



DEVELOPMENT REVIEW BOARD
SUPPLEMENTAL SUBMITTAL

(Deadline is Friday at noon unless noted on 2019 agenda – late submittals will not be accepted unless approved by the DRB)

PROJECT NO. PR-2019-002277
Application No. SI-2019-00246

TO:

Planning Department/Chair

Hydrology

Transportation Development

Albuquerque/ Bernalillo Co. WUA

Code Enforcement

*(Please attach this sheet with each collated set for each board member)

NOTE: ELECTRONIC VERSION (ie disk, thumbdrive) is Required. Submittal will not be accepted without.

DRB SCHEDULED HEARING DATE: 11/5/2021 HEARING DATE OF DEFERRAL: 10/20/2021

SUBMITTAL DESCRIPTION: DRB Site Plan Resubmittal.

CONTACT NAME: Jeremy Shell

TELEPHONE: 505.918.1053 EMAIL: jeremy.shell@respec.com



November 5, 2021

Development Review Board
City of Albuquerque, Planning

**RE: Adagio Apartments
PR-2019-002277**

Dear Madam Chair and Members of the DRB:

This letter is intended to address comments received related to the Site Plan application heard on October 20, 2021.

ABCWUA

- / Serviceability letter #190401 has been issued and provides the requirements for service. Public waterline and sanitary sewer extensions are required in this serviceability letter. An infrastructure list will be required.
 - *Response: Acknowledged.*

- / This development was required to extend public sanitary sewer along its frontage along Oakridge St. so that Tract 3 is able to obtain service. Current proposed service connection locations in this area would negate the need for this extension. To process this, a revision to the serviceability letter and development agreement are required.
 - *Response: Acknowledged.*

- / Pro rata is owed and shall be paid prior to approval of the site plan.
 - Sanitary sewer: \$14,468.13
 - Water: \$4,215.48
 - *Response: Acknowledged.*

- / Utility Plan
 - The connection to the manhole in Oakridge will need to be a private connection. The force main onsite will not be publicly maintained. Preferably the force main would tie into a manhole onsite which would gravity flow into the public main.
 - *Response: Agreed. See revised utility plan attached.*
 - Call out the connection location and sizes for each connection.
 - *Response: Connection locations and sizes have been called out. See revised utility plan attached.*
 - Public waterline and sanitary sewer is not desired onsite.
 - *Response: No public waterline nor sanitary sewer is being proposed onsite.*

7770 JEFFERSON ST., NE
SUITE 200
ALBUQUERQUE, NM 87109
505.268.2661



- / Landscape Plan
 - o There is proposed landscaping along the existing waterline near the southwest corner of the subject development. Please confirm trees will not be installed along the existing waterline easement.
 - *Response: Trees will not be installed within the existing waterline easement. See landscape plan attached.*
- / For information only.
 - o The development agreement was approved by the Water Authority Board and has been executed.
 - *Response: Acknowledged.*
 - o Revisions to the development agreement require board approval.
 - *Response: Acknowledged.*

Transportation

- / Provide a sidewalk exhibit for Oakridge Street showing the width of sidewalk and landscape buffer as well as the distance from back of curb to the property line.
 - o *Response: A detail has been provided on the attached site plan.*
- / List number of multi-housing units on plan. With the parking calculations, include bicycle parking and handicapped space calculations.
 - o *Response: The revised site plan attached includes parking calculations including bicycle parking and ADA spaces.*
- / Provide more detail at the entrance with regard to ADA accessibility, and provide civil details showing with additional curb ramp details as needed, sidewalk details showing 2% maximum sidewalk cross-slopes, crosswalks, handicapped parking spot details, bike rack details, etc. (Follow IDO/DPM guidelines on needed bike rack details.)
 - o *Response: See general note 1 on the revised site plan attached.*
- / Use keyed notes and graphics on the site plan to show curb ramp locations and bicycle parking space calculations.
 - o *Response: See revised site plan attached including keyed notes to show curb ramps. A bicycle parking location still needs to be determined and will be showed and called out in a subsequent submittal.*
- / Due to the curve for Oakridge Street, provide sight distance lines according to AASHTO Standards on both the site plan and landscaping plan and include the standard note for landscaping height restrictions. Make sure that no proposed landscaping interferes with sight distance.
 - o *Response: Sight triangles are provided at the entrance. The existing radius of Oak Ridge is approximately 510'. This is the minimum radius for a roadway having a speed limit of 35 mph. Sight distance and stopping sight distances are taken into account for these minimum radii requirements. I believe there is sufficient sight distance provided.*
- / Is there a main office with the apartment complex? Per the IDO, a 6 ft. wide ADA accessible pedestrian pathway is required from the public sidewalk to the office entrance. Also, a 6-foot ADA pathway is required from handicapped Please clearly show this pathway and provide details. Label width of all other pathways to the public sidewalk.
 - o *Response: There is no main office with this development. The main office at the Sonata apartments project will serve as the office for these apartments as well.*



- / It is not apparent what type of pavement surface is being proposed. A hard driving surface will be required as part of this proposed project for parking area and drive aisles.
 - o *Response: Asphalt pavement is being proposed. See keyed note 8 on the attached site plan.*
- / Has the Fire Marshall approved the plan? It is advisable to have a second emergency access. (It appears that second entrance could be accessed off of Oakridge with a new ADA-accessible drivepad.
 - o *Response: As discussed at the previous DRB hearing, the threshold for a secondary emergency access being required for a multi-family development is either 100 or more units or any building exceeding 30' in height. Neither of which is the case for this development. Therefore, no secondary emergency access is proposed.*
- / The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 "**Violators Are Subject to a Fine and/or Towing.**" This wording should be more visible on the plan. (Please call out detail and location of signs on the plans.)
 - o *Response: This detail is provided on the attached site plan.*
- / The ADA access aisles shall have the words "**NO PARKING**" in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978). This should be clearly called out on a note or a detail.
 - o *Response: This detail is provided on the attached site plan.*

Planning

- / The townhomes shall have a color palette consistent with the depiction on the color elevations included in the October 20 supplemental submittal from the applicant.
 - o *Response: Revised architectural elevations attached provides color labels consistent with the rendering provided.*
- / All Site Plan sheets must be sealed and signed by a design professional licensed in the State of New Mexico. The Landscape Plan must be sealed and signed by a Landscape Architect licensed in the State of New Mexico.
 - o *Response: All sheets with this submittal have been stamped and sealed by a design professional.*
- / The project and application numbers must be added to the Site Plan prior to final sign off by Planning.
 - o *Response: Project and application numbers have been added to the site plan. See revised site plan attached.*
- / An Infrastructure List is included with this application. A recorded IIA must be submitted prior to final sign off of the Site Plan by Planning.
 - o *Response: Acknowledged.*



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If you should have any further comments, questions, or concerns, please feel free to reach out to me at your convenience.

Thank you,

A handwritten signature in blue ink, appearing to read 'J. Shell', on a white background.

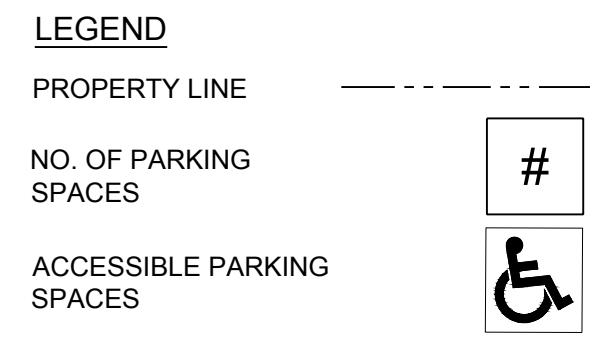
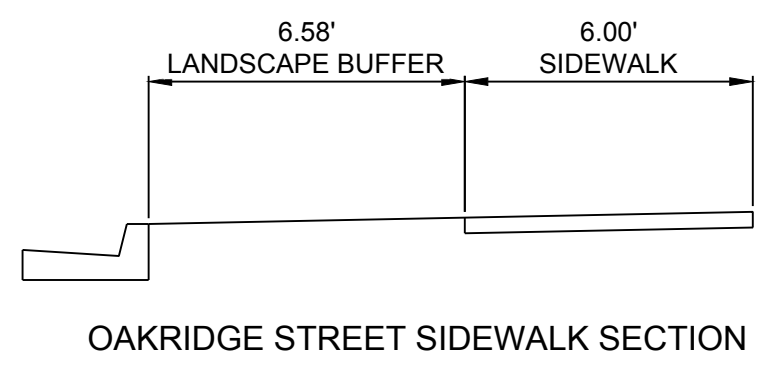
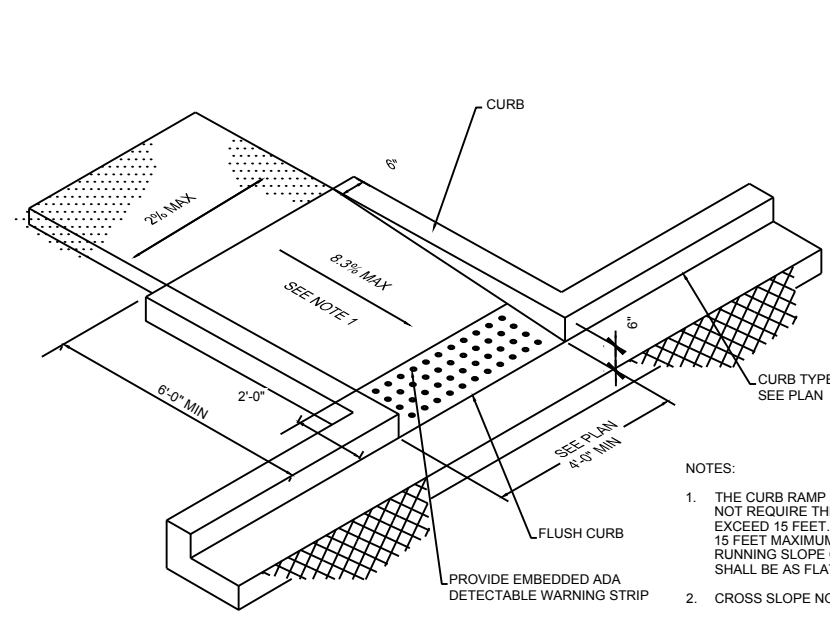
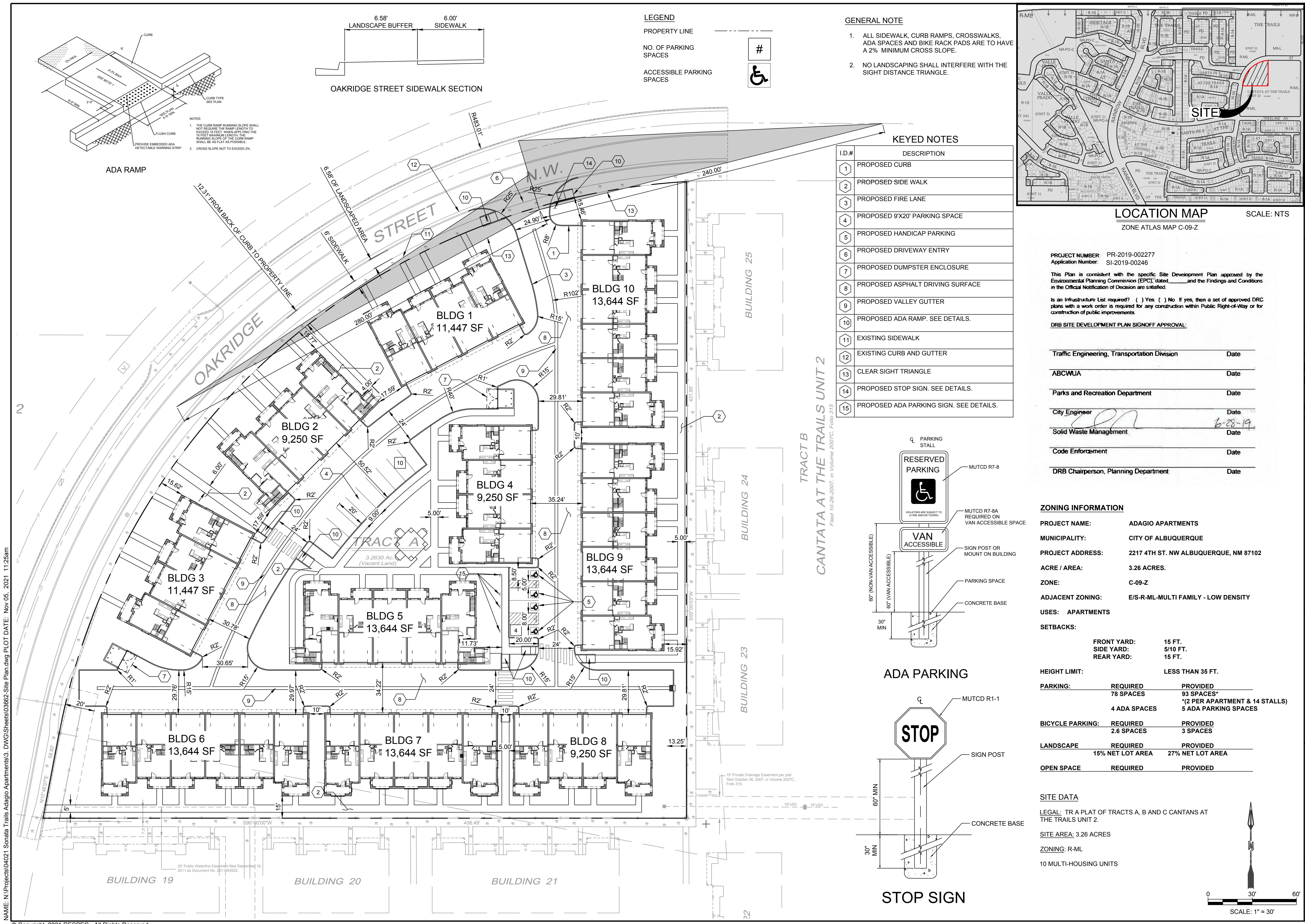
Jeremy Shell, PE

RESPEC

Community Design Solutions

505.918.1053 cell

jeremy.shell@respec.com

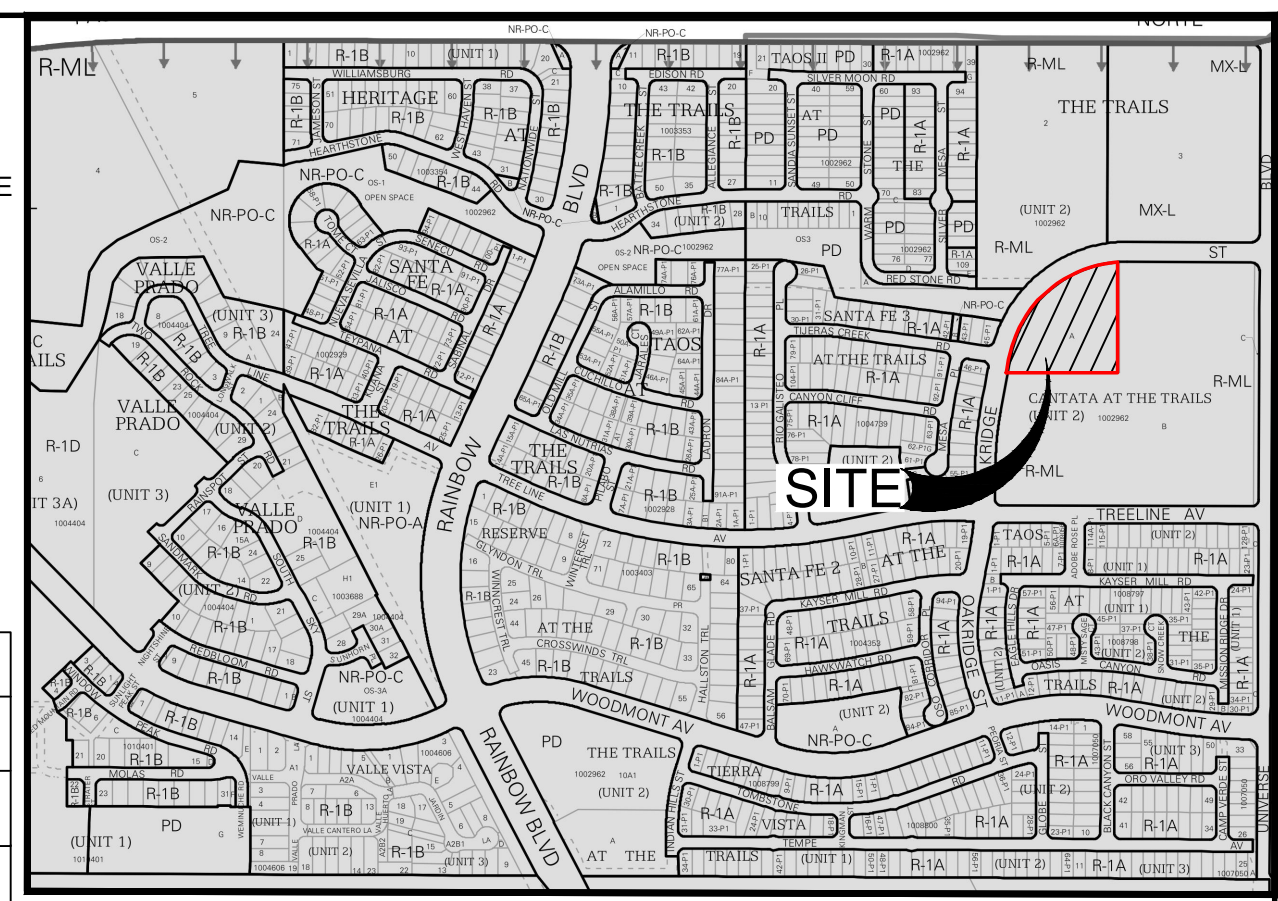


GENERAL NOTE

- ALL SIDEWALK, CURB RAMPS, CROSSWALKS, ADA SPACES AND BIKE RACK PADS ARE TO HAVE A 2% MINIMUM CROSS SLOPE.
- NO LANDSCAPING SHALL INTERFERE WITH THE SIGHT DISTANCE TRIANGLE.

KEYED NOTES

I.D.#	DESCRIPTION
1	PROPOSED CURB
2	PROPOSED SIDE WALK
3	PROPOSED FIRE LANE
4	PROPOSED 9'X20' PARKING SPACE
5	PROPOSED HANDICAP PARKING
6	PROPOSED DRIVEWAY ENTRY
7	PROPOSED DUMPSTER ENCLOSURE
8	PROPOSED ASPHALT DRIVING SURFACE
9	PROPOSED VALLEY GUTTER
10	PROPOSED ADA RAMP. SEE DETAILS.
11	EXISTING SIDEWALK
12	EXISTING CURB AND GUTTER
13	CLEAR SIGHT TRIANGLE
14	PROPOSED STOP SIGN. SEE DETAILS.
15	PROPOSED ADA PARKING SIGN. SEE DETAILS.



LOCATION MAP
SCALE: NTS
ZONE ATLAS MAP C-09-Z

PROJECT NUMBER: PR-2019-002277
 Application Number: SI-2019-00246

This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No. If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
City Engineer	Date 6-28-19
Solid Waste Management	Date
Code Enforcement	Date
DRB Chairperson, Planning Department	Date

ZONING INFORMATION

PROJECT NAME: ADAGIO APARTMENTS
 MUNICIPALITY: CITY OF ALBUQUERQUE
 PROJECT ADDRESS: 2217 4TH ST. NW ALBUQUERQUE, NM 87102
 ACRE / AREA: 3.26 ACRES.
 ZONE: C-09-Z
 ADJACENT ZONING: E/S-R-ML-MULTI FAMILY - LOW DENSITY
 USES: APARTMENTS

SETBACKS:

FRONT YARD:	15 FT.
SIDE YARD:	5/10 FT.
REAR YARD:	15 FT.

HEIGHT LIMIT: LESS THAN 35 FT.

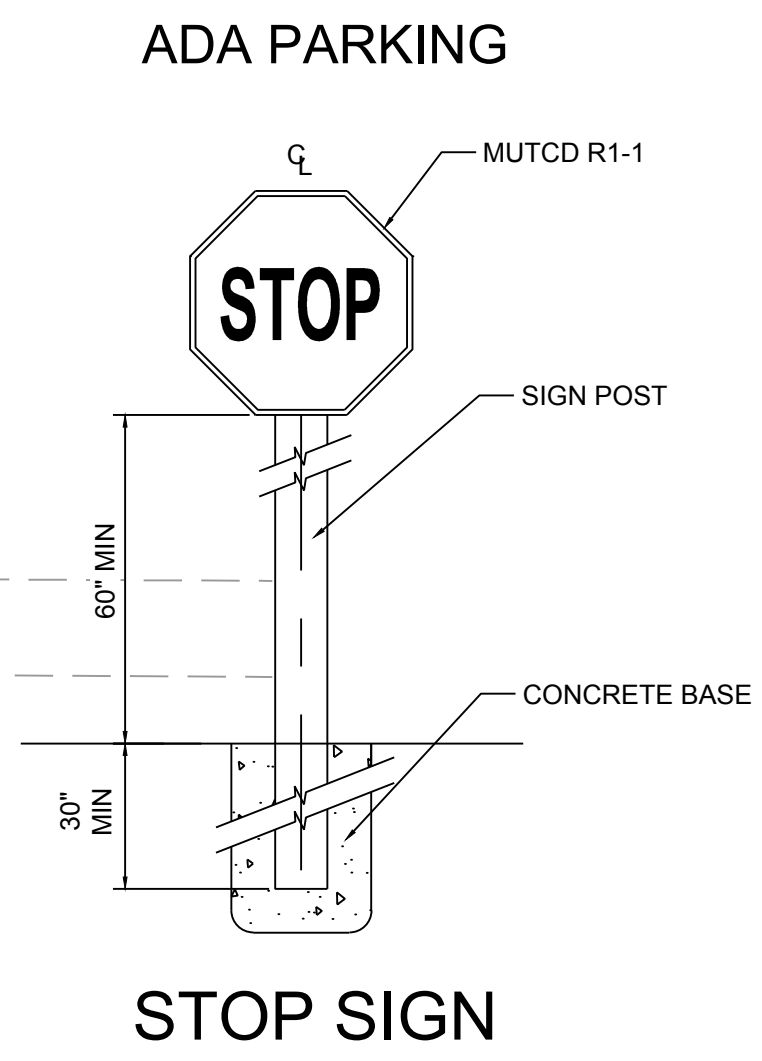
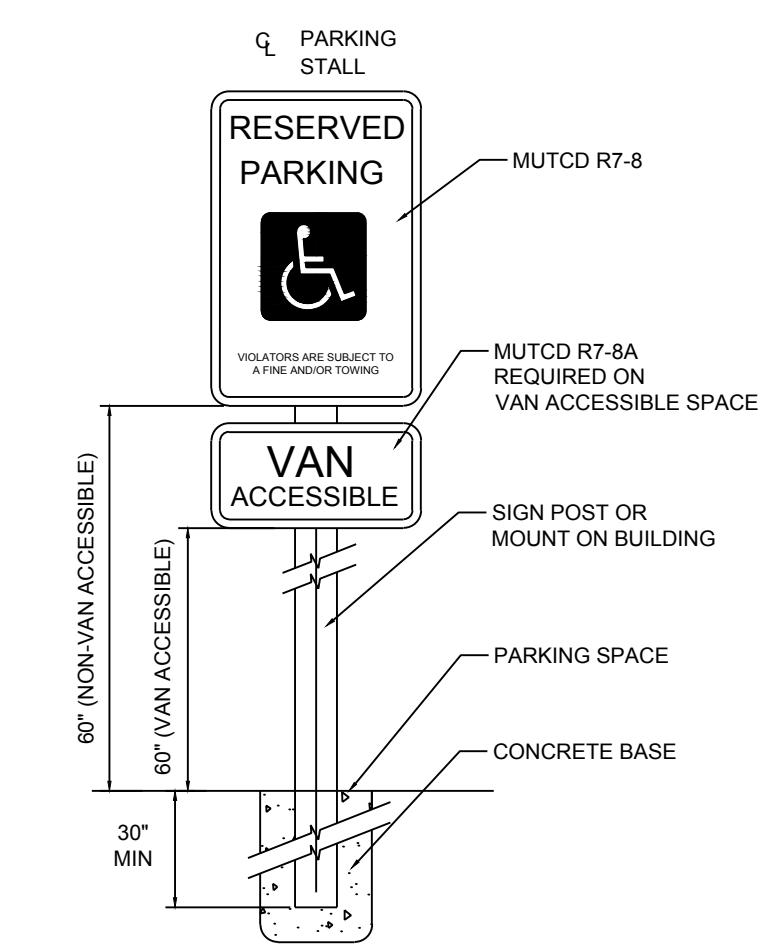
PARKING:

REQUIRED	PROVIDED
78 SPACES	93 SPACES*
4 ADA SPACES	*(2 PER PARKING & 14 STALLS) 5 ADA PARKING SPACES

BICYCLE PARKING: REQUIRED 2.6 SPACES, PROVIDED 3 SPACES

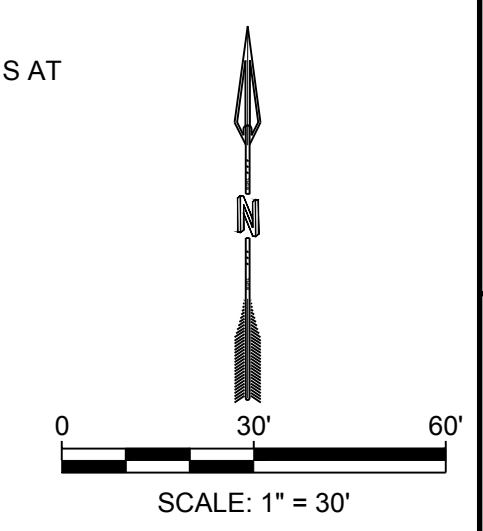
LANDSCAPE: REQUIRED 15% NET LOT AREA, PROVIDED 27% NET LOT AREA

OPEN SPACE: REQUIRED, PROVIDED



SITE DATA

LEGAL: TR A PLAT OF TRACTS A, B AND C CANTANS AT THE TRAILS UNIT 2.
 SITE AREA: 3.26 ACRES
 ZONING: R-ML
 10 MULTI-HOUSING UNITS



NAME: N:\Projects\04021_Sonata Trails Adagio Apartments\3_DWG\Sheets\03682_Site Plan.dwg PLOT DATE: Nov 05, 2021 11:25am

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DESIGNED: _____ DRAWN: _____ CHECKED: _____ DATE: 11.05.2021

RESPEC 5871 JEFFERSON STREET SUITE 101 ALBUQUERQUE, NM 87109 WWW.RESPEC.COM 505.253.9718

STAMP: JEREMY W. SHELL PROFESSIONAL ENGINEER 26341 11/5/21

THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED.

PROJECT NAME: ADAGIO APARTMENTS

SHEET TITLE: SITE PLAN

DRB SITE PLAN

SHEET NUMBER: C-100

GENERAL LANDSCAPE NOTES

LANDSCAPE DESIGN:
ALL PLANTING AREAS SHALL BE TOP DRESSED WITH MULCHES PER THE LEGEND.

IRRIGATION:
IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE SHALL BE STRICTLY ADHERED TO. A FULLY AUTOMATED IRRIGATION SYSTEM WILL BE USED TO IRRIGATE TREE, SHRUB AND GROUND COVER PLANTING AREAS. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO ISOLATE PLANT MATERIAL ACCORDING TO SOLAR EXPOSURE AND WILL BE SET UP BY PLANT ZONES ACCORDING TO WATER REQUIREMENTS. THE TREES WILL BE PROVIDED WITH (6) 5 GPH EMITTERS, WITH THE ABILITY TO BE EXPANDED TO ACCOMMODATE THE GROWTH OF THE TREE. SHRUBS AND GROUNDCOVERS WILL BE PROVIDED WITH (2) 2 GPH EMITTERS. TREES, SHRUBS, ACCENTS, AND GROUNDCOVERS WILL BE GROUPED ON THE SAME VALVE.

POINT OF CONNECTION FOR IRRIGATION SYSTEM SHALL BE PER THE UTILITY PLAN. POWER SHALL BE PROVIDED TO THIS POINT TO PROVIDE POSITIVE HEAT SOURCE TO THE BACKFLOW PREVENTER ENCLOSURE.

IRRIGATION SYSTEM WILL BE OPERATED BY AN AUTOMATIC CONTROLLER. LOCATION OF CONTROLLER TO BE FIELD DETERMINED AND POWER SOURCE FOR CONTROLLER TO BE PROVIDED BY OTHERS.

RESPONSIBILITY OF MAINTENANCE:
MAINTENANCE OF ALL PLANTING AND IRRIGATION, INCLUDING THOSE WITHIN THE PUBLIC R.O.W., SHALL BE THE RESPONSIBILITY OF THE OWNER.

METHOD FOR COMPLYING WITH WATER CONSERVATION ORDINANCE
THE LANDSCAPE PLAN SHALL LIMIT THE PROVISION OF HIGH WATER USE TURF TO A MAXIMUM OF 20 PERCENT OF THE REQUIRED LANDSCAPED AREA. THE PLANT PALETTE IS PREDOMINANTLY COMPRISED OF PLANTS WITH LOW TO MEDIUM WATER USE REQUIREMENTS, THEREBY MINIMIZING IRRIGATION NEEDS WHILE ENSURING THE VIABILITY OF THE PLANTS. AN EVAPOTRANSPIRATION MANAGEMENT CONTROLLER WILL BE INCLUDED IN THE DESIGN OF THE IRRIGATION SYSTEM TO MONITOR WEATHER CONDITIONS SO THAT THE OPTIMUM MOISTURE BALANCE IS ACHIEVED AND THE POSSIBILITY OF OVER-WATERING IS REDUCED.

PNM COORDINATION:
COORDINATION WITH PNM'S NEW SERVICE DELIVERY DEPARTMENT IS NECESSARY REGARDING PROPOSED TREE LOCATION AND HEIGHT, SIGN LOCATION AND HEIGHT, AND LIGHTING HEIGHT IN ORDER TO ENSURE SUFFICIENT SAFETY CLEARANCES.

SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO ELECTRIC UTILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET IN FRONT AND AT LEAST FIVE FEET ON THE REMAINING THREE SIDES SURROUNDING ALL GROUND-MOUNTED EQUIPMENT FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

CLEAR SIGHT DISTANCE:
LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE AREA.

LANDSCAPE AREA COVERAGE:
TOTAL SITE AREA: 142,491 SF (3.27 AC)
BUILDING AREA (BUILDING ENVELOPE): -59,145 SF
NET AREA: 83,346 SF

REQUIRED LANDSCAPE AREA (15% OF NET AREA): 12,502 SF
PROVIDED LANDSCAPE AREA: 37,230 SF (45%)

OPEN SPACE REQUIREMENTS
300 SF OF OPEN SPACE REQUIRED PER 3-BEDROOM UNIT
OPEN SPACE REQUIRED (52 X 300 SF): 15,600 SF
OPEN SPACE PROVIDED: 37,230 SF

LANDSCAPE LIVE VEGETATIVE COVERAGE:
LANDSCAPE COVERAGE REQUIREMENTS SPECIFY LANDSCAPE AREAS TO HAVE A 75% COVERAGE OF LIVE VEGETATIVE MATERIAL. THE PROJECT WILL PROVIDE A MINIMUM OF 75% LIVE VEGETATIVE COVERAGE OF THE REQUIRED LANDSCAPE AREA. A MINIMUM OF 25% COVERAGE OF THE TOTAL LANDSCAPED AREA SHALL BE ACHIEVED BY GROUND-LEVEL PLANTS.

PROVIDED LIVE VEGETATIVE MATERIAL COVERAGE: 43,850 SF (118%)
PROVIDED GROUND-LEVEL PLANTS: 10,068 SF (27%)

LANDSCAPE TURF:
10% OF LANDSCAPED AREAS MAY BE IRRIGATED TURF.
TURF ALLOWED: 3,723 SF
TURF PROVIDED: 983 SF (3%)

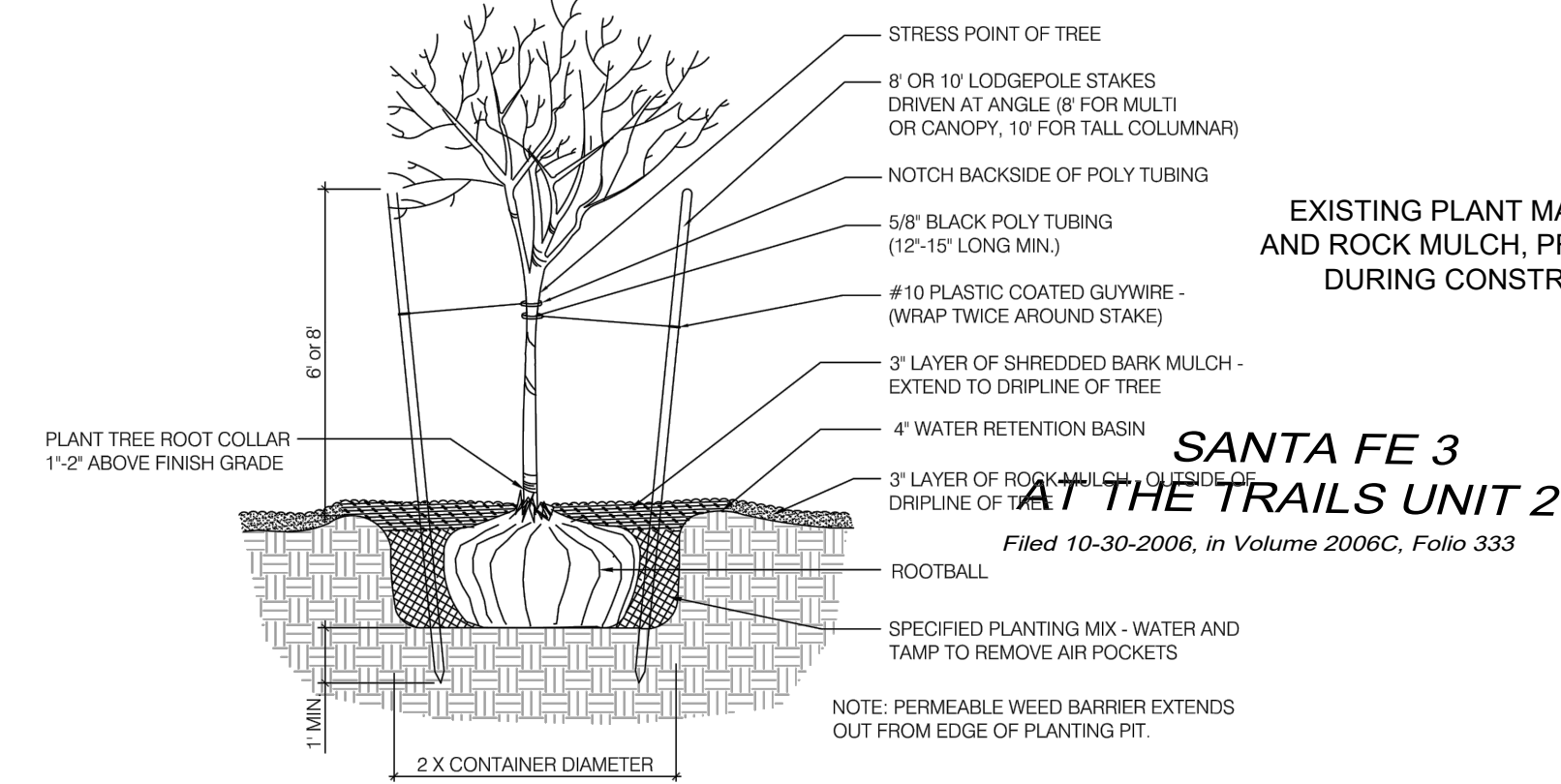
SITE TREES
1 TREE REQUIRED PER UNIT.
SITE TREES REQUIRED: 52
SITE TREES PROVIDED: 62

PARKING LOT TREES:
THE PROJECT IS PROVIDING 15 PARKING SPACES. PARKING LOT TREE REQUIREMENTS ARE BASED UPON 1 TREE PER 10 SPACES.
PARKING LOT TREES REQUIRED: 2
PARKING LOT TREES PROVIDED: 4

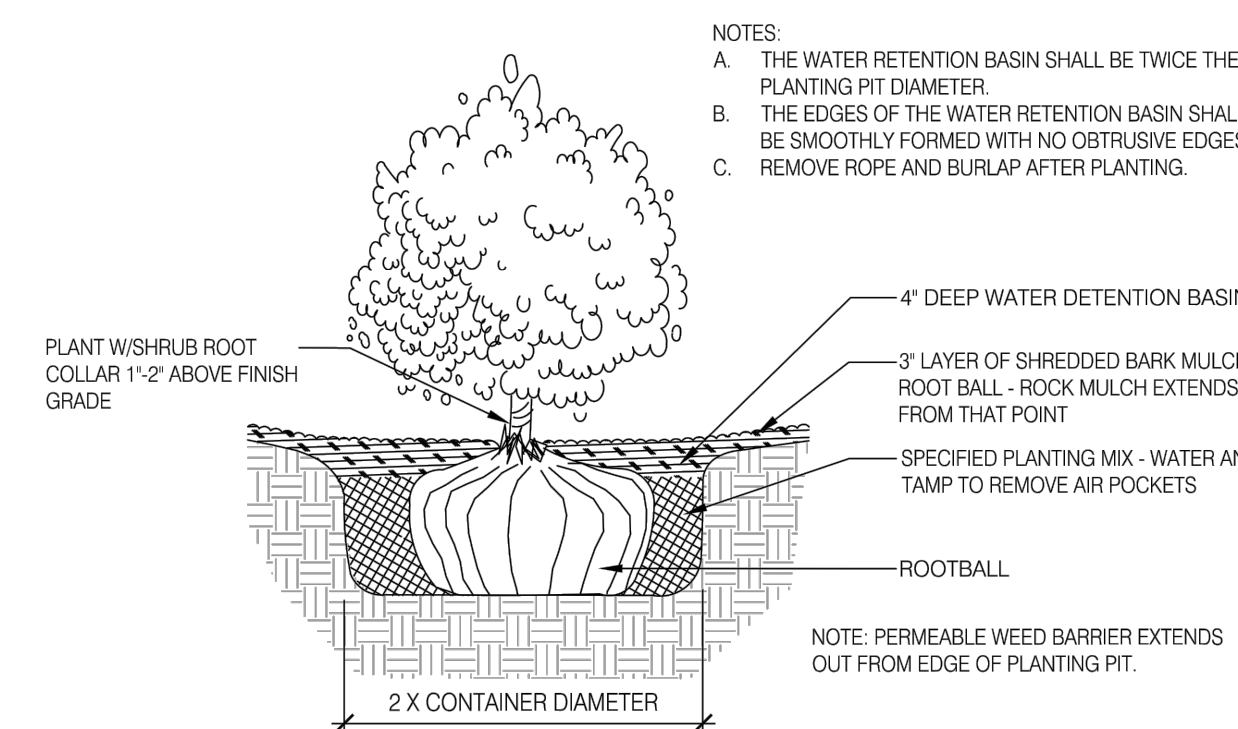
STREET TREES:
OAK RIDGE STREET NW IS A MAJOR COLLECTOR AND THEREFORE REQUIRES STREET TREES. STREET TREE REQUIREMENTS ARE BASED ON AN AVERAGE SPACING OF 35' O.C.

OAK RIDGE STREET FRONTAGE IS 695'.
STREET TREES REQUIRED: 20
STREET TREES PROVIDED: 20

NOTES:
A. THE WATER RETENTION BASIN SHALL BE TWICE THE PLANTING PIT DIAMETER.
B. THE EDGES OF THE WATER RETENTION BASIN SHALL BE SMOOTHLY FORMED WITH NO OBTRUSIVE EDGES.
C. REMOVE ROPE AND BURLAP AFTER PLANTING.



TREE PLANTING DETAIL

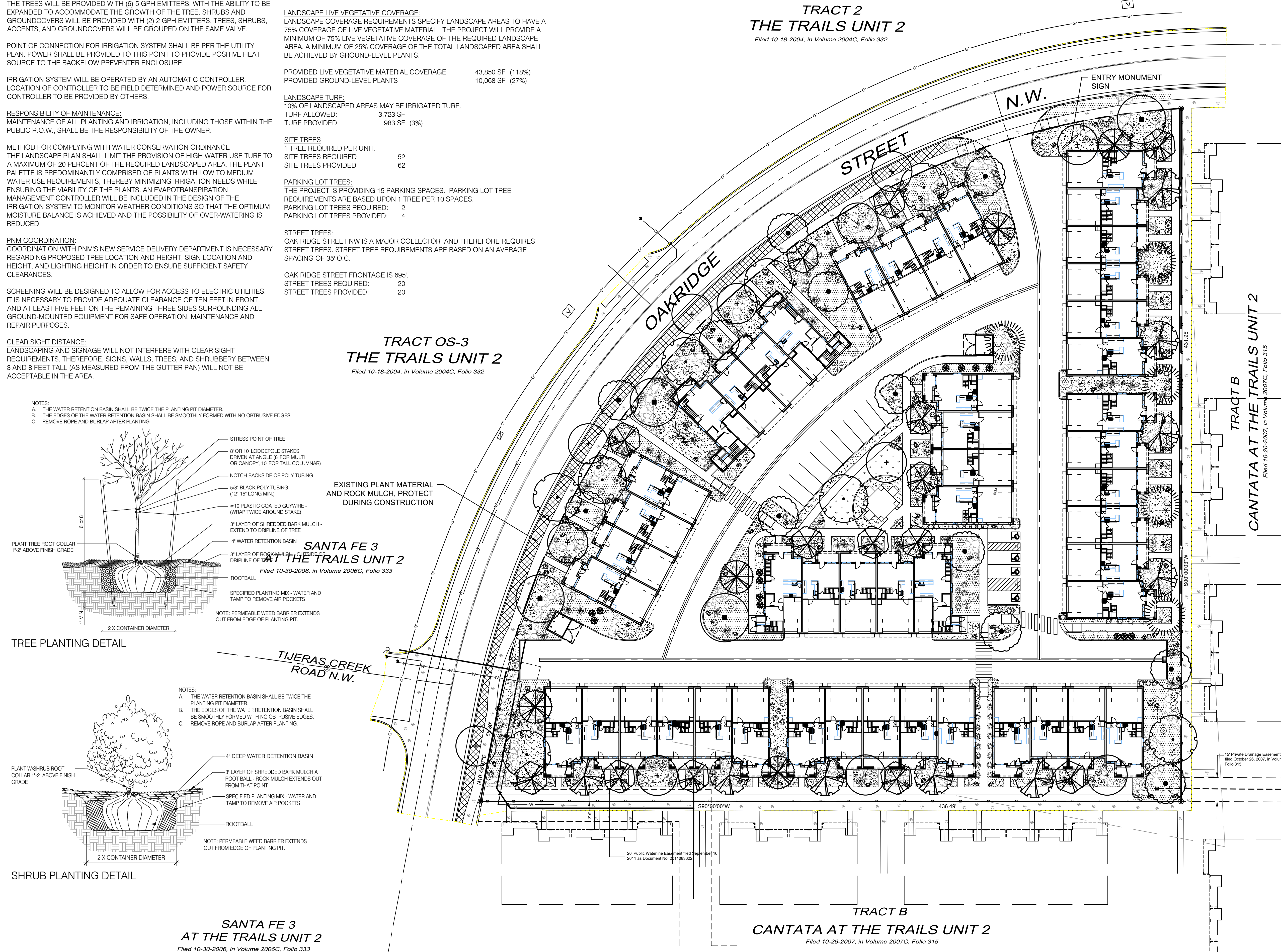


SHRUB PLANTING DETAIL

**SANTA FE 3
AT THE TRAILS UNIT 2**
Filed 10-30-2006, in Volume 2006C, Folio 333

**TRACT 2
THE TRAILS UNIT 2**
Filed 10-18-2004, in Volume 2004C, Folio 332

**TRACT 3
THE TRAILS UNIT 2**
Filed 10-18-2004, in Volume 2004C, Folio 332

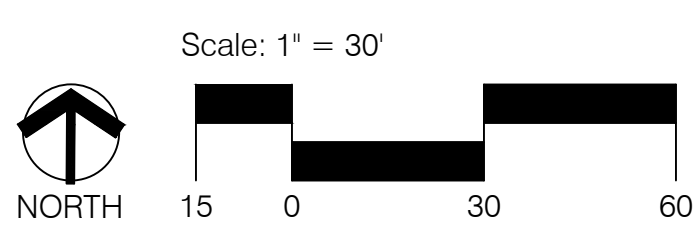


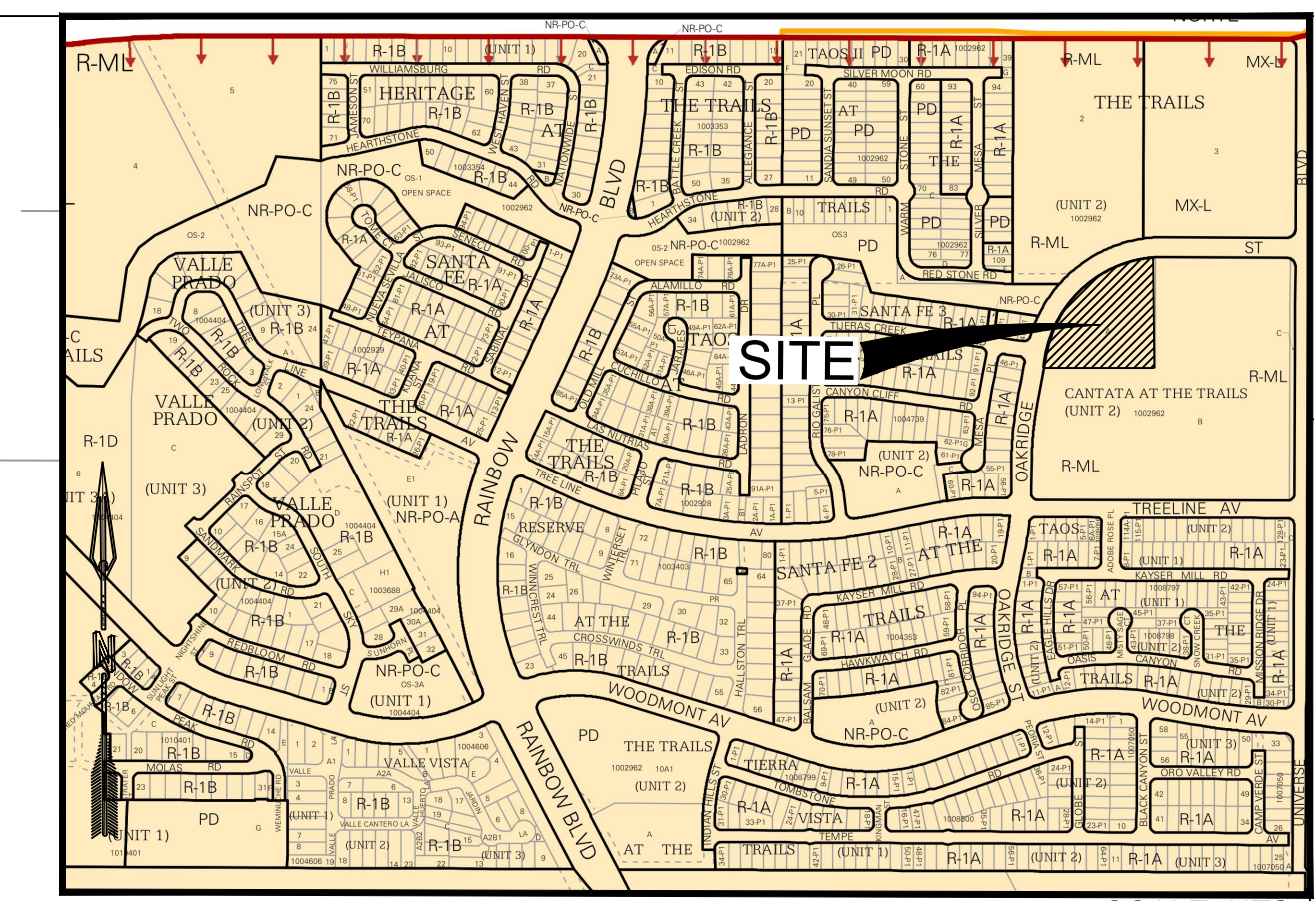
PLANT LEGEND

QTY.	SYMBOL	SCIENTIFIC NAME COMMON NAME	SIZE	INSTALLED SIZE MATURE SIZE	WATER USE
TREES					
9	[Symbol]	ACER TATARICUM 'GARANN' HOT WINGS MAPLE	2" B&B	20HT. X 24' SPR.	MED+
14	[Symbol]	CHLOPSIS LINEARIS 'BUBBA' BUBBA DESERT WILLOW	8' MS	20 HT. X 20' SPR.	LOW+
12	[Symbol]	FRAXINUS OXYCARPA RAYWOOD RAYWOOD ASH	2.5" B&B	35' HT. X 25' SPR.	MED+
15	[Symbol]	JUNIPERUS SCOPULORUM 'SKYROCKET' SKYROCKET JUNIPER	15 GAL	12' HT. X 5' SPR.	LOW+
5	[Symbol]	PINUS NIGRA AUSTRIAN PINE	B&B	35' HT. X 25' SPR.	MED
4	[Symbol]	PISTACIA ATLANTICA X RED PUSH RED PUSH PISTACHE	2.5" B&B	40' HT. X 30' SPR.	MED
8	[Symbol]	ULMUS CARP. X PARV. 'FRONTIER' FRONTIER ELM	2.5" B&B	40' HT. X 30' SPR.	MED+
12	[Symbol]	PYRUS CALLERYANA 'AUTUMN BLAZE' AUTUMN BLAZE PEAR	2.5" B&B	30' HT. X 25' SPR.	MED+
5	[Symbol]	VITEX AGNUS-CASTUS PURPLE CHASTETREE (MULTI-TRUNK)	15-GAL	20' HT. X 20' SPR.	MED
SHRUBS AND GROUNDCOVERS					
52	[Symbol]	ACHILLEA MOONSHINE MOONSHINE YARROW	1-GAL	2' HT. X 2' SPR.	MED
30	[Symbol]	BUDDLEIA DAVIDII 'NAN-HOENSIS' DWARF BLUE BUTTERFLY BUSH	5-GAL	4' HT. X 4' SPR.	MED
32	[Symbol]	CARYOPTERIS CLAN. 'DARK KNIGHT' DARK KNIGHT SPIREA	5-GAL	4' HT. X 4' SPR.	LOW
40	[Symbol]	CYTISUS SCOPARIUS 'ALL GOLD' ALL GOLD SCOTCH BROOM	5GAL	4' HT. X 4' SPR.	LOW
37	[Symbol]	FALLUGIA PARADOXA APACHE PLUME	5-GAL	5' HT. X 5' SPR.	LOW
16	[Symbol]	JUNIPERUS HORIZ. 'BLUE CHIP' BLUE CHIP JUNIPER	5-GAL	1' HT. X 7' SPR.	MED
31	[Symbol]	JUNIPERUS SABINA 'BUFFALO' BUFFALO JUNIPER	5-GAL	1' HT. X 8' SPR.	MED
15	[Symbol]	NANDINA DOMESTICA 'GULFSTREAM' HEAVENLY BAMBOO	5-GAL	4' HT. X 4' SPR.	MED+
12	[Symbol]	PINUS MUGO 'PUMILIO' DWARF MUGO PINE	5-GAL	4' HT. X 6' SPR.	MED
38	[Symbol]	POTENTILLA FRUTICOSA 'JACKMANII' JACKMAN'S SHRUBBY CINQUEFOIL	5-GAL	3' HT. X 3' SPR.	MED
22	[Symbol]	PRUNUS CISTENA CISTENA PLUM	5-GAL	6' HT. X 6' SPR.	MED
37	[Symbol]	RHUS AROMATICA 'GRO-LOW' PROSTRATE SUMAC	5-GAL	2' HT. X 4' SPR.	LOW+
48	[Symbol]	SALVIA DORRII PURPLE SAGE	5-GAL	3' HT. X 3' SPR.	MED
23	[Symbol]	SALVIA GREGGII 'FURMAN'S RED' FURMAN'S RED AUTUMN SAGE	3-GAL	30' HT. X 3' SPR.	MED
DESERT ACCENTS					
23	[Symbol]	DASYLIRION WHEELERI DESERT SPOON	5-GAL	4' HT. X 4' SPR.	LOW
43	[Symbol]	HESPERALOE PARVIFLORA 'BRAKELIGHTS' BRAKELIGHTS RED YUCCA	3-GAL	3' HT. X 3' SPR.	LOW
ORNAMENTAL GRASSES					
35	[Symbol]	CALAMOGROSTIS A. 'KARL FOERSTER' KARL FOERSTER FEATHER REED GRASS	5-GAL	30' HT. X 3' SPR.	MED
113	[Symbol]	MUHLENBERGIA C. 'REGAL MIST' MUHLY GRASS	5-GAL	3' HT. X 4' SPR.	MED
TURF GRASS					
878 SF	[Symbol]	REVELLE BLUEGRASS SOD			
MULCHES AND BOULDERS					
102	[Symbol]	BASALT BOULDERS (3x3' MIN)			
11,535 SF	[Symbol]	1/8" BUILDLOGY BROWN GRAVEL MULCH (3" DEPTH OVER FILTER FABRIC, DEWITT PRO-5 WEED CONTROL, OR EQUAL)			
12,965 SF	[Symbol]	3/8" GRAY CRUSHED GRAVEL MULCH (3" DEPTH OVER FILTER FABRIC, DEWITT PRO-5 WEED CONTROL, OR EQUAL)			
6,840 SF	[Symbol]	2"-4" SAN LAZARUS GOLD COBBLE (4" DEPTH OVER FILTER FABRIC, DEWITT PRO-5 WEED CONTROL, OR EQUAL)			
HARDSCAPE					
	[Symbol]	6" CONCRETE EDGER AT TURF			

Prepared for:
RAINBOW PASEO, LLC

Prepared by:
CONSENSUS PLANNING, INC.



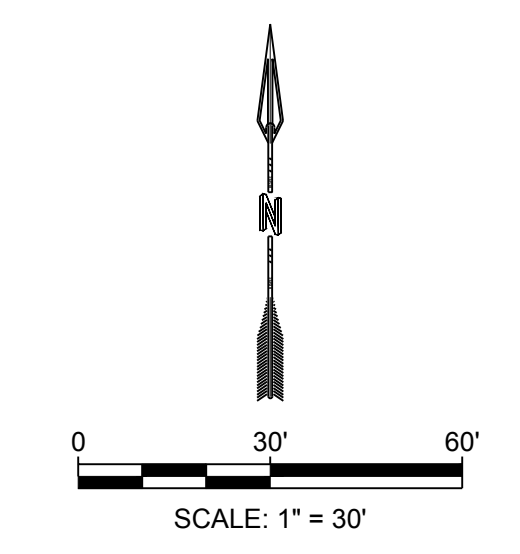


LOCATION MAP
ZONE ATLAS MAP C-9-Z

- GENERAL NOTE:**
- SEE ARCHITECTURAL SITE PLAN FOR ADDITIONAL SITE DETAILS.
 - ALL PROPOSED ELEVATIONS ARE AT FLOWLINE UNLESS OTHERWISE SPECIFIED.
 - ALL DRAINAGE INFRASTRUCTURE WILL BE PRIVATE.

LEGEND

- PROPERTY BOUNDARY
- - - 5430 EXISTING MAJOR CONTOUR
- - - 5430 EXISTING MINOR CONTOUR
- 5430 PROPOSED MAJOR CONTOUR
- 5430 PROPOSED MINOR CONTOUR
- - - EXISTING STORM DRAIN
- - - PROPOSED STORM DRAIN
- - - PROPOSED SPOT GRADE
- ⊙ EXISTING SANITARY SEWER MANHOLE
- ⊙ PROPOSED STORM DRAIN MANHOLE
- PROPOSED INLET GRATE



NAME: G:\Shared drives\NMP\Projects\03662 Rainbow Paseo Tract A\3_DWG\Sheets\03662 Grading Plan.dwg PLOT DATE: Aug 16, 2019 11:05am

Abiquiuque Control Survey Monument "UNION"
New Mexico State Plane Coordinates (Central Zone - NAD 83)
North = 1,823,903.476 feet
East = 1,493,655.030 feet
Elevation = 5244.650 feet
Ground To Grid Factor = 0.999664360

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<p>DESIGNED BJE DRAWN BJE CHECKED JS DATE 8.16.2019</p>	<p>RESPEC 5971 JEFFERSON STREET SUITE 101 ALBUQUERQUE, NM 87109 WWW.RESPEC.COM 505.253.9718</p>	<p>REVISION</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> </table>											<p>STAMP</p> <p>THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED</p>
<p>PROJECT NAME: ADAGIO APARTMENTS</p>		<p>SHEET TITLE: CONCEPT GRADING PLAN</p>											
<p>SUBMITTED FOR: DRB SITE PLAN</p>		<p>SHEET NUMBER: C-101</p>											

Hydrology Calculations

The following calculations are based on Albuquerque's Development Process Manual, Section 22.2

Runoff Rate:

Treatment Type Areas

Subbasin	Area _A (ac)	Area _B (ac)	Area _C (ac)	Area _D (ac)	Total (ac)
Subbasin 1.1	0.00	0.08	0.08	0.15	0.30
Subbasin 1.2	0.00	0.11	0.11	1.48	1.69
Subbasin 2.1	0.00	0.04	0.04	0.09	0.17
Subbasin 2.2	0.00	0.03	0.03	0.06	0.13
Subbasin 2.3	0.00	0.04	0.04	0.08	0.16
Subbasin 3.1	0.00	0.09	0.09	0.19	0.38
Subbasin 3.2	0.00	0.10	0.10	0.19	0.38
Subbasin 4.1	0.00	0.09	0.09	0.18	0.35
Subbasin 4.2	0.00	0.07	0.07	0.15	0.30
Subbasin 4.3	0.00	0.08	0.08	0.16	0.32
Total	0.00	0.73	0.73	2.73	4.18

Peak Discharge values based on Zone 1 from Table A-9

$Q_A = 1.29 \text{ cfs/ac}$ $Q_B = 2.03 \text{ cfs/ac}$ $Q_C = 2.87 \text{ cfs/ac}$ $Q_D = 4.37 \text{ cfs/ac}$

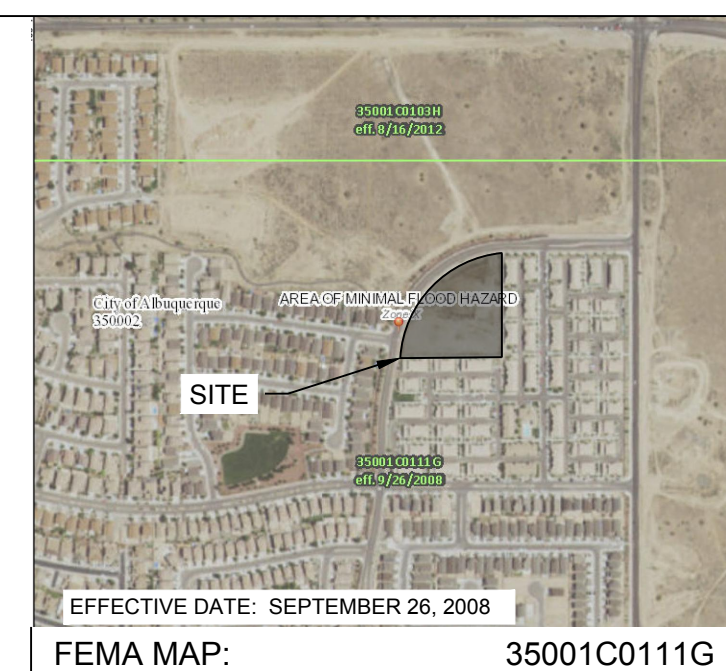
Peak Discharge calculation for a 100-yr, 24-hr storm event from equation A-10

Subbasin	Discharge (cfs)
Subbasin 1.1	1.0
Subbasin 1.2	7.0
Subbasin 2.1	0.6
Subbasin 2.2	0.4
Subbasin 2.3	0.5
Subbasin 3.1	1.3
Subbasin 3.2	1.3
Subbasin 4.1	1.2
Subbasin 4.2	1.0
Subbasin 4.3	1.1
Total	15.5

Water Quality:

Required Water Quality volume for first flush of 0.34"

Subbasin	Volume (cu. ft.)	Volume Provided (cu. ft.)
Subbasin 1.1	370	570
Subbasin 1.2	2,086	0
Subbasin 2.1	213	213
Subbasin 2.2	159	178
Subbasin 2.3	197	202
Subbasin 3.1	249	432
Subbasin 3.2	214	432
Subbasin 4.1	221	445
Subbasin 4.2	188	445
Subbasin 4.3	148	223
Total	3,709	2,473



BACKGROUND

TRACT A OF THE CANTANA AT THE TRAILS UNIT 2 IS APPROXIMATELY 3.26 ACRES IN THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO. THE PROPERTY IS LOCATED JUST WEST OF UNIVERSE BOULEVARD BETWEEN TREELINE AVENUE AND OAKRIDGE STREET. THE SITE CURRENTLY IS AN UNDEVELOPED LOT. THE PROPOSED PROJECT IS AN APARTMENT COMPLEX. THERE IS NO DESIGNATED 100-YEAR FLOODPLAIN SHOWN ON THE SITE. THE SITE RECEIVES SOME OFFSITE FLOWS FROM NEIGHBORING PROPERTY. THE PLAN IS IN COMPLIANCE WITH THE TRAILS DMP BY TEC, 2015.

METHODOLOGY

HYDROLOGY CALCULATIONS FOR THE SITE ARE PERFORMED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE TECHNICAL STANDARDS. THE RATIONAL METHOD WAS USED, BASED ON THE 100-YR, 24-HR STORM EVENT, TO CALCULATE PEAK FLOW RATES IN ORDER TO ENSURE ALL FLOW PATHS ARE SUFFICIENT TO CARRY FLOWS. THE REQUIRED DETENTION POND VOLUME WAS CALCULATED BASED ON THE DIFFERENCE BETWEEN PRE AND POST DEVELOPMENT PEAK DISCHARGES. ALL HYDROLOGIC AND HYDRAULIC CALCULATIONS CAN BE FOUND ON THIS SHEET.

EXISTING CONDITIONS

THE AREA, IN GENERAL, SLOPES TOWARDS LOW POINT AT CENTER OF PROPERTY AND EVENTUALLY DRAINS TO THE SOUTHEAST AT AN APPROXIMATE SLOPE OF 2% - 4% TO A LOW RETENTION BASIN APPROXIMATELY FOUR FEET DEEP. STORM WATER RUNOFF GENERATED BY TRACT A SHEET DRAINS INTO RETENTION BASIN LOCATED ON THE PROPERTY. THE LOT TO THE EAST, TRACT B, CURRENTLY DRAINS TO THE EAST TO A DETENTION BASIN ON THE EAST SIDE OF UNIVERSE BOULEVARD. THERE IS AN EXISTING STORM DRAIN CONNECTION NEAR THE SOUTH-EAST CORNER OF THE TRACT A PROPERTY BOUNDARY WITHIN A DRAINAGE EASEMENT AND IS AVAILABLE TO CONNECT TO. THE TRACT A STORMWATER DISCHARGE INTO THE EXISTING STORM DRAIN PIPING IS LIMITED TO 10 CFS PER THE STORM DRAIN HYDRAULIC ANALYSIS BY BHI ON OCTOBER 2, 2012 FOR CANTATA AT THE TRAILS (C-09/D001B).

PROPOSED CONDITIONS

THE PROPOSED DEVELOPMENT WILL CONSIST OF ASPHALT AND CONCRETE PAVING FOR PARKING AND DRIVING SURFACES AND 52 INDIVIDUAL APARTMENT BUILDINGS. THE BASIN HAS BEEN SPLIT INTO 4 MAIN SUBBASINS.

SUBBASIN 1 IS 1.89 ACRES AND GENERATES 8.0 CFS. THIS SUBBASIN CONSISTS PRIMARILY OF THE RUNOFF GENERATED BY ASPHALT ROAD SURFACE, PARKING LOT, APARTMENT BUILDINGS, AND OPEN SPACE. THE ROADWAY GENERALLY SLOPES SOUTH AND EAST FROM THE PROPOSED ENTRY OFF OF OAKRIDGE STREET NW TO CATCH BASINS AT THE ULTIMATE LOW POINT AT THE SOUTH-EAST END OF THE PROPERTY. RUNOFF EXISTS THE CATCH BASINS AND IS CONVEYED VIA 18" STORM DRAIN PIPING TO THE SOUTH-EAST AND CONNECTS TO AN EXISTING 18" STORM DRAIN LOCATED WITHIN THE 15' PRIVATE DRAINAGE EASEMENT. THE FLOW FROM THIS SUB-BASIN WILL BE REDUCED FROM 8.0 CFS TO 5.6 CFS VIA DETENTION PONDING AND FLOW RESTRICTION AT THE OUTFALL TO SATISFY THE 10 CFS LIMITATION DISCHARGING TO THE CANTATA STORM DRAIN.

SUBBASIN 2 IS 0.46 ACRES AND GENERATES 1.6 CFS. THIS SUBBASIN CONSISTS OF HALF THE ROOF AREA OF THE PROPOSED APARTMENT BUILDINGS, LANDSCAPING, AND RETENTION BASINS. THIS AREA WILL FLOW WEST VIA SWALES AND DISCHARGE INTO SUBBASIN 1.

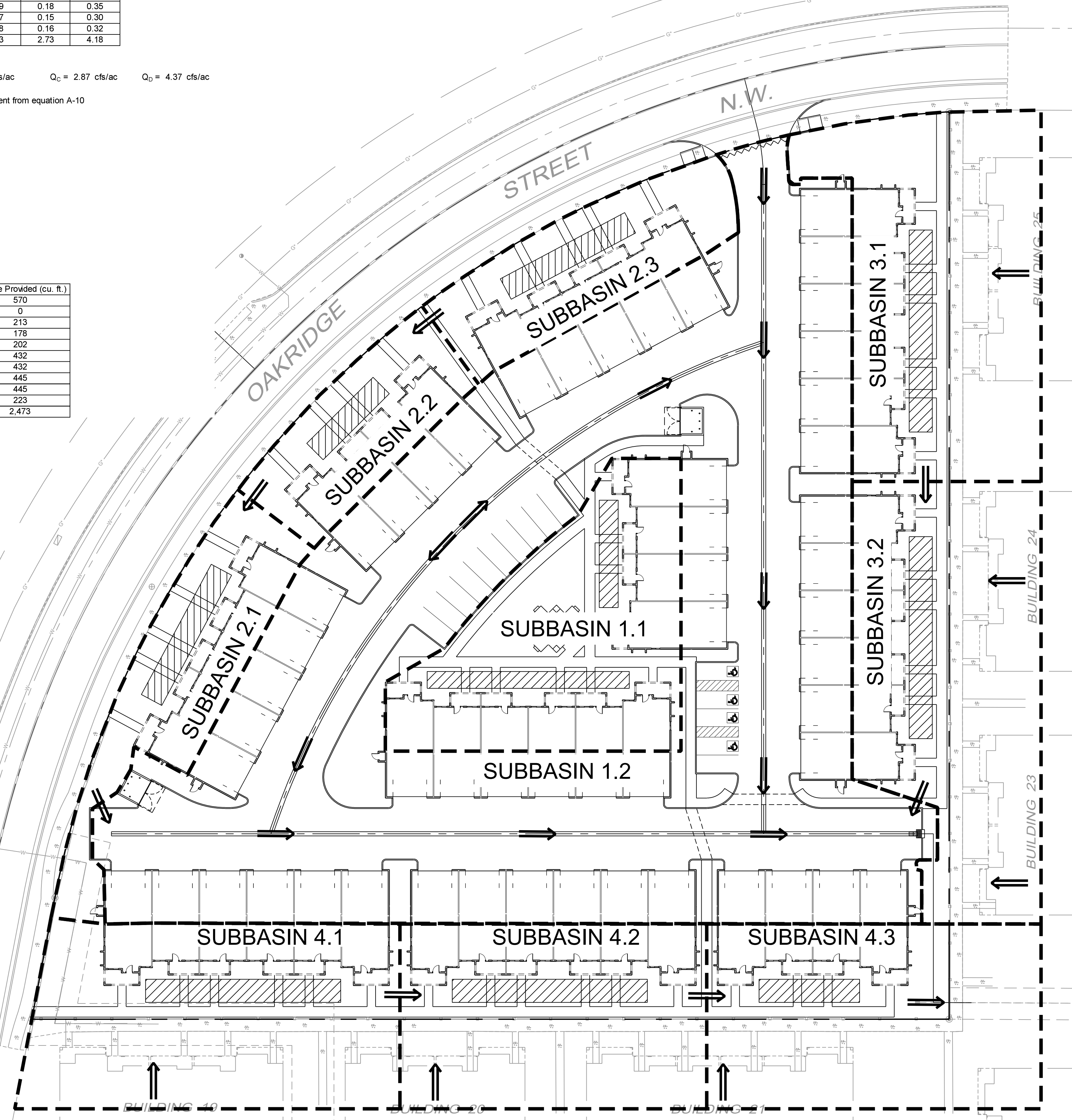
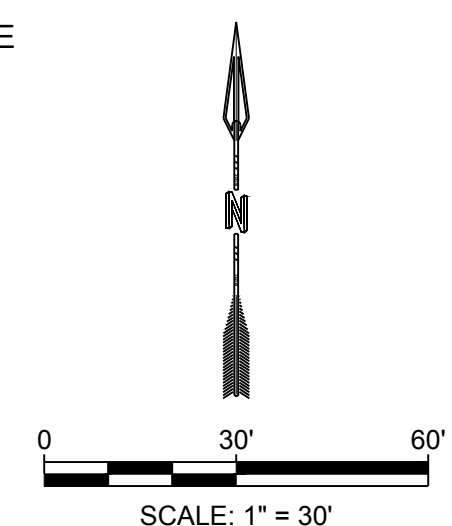
SUBBASIN 3 IS 0.76 ACRES AND GENERATES 2.6 CFS. OF THE 0.76 ACRES, 0.39 ACRES IS OFF-SITE. THIS SUBBASIN CONSISTS OF HALF THE ROOF AREA OF THE PROPOSED APARTMENT BUILDINGS, LANDSCAPING, AND RETENTION BASINS. THIS AREA WILL FLOW SOUTH VIA SWALES AND DISCHARGE INTO SUBBASIN 1.

SUBBASIN 4 IS 0.97 ACRES AND GENERATES 3.3 CFS. OF THE 0.97 ACRES, 0.52 ACRES IS OFF-SITE. THIS SUBBASIN CONSISTS OF HALF THE ROOF AREA OF THE PROPOSED APARTMENT BUILDINGS, LANDSCAPING, AND RETENTION BASINS. THIS AREA WILL FLOW EAST VIA SWALES AND DISCHARGE TO THE EXISTING STORM DRAIN.

THE WATER QUALITY TABLE AT THE TOP LEFT OF THIS SHEET SUMMARIZES THE WATER QUALITY VOLUMES REQUIRED AND PROVIDED. SUFFICIENT PONDING HAS BEEN PROVIDED FOR SUBBASINS 2 - 4 IN THE FRONT YARDS THE UNITS. THE PONDING REQUIREMENTS FOR SUBBASINS 3 & 4 ONLY INCLUDE THE ON-SITE STORMWATER VOLUME. THE OWNER HAS ELECTED TO PAY THE PAYMENT IN LIEU FOR THE STORMWATER QUALITY VOLUME OF 2,086 CF. THIS PAYMENT AMOUNT = 2,086 CF x \$8/CF = \$16,688.00.

LEGEND

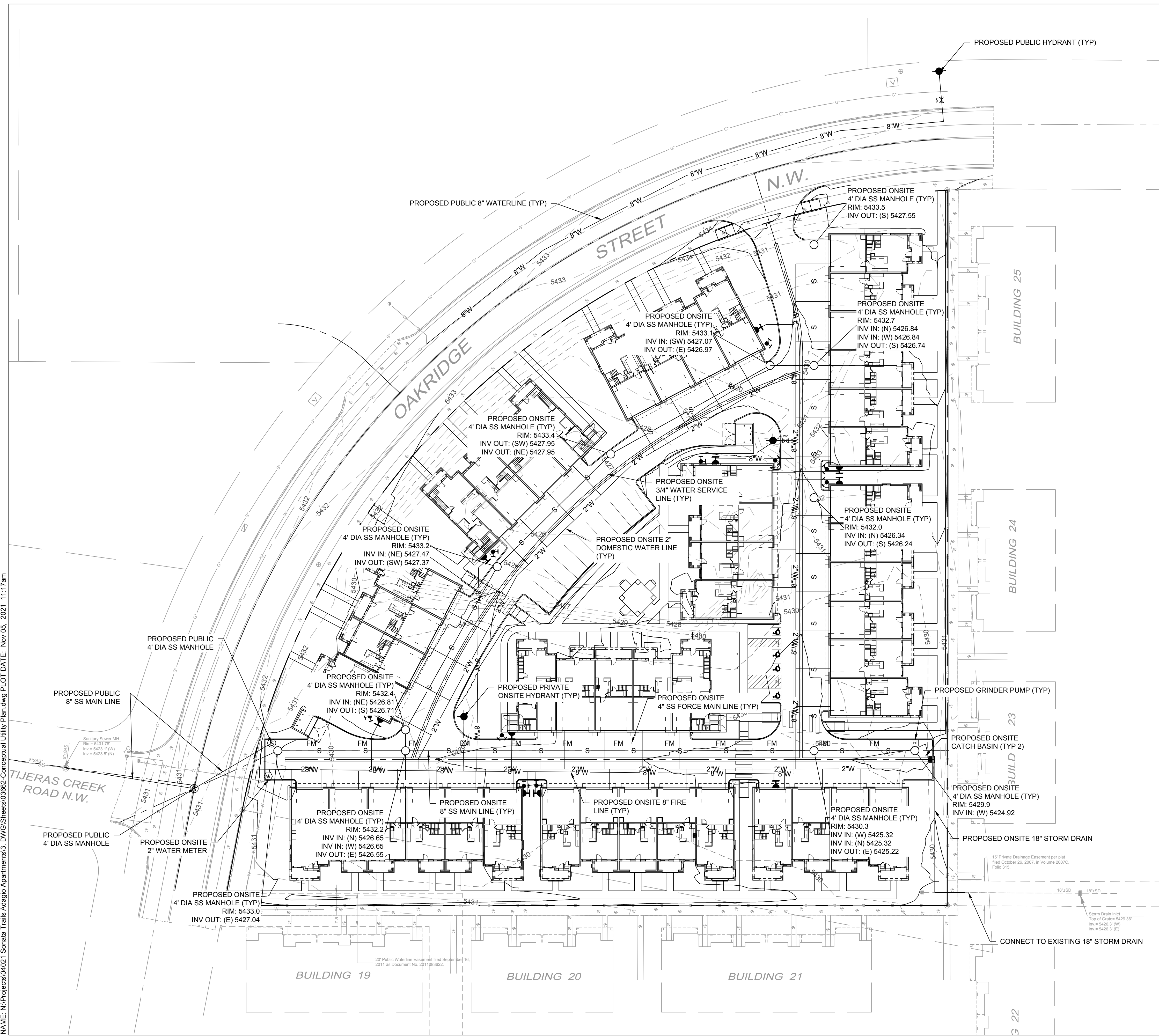
- PROPERTY BOUNDARY
- - - 5430 EXISTING MAJOR CONTOUR
- - - 5430 EXISTING MINOR CONTOUR
- ⊙ EXISTING SANITARY SEWER MANHOLE
- ⊕ PROPOSED STORM DRAIN MANHOLE
- PROPOSED INLET GRATE
- - - - - SUBBASIN BOUNDARY



NAME: G:\Shared drives\NMP\Projects\03662 Rainbow Paseo Tract A\3_DWG\Sheets\03662-Grading Plan.dwg PLOT DATE: Aug 16, 2019 11:03am

<p>DESIGNED RPE DRAWN RPE CHECKED JS DATE 8.16.2019</p>	<p>REVISION</p>
<p>RESPEC 5971 JEFFERSON STREET SUITE 101 ALBUQUERQUE, NM 87113 WWW.RESPEC.COM 505.253.9718</p>	<p>STAMP SHELDON E. GREER NEW MEXICO 17154 REGISTERED PROFESSIONAL ENGINEER</p>
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<p>PROJECT NAME:</p>	<p>CONCEPT DRAINAGE PLAN</p>
<p>SHEET TITLE:</p>	<p>DRB SITE PLAN</p>
<p>SUBMITTED FOR:</p>	<p>SHEET NUMBER: C-102</p>

NAME: N:\Projects\04021_Sonata Trails Adagio Apartments\3_DWG\Sheets\03662-Conceptual Utility Plan.dwg PLOT DATE: Nov 05, 2021 11:17am

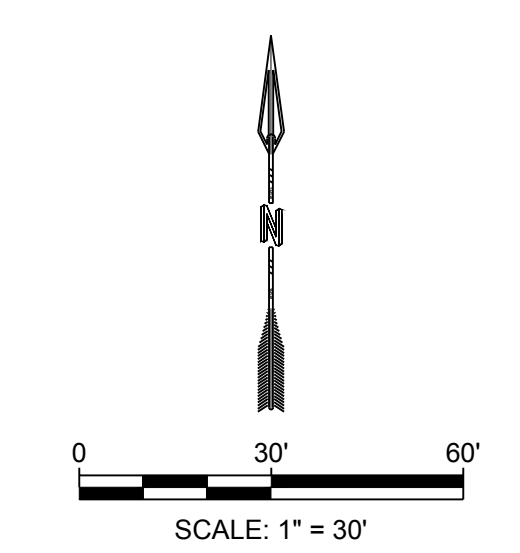


GENERAL NOTES:

- TYPE RPBA BACKFLOW PREVENTERS FOR ALL PROPOSED PRIVATE WATER LINES WILL BE PROVIDED INTERNAL TO EACH PROPOSED BUILDING PER COA STD. DWG. 2385. THE BACKFLOW PREVENTERS WILL BE THE SAME SIZE AS THE TAP/CONNECTION AT THE MAIN LINE.
- THE PRIVATE SANITARY SEWER WILL BE A GRAVITY SYSTEM TO THE SOUTH EAST CORNER OF THE SITE. THE PRESSURE SYSTEM WITH A GRINDER PUMP WILL FLOW ACROSS OAKRIDGE STREET AND CONNECT TO THE EXISTING MANHOLE IN TIJERAS CREEK ROAD.

LEGEND

---	PROPERTY BOUNDARY
— W —	EXISTING WATER LINE
— 2"W —	PROPOSED WATER LINE
— 8"W —	8" FIRE LINE
— SS — SS —	EXISTING SANITARY SEWER LINE
— S —	PROPOSED SANITARY SEWER LINE
— FM —	PROPOSED SANITARY SEWER FORCE MAIN
---	EXISTING STORM DRAIN
---	PROPOSED STORM DRAIN
⊙	PROPOSED SANITARY SEWER MANHOLE
⊙	PROPOSED STORM DRAIN MANHOLE
■	PROPOSED INLET GRATE
⊕	PROPOSED GATE VALVE
⊕	PROPOSED WALL INDICATOR VALVE
⊕	PROPOSED FDC
⊕	PROPOSED 6" GATE VALVE
PS	PROPOSED GRINDER PUMP

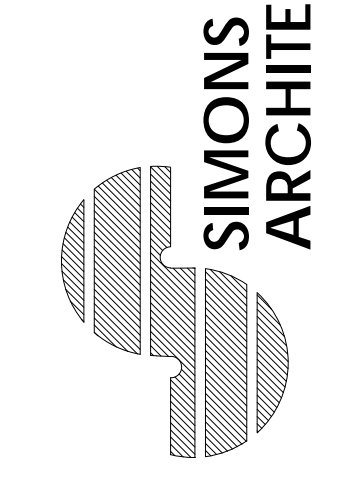


<p>DESIGNED RPE DRAWN RPE CHECKED JS DATE 11.05.2021</p> <p>RESPEC 6571 JEFFERSON STREET SUITE 101 ALBUQUERQUE, NM 87109 ALWAYS USE SAFETY RESOURCES WWW.RESPEC.COM 505.253.9718</p>	<p>REVISION</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> </table>								
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<p>SHEET TITLE: CONCEPTUAL UTILITY PLAN</p>	<p>SUBMITTED FOR: DRB SITE PLAN</p>								
<p>SHEET NUMBER: C-103</p>	<p> </p>								



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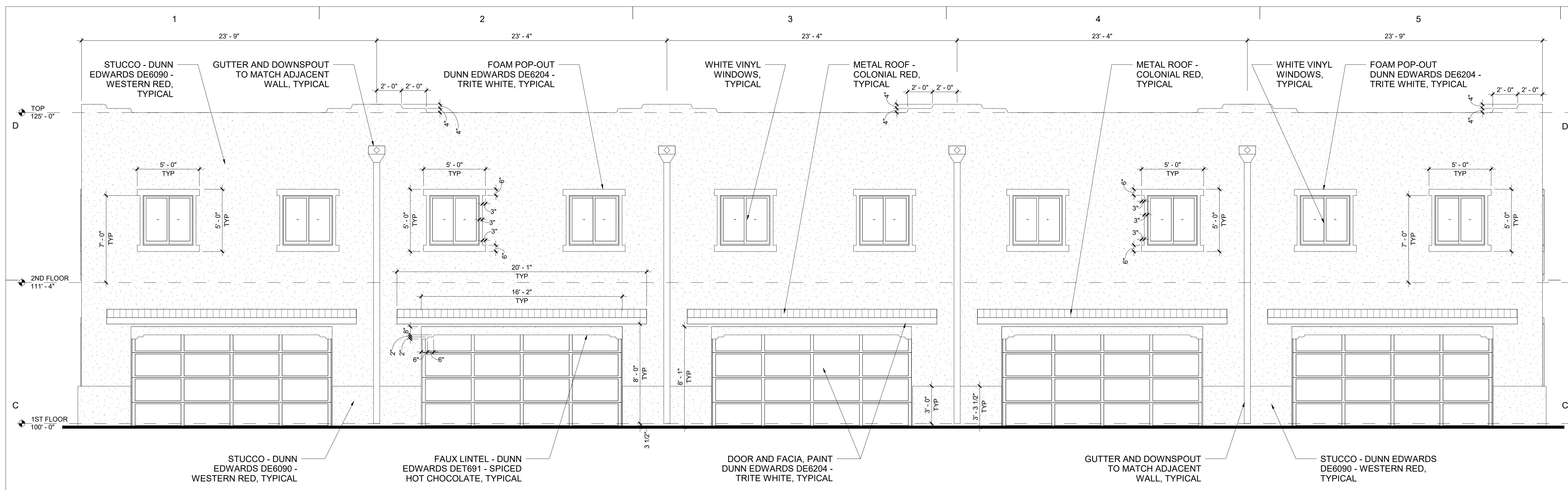


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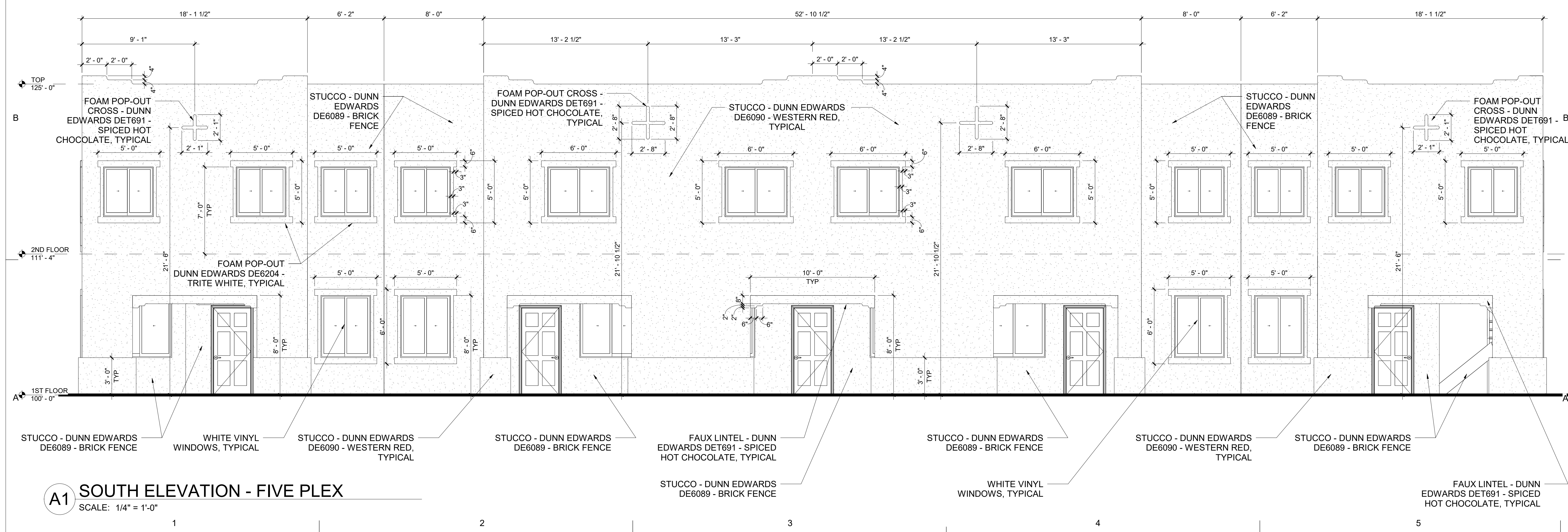
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DATE
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SHEET NAME
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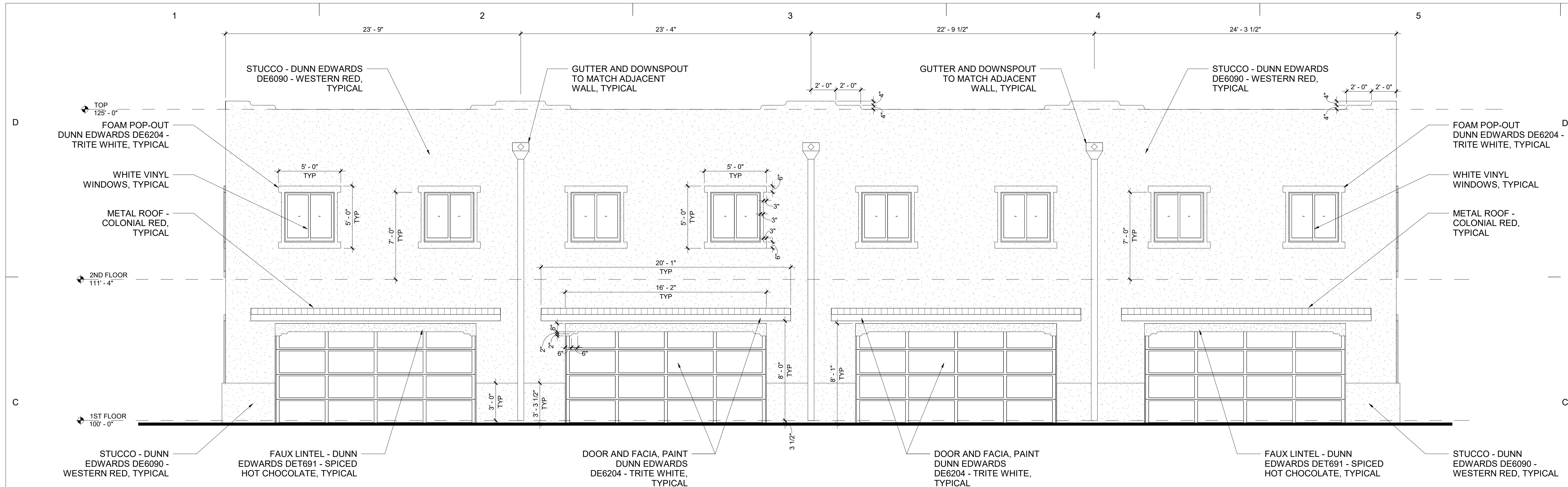
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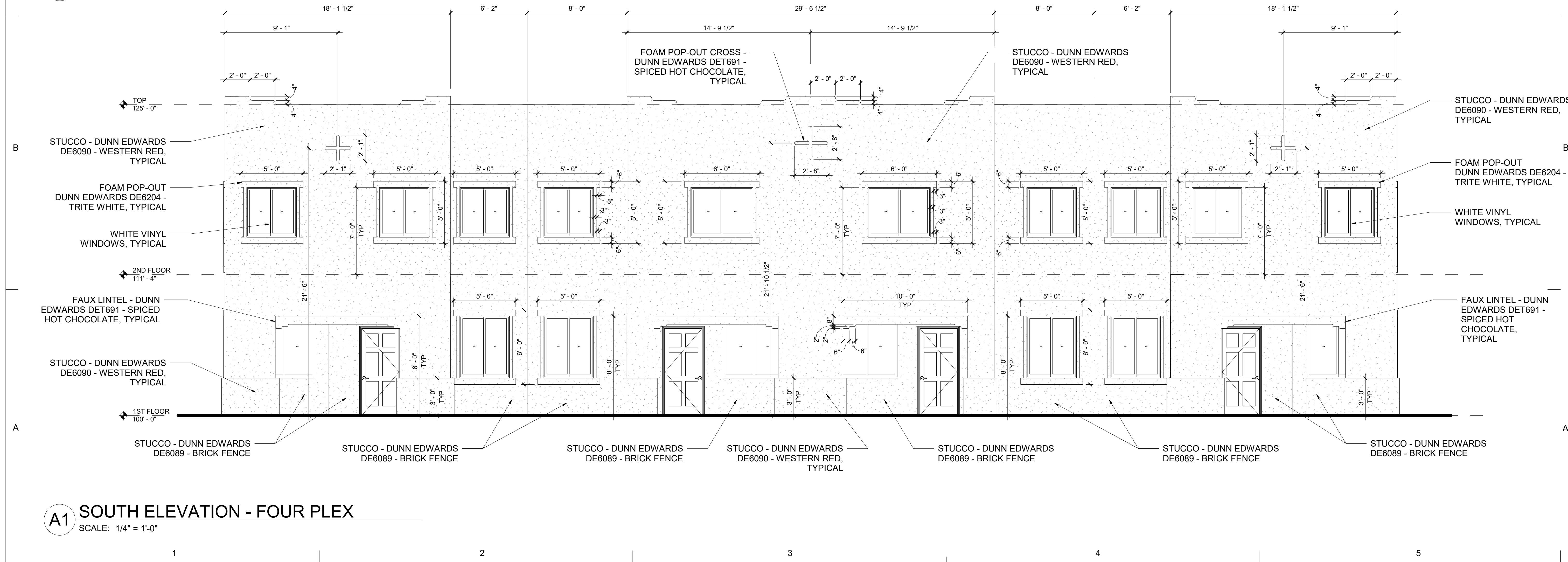
C1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



A1 SOUTH ELEVATION - FIVE PLEX
SCALE: 1/4" = 1'-0"



C1 NORTH ELEVATION - FOUR PLEX
SCALE: 1/4" = 1'-0"

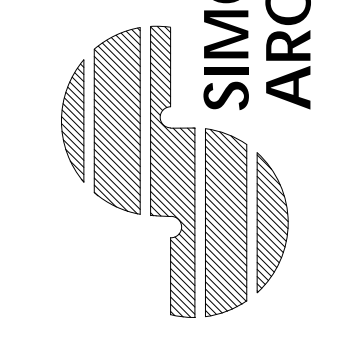


A1 SOUTH ELEVATION - FOUR PLEX
SCALE: 1/4" = 1'-0"



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FOUR-PLEX**

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ELEVATIONS - FOUR
PLEX

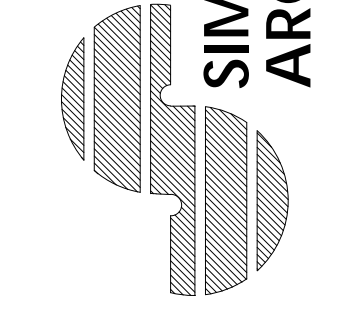
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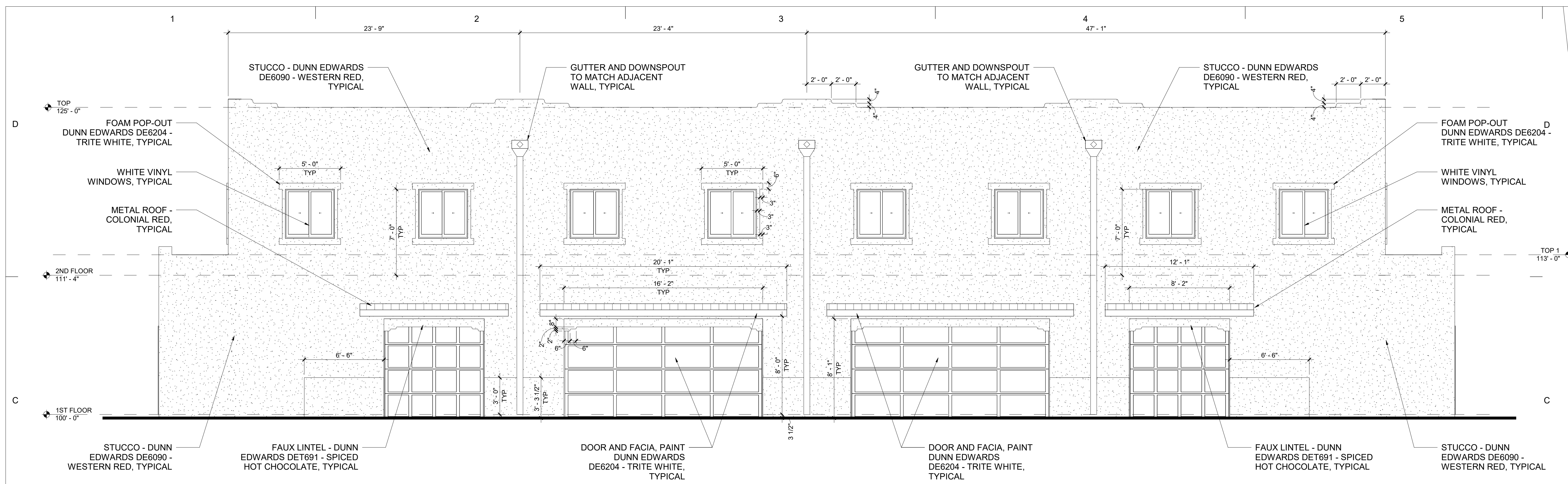


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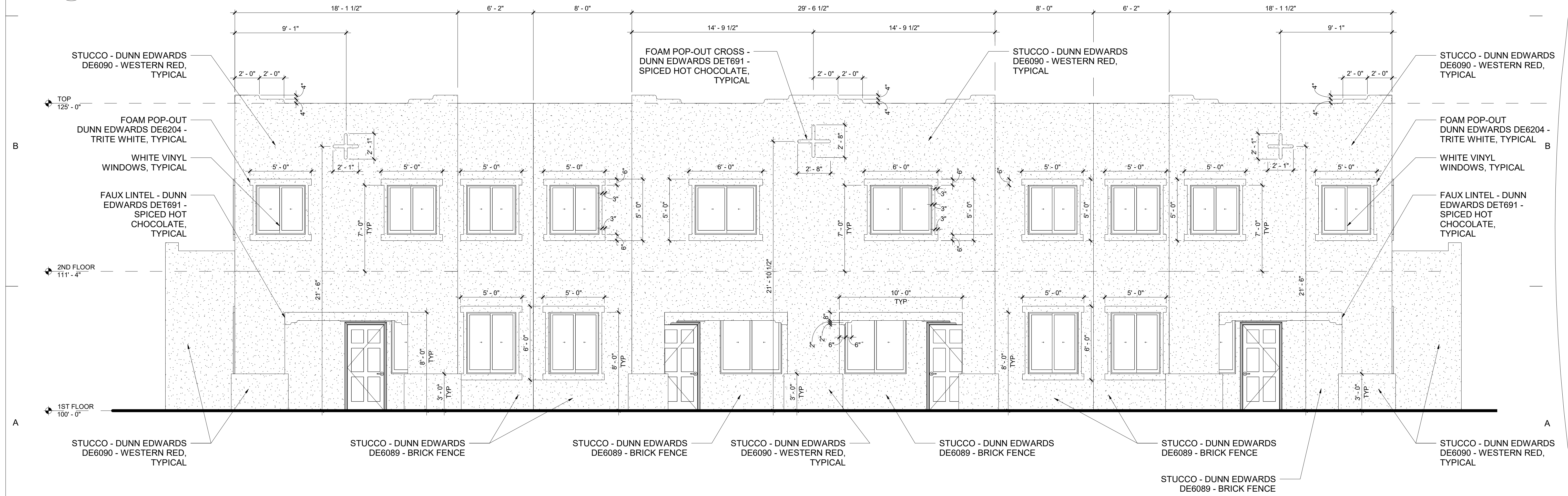
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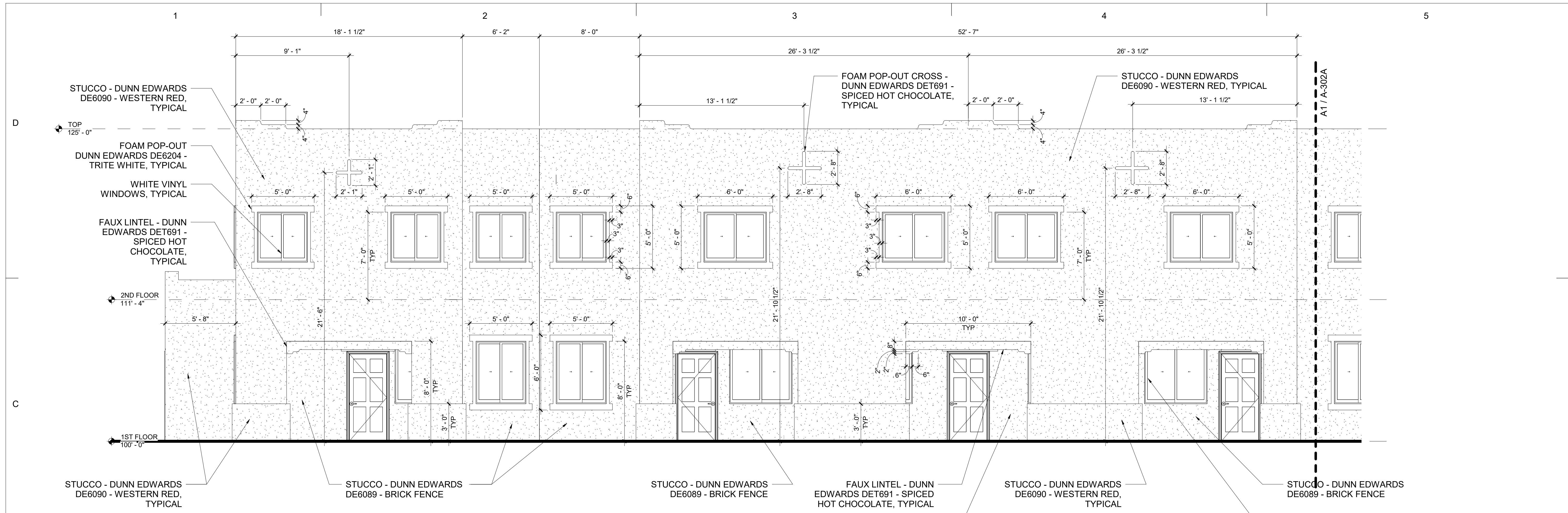
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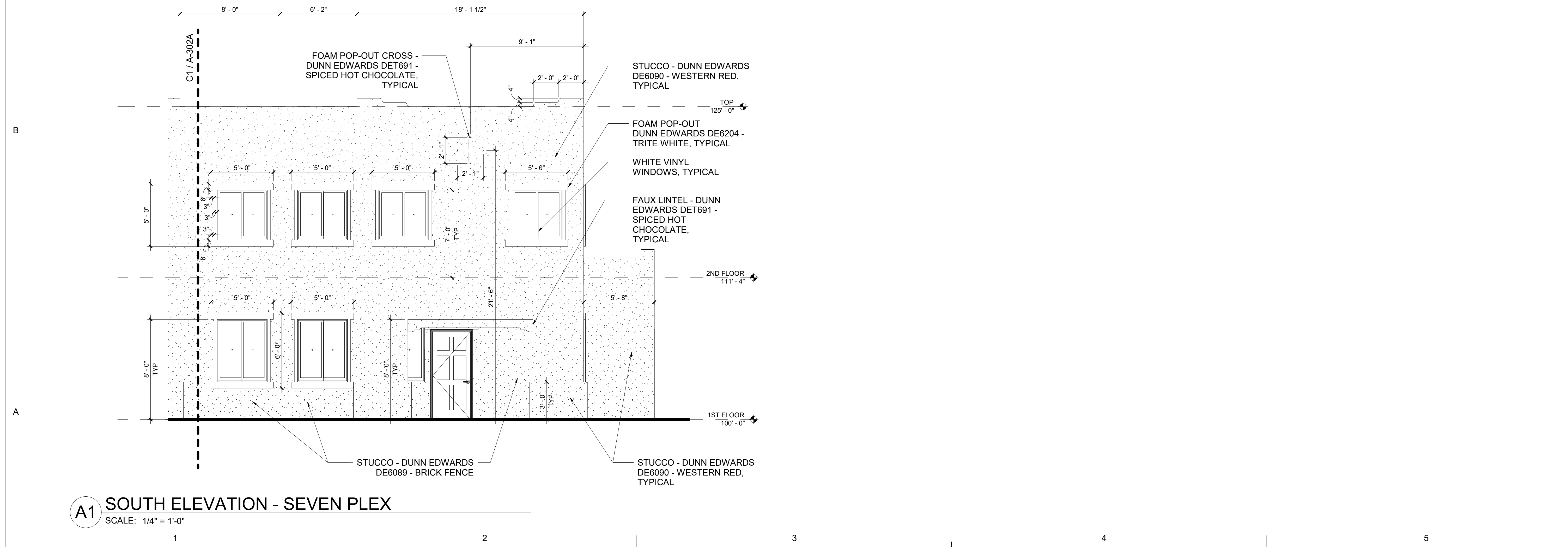
C1 NORTH ELEVATION - SIX PLEX
SCALE: 1/4" = 1'-0"



A1 SOUTH ELEVATION - SIX PLEX
SCALE: 1/4" = 1'-0"



C1 SOUTH ELEVATION - SEVEN PLEX
SCALE: 1/4" = 1'-0"

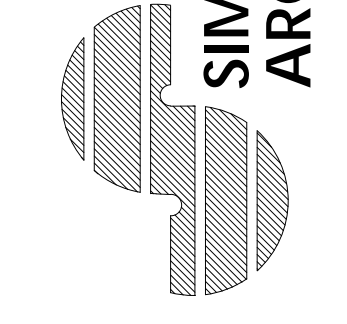


A1 SOUTH ELEVATION - SEVEN PLEX
SCALE: 1/4" = 1'-0"



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Author
SHEET NAME
ELEVATIONS - SEVEN
PLEX

A-302A

Current DRC
Project Number: _____

FIGURE 12

Date Submitted: October 15, 2021

INFRASTRUCTURE LIST

(Rev. 2-16-18)

EXHIBIT "A"

**TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

Date Site Plan Approved: _____
Date Preliminary Plat Approved: _____
Date Preliminary Plat Expires: _____
DRB Project No.: _____
DRB Application No.: _____

**ADAGIO APARTMENTS, TRACT A, CANTATA AT THE TRAILS UNIT 2.
PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN**

**TRACT A, CANTATA AT THE TRAILS UNIT 2
EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION**

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private		City Cnst Engineer
							Inspector	P.E.	
<input type="text"/>	<input type="text"/>	8" DIA	NEW PUBLIC WATER MAIN ~400'	OAKRIDGE STREET	EXISTING WATER LINE AT RED STONE ROAD	EAST PROPERTY BOUNDARY	/	/	/
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The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The Items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
Approval of Creditable Items:							Approval of Creditable Items:		
Impact Fee Administrator Signature Date							City User Dept. Signature Date		

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.
Street lights per City requirements.

- 1 _____

- 2 _____


- 3 _____

AGENT / OWNER

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

JEREMY SHELL
NAME (print)

RESPEC
FIRM



SIGNATURE - date

_____ DRB CHAIR - date

_____ TRANSPORTATION DEVELOPMENT - date

_____ UTILITY DEVELOPMENT - date

_____ CITY ENGINEER - date

_____ PARKS & RECREATION - date

_____ AMAFCA - date

_____ CODE ENFORCEMENT - date

_____ - date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT /OWNER