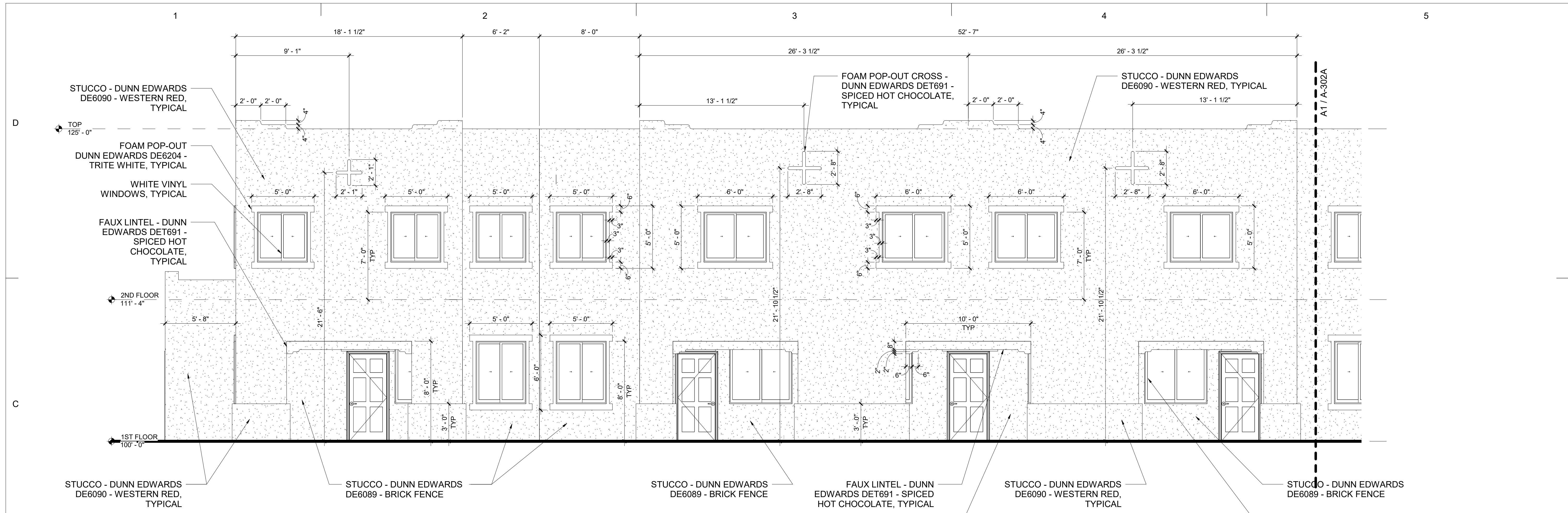
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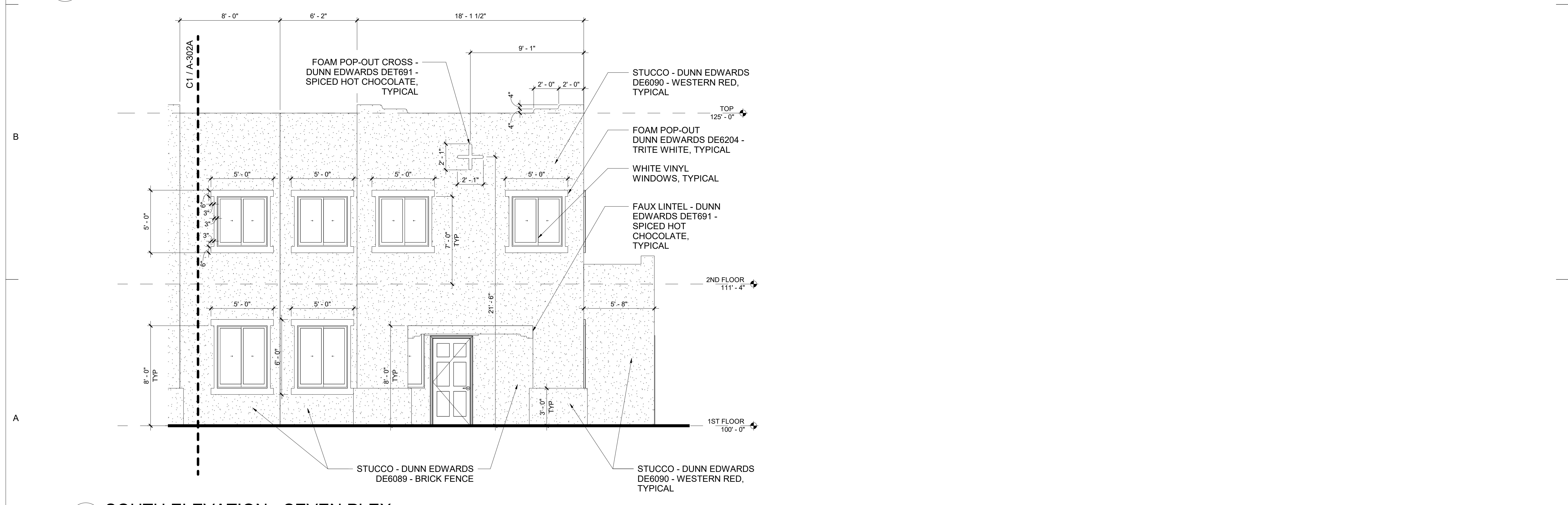
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ELEVATIONS - SIX PLEX

**A-304**

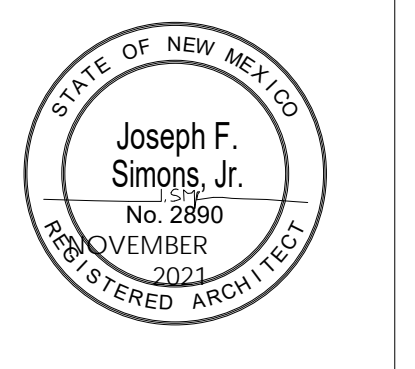




**C1 SOUTH ELEVATION - SEVEN PLEX**  
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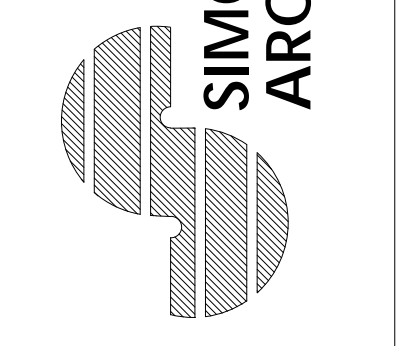


**A1 SOUTH ELEVATION - SEVEN PLEX**  
SCALE: 1/4" = 1'-0"



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joe@smonsarchitecture.com



**ADAGIO TOWNHOMES  
FIVE-PLEX**  
Enter address here

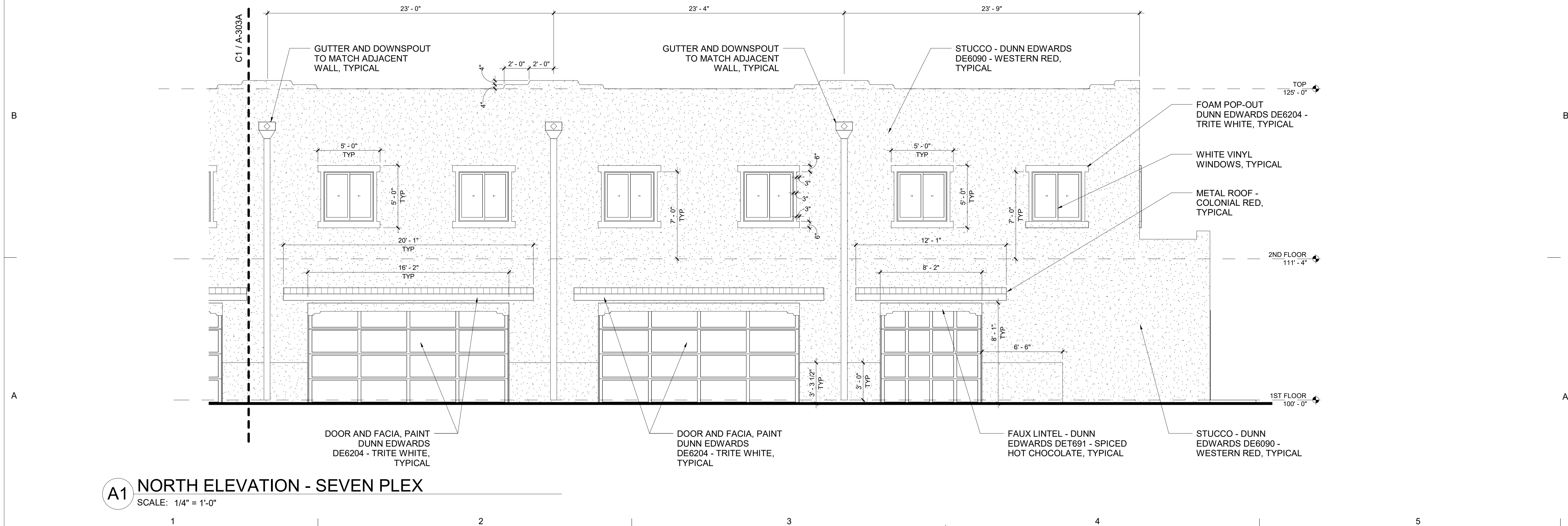
JOB NUMBER  
XX-XXX  
DATE  
NOVEMBER 2021  
REVISIONS

DESIGNED & DRAWN BY  
Author  
SHEET NAME  
ELEVATIONS - SEVEN  
PLEX

**A-302A**



**C1 NORTH ELEVATION - SEVEN PLEX**  
SCALE: 1/4" = 1'-0"

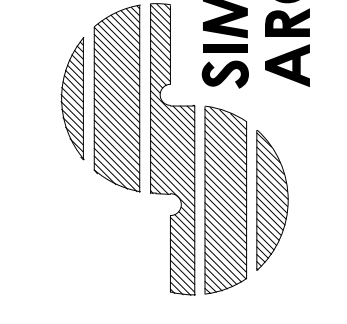


**A1 NORTH ELEVATION - SEVEN PLEX**  
SCALE: 1/4" = 1'-0"



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DATE  
NOVEMBER 2021  
REVISIONS

DESIGNED & DRAWN BY  
JFS  
SHEET NAME  
ELEVATIONS - SEVEN  
PLEX

**A-303A**



Current DRC  
Project Number: \_\_\_\_\_

**FIGURE 12**

Date Submitted: October 15, 2021

**INFRASTRUCTURE LIST**

(Rev. 2-16-18)

**EXHIBIT "A"**

**TO SUBDIVISION IMPROVEMENTS AGREEMENT  
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

Date Site Plan Approved: \_\_\_\_\_  
Date Preliminary Plat Approved: \_\_\_\_\_  
Date Preliminary Plat Expires: \_\_\_\_\_  
DRB Project No.: \_\_\_\_\_  
DRB Application No.: \_\_\_\_\_

**ADAGIO APARTMENTS, TRACT A, CANTATA AT THE TRAILS UNIT 2.  
PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN**

**TRACT A, CANTATA AT THE TRAILS UNIT 2  
EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION**

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private		City Cnst Engineer
							Inspector	P.E.	
<input type="text"/>	<input type="text"/>	8" DIA	NEW PUBLIC WATER MAIN ~400'	OAKRIDGE STREET	EXISTING WATER LINE AT RED STONE ROAD	EAST PROPERTY BOUNDARY	/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The Items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
Approval of Creditable Items:							Approval of Creditable Items:		
Impact Fee Administrator Signature      Date							City User Dept. Signature      Date		


**NOTES**

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.  
Street lights per City requirements.

- 1 \_\_\_\_\_  
\_\_\_\_\_
- 2 \_\_\_\_\_  
\_\_\_\_\_
- 3 \_\_\_\_\_  
\_\_\_\_\_

**AGENT / OWNER**

**DEVELOPMENT REVIEW BOARD MEMBER APPROVALS**

**JEREMY SHELL**  
NAME (print)  
  
**RESPEC**  
FIRM  
  
SIGNATURE - date

\_\_\_\_\_  
DRB CHAIR - date  
  
\_\_\_\_\_  
TRANSPORTATION DEVELOPMENT - date  
  
\_\_\_\_\_  
UTILITY DEVELOPMENT - date  
  
\_\_\_\_\_  
CITY ENGINEER - date

\_\_\_\_\_  
PARKS & RECREATION - date  
  
\_\_\_\_\_  
AMAFCA - date  
  
\_\_\_\_\_  
CODE ENFORCEMENT - date  
  
\_\_\_\_\_  
- date

**DESIGN REVIEW COMMITTEE REVISIONS**

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER