



Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

MISCELLANEOUS APPLICATIONS	<input type="checkbox"/> Extension of Infrastructure List or IIA (Form S3)
<input type="checkbox"/> Site Plan Administrative DFT (Forms P & P2)	PRE-APPLICATIONS
<input type="checkbox"/> Final EPC Sign-off for Master Development/Site Plans - EPC (Form P2)	<input type="checkbox"/> Sketch Plat Review and Comment (Form S3)
<input type="checkbox"/> Amendment to Infrastructure List (Form S3)	<input type="checkbox"/> Sketch Plan Review and Comment (Form S3)
<input type="checkbox"/> Temporary Deferral of S/W (Form S3)	APPEAL
<input type="checkbox"/> Extension of IIA: Temp. Def. of S/W (Form S3)	<input type="checkbox"/> Administrative Decision (Form A)

BRIEF DESCRIPTION OF REQUEST

APPLICATION INFORMATION		
Applicant/Owner:		Phone:
Address:		Email:
City:	State:	Zip:
Professional/Agent (if any):		Phone:
Address:		Email:
City:	State:	Zip:
Proprietary Interest in Site:	List <u>all</u> owners:	

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)		
Lot or Tract No.:	Block:	Unit:
Subdivision/Addition:	MRGCD Map No.:	UPC Code:
Zone Atlas Page(s):	Existing Zoning:	Proposed Zoning
# of Existing Lots:	# of Proposed Lots:	Total Area of Site (Acres):

LOCATION OF PROPERTY BY STREETS		
Site Address/Street:	Between:	and:

CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

Signature:	Date:
Printed Name:	<input type="checkbox"/> Applicant or <input type="checkbox"/> Agent

FORM P2: SITE PLAN ADMINISTRATIVE – Development Facilitation Team (DFT) as of 12/25/2022**_ SITE PLAN ADMINISTRATIVE – DFT**

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. The PDF shall be organized in the number order below. Divide the PDF with a title sheet for each of the three documentation sections in **bold** below.

SITE PLAN DOCUMENTATION

- ___ 1) DFT Application form completed, signed, and dated
- ___ 2) Form P2 with all the submittal items checked/marked
- ___ 3) Form P with signatures from Hydrology, Transportation, and ABCWUA
- ___ 4) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 5) Site Plan and related drawings (include a Site Plan key of the sheets submitted)
- ___ 6) Copy of the original approved Site Plan or Master Development Plan (for amendments to or Extensions of the Site Plan)
- ___ 7) Infrastructure List, if required for building of public infrastructure
- ___ 8) Sensitive Lands Site Analysis for new site design in accordance with IDO Section 5-2(C) (The Sensitive Lands Site Analysis form can be obtained online at):
https://documents.cabq.gov/planning/development-review-board/Sensitive_lands_analysis_form.pdf
- ___ 9) Responses to climatic and geographic responsive design considerations (Recommended to promote sustainability, but not required. The Climatic and Geographic Responsiveness form can be obtained online at): [https://documents.cabq.gov/planning/IDO/SubmittalFormIDO5-2\(D\)ClimaticGeographic_Responsiveness.pdf](https://documents.cabq.gov/planning/IDO/SubmittalFormIDO5-2(D)ClimaticGeographic_Responsiveness.pdf)

SUPPORTIVE DOCUMENTATION

- ___ 10) Completed Site Plan Checklist
- ___ 11) Letter of authorization from the property owner if application is submitted by an agent
- ___ 12) Justification letter describing and justifying the request per the criteria in IDO Section 16-6-5(G)(3)
- ___ 13) Explanation and justification of requested deviations, if any, in accordance with IDO Section 14-16-6-4(P). *Note: If requesting more than allowed by deviation, a Variance – ZHE or Waiver –DHO will be required, as applicable*
- ___ 14) Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A) *(not required for Extension)*

___ 15) Landfill disclosure statement per IDO Section 14-16-6-4(S)(5)(d)(2)(d) if site is within a designated landfill buffer zone

___ 16) Architectural Review Committee approval letter if the site is located within a Master Development Plan area or a Framework Plan area

PUBLIC NOTICE DOCUMENTATION

___ 17) Sign Posting Agreement

___ 18) Proof of a Pre-Submittal Neighborhood Meeting per IDO 6-4(C)(1)(b) for new building or multiple new buildings that include a total of more than 100 multi-family residential dwelling units or more than 50,000 square feet of non-residential development

___ Office of Neighborhood Coordination neighborhood meeting inquiry response

___ Proof of email with read receipt OR Certified Letter offering meeting to applicable associations

___ Completed neighborhood meeting request form(s)

___ If a meeting was requested or held, copy of sign-in sheet and meeting notes

___ 19) Required Content of Notice at Submittal per IDO Section 14-16-6-4(K)(1) (not required for an extension)

___ Office of Neighborhood Coordination notice inquiry response

___ Completed notification form(s), proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b)

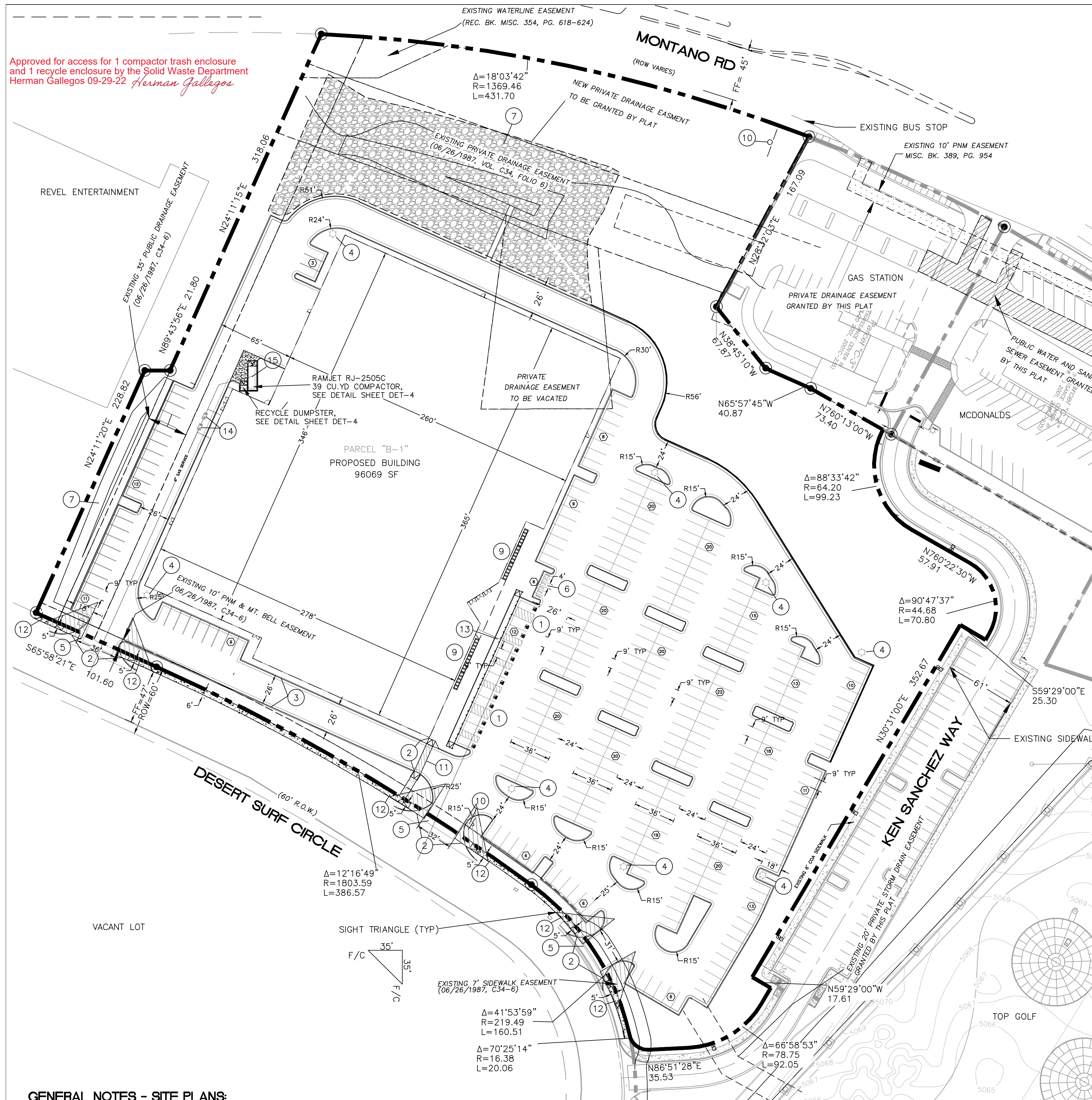
___ Proof of emailed notice to affected Neighborhood Association representatives

_ FINAL SIGN-OFF FOR MASTER DEVELOPMENT PLANS AND SITE PLANS – EPC

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. The PDF shall be organized in the number order below.

- ___ 1) DFT Application form completed, signed, and dated
- ___ 2) Form P2 with all the submittal items checked/marked
- ___ 3) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 4) Site Plan and related drawings
- ___ 5) Infrastructure List, if require
- ___ 6) Copy of EPC Notice of Decision and letter explaining how each EPC condition has been met
- ___ 7) Letter of authorization from the property owner if application is submitted by an agent
- ___ 8) Solid Waste Department signature on Site Plan
- ___ 9) Signed Form DRWS Drainage Report, Grading and Drainage Plan, and Water & Sewer Availability Statement filing information
- ___ 10) Approved Grading and Drainage Plan
- ___ 11) Copy of Site Plan with Fire Marshal's stamp, i.e. "Fire 1" plan (*not required for Master Development Plans*)

Approved for access for 1 compactor trash enclosure and 1 recycle enclosure by the Solid Waste Department Herman Gallegos 09-29-22 *Herman Gallegos*



LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- BUILDING
- PROPOSED SIDEWALK
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- LIGHT
- PARKING COUNT

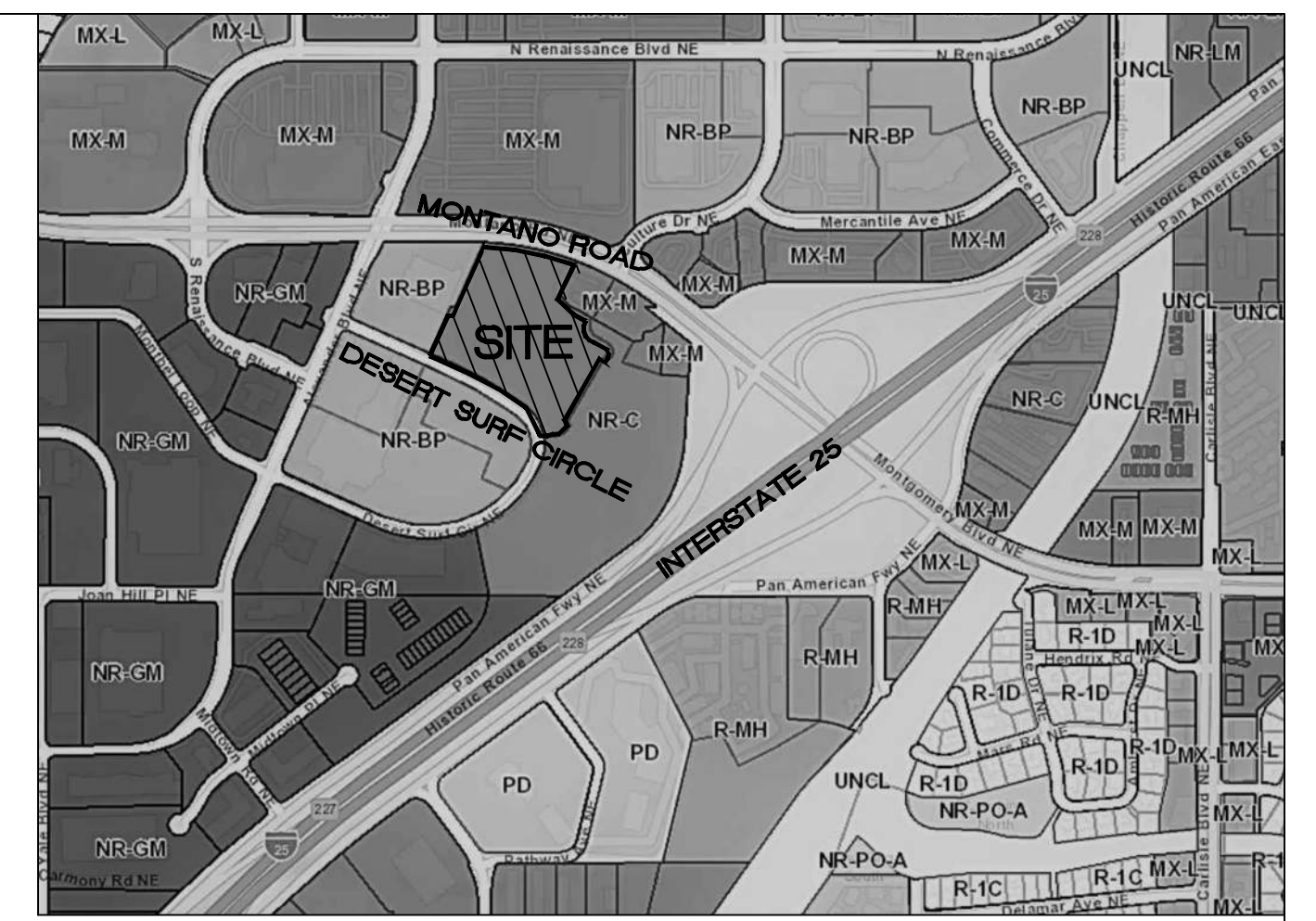
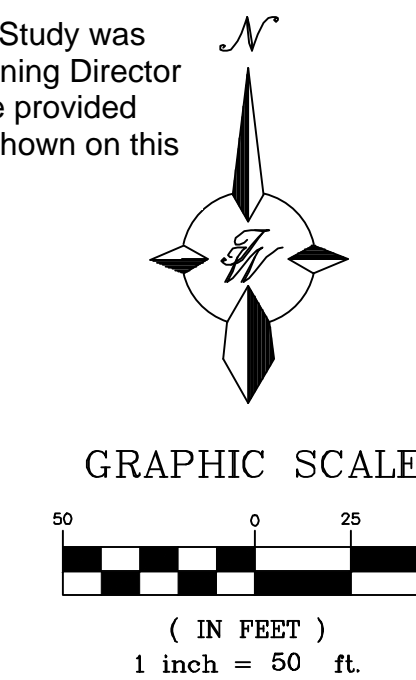
KEYED NOTES

- 1 ACCESSIBLE PARKING W/SIGN PER ADA STANDARDS (1.0% MIN - 2.0% MAX SLOPE) SEE DETAIL SHEET DET-1
- 2 UNIDIRECTIONAL ACCESSIBLE RAMP
- 3 STANDARD CURB AND GUTTER (TYP) PER COA STD DWG 2415A SEE DETAIL SHEET DET-1
- 4 PARKING LOT LIGHT STANDARD (TYP) FULL CUTOFF LED'S, 25' HIGH, SEE DETAIL SHEET DET-2
- 5 6' VALLEY GUTTER PER COA STD DWG 2415B SEE DETAIL SHEET DET-1
- 6 MOTORCYCLE SPACE (4'X8' MIN) W/SIGN
- 7 RETENTION POND
- 8 NEW ASPHALT PAVING SEE DETAIL SHEET DET-1
- 9 BICYCLE RACK, SEE DETAIL SHEET DET-1
- 10 MONUMENT SIGN
- 11 6' PEDESTRIAN CROSSING SEE DETAIL SHEET DET-1
- 12 NEW 5' CONCRETE SIDEWALK PER COA STD DW 2430 SEE DETAIL SHEET DET-1
- 13 ZERO-FLUSH CURB W/ 8" BOLLARDS SEE DETAIL SHEET DET-1
- 14 GREASE INTERCEPTOR
- 15 SANITARY SEWER FLOOR DRAIN PROVIDED AT COMPACTOR

SITE DATA

PROPOSED USAGE	INDOOR ENTERTAINMENT
LOT AREA	402445 SF (9.23 ACRES)
ZONING	NR-C
BUILDING SETBACKS	FRONT: 5' SIDE: 0' REAR: 0'
PARKING REQUIRED	1 SPACE/210 GSF FOR 51,000 GSF= 243 SPACES PER TABLE 5-5-2 1 SPACE/3 OCCUPANTS FOR INDOOR TRACK (50 OCCUPANTS)= 17 SPACES 20% PARKING REDUCTION FOR EMPLOYMENT CENTER AND MASS TRANSIT CORRIDOR= -52 SPACES
TOTAL REQUIRED PARKING=	208 SPACES
PARKING PROVIDED=	343 SPACES
HC PARKING REQUIRED	12 SPACES (2 VAN SPACES)
HC PARKING PROVIDED	12 SPACES (2 VAN SPACES)
BICYCLE SPACES REQUIRED	10% OF OFF-STREET PARKING 35 SPACES
BICYCLE SPACES PROVIDED	35 SPACES
MOTORCYCLE SPACES REQUIRED	6 SPACES
MOTORCYCLE SPACES PROVIDED	6 SPACES

A Parking Reduction Study was approved by the Planning Director on 10-13-2022 for the provided 343 parking spaces shown on this plan.



VICINITY MAP

F-16-Z

LEGAL DESCRIPTION:

PARCEL B-1-A CORRECTION PLAT OF PARCELS C-1-A, C-1-B AND B-1-A RENAISSANCE CENTER III CONT 9.2281 AC

NOTES:

1. COMMON STORM DRAINAGE, PEDESTRIAN, AND VEHICULAR ACCESS ACROSS NEW TRACTS IS GRANTED BY THIS SITE PLAN AND WILL BE GRANTED ON THE REPLAT.
2. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
3. LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER.
4. LIGHT POLES SHALL BE A MAXIMUM OF 20' FEET WITH FULL CUT OFF LIGHT FIXTURES. LIGHT FIXTURES SHALL BE A MAXIMUM OF 20' WITH FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS. LIGHT POLES WITHIN 100' OF RESIDENTIAL ZONING SHALL BE LIMITED TO 16' HIGH.
5. THERE SHALL BE NO BACKLIT, PLASTIC, OR VINYL AWNINGS OR ILLUMINATED PLASTIC BANDING ON SIGNAGE.
6. ACCESS AT DESERT SURF CIRCLE BE FULL MOVEMENT.
7. ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.

PROJECT NUMBER:

APPLICATION NUMBER:

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____, and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRB plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineer, Transportation Division	Date
Water Utility Development	Date
Parks & Recreation Department	Date
City Engineer	Date
* Environmental Health Department (conditional)	Date
Herman Gallegos <i>Herman Gallegos</i>	09-29-22
Solid Waste Management	Date
Code Enforcement	Date
DRB Chairperson, Planning Department	Date

* Environmental Health, if necessary

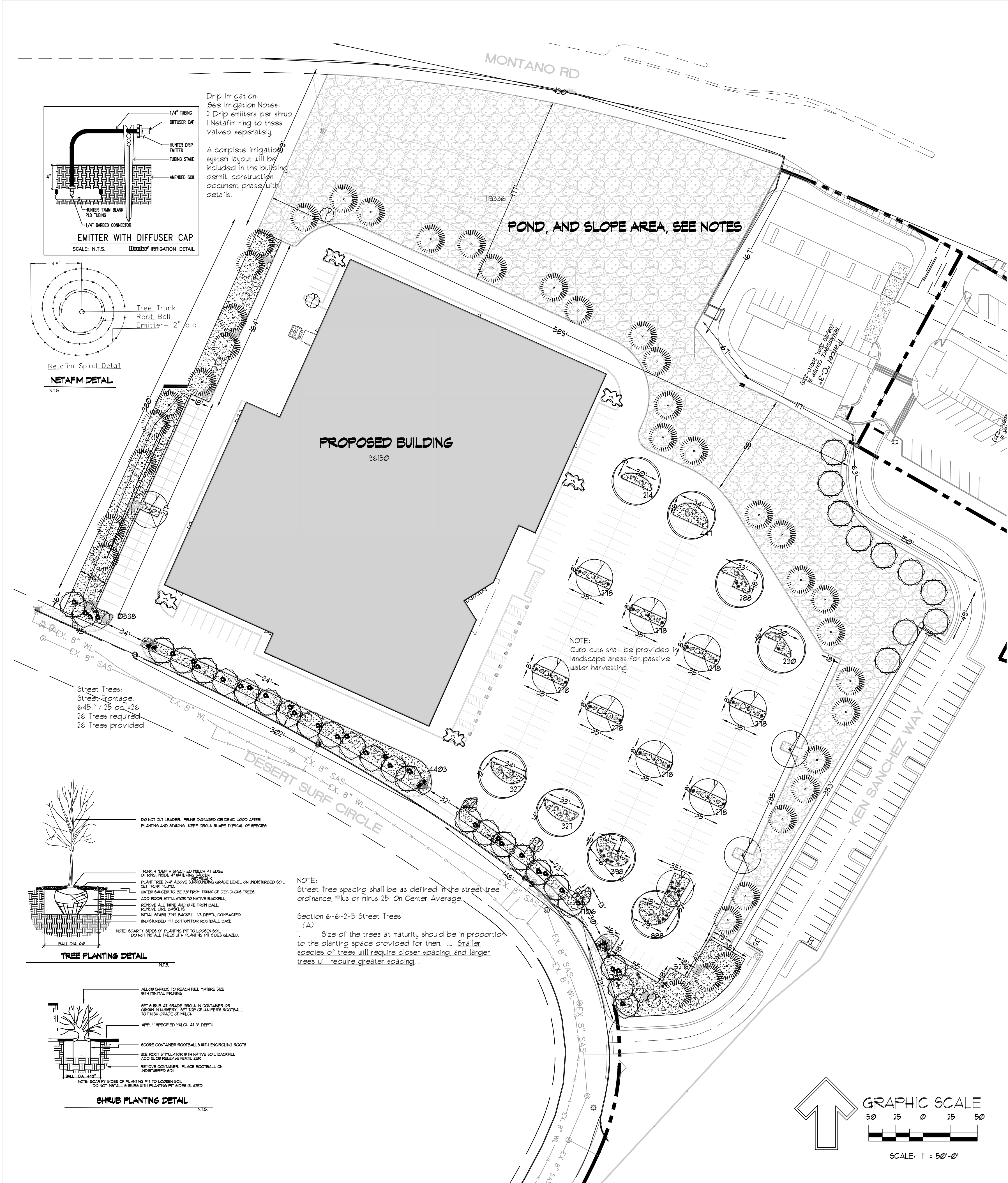
GENERAL NOTES - SITE PLANS:

1. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCING THIS WORK. IN CASE OF ANY DISCREPANCIES, THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY AND WORK SHALL NOT COMMENCE WITHOUT APPROVAL FROM THE ARCHITECT.
2. WRITTEN DIMENSIONS OF DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE GENERAL CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS AT THE BUILDING SITE, AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.
3. GC AND LIGHTING CONTRACTOR TO ENSURE SITE LIGHTING FIXTURE HEADS HAVE THE CORRECT ORIENTATION. REFER TO PHOTOMETRIC DRAWINGS FOR HEAD PLACEMENT.
4. GC TO COORDINATE SITE SECURITY LAYOUT AND CONDUIT SIZE & LOCATION WITH THE OWNER.
5. GC TO ENSURE PAVING AT ALL EXITS SHALL NOT EXCEED A 2% MAX SLOPE IN ALL DIRECTIONS.
6. PAVING SHALL BE LOWER THAN THE BUILDING SLAB BY THE FOLLOWING AMOUNTS UNDO:
 - 1/2" @ ALL EXIT DOORS
 - 1/2" @ ALL SHOWROOM GLAZING LOCATIONS
 - 1 1/2" @ OVERHEAD DOORS
 - 1 1/2" @PRE-FAB METAL WALL PANELS

NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 260-1990 (OR DIAL 811 LOCALLY), FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.

	ANDRETTI'S RACING	DRAWN BY
	ALBUQUERQUE, NM	JL
	SITE PLAN EPC-	DATE
	MAJOR AMENDMENT	9-22-22
		DRAWING
		SHEET #
		SP-1
		JOB #
		2022011



LANDSCAPE LEGEND

QTY	SIZE	COMMON/BOTANICAL	H2O USE
Trees			
12	2" cal	Chinese Pistache <i>Pistacia chinensis</i> 40x35	1225 14100 M
8	2" cal	Honey Locust <i>Gleditsia triacanthos</i> 50x45	2025 16200 M
38	6 - 8'	Austrian Pine <i>Pinus nigra</i> 35x25	625 23750 M
5	15 Gal	Crape Myrtle <i>Lagerstroemia indica</i> Tree Form, 18"-20" at maturity 30x20	400 2000 M
6	4 - 6'	Palm Yucca <i>Yucca faxoniana</i> 15x6	36 216 M
8	15 Gal	Oklahoma Redbud <i>Cercis reniformis</i> 15x12	144 1152 M
30	15 Gal	Desert Willow <i>Chilopsis linearis</i> 20x25	625 10750 M
Shrubs & Groundcovers			
28	5 Gal	India Hawthorne <i>Raphiolepis indica</i> 3x5	25 700 M
10	5 Gal	Feather Reed Grass <i>Calamagrostis arundinacea</i> 25x2	4 40 M
16	5 Gal	Wintergreen Barberry <i>Berberis julianae</i> 5x5	25 400 M
4	5 Gal	Butterfly Bush <i>Buddleia davidii</i> 5x7	49 196 M
22	5 Gal	Winter Jasmine <i>Jasminum nudiflorum</i> 4x2	144 3168 M
8	5 Gal	Buffalo Juniper <i>Juniperus sabino 'Buffalo'</i> 1x2	144 1152 M
8	5 Gal	Cherry Sage <i>Salvia greggii</i> 2x3	9 72 M
7	5 Gal	Blue Mist <i>Caryopteris x clandonensis</i> 3x3	9 63 M
20	5 Gal	Fern Bush <i>Chamaebotaria millefolium</i> 5x6	36 120 L
26	5 Gal	Apache Plume <i>Fallugia paradoxa</i> 6x7	49 1214 L
28	5 Gal	Chamisa <i>Chrysothamnus nauseosus</i> 5x7	49 1372 L
32	5 Gal	Dwarf Fountain Grass <i>Pennisetum alopecuroides 'Hamelin'</i> 3x3	9 288 M
11	5 Gal	Carpenter Roses <i>Rosa sp.</i> 2x4	16 212 L
32	2-3cf	Boulders	9645 SHRUB COVERAGE
21206		Landscape Gravel / Filter Fabric	To be placed at contractor discretion
119336		3/4" Crushed Grey	Landscape Gravel / Filter Fabric
146542		RIP RAP AND SEEDED SLOPE. SEE DRAINAGE BASIN NOTES REFERENCE GRADING PLAN	

LANDSCAPE NOTES:
 Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain all landscaping in a living, healthy, and attractive condition.
 Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.
 Landscape Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas.
IRRIGATION NOTES:
 Irrigation system maintenance and operation shall be the sole responsibility of the owner. It shall be the owner's responsibility to ensure that fugitive water does not leave the site due to overwatering.
 Irrigation shall be a complete underground system with trees to receive 1 Netamir spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Netamir shall have emitters 12" o.c. with a flow of 6 gph. Shrubs to receive (2) 10 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.
 Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 15 hours, 3 times per week. Run time will be adjusted according to the season.
 Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.
 Location of controller to be field determined and power source for controller to be provided by others.
 Irrigation maintenance shall be the responsibility of the Property Owner.
 Water and Power source shall be the responsibility of the Developer/Builder.

LANDSCAPE CALCULATIONS

TOTAL LOT AREA (sf)	402105
TOTAL BUILDING AREA (sf)	-96143
TOTAL LOT AREA (sf)	305956
LANDSCAPE REQUIREMENT	X .15
TOTAL LANDSCAPE REQUIRED (15%)	45893
TOTAL ON-SITE LANDSCAPE PROVIDED	146542
TOTAL LIVE GROUND COVER REQUIRED (15%)	109905
TOTAL NATIVE SEED AREA, POND AND SLOPE	119336
TOTAL LIVE PLANT COVER PROVIDED	86413
TOTAL LIVE PLANT COVERAGE	205149

Street Tree Notes:

Per Section 5-6(D) (1) (a) Required Street Trees. Trees are GENERALLY required along street frontages every 25 feet on center unless otherwise specified in Part 6-2-2 of ROA 1994 (Street Trees)

Section 6-6-2-5 Street Trees

- (A)
- Size of the trees at maturity should be in proportion to the planting space provided for them. ... Smaller species of trees will require closer spacing, and larger trees will require greater spacing. Spacing shall be approved as part of the plan approval process.
 - On sites where evenly spaced street trees are not possible, or do not conform to the overall design objectives of the site, provided that the number of trees equals or exceeds the number that would be required if the trees were evenly spaced.

Clear Site Triangle Note:
 Landscaping and signage will not interfere with clear site requirements. Signs, walls, trees and shrubbery between 3 and 8 feet tall, (as measured from the gutter pan) are not included within the clear site triangle.

Drainage Basin Treatments
 Per City of Albuquerque
 Drainage Basin Treatments

The bottom and sides must be seeded with a native mix per City Standard specification 1012.2 depending on soil type for that City area. Please reference this native seed selection and the section on plan sheet.

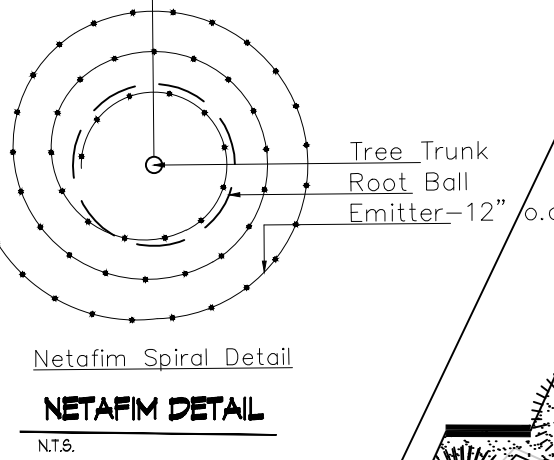
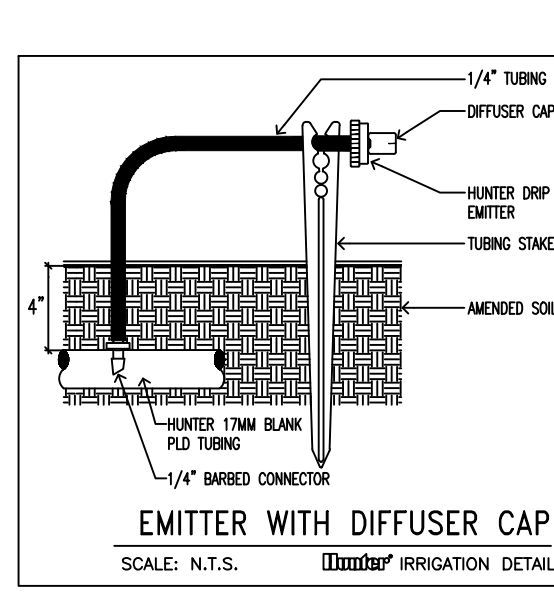
For pond bottoms: Gravel 3/4 to 1 inch mulch. One layer thick, not stacked

Native grass establishment must be achieved by the contractor within a 3 year time frame. Temporary irrigation or water trucks must be used when rain is lacking. Seeds must germinate in one year or reseeded will likely be needed.

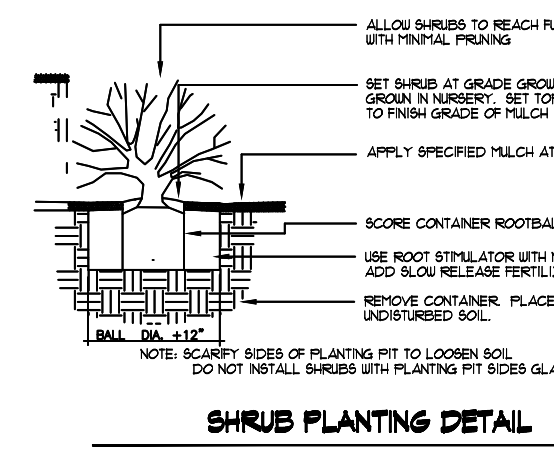
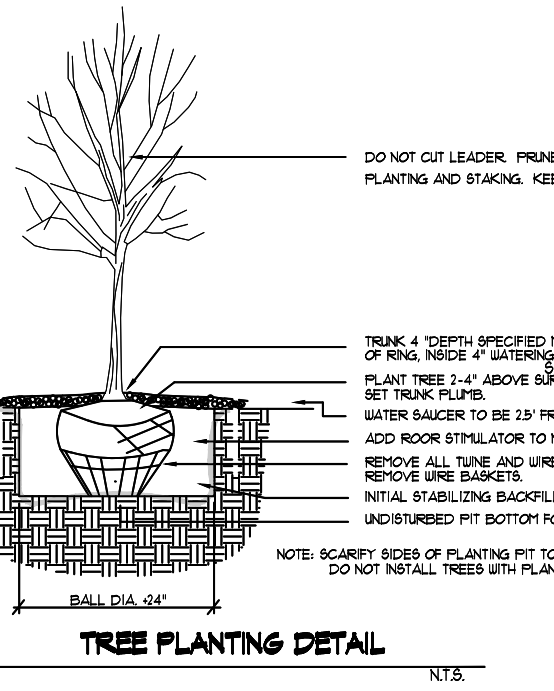
Maintenance will be per City of Albuquerque Specification 1012.3.9.1 and 1012.3.9.2.

Contractor must seed the basin during/after the first growing season.

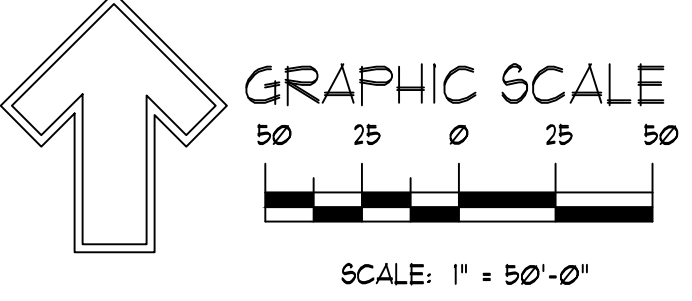
Needs city inspection. Stormwater Quality Ordinance-Final stabilization must be accepted by the City.



Street Trees:
 Street Frontage
 645lf / 25 o.c. = 26
 26 Trees required
 26 Trees provided



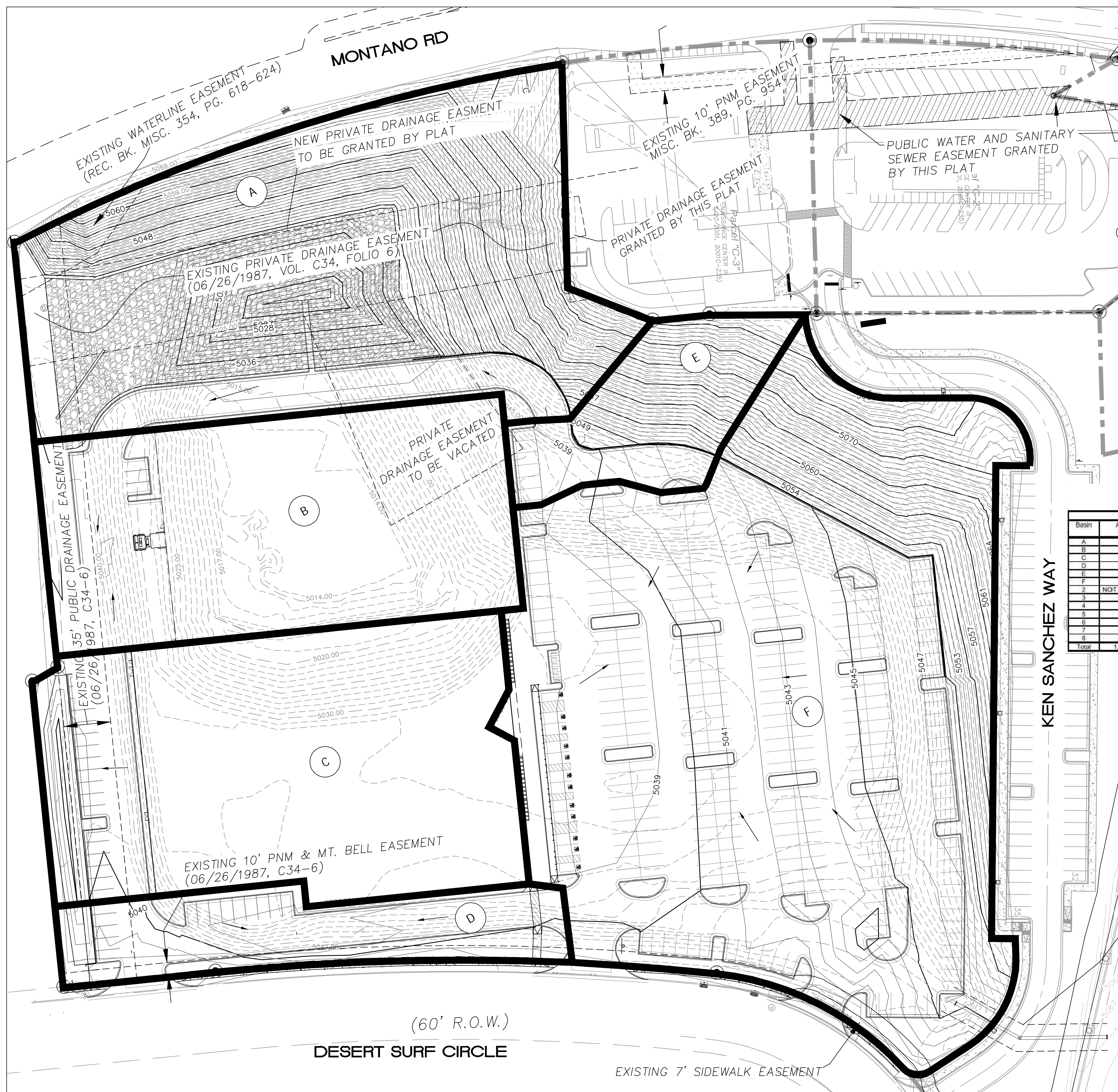
NOTE:
 Street Tree spacing shall be as defined in the street tree ordinance. Plus or minus 25' On Center Average.
 Section 6-6-2-5 Street Trees
 (A)
 1. Size of the trees at maturity should be in proportion to the planting space provided for them. ... Smaller species of trees will require closer spacing, and larger trees will require greater spacing.



October 21, 2022
 EPC Comments Addressed.
 Landscaping Areas dimensioned.
 Tree Spacing not greater than 25'



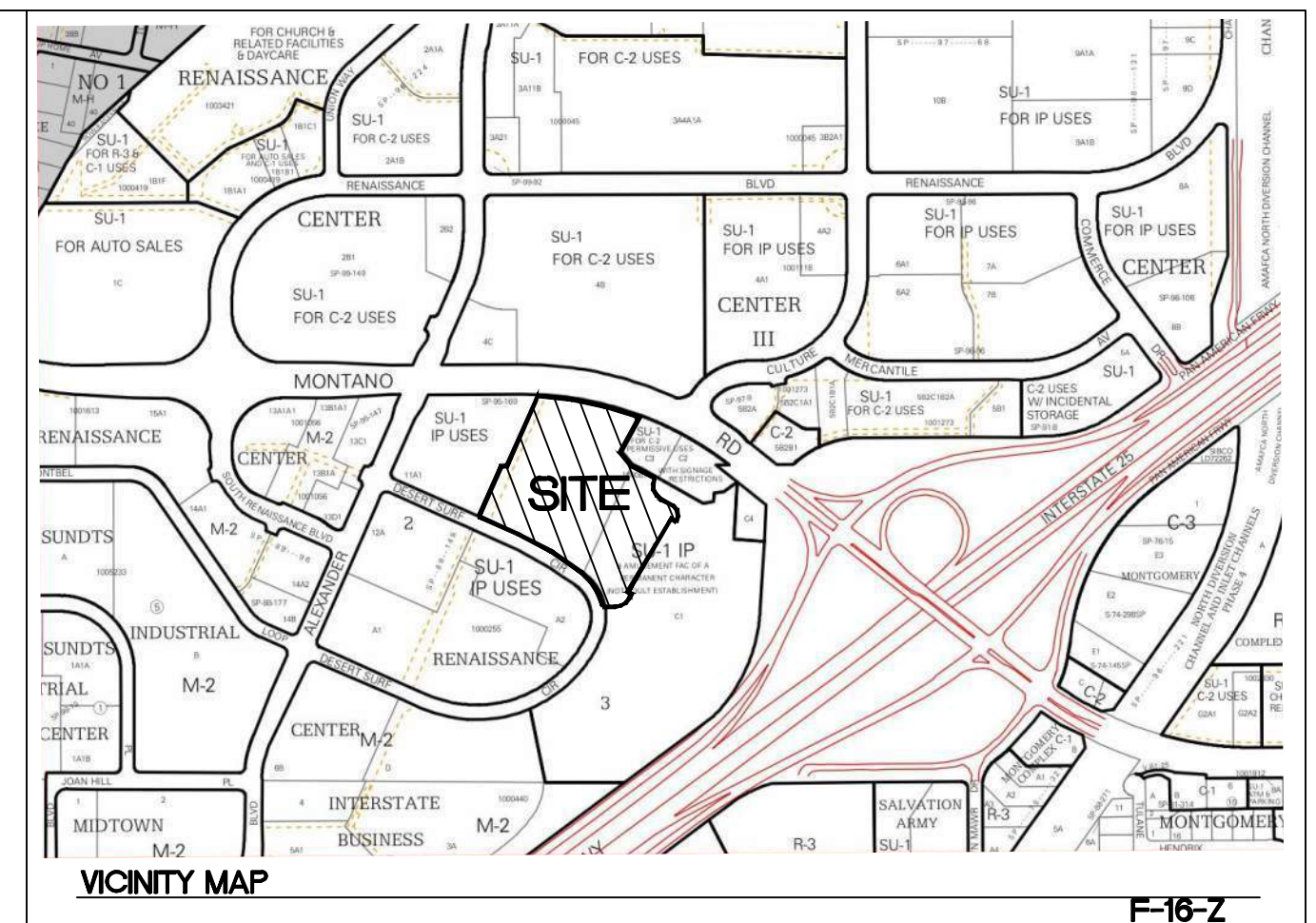
Landscape Architect DANNY D. MITCHELL REGISTERED LANDSCAPE ARCHITECT	ANDRETTI'S RACING ALBUQUERQUE, NM	DRAWN BY pm
	LANDSCAPE PLAN FOR BUILDING PERMIT	DATE 5-17-22
	SHEET # 2	JOB # 2022011



- LEGEND**
- CURB & GUTTER
 - BOUNDARY LINE
 - - - EASEMENT
 - CENTERLINE
 - RIGHT-OF-WAY
 - BUILDING
 - BASIN LIMITS
 - PROPOSED SIDEWALK
 - - - EXISTING CURB & GUTTER
 - WATER BLOCK
 - LANDSCAPING
 - - - EXISTING INDEX CONTOUR
 - - - EXISTING CONTOUR
 - - - PROPOSED INDEX CONTOUR
 - - - PROPOSED CONTOUR
 - FLOW

City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
PRELIMINARY APPROVED
DATE: 08/05/22
BY: *Renee L. Bennett*
HydroTeam # F16D003E3

THESE PLANS AND/OR REPORT ARE
CONCEPTUAL ONLY. MORE INFORMATION MAY
BE NEEDED IN FIELD AND SUBMITTED TO
HYDROLOGY FOR BUILDING PERMIT APPROVAL.



Weighted E Method

Basin	Area (sq ft)	Area (acres)	Treatment				100-Year, 6-hr			10-Year, 6-hr			100-Year, 10 day							
			Treatment A (acres)	Treatment B (acres)	Treatment C (acres)	Treatment D (acres)	Weighted E	Volume (ac-ft)	Flow (cfs)	Weighted E	Volume (ac-ft)	Flow (cfs)	Weighted E	Volume (ac-ft)	Flow (cfs)					
A	84,462	1.94	0%	0.00	100%	0.19	79%	1.53	11%	0.21	1.150	0.188	6.06	0.575	0.093	3.20	1.150	0.212	6.06	
B	57,317	1.32	0%	0.00	9%	0.12	0%	0.00	91%	1.20	2.192	0.240	6.48	1.401	0.154	3.36	2.192	0.387	5.48	
C	68,200	1.57	0%	0.00	8%	0.13	0%	0.00	92%	1.44	2.208	0.288	6.55	1.413	0.184	4.02	2.208	0.464	6.55	
D	20,436	0.47	0%	0.00	35%	0.16	0%	0.00	65%	0.30	1.795	0.070	1.71	1.087	0.042	0.98	1.795	0.108	1.71	
E	23,275	0.53	0%	0.00	4%	0.02	88%	0.31	38%	0.20	1.515	0.067	1.88	0.884	0.038	1.06	1.515	0.082	1.88	
F	149,745	3.41	0%	0.00	6%	0.20	24%	0.82	70%	2.39	1.928	0.548	13.36	1.190	0.539	7.98	1.928	0.841	13.36	
2	NOT USED																			
3	106,762	2.45	0%	0.00	0%	0.00	65%	1.59	35%	0.86	1.485	0.303	6.58	0.841	0.172	4.86	1.485	0.408	6.58	
4	231,637	5.32	0%	0.00	0%	0.00	0%	0.00	100%	5.32	2.330	1.033	23.08	1.510	0.669	14.41	2.330	1.684	23.08	
5	61,650	1.42	0%	0.00	0%	0.00	100%	1.42	0%	0.00	1.030	0.121	4.32	0.480	0.057	2.25	1.030	0.121	4.32	
6	37,190	0.85	0%	0.00	15%	0.13	80%	0.88	5%	0.04	1.051	0.075	2.57	0.825	0.036	1.32	1.051	0.081	2.57	
7	180,355	4.14	0%	0.00	16%	0.66	0%	0.00	84%	3.48	2.085	0.719	16.66	1.316	0.454	10.05	2.085	1.146	16.66	
8	16,694	0.38	0%	0.00	5%	0.02	85%	0.33	10%	0.04	1.149	0.037	1.21	0.574	0.018	0.64	1.149	0.041	1.21	
Total	1,036,723	23.80						15.48			3.689	91.43		2.256	54.14				5.586	91.43

Excess Precipitation, E (inches)			Peak Discharge (cfs/acre)		
Zone 2	100-Year	10-Year	Zone 2	100-Year	10-Year
E ₂	0.62	0.15	Q ₂	1.71	0.41
E ₃	0.8	0.3	Q ₃	2.36	0.95
E ₄	1.03	0.48	Q ₄	3.05	1.59
E ₅	2.33	1.51	Q ₅	4.34	2.71

Manning's Equation:
 $Q = 1.49/n * A * R^{2/3} * S^{1/2}$

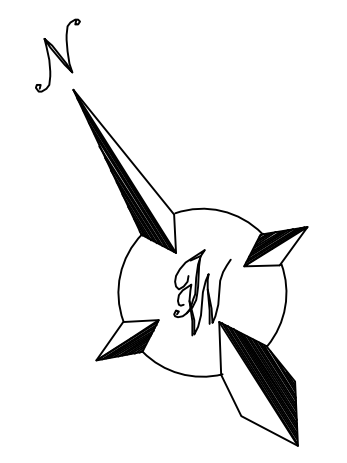
A = Area
R = D/4
S = Slope
n = 0.011 HDPE

Equations:
Weighted E = Ea*As + Eb*Ab + Ec*Ac + Ed*Ad / (Total Area)
Volume = Weighted D * Total Area
Flow = Qa * Aa + Qb * Ab + Qc * Ac + Qd * Ad
Water Quality Calculation: 0.20' x 15.43 ac = 14,610 cubic feet (0.335 ac-ft)

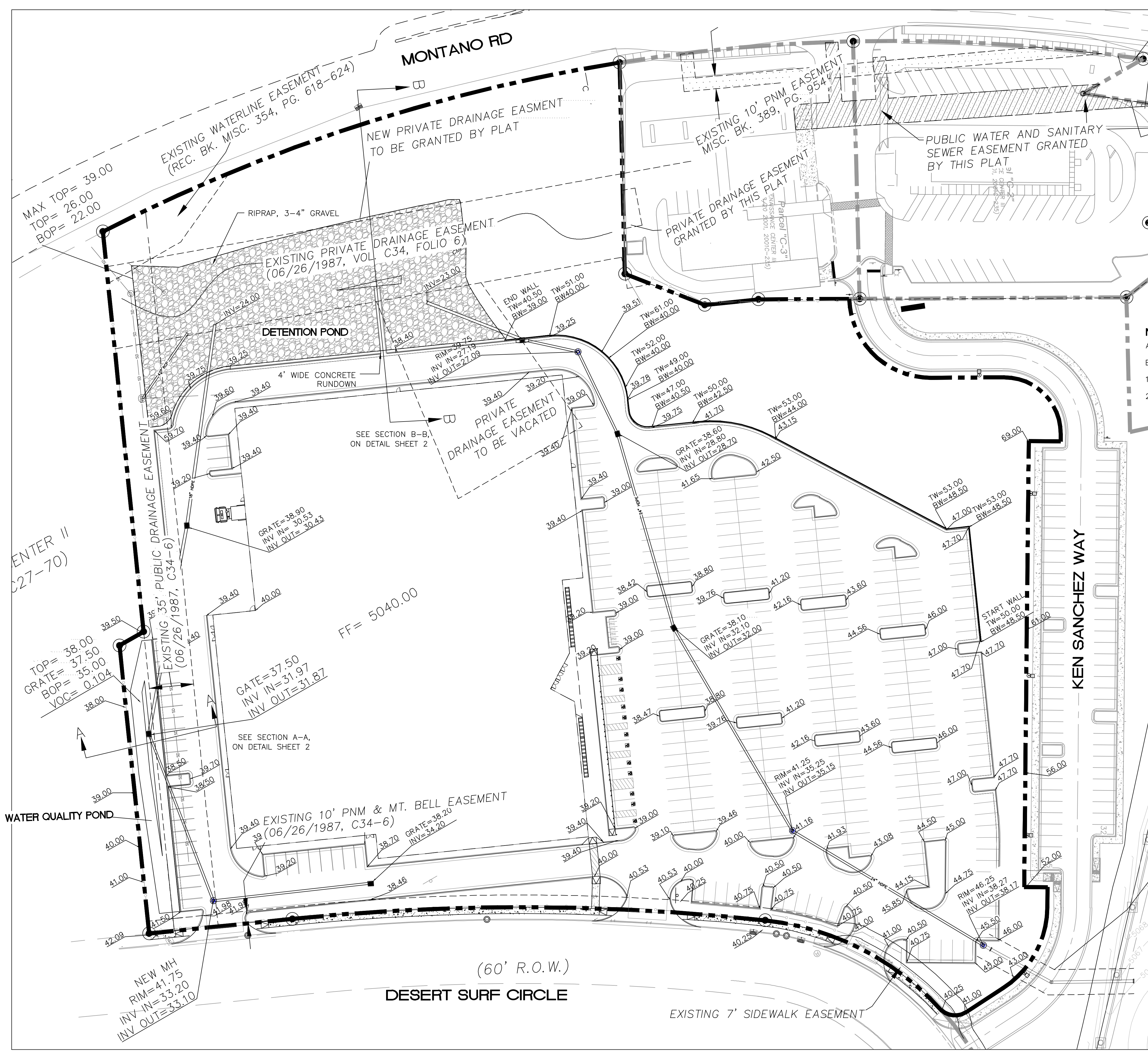
EXISTING DRAINAGE:
THIS SITE IS CURRENTLY VACANT AND WAS FORMALLY PART OF THE BEACH WATERPARK. THE SITE IS LOCATED WITHIN BASIN 1 OF THE OVERALL TOP GOLF MASTER GRADING AND DRAINAGE PLAN (F16D003E1) COMPLETED BY TERRA WEST LLC AND APPROVED 10/29/18. THE SITE IS BOUNDED BY REVEL ENTERTAINMENT TO THE WEST, MONTANO ROAD TO THE NORTH, DESERT SURF CIRCLE TO THE SOUTH AND KEN SANCHEZ WAY TO THE EAST. AS PER THE APPROVED OVERALL DRAINAGE PLAN THERE ARE A NUMBER OF PARCELS THAT DRAIN TO THE EXISTING POND LOCATED IN THE NORTHWEST CORNER OF THE SITE. THE SITE IS LOCATED ON FIRM MAP 3500C0138H AS SHOWN ABOVE. THE MAP SHOWS THAT THE SITE DOES NOT LIE WITHIN ANY 100 YEAR FLOOD PLAIN.

PROPOSED DRAINAGE:
THE SITE WILL CONTINUE TO DRAIN AS PER THE APPROVED TOP GOLF DRAINAGE PLAN. ALL OF THE DRAINAGE WILL BE DIRECTED TO THE POND LOCATED IN THE NORTHWEST CORNER OF THE SITE. THE POND IS CURRENTLY A DETENTION POND DUE TO THE DEPTH BUT IT WILL BE RAISED AND CONVERTED BACK TO A RETENTION POND AS IT WAS PREVIOUSLY DESIGNED. ACCORDING TO THE RENAISSANCE CENTER MASTER DRAINAGE PLAN THE DISCHARGE FROM THE POND IS RESTRICTED TO 0.10 CFS PER ACRE THAT DRAINS TO IT. THE POND ACCEPTS DRAINAGE FROM 23.8 ACRES SO THE RELEASE RATE WILL BE 2.38 CFS. THE POND IS SIZED FOR THE 100YR, 6HR STORM AND WILL ALSO RETAIN THE REQUIRED STORM WATER QUALITY VOLUME PER THE DPM. OFF SITE FLOWS ARE ALSO DIRECTED TO THIS POND AND WILL BE RELEASED AT A RATE OF 36.28 CFS WHICH IS THE FLOW IN THE PIPE PRIOR TO THE DIVERSION. THEREFORE THE TOTAL DISCHARGE FROM THE POND WILL BE 38.66 CFS

NOTE
ADD 5000 TO ALL SPOT ELEVATIONS
ELEVATIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED



ENGINEER'S SEAL	ANDRETTI'S RACING	DRAWN BY
	ALBUQUERQUE, NM	JL
CONCEPTUAL DRAINAGE PLAN	TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierwestllc.com	DATE
		6-8-22
		DRAWING
RONALD R. BOHANNAN P.E. #7868		SHEET #
		GR-1
		JOB #
		2022011



LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- - - EASEMENT
- - - CENTERLINE
- - - RIGHT-OF-WAY
- ▭ BUILDING
- ▨ PROPOSED SIDEWALK
- ▧ EXISTING CURB & GUTTER
- ▩ WATER BLOCK
- LANDSCAPING
- EXISTING INDEX CONTOUR
- EXISTING CONTOUR
- FLOW

NOTE

- ADD 5000 TO ALL SPOT ELEVATIONS
 ELEVATIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED
- SEE SHEET GR-3 FOR STORM SEWER INFORMATION
 - SEE SHEET GR-4 FOR RETAINING WALL INFORMATION

EROSION CONTROL NOTES:

- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
- REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.
- ALL SLOPES NOT STABILIZED AT THE END OF THE PROJECT SHALL BE STABILIZED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE SPECS OR 3/4" GRAVEL

NOTICE TO CONTRACTORS

- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HERON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

VOLUME CALCULATIONS

Water Quality Pond

Ab - Bottom Of The Pond Surface Area
 At - Top Of The Pond Surface Area
 D - Water Depth
 Dt - Total Pond Depth
 C - Change In Surface Area / Water Depth

Volume = $Ab * D + 0.5 * C * D^2$
 $C = (At - Ab) / Dt$
 Ab = 667.00
 At = 4,184.00
 Dt = 3.00
 C = 1172.33

ACTUAL ELEV.	DEPTH (FT)	VOLUME (AC-FT)
5035.00	0.00	0.00
5035.50	0.50	0.0077
5036.00	1.00	0.0187
5036.50	1.50	0.0364
5037.00	2.00	0.0609
5037.50	2.50	0.0921
5038.00	3.00	0.1300

Grate Elevation

VOLUME CALCULATIONS
DETENTION POND

Ab - Bottom Of The Pond Surface Area
 At - Top Of The Pond Surface Area
 D - Water Depth
 Dt - Total Pond Depth
 C - Change In Surface Area / Water Depth

Volume = $Ab * D + 0.5 * C * D^2$
 $C = (At - Ab) / Dt$
 Ab = 940.00
 At = 29,965.00
 Dt = 16.50
 C = 1759.09

ACTUAL ELEV.	DEPTH (FT)	VOLUME (AC-FT)	Q (CFS)
5022.50	0.00	0.00	0.0000
5023.50	1.00	0.0216	0.0000
5024.50	2.00	0.0634	0.0000
5025.50	3.00	0.1455	0.0000
5026.50	4.00	0.2680	0.0000
5027.50	5.00	0.4310	3.5176
5028.50	6.00	0.6343	13.4573
5029.50	7.00	0.8780	18.7036
5030.50	8.00	1.1620	22.7717
5031.50	9.00	1.4865	26.2160
5032.50	10.00	1.8513	29.2575
5033.50	11.00	2.2565	32.0114
5034.50	12.00	2.7021	34.5464
5035.50	13.00	3.1881	36.9078
5036.28	13.78	3.5974	38.6583
5037.00	14.50	3.9951	40.1988
5038.50	16.00	4.8909	43.2323
5039.00	16.50	5.2097	44.1973

Water Quality Elevation

100-yr Volume

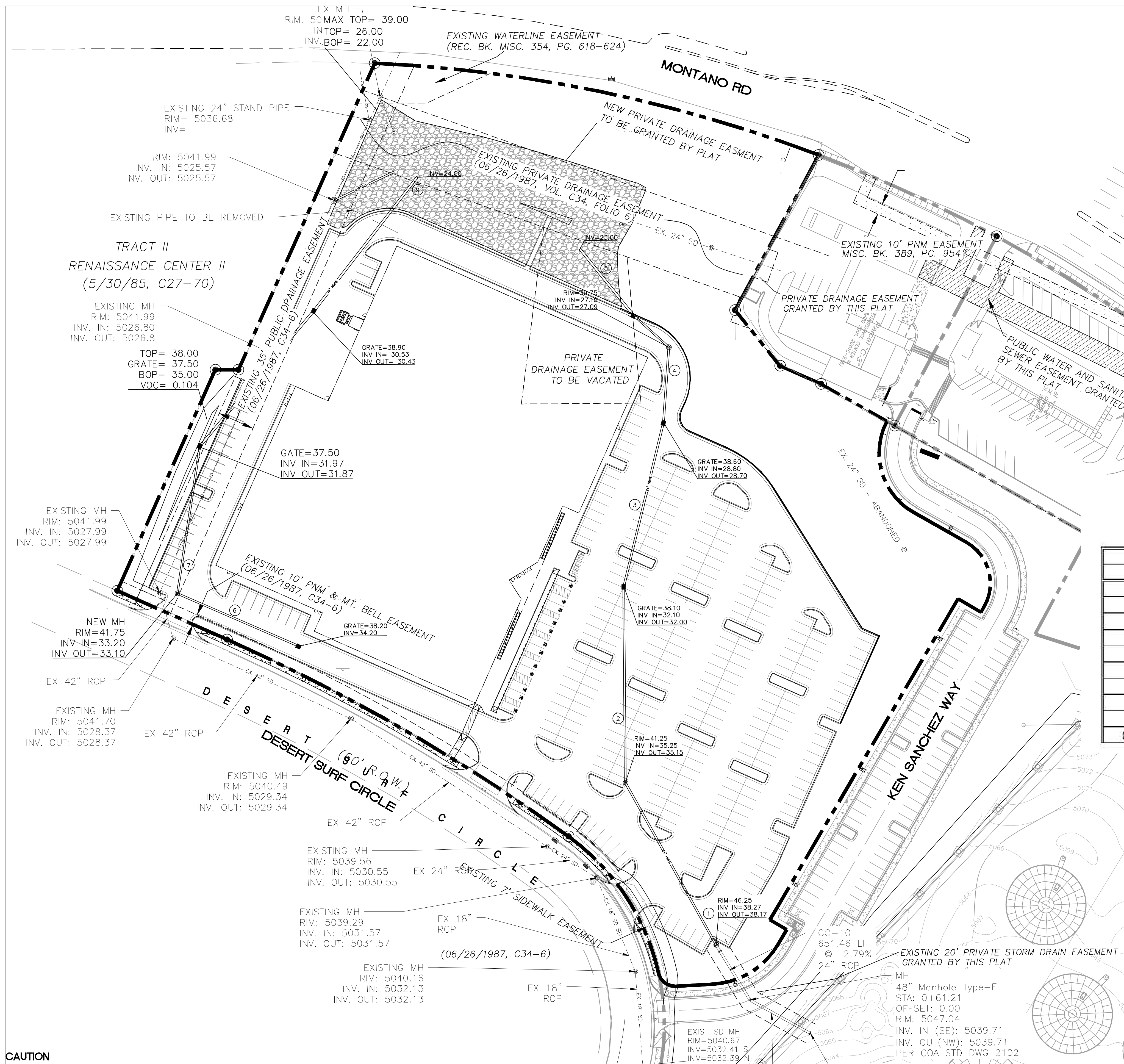
Orifice Equation
 $Q = CA \text{ SQRT}(2gh)$

C = 0.6
 Diameter (in) = 22.24
 Area (ft²) = 2.698
 g = 32.2
 H (ft) = Depth of water above center of orifice
 Q (CFS) = Flow

City of Albuquerque
 Planning Department
 Development Review Services
HYDROLOGY SECTION
PRELIMINARY APPROVED
 DATE: 08/05/22
 BY: *Ronald R. Bohannon*
 HydroTrans # F16D003E3

THESE PLANS AND/OR REPORT ARE CONCEPTUAL ONLY. MORE INFORMATION MAY BE NEEDED IN THEM AND SUBMITTED TO HYDROLOGY FOR BUILDING PERMIT APPROVAL.

ENGINEER'S SEAL	ANDRETTI'S RACING ALBUQUERQUE, NM	DRAWN BY JL
	CONCEPTUAL GRADING PLAN	DATE 6-8-22
 TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	SHEET #	DRAWING
	GR-2	JOB # 2022011



LEGEND

- CURB & GUTTER
- - - BOUNDARY LINE
- - - EASEMENT
- - - CENTERLINE
- - - RIGHT-OF-WAY
- ▭ BUILDING
- ▭ PROPOSED STORM DRAIN
- ▭ PROPOSED SIDEWALK
- - - EXISTING CURB & GUTTER
- ~ WATER BLOCK
- ▭ LANDSCAPING

Pipe Capacity

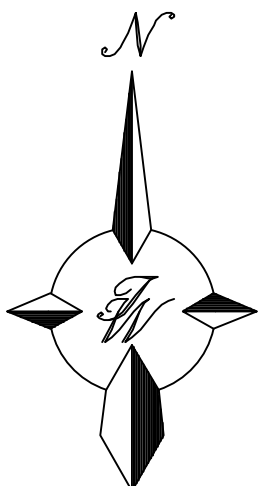
Pipe	D (in)	Slope (%)	Area (ft ²)	R	Q Provided (cfs)	Q Required (cfs)	Velocity (ft/s)
1	24	1.66	3.14	0.500	34.54	23.08	7.35
2	24	1.64	3.14	0.500	34.33	23.08	7.35
3	24	2.00	3.14	0.500	37.91	36.44	11.60
4	24	2.10	3.14	0.500	38.85	38.32	12.20
5	24	2.34	3.14	0.500	41.01	38.32	12.20
6	18	0.80	1.77	0.375	11.13	1.71	0.97
7	18	0.80	1.77	0.375	11.13	1.71	0.97
8	18	0.80	1.77	0.375	11.13	8.26	4.67
9	18	3.59	1.77	0.375	23.58	13.74	7.78
Outlet Pipe	24	2.08	3.14	0.500	38.66	38.66	12.31

CAUTION
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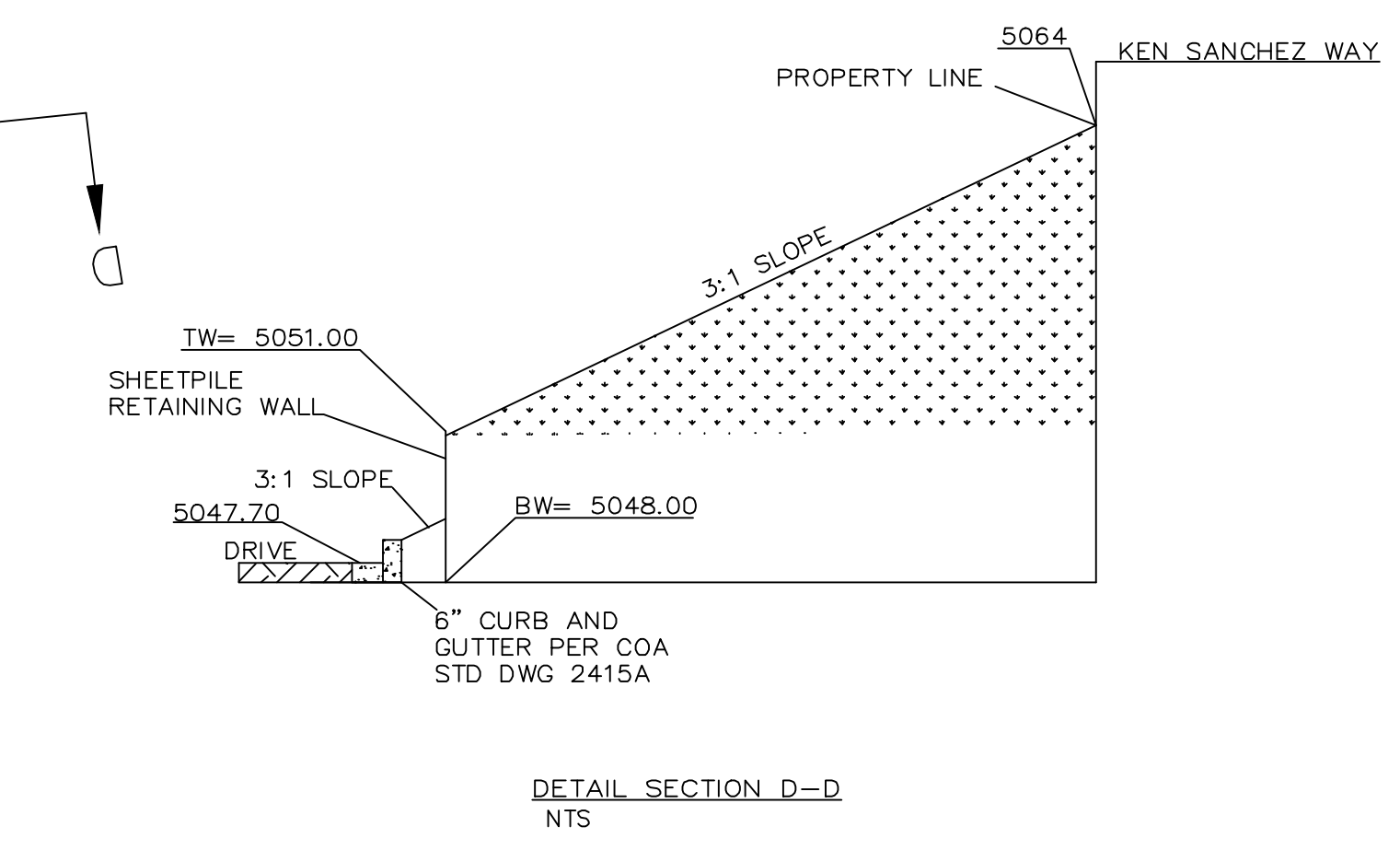
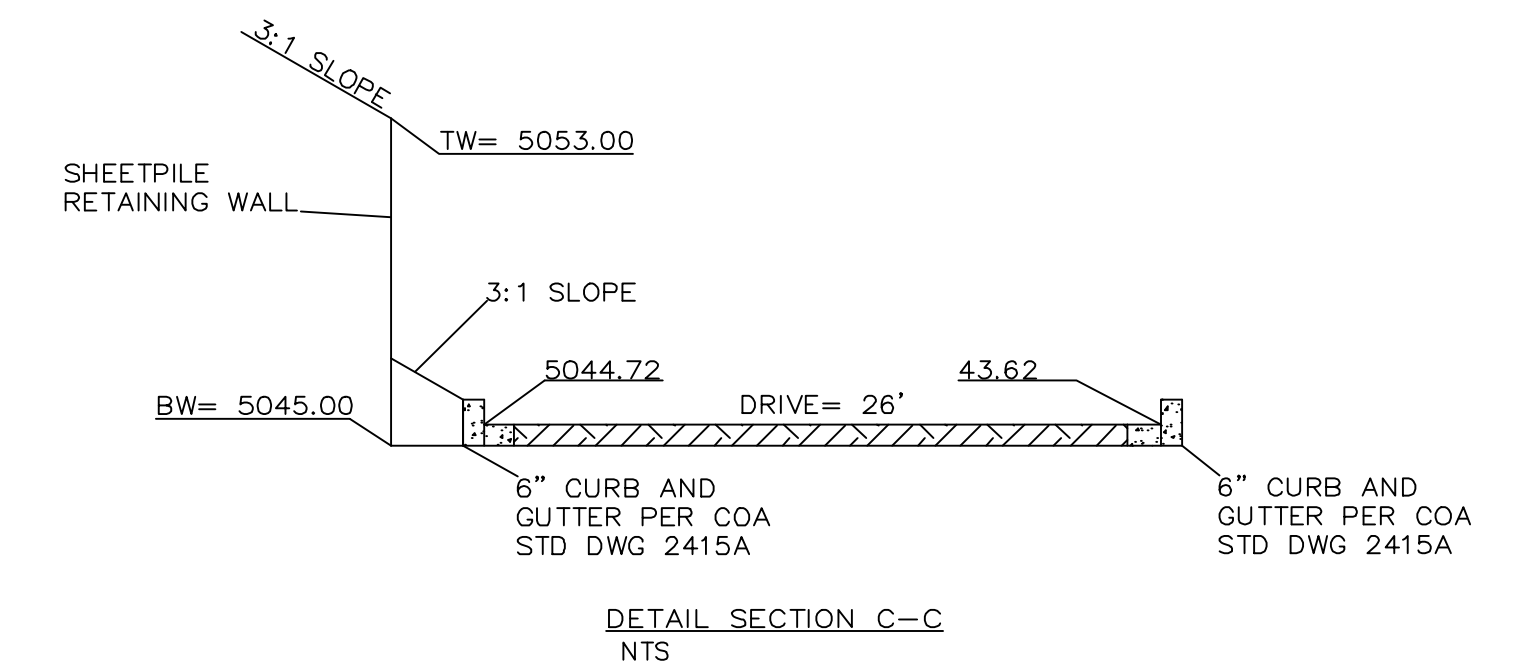
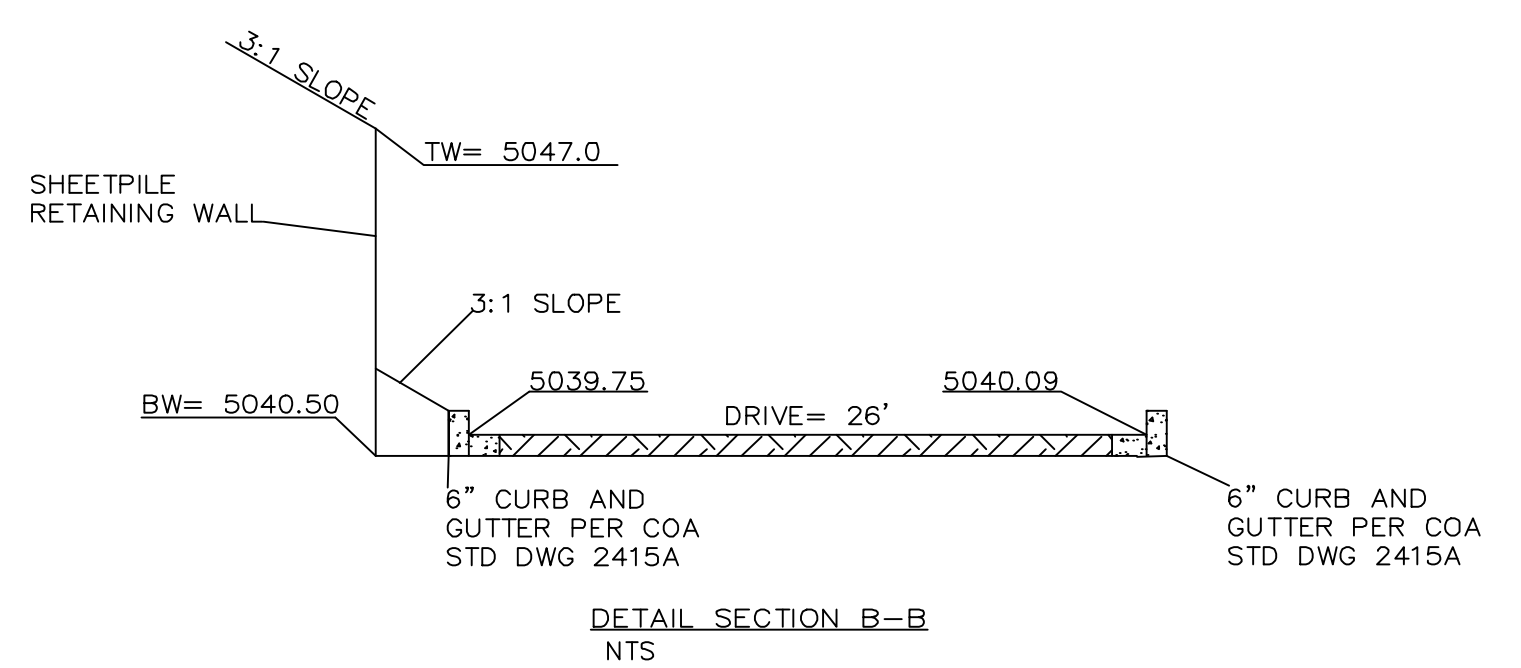
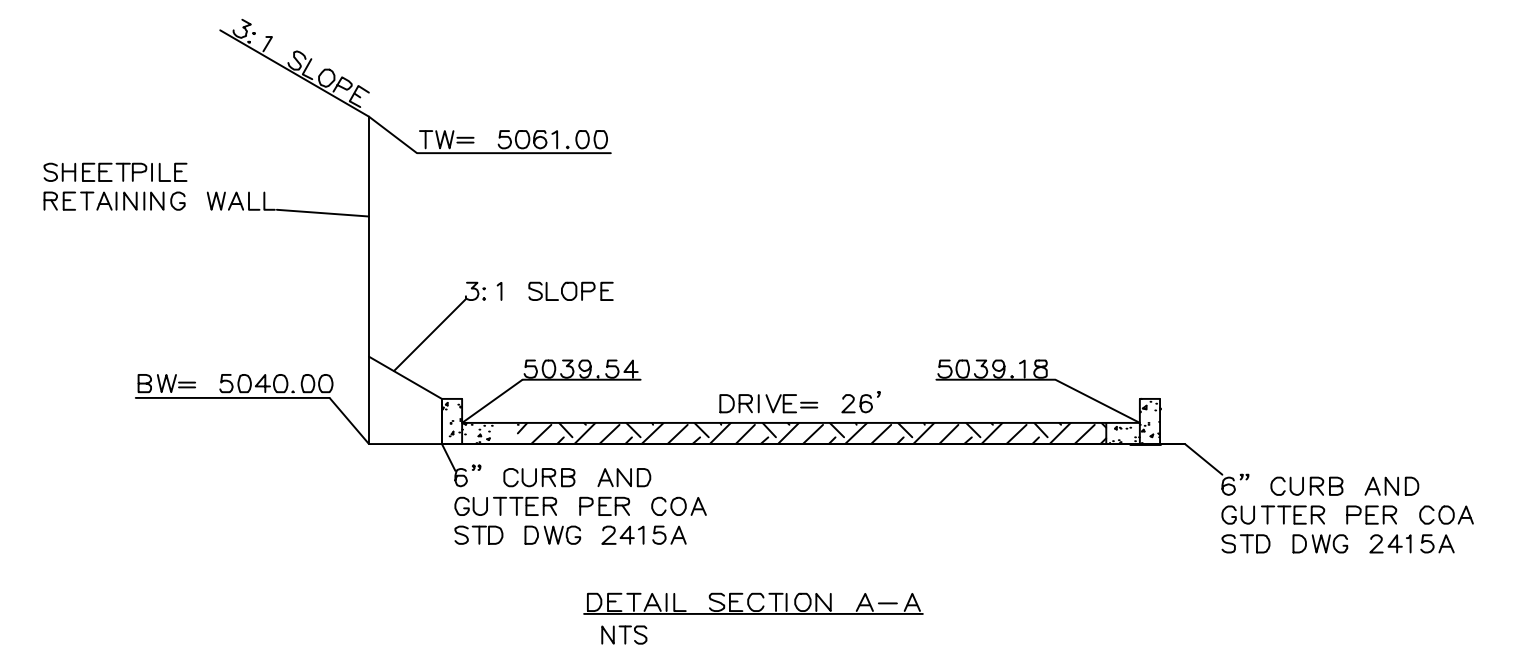
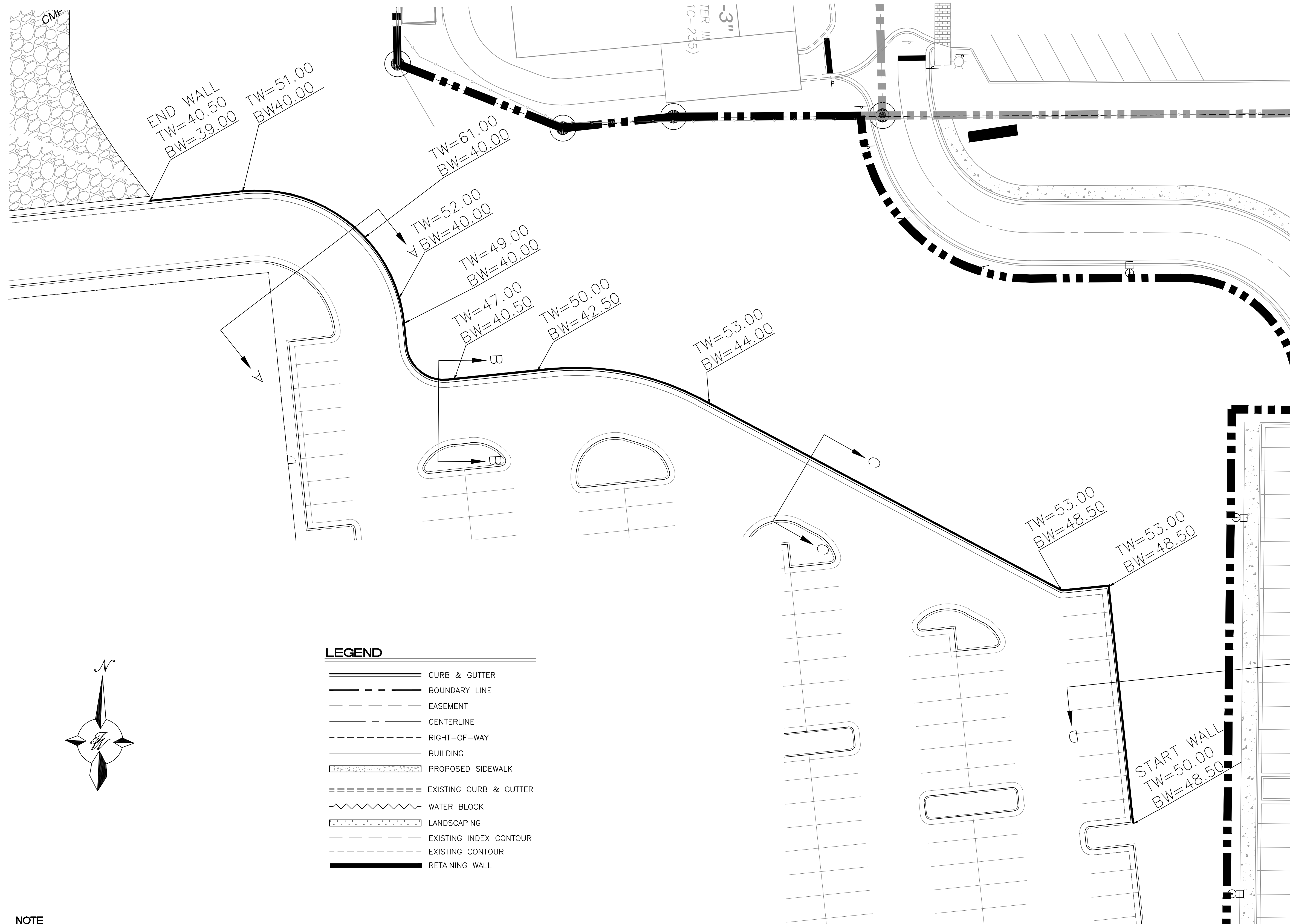
NOTE
 ADD 5000 TO ALL SPOT ELEVATIONS
 ELEVATIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED

City of Albuquerque
 Planning Department
 Development Review Services
HYDROLOGY SECTION
PRELIMINARY APPROVED
 DATE: 08/05/22
 BY: *Ronald R. Bohannon*
 HydroTrans # F16D003E3

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ENGINEER'S SEAL	ANDRETTI'S RACING	DRAWN BY
	ALBUQUERQUE, NM	JL
	STORM SEWER/POND PLAN	DATE
		6-8-22
		DRAWING
		SHEET #
		GR-3
RONALD R. BOHANNAN P.E. #7868	TIERRA WEST, LLC	JOB #
	5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	2022011



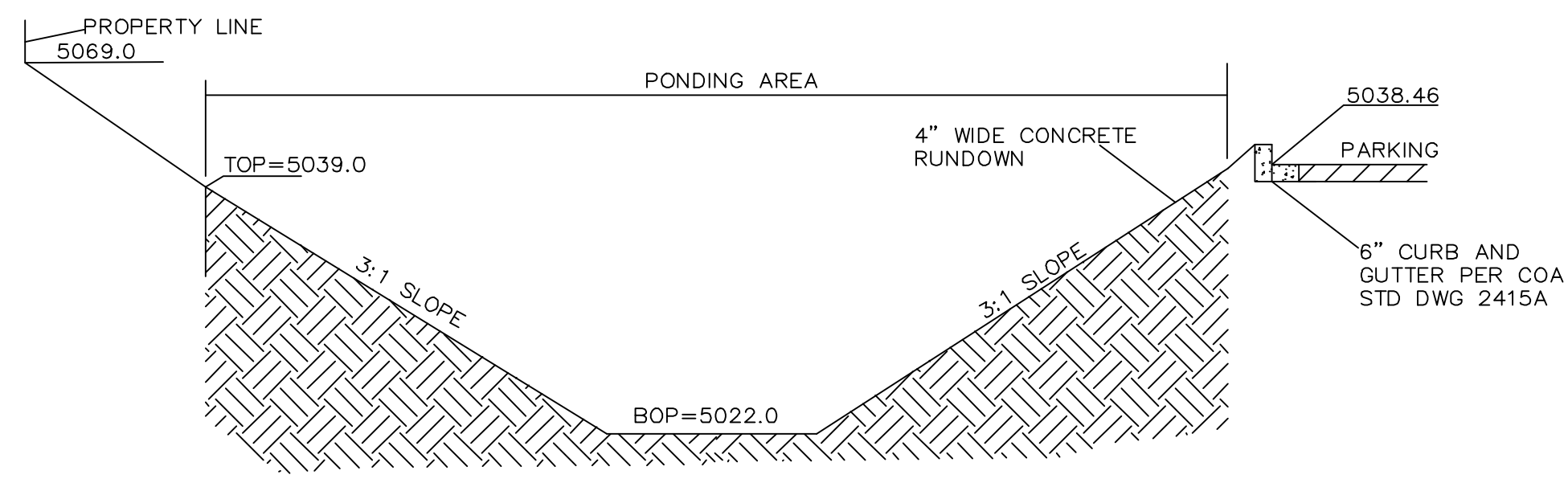
- LEGEND**
- CURB & GUTTER
 - - - BOUNDARY LINE
 - - - EASEMENT
 - - - CENTERLINE
 - - - RIGHT-OF-WAY
 - ▬ BUILDING
 - ▬ PROPOSED SIDEWALK
 - - - EXISTING CURB & GUTTER
 - ~ WATER BLOCK
 - ▬ LANDSCAPING
 - - - EXISTING INDEX CONTOUR
 - - - EXISTING CONTOUR
 - ▬ RETAINING WALL

NOTE
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 ELEVATIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED

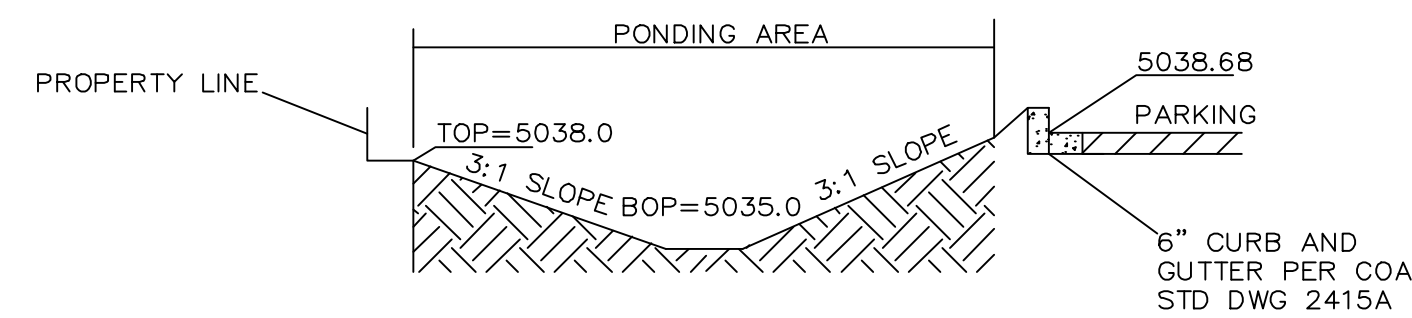
CAUTION
 ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS. PRIOR TO STARTING THE WORK, ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



ENGINEER'S SEAL	ANDRETTI'S RACING ALBUQUERQUE, NM	DRAWN BY JL
	RETAINING WALL PLAN	DATE 6-8-22
 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierwestllc.com		DRAWING
	RONALD R. BOHANNAN P.E. #7868	
		JOB # 2022011

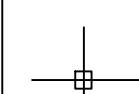


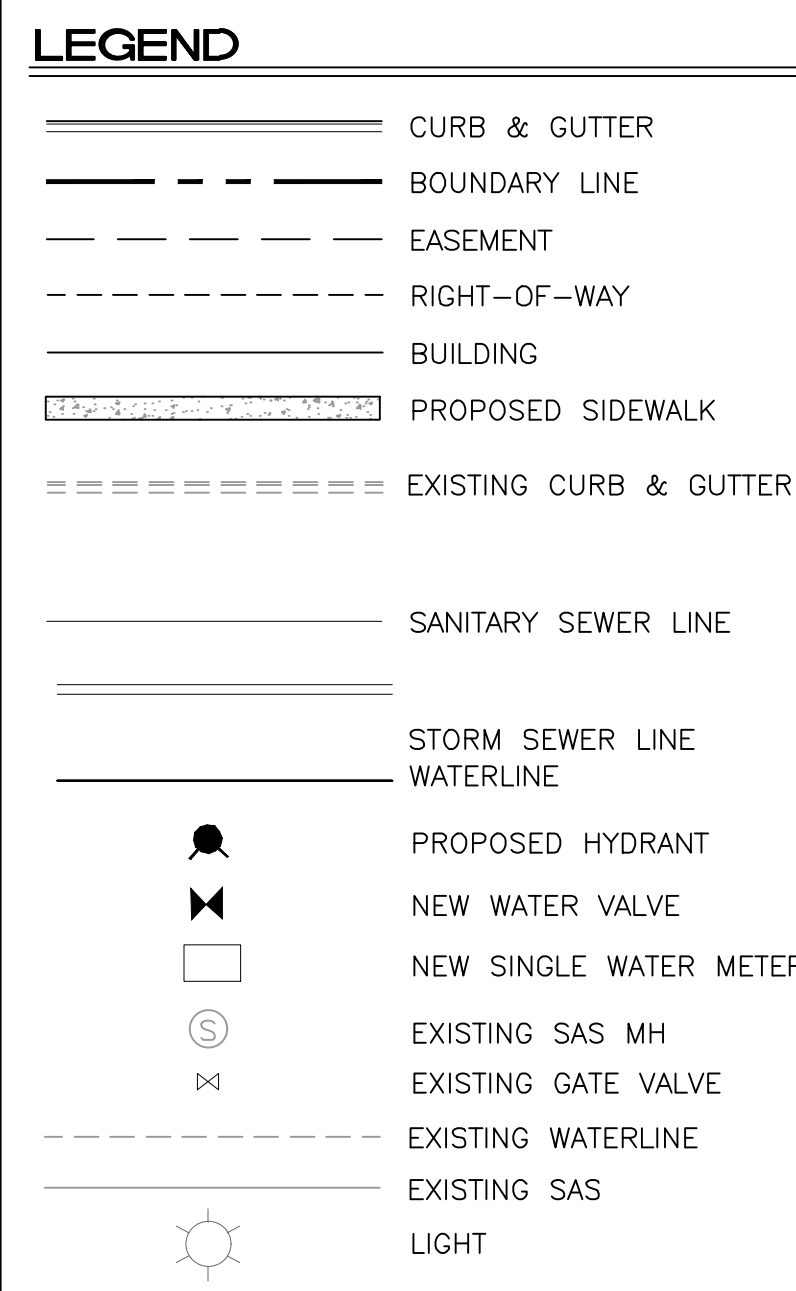
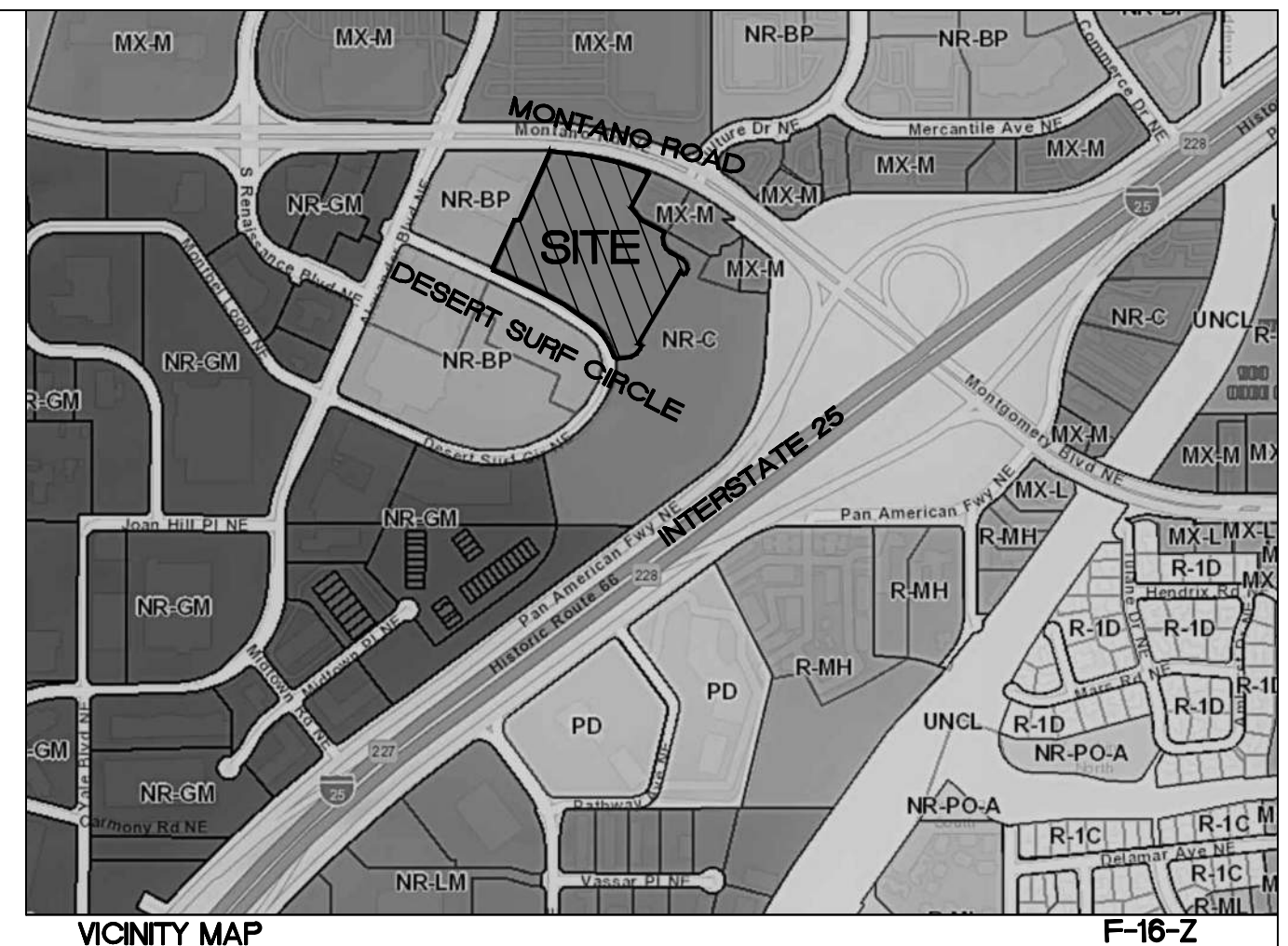
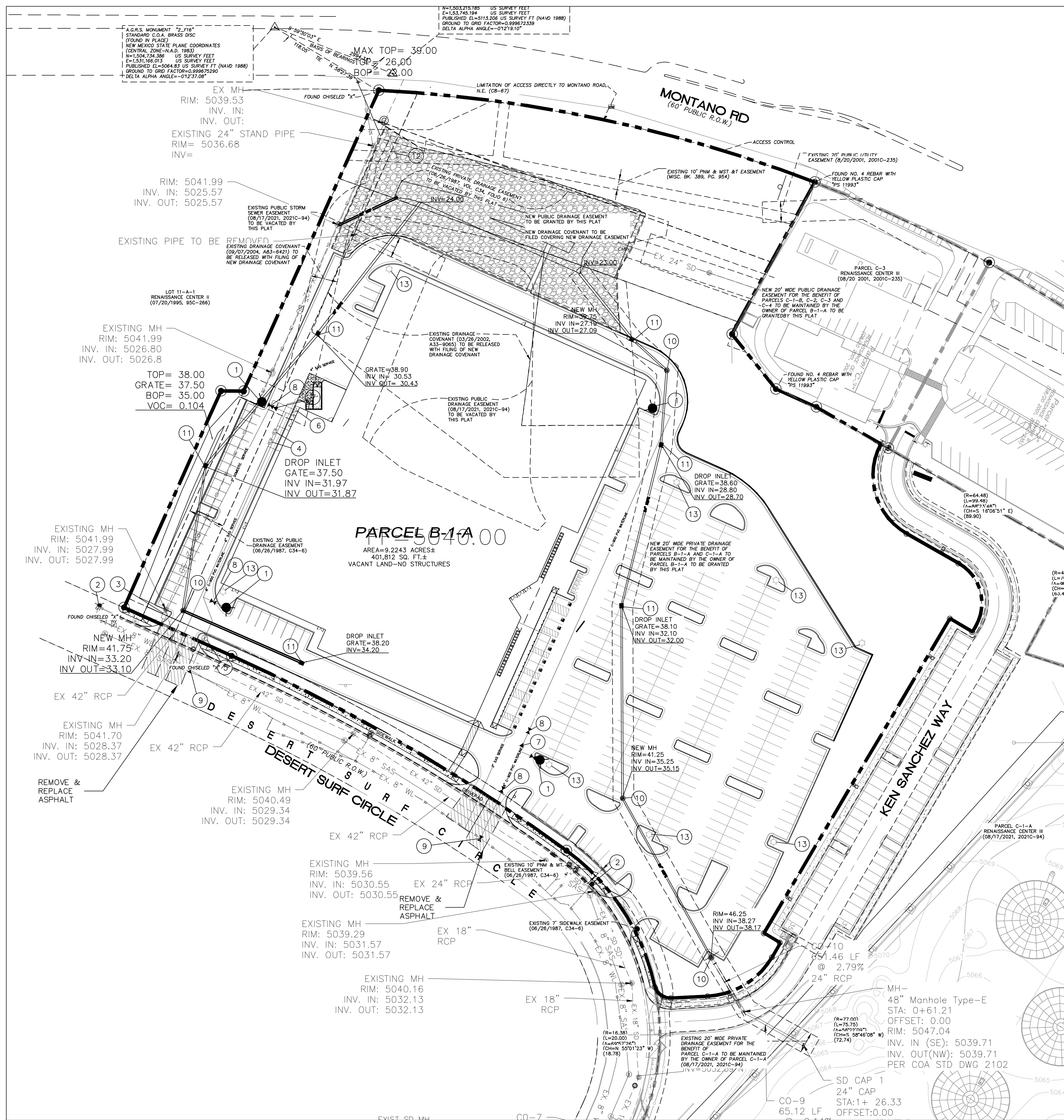
DETAIL SECTION B-B FROM G-2
NTS



DETAIL SECTION A-A FROM G-2
NTS



ENGINEER'S SEAL	ANDRETTI'S RACING ALBUQUERQUE, NM	DRAWN BY JL
	DETAIL	DATE 6-8-22
RONALD R. BOHANNAN P.E. #7868	 TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrowestllc.com	DRAWING
		SHEET # GR-2
		JOB # 2022011



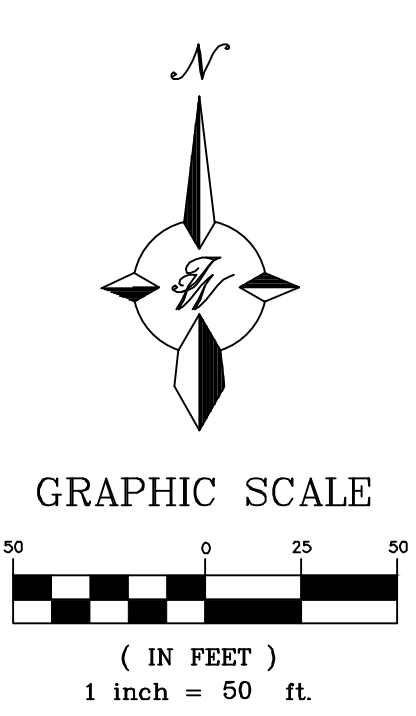
LEGAL DESCRIPTION:
 PARCEL B-1-A CORRECTION PLAT OF PARCELS C-1-A, C-1-B AND B-1-A RENAISSANCE CENTER III CONT 9.2281 AC

GENERAL UTILITY NOTES:

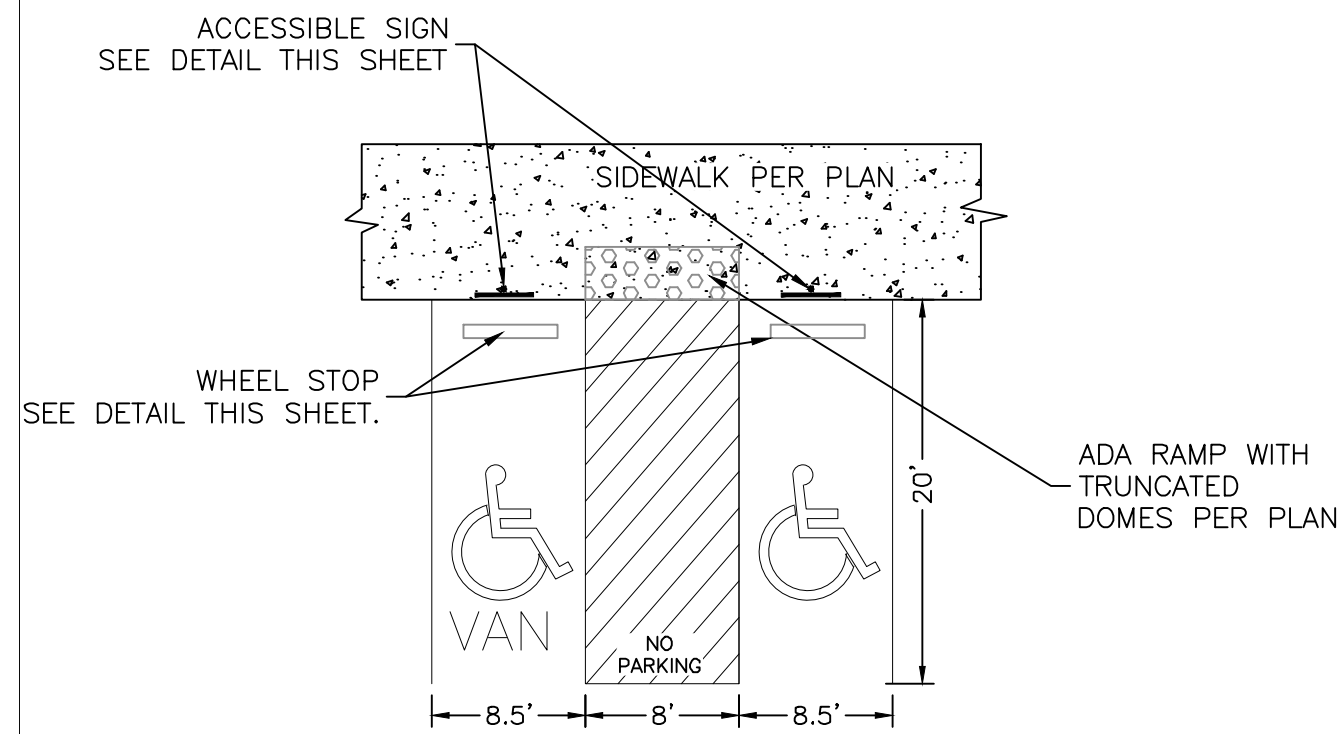
- ALL WATER AND SEWER UTILITY WORK TO BE DONE IN ACCORDANCE WITH CITY OF RIO RANCHO STANDARDS AND SPECIFICATIONS LATEST EDITION.
- 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
- REFERENCE PLUMBING PLANS FOR WATER LINE RISER LOCATIONS, BACKFLOW PREVENTOR LOCATED INSIDE BUILDING
- CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS AT LOCATIONS INDICATED AND AT MID RUN IF LONGER THAN 100'
- ALL PLUMBING PIPE MATERIAL TO BE USED PER UPC.
- FIRE LINE AND DOMESTIC WATERLINE MUST HAVE BACKFLOW PREVENTORS PER UPC. TO BE PROVIDED IN THE BUILDING
- ALL EX. SD INLETS AND MH'S SHALL HAVE CONCRETE COLLARS POURED AND BE ADJUSTED TO FINISHED GRADE.
- ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
- ALL UTILITY DISTANCES SHOWN ARE FOR REFERENCE ONLY.

- KEYED NOTES**
- 1 PROPOSED FIRE HYDRANT
 - 2 EXISTING FIRE HYDRANT
 - 3 3" WATER METER PIT
 - 4 PROPOSED GREASE INTERCEPTOR
 - 5 PIV
 - 6 FDC
 - 7 8"x6" REDUCER
 - 8 6" PRIVATE GATE VALVE
 - 9 6" PUBLIC GATE VALVE
 - 10 PROPOSED MANHOLE
 - 11 PROPOSED INLET
 - 12 EX. STORM SEWER
 - 13 PARKING LOT LIGHT STANDARD (TYP) FULL CUTOFF LED'S, 25' HIGH, SEE DETAIL SHEET DET-2

CAUTION
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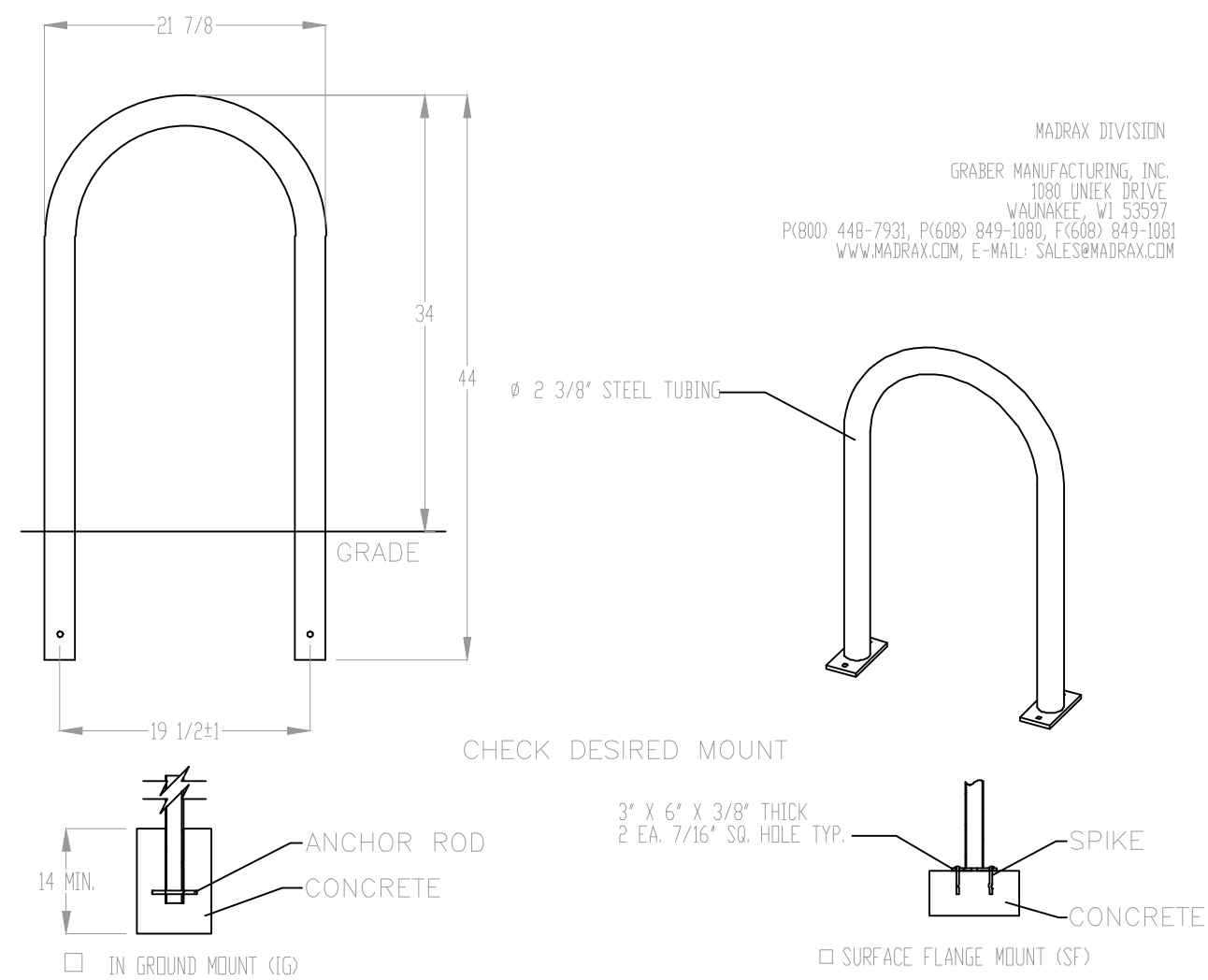


 ENGINEER'S SEAL RONALD R. BOHANNAN NEW MEXICO 7868 PROFESSIONAL ENGINEER	ANDRETTI'S RACING ALBUQUERQUE, NM	DRAWN BY JL
	CONCEPTUAL MASTER UTILITY PLAN	DATE 6-09-22
TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # MU-1	JOB # 2022011



- NOTES:
- 1) International Symbol of Accessibility shall be painted on the pavement at rear of space, white symbol on blue background.
 - 2) Parking space lines and diagonal striping to be painted blue.
 - 3) Access aisle shall have the words "NO PARKING" in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tires would be placed.
 - 4) ADA parking areas - not to exceed a slope greater than 2% in any direction

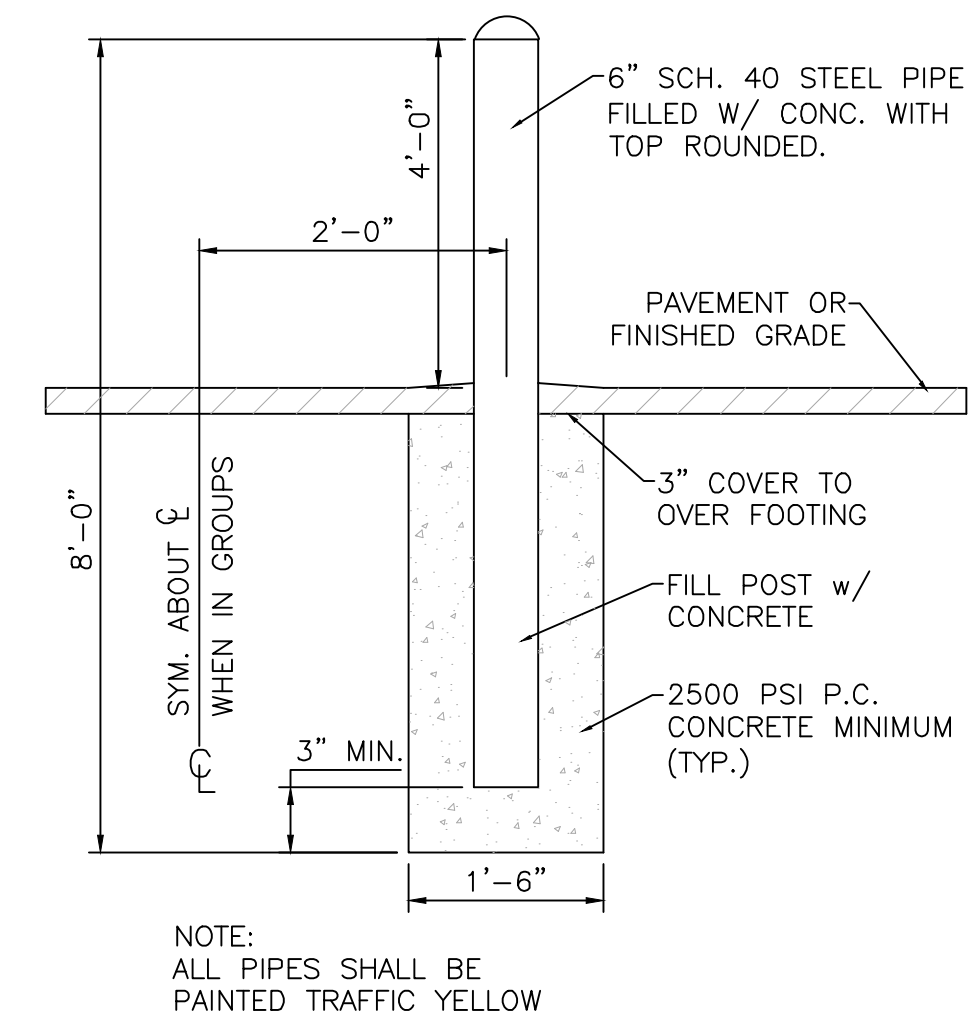
(1) HC PARKING DETAIL
SCALE: NTS



PRODUCT: U238-1G(SF)
DESCRIPTION: 1" BIKE RACK
2 BIKE, SURFACE OR IN GROUND MOUNT
DATE: 10-4-18
ENG: SMC
CONFIDENTIAL DRAWING AND INFORMATION IS NOT TO BE COPIED OR DISCLOSED TO OTHERS WITHOUT THE CONSENT OF GRABER MANUFACTURING, INC. SPECIFICATIONS ARE SUBJECT TO CHANGE WITHOUT NOTICE.
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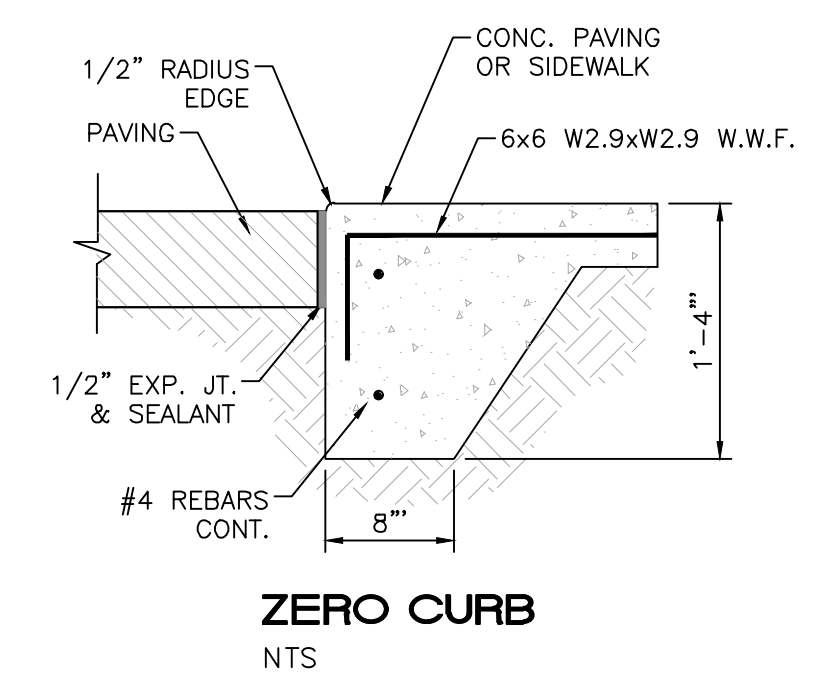
- NOTES:
- 1) INSTALL BIKE RACKS ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
 - 2) CONSULTANT TO SELECT COLOR (FINISH); SEE MANUFACTURER'S SPECIFICATIONS.
 - 3) SEE SITE PLAN FOR LOCATION OR CONSULT OWNER.
 - 4) BIKE RACK SHALL HAVE A 1-FOOT CLEAR ZONE ALL AROUND.
 - 5) EACH BIKE RACK SPACE SHALL BE AT LEAST 6 FEET LONG AND 2 FEET WIDE.

BIKE RACK DETAIL
SCALE: NONE

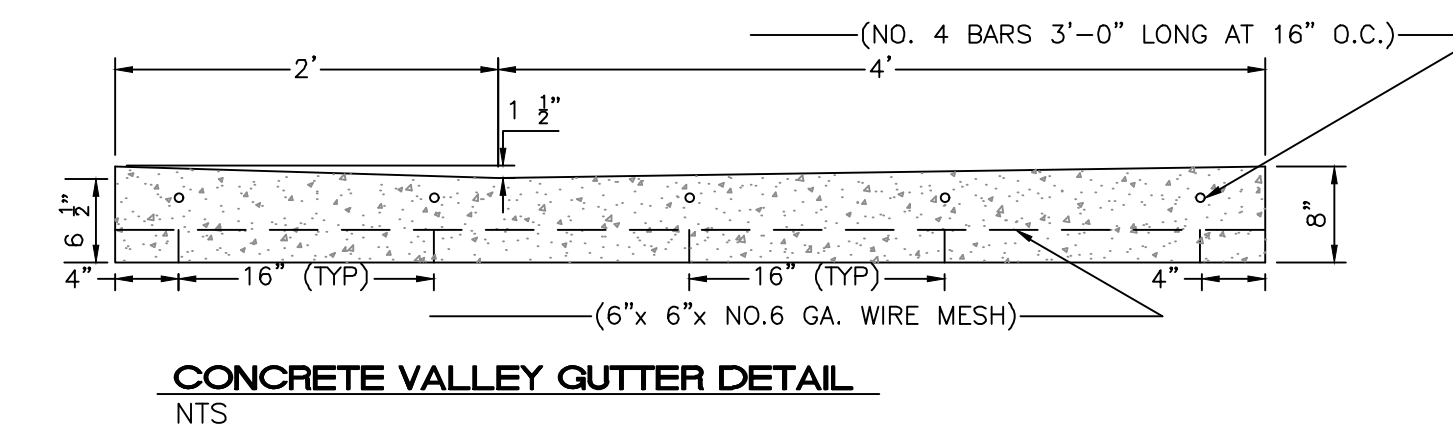


NOTE:
ALL PIPES SHALL BE PAINTED TRAFFIC YELLOW

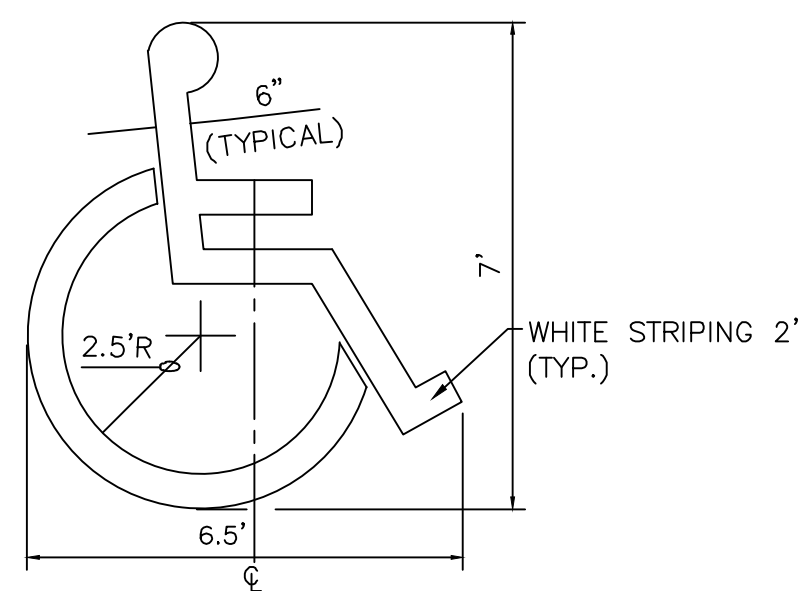
BOLLARD DETAIL
NTS



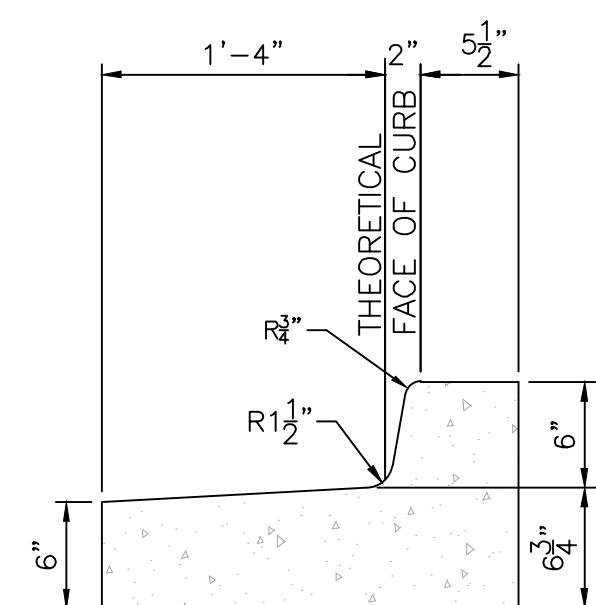
ZERO CURB
NTS



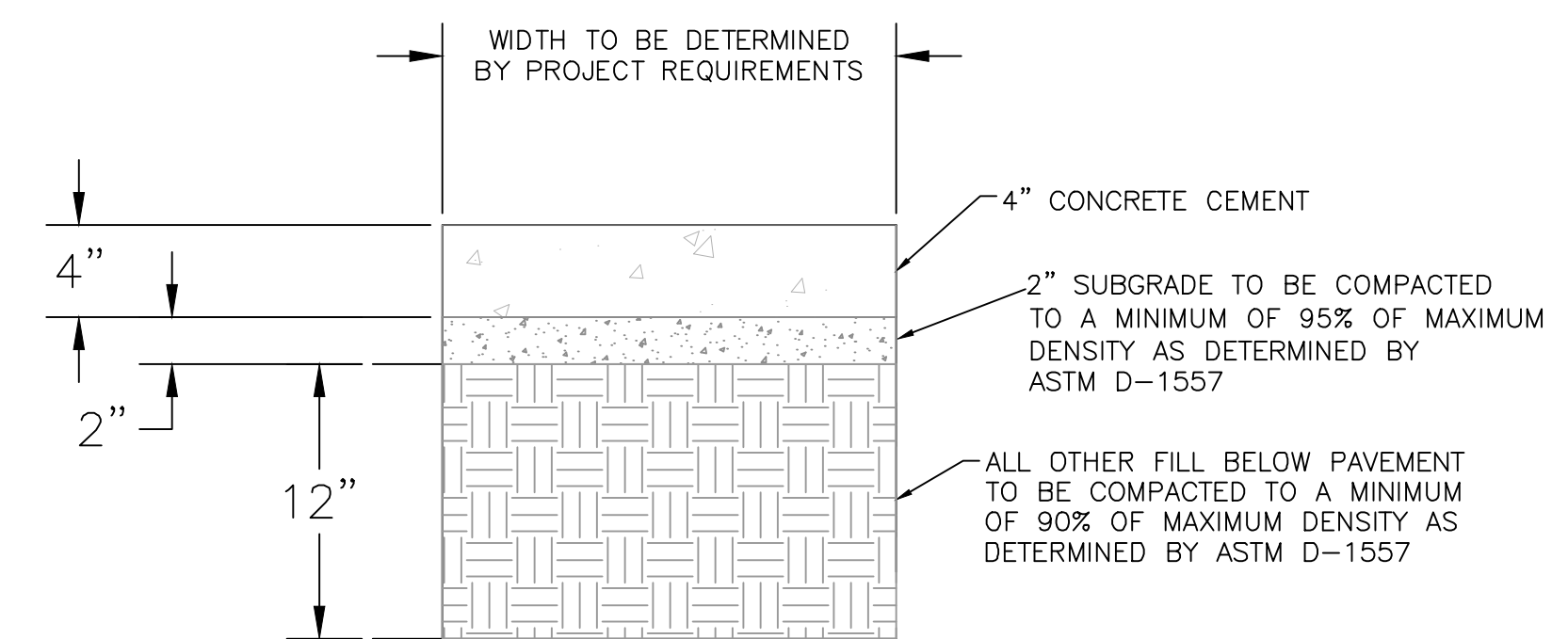
CONCRETE VALLEY GUTTER DETAIL
NTS



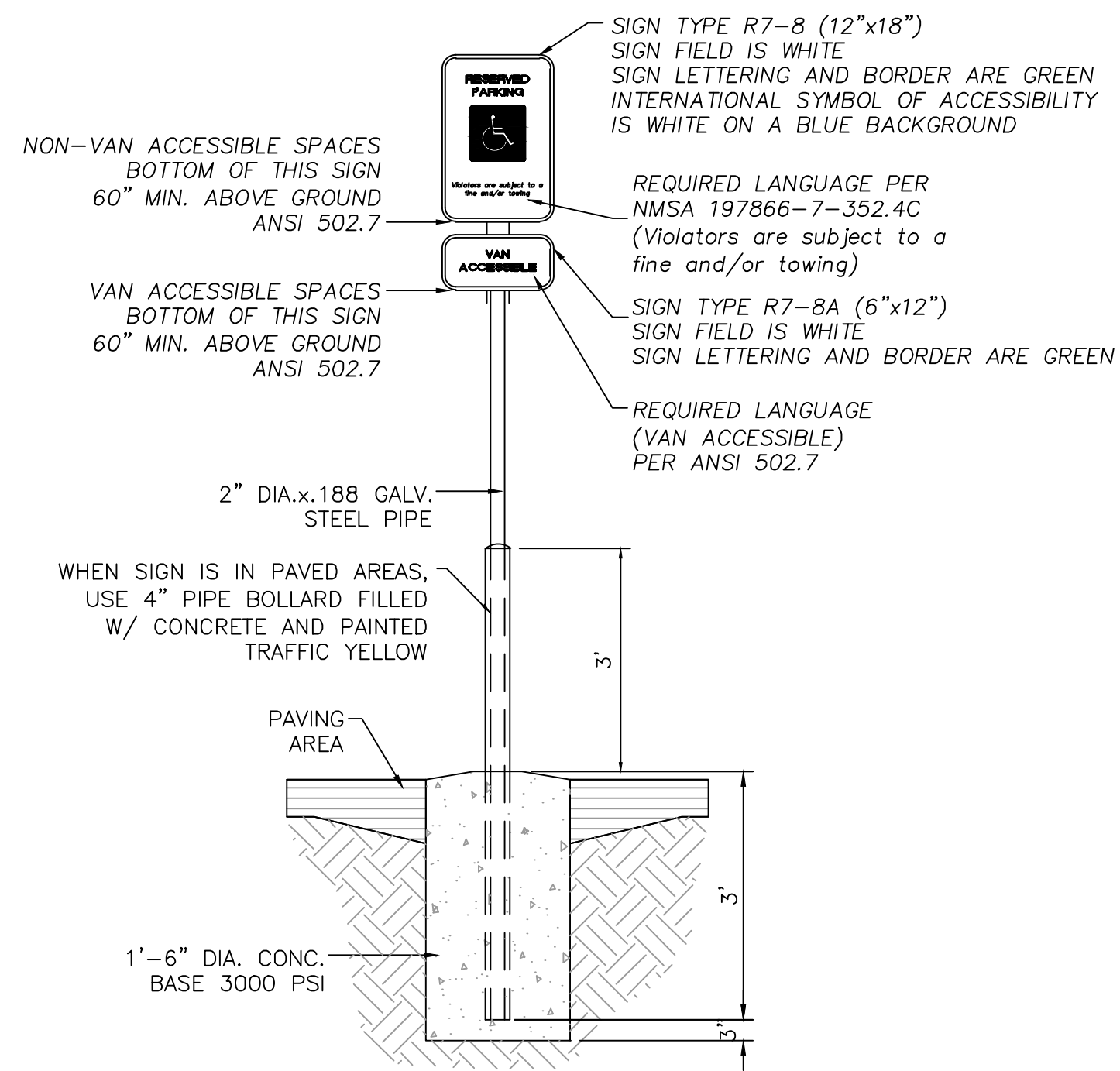
LOCATE AT EDGE OF PARKING SPACE UNLESS ACCOMPANIED BY "VAN" LETTERING
ACCESSIBLE PARKING SYMBOL
NTS



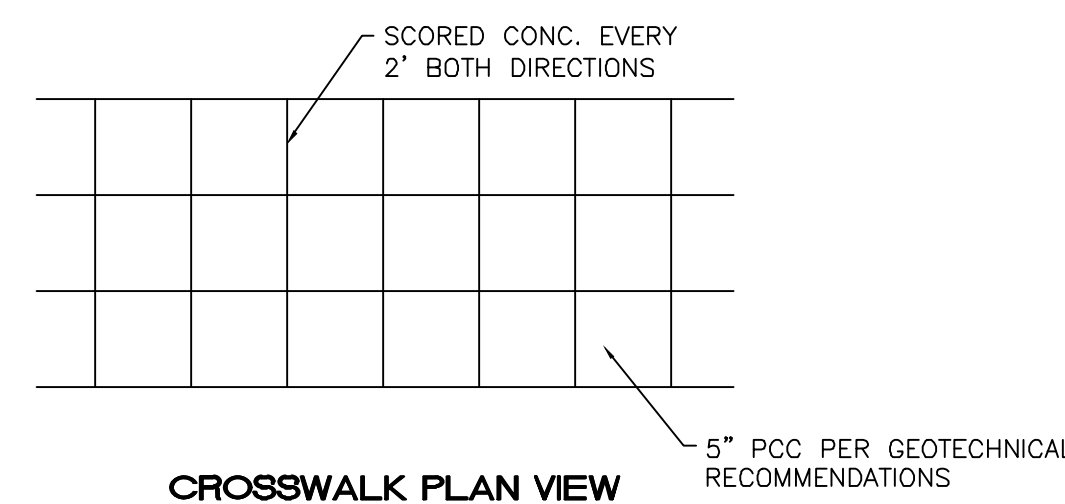
STANDARD CURB / GUTTER PER COA 2415A
NTS



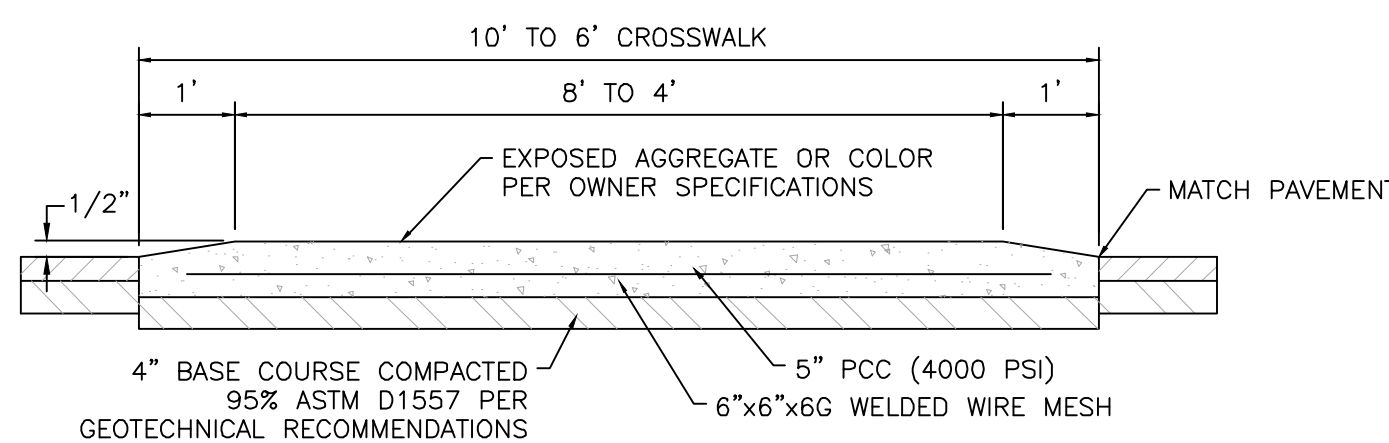
CONCRETE SIDEWALK SECTION
NTS



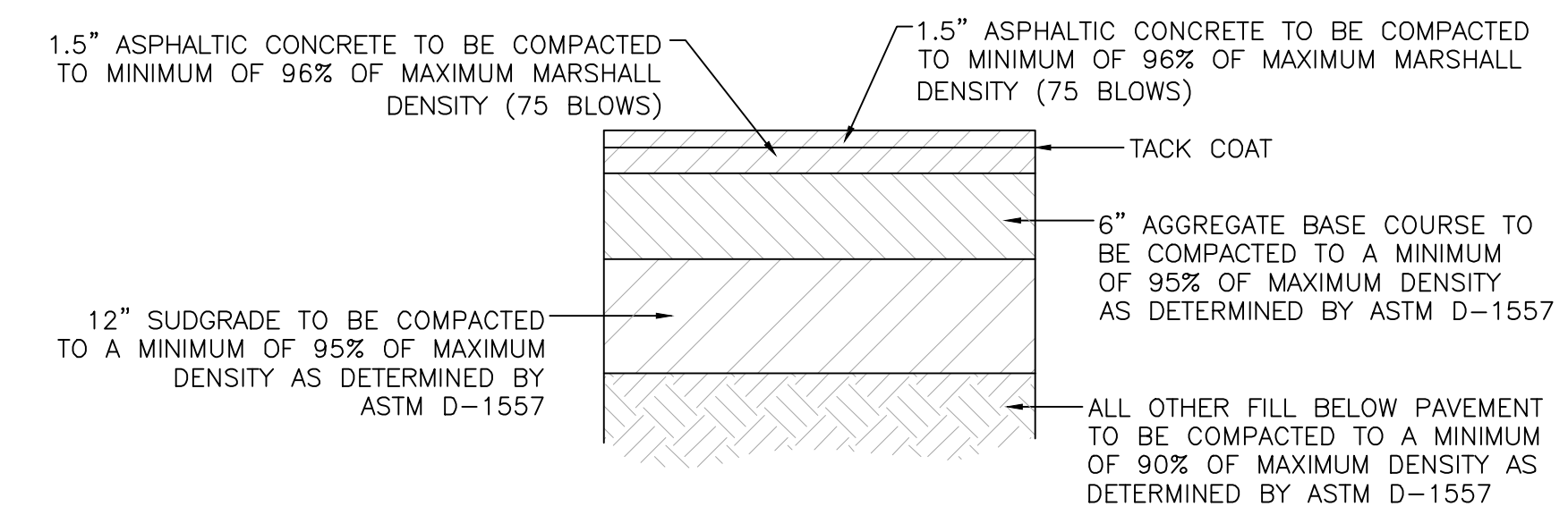
ACCESSIBLE PARKING SIGN
NTS



CROSSWALK PLAN VIEW
NTS



RAISED CROSSWALK
NTS



SITE ASPHALT PAVEMENT SECTION
NTS

NOTE: CONTRACTOR TO VERIFY WITH OWNER PROVIDED SOILS REPORT.

ENGINEER'S SEAL
RONALD R. BOHANNAN
NEW MEXICO
7868
PROFESSIONAL ENGINEER
9/29/2022
RONALD R. BOHANNAN
P.E. #7868

ANDRETTI'S RACING
ALBUQUERQUE, NM

DETAIL SHEET
BUILDING PERMIT

TIERRA WEST, LLC
5571 MIDWAY PARK PL NE
ALBUQUERQUE, NEW MEXICO 87109
(505) 858-3100
www.tierrawestllc.com

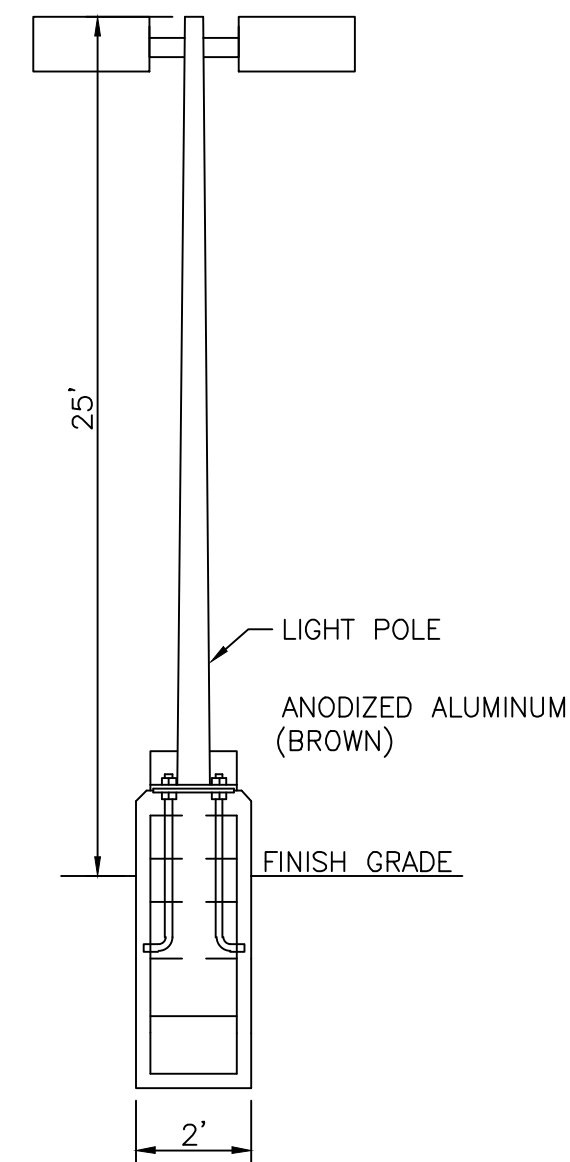
DRAWN BY
JL

DATE
6-8-22

DRAWING

SHEET #
DET-1

JOB #
2022011



LIGHT POLE DETAIL
NTS

TYPE P1

Project Name: _____ Type: _____

SKYLINE
AREA LIGHT SERIES

FEATURES

- Specification Grade die-cast aluminum housing
- Bronze polyester powder coat finish (standard)
- Custom and factory select colors available
- 5 Optical Distributions with Highest Uniformity in their product class
- Factory Rotatable Type 2, 3, 4, 5 Square, & Automotive Front Row Optics
- Optional Spill Light Control Integral Shield (HSS)
- Universal Quick Pole Mount Allows for 1 man installation on existing poles with no drilling required
- 9 Different Optional Mounting Methods (3G Rated)³
- Single Fastener hinged door driver access
- 120-277V Universal Voltage or 347-480V High Voltage
- 0-10V Dimmable Driver (std.)
- PIR Occupancy, Photocell, & Bi-Level Dimming Sensors Available
- 3-Pin & 7-Pin ANSI C136.41 Control Receptacle Options
- Wireless control integrated luminaire
- 3000K, 4000K & 5000K CCT
- >70 Color Rendering Index (CRI)
- Calculated L80 >100,000 hrs @ 25°C per TM-21-11
- IP66 Rated Luminaire
- Dark Sky Compliant^{1,2}
- 5 Year Warranty; 10 Year Optional Warranty⁴
- ETL Listed for Wet Locations



* Shown with UMB Mounting



407-478-3759
www.ilp-inc.com

Product Overview



SCAN ME

¹ 3000K is IDA Listed ² Must select UMB, WFM, or HTM mounting options to qualify
³ TRN & SLPF 1.5G Rated ⁴ Requires additional Surge Protection (SP1, SP2, SP480V2);
For additional details see General Terms and Conditions



SUITABLE APPLICATIONS

- Parking Lots • Parking Structure • Parks • Education • Hospitals • Car Dealerships • Roadways • Shopping Centers

CONFIRM FINISH

ORDERING GUIDE

SERIES	LUMENS	VOLTAGE	CCT	DISTRIBUTION	ORIENTATION	MOUNTING	FINISH	WARRANTY
<input type="checkbox"/> SAS Small	<input type="checkbox"/> 6L 6,000 lm	<input type="checkbox"/> U 120-277v	<input type="checkbox"/> 30 3000K	<input type="checkbox"/> T2 T2 - Type 2	<input type="checkbox"/> (Blank) - Standard	<input type="checkbox"/> SLPF Adjustable Slip Fitter	<input type="checkbox"/> BRZ	<input type="checkbox"/> (Blank) 5YR
	<input type="checkbox"/> 9L 9,000 lm	<input type="checkbox"/> HV 347-480v	<input type="checkbox"/> 40 4000K	<input type="checkbox"/> T3 T3 - Type 3	<input type="checkbox"/> L Optics Rotated Left	<input type="checkbox"/> UMB Universal Fixed	<input type="checkbox"/> BLK	<input type="checkbox"/> 10YR 10YR
	<input type="checkbox"/> 12L 12,000 lm		<input type="checkbox"/> 50 5000K	<input type="checkbox"/> T4 T4 - Type 4	<input type="checkbox"/> R Optics Rotated Right	<input type="checkbox"/> UMB/R Universal Mount Sqr/Rnd pole 3'-6"	<input type="checkbox"/> WHT	
	<input type="checkbox"/> 15L 15,000 lm			<input type="checkbox"/> T5S Type 5 Square		<input type="checkbox"/> UAB Universal Adjustable	<input type="checkbox"/> SLV	
	<input type="checkbox"/> 18L 18,000 lm			<input type="checkbox"/> FTA Forward Throw Automotive		<input type="checkbox"/> UAB/R Universal Adjustable Sqr/Rnd pole 3'-6"	<input type="checkbox"/> RALxxxx ⁹	
<input type="checkbox"/> SAM Med	<input type="checkbox"/> 24L 24,000 lm					<input type="checkbox"/> WFM Wall Fixed Mount		
	<input type="checkbox"/> 30L 30,000 lm					<input type="checkbox"/> WAM Wall Adjustable Mount		
	<input type="checkbox"/> 36L 36,000 lm					<input type="checkbox"/> TRN Trunnion Mount		
	<input type="checkbox"/> 42L 42,000 lm					<input type="checkbox"/> HTM Horizontal Tenon Mount		

BASIC CONTROLS		ADVANCED CONTROLS	
<input type="checkbox"/> (Blank) None	<input type="checkbox"/> FAO ^{1,8} Field Adjustable Output	<input type="checkbox"/> (Blank) None	<input type="checkbox"/> SYN ^{5,6} Synapse Control System
<input type="checkbox"/> CR3P ⁸ 3-Pin NEMA Control receptacle	<input type="checkbox"/> CR7P ⁸ 7-Pin NEMA Control receptacle	<input type="checkbox"/> SYN/LX ^{5,6} Synapse Control System w/ Sensor (X = Mounting Height 3=10-20', 7=20-40')	<input type="checkbox"/> SU/5S/LR/IL ^{1,8} Enlighted 5S Individual Lighting (IL) Sensor with Control Unit
<input type="checkbox"/> FSP-311/LX ^{1,3,8} Legrand FSP-311 120-277V Sensor (X = Mounting Height 3=10-20', 7=20-40')	<input type="checkbox"/> FSP-321/LX ^{1,8} Legrand FSP-321 347-480V Sensor (X = Mounting Height 3=10-20', 7=20-40')	<input type="checkbox"/> SU/5S/LR/CL ^{1,8} Enlighted 5S Connected Lighting (CL) Sensor with Control Unit	<input type="checkbox"/> SU/5S/LR/IOT ^{1,8} Enlighted 5S Internet of Things (IOT) Sensor with Control Unit
<input type="checkbox"/> CR3P/FAO ⁸ Universal 3-Pin control receptacle (See acc. for photocells) with Field Adjustable Output - 7 level selection connected to 0-10V dimming wires	<input type="checkbox"/> CR7P/FSP/Lx ⁸ Universal 7-Pin control receptacle with FSP Sensor (X= Mounting Height, 3=20', 7=40') (Controls provided by others)	<input type="checkbox"/> ZLD1Z ^{1,8} Leviton ZLD1Z 120-277V Bluetooth Groupable Sensor (16 Devices) with 8-20' & 20-40' lens included	

OPTIONS - FACTORY INSTALLED		ACCESSORIES	
<input type="checkbox"/> (Blank) None	<input type="checkbox"/> SP1 ¹ 10kA Surge Protection Device	<input type="checkbox"/> SAx/BIRD Bird Spikes (x= fixture size)	<input type="checkbox"/> TL7/HVG ^{5,7} Synapse Twist Lock Mesh Network 480V
<input type="checkbox"/> SP2 ¹ 20kA Surge Protection Device	<input type="checkbox"/> HS5 ⁷ Rotatable House Side Shield FUSE 120V, 277V, 347V (x= voltage)	<input type="checkbox"/> SAx/GS ⁵ Rotatable Glare Shield (x= fixture size)	<input type="checkbox"/> TLPC/HV ⁴ 347-480V Twist Lock Photocell
<input type="checkbox"/> FUSE/SXXX FUSE 208V, 240V, 480V (x= voltage)	<input type="checkbox"/> FUSE/DXXX FUSE 208V, 240V, 480V (x= voltage)	<input type="checkbox"/> TL7/B2 ^{1,5,7} Synapse Twist Lock Mesh Network 120-277V	<input type="checkbox"/> TLPC/UNV ⁴ 120-277V Twist Lock Photocell
		<input type="checkbox"/> ILP PAINT CHIP PACK ILP Standard Color Paint Chips	

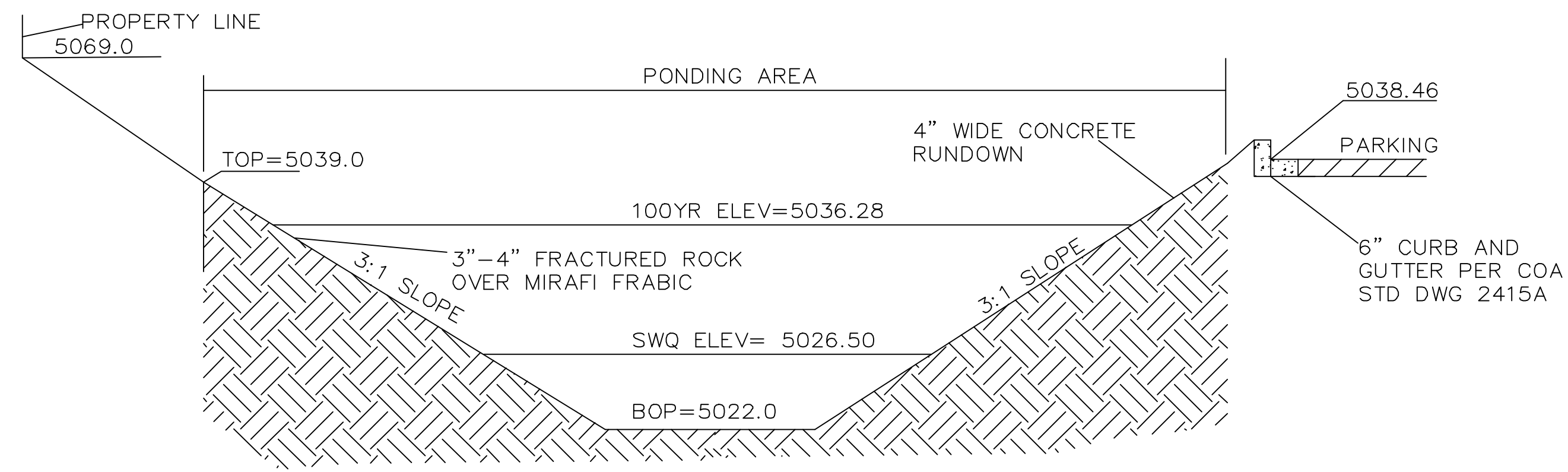
¹ Not available with HV option
² Option Not DLC qualified
³ Requires Bluetooth Enabled device for programming (provided by others)
⁴ Only Compatible with CR3P and CR7P
⁵ Contact Factory for Site Layout, For HV models contact Factory for pricing.
⁶ Dimming Leads will be wired to receptacle unless otherwise specified
⁷ CR7P Required
⁸ Only one control option allowed
⁹ Contact factory for pricing and availability

SKYLINE-SPEC-0622

Page 1

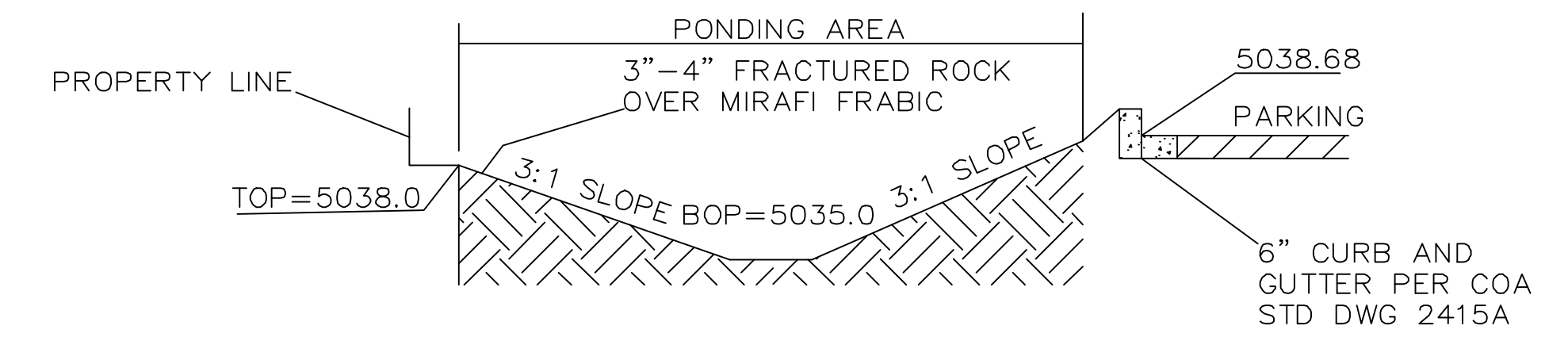
LIGHT DETAIL
NTS

	ANDRETTI'S RACING ALBUQUERQUE, NM	DRAWN BY JL
	DETAIL SHEET BUILDING PERMIT	DATE 6-8-22
	TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	DRAWING
9/29/2022 RONALD R. BOHANNAN P.E. #7868		SHEET # DET-2
		JOB # 2022011



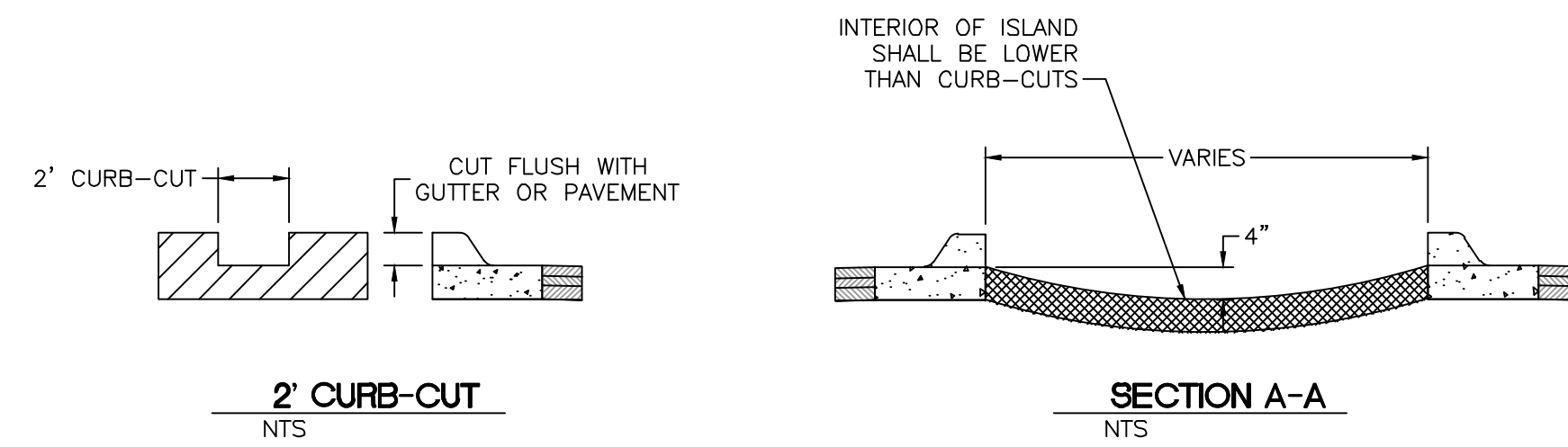
DETAIL SECTION B-B FROM G-2
NTS

NOTE:
SIDE SLOPES NEED TO BE STABILIZED WITH NATIVE GRASS SEED (PER CITY SPEC 1012) WITH AGGREGATE MULCH OR EQUAL (MUST SATISFY THE "FINAL STABILIZATION CRITERIA" CGP2.214.b.)



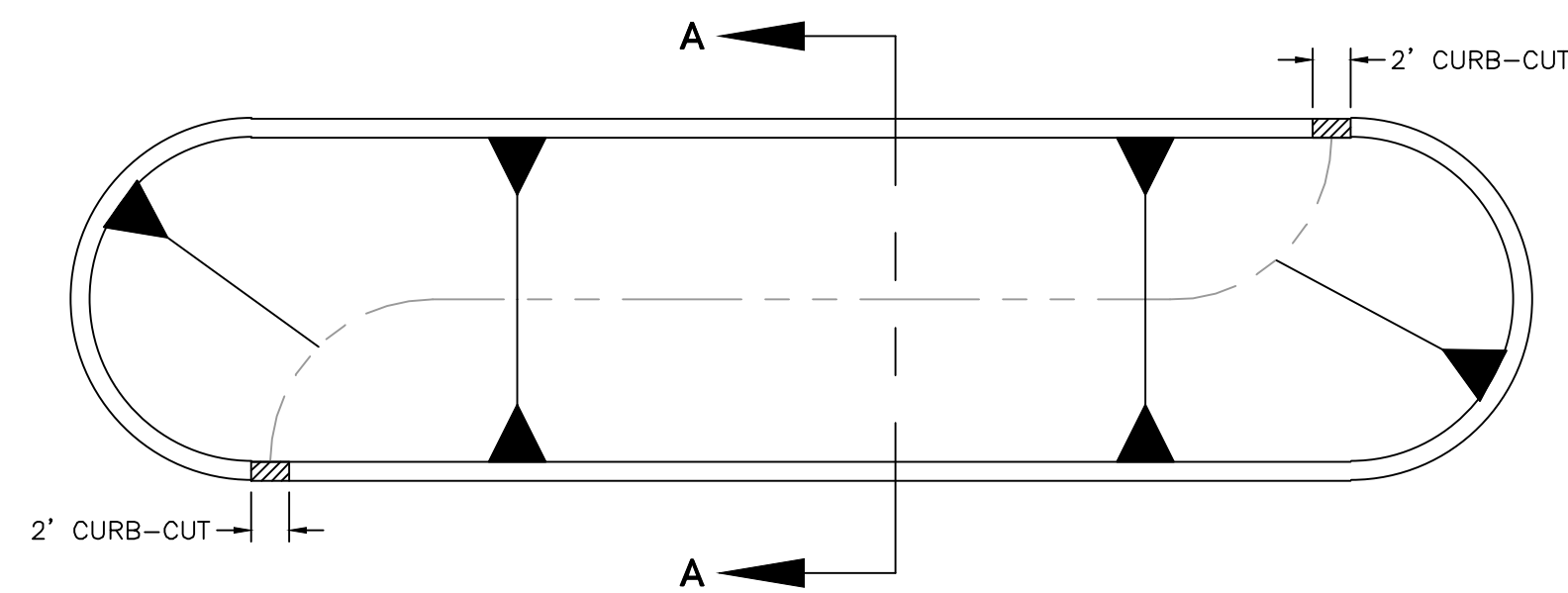
DETAIL SECTION A-A FROM G-2
NTS

NOTE:
SIDE SLOPES NEED TO BE STABILIZED WITH NATIVE GRASS SEED (PER CITY SPEC 1012) WITH AGGREGATE MULCH OR EQUAL (MUST SATISFY THE "FINAL STABILIZATION CRITERIA" CGP2.214.b.)

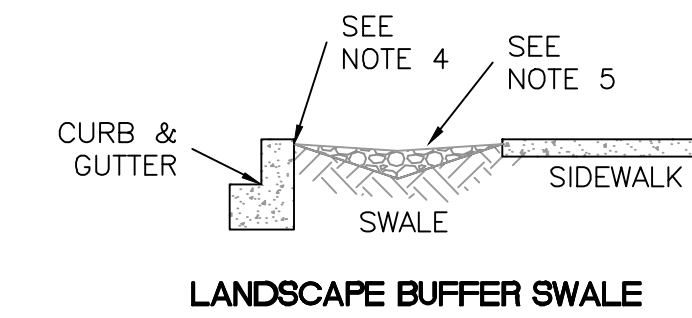


2' CURB-CUT
NTS

SECTION A-A
NTS



LANDSCAPE ISLAND WATER HARVESTING DETAIL
BUILD ISLAND GEOMETRY PER SITE AND GRADING PLAN



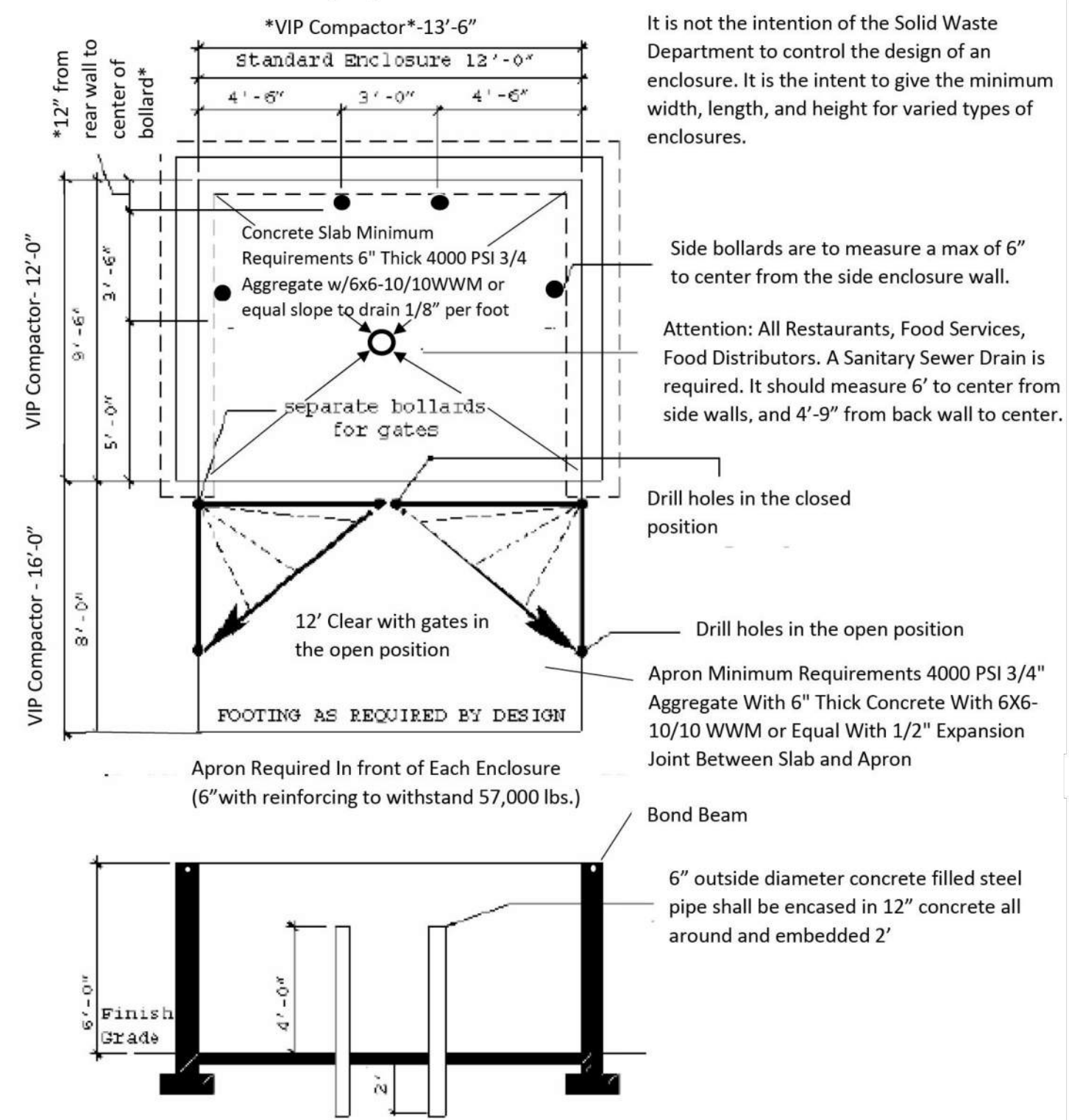
LANDSCAPE BUFFER SWALE

LANDSCAPE BUFFER SWALE NOTES:

1. SWALE TO HAVE SIDE SLOPES OF 5:1 (H:V)
2. FOR WIDE LANDSCAPE BUFFERS, GREATER THAN 10 FEET, THE MAXIMUM DEPTH IS 10 INCHES.
3. LANDSCAPE BUFFERS 2 FEET AND LESS IN WIDTH ARE EXCLUDED.
4. FINAL GRADE OF DIRT TO BE 1 TO 2 INCHES BELOW TOP OF CURB AND TOP OF SIDEWALK GRADE.
5. SURFACE BETWEEN BACK OF CURB AND SIDEWALK TO BE COVERED WITH GRAVEL MULCH (MINIMUM 3/4") COBBLE OR RIP-RIIP. DO NOT FILL ENTIRE SWALE.
6. A CHECK DAM WILL BE REQUIRED FOR SWALES ON STEEPER LONGITUDINAL SLOPES, 2.5% AND GREATER, AND LONGER SECTIONS. THE ENGINEER WILL DETERMINE THE LOCATION.
7. LANDSCAPE FABRIC IS RECOMMENDED, BUT NOT REQUIRED, BETWEEN THE DIRT AND THE STONE. IF LANDSCAPE FABRIC IS TO BE USED IT IS TO BE PERMEABLE.
8. IN THE CASE WHERE THE SIDEWALK IS EXISTING AND THE LANDSCAPE BUFFER IS IMPROVED WITH LANDSCAPING AND/OR SOME FORM OF EROSION PROTECTION, THIS REQUIREMENT DOES NOT APPLY.

	ANDRETTI'S RACING ALBUQUERQUE, NM	DRAWN BY JL
	DETAIL SHEET BUILDING PERMIT	DATE 6-8-22
	5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	DRAWING
9/29/2022 RONALD R. BOHANNAN P.E. #7868	TIERRA WEST, LLC	SHEET # DET-3
		JOB # 2022011

City of Albuquerque
Solid Waste Management Department
4600 Edith Blvd NE
Albuquerque, NM 87107



For VIP Compactors rear bollards must be placed directly behind dumpster. Get with installer for placement of compacting unit

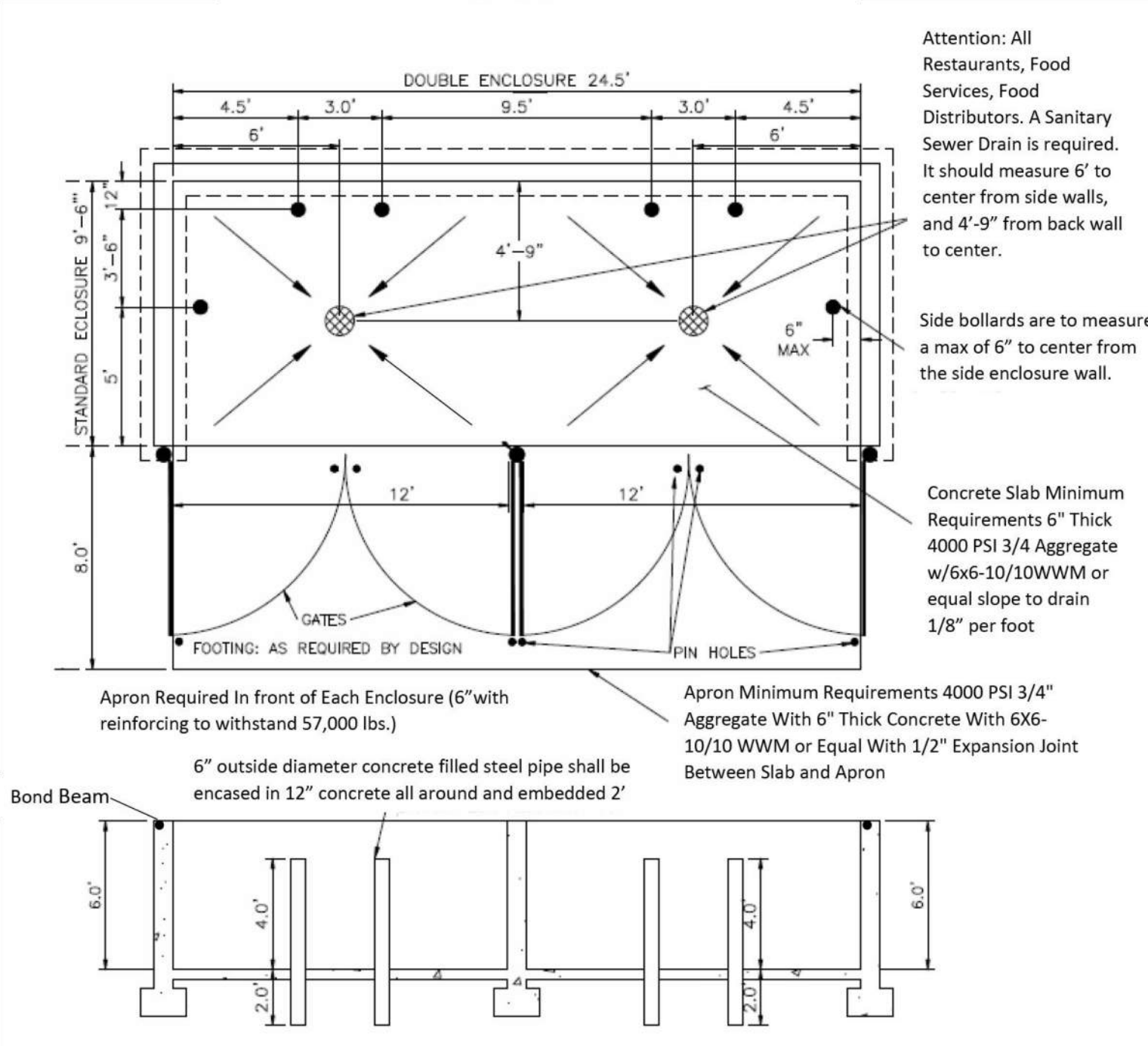
Additional information concerning these specifications may be obtained by calling the Solid Waste Management Department at (505) 761-8125

*****Trash enclosures are intended for dumpsters only.*****

*****If casters are required for service a level smooth hard surface (Asphalt, Concrete) is required from the edge of the apron*****

5 Side Elevation
1/4" = 1'-0"

City of Albuquerque
Solid Waste Management Department
4600 Edith Blvd NE
Albuquerque, NM 87107



It is not the intention of the Solid Waste Department to control the design of an enclosure. It is the intent to give the minimum width, length, and height for varied types of enclosures.

Additional information concerning these specifications may be obtained by calling the Solid Waste Management Department at (505) 761-8125

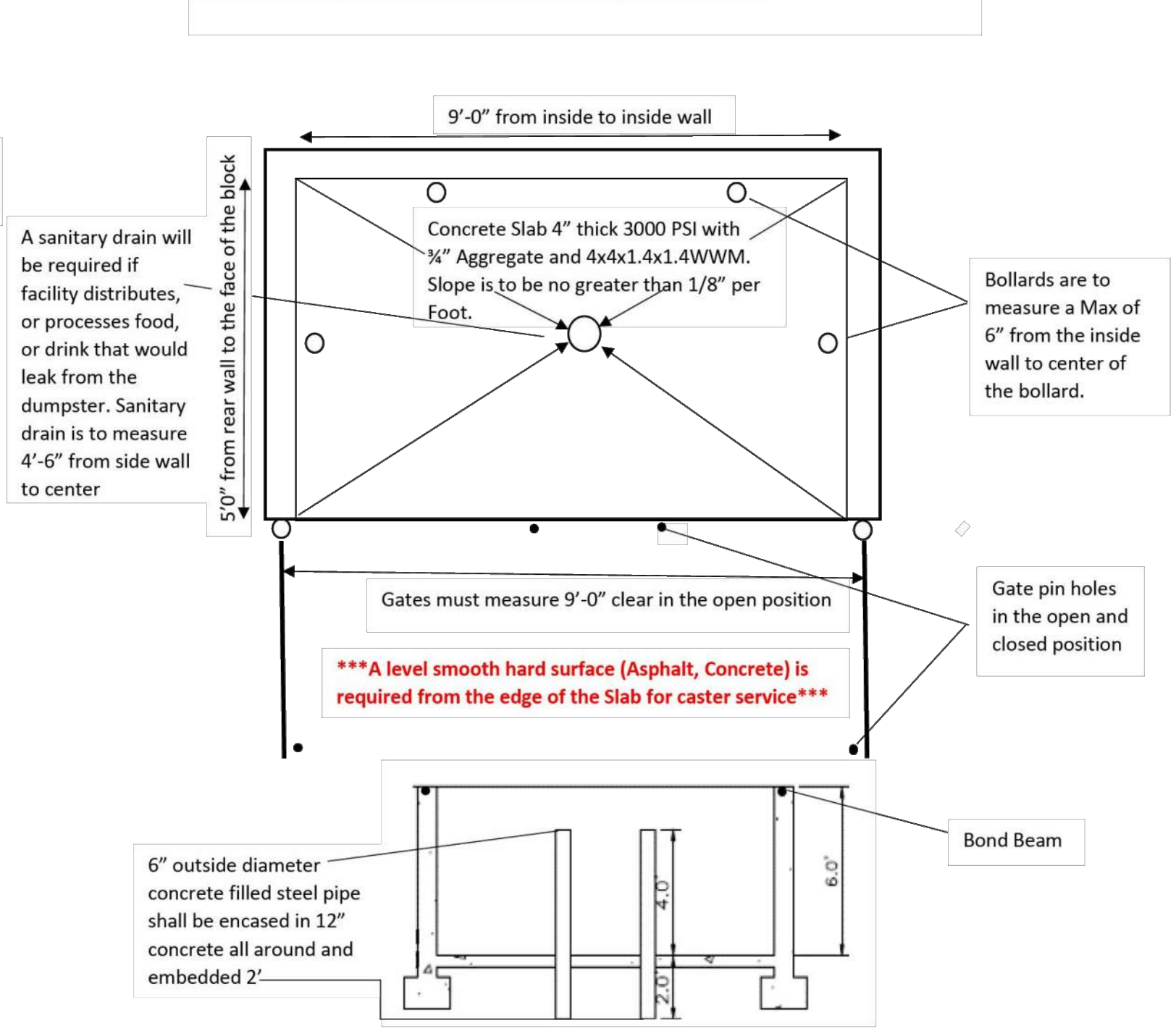
*****Trash enclosures are intended for dumpsters only.*****

*****If casters are required for service a level smooth hard surface (Asphalt, Concrete) is required from the edge of the apron*****

4 Back Elevation
1/4" = 1'-0"

City of Albuquerque
Solid Waste Management Department
4600 Edith Blvd NE
Albuquerque, NM 87107

Minimum Requirements for a Swanson Enclosure

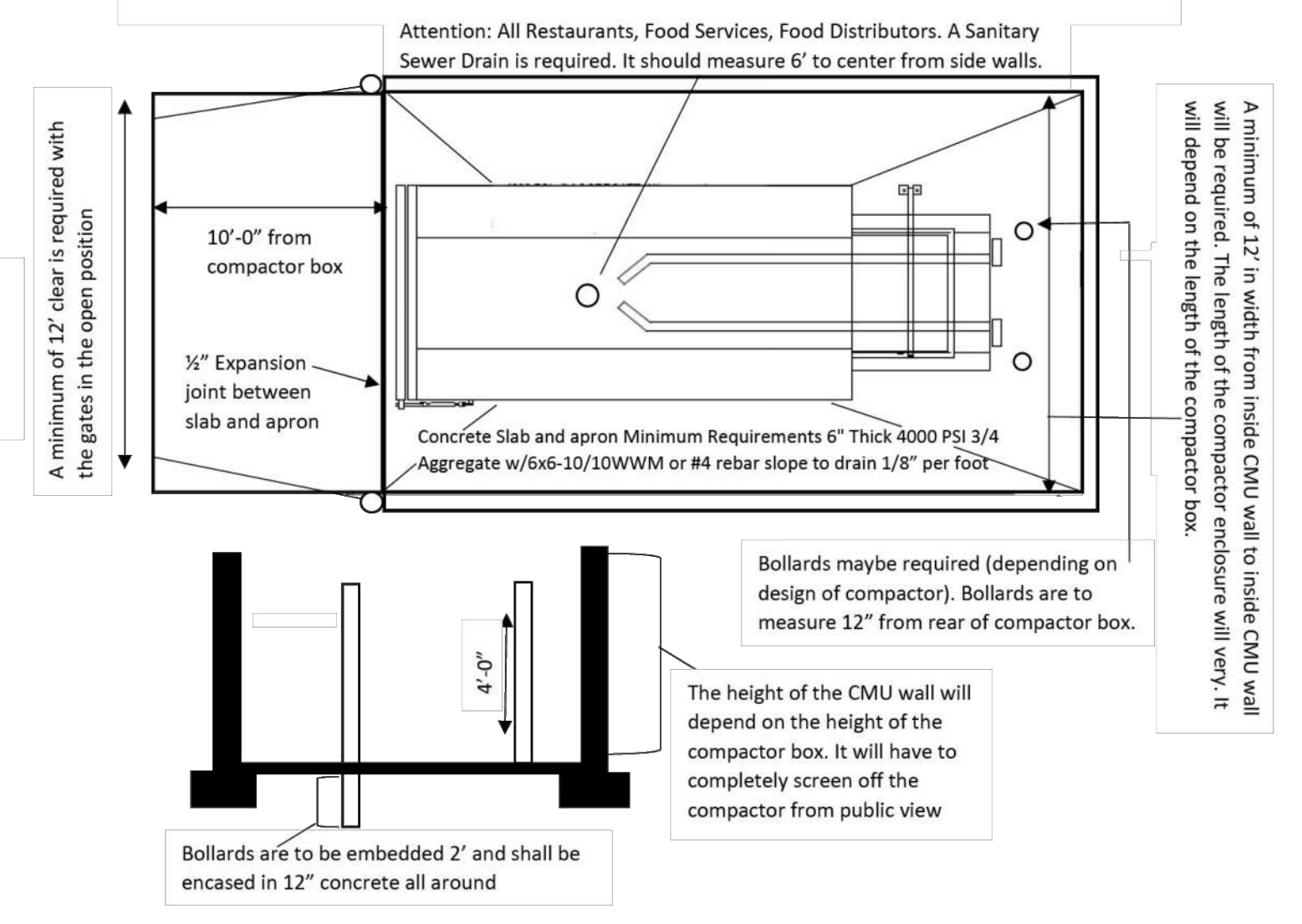


Additional information concerning these specifications may be obtained by calling the Solid Waste department at (505) 761-8125

3 Side Elevation
1/4" = 1'-0"

City of Albuquerque
Solid Waste Management Department
4600 Edith Blvd NE
Albuquerque, NM 87107

Concrete pad is to be a minimum of 12' wide with a length of 10' greater than the combined length of the compactor and the container (box). Concrete is to be a minimum of 4000 PSI, steel reinforced, 6" thick

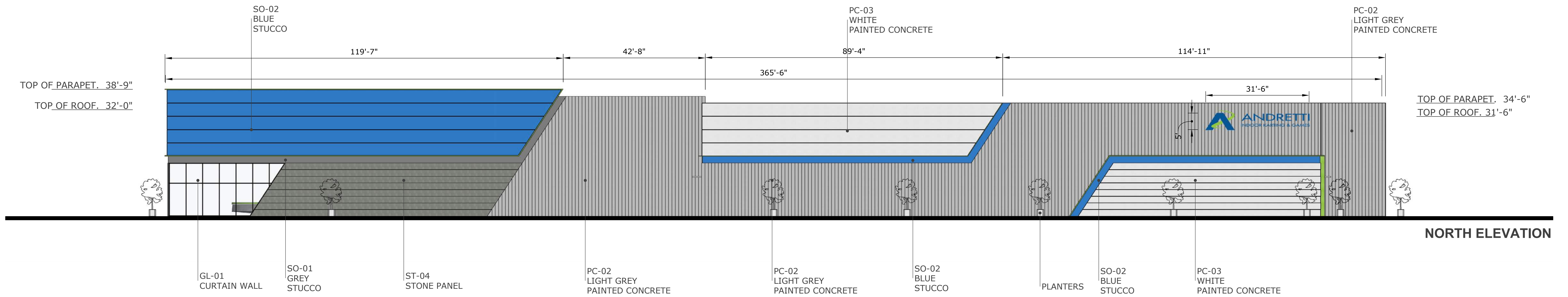
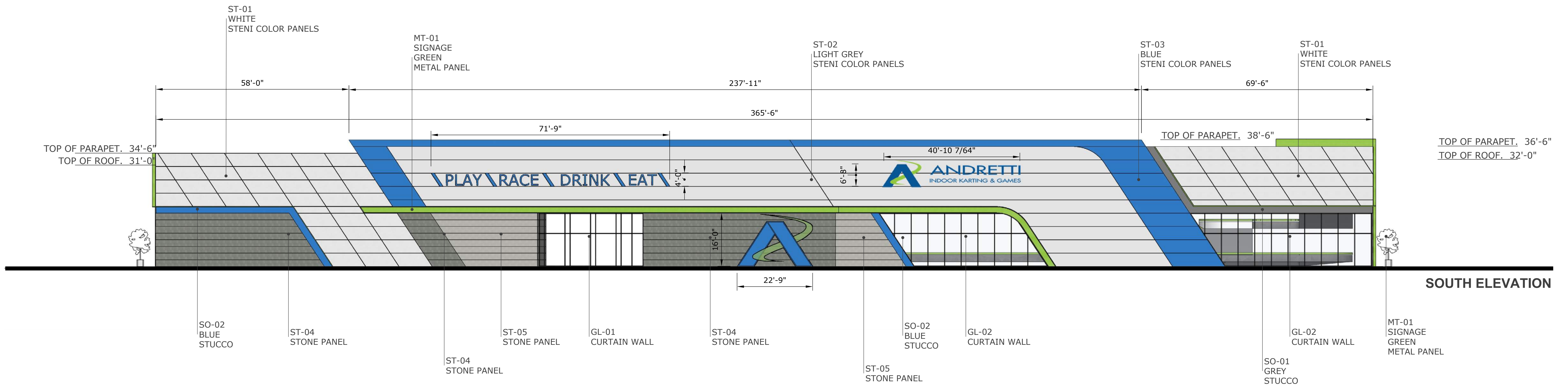


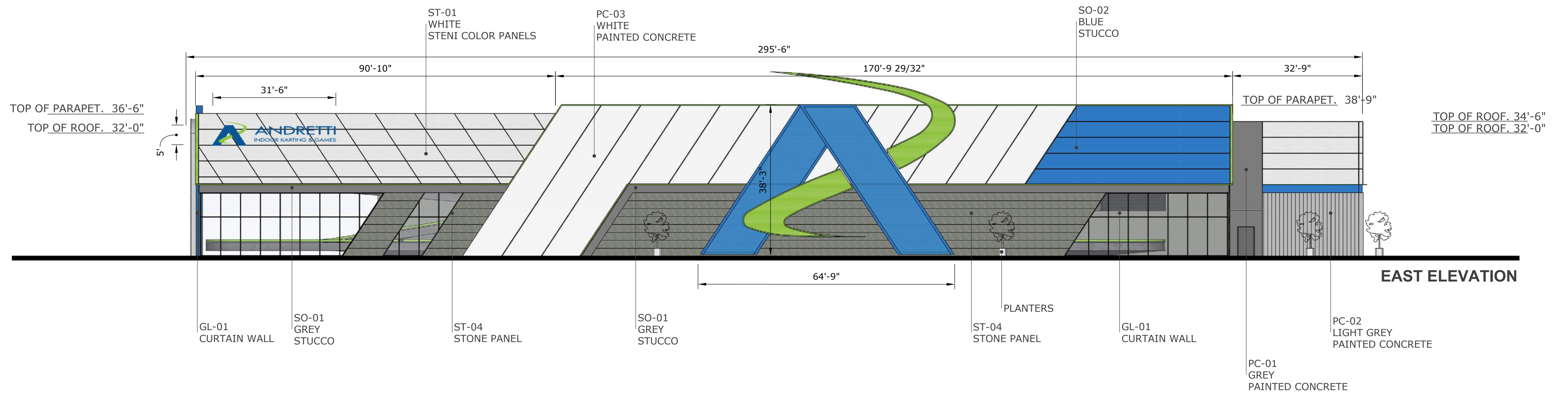
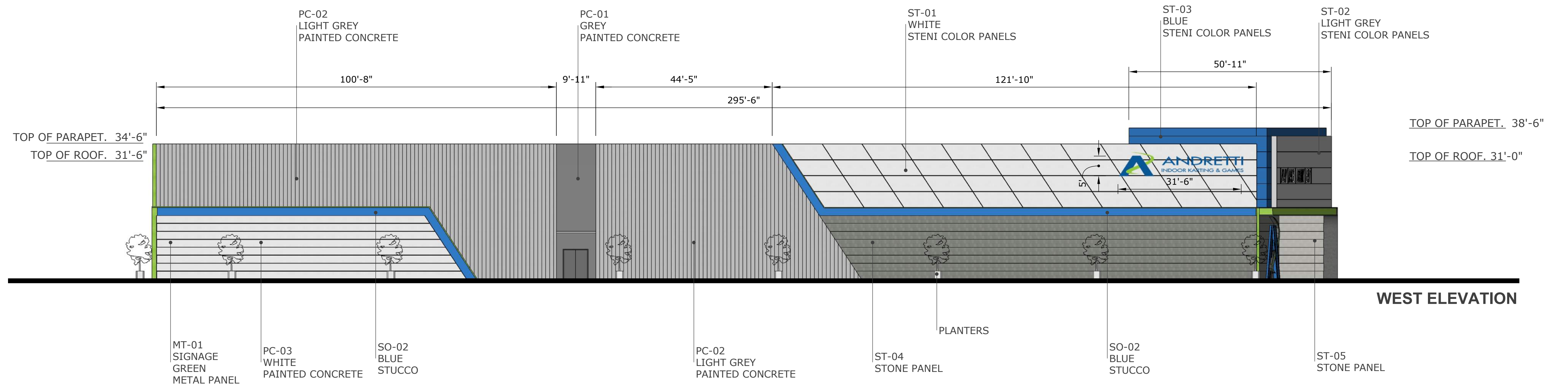
Additional information concerning these specifications may be obtained by calling the Solid Waste Management Department at (505) 761-8125

*****Trash enclosures are intended for dumpsters only.*****

2 Front Elevation
1/4" = 1'-0"

	ANDRETTI'S RACING ALBUQUERQUE, NM	DRAWN BY JL
	DETAIL SHEET BUILDING PERMIT	DATE 6-8-22
9/29/2022 RONALD R. BOHANNAN P.E. #7868	TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	DRAWING
		SHEET # DET-4
		JOB # 2022011





MATERIAL PALLETTE



ST-01 WHITE STENI COLOR PANELS
 ST-02 LIGHT GREY STENI COLOR PANELS
 ST-03 ANDRETTI BLUE STENI COLOR PANELS
 ST-04 ELDORADO STONE LONGITUDE24
 ST-05 ELDORADO STONE ZEN24

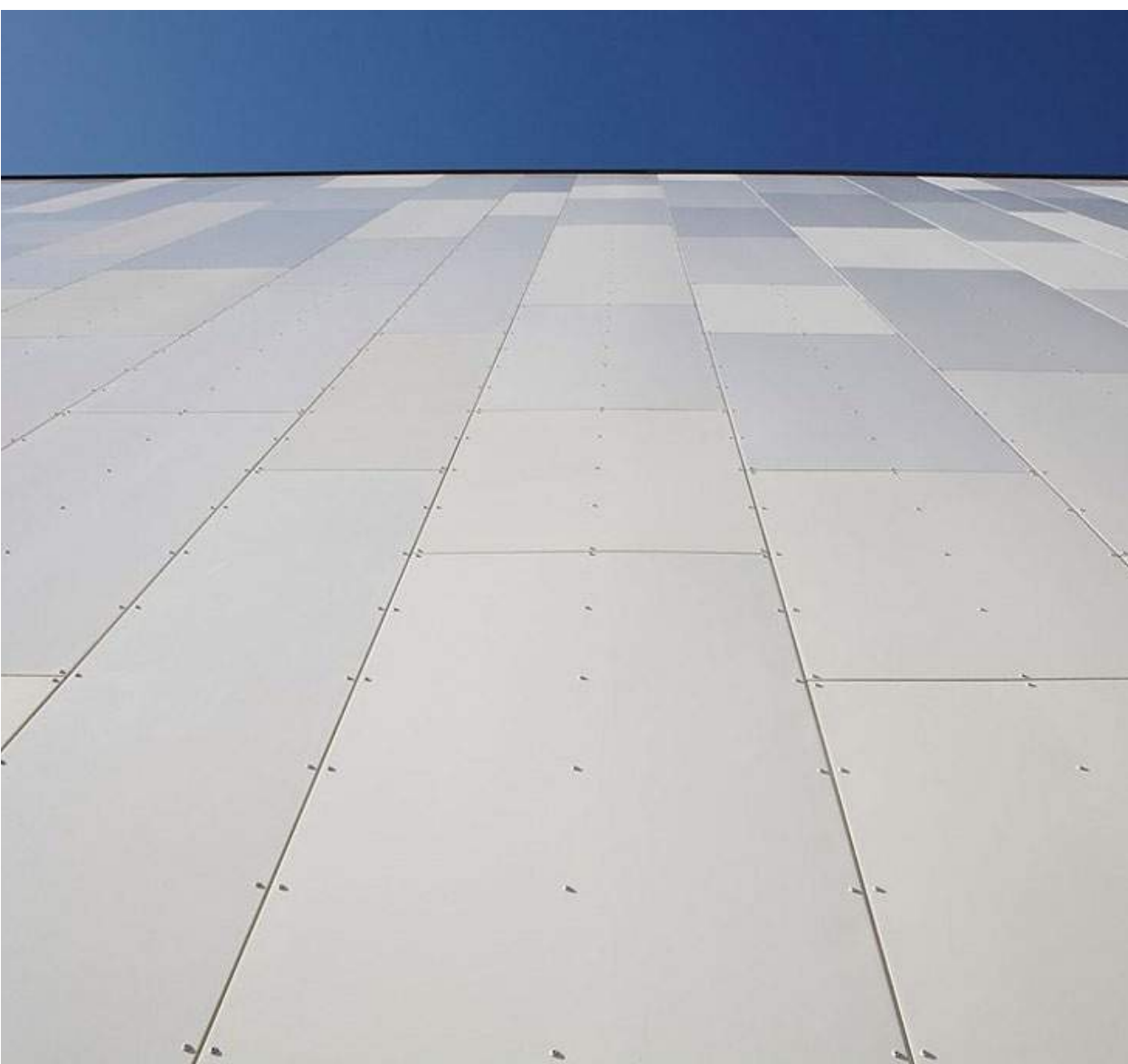


PC-01 SW 7068 GRIZZLE GRAY PAINTED CONCRETE
 PC-02 SW 7663 MONORAIL SILVER PAINTED CONCRETE
 PC-03 SW 9624 WINSOME GREY PAINTED CONCRETE
 MT-01 SIGNAGE GREEN METAL PANEL



SO-01 DARK GREY SMOOTH STUCCO
 SO-02 STENI BLUE SMOOTH STUCCO

STENI COLOR PANELS SAMPLE PROJECT















ALBUQUERQUE, NM

EXTERIOR SIGNAGE

ORIG. DATE - 10.06.2022

22OP7483-5



This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign. Dimensions are approximate & may change due to construction factors or exact field conditions. Color shown are as close as printing will allow; Always follow written specifications. All rights reserved. This design has been created for you in connection with a project being planned for you by SSC Signs & Lighting. It may not be reproduced in any manner without prior consent.

LOCATION	QTY	ITEM DESCRIPTION
001	1	LOGO & CHANNEL LETTERS
002	1	LOGO CABINET
003	1	CHANNEL LETTERS
004	3	LOGO & CHANNEL LETTERS
005	-	LOGO CABINET
006	-	COVE CHANNEL

CLIENT

Andretti Indoor Carting & Games

ADDRESS

Albuquerque, NM

DATE 10.06.22

DESIGNER - GO

DRAWING NO.

22OP7483-5

REVISION

DATE

1. AM	10.10.22
2. REDUCE SIGN #5 OAH	10.18.22 AM
3. GROW SIGN #5 OAH	10.21.22 AM
4. ADD CROSS SECTION DETAILS	10.25.22 AM
5. ADD CROSS SECTION DETAILS	10.27.22 AM

APPROVAL DATE -

APPROVED BY -

This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign. Dimensions are approximate & may change due to construction factors or exact field conditions. Color shown areas close as printing will allow; Always follow written specifications. All rights reserved: This design has been created for you in connection with a project being planned for you by SSC Signs & Lighting. It may not be reproduced in any manner without prior consent.



CLIENT
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ADDRESS
 Albuquerque, NM

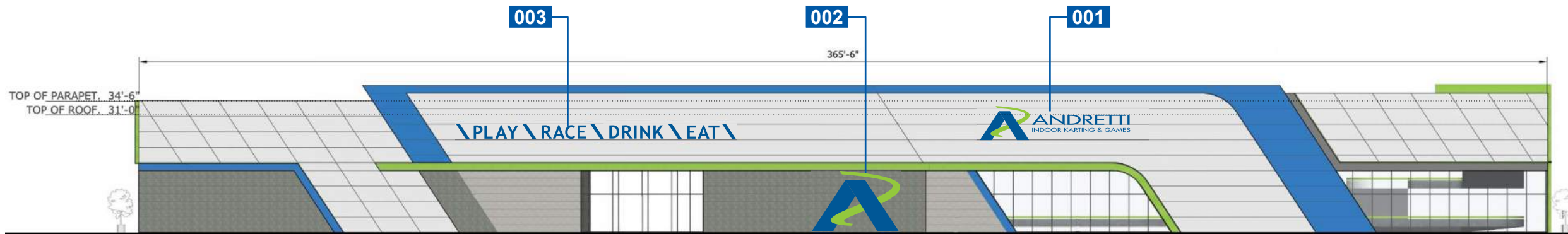
DATE 10.06.22
DESIGNER - GO
DRAWING NO.
 22OP7483-5

REVISION	DATE
1. AM	10.10.22
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APPROVAL DATE -

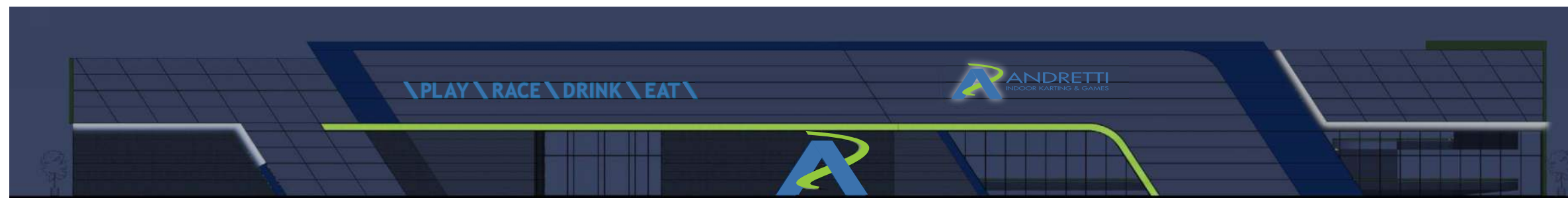
APPROVED BY -

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SOUTH ELEVATION

SCALE: 1/32" = 1'-0"



NIGHT SIMULATION

CLIENT
 Andretti Indoor Carting
 & Games

ADDRESS
 Albuquerque, NM

DATE 10.06.22
DESIGNER - GO

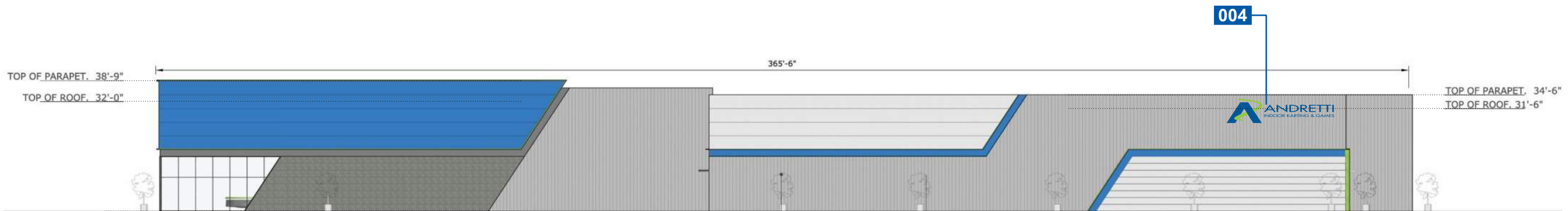
DRAWING NO.
 22OP7483-5

REVISION	DATE
1. AM	10.10.22
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APPROVAL DATE -

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This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign. Dimensions are approximate & may change due to construction factors or exact field conditions. Color shown areas close as printing will allow; Always follow written specifications. All rights reserved: This design has been created for you in connection with a project being planned for you by SSC Signs & Lighting. It may not be reproduced in any manner without prior consent.

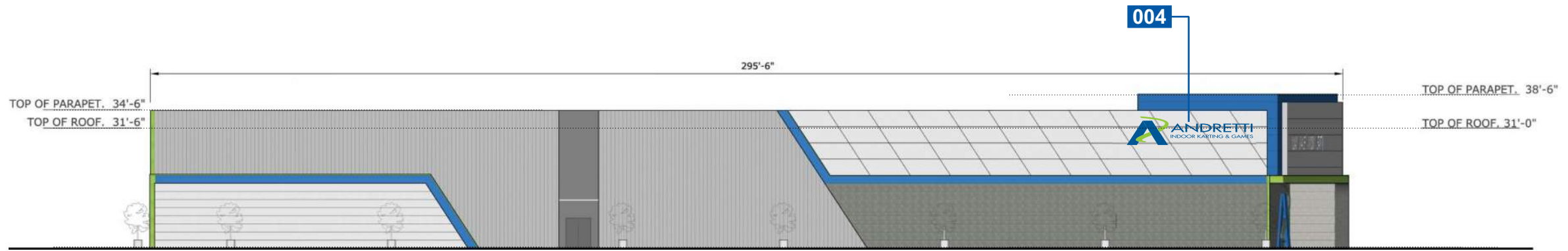


NORTH ELEVATION

SCALE: 1/32" = 1'-0"



NIGHT SIMULATION



WEST ELEVATION
SCALE: 1/32" = 1'-0"



NIGHT SIMULATION

CLIENT
 Andretti Indoor Carting & Games

ADDRESS
 Albuquerque, NM

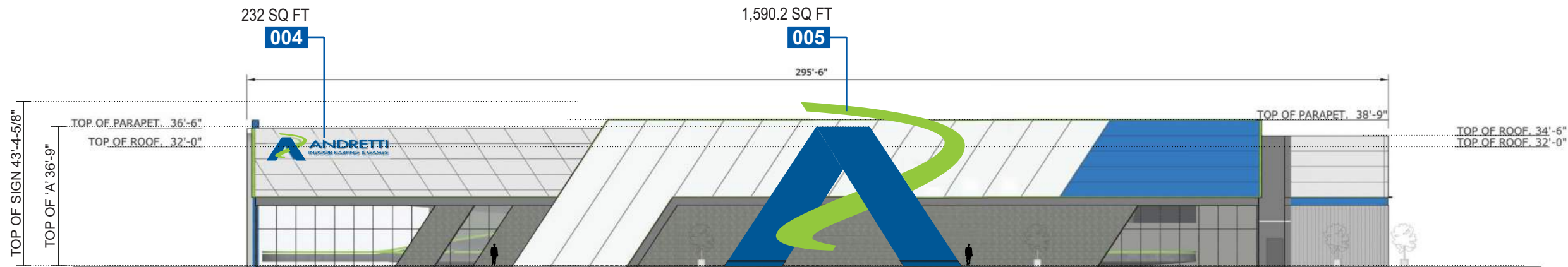
DATE 10.06.22
DESIGNER - GO
DRAWING NO.
 22OP7483-5

REVISION	DATE
1. AM	10.10.22
2. REDUCE SIGN #5 OAH	10.18.22 AM
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4. ADD CROSS SECTION DETAILS	10.25.22 AM
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APPROVAL DATE -

APPROVED BY -

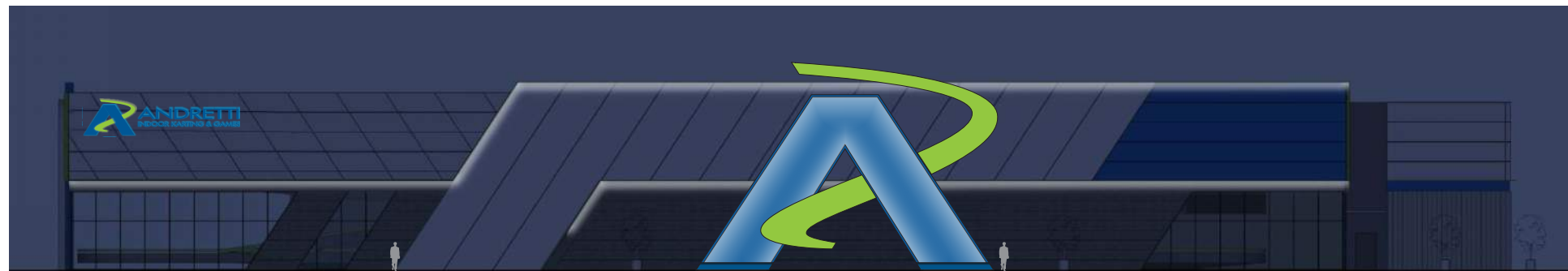
This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign. Dimensions are approximate & may change due to construction factors or exact field conditions. Color shown areas close as printing will allow; Always follow written specifications. All rights reserved: This design has been created for you in connection with a project being planned for you by SSC Signs & Lighting. It may not be reproduced in any manner without prior consent.



38'-9"H x 295'-6" Elevation Area
 11,450.6 SQ FT Elevation Area
 15% of Elevation Area = 1,717.59 Sq Ft Allowed Signage

EAST ELEVATION

SCALE: 1/32" = 1'-0"



NIGHT SIMULATION

CLIENT

Andretti Indoor Carting & Games

ADDRESS

Albuquerque, NM

DATE 10.06.22

DESIGNER - GO

DRAWING NO.

22OP7483-5

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APPROVAL DATE -

APPROVED BY -

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357.3 SQ. FT.

001 FACE & HALO-LIT LOGO / FACE-LIT CHANNEL LETTERS
SCALE: 3/16" = 1'-0" QTY. 1

SPECIFICATIONS

1. FABRICATED FACE & HALO LIT CHANNEL LOGO W/ 6" DEEP RETURNS TO BE .080" ALUMINUM & 1 1/2" ALUM. RETAINER. BACK TO BE .090" ALUMINUM BACK STEPPED 1" TO PROVIDE HALO LIT EFFECT. FACE LIT W/ "A" SLOAN BLUE (701269-BLSJ1-MB) LEDS & EVERYLITE 3D 6500 WHITE LEDS; "CURVED GRAPHIC" TO BE ILLUMINATED W/ EVERYLITE 3D 6500 WHITE LEDS. HALO LIT W/ EVERYLITE 3D 6500 WHITE LEDS. SELF CONTAINED POWER SUPPLY AS REQUIRED PER ILLUMINATION.

RETURNS & INTERIORS PAINTED TO MATCH GREEN SW 6921 ELECTRIC LIME AND BLUE SW 6966 BLUEBLOOD.

2. "A" TO BE .187 CLEAR PLEX FACE WITH FIRST SURFACE VINYL TO MATCH 3M 3730-157L SULTAN BLUE & SECOND SURFACE 70% WHITE DIFFUSER.

NOTE: LOGO FACE TO BE ONE PIECE OF ACRYLIC, NO SEAMS

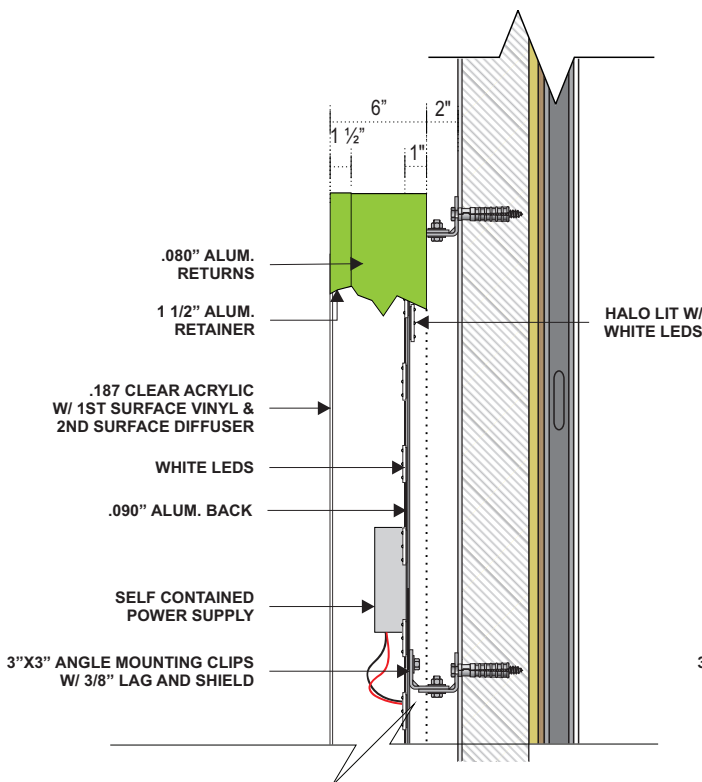
3. "CURVED GRAPHIC" FACE TO BE .187 CLEAR PLEX FACE WITH FIRST SURFACE VINYL TO MATCH 3M 3730-106L BRILLIANT GREEN & SECOND SURFACE 70% WHITE DIFFUSER.

MOUNTED USING 3"X3" ANGLE CLIPS WITH 3/8" LAG BOLTS AND SHIELDS

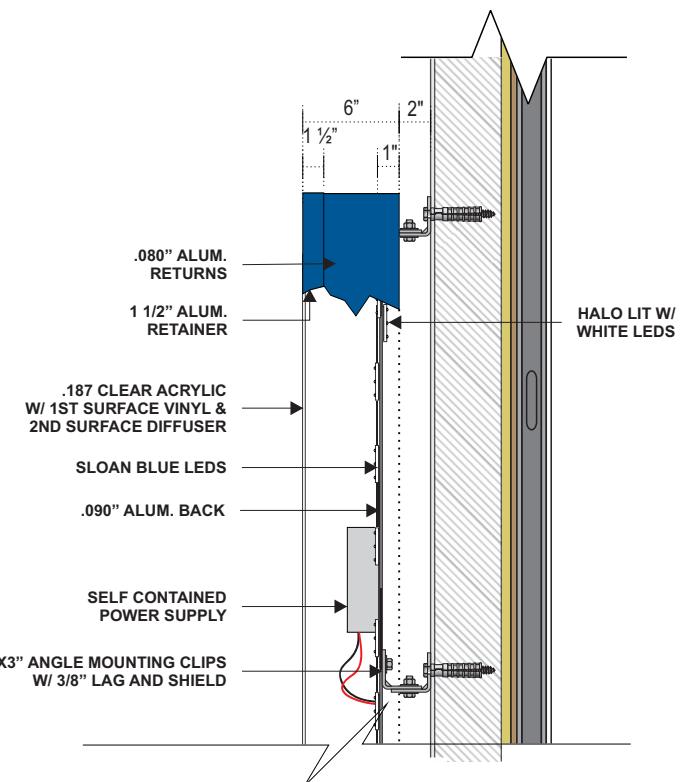
4. 5" DEEP FABRICATED ALUMINUM CHANNEL LETTERS. .040 ALUM. RETURNS AND .063 ALUM BACK. BLUE SW 6966 BLUEBLOOD. 1" TRIM CAP PAINTED TO MATCH BLUE SW 6966 BLUEBLOOD. INTERNALLY LIT WITH SLOAN BLUE (701269-BLSJ1-MB) LEDS.

5. .187" CLEAR PLEX FACE WITH FIRST SURFACE VINYL 3M 3730-157L SULTAN BLUE & SECOND SURFACE VINYL DIFFUSER 70% WHITE.

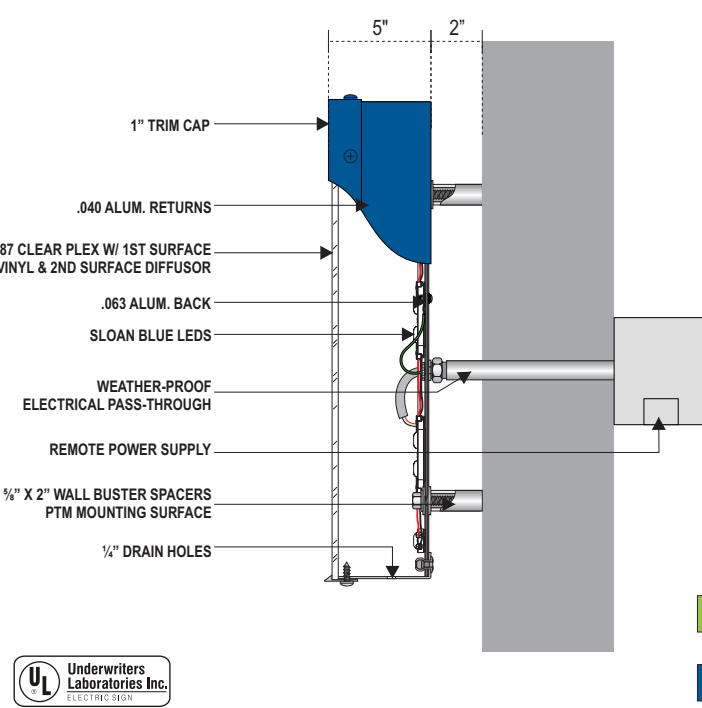
6. CHANNEL LETTERS MOUNTED WITH MECHANICAL FASTENERS AND 2" SPACERS. SPACERS PAINTED TO MATCH BUILDING EXTERIOR.



B LOGO SECTION DETAIL
SCALE: NTS



C LOGO SECTION DETAIL
SCALE: NTS



D CHANNEL LETTER DETAIL
SCALE: NTS

- P1 - PAINT TO MATCH GREEN SW 6921 ELECTRIC LIME
- P2 - PAINT TO MATCH BLUE SW 6966 BLUEBLOOD.
- V1 - VINYL TO MATCH 3M BRILLIANT GREEN 3730-106L
- V2 - VINYL TO MATCH SULTAN BLUE 3730-157L
- V3 - VINYL TO BE DIFFUSER 70% WHITE
- PAINTED TO MATCH BUILDING EXTERIOR



CLIENT
Andretti Indoor Carting & Games

ADDRESS
Albuquerque, NM

DATE 10.06.22

DESIGNER - GO

DRAWING NO.
22OP7483-5

REVISION	DATE
1. AM	10.10.22
2. REDUCE SIGN #5 OAH	10.18.22 AM
3. GROW SIGN #5 OAH	10.21.22 AM
4. ADD CROSS SECTION DETAILS	10.25.22 AM
5. ADD CROSS SECTION DETAILS	10.27.22 AM

APPROVAL DATE -

APPROVED BY -

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SPECIFICATIONS

1. FABRICATED FACE & HALO LIT CHANNEL LOGO W/ 6" DEEP RETURNS TO BE .080" ALUMINUM & 1 1/2" ALUM. RETAINER. BACK TO BE .090" ALUMINUM BACK STEPPED 1" TO PROVIDE HALO LIT EFFECT. FACE LIT W/ "A" SLOAN BLUE (701269-BLSJ1-MB) LEDS & EVERYLITE 3D 6500 WHITE LEDS; "CURVED GRAPHIC" TO BE ILLUMINATED W/ EVERYLITE 3D 6500 WHITE LEDS. HALO LIT W/ EVERYLITE 3D 6500 WHITE LEDS. REMOTE POWER SUPPLY AS REQUIRED PER ILLUMINATION.

RETURNS & INTERIORS PAINTED TO MATCH GREEN SW 6921 ELECTRIC LIME AND BLUE SW 6966 BLUEBLOOD.

2. "A" TO BE WHITE FLEX FACE WITH FIRST SURFACE VINYL TO MATCH 3M 3730-157L SULTAN BLUE.

"CURVED GRAPHIC" FACE TO BE .187 CLEAR PLEX FACE WITH FIRST SURFACE VINYL TO MATCH 3M 3730-106L BRILLIANT GREEN & SECOND SURFACE 70% WHITE DIFFUSER.

3. MOUNTED USING 3"X3" ANGLE CLIPS WITH 3/8" LAG BOLTS AND SHIELDS

4. ELECTRICAL CONDUITS BRIDGED INTO TOP GREEN SIGN SECTION. EXTERIOR POWER WIREWAYS ON PARAPHET WALL ABOVE ROOF MEMBRANE,

CLIENT
 Andretti Indoor Carting & Games

ADDRESS
 Albuquerque, NM

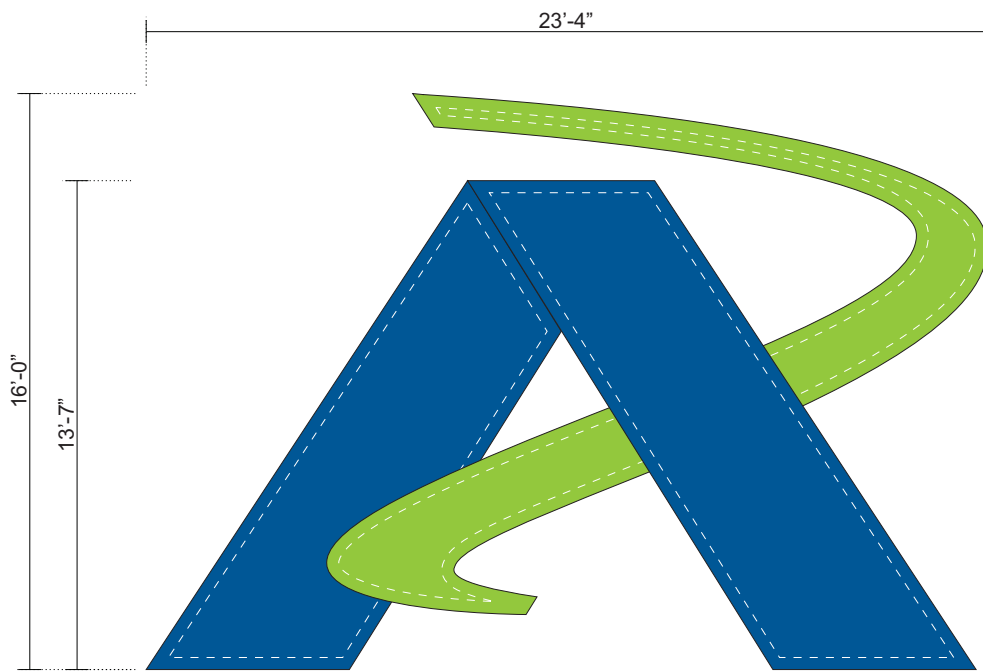
DATE 10.06.22
DESIGNER - GO
DRAWING NO.
 22OP7483-5

REVISION	DATE
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4. ADD CROSS SECTION DETAILS	10.25.22 AM
5. ADD CROSS SECTION DETAILS	10.27.22 AM

APPROVAL DATE -

APPROVED BY -

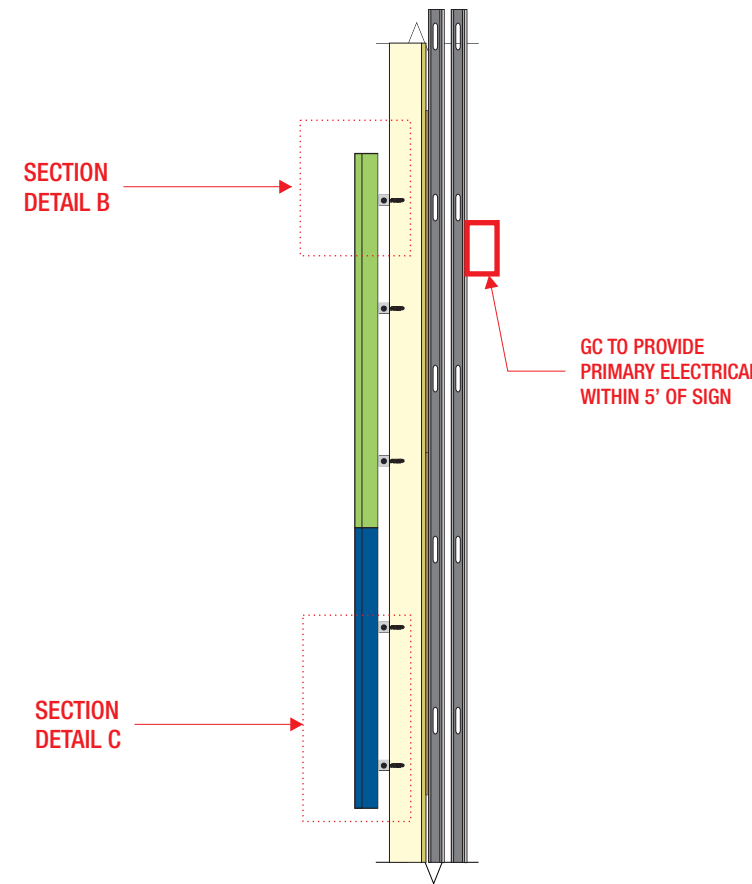
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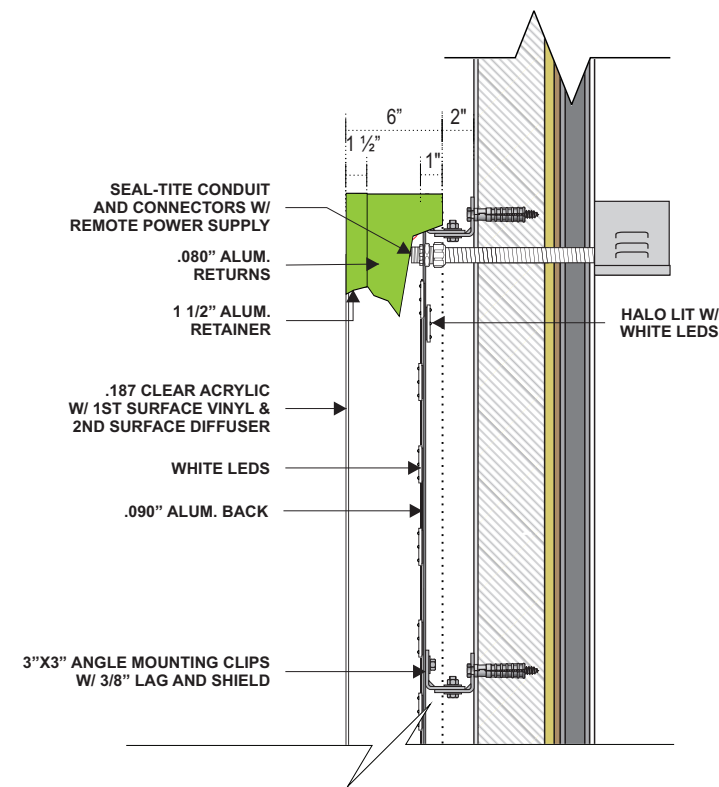
373.3 SQ. FT.

002 ICLH.01 - FACE & HALO LIT LOGO CABINET
 SCALE: 3/16" = 1'-0"

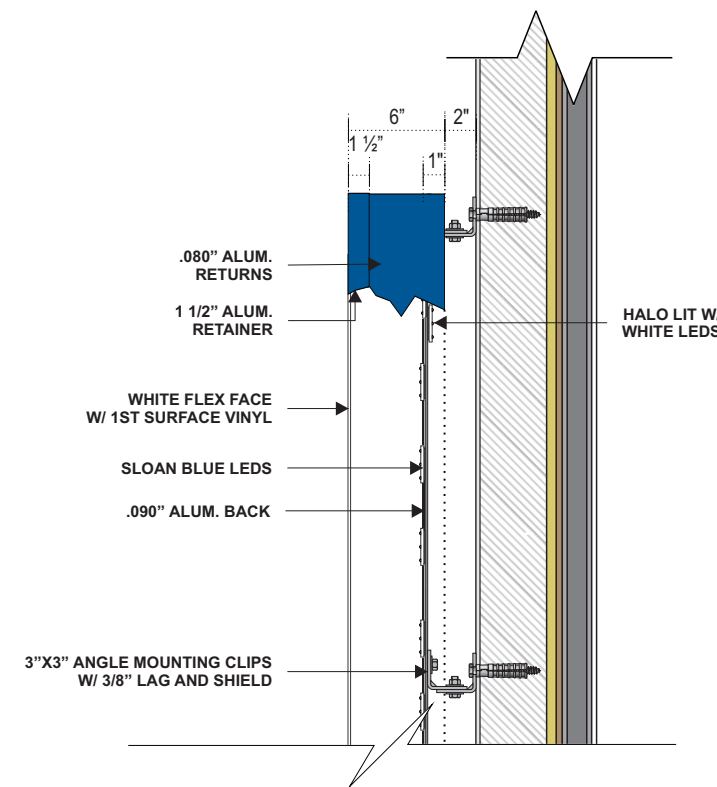
QTY (1)



A END VIEW



B SECTION
 N.T.S.



C SECTION
 N.T.S.

- P1 - PAINT TO MATCH GREEN SW 6921 ELECTRIC LIME
- P2 - PAINT TO MATCH BLUE SW 6966 BLUEBLOOD.
- V1 - VINYL TO MATCH 3M BRILLIANT GREEN 3730-106L
- V2 - VINYL TO MATCH SULTAN BLUE 3730-157L
- V3 - VINYL TO BE DIFFUSER 70% WHITE



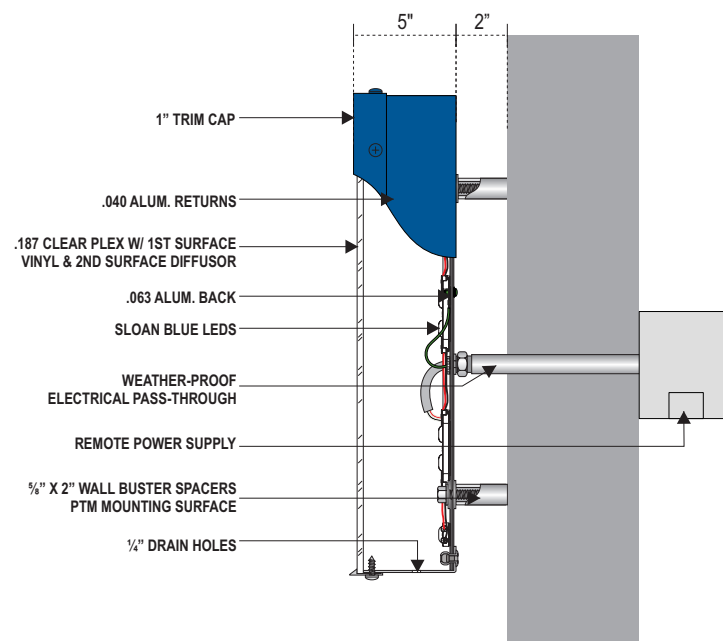
003

FACE-LIT CHANNEL LETTERS

SCALE: 1/8" = 1'-0"

296 SQ. FT.

QTY. 1



D SECTION
N.T.S.

- P2 - PAINT TO MATCH BLUE SW 6966 BLUEBLOOD.
- V2 - VINYL TO MATCH SULTAN BLUE 3730-157L
- V3 - VINYL TO BE DIFFUSER 70% WHITE
- PAINTED TO MATCH BUILDING EXTERIOR

SPECIFICATIONS

1. 5" DEEP FABRICATED ALUMINUM CHANNEL LETTERS. .040 ALUM. RETURNS P.T.M. SW 6966 BLUEBLOOD. 1" TRIM CAP PAINTED TO MATCH RETURNS. INTERNALLY LIT WITH SLOAN BLUE (701269-BLSJ1-MB) LEDS.
2. .187" CLEAR PLEX FACE WITH FIRST SURFACE VINYL 3M 3730-157L SULTAN BLUE & SECOND SURFACE VINYL DIFFUSER 70% WHITE.
3. MOUNTED WITH MECHANICAL FASTENERS AND 2" SPACERS. SPACERS PAINTED TO MATCH BUILDING EXTERIOR.



CLIENT
Andretti Indoor Carting & Games

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Albuquerque, NM

DATE 10.06.22

DESIGNER - GO

DRAWING NO.
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REVISION	DATE
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2. REDUCE SIGN #5 OAH	10.18.22 AM
3. GROW SIGN #5 OAH	10.21.22 AM
4. ADD CROSS SECTION DETAILS	10.25.22 AM
5. ADD CROSS SECTION DETAILS	10.27.22 AM

APPROVAL DATE -

APPROVED BY -

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232 SQ. FT.

004 FACE & HALO-LIT LOGO / FACE-LIT CHANNEL LETTERS
SCALE: 3/16" = 1'-0" QTY. 3

SPECIFICATIONS

1. FABRICATED FACE & HALO LIT CHANNEL LOGO W/ 6" DEEP RETURNS TO BE .080" ALUMINUM & 1 1/2" ALUM. RETAINER. BACK TO BE .090" ALUMINUM BACK STEPPED 1" TO PROVIDE HALO LIT EFFECT. FACE LIT W/ "A" SLOAN BLUE (701269-BLSJ1-MB) LEDS & EVERYLITE 3D 6500 WHITE LEDS; "CURVED GRAPHIC" TO BE ILLUMINATED W/ EVERYLITE 3D 6500 WHITE LEDS. HALO LIT W/ EVERYLITE 3D 6500 WHITE LEDS. SELF CONTAINED POWER SUPPLY AS REQUIRED PER ILLUMINATION.

RETURNS & INTERIORS PAINTED TO MATCH GREEN SW 6921 ELECTRIC LIME AND BLUE SW 6966 BLUEBLOOD.

2. "A" TO BE .187 CLEAR PLEX FACE WITH FIRST SURFACE VINYL TO MATCH 3M 3730-157L SULTAN BLUE & SECOND SURFACE 70% WHITE DIFFUSER.

NOTE: LOGO FACE TO BE ONE PIECE OF ACRYLIC, NO SEAMS

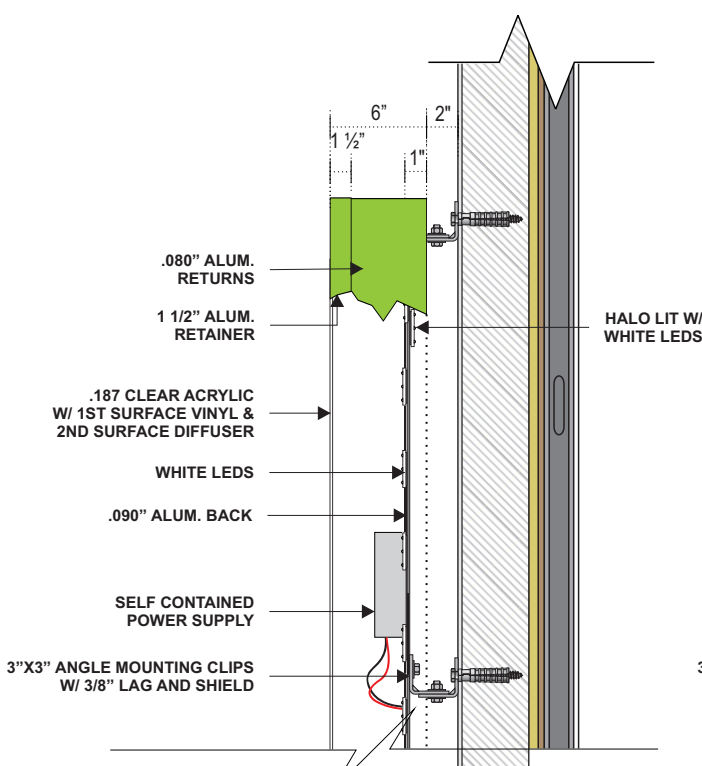
3. "CURVED GRAPHIC" FACE TO BE .187 CLEAR PLEX FACE WITH FIRST SURFACE VINYL TO MATCH 3M 3730-106L BRILLIANT GREEN & SECOND SURFACE 70% WHITE DIFFUSER.

MOUNTED USING 3"X3" ANGLE CLIPS WITH 3/8" LAG BOLTS AND SHIELDS

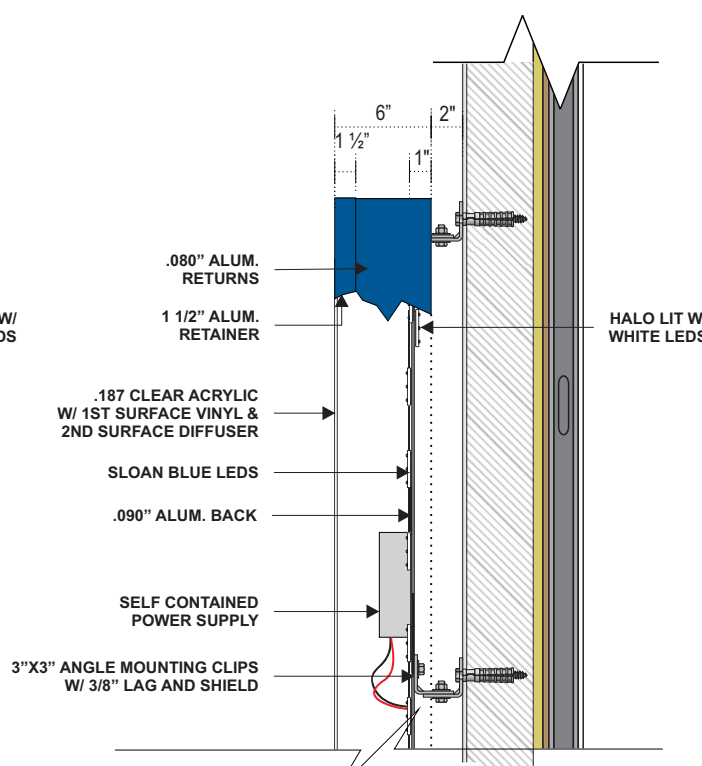
4. 5" DEEP FABRICATED ALUMINUM CHANNEL LETTERS. .040 ALUM. RETURNS AND .063 ALUM BACK. BLUE SW 6966 BLUEBLOOD. 1" TRIM CAP PAINTED TO MATCH BLUE SW 6966 BLUEBLOOD. INTERNALLY LIT WITH SLOAN BLUE (701269-BLSJ1-MB) LEDS.

5. .187" CLEAR PLEX FACE WITH FIRST SURFACE VINYL 3M 3730-157L SULTAN BLUE & SECOND SURFACE VINYL DIFFUSER 70% WHITE.

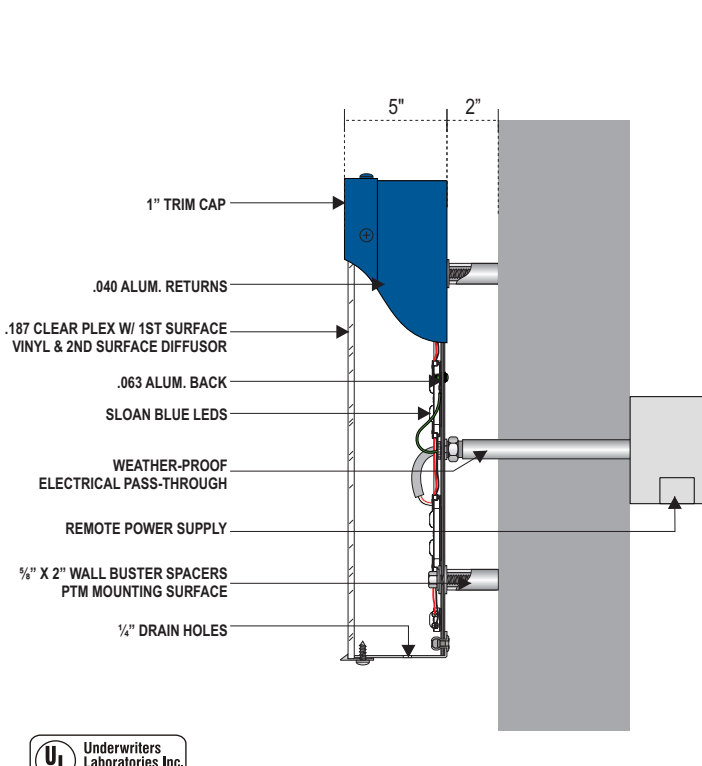
6. CHANNEL LETTERS MOUNTED WITH MECHANICAL FASTENERS AND 2" SPACERS. SPACERS PAINTED TO MATCH BUILDING EXTERIOR.



B LOGO SECTION DETAIL
SCALE: NTS



C LOGO SECTION DETAIL
SCALE: NTS



D CHANNEL LETTER DETAIL
SCALE: NTS

- P1 - PAINT TO MATCH GREEN SW 6921 ELECTRIC LIME
- P2 - PAINT TO MATCH BLUE SW 6966 BLUEBLOOD.
- V1 - VINYL TO MATCH 3M BRILLIANT GREEN 3730-106L
- V2 - VINYL TO MATCH SULTAN BLUE 3730-157L
- V3 - VINYL TO BE DIFFUSER 70% WHITE
- PAINTED TO MATCH BUILDING EXTERIOR



CLIENT
Andretti Indoor Carting & Games

ADDRESS
Albuquerque, NM

DATE 10.06.22

DESIGNER - GO

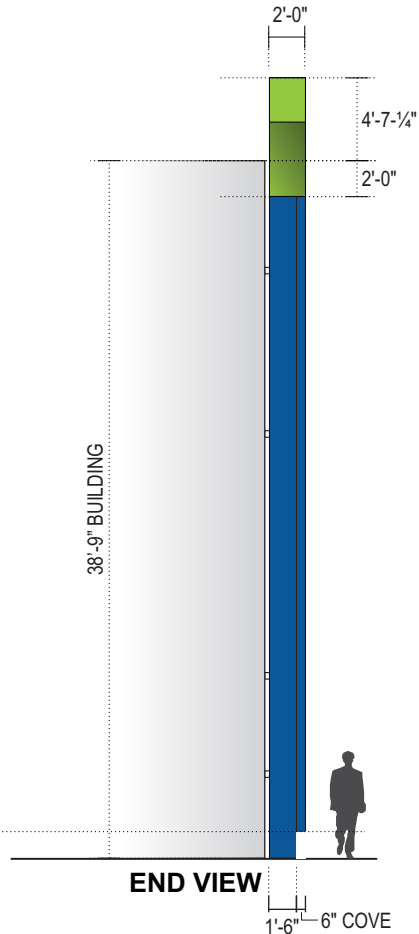
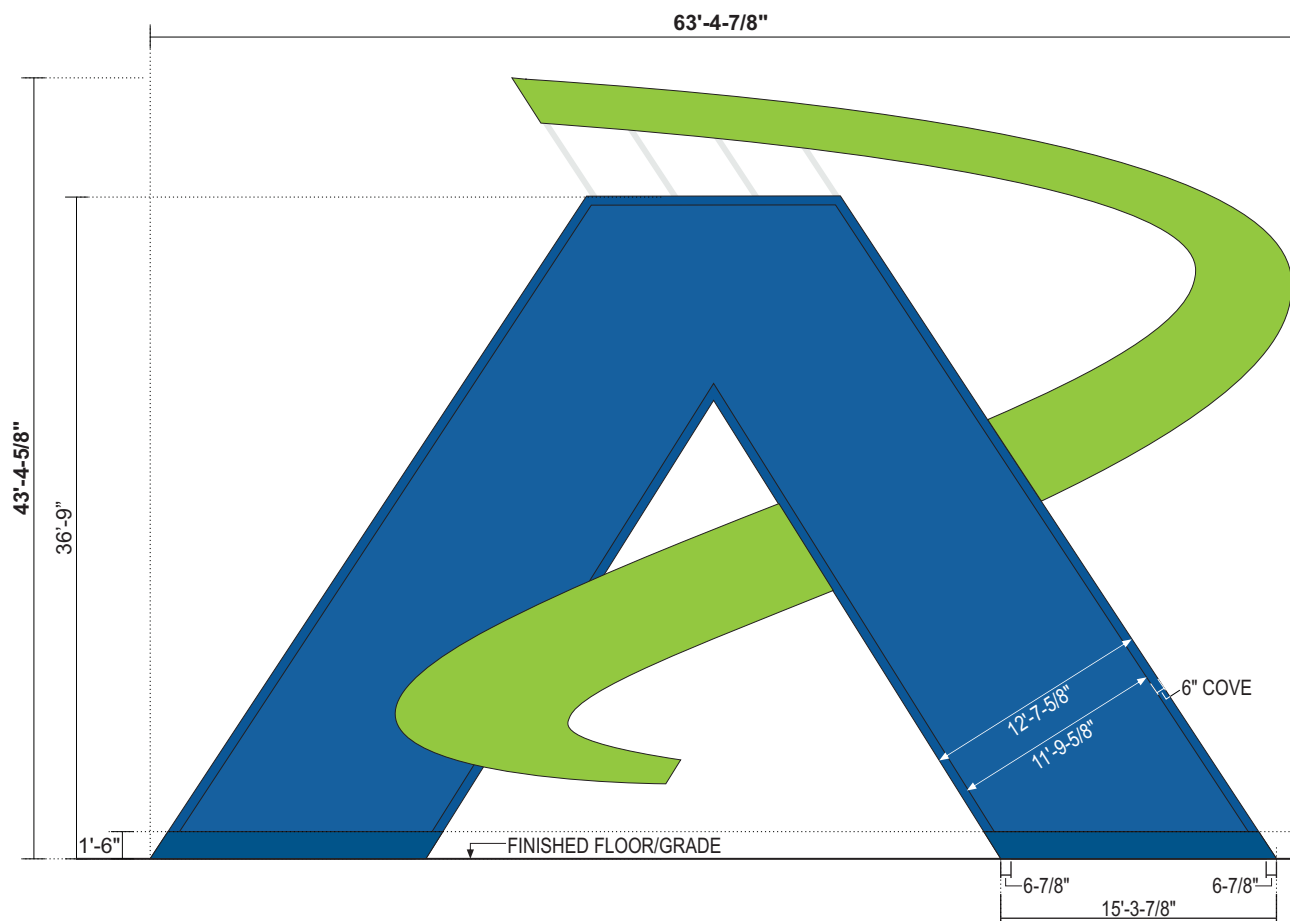
DRAWING NO.
22OP7483-5

REVISION	DATE
1. AM	10.10.22
2. REDUCE SIGN #5 OAH	10.18.22 AM
3. GROW SIGN #5 OAH	10.21.22 AM
4. ADD CROSS SECTION DETAILS	10.25.22 AM
5. ADD CROSS SECTION DETAILS	10.27.22 AM

APPROVAL DATE -

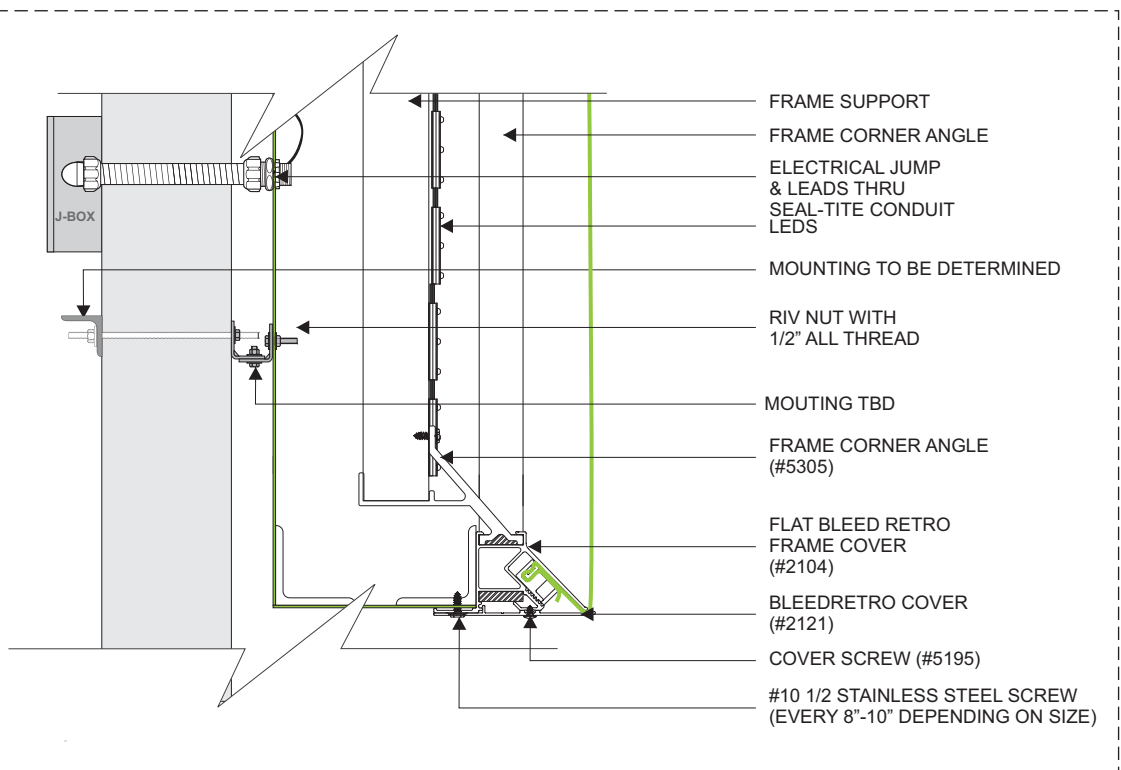
APPROVED BY -

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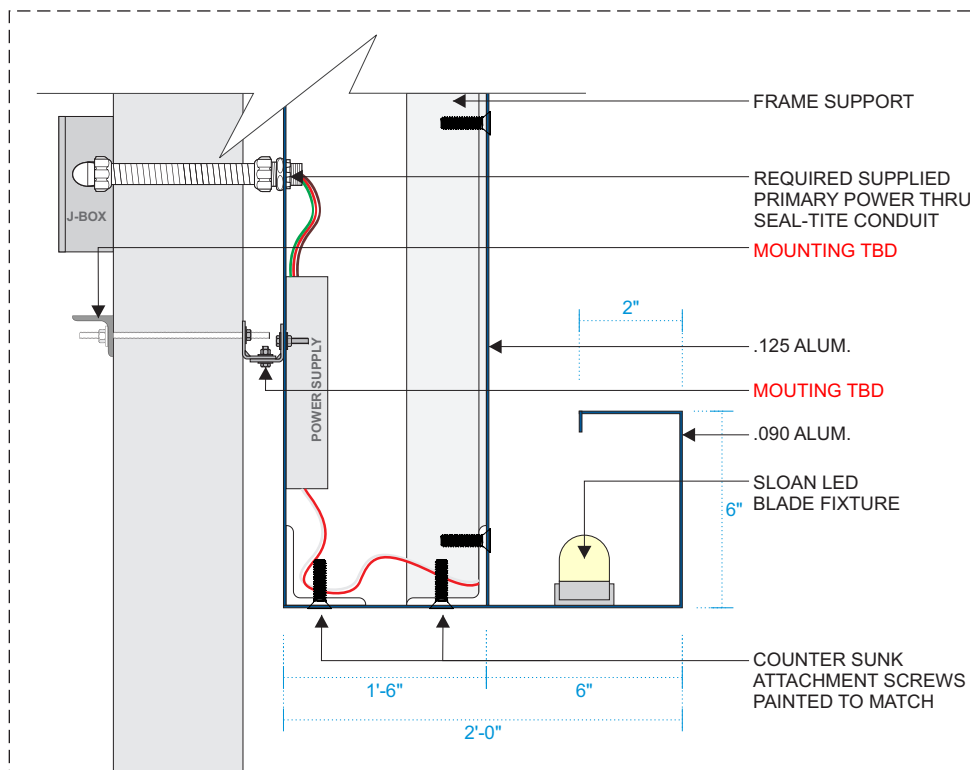


005 ILLUMINATED CUSTOM WALL SIGN
SCALE: 3/32" = 1'-0"

1,590.2 SQ. FT.
QTY (1)



A SWOOSH - DETAILS
SCALE: NTS



B 'A' - DETAILS
SCALE: NTS

SPECIFICATIONS

- FABRICATED ALUMINUM SIGN CABINET WITH 2" X 2" STACKED ALUM. SQ. TUBE WITH A 2" X 2" STRUCTURAL SUPPORT FRAME. SIGN COMP RETRO BLEED FRAME #2104 AND BLEED FACE COVERS #2121. BACK PANEL MADE USING .090 ALUM. INTERNALLY ILLUMINATED & GRAPHIC EVERYLITE 3D 6500 WHITE LEDS. CURVED GRAPHIC TO BE ILLUMINATED W/ EVERYLITE 3D 6500 WHITE LEDS. SELF CONTAINED POWER SUPPLY AS REQUIRED PER ILLUMINATION.

BACKS, RETURNS, COVERS & SIGN INTERIORS PAINTED TO MATCH GREEN (3M VINYL 3630-136 LIME GREEN) AND BLUE (3M VINYL 3630-35 PATRIOT BLUE).
- "A" TO BE .125 ALUMINUM WITH PAINTED BLUE TO MATCH "3M VINYL 3630-35 PATRIOT BLUE" & ILLUMINATED COVE BORDER.
- "CURVED GRAPHIC" FACE TO BE WHITE FLEX FACE WITH FIRST SURFACE VINYL TO MATCH GREEN (3M VINYL 3630-136 LIME GREEN)
- MOUNTED TO DETERMINED BASE ON BUILDING CONSTRUCTION.

***PRIMARY ELECTRICAL CIRCUIT TO SIGN PROVIDED BY OTHERS**

- P1 - PAINT TO MATCH GREEN (3M VINYL 3630-136 LIME GREEN)
- P3 - PAINT TO MATCH BLUE (3M VINYL 3630-35 PATRIOT BLUE).
- V1 - VINYL TO MATCH 3M 3630-136 LIME GREEN
- V2 - VINYL TO MATCH 3630-47 PATRIOT BLUE
- V3 - VINYL TO BE DIFFUSER 70% WHITE



CLIENT
Andretti Indoor Carting & Games

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DRAWING NO.
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1. AM	10.10.22
2. REDUCE SIGN #5 OAH	10.18.22 AM
3. GROW SIGN #5 OAH	10.21.22 AM
4. ADD CROSS SECTION DETAILS	10.25.22 AM
5. ADD CROSS SECTION DETAILS	10.27.22 AM

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LIT COVE CHANNEL

SPECIFICATIONS



- 1 BREAK-FORMED .090" ALUMINUM PAINTED P1, P2
- 2 PRINCIPAL LED ILLUMINATION
- 3 LED POWER SUPPLY
- 4 REMOVABLE TOP SECURED WITH COUNTER SUNK SCREW
- 5 MOUNTING HARDWARE (TBD)
- 6 PRIMARY POWER (BY OTHERS)
- 7 2" X 2" ALUM. ANGLE FRAME
- 8 DRAIN HOLE
- 9 3/16" ACRYLIC WITH FIRST SURFACE TRANS. VINYL
- 10 SLOAN LED BLADE WHITE ILLUMINATION

NOTE:
 • ALL SEAMS COVERED AND SEALED FROM INSIDE CHANNEL WITH 2" BREAK-FORMED ALUMINUM CLIP TO PREVENT LIGHT LEAKS.
 • SURVEY NEEDED TO DETERMINE LENGTHS AND CORNER DIMS.

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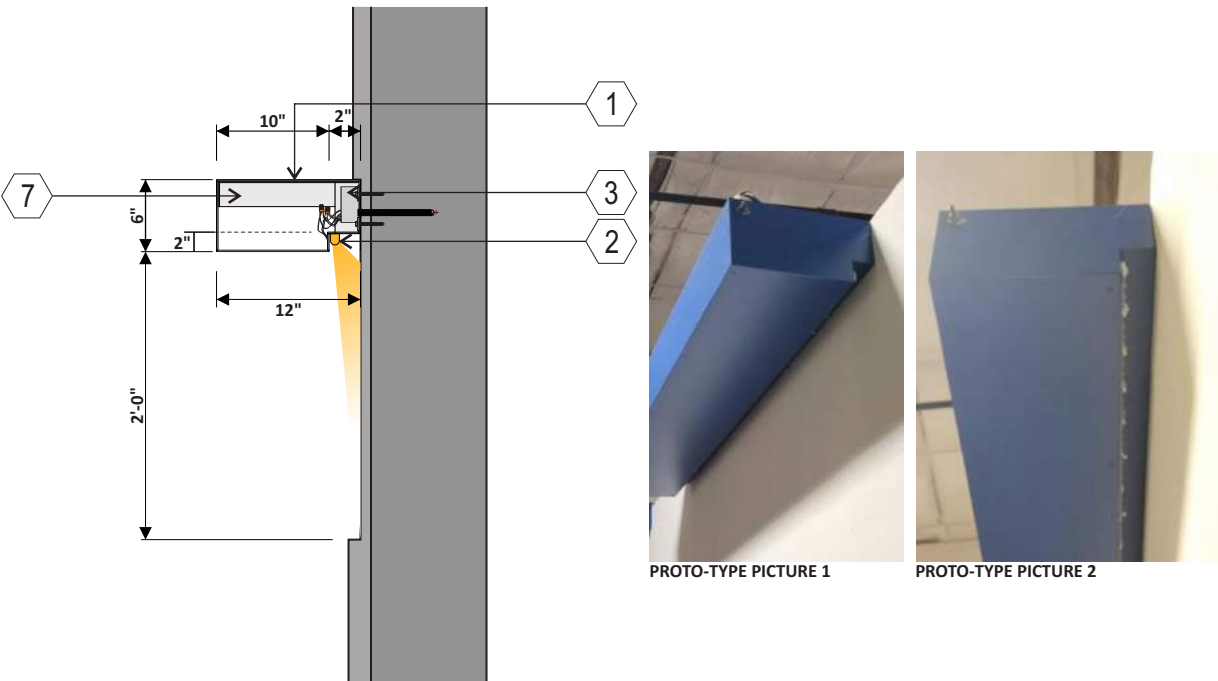
DATE 10.06.22
DESIGNER - GO
DRAWING NO.
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REVISION	DATE
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APPROVAL DATE -

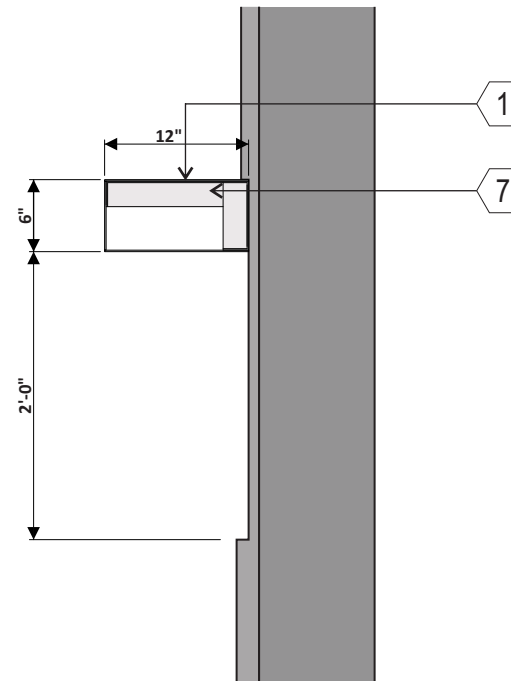
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F1.L - SECTION

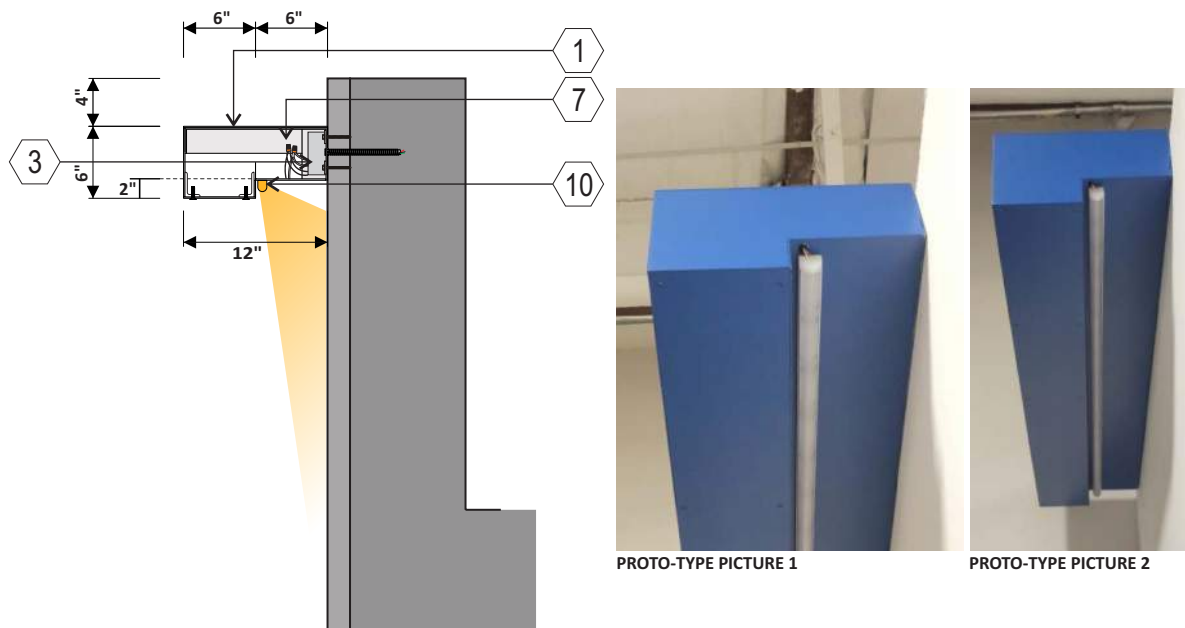
SCALE: NTS



F2.L - SECTION

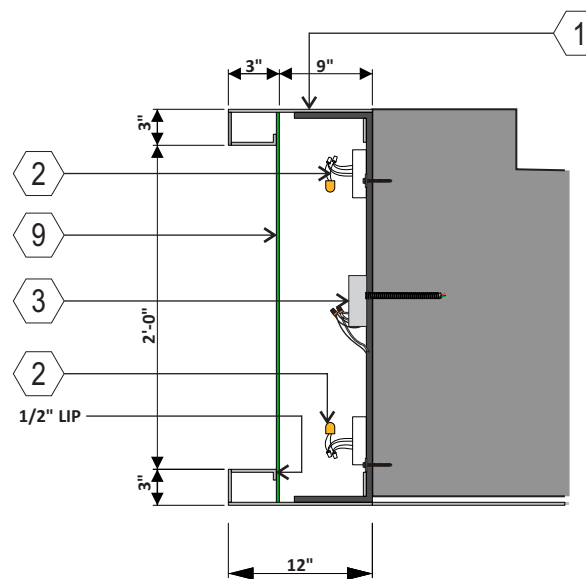
SCALE: NTS

****NON-ILLUMINATED****



F3.L - SECTION

SCALE: NTS



F4.L - SECTION

SCALE: NTS



- V1 - VINYL TO MATCH 3M BRILLIANT GREEN 3730-106L
- P1 - MAP SATIN TO MATCH SW 6966 BLUEBLOOD.
- P2 - MAP SATIN TO MATCH SW 6921 ELECTRIC LIME

CLIENT, MANUFACTURING, AND INSTALLATION NOTES FOR ALL DESIGNS



CLIENT NOTES:

- 1) CLIENT TO PROVIDE VECTOR ARTWORK INCLUDING CORRECT FONTS.
- 2) CLIENT TO PROVIDE ALL COLORS FOR SIGNS WITHIN DESIGN INCLUDING RACEWAY COLORS. COLORS TO BE PROVIDED ARE TO BE IN A SHERWIN WILLIAMS OR PANTONE / PMS COLORS. CMYK COLORS ARE NOT USABLE.
- 3) CLIENT TO APPROVE AND INITIAL DESIGNS THEN RETURN TO SSC SIGNS & LIGHTING ONCE APPROVED.
- 4) CLIENT TO PROVIDE ELECTRICAL TO ALL ILLUMINATED SIGNS. ELECTRICAL TO BE WITHIN 5'-0" OF SIGNAGE PRIOR TO INSTALL DATE.
- 5) ALL ELECTRICAL SCOPE TO BE INSTALLED BY TENANT CONTRACTOR

MANUFACTURING NOTES:

- 1) IF SIGN NEEDS TO BE PERMITTED, MANUFACTURING WILL START AS SOON AS PERMITS ARE APPROVED BY CITY.
- 2) MANUFACTURING TO SUPPLY ALL NEEDED HARDWARE AND ELECTRICAL COMPONENTS NEEDED FOR INSTALLATION OF SIGN.
- 3) A MINIMUM OF 6'-0" WHIPS FROM THE BACK OF EACH CHANNEL LETTERS FOR INSTALLATION WHEN NEEDED.

INSTALLATION NOTES:

- 1) INSTALLER TO INSPECT SIGN UPON RECEIPT AND REPORT ANY ISSUES OR DAMAGED ITEMS. INSTALLER WILL BE HELD LIABLE FOR ANY DAMAGES OR ISSUES REPORTED AFTER DAY SIGN IS RECEIVED.
- 2) INSTALLER TO VERIFY WITH CLIENT THAT SIGN IS BEING INSTALLED IN CORRECT LOCATION.
- 3) INSTALLER TO VERIFY ALL SERVICE IS COMPLETE PRIOR TO LEAVING THE SITE FOR THAT DAY AND/OR NIGHT INCLUDING COMPLETION PHOTOS OF SIGNS INSTALLED AND ILLUMINATED.
- 4) INSTALLER TO CLEAN UP ALL TRASH AND DEBRIS. ALSO, CLEAN ALL SIGNS AS NEEDED INCLUDING FACES.

CLIENT

Andretti Indoor Carting & Games

ADDRESS

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APPROVAL DATE -

APPROVED BY -

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LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- BUILDING
- - - EXISTING CURB & GUTTER
- - - EXISTING BOUNDARY LINE
- FIRE ACCESS
- - - NO PARKING FIRE LANE LINE
- EXISTING FIRE HYDRANT
- PROPOSED HYDRANT

ALBUQUERQUE, NM
 BUSINESS PARK NR-C
 OCCUPANCY TYPE: DINING (GROUP A-3),
 GAMES (GROUP A-3),
 INDOOR KARTING (A-4)- IBC 2018,
 ASSEMBLY NFPA 101 2018 CHAPTER 6

BUILDING AREA: 98,023 SF
 3 STORY HIGH BUILDING
 CONSTRUCTION TYPE: IB

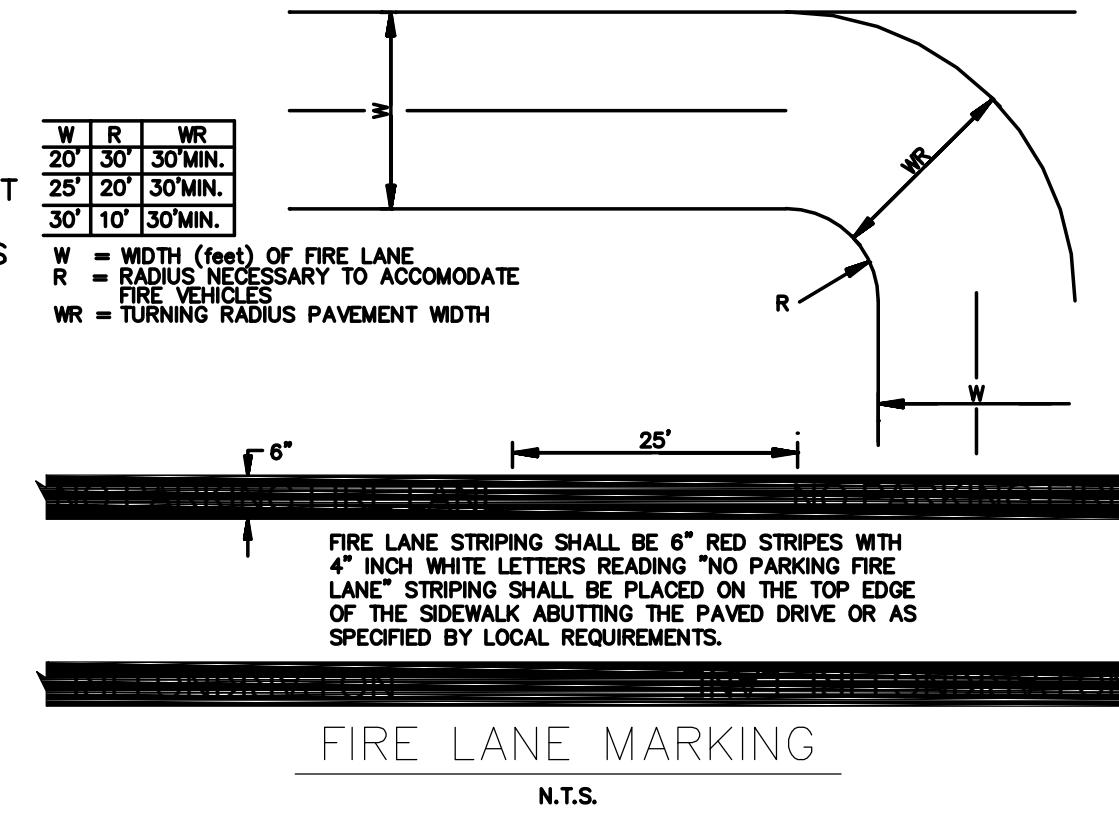
BUILDING IS FULLY SPRINKLERED
 MAX BUILDING HEIGHT 50'-0"
 FIRE-FLOW = 3500GPM (3 HOURS)

NOTES

1. ON SITE FIRE LANE ROAD SHALL BE MARKED ON BOTH SIDES, AS DIRECTED BY FIRE MARSHALL.
2. FIRE APPARATUS ACCESS ROADS SHALL NOT EXCEED 10 PERCENT IN GRADE AND SHALL HAVE AN ALL WEATHER DRIVING SURFACE CAPABLE OF SUPPORTING THE IMPOSED LOAD OF FIRE APPARATUS WEIGHING AT LEAST 75000 LBS.
3. KEY BOX (KNOX BOX) SHALL BE MOUNTED BETWEEN 4 AND 6 FEET ABOVE GRADE AND SHALL BE ILLUMINATED.

CAUTION

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



KEYED NOTES

- 1 NEW PRIVATE FIRE HYDRANT AND 6" GATE VALVE
- 2 PIV
- 3 BUILDING ADDRESS
- 4 KNOX BOX
- 5 FDC
- 6 8"x6" REDUCER
- 7 6" PUBLIC GATE VALVE
- 8 6" PRIVATE GATE VALVE
- 9 NEW PRIVATE FIRE HYDRANT
- 10 EXISTING PUBLIC FIRE HYDRANT



ALBUQUERQUE FIRE MARSHAL'S OFFICE
 DIVISION OFFICE PLANS CHECKING DIVISION

PERMIT

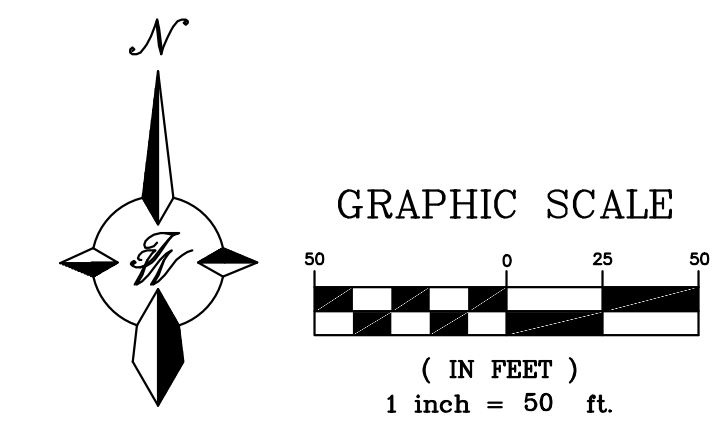
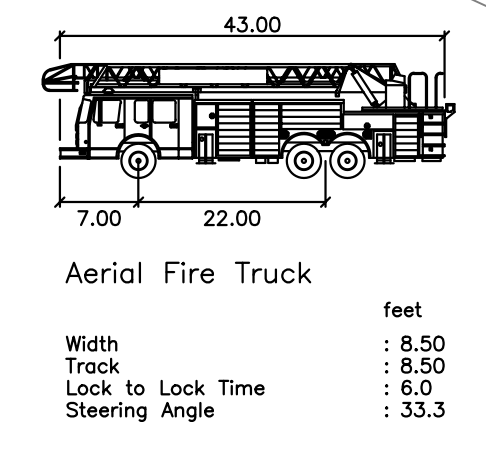
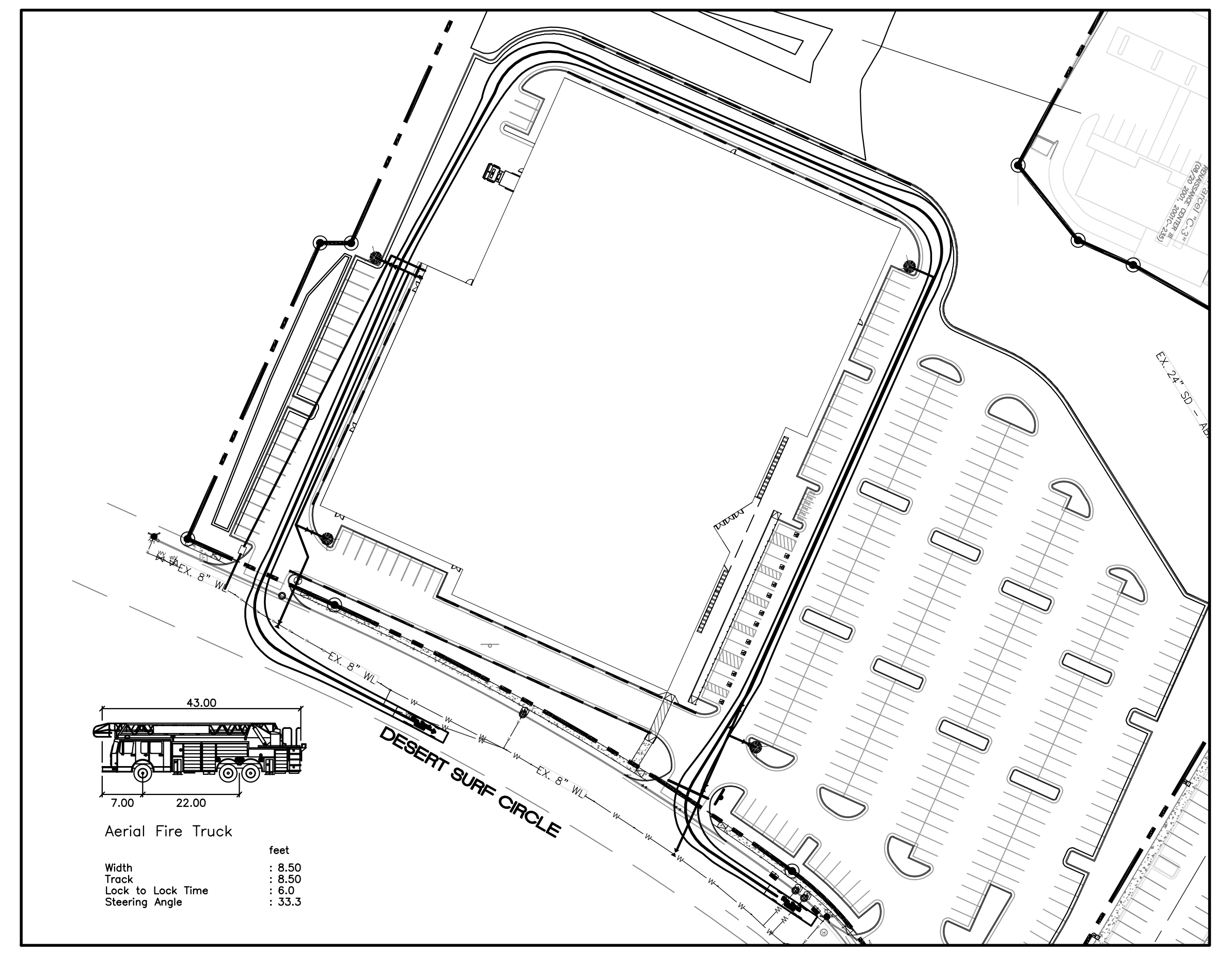
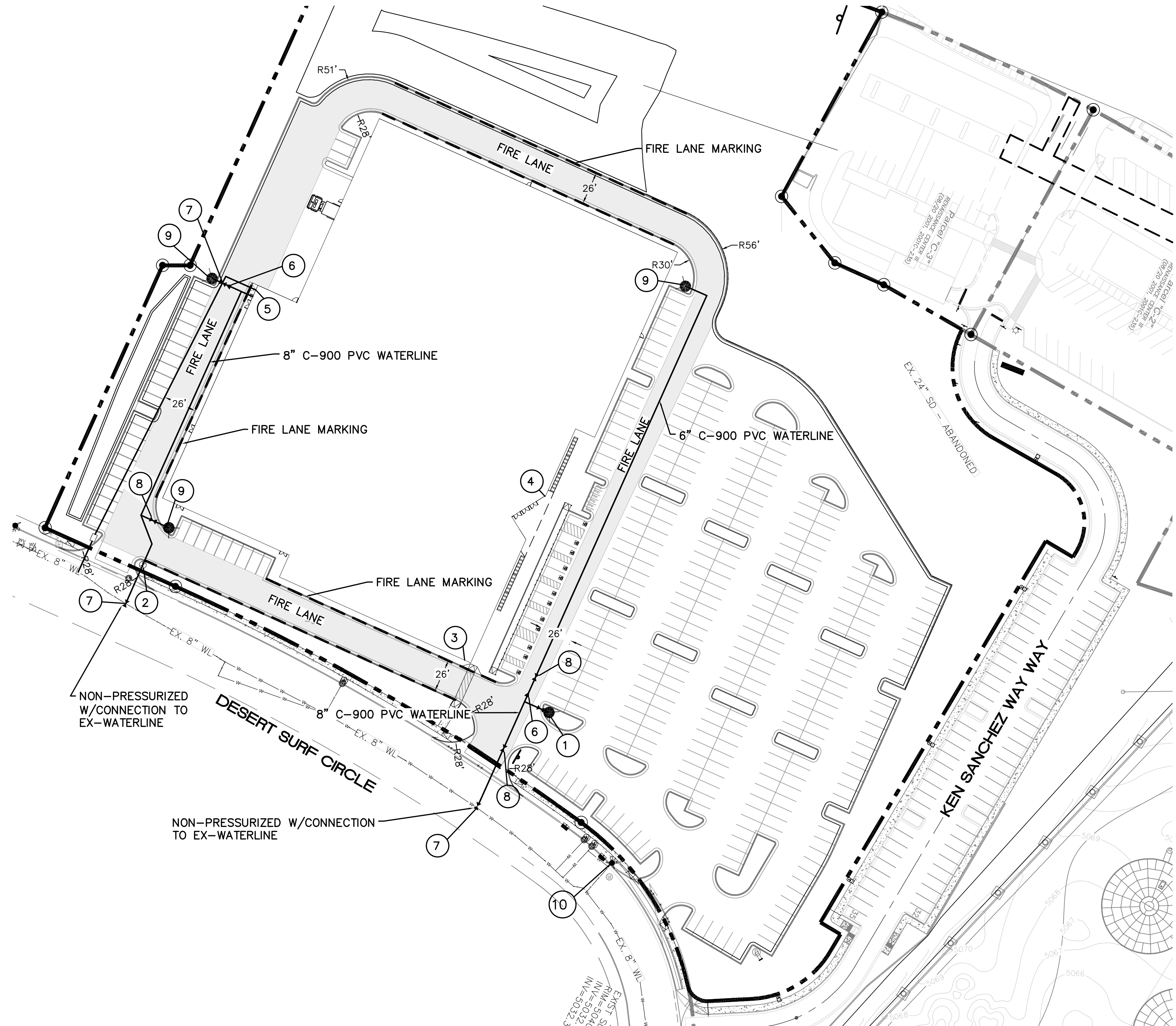
PERMIT NUMBER: FP-22-010256 SU-1 FOR C-2 USES
 APPROVED DATE: 06/15/22

APPROVED

THESE CONSTRUCTION DOCUMENTS HAVE BEEN REVIEWED AND APPROVED BY THE ALBUQUERQUE FIRE MARSHAL'S OFFICE IN ACCORDANCE WITH THE CITY ORDINANCE, THE INTERNATIONAL FIRE CODE, AND NFPA STANDARDS. THIS PERMIT IS VALID FOR 180 DAYS. FINAL INSPECTION IS REQUIRED.

VICINITY MAP

LEGAL DESCRIPTION:
 PARCEL B-1 RENAISSANCE CENTER 3



ENGINEER'S SEAL RONALD R. BOHANNAN P.E. #7868	INDOOR KART TRACK ALBUQUERQUE, N.M. FIRE 1 PLAN TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	DRAWN BY JL DATE 6-15-22 2022011-FIRE ONE SHEET # F-1 JOB # 2022011
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PLANNING DEPARTMENT
URBAN DESIGN & DEVELOPMENT DIVISION
600 2nd Street NW, 3rd Floor, Albuquerque, NM 87102
P.O. Box 1293, Albuquerque, NM 87103
Office (505) 924-3860 Fax (505) 924-3339



OFFICIAL NOTIFICATION OF DECISION

August 18, 2022

Albuquerque Investors LLC
Woodsonia Real Estate Inc.
20010 Manderson St., Suite 101
Elkhorn, NE 68022-1264

Project #2019-002284
SI-2022-01301- Site Plan- Major Amendment

LEGAL DESCRIPTION:

Tierra West LLC, agent for Albuquerque Investors LLC, Woodsonia Real Estate Inc, requests a Site Plan- Major Amendment for all or a portion of Parcels C-1-A, C-1-B, and B-1-A (correction plat of parcels C-1-A, C-1-B and B-1-A) Renaissance Center III, located on Desert Surf Circle NE, between Alexander Blvd. NE, and Montano Rd. NE, approximately 24 acres (F-16-Z).
Staff Planner: Megan Jones

On August 18, 2022, the Environmental Planning Commission (EPC) voted to APPROVE Project #2019-002284, SI-2022-01301- Site Plan- Major Amendment, based on the following Findings and subject to the following Conditions of Approval:

Findings:

1. The request is for a Site Plan EPC-Major Amendment of a Pre IDO-Approval for an approximately 24-acre site legally described as all or a portion of Parcels C-1-A, C-1-B and B-1-A Renaissance Center III, Located on Desert Surf Circle NE, between Alexander Blvd NE, and Montano Rd. (“the subject site”).
2. The subject site is zoned NR-C (non-residential – Commercial), a zoning designation received upon adoption of IDO in May 2018. The subject site was formerly zoned SU-1 for SU-1 IP for Water Park and related facilities of a permanent character.
3. The subject site is within the boundaries of the 24-acre Beach Water Park Site Plan (Z-86-66). The subject site is controlled by an Administrative Amendment approved in 2019, (PR #2019-002284) for Tracts C-1-A, C-1-B and B-1-A, which was an amendment to the original controlling Site Development Plan.
4. The EPC is hearing this request because IDO Section 14-16-1-10(A) Pre-IDO Approvals states that any approvals granted prior to the effective date of the IDO shall remain valid, subject to expiration.

Major Amendments of Pre-IDO Approvals return to the original decision-making body pursuant to 14-16-6-4(Z)(1)(b).

5. The applicant wishes to amend the controlling Site Development Plan (PR # 2019-002284) to allow a 97,000 square foot Indoor Entertainment facility on tract B-1-A.
6. The subject site is located in the Renaissance Employment Center, within 660-feet of the Montano Rd. Major Transit Corridor, and in an Area of Change as designated by the Comprehensive Plan. It is in the Northwest Mesa Community Planning Area (CPA).
7. The Albuquerque/Bernalillo County Comprehensive Plan and the Integrated Development Ordinance (IDO) are incorporated herein by reference and made part of the record for all purposes.
8. The request is consistent with the following Comprehensive Plan Goals and Policies regarding Centers and Corridors from Chapter 5: Land Use
 - A. Goal 5.1- Centers and Corridors: Grow as a community of strong Centers connected by a multi-modal network of Corridors.

The subject site is located in the Renaissance Employment Center and within 660' of the Montano Rd. Major Transit Corridor as designated by the Comprehensive Plan. The request would facilitate development of an Indoor Entertainment facility. Employment Centers are intended to remain predominately retail centers, while Major Transit Corridors are intended to be walkable and accessible along the Corridors and the Centers they connect. The proposed amendment is generally consistent with this goal by providing an additional commercial use in the center that has the infrastructure capacity to remain a walkable/accessible place, therefore strengthening the center.

- B. Policy 5.1.1 – Desired Growth: Capture regional growth in Centers and Corridors to help shape the built environment into a sustainable development pattern.

The request would generally facilitate the capture of regional growth in Centers and Corridors by allowing the proposed development of an Indoor Entertainment facility that would attract residents from the greater Albuquerque area. The subject site is served by local transit with proposed bike lanes. Additionally, subject site is located in an Area of Change which allows for development that benefits the surrounding community in a designated Center accessible by pedestrians, transit and vehicles. The request would continue to shape the surrounding center and corridor into a sustainable development pattern.

- C. Policy 5.1.1, Subpolicy c: Encourage employment density, compact development, redevelopment, and infill in Centers and Corridors as the most appropriate areas to accommodate growth over time and discourage the need for development at the urban edge

The subject site is located in the Renaissance Employment Center and within 660' of the Montano Rd. Major Transit Corridor as designated by the Comprehensive Plan. The request would facilitate redevelopment of Tract B-1-A on an infill location within the Center, which would create more opportunities for employment.

- D. Policy 5.1.1, Subpolicy h: Encourage all new development, especially in designated Centers and Corridors, to address transit connections, linkages, and opportunities within the proposed development.

The request would allow Tract B-1-A to be redeveloped as an Indoor Entertainment facility in a designated Center and Corridor. The applicant has generally addressed transit connections, linkages, and opportunities within the proposed development. The proposed Site Plan that shows vehicular and pedestrian access points, although does not provide a direct connection to transit. The subject site has existing and proposed sidewalks that connect to transit along Montano Rd.

9. The request is consistent with the following Comprehensive Plan Goals and Policies regarding Efficient Development Patterns and Infill from Chapter 5: Land Use

- A. Policy 5.2.1 Land Uses: Create healthy, sustainable, and distinct communities with a mix of uses that are conveniently accessible from surrounding neighborhoods.

Subpolicy (a): Encourage development and redevelopment that brings goods, services, and amenities within walking and biking distance of neighborhoods and promotes good access for all residents.

The request would generally contribute to a healthy and sustainable community because it would facilitate development in an Employment Center that includes a mix of uses including retail, services, office, industrial and some residential. The subject site is within 660' of a Major Transit Corridor that has a proposed bike lane and existing sidewalks, as well as transit, making it conveniently accessible by pedestrians, transit and motor vehicles to neighborhoods outside of the Center.

- B. Policy 5.2.1, Subpolicy h: Infill development that adds complementary uses and is compatible in form and scale to the immediately surrounding development.

The request would allow the development of an Indoor Entertainment use on a vacant lot that functions as an existing drainage pond within the Beach Water Park Site Plan. The proposed use would be complementary to the surrounding Employment Center, which is intended to be maintained a primarily retail area. Future development would be generally compatible in form and scale because Tract B-1-A is zoned NR-C and would be developed based on those standards. An indoor Entertainment use would be compatible with the other permitted uses within the subject site and surrounding area.

- C. Goal 5.3 – Efficient Development Patterns: Promote development patterns that maximize the utility of existing infrastructure and public facilities and the efficient use of land to support the public good.

Policy 5.3.1 Infill Development: Support additional growth in areas with existing infrastructure and public facilities.

The subject site is located in an Area of Change and in a designated center, which are desired infill development locations. The proposed redevelopment on Tract B-1-A of the subject site would be served by existing infrastructure and public facilities. Future development made possible by the request would promote efficient development patterns and use of land.

- D. Goal 5.6 – City Development Areas: Encourage and direct growth to Areas of Change where it is expected and desired to ensure that development in and near Areas of Consistency reinforces the character and intensity of the surrounding area.

The subject site is located in an Area of Change, where growth is expected and desired. The request would encourage enable and direct growth to it.

- E. Policy 5.6.2 – Areas of Change: Direct growth and more intense development to Centers, Corridors, industrial and business parks, and Metropolitan Redevelopment Areas where change is encouraged.

The intent is to direct growth and more intense development to Centers, Corridors, and industrial and business parks. The request would further this policy as it is located in the renaissance Employment Center and within 660’ of a Major Transit Corridor, where more intense development and growth is encouraged.

- F. Policy 5.6.2, Subpolicy b): Encourage development that expands employment opportunities.

The Comprehensive Plan highlights Corridors within Areas of Change as areas where growth is desired and where additional residents, services, and jobs can be accommodated in locations ready for new development (Comp Plan pg. 5-23). The request would facilitate the development of an Indoor Entertainment facility in the Renaissance Employment Center, within 660’ of a Major Transit Corridor, and in an Area of Change. A new Entertainment facility would create more jobs in a Center that is designated for high employment density.

10. The request is consistent with the following Comprehensive Plan Goals and Policies from chapter 7: Urban Design

- A. Policy 7.2.1 Walkability: Ensure convenient and comfortable pedestrian travel.
Subpolicy c: Ensure the location and design of sidewalks reflects the existing or planned character and intensity of surrounding land uses.

Policy 7.2.1, Subpolicy j: Emphasize pedestrian connections between buildings on a site and to adjacent uses.

The proposed Site Plan follows the design standards within the NR-C zone district and DPM, therefore provides pedestrian access points at appropriate locations on the Site Plan. It is located within 660’ of the Montano Major Transit Corridor, which has a planned bike route and two transit routes with parallel stops near the subject site. The development of the site will ensure sidewalk construction along the frontage of the site ensuring convenient pedestrian travel between Tract B-1-A and the greater subject site.

- B. Policy 7.3.4 Infill: Promote infill that enhances the built environment or blends in style and building materials with surrounding structures and the streetscape of the block in which it is located.

The request is for the development of a Indoor Entertainment use on Tract B-1-A of the subject site, which is currently vacant. The request would promote infill that blends in style with the surrounding structures and the streetscape by following design standards in the IDO for the NR-c zone district, Employment Centers, and Major Transit areas.

11. The request is consistent with the following Comprehensive Plan Goals and Policies from Chapter 8: Economic Development

- A. Goal 8.1- Placemaking: Create places where business and talent will stay and thrive.

The Comprehensive Plan states that infill of vacant land is crucial to economic development and will help provide attractive, well-connected urban places that attract knowledge-based employers and the workforce they need (Comp Plan pg. 8-15). The subject site zoned NR-C and in the Renaissance Employment Center, which the comprehensive plan designates as a high employment density area near transit. The request would help contribute to this.

- B. Policy 8. 1. 2 - Resilient Economy: Encourage economic development efforts that improve quality of life for new and existing residents and foster a robust, resilient, and diverse economy.

The request would facilitate the development of a new Indoor Entertainment Facility in a designated Employment Center on an infill site. The development could result in a new employment opportunity for new and existing residents in the surrounding area, which is accessible by all transportation modes. The request could foster a robust, resilient, and diverse economy by providing a new Indoor Entertainment facility in an established Employment Center and within 660' of a Major transit Corridor.

12. The request meets the Site Plan-EPC Review & Decision Criteria in IDO Section 14-16-6-6(J)(3) as follows:

- A. 14-16-6-6(J)(3)(a) As demonstrated by the policy analysis of the site plan, the request is consistent with applicable Comprehensive Goals and Policies.
- B. 14-16-6-6(J)(3)(b) The subject site is zoned NR-C; therefore, this criterion does not apply.
- C. 14-16-6-6(J)(3)(c) The proposed major amendment would allow an approximately 97,000 SF Indoor Entertainment facility on Tract B-1-A of the controlling Site Plan. The proposed site plan would comply with all applicable provisions of the IDO, DPM and any other adopted City regulations.
- D. 14-16-6-6(J)(3)(d) The City's existing infrastructure has adequate capacity for the proposed development made possible by this request. The applicant has stated that the developer is responsible for mitigating any potential negative impacts to any existing infrastructure.

- E. 14-16-6-6(J)(3)(e) The applicant has demonstrated that the request would not negatively impact the surrounding area based on their responses to applicable Comp Plan Goals and Policies. The applicant has stated that the proposed development would comply with the IDO mitigating any significant adverse impacts on the surrounding area to the maximum extent practicable.
 - F. 14-16-6-6(J)(3)(f) The subject property is not within a Master Development Plan. It is within the boundaries of the beach Water Park Site Plan and is zoned NR-C. The request for Indoor Entertainment uses is permissible under this zone district pursuant to the IDO.
 - G. 14-16-6-6(J)(3)(g) The subject property is not within the Railroad and Spur Area and no cumulative impact analysis is required.
- 13. There are not any affected, registered neighborhood organizations for the subject site. Property owners within 100 feet of the subject site were notified, as required.
 - 14. A pre-submittal neighborhood meeting and a facilitated meeting were offered, but not held.
 - 15. Staff has crated conditions of approval to ensure applicable IDO regulations are met prior to DRB final sign-off.
 - 16. As of this writing, Staff is not aware of any support or opposition to the request.
 - 17. Once the EPC has approved the Major Amendment request, the applicant is required to submit to the DRB for final sign-off of the associated, proposed site plan. After December 25th, 2022 the applicant would instead go to the Development Hearing Officer (DHO).
 - 18. The associated site plan shows less parking than what is required pursuant to IDO Table 5-5-1 for the Other Indoor Entertainment use. Staff cannot overlook IDO requirements and, therefore, has conditioned that the parking requirement be met. However, in the future the applicant may request a Waiver-DRB pursuant to IDO 14-16-6-6(P) to allow the desired amount of parking or consider a shared parking agreement.

Conditions:

- 1. The EPC delegates final sign-off authority of this site plan to the Site Plan- DRB Process as per IDO Section 14-16-6-6(I). The reviewer will be responsible for ensuring that the EPC Conditions have been satisfied and that other applicable City requirements have been met.
- 2. The applicant shall coordinate with the Staff planner prior to submitting to the DRB for final sign-off.
- 3. Site Plan (Sheet SP-1):
 - A. Show location of Keyed Note 13.
 - B. Parking Calculations must be shown and pursuant to IDO Table 5-5-1 for Other Indoor Entertainment, which is listed as 1 space / 3 persons design capacity, or IDO Table 5-5-2,

whichever is greater. Table 5-5-2 does not have this use listed, so the former applies, unless the applicant obtains a waiver from the DRB or presents a shared parking agreement.

4. Landscape Plan (Sheet 2)
 - A. Provide dimensions for all plant beds, distances between trees, etc. Street frontage trees must be 25-feet apart pursuant to IDO 5-6(D)(1).
 - B. Show all curb cuts pursuant to IDO section 14-16-5-6(C)(13).
5. Lighting:
 - A. Show locations of light poles on the site plan.
 - B. Provide light pole detail indicating height, color, and finish.
6. Detail Sheet (Sheet Det-1):

Standard Curb General note 1: should state COA specs, not Wal-Mart specs in the body.
7. Elevation Sheets/Signage:
 - A. Max building height in NR-C is 38-feet. The top of parament exceeds this max by 9” and must be reduced to 38-feet.
 - B. Signage area calculations shall be provided
 - C. Building mounted signs shall not exceed 15% of façade area in which it is located in the NR-C zone district, pursuant to IDO Table 5-12-2.
 - D. Add sign details to elevations.
 - E. Sign permits shall be acquired for all monument signs as well as wall signs greater than 24 square feet, pursuant to IDO 5-12(D)(1).
8. Condition from Solid Waste Management Department:

A single enclosure will not suffice for a proposed 96,000 SF building. A sanitary drain will be required for the trash enclosure, along with a site plan approved by the Solid Waste Department.
9. Conditions from PNM:
 - A. Applicant will coordinate with PNM regarding any existing easements that have to be revisited and/or new easements that need to be created for any electric facilities as determined by PNM.
 - B. Any existing and/or new PNM easements and facilities need to be reflected on any resulting future Site Plan or Plat.

- C. Typical electric utility easement widths vary depending on the type of facility. On-site transformers should have a ten-foot clear area around them to allow for access and maintenance. Structures, especially those made of metal like storage buildings and canopies, should not be within or near PNM easements.
- D. Perimeter and interior landscape design should abide by any easement restrictions and not impact PNM facilities. Any trees within or near PNM easements including any required Street Trees should comply with IDO Section 5-6(C)(10) as applicable.

10. Condition from AMAFCA:

AMAFCA will need to review the grading and drainage plan and drainage report for this site. AMAFCA recommends that none of the existing drainage easements or covenants be vacated/released prior to approval of the grading and drainage plan and drainage report.

APPEAL: If you wish to appeal this decision, you must do so within 15 days of the EPC's decision or by **September 2, 2022**. The date of the EPC's decision is not included in the 15-day period for filing an appeal, and if the 15th day falls on a Saturday, Sunday or Holiday, the next working day is considered as the deadline for filing the appeal.

For more information regarding the appeal process, please refer to Section 14-16-6-4(V) of the Integrated Development Ordinance (IDO), Administration and Enforcement. A Non-Refundable filing fee will be calculated at the Land Development Coordination Counter and is required at the time the appeal is filed. It is not possible to appeal an EPC Recommendation to the City Council since this is not a final decision.

You will receive notification if any person files an appeal. If there is no appeal, you can receive Building Permits at any time after the appeal deadline quoted above, provided all conditions imposed at the time of approval have been met. Successful applicants are reminded that other regulations of the IDO must be complied with, even after approval of the referenced application(s).

Sincerely,

Catalina Lehner

for Alan M. Varela,
Planning Director

AV/CL/MJ

cc: Albuquerque Investors LLC Attn: Woodsonia Real Estate Inc, 20010 Manderson St Suite 101,
Elkhorn, NE 68022-1264
Tierra West, LLC, 5571 Midway Park Place NE, Albuquerque NM, 87109
Legal, dking@cabq.gov
EPC File

Woodsonia

Real Estate Inc

June 3, 2022

Ms. Jolene Wolfley, Chair

Development Review Board

City of Albuquerque

P.O. Box 1293

Albuquerque, NM 87103

**RE: ANDRETTI RACING – ENTERTAINMENT FACILITY
DESERT SURF CIR NE
UPC: 101606122811730119
PARCEL B-1-A CORRECTION PLAT OF PARCELS C-1-A
C-1-B AND B-1-A RENAISSANCE CENTER III
ZONE ATLAS PAGE: F-16-Z**

Dear Ms. Wolfley:

The purpose of this letter is to authorize Tierra West LLC to act as agent on behalf of Woodsonia Real Estate, Inc. C/O Drew Snyder pertaining to any and all submittals made to the City of Albuquerque for the above-referenced site.

Drew Snyder

Print Name

[Signature]

Signature

Property Owner

Title

6/3/2022

Date

FORM P: PRE-APPROVALS/SIGNATURES

Please refer to the DRB public meeting schedule for meeting dates and deadlines. Your attendance is required.

Legal Description & Location: Parcel B-1-A Correction Plat of Parcels C-1-A, C-1-Band B-1-A Renaissance Center III

Job Description: Andretti

Hydrology:

- Grading and Drainage Plan X Approved NA
- AMAFCA Approved X NA
- Bernalillo County Approved X NA
- NMDOT Approved X NA
- MRGCD Approved X NA

Tregina Cho
Hydrology Department

12/20/2022
Date

Transportation:

- Traffic Circulations Layout (TCL) X Approved NA
- Traffic Impact Study (TIS) X Approved NA
- Neighborhood Impact Analysis (NIA) Approved X NA
- Bernalillo County Approved X NA
- MRCOG Approved X NA
- NMDOT Approved X NA
- MRGCD Approved X NA

Ernest Armijo
Transportation Department

12/20/2022
Date

Albuquerque Bernalillo County Water Utility Authority (ABCWUA): #220616

- Water/Sewer Availability Statement/Serviceability Letter x Approved NA
- ABCWUA Development Agreement Approved x NA
- ABCWUA Service Connection Agreement Approved x NA

Sarah Luckie
ABCWUA

11/2/2022
Date

- Infrastructure Improvements Agreement (IIA*) Approved NA
- Solid Waste Department Signature on the plan Approved NA
- Fire Marshall Signature on the plan Approved NA

* Prior to Final Site Plan approval submittals (include a copy of the recorded IIA)

POST EPC MEMORANDUM

TO: Tierra West, LLC

DRB Chair, Jolene Wolfley

FROM: Megan Jones, Current Planner

DATE: 10-31-2022

RE: The Beach MA Andretti PR-2019-00284, Post EPC Conditions

The applicant, Tierra West, has worked with Staff to fulfill post EPC requirements to meet Conditions of Approval, 1-10, for SI-2022-01301.

The applicant provided a detailed letter (see attached), describing how each condition has been met in regards to the Site Plan, Landscaping Plan, Parking, Lighting and Landscaping. The Site Plan Includes a note stating that a Parking Study Reduction has been approved.

The applicant has stated that they will be:

- 1) Applying for a building height reduction at the time of DRB application.
- 2) Applying for Sign Permits at the time of construction in order to meet IDO 14-16-5-12(D)91) requirements.
- 3) Working with PNM on conditions at the time a service request is submitted.

Tierra West, LLC, Agent for Albuquerque Investors, LLC, has adequately satisfied Conditions for NOD dated August 18, 2022 (PR# 2019-002284, SI-2022-01301) Site Plan EPC, Major Amendment.

Megan Jones

Megan Jones, Current Planner



TIERRA WEST, LLC

October 27, 2022

Mr. Alan M. Varela
Planning Department
Urban Design & Development Division
600 2nd Street NW, 3rd Floor
Albuquerque, NM. 87102

**RE: 2022011 ANDRETTI RACING
EPC CONDITIONS RESPONSE LETTER**

Dear Mr. Varela:

Per the correspondence dated August 18, 2022, please find the following response addressing the comments listed below:

Conditions:

1. The EPC delegates final sign-off authority of this site plan to the Site Plan – DRB Process as per IDO Section 14-16-6-6(l). The reviewer will be responsible for ensuring that the EPC Conditions have been satisfied and that other applicable City requirements have been met.

Plans to be submitted to DRB once Planner concurs all conditions are addressed. We believe we have met all of the conditions.

2. The applicant shall coordinate with the Staff planner prior to submitting to the DBR for final sign-off.

That is the purpose of this letter and attached plans and believe we have met all of the conditions

3. Site Plan (Sheet SP-1):

A. Show location of Keyed Note 13. **Keyed Note 13 can be found near the front doors of the facility.**

B. Parking Calculations must be shown and pursuant to IDO Table 5-5-1 for Other Indoor Entertainment, which is listed as 1 space / 3 persons design capacity, or IDO Table 5-5-2, whichever is greater. Table 5-5-2 does not have this use listed, so the former applies, unless the applicant obtains a waiver from the DRB or presents a shared parking agreement.

We presented a minimum parking requirement study that was approved by the Planning Director and is attached.

5571 Midway Park Pl. NE
Albuquerque, NM 87109
(505) 858-3100 fax (505) 858-1118 1-800-245-3102
tierrawestllc.com

4. Landscape Plan (Sheet 2)
 - A. Provide dimensions for all plant beds, distances between trees, etc. Street frontage trees must be 25-feet apart pursuant to IDO 5-6(D)(1). **This information was added to the Plan.**
 - B. Show all curb cuts pursuant to IDO section 14-16-5-6(C)(13). **Providing a call out for all island curb cuts were clutter the plans. Instead, we have added a typical detail found on Sheet DET-3.**
5. Lighting:
 - A. Show locations of light poles on the site plan. **The locations of the site lighting are shown by a symbol, which is listed in the Legend.**
 - B. Provide light pole detail indicating height, color, and finish. **The light pole information can be found on Sheet DET-2**
6. Detail Sheet (Sheet Det-1):

Standard Curb General note 1: should state COA specs, not Wal-Mart specs in the body.

This note was deleted from the detail.
7. Elevation Sheets/Signage:
 - A. Max building height in NR-C is 38-feet. The top of parament exceeds this max by 9" and must be reduced to 38-feet. **We have confirmation from the DRB Chair that we may request a deviation for the proposed height per the IDO. We will be pursuing a deviation for this minor exceedance.**
 - B. Signage are calculations shall be provided. **The signage calculations are shown on the attached signage package.**
 - C. Building mounted signs shall not exceed 15% of facade area in which it is located in the NR-C zone district, pursuant to IDO Table 5-12-2. **All of the signage on each building façade meets this requirement.**
 - D. Add sign details to elevations. **A sign package is added to the set showing all of the signage details and area.**
 - E. Sign permits shall be acquired for all monument signs as well as wall signs greater than 24 square feet, pursuant to IDO 5-12(D)(1). **This is understood and the contractor will apply for the permit when under construction**
8. Condition from Solid Waste Management Department:

A single enclosure will not suffice for a proposed 96,000 SF building. A sanitary drain will be required for the trash enclosure, along with a site plan approved by the Solid Waste Department.

The trash enclosure was coordinated with Solid Waste and the plan with their signature is enclosed.

9. Conditions from PNM:

- A. Applicant will coordinate with PNM regarding any existing easements that have to be revisited and/or new easements that need to be created for any electric facilities as determined by PNM. **This is understood and will be completed at the time a service request is entered into the PNM web site.**
- B. Any existing and/or new PNM easements and facilities need to be reflected on any resulting future Site Plan or Plat. **This is understood.**
- C. Typical electric utility easement widths vary depending on the type of facility. On-site transformers should have a ten-foot clear area around them to allow for access and maintenance. Structures, especially those made of metal like storage buildings and canopies, should not be within or near PNM easements. **This is understood and will be coordinated with PNM.**
- D. Perimeter and interior landscape design should abide by any easement restrictions and not impact PNM facilities. Any trees within or near PNM easements including any required Street Trees should comply with IDO Section 5-6(C)(10) as applicable. **This is understood.**

10. Condition from AMAFCA:

AMAFCA will need to review the grading and drainage plan and drainage report for this site. AMAFCA recommends that none of the existing drainage easements or covenants be vacated/released prior to approval of the grading and drainage plan and drainage report.

A Conceptual Grading and Drainage Plan was approved by the City and that was sent to AMAFCA for review and comment. Any comments will be address when the plans are submitted for Building Permit.

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,



Ronald R. Bohannon, P.E

JN: 2022011
RRB/jn/ca