



Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

SUBDIVISIONS	<input type="checkbox"/> Final Sign off of EPC Site Plan(s) (Form P2)	
<input type="checkbox"/> Major – Preliminary Plat (Form P1)	<input type="checkbox"/> Amendment to Site Plan (Form P2)	<input type="checkbox"/> Vacation of Public Right-of-way (Form V)
<input type="checkbox"/> Minor – Preliminary/Final Plat (Form S2)	MISCELLANEOUS APPLICATIONS	<input checked="" type="checkbox"/> Vacation of Public Easement(s) DRB (Form V)
<input type="checkbox"/> Major - Final Plat (Form S1)	<input type="checkbox"/> Extension of Infrastructure List or IIA (Form S1)	<input type="checkbox"/> Vacation of Private Easement(s) (Form V)
<input type="checkbox"/> Amendment to Preliminary Plat (Form S2)	<input type="checkbox"/> Minor Amendment to Infrastructure List (Form S2)	PRE-APPLICATIONS
<input type="checkbox"/> Extension of Preliminary Plat (Form S1)	<input type="checkbox"/> Temporary Deferral of SW (Form V2)	<input type="checkbox"/> Sketch Plat Review and Comment (Form S2)
	<input type="checkbox"/> Sidewalk Waiver (Form V2)	
SITE PLANS	<input type="checkbox"/> Waiver to IDO (Form V2)	APPEAL
<input type="checkbox"/> DRB Site Plan (Form P2)	<input type="checkbox"/> Waiver to DPM (Form V2)	<input type="checkbox"/> Decision of DRB (Form A)
BRIEF DESCRIPTION OF REQUEST		
Vacation of Public Easement		

APPLICATION INFORMATION		
Applicant: Maverik, Inc		Phone: 801-335-3851
Address: 185S State St, Suite 800		Email: troy.jorgensen@maverik.com
City: Salt Lake	State: UT	Zip: 84111
Professional/Agent (if any): Tierra West, LLC		Phone: 505-858-3100
Address: 5571 Midway Park PINE		Email: rrb@tierrawestllc.com
City: Albuquerque	State: NM	Zip: 87109
Proprietary Interest in Site: Owner	List all owners:	
SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)		
Lot or Tract No.: TR of LD in SEC 9	Block:	Unit:
Subdivision/Addition: Menaul & I-25	MRGCD Map No.:	UPC Code: 101505942129310108
Zone Atlas Page(s): H-15-Z	Existing Zoning: NR-LM	Proposed Zoning NR-LM
# of Existing Lots: 1	# of Proposed Lots: 1	Total Area of Site (Acres):
LOCATION OF PROPERTY BY STREETS		
Site Address/Street: 1901 Menaul Blvd	Between: Menaul Blvd	and: Univeristy
CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)		
1011491		

Signature:	Date: 8/15/19
Printed Name: Vinny Perea	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

FOR OFFICIAL USE ONLY					
Case Numbers	Action	Fees	Case Numbers	Action	Fees
Meeting Date:				Fee Total:	
Staff Signature:	Date:			Project #	

FORM V: Vacations of Easements or Right-of-way- DRB

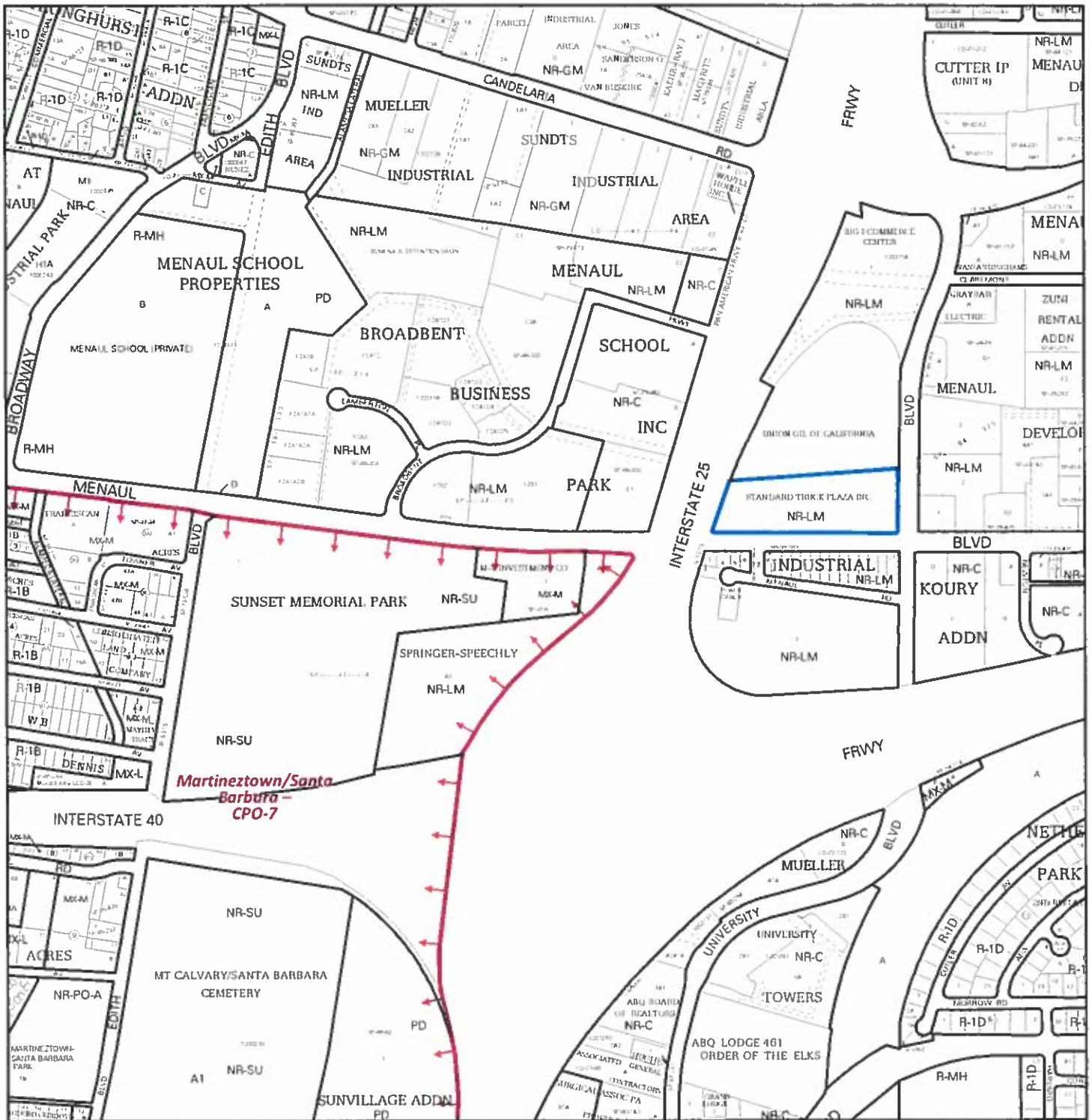
Please refer to the DRB meeting schedules for dates and deadlines. Your attendance is required.

>> INFORMATION REQUIRED FOR ALL VACATION APPLICATIONS

- N/A Interpreter Needed for Meeting? _____ if yes, indicate language: _____
- A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD. PDF shall be organized with the Development Review Application and this Form V at the front followed by the remaining documents in the order provided on this form.
- Zone Atlas map with the entire site clearly outlined and labeled
- Letter of authorization from the property owner if application is submitted by an agent
- VACATION OF PRIVATE EASEMENT
- VACATION OF PUBLIC EASEMENT
- VACATION OF RIGHT-OF-WAY – DRB
- VACATION OF RIGHT-OF-WAY – COUNCIL
- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-6(K)(3)
- Copy of the complete document which created the easement(s) (7 copies, folded)
Not required for City owned public right-of-way.
- Drawing showing the easement or right-of-way to be vacated (7 copies, not to exceed 8.5" by 11")
- If easements, list number to be vacated _____
- N/A If right-of-way, square footage to be vacated (see IDO Section 14-16-6-6(K) _____)
- Proof of Neighborhood Meeting per IDO Section 14-16-6-4(C)
 - Office of Neighborhood Coordination neighborhood meeting inquiry response
 - Proof of email with read receipt OR Certified Letter offering meeting to applicable associations
 - ___ If a meeting was requested/held, copy of sign-in sheet and meeting notes
- Required notices with content per IDO Section 14-16-6-4(K)(6)
 - Office of Neighborhood Coordination notice inquiry response, notifying letter, and proof of first class mailing
 - Proof of emailed notice to affected Neighborhood Association representatives
 - Buffer map and list of property owners within 100 feet (excluding public rights-of-way), notifying letter, and proof of first class mailing
- Sign Posting Agreement (not required for easements if IDO Section 14-16-6-6(K)(2)(a) is satisfied)

The vacation must be shown on a DRB approved plat recorded by the County Clerk within one year, or it will expire.

<p><i>I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting, if required, or otherwise processed until it is complete.</i></p>	
<p>Signature: </p>	<p>Date: <u>8/15/19</u></p>
<p>Printed Name: <u>Vincent Perea</u></p>	<p><input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent</p>
<p>FOR OFFICIAL USE ONLY</p>	
<p>Case Numbers: _____</p>	<p>Project Number: _____</p>
<p>Staff Signature: _____</p>	
<p>Date: _____</p>	



For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018



IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones are established by the Integrated Development Ordinance (IDO).



Zone Atlas Page:
H-15-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone





TIERRA WEST, LLC

August 14, 2019

Ms. Kym Dicome
Development Review Board
P.O. Box 1293
Albuquerque, NM 87103

**RE: MAVERIK- 1901 MENAUL BLVD NE
ALBUQUERQUE, NM 87110
MAJOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL
VACATION OF PUBLIC EASEMENT
ZONE ATLAS PAGE H-15-Z**

Dear Ms. Dicome:

Tierra West LLC, on behalf of Maverik Inc., is submitting a Major Subdivision Preliminary/Final Plat and request for Vacation of Public Easement for approval for the subject property. We are requesting a lot line adjustment between two properties of the existing tract of land. The subject property is located on the northwest corner of Menaul Blvd. and University Blvd. NE. The site's address is 1901 Menaul Blvd. NE Albuquerque, NM 87107. The property's legal description is "Tract of Land in Sec 9 T10N R3E in the S/2 SW/4 SE/4 NE/4 excluding the SE'ly Portion out to R/W at the NW corner of Menaul & University & excluding a W'ly portion out to R/W at Menaul & I-25". The total property consists of 7.14 acres of land. The platting and vacation actions are part of the development process for a 5,500 square-foot Maverik convenience store and fuel pump station that is to be located in the southeastern quadrant of the subject property.

Preliminary/Final Plat

The 2.5-acre Maverik site will be located in the southeast quadrant of the subject property, which is 7.13 acres total. Since the Maverik site will not be taking up the entire property, the current landowner will be leasing the 2.5-acre portion to Maverik, Inc. which will require subdividing the lots appropriately. There are currently two separate lots of the property that will require a lot line adjustment in order to do move forward with the development. The replatting action is currently following the Integrated Development Ordinance requirements in order to create a 2.5-acre tract for the Maverik site and a 4.64-acre tract for the remaining balance for future development, which is yet to be determined.

Vacation of Public Easement

The development of the Maverik store and future development on the property will require a vacation of a public drainage easement. The drainage easement varies in width along the north property line of the subject site; however there is currently no public drainage infrastructure within this easement. Correspondence with the City Hydrology Department has determined that this easement was part of an old drainage channel that has since been placed in a storm drain pipe underground and in the travel center property directly north of the Maverik site. Vacating this drainage easement will have no affect towards any adjoining properties, adjoining public right-of-way, or any of the existing public drainage facilities in the area.

5571 Midway Park Pl. NE
(505) 858-3100
Albuquerque, NM 87109
fax (505) 858-1118
tierravestllc.com
1-800-245-3102

If you have any questions or need additional information please contact me.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Vinny Perea', with a long horizontal flourish extending to the right.

Vinny Perea, P.E.

cc: Elizabeth Sorenson, Maverik, Inc.
Christie Hutchings, Maverik, Inc.

JN: 2018062
RRB/vp/jg

July 18, 2019

Ms. Kym Dicome, Chair
Development Review Board
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

**RE: DEVELOPMENT REVIEW BOARD SUBMITTALS
1901 MENAUL BLVD NE, ALBUQUERQUE, NM 87107**

Dear Ms. Dicome:

The purpose of this letter is to authorize Tierra West, LLC to act as agent on behalf of Maverik, INC pertaining to any and all submittals made to the City of Albuquerque Development Review Board for the above-referenced site.

Brend McJungal
Print Name

Brend McJungal
Signature

Director of Real Estate
Title

7-19-19
Date

August 1, 2019

Ms. Kym Dicome, Chair
Development Review Board
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

**RE: DEVELOPMENT REVIEW BOARD SUBMITTALS
1901 MENAUL BLVD NE, ALBUQUERQUE, NM 87107**

Dear Ms. Dicome:

The purpose of this letter is to authorize Maverik, INC. to act as agent on behalf of Paloni John & Sunwest Bank TR Paloni RVT pertaining to any and all submittals made to the City of Albuquerque Development Review Board for the above-referenced site.

SHERYL PALONI

Print Name

Sheryl Paloni

Signature

Manager

Title

8-2-19

Date

A-8725

76 23862

SPECIAL WARRANTY DEED

424

BANK OF NEW MEXICO, ALBUQUERQUE, NEW MEXICO, Trustee, pursuant to a Trust Agreement executed on the 16th day of August, 1973, by R.P. TINNIN and FRANCES FERREE TINNIN, TRUSTEES.

to STANDARD TRUCK PLAZA, INC. of 1915 Menaul Boulevard, NE, Albuquerque, New Mexico the following described real estate in Bernalillo County, New Mexico:

an undivided one-quarter (1/4) interest in:

A certain tract of land situate within the exterior boundaries of the Town of Albuquerque Grant, Bernalillo County, New Mexico, in Section 9, Township 10 North, Range 3 East, N.M.P.M., and the City Limits of the City of Albuquerque, New Mexico, and being identified as a 6.5774 acre tract lying in the Northeast intersection of IR-25 (I-025-4(1)218) and Menaul Blvd., NE.

Being more particularly described by metes and bounds survey, as follows:

Beginning at the Southeast corner of the tract herein described, said Southeast corner being the point of intersection common to the Northerly right-of-way line of Menaul Blvd., NE and the Westerly right-of-way line of the East Frontage Road (University Blvd., NE) as shown on New Mexico State Highway Commission right-of-way map (N.M.P. I-025-4(1)218), whence the point of intersection common to the Northerly right-of-way line of Menaul Blvd., NE and the East Boundary line of the Town of Albuquerque Grant bears South 89 deg. 55' 30" East 21.80 feet distance; Thence,

North 89 deg. 55' 30" West 975.09 feet distance along said Northerly right-of-way line of Menaul Blvd., NE to the Southwest corner of the tract herein described, said Southwest corner being a point on the Easterly right-of-way line of IR-25 (N.M.P. I-025-4(1)218); Thence,

North 16 deg. 55' 30" East 104.92 feet distance along said Easterly right-of-way line of IR-25 (N.M.P. I-025-4(1)218) to a Point of Curvature; Thence,

Northeasterly 158.90 feet distance continuing along said Easterly right-of-way line of IR-25 (I-025-4(1)218) along the arc of a curve bearing to the right (said arc having a radius of 2,765.00 feet and a chord which bears North 18 deg. 34' 20" East 158.90 feet distance) to the Northwest corner of the tract herein described, said Northwest corner being a point on Curve; Thence,

North 82 deg. 50' 00" East 904.95 feet distance to the Northeast corner of the tract herein described, said Northeast corner being a point on the Westerly right-of-way line of the East Frontage Road (University Blvd., NE) as shown on New Mexico State Highway Commission right-of-way map (N.M.P. I-025-4(1)218); Thence,

South 00 deg. 38' 30" West 365.23 feet distance along said Westerly right-of-way line of the East Frontage Road (University Blvd., NE) as shown on New Mexico State Highway Commission right-of-way map (N.M.P. I-025-4(1)218) to the Southeast corner of the tract herein described and place of beginning, and containing 6.5774 acres, more or less.

125

NOTE:

There is included in the foregoing description, a triangular shaped drainage easement which is

an undivided one-quarter (1/4) interest in:

A certain tract of land situate within the exterior boundaries of the Town of Albuquerque Grant, Bernalillo County, New Mexico, in Section 9, Township 10 North, Range 3 East, N.M.P.M., and the City Limits of the City of Albuquerque, New Mexico, and being identified as a 6.5774 acre tract lying in the Northeast intersection of IR-25 (I-025-4(1)218) and Manual Blvd., NE.

Being more particularly described by notes and bounds survey, as follows:

Beginning at the Southeast corner of the tract herein described, said Southeast corner being the point of intersection common to the Northerly right-of-way line of Manual Blvd., NE and the Westerly right-of-way line of the East Frontage Road (University Blvd., NE) as shown on New Mexico State Highway Commission right-of-way map (N.M.P. I-025-4(1)218), thence the point of intersection common to the Northerly right-of-way line of Manual Blvd., NE and the East Boundary Line of the Town of Albuquerque Grant bears South 89 deg. 35' 30" East 21.80 feet distance; Thence,

North 89 deg. 35' 30" West 975.09 feet distance along said Northerly right-of-way line of Manual Blvd., NE to the Southwest corner of the tract herein described, said Southwest corner being a point on the Easterly right-of-way line of IR-25 (N.M.P. I-025-4(1)218); Thence,

North 16 deg. 53' 30" East 104.92 feet distance along said Easterly right-of-way line of IR-25 (N.M.P. I-025-4(1)218) to a Point of Curvature; Thence,

Northeasterly 158.90 feet distance continuing along said Easterly right-of-way line of IR-25 (I-025-4(1)218) along the arc of a curve bearing to the right (said arc having a radius of 2,765.00 feet and a chord which bears North 18 deg. 34' 20" East 158.90 feet distance) to the Northeast corner of the tract herein described, said Northeast corner being a point on Curv; Thence,

North 82 deg. 50' 00" East 904.95 feet distance to the Northeast corner of the tract herein described, said Northeast corner being a point on the Westerly right-of-way line of the East Frontage Road (University Blvd., NE) as shown on New Mexico State Highway Commission right-of-way map (N.M.P. I-025-4(1)218); Thence,

South 00 deg. 38' 30" West 363.23 feet distance along said Westerly right-of-way line of the East Frontage Road (University Blvd., NE) as shown on New Mexico State Highway Commission right-of-way map (N.M.P. I-025-4(1)218) to the Southwest corner of the tract herein described and place of beginning, and containing 6.5774 acres, more or less.

NOTE:

There is included in the foregoing description, a triangular shaped drainage easement which is more particularly described by notes and bounds survey, as follows:

Beginning at the Northeast corner of the tract herein described, said Northeast corner being the Northeast corner of the foregoing description and a point on the Westerly right-of-way line of the East Frontage Road (University Blvd., NE) as shown on New Mexico State Highway Commission right-of-way map (N.M.P. I-025-4(1)218); Thence,

South 00 deg. 30' 30" West 109.06 feet distance along said Westerly right-of-way line of the East Frontage Road (University Blvd., NE) as shown on New Mexico State Highway Commission right-of-way map (N.M.P. I-025-4(1)218) to the Southwest corner of the easement herein described; Thence,

South 88 deg. 00' 30" West 901.01 feet distance to the Southeast corner of the easement herein described, said Southeast corner being a point on the Easterly right-of-way line of IR-25 (I-025-4(1)218); Thence,

Northeasterly 12.49 feet distance along said Easterly right-of-way line of IR-25 (I-025-4(1)218) along the arc of a curve bearing to the right (said arc having a radius of 2,765.00 feet and a chord which bears North 18 deg. 34' 20" East 12.49 feet distance) to the Northeast corner of the easement herein described; Thence,

North 82 deg. 50' 00" West 904.95 feet distance to the Northeast corner of the tract herein described, and place of beginning, and containing 1.2128 acres, more or less, as shown on the foregoing description.

State of New Mexico }
County of Bernalillo } SS

This instrument was filed for record on

3-17 MAY 4 1976
At 3:47 o'clock p.m. Recorded in Vol. _____
of records of said County Folio _____
Clerk & Recorder
Deputy Clerk

[HOME](#)

Search Information

 [Home](#)

Entity Details

Business ID#: 713289

Status: Voluntary Dissolution

Entity Name: STANDARD TRUCK
PLAZA, INC.

Standing: N/A

DBA Name: Not Applicable

Entity Type and State of Domicile

Entity Type: Domestic Profit
Corporation

Domestic State: New Mexico

Statute Law Code: 53-11-1 to 53-18-12

Formation Dates



Reporting Information



Period of Existence and Purpose and Character of Affairs



Outstanding Items

Pending Reports:

No Pending Reports.

Contact Information

Mailing Address:

Principal Place of Business in
New Mexico:

Secondary Principal Place of
Business in New Mexico:

Principal Office Outside of New
Mexico: Not Applicable

Registered Office in State of
Incorporation:

Principal Place of Business in Domestic State/ Country: **Not Applicable**

Principal Office Location In NM: **Not Applicable**

Registered Agent Information

Name:

Geographical Location
Address:

Physical Address:

Date of Appointment:

Mailing Address:

Effective Date of
Resignation:

Director Information

Title	Name	Address
Director	JOHN S PALONI	NONE
Director	SHERYL PALONI	NONE

Officer Information

Title	Name	Address
No records to view.		

Organizer Information

Not Applicable

Incorporator Information

No Records to View.

Trustee Information

Not Applicable

Filing History



License History



[Back](#)

[Entity Name History](#)

[Return to Search](#)

UNION 76 TRUCK DEPOT

(RETAINING WALL) DOES NOT ENCRANCH TO UNION 76 TRUCK DEPOT PROPERTY
ENCROACHMENT BELONGING TO UNION 76 TRUCK DEPOT PROPERTY

TRAILER

TRAILERS

NOTE: MOVEABLE TRAILERS ENCRACH INTO ADJACENT PROPERTY AND 10' CITY EASEMENT.

DRAINAGE EASEMENT (22.36 ACRES)

ASPHALT PAVING

BUTANE TANK ON CONC PAD

ULT. PAVED PARKING AREA

(CONCRETE) TOTAL DRAINAGE EASEMENT EXCEPTING (22.36)



BUILDING



N/E

205'

ASPHALT PAVING

UNION 76 TRUCK DEPOT

(DOES NOT ENDOSE TRUCK DEPOT PROPERTY)
IT BELONGS TO UNION 76 TRUCK DEPOT PROPERTY

N 30° 00' E 314.35'

SANITARY SEWER
DRAINAGE

3.0' ENCROACHMENT

47.0'

TRAILER

TRAILERS ENCRACH ONTO
AND 10' UTILITY EASEMENT.

TRAILER

NOTE: MEASURABLE TRAILERS ENCRACH ONTO
ADJACENT PROPERTY AND 10' UTILITY EASEMENT.

DRAINAGE EASEMENT
(242436 ACRES)

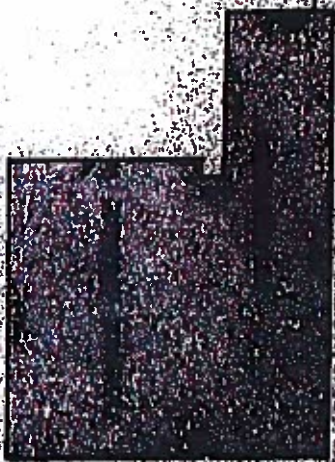
ASPHALT PAVING

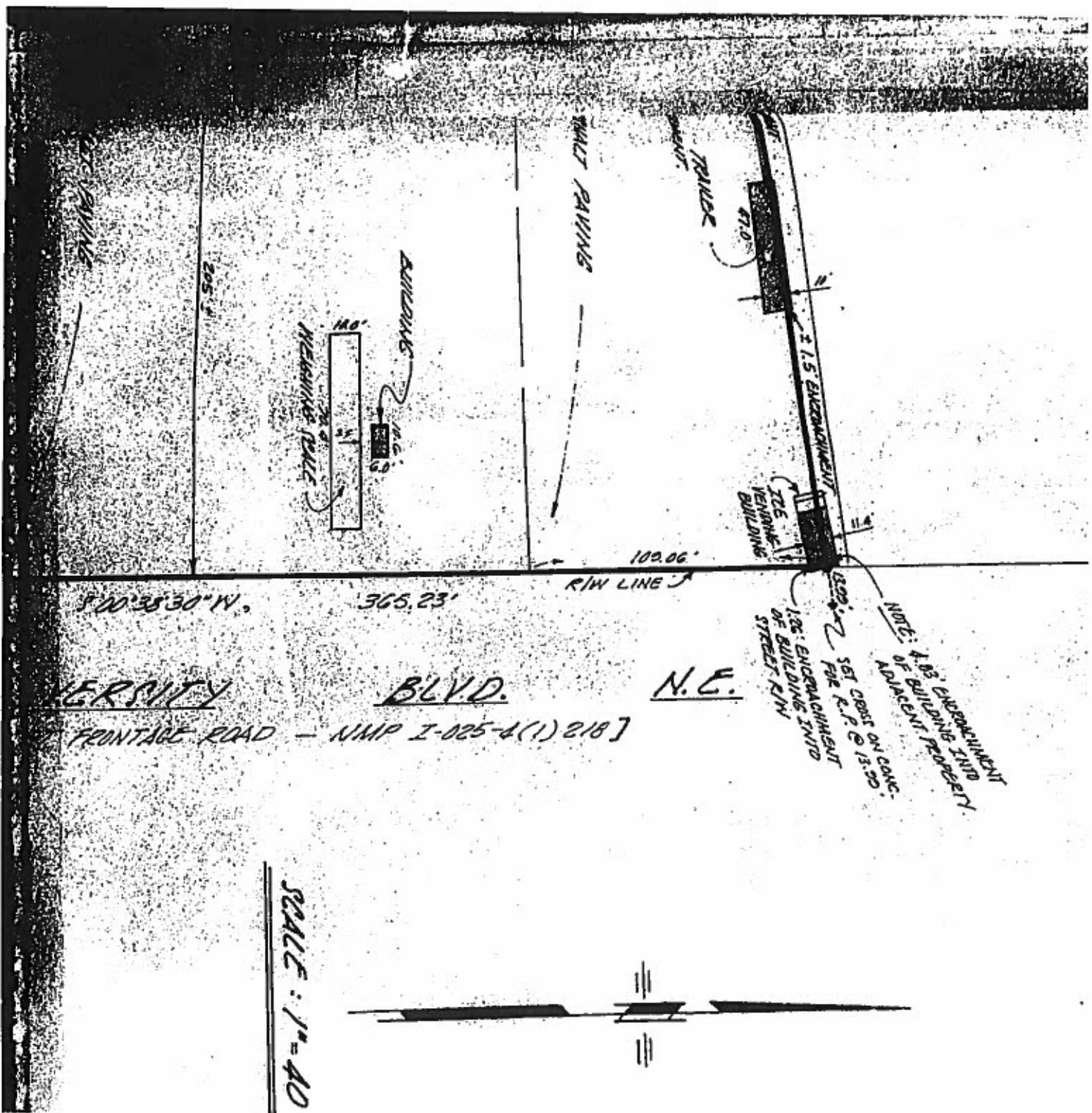
BUTANE TANK ON ONE PAD

PAVED PARKING AREA

205.1'

CONCRETE PAVING





8°10'35"30"W

365.23'

100.06' R/W LINE

UNIVERSITY

BLVD.

N.E.

FRONTAGE ROAD - NIMP I-025-4(1) 218]

NOTE: 4.5' EMBANKMENT
 OF BUILDING INTO
 ADVANCEMENT OF CONC.
 FOR R.P. @ 13.50
 1.00' EMBANKMENT
 OF BUILDING INTO
 STEEL R/W

SCALE: 1" = 40'



AMERICAN
TRUCK
TRUCK
STREET

CAR RAMP CANOPY

DESCRIPTION
OF BEGINNING

REMANU BLVD. N.E.

IMPROV

6.5

NORTH

N.E.

AND CONVEY WALLS (EITHER
S SUBJECT TO CORRECTION, BUT
X OVERLAPS OF ADJACENT LANDS.

HAVE SURVEYED AND LOCATED THE

COUNTY, BERNALILLO COUNTY,
CITY OF ALBUQUERQUE,
IR-25 [I-025-4 (1) 218]

BE THE POINT OF INTERSECTION
OF THE EAST FRONTAGE ROAD
I-025-4(1)218], WHENCE,
EAST BOUNDARY LINE OF THE

1. BE TO THE SOUTHWEST
-OF-MAT LINE OF IR-25

I-025-4(1)218] TO A POINT

25 IN. N.P. I-025-4(1)218] ALONG THE
HEADS $\approx 78^{\circ}34'20''$ E
BEING BEING A POINT ON CURVE;

3. SAID INTERSECTION CORNER
ST. CORNER ON NEW MEXICO

BEING CORNER (CONVEY) TO
TO THE SOUTHWEST CORNER

ASPHALT PAVING

AMERICAN
TRUCK STOP (50' x 100')
TRUCKS ONLY

SET 1/2" REBAR

DESCRIPTION POINT
OF BEGINNING

D. T. MORRISON, M. E., REGISTERED LAND
SURVEYOR NO. 1010 DO HEREBY CERTIFY THAT THE PLAT
SHOWN HEREON WAS PREPARED BY ME OR UNDER MY SUPER-
VISION AND DIRECTED TO BE CORRECTLY MADE AND
CORRECTLY EDICED BY ME OR BY ME AND MY SURVEYOR



D. T. MORRISON, M. E., U. S. NO. 1010

IMPROVEMENT SURVEY MAP

OF A

6.5774 ACRE TRACT

SITUATE AT THE
NORTHWEST INTERSECTION OF
MENAUL BLVD. N. C.

CORNER OF THE TRACT HEREIN DESCRIBED, SAID WESTERLY RIGHT-OF-WAY LINE OF IR-25 [N.M.P. I-025-4(1)218]; THENCE

N 16°55'30" E, 104.92 FEET DISTANCE ALONG SAID EASTERLY RIGHT-OF-WAY LINE OF IR-25 [N.M.P. I-025-4(1)218]; THENCE.

NORTHEASTERLY 158.90 FEET DISTANCE CONTINUING ALONG SAID EASTERLY RIGHT-OF-WAY LINE OF IR-25 [N.M.P. I-025-4(1)218]; BEARING TO THE RIGHT (SAID ARC HAVING A RADIUS OF 2,765.00 FEET AND CHORD WHICH BEARS 158.90 FEET DISTANCE) TO THE NORTHWEST CORNER OF THE TRACT HEREIN DESCRIBED, SAID NORTHWEST CORNER THENCE.

N 82°50'00" E, 904.95 FEET DISTANCE TO THE NORTHEAST CORNER OF THE TRACT HEREIN DESCRIBED, BEING A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF THE EAST FRONTAGE ROAD (UNIVERSITY BLVD. NE) AS STATE HIGHWAY COMMISSION RIGHT-OF-WAY MAP [N.M.P. I-025-4(1)218]; THENCE.

S 00°38'30" W, 365.23 FEET DISTANCE ALONG SAID WESTERLY RIGHT-OF-WAY LINE OF THE EAST FRONTAGE ROAD (UNIVERSITY BLVD. NE) AS SHOWN ON NEW MEXICO STATE HIGHWAY COMMISSION RIGHT-OF-WAY MAP [N.M.P. I-025-4(1)218]; THENCE.

NOTE - THERE IS INCLUDED IN THE AFORESAID DESCRIPTION, A TRIANGULAR SHAPED DRAINAGE EASEMENT DESCRIBED BY METES AND BOUNDS SURVEY AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF THE EASEMENT HEREIN DESCRIBED, SAID NORTHEAST CORNER BEING THE AFORESAID DESCRIPTION AND A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF THE EAST FRONTAGE ROAD, AS SHOWN ON NEW MEXICO STATE HIGHWAY COMMISSION RIGHT-OF-WAY MAP [N.M.P. I-025-4(1)218]; THENCE.

S 00°38'30" W 109.06 FEET DISTANCE ALONG SAID WESTERLY RIGHT-OF-WAY LINE OF THE EAST FRONTAGE ROAD AS SHOWN ON NEW MEXICO STATE HIGHWAY COMMISSION RIGHT-OF-WAY MAP [N.M.P. I-025-4(1)218] TO THE SOUTH HEREIN DESCRIBED; THENCE.

S 89°00'30" W, 901.04 FEET DISTANCE TO THE SOUTHWEST CORNER OF THE EASEMENT HEREIN DESCRIBED, BEING A POINT ON CURVE ON THE EASTERLY RIGHT-OF-WAY LINE OF IR-25 [N.M.P. I-025-4(1)218]; THENCE.

NORTHEASTERLY, 12.49 FEET DISTANCE ALONG SAID EASTERLY RIGHT-OF-WAY LINE OF IR-25 [N.M.P. I-025-4(1)218]; BEARING TO THE RIGHT (SAID ARC HAVING A RADIUS OF 2,765.00 FEET AND A CHORD WHICH BEARS N 18° DISTANCE) TO THE NORTHWEST CORNER OF THE EASEMENT HEREIN DESCRIBED; THENCE.

N 82°50'00" E, 904.95 FEET DISTANCE TO THE NORTHEAST CORNER OF THE EASEMENT HEREIN DESCRIBED, CONTAINING 1.2436 ACRES, MORE OR LESS, AND LEAVING THEREFORE A NET ACREAGE OF 5.3338 ACRES IN THE ACREAGE.

AND I FURTHER CERTIFY THAT THE LOCATION OF THE IMPROVEMENTS ON SAID REAL ESTATE ARE AS SHOWN ON THE LOCATION OF THE UTILITY EASEMENTS ARE ALSO AS SHOWN ON THE DRAWING HEREON, AND THAT THERE ARE NO UNRECORDED REAL ESTATE, AND THAT THE SAME IS TRUE AND CORRECT TO THE BEST OF MY BELIEF AND KNOWLEDGE.

IN WITNESS WHEREOF, THIS CERTIFICATE IS EXECUTED AT ALBUQUERQUE, NEW MEXICO, ON THIS 26TH DAY OF



D.T. MORRISON

UNIVERSITY
N.W. 1/4

BLVD., NE TO THE SOUTHWEST
CORNER OF UNIVERSITY BLVD. AND 23RD ST.

N.P. 1-025-4(1)2181 TO A POINT

OF 23RD ST. N.P. 1-025-4(1)2181 ALONG THE
BLVD. BEARS N 78° 54' 20" E
ST. CORNER BEING A POINT ON CURVE.

CRIBED, SAID NORTHEAST CORNER
(N.E.) AS SHOWN ON JEN WELCO

ST. FRONTAGE ROAD (UNIVERSITY
1)218] TO THE SOUTHEAST CORNER
LESS

EASEMENT WHICH IS MORE PARTICULARLY

UNDER BEING THE NORTHEAST CORNER OF
FRONTAGE ROAD (UNIVERSITY BLVD., NE)
HENCE.

FRONTAGE ROAD (UNIVERSITY BLVD., NE)
THE SOUTHEAST CORNER OF THE EASEMENT

DESCRIBED, SAID SOUTHWEST CORNER
HENCE,

N.P. 1-025-4(1)218] ALONG THE ARC OF A
CIRCLE N 18° 42' 06" E, 12.48 FEET

DESCRIBED AND PLACE OF BEGINNING AND
IN THE AFORESAID DESCRIPTION.

AS SHOWN ON THE DRAWING HEREON, AND THAT
THEY ARE ENCROACHMENTS ON THE ABOVE DES-
CRIBED

20TH DAY OF APRIL, 1976.

[Signature]
WATSON, N.P.L.S. NO. 1010

OF A
6.5774 ACRE TRACT

SITUATE AT THE

NORTHWEST INTERSECTION OF

MENNAUL BLVD. N.E.

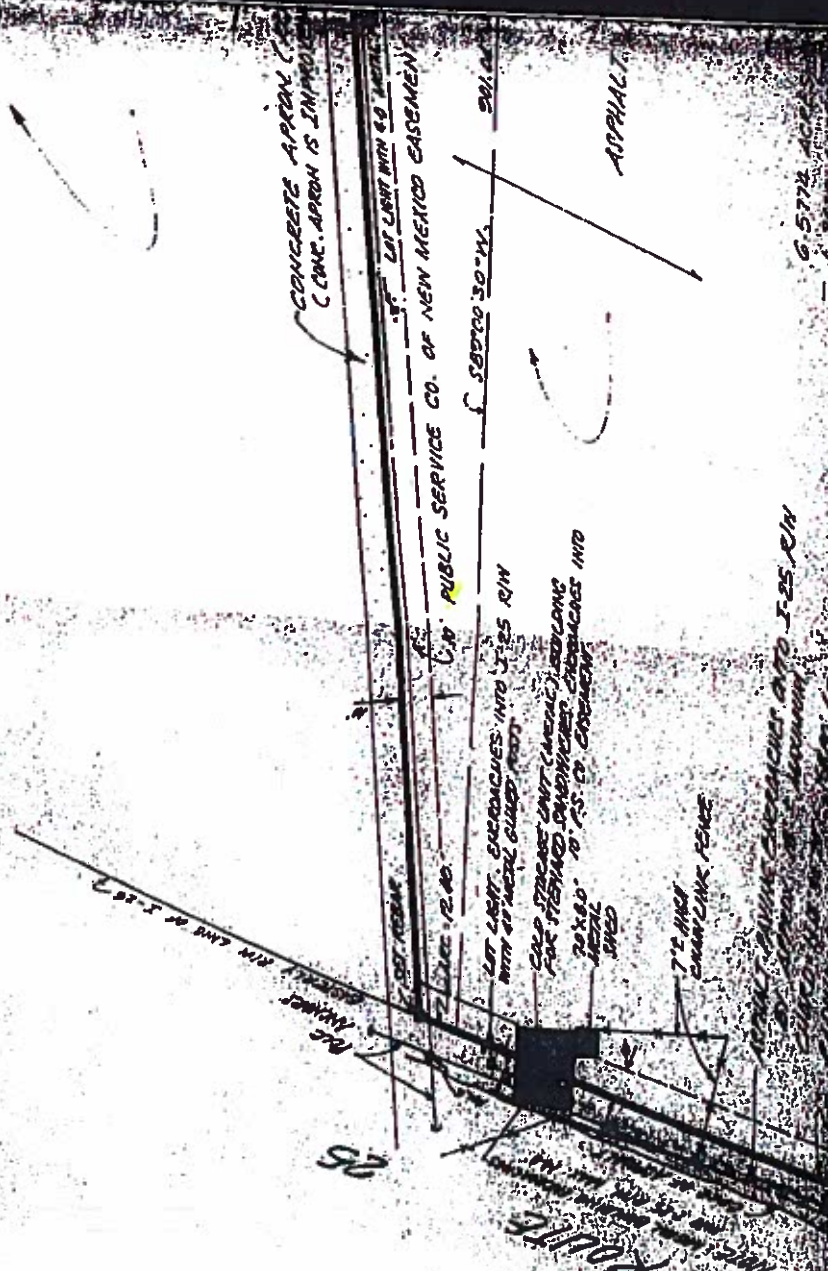
AND

UNIVERSITY BLVD. N.E.

ADJACENT TO WASHINGTON

APRIL, 1976

NOTE: RECORDED OR UNRECORDED EASEMENTS
OTHER THAN SHOWN ON THE PLAT
HEREON ARE NOT COVERED BY THIS
SURVEY PLAT.



CONCRETE APRON
(CONC. APRON IS IMPROVED)

LOT 125 R1W

PUBLIC SERVICE CO. OF NEW MEXICO EASEMENT

ASPHALT

LOT 125 R1W

SOLD STREETS UNIT (MERC.) SELLING FOR REHAB. CONCRETE STAIRCASES INTO METAL STAIRS

7 1/2 INCH CHAIN LINK FENCE

CONCRETE APRON (CONC. APRON IS IMPROVED)

6-5724

25

PLAT 125 R1W

UNION 76 TRUCK DEPOT

(COURTAINS WALL) DOES NOT ENDOACH
MOVEMENT BELONGING TO UNION 76 TRUCK DEPOT
UNION 76 TRUCK DEPOT



NOTE: ADJACENT PROPERTY AND TO UTILITY EASEMENT.

DRAINAGE EASEMENT (2.25 ACRES)

ASPHALT PAVING

RETAINS TANK ON CONC. PAD

UT. PAVED PARKING AREA



UT. (GROSS) TOTAL
DRAINAGE EASEMENT EXCEPTING
(NET)

205.5

30.0

35.0

35.0

35.0

35.0

35.0

35.0

35.0

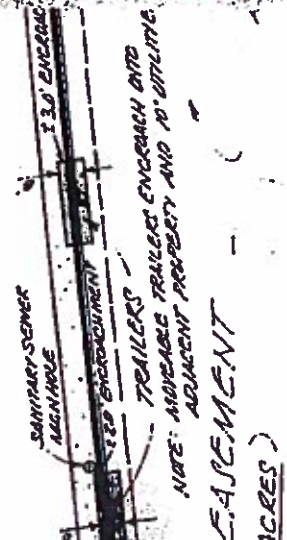
35.0

35.0

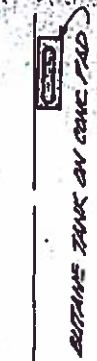
35.0

35.0

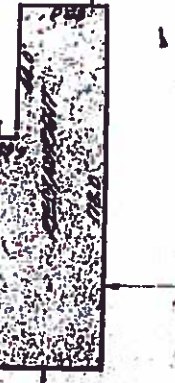
UNION 76 TRUCK DEPOT



CONCRETE APRON (RETAINING WALL) DOES NOT ENCROACH
 (CONC. APRON IS IMPROVEMENT BELONGING TO UNION 76 TRUCK DEPOT)
 (N.B. 20' WIDE) (N.B. 20' WIDE)
 DRAINAGE EASEMENT
 (2.286 ACRES)
 NEW METHOD EASEMENT



ASPHALT PAVED PARKING AREA



- 6.574 ACRES (GROSS) TOTAL
- 1.286 ACRES (DRAINAGE EASEMENT EXCEPTED)
- 5.288 ACRES (NET)

SCALE: 1"=40'



NOTE: 1. 10' BOUNDARY ENCROACHMENT
ADJUSTMENT
2. 1ST CROSS ON CONC.
P.C. 2.00
P.T.C. 2.15
1.25' ENCROACHMENT
OF BUILDING INTO
STREET R/W

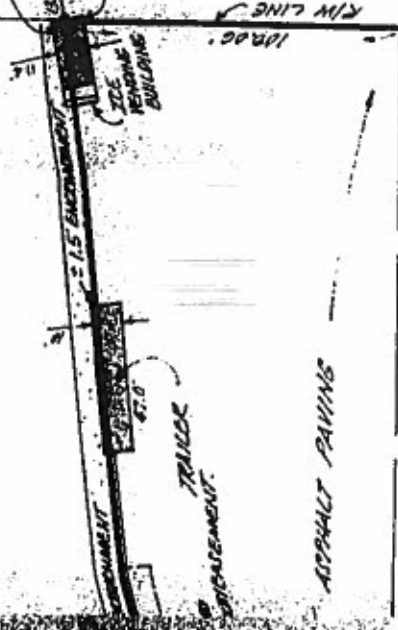
CITY
BLVD.
MOUNTAIN ROAD - WHP 2-025-4(1) 218

N.E.

565.23'

100.00' 30.00'

R/W LINE



ASPHALT PAVING

DRAINAGE

TRUCK

ENCROACHMENT

CONCRETE

10.0'

1.25'

4.0'

10.0'

10.0'

10.0'

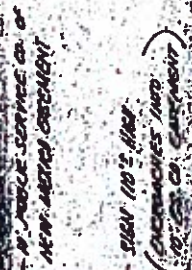
10.0'

10.0'

10.0'

10.0'

ASPHALT PAVED PARKING AREA



MENAU

CERTIFICATION AND DESCRIPTION

UNLESS OTHERWISE INDICATED, RECORDED OR UNRECORDED EASEMENTS, OVERHANG OF EAVES, PRIVATE AND COMMERCIAL TEMPORARY OR PERMANENT, DRIVEWAYS, STEPS, TREES AND SHRUBS, MINOR SIGNS, AND OTHER IMPROVEMENTS SUBMITTED AND NOT SHOWN ON THE PLAT OF RECORD OR THE CERTIFICATE OF SURVEY MAP HEREON, AND DOCUMENTED BOUNDARY OVERLAYS ARE NOT COVERED BY THIS CERTIFICATE.

I, D. T. MORRISON, NEW MEXICO REGISTERED LAND SURVEYOR NO. 1010, DO HEREBY CERTIFY THAT I HAVE SURVEYED THE IMPROVEMENTS ON THE FOLLOWING DESCRIBED REAL ESTATE:

A CERTAIN TRACT OF LAND SITUATE WITHIN THE EXTERIOR BOUNDARIES OF THE TOWN OF ALBUQUERQUE GRANT, TOWN OF NEW MEXICO, IN SECTION 9, TOWNSHIP 10 NORTH, RANGE 3 EAST, N.M.P.M., AND THE CITY LIMITS OF THE CITY OF NEW MEXICO, AND BEING IDENTIFIED AS A 6.5774 ACRE TRACT LYING IN THE NORTHEAST INTERSECTION OF IR-25 AND MENAUL BLVD. N.E.

BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS SURVEY AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF THE TRACT HEREIN DESCRIBED, SAID SOUTHEAST CORNER BEING THE COMMON TO THE NORTHERLY RIGHT-OF-WAY LINE OF MENAUL BLVD. NE AND THE WESTERLY RIGHT-OF-WAY LINE OF UNIVERSITY BLVD. NE) AS SHOWN ON NEW MEXICO STATE HIGHWAY COMMISSION RIGHT-OF-WAY MAP (N.M.P. I-025) AT THE POINT OF INTERSECTION COMMON TO THE NORTHERLY RIGHT-OF-WAY LINE OF MENAUL BLVD. NE AND THE EAST LINE OF ALBUQUERQUE GRANT BEARS S 89°55'30" E, 27.80 FEET DISTANCE;

N 89°55'30" W, 975.09 FEET DISTANCE ALONG SAID NORTHERLY RIGHT-OF-WAY LINE OF MENAUL BLVD. NE TO THE CORNER OF THE TRACT HEREIN DESCRIBED, SAID SOUTHWEST CORNER BEING A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF UNIVERSITY BLVD. NE) AS SHOWN ON NEW MEXICO STATE HIGHWAY COMMISSION RIGHT-OF-WAY MAP (N.M.P. I-025) AT THE POINT OF INTERSECTION COMMON TO THE NORTHERLY RIGHT-OF-WAY LINE OF MENAUL BLVD. NE AND THE EAST LINE OF ALBUQUERQUE GRANT BEARS S 89°55'30" E, 27.80 FEET DISTANCE;

N 76°55'30" E, 104.92 FEET DISTANCE ALONG SAID EASTERLY RIGHT-OF-WAY LINE OF IR-25 (N.M.P. I-025) OF CURVATURE; THENCE;

NORTHEASTERLY 158.90 FEET DISTANCE CONTINUING ALONG SAID EASTERLY RIGHT-OF-WAY LINE OF IR-25 (N.M.P. I-025) ALONG A CURVE BEARING TO THE RIGHT (SAID ARC HAVING A RADIUS OF 2,785.00 FEET AND CHORD WHICH BEARS N 158.90 FEET DISTANCE) TO THE NORTHEAST CORNER OF THE TRACT HEREIN DESCRIBED, SAID NORTHWEST CORNER; THENCE;

N 82°50'00" E, 904.95 FEET DISTANCE TO THE NORTHEAST CORNER OF THE TRACT HEREIN DESCRIBED, SAID CORNER BEING A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF THE EAST FRONTAGE ROAD (UNIVERSITY BLVD. NE) AS SHOWN ON NEW MEXICO STATE HIGHWAY COMMISSION RIGHT-OF-WAY MAP (N.M.P. I-025-(1)218); THENCE;

ALONG SAID WESTERLY RIGHT-OF-WAY LINE OF THE EAST FRONTAGE ROAD (UNIVERSITY BLVD. NE) AS SHOWN ON NEW MEXICO STATE HIGHWAY COMMISSION RIGHT-OF-WAY MAP (N.M.P. I-025-(1)218); THENCE;

LINE AREA

ASPHALT PAVING

CAT RAMP CANOPY

WESTERN MEXICO BLVD. N.E.

DESCRIPTION OF

IMPER

G

NOV

M

PRIVATE AND COMMUNITY WALLS (EITHER
CONVERTS SUBJECT TO CONFORMATION, BUT
BOUNDARY OVERLAYS OF ADJACENT LANDS.

THAT I HAVE SURVEYED AND LOCATED THE
BERNARDO GRANT, BERNALILLO COUNTY,
IS OF THE CITY OF ALBUQUERQUE,
SECTION OF IR-25 [I-025-4 (1) 218]

BEING THE POINT OF INTERSECTION
WAY LINE OF THE EAST FRONTAGE ROAD
IR-25 [I-025-4(1)218], WHENCE,
AND THE EAST BOUNDARY LINE OF THE

AND BLVD. NE TO THE SOUTHWEST
RIGHT-OF-WAY LINE OF IR-25

IR-25 [I-025-4(1)218] TO A POINT

OF IR-25 [I-025-4(1)218] ALONG THE
WHICH BEARS N 18° 34' 20" E,
ST. CORNER BEING A POINT ON CURVE:

DESCRIBED, SAID NORTHEAST CORNER
AND NE) AS SHOWN ON NEW MEXICO

ST. FRONTAGE ROAD (UNIVERSITY

UNIVERSITY
[EAST FRONT]

500

LAND IN TRACT FOR (50' WIDE) THROUGH POINT 312

SET 1/2" REBAR

DESCRIPTION POINT 312

D. T. MORRISON, NEW MEXICO REGISTERED LAND SURVEYOR, NO. 1010, 300 HERBERT CIRCLE, ALBUQUERQUE, N.M. 87103. THIS SURVEY WAS REFERRED TO ME ON UNDER MY SUPERVISION AND I HAVE FOUND IT TO BE CORRECT AND COMPLETE.

D. T. Morrison
D. T. MORRISON, R. N. L. S., NO. 1010



IMPROVEMENT SURVEY MAP OF A

6.5774 ACRE TRACT SITUATE AT THE NORTHWEST INTERSECTION OF MENSAUL BLVD. N.E. AND

ASPHALT PAVING

...ED, AND ...
...CORNER OF THE TRACT HEREIN DESCRIBED ...
...THE EAST FRONTAGE ROAD (CONVERSE) BLVD., (KEY ...
...I-025-4(1)218) ...
...FEET DISTANCE ALONG AND WESTERLY ...
...AS SHOWN ON NEW MEXICO STATE HIGHWAY COMMISSION RIGHT-OF-WAY MAP [N.M.P. I-025-4(1)218] ...
...OF THE TRACT HEREIN DESCRIBED, AND PLACE OF BEGINNING AND CONTAINING 6.5774 ACRES, MORE OR LESS

NOTE: THERE IS INCLUDED IN THE AFORESAID DESCRIPTION, A TRIANGULAR SHAPED DRAINAGE EASEMENT ...
DESCRIBED BY METES AND BOUNDS SURVEY AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF THE EASEMENT HEREIN DESCRIBED, SAID NORTHEAST CORNER BEING ...
THE AFORESAID DESCRIPTION AND A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF THE EAST FRONTAGE ROAD ...
AS SHOWN ON NEW MEXICO STATE HIGHWAY COMMISSION RIGHT-OF-WAY MAP [N.M.P. I-025-4(1)218]; THENCE,

S 00°38'30" W 109.06 FEET DISTANCE ALONG SAID WESTERLY RIGHT-OF-WAY LINE OF THE EAST FRONTAGE ROAD ...
AS SHOWN ON NEW MEXICO STATE HIGHWAY COMMISSION RIGHT-OF-WAY MAP [N.M.P. I-025-4(1)218] TO THE SOUTHWEST ...
HEREIN DESCRIBED; THENCE,

S 89°00'30" W 901.04 FEET DISTANCE TO THE SOUTHWEST CORNER OF THE EASEMENT HEREIN DESCRIBED ...
BEING A POINT ON CURVE ON THE EASTERLY RIGHT-OF-WAY LINE OF IR-25 [N.M.P. I-025-4(1)218]; THENCE,

NORTHEASTERLY, 12.49 FEET DISTANCE ALONG SAID EASTERLY RIGHT-OF-WAY LINE OF IR-25 [N.M.P. I-025-4(1)218] ...
CURVE BEARING TO THE RIGHT (SAID ARC HAVING A RADIUS OF 2,765.00 FEET AND A CHORD WHICH BEARS N 76°00' ...
DISTANCE) TO THE NORTHWEST CORNER OF THE EASEMENT HEREIN DESCRIBED; THENCE,

N 82°50'00" E 994.95 FEET DISTANCE TO THE NORTHEAST CORNER OF THE EASEMENT HEREIN DESCRIBED ...
CONTAINING 1.2436 ACRES, MORE OR LESS, AND LEAVING THEREFORE A NET ACREAGE OF 5.3338 ACRES IN THE ...

AND I FURTHER CERTIFY THAT THE LOCATION OF THE IMPROVEMENTS ON SAID REAL ESTATE ARE AS SHOWN ...
THE LOCATION OF THE UTILITY EASEMENTS ARE ALSO AS SHOWN ON THE DRAWING HEREON, AND THAT THERE ARE NO ...
CRIBED REAL ESTATE, AND THAT THE SAME IS TRUE AND CORRECT TO THE BEST OF MY BELIEF AND KNOWLEDGE

IN WITNESS WHEREOF, THIS CERTIFICATE IS EXECUTED AT ALBUQUERQUE, NEW MEXICO, ON THIS 26TH DAY OF ...



D. J. MORRISON

1-025-4(1)218

THE EAST-SOUTHWEST CORNER OF THE TRACT BEING THE NORTHWEST CORNER BEING THE POINT OF BEGINNING

DESCRIBED, SAID NORTHEAST CORNER (BLVD. NE) AS SHOWN ON MAP MEXICO

THE EAST FRONTAGE ROAD (UNIVERSITY BLVD.) TO THE SOUTHEAST CORNER OR LESS

TRACE EASEMENT WHICH IS MORE PARTICULARLY

EAST CORNER BEING THE NORTHEAST CORNER OF FRONTAGE ROAD (UNIVERSITY BLVD., NE) [18]; THENCE,

EAST FRONTAGE ROAD (UNIVERSITY BLVD., NE) TO THE SOUTHEAST CORNER OF THE EASEMENT

HEREIN DESCRIBED, SAID SOUTHWEST CORNER [18]; THENCE,

25 [N. P. 1-025-4(1)218] ALONG THE ARC OF A CIRCLE BEARS N 18° 42' 06" E. 12.48 FEET

HEREIN DESCRIBED AND PLACE OF BEGINNING AND END IN THE AFORESAID DESCRIPTION.

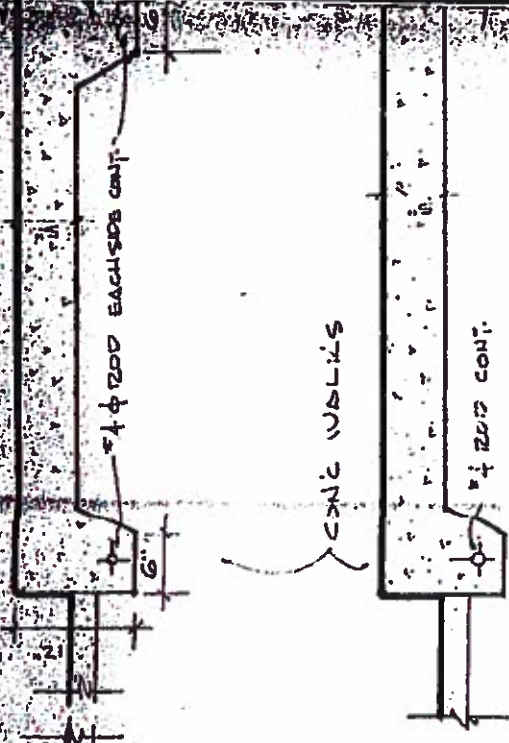
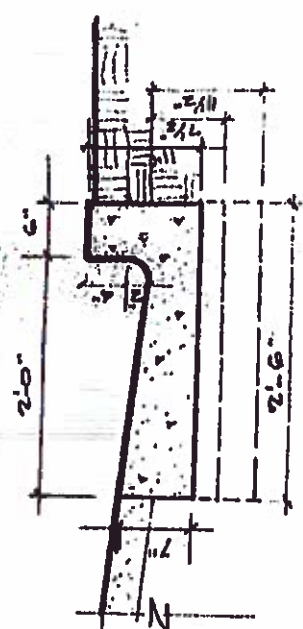
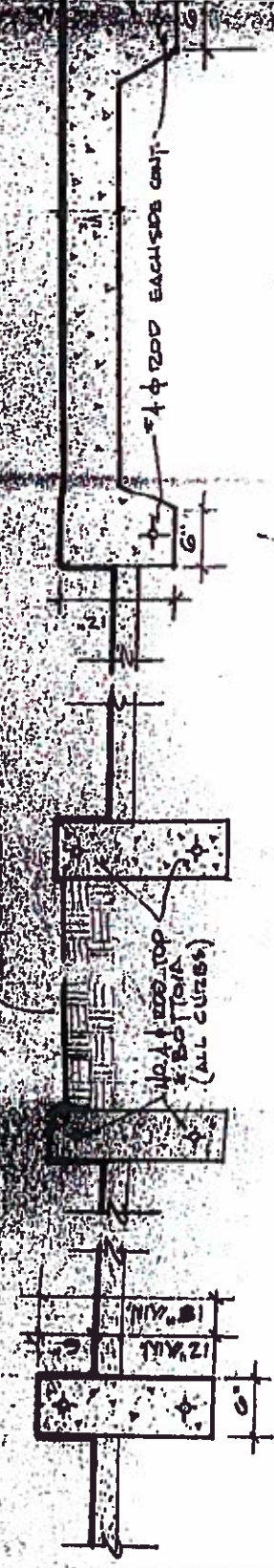
AS SHOWN ON THE DRAWING HEREON, AND THAT THE SAME ARE EMBODIED IN THE ABOVE DESCRIPTION AND CONVEYANCE.

THIS 26TH DAY OF APRIL, 1976.

R. T. Williams
R. T. WILLIAMS, R.N.L.S. NO. 1010

0.5119

SITUATE AT THE
NORTHWEST INTERSECTION OF
MENAUL BLVD. N.E.
AND
UNIVERSITY BLVD. N.E.
ALBUQUERQUE, NEW MEXICO
APRIL, 1976



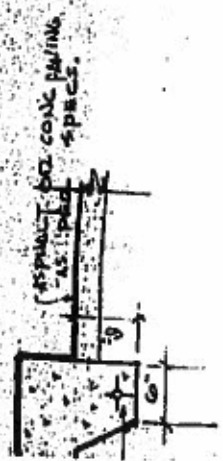
TYPICAL CURBS & GUTTER, CURBS, & SIDEWALK, DETAIL

1" = 1'-0"

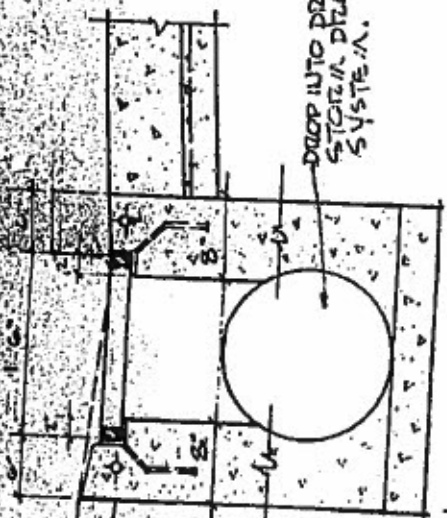


3' x 6' x 6" STORM DRAIN

STORM DRAIN PUMP

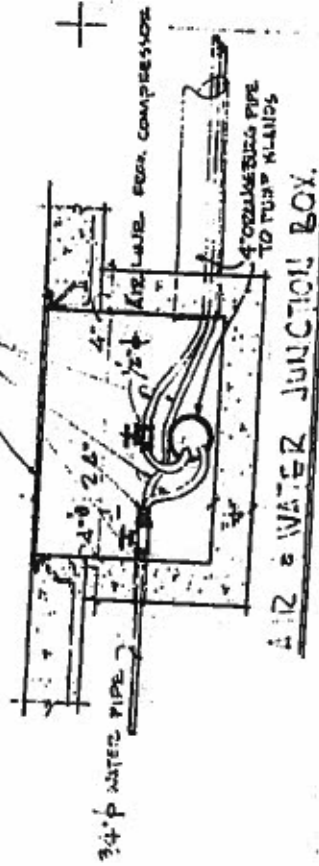


DROP INTO PRESENT
STORIN DRAIN
SYSTEM.



STORIN DRAINS

NO. 2. 2" Ø COVER PLATE 2 1/2" LIFT HOLE.
 2" RIBS WITH PRESSURE HOLES FOR 1" AIR SUPPLY LINES.
 1" TO 2 1/2" FEET 2 ROWS.
 2" X 1/2" JOINTS WELVES.
 2" X 1/2" 1/2" 2 CLAMS. 2" X 4" X 4" DECKING. WOOD
 WELD TO 2 BEAMS. INCLUDING DRILL.



L SECTIONS

69' 00" 30" W
 601.04 ST.

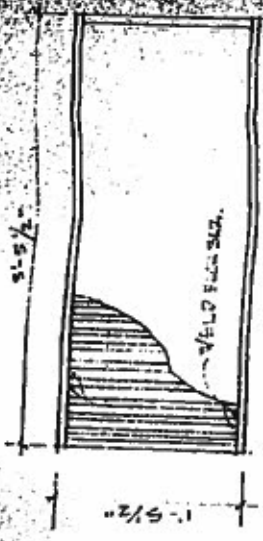
77.00' EL.

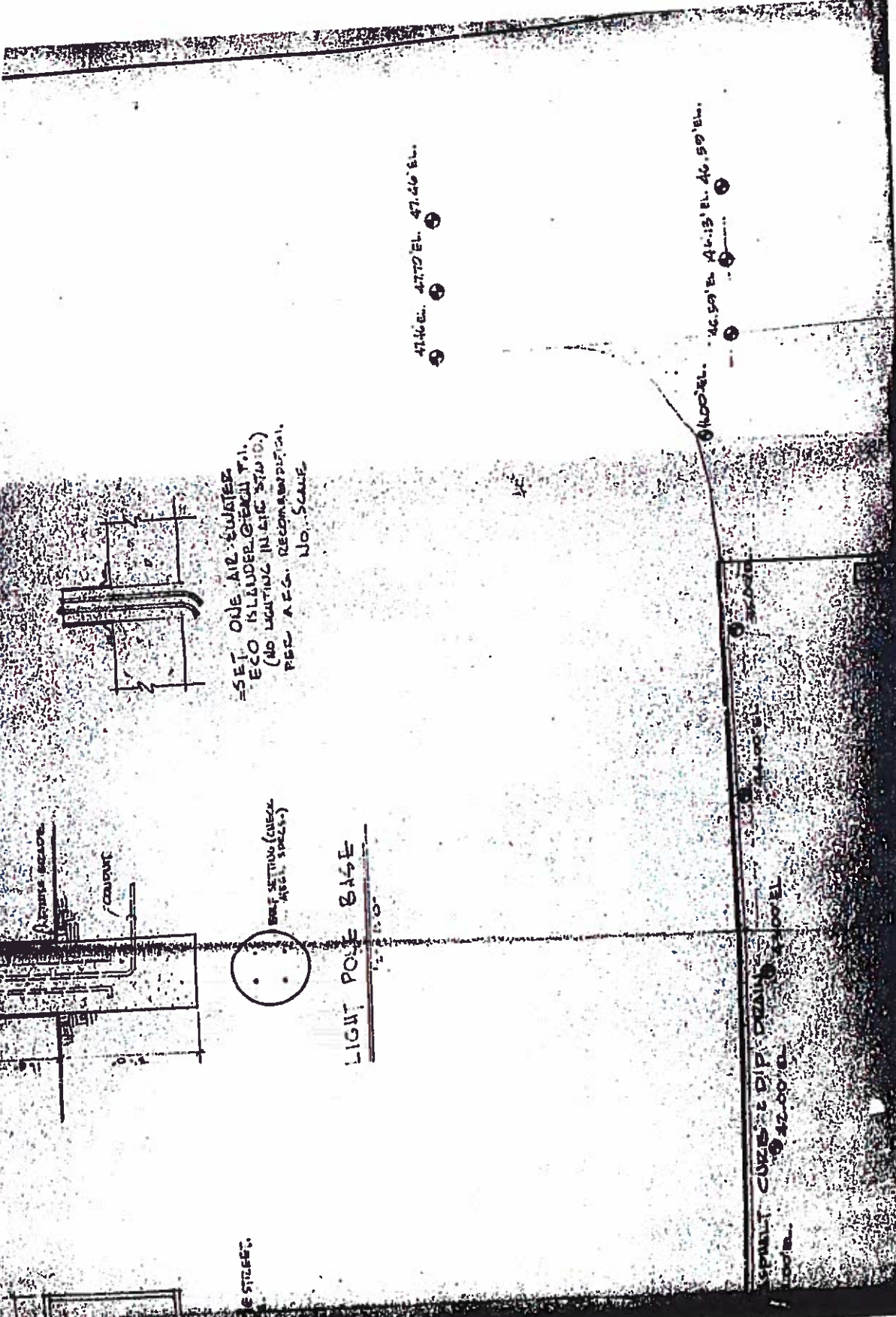
38.00' EL.

39.00' EL.

40.00' EL.

ROLLED ASPH





SET ONE AIR EXHAUSTER
 ECO ISLANDER GREEN T.O.
 (NO LIGHTING IN THE STUDIO)
 PER A.E.C. RECOMMENDATION.
 NO SCALE

SEE SETTING (CHECK
 APP. SHEETS)

LIGHT POLE BASE
 12'-0"

47.46 EL. 47.46 EL.

46.59 EL. 46.59 EL. 46.59 EL.

SEPARATE CURB 2' DIP DRAIN 4'-00' EL.
 42'-00' 0"

STREET

REMOVED

PARKING
SURFACE

FILL TO GRADE
FOR GRAVEL

20'-0"

CONCRETE
CURB
1/2" DIA @ 6" O.C.

REGULAR GAS

CONCRETE
CURB
1/2" DIA @ 6" O.C.

DIESEL

29'-0"

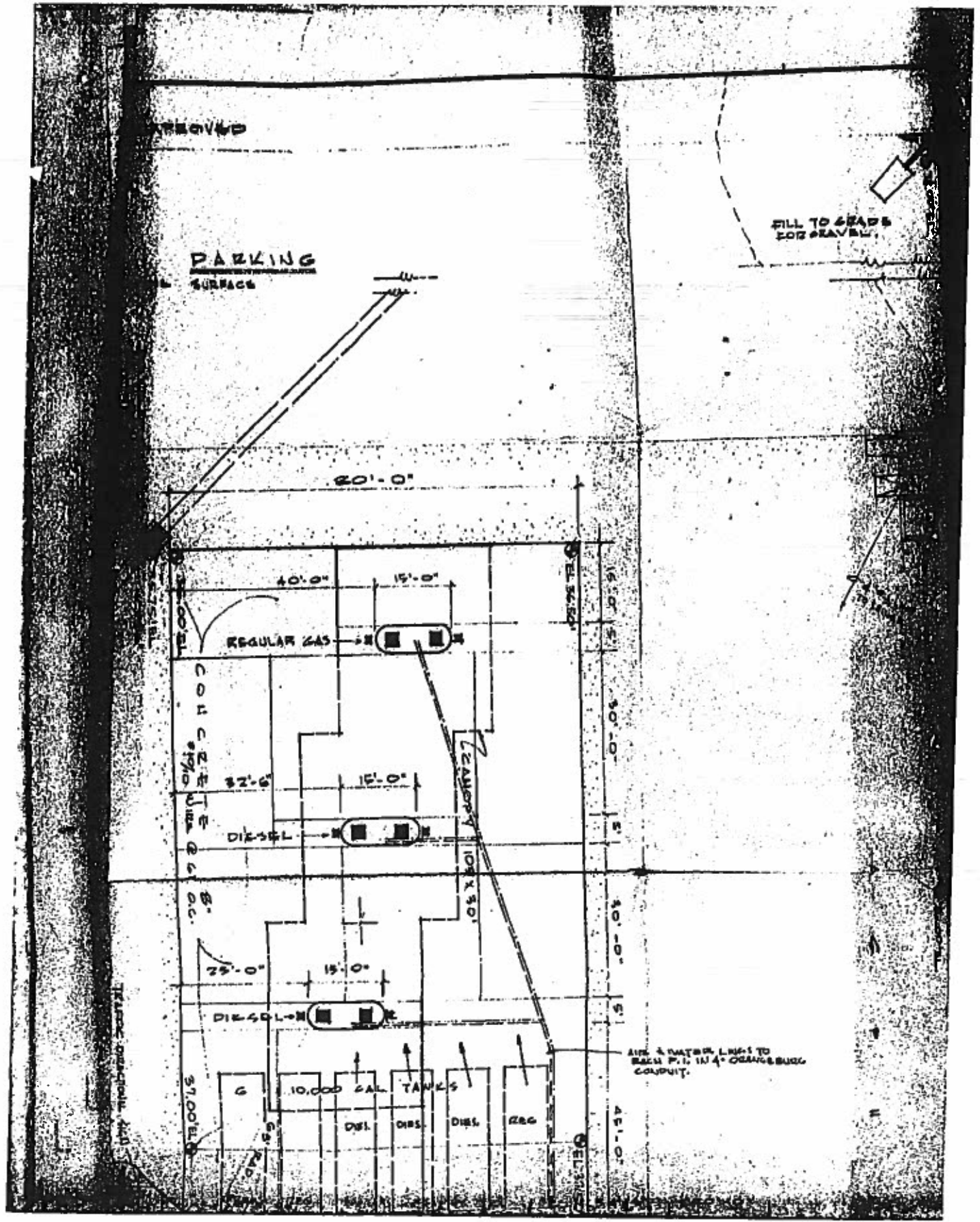
DIESEL

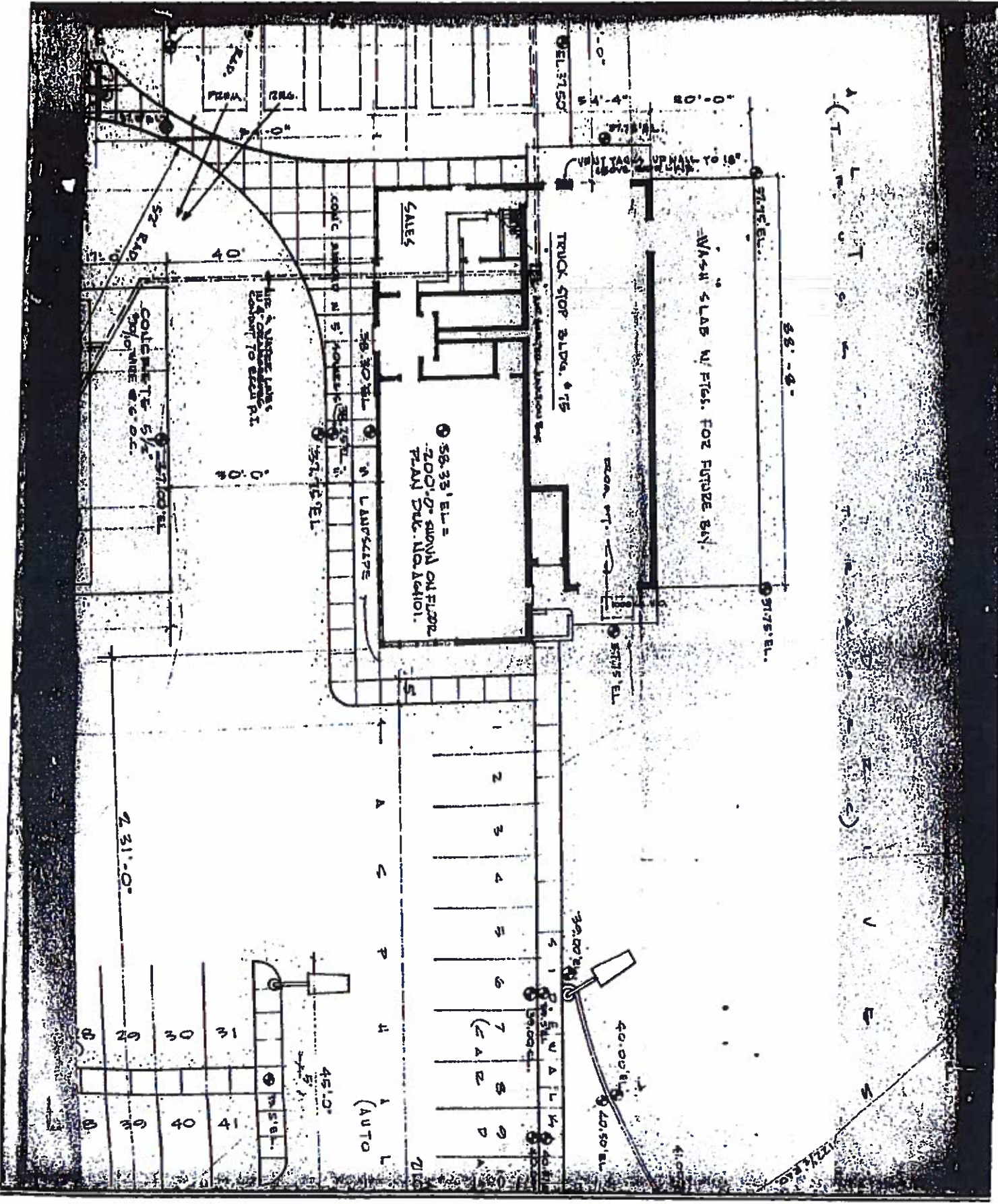
STOOD

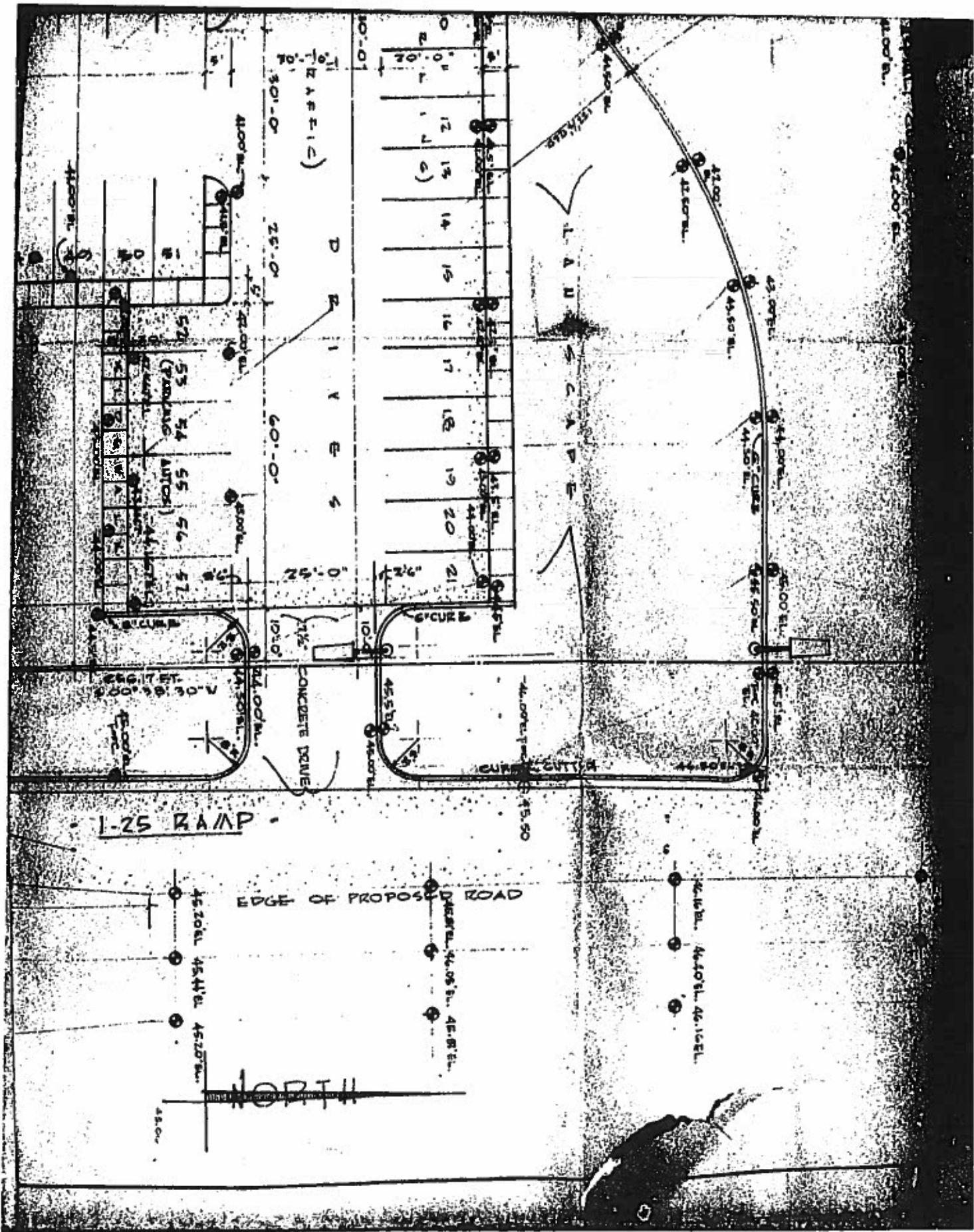
10,000 GAL TANKS
DIESEL DIESEL DIESEL REG

AIR & WATER LINES TO
EACH P.U. IN 4" ORANGE BURG
CONDUIT.

TRASSER CONSULTANTS, INC.







1-25 RAMP

EDGE OF PROPOSED ROAD

NORTH

BASIC

DRIVE

LANSCAPE

CURB CUTTER

45.20 ft
45.41 ft
45.22 ft

46.05 ft
45.87 ft

46.10 ft

10'-0"

25'-0"

60'-0"

10'-0"

12
13
14
15
16
17
18
19
20
21
22
23

41.00 ft

41.00 ft

41.00 ft

41.00 ft

41.00 ft

41.50 ft

41.50 ft

41.50 ft

41.50 ft

41.00 ft

41.50 ft

41.50 ft

41.50 ft

43.00 ft

44.00 ft

44.50 ft

45.00 ft

45.50 ft

46.00 ft

46.50 ft

41.00 ft

42.00 ft

42.50 ft

43.00 ft

43.50 ft

44.00 ft

44.50 ft

45.00 ft

45.50 ft

46.00 ft

TRUCK
CRUSHED

TRUCK CRUSHED
TO BE EXTENDED 275'
TO BE EXTENDED 275'
INSTALL STORAGE CEMENT BASIN.

200'-0"

E I S P H A L

TRUCK CRUSHED
TO BE EXTENDED 275'
TO BE EXTENDED 275'
INSTALL STORAGE CEMENT BASIN.

40'-0"

40'-0"

22'-0"

40'-0"

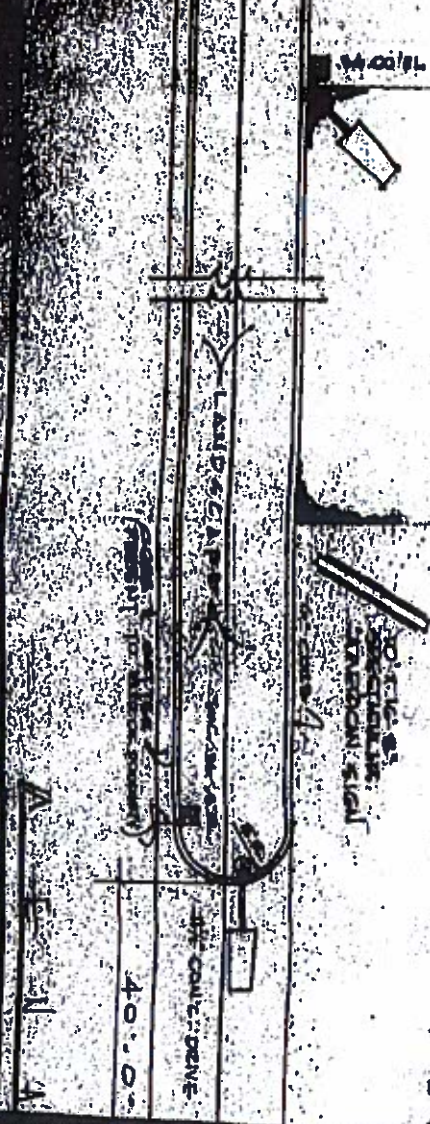
A E H A

U L

B

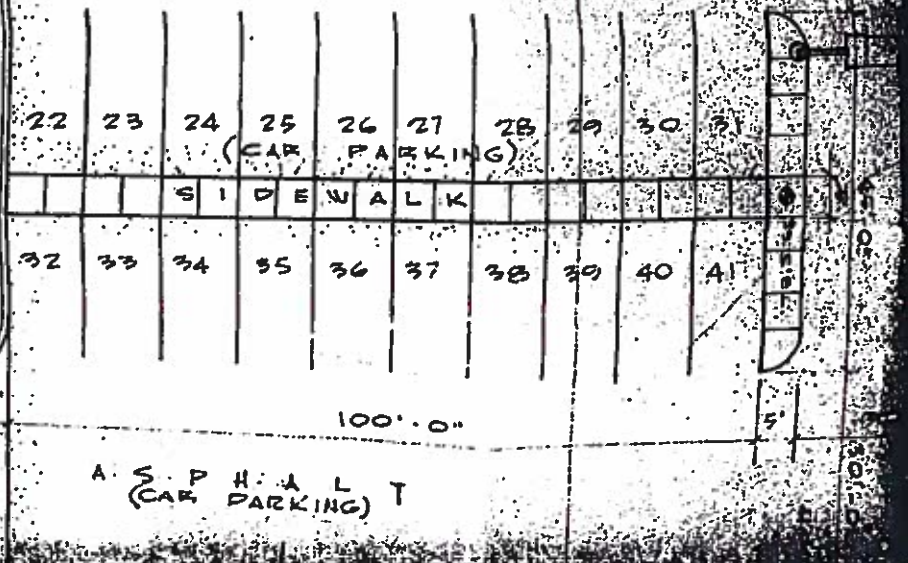
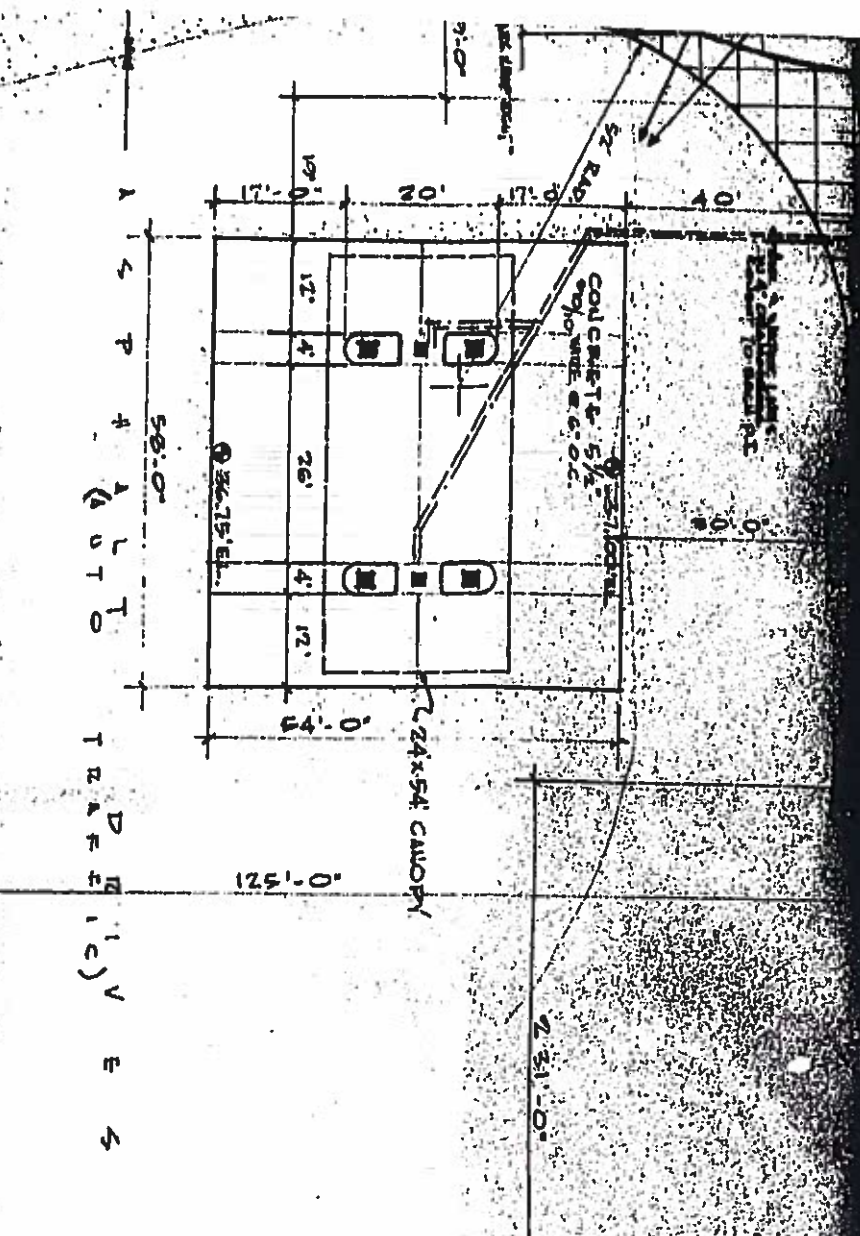
DRIVE
TRUCK TRACKS
PRESENT STORAGE DRAIN 24"

TRUCK DIRECTIONAL SKI
TRACKS LEAP LEFT



U L E Y A Z D

(WEST BOUND TRAFFIC)



Kristl Walker

From: Kristl Walker
Sent: Friday, August 16, 2019 8:42 AM
To: 'newmexmba@aol.com'; 'peggynorton@yahoo.com'; 'lmartin900@aol.com'; 'davidh.d7@comcast.net'; 'rosalimartinez06@gmail.com'; 'lnjalopez@msn.com'; 'colburn.ian@gmail.com'
Cc: Ron Bohannan ; Vinny Perea; Jaimie Garcia
Subject: Maverik University and Menaul DRB Submittal

Tracking:	Recipient	Delivery
	'newmexmba@aol.com'	
	'peggynorton@yahoo.com'	
	'lmartin900@aol.com'	
	'davidh.d7@comcast.net'	
	'rosalimartinez06@gmail.com'	
	'lnjalopez@msn.com'	
	'colburn.ian@gmail.com'	
	Ron Bohannan	Delivered: 8/16/2019 8:42 AM
	Vinny Perea	
	Jaimie Garcia	Delivered: 8/16/2019 8:43 AM

August 15, 2019

**RE: MAVERIK- 1901 MENAUL BLVD NE
ALBUQUERQUE, NM 87110
MAJOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL
VACATION OF PUBLIC EASEMENT
ZONE ATLAS PAGE H-15-Z**

Dear newmexmba@aol.com; peggynorton@yahoo.com; lmartin900@aol.com; davidh.d7@comcast.net; rosalimartinez06@gmail.com; lnjalopez@msn.com; colburn.ian@gmail.com:

Tierra West LLC, on behalf of Maverik Inc., is submitting a Major Subdivision Preliminary/Final Plat and request for Vacation of Public Easement for approval for the subject property. We are requesting a lot line adjustment between two properties of the existing tract of land. The subject property is located on the northwest corner of Menaul Blvd. and University Blvd. NE. The site's address is 1901 Menaul Blvd. NE Albuquerque, NM 87107. The property's legal description is "Tract of Land in Sec 9 T10N R3E in the S/2 SW/4 SE/4 NE/4 excluding the SE'ly Portion out to R/W at the NW corner of Menaul & University & excluding a W'ly portion out to R/W at Menaul & I-25". The total property consists of 7.14 acres of land. The platting and vacation actions are part of the development process for a 5,500 square-foot Maverik convenience store and fuel pump station that is to be located in the southeastern quadrant of the subject property.

Preliminary/Final Plat

The 2.5-acre Maverik site will be located in the southeast quadrant of the subject property, which is 7.13 acres total. Since the Maverik site will not be taking up the entire property, the current landowner will be leasing the 2.5-acre portion to Maverik, Inc. which will require subdividing the lots appropriately. There are currently two separate lots of the property that will require a lot line adjustment in order to do move forward with the development. The replatting action is currently following the Integrated Development Ordinance requirements in order to create a 2.5-acre tract

for the Maverik site and a 4.64-acre tract for the remaining balance for future development, which is yet to be determined.

Vacation of Public Easement

The development of the Maverik store and future development on the property will require a vacation of a public drainage easement. The drainage easement varies in width along the north property line of the subject site; however there is currently no public drainage infrastructure within this easement. Correspondence with the City Hydrology Department has determined that this easement was part of an old drainage channel that has since been placed in a storm drain pipe underground and in the travel center property directly north of the Maverik site. Vacating this drainage easement will have no affect towards any adjoining properties, adjoining public right-of-way, or any of the existing public drainage facilities in the area.

If you have any questions or need additional information please contact me.

Sincerely,

Vinny Perea, P.E.

cc: Elizabeth Sorenson, Maverik, Inc.
Christie Hutchings, Maverik, Inc.

JN: 2018062
RRB/vp/jg

Kristl Walker
Tierra West, LLC
5571 Midway Park Place NE
Albuquerque, NM 87109
505-858-3100 Office
505-858-1118 Fax
kwalker@tierrawestllc.com

Kristl Walker

From: Mail Delivery System <MAILER-DAEMON@exrmf-va-1-2.serverdata.net>
To: peggynorton@yahoo.com; colburn.ian@gmail.com; rosalimartinez06@gmail.com;
lmartin900@aol.com; newmexmba@aol.com
Sent: Friday, August 16, 2019 8:43 AM
Subject: Relayed: Maverik University and Menaul DRB Submittal

Delivery to these recipients or groups is complete, but no delivery notification was sent by the destination server:

peggynorton@yahoo.com

colburn.ian@gmail.com

rosalimartinez06@gmail.com

lmartin900@aol.com

newmexmba@aol.com

Subject: Maverik University and Menaul DRB Submittal

Kristl Walker

From: postmaster@outlook.com
To: lnjalopez@msn.com
Sent: Friday, August 16, 2019 8:43 AM
Subject: Delivered: Maverik University and Menaul DRB Submittal

Your message has been delivered to the following recipients:

lnjalopez@msn.com

Subject: Maverik University and Menaul DRB Submittal

TOW

TIERRA WEST, LLC

August 15, 2019

**RE: MAVERIK- 1901 MENAUL BLVD NE
ALBUQUERQUE, NM 87110
MAJOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL
VACATION OF PUBLIC EASEMENT
ZONE ATLAS PAGE H-15-Z**

Dear To Whom It May Concern:

Tierra West LLC, on behalf of Maverik Inc., is submitting a Major Subdivision Preliminary/Final Plat and request for Vacation of Public Easement for approval for the subject property. We are requesting a lot line adjustment between two properties of the existing tract of land. The subject property is located on the northwest corner of Menaul Blvd. and University Blvd. NE. The site's address is 1901 Menaul Blvd. NE Albuquerque, NM 87107. The property's legal description is "Tract of Land in Sec 9 T10N R3E in the S/2 SW/4 SE/4 NE/4 excluding the SE'ly Portion out to R/W at the NW corner of Menaul & University & excluding a W'ly portion out to R/W at Menaul & I-25". The total property consists of 7.14 acres of land. The platting and vacation actions are part of the development process for a 5,500 square-foot Maverik convenience store and fuel pump station that is to be located in the southeastern quadrant of the subject property.

Preliminary/Final Plat

The 2.5-acre Maverik site will be located in the southeast quadrant of the subject property, which is 7.13 acres total. Since the Maverik site will not be taking up the entire property, the current landowner will be leasing the 2.5-acre portion to Maverik, Inc. which will require subdividing the lots appropriately. There are currently two separate lots of the property that will require a lot line adjustment in order to do move forward with the development. The replatting action is currently following the Integrated Development Ordinance requirements in order to create a 2.5-acre tract for the Maverik site and a 4.64-acre tract for the remaining balance for future development, which is yet to be determined.

Vacation of Public Easement

The development of the Maverik store and future development on the property will require a vacation of a public drainage easement. The drainage easement varies in width along the north property line of the subject site; however there is currently no public drainage infrastructure within this easement. Correspondence with the City Hydrology Department has determined that this easement was part of an old drainage channel that has since been placed in a storm drain pipe underground and in the travel center property directly north of the Maverik site. Vacating this drainage easement will have no affect towards any adjoining properties, adjoining public right-of-way, or any of the existing public drainage facilities in the area.

If you have any questions or need additional information please contact me.

Sincerely,



Vinny Perea, P.E.

cc: Elizabeth Sorenson, Maverik, Inc.
Christie Hutchings, Maverik, Inc.

JN: 2018062
RRB/vp/jg

5571 Midway Park Pl. NE Albuquerque, NM 87109
(505) 858-3100 fax (505) 858-1118 1-800-245-3102
tierrawestllc.com

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the Integrated Development Ordinance are responsible for the posting and maintaining of one or more signs on the property which is subject to the application, as shown in Table 6-1-1. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application for a \$10 fee per sign. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign(s).

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to any public meeting or hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.


4. TIME

Signs must be posted from _____ To _____

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.



(Applicant or Agent)

8/15/19

(Date)

I issued _____ signs for this application, _____, _____
(Date) (Staff Member)

PROJECT NUMBER: _____

Jaimie Garcia

From: Quevedo, Vicente M. <vquevedo@cabq.gov>
Sent: Thursday, July 11, 2019 9:26 AM
To: Kristl Walker
Subject: Public Notice Inquiry_1901 Menaul Blvd NE_DRB
Attachments: IDOZoneAtlasPage_H-15-Z.PDF; Public Notice Inquiry_1901 Menaul Blvd NE_DRB.xlsx

Kristl,

See list of associations below and attached regarding your DRB submittal. In addition, we have included web links below that will provide you with additional details about the new Integrated Development Ordinance (IDO) requirements. The web links also include notification templates that you may utilize when contacting each association. Thank you.

Association Name	First Name	Last Name	Email	Address
North Valley Coalition	Peggy	Norton	peggynorton@yahoo.com	P.O. Box 7
North Valley Coalition	Doyle	Kimbrough	newmexmba@aol.com	2327 Cam NW
District 7 Coalition of Neighborhood Associations	Lynne	Martin	lmartin900@aol.com	1531 Espe
District 7 Coalition of Neighborhood Associations	David	Haughawout	davidh.d7@comcast.net	2824 Char
Martineztown Work Group	Rosalie	Martinez	rosalimartinez06@gmail.com	507 Rosen
Martineztown Work Group	Loretta	Naranjo Lopez	lnjalopez@msn.com	1127 Walt
Santa Barbara Martineztown NA	Ian	Colburn	colburn.ian@gmail.com	1002 Arnc
Santa Barbara Martineztown NA	Loretta	Naranjo Lopez	lnjalopez@msn.com	1127 Walt

IDO – Public Notice Requirements & Template: <https://www.cabq.gov/planning/urban-design-development/public-notice>

IDO – Neighborhood Meeting Requirements & Template: <https://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>

IDO - Administration & Enforcement section: <http://documents.cabq.gov/planning/IDO/IDO-Effective-2018-05-17-Part6.pdf>

Respectfully,

Vicente M. Quevedo, MCRP
Neighborhood Liaison
Office of Neighborhood Coordination
City of Albuquerque – City Council
(505) 768-3332

Website: www.cabq.gov/neighborhoods



Confidentiality Notice: This e-mail, including all attachments is for the sole use of the intended recipient(s) and may contain confidential and privileged information. Any unauthorized review, use, disclosure or distribution is prohibited unless specifically provided under the New Mexico Inspection of Public Records Act. If you are not the intended recipient, please contact the sender and destroy all copies of this message.

From: webmaster=cabq.gov@mailgun.org [<mailto:webmaster=cabq.gov@mailgun.org>] On Behalf Of webmaster@cabq.gov

Sent: Wednesday, July 10, 2019 2:24 PM

To: Office of Neighborhood Coordination <kwalker@tierrawestllc.com>

Cc: Office of Neighborhood Coordination <onc@cabq.gov>

Subject: Public Notice Inquiry Sheet Submission

Public Notice Inquiry For:

Development Review Board

If you selected "Other" in the question above, please describe what you are seeking a Public Notice Inquiry for below:

Contact Name

Kristl Walker

Telephone Number

5058583100

Email Address

kwalker@tierrawestllc.com

Company Name

Tierra West LLC

Company Address

5571 Midway Park PL

City

Albuquerque

State

NM

ZIP

87109

Legal description of the subject site for this project:

TR OF LD IN SEC 9 T10N R3E IN THE S/2 SW/4 SE/4 NE/4 EXC THE SE'LY PORT OUT TO R/W AT THE NW CORNER OF MENAUL & UNIVERSITY & EXC A W'LY PORT OUT TO R/W AT MENAUL & I-25

Physical address of subject site:

1901 Menaul Blvd NE Albuquerque, NM 87107

Subject site cross streets:

University and Menaul

Other subject site identifiers:

This site is located on the following zone atlas page:

H-15-Z

=====
This message has been analyzed by Deep Discovery Email Inspector.

Jaimie Garcia

From: Kristl Walker
Sent: Thursday, July 11, 2019 3:23 PM
To: 'peggynorton@yahoo.com'; 'newmexmba@aol.com'; 'lmartin900@aol.com'; 'davidh.d7@comcast.net'; 'rosalimartinez06@gmail.com'; 'lnjalopez@msn.com'; 'colburn.ian@gmail.com'; 'lnjalopez@msn.com'
Cc: Ron Bohannon ; Jaimie Garcia; Vinny Perea
Subject: Maverik 1901 Menaul Blvd
Attachments: Exhibit A - Drainage Easement Vacation.pdf

Tracking:	Recipient	Delivery
	'peggynorton@yahoo.com'	
	'newmexmba@aol.com'	
	'lmartin900@aol.com'	
	'davidh.d7@comcast.net'	
	'rosalimartinez06@gmail.com'	
	'lnjalopez@msn.com'	
	'colburn.ian@gmail.com'	
	'lnjalopez@msn.com'	
	Ron Bohannon	Delivered: 7/11/2019 3:23 PM
	Jaimie Garcia	
	Vinny Perea	Delivered: 7/11/2019 3:23 PM

July 9, 2019

**RE: REQUEST FOR VACATION OF PUBLIC EASEMENT
MAVERIK-1901 MENAUL BLVD. NE ALBUQUERQUE, NM 87107
TR OF LD IN SEC 9 T10N R3E IN THE S/2 SW/4 SE/4 NE/4
EXCTHE SE'LY POROUT TO R/W AT THE
NW CORNER OF MENAUL & UNIVERSITY & EXC A W'LY
PORT OUT TO R/W AT MENAUL & I-25
ZONE ATLAS PAGE H-15-Z**

Dear peggynorton@yahoo.com; newmexmba@aol.com; lmartin900@aol.com; davidh.d7@comcast.net; rosalimartinez06@gmail.com; lnjalopez@msn.com; colburn.ian@gmail.com; lnjalopez@msn.com

In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Subsection 14-16-6-4(C) Neighborhood Meeting, we are providing you an opportunity to discuss application(s) for the proposed Maverik, Inc. project located at the northwest corner of Menaul Blvd. NE and University Blvd before we submit any application(s). The site is zoned NR-LM (Non-Residential-Light Manufacturing). This would be an information meeting where Tierra West, LLC Agent for Maverik, Inc. would present the proposal, and we could discuss any ideas or concerns you may have.

Vacation of Public Easement

The development of the Maverik site will require a vacation action through the development review board for an existing public drainage easement. The drainage easement varies in width along the north property line of the

subject site; however there is currently no public drainage infrastructure within this easement. Correspondence with the City Hydrology department has determined that this easement was part of an old drainage channel that has since been placed in a storm drain pipe underground and in the travel center property directly north of the Maverik site. Vacating this drainage easement will have no affect towards any adjoining properties or the adjoining public right-of-way. Provided with this letter is Exhibit "A" showing the subject property and the drainage easement to be vacated in aerial view.

Per the IDO, you have 15 days from June 3, 2019 to respond, by either 1) requesting a meeting or 2) declining the meeting. If you do not respond within 15 days, you are waiving the opportunity for a Neighborhood Meeting, and we can submit our application anytime thereafter. We would like to submit our application on/anticipated July 30, 2019.

If you would like to meet, please let us know when your next regular neighborhood meeting is scheduled.

Before submitting our application, we will send Mailed and/or Emailed Public Notice as required by IDO Table 6-1-1 to make you aware of the public hearing at which the project will be reviewed and decided by the City.

Anyone may request, and the City may require, an applicant to attend a City-sponsored facilitated meeting with Neighborhood Associations, based on the complexity and potential impacts of a proposed project (IDO Section 14-16-6-4 (D)). Visit: <https://www.cabq.gov/planning/urban-design-development/facilitated-meetings-for-proposed-development/> to view and download the Facilitated Meetings Criteria. If you wish to request a Facilitated Meeting regarding this project, contact the Planning Department at devhelp@cabq.gov of 505-924-3955.

If you don't feel that facilitated meeting is needed but **have** questions, please call Vinny Perea or myself.

Tierra West LLC Contact(s):
Ronald R. Bohannon, PE
5571 Midway Park Place NE
Albuquerque, NM 87109
rrb@tierrawestllc.com
505-858-3100

Vinny Perea, PE
5571 Midway Park Place NE
Albuquerque, NM 87109
vperea@tierrawestllc.com
505-858-3100

Sincerely,

Ronald R. Bohannon, P.E.

Enclosure/s

cc: Troy Jorgensen, Maverik Inc.
Elizabeth Sorenson, Maverik Inc.
Peggy Norton, North Valley Coalition
Doyle Kimbrough, North Valley Coalition
Lynne Martin, District 7 Coalition of Neighborhood Associations
David Haughawout, District 7 Coalition of Neighborhood Associations
Rosalie Martinez, Martineztown Work Group
Loretta Naranjo Lopez, Martineztown Work Group
Ian Colburn, Santa Barbara Martineztown NA
Loretta Naranjo Lopez, Santa Barbara Martineztown NA
Monique Bell, Semiillas Y Raices Neighborhood Community Group

Carol Krause, Semillas y Raices Neighborhood Community Group

JN: 2018062
RRB/vp/jg

Kristl Walker
Tierra West, LLC
5571 Midway Park Place NE
Albuquerque, NM 87109
505-858-3100 Office
505-858-1118 Fax
kwalker@tierrawestllc.com

JW

TIERRA WEST, LLC

April 11, 2019

Ms. Kym Dicome
Development Review Board
P.O. Box 1293
Albuquerque, NM 87103

**RE: DEVELOPMENT REVIEW BOARD (DRB)
GOOD FAITH ATTEMPT OF PUBLIC NOTICE
SITE DEVELOPMENT PLAN FOR VACATION OF PUBLIC EASEMENT
601 GALLATIN PL NW ALBUQUERQUE NM 87121
ZONE ATLAS PAGE# J-09-Z AND J-10-Z**

Dear Ms. Dicome:

This letter is to inform you that on July 11, 20019 a required public notice was sent by e-mail to the following Neighborhood Associations per the City of Albuquerque's Integrated Development Ordinance (IDO):

- North Valley Coalition
- District 7 Coalition of Neighborhood Associations
- Martineztown Work Group
- Santa Barbara Martineztown NA
- Semillas Y Raices Neighborhood Community Group

The neighborhood associations were notified of a pending request to the City for a request for a Vacation of Public easement to DRB. Per IDO section 14-16-6 6-4(K)(2)(e) the applicant shall be required to provide public notice 15 consecutive days before a monthly public meeting or hearing. Our good faith attempt to provide the information to the neighborhood associations was completed and within the requested timeframe. As of present day we have NOT received a response from any of the above listed Neighborhood Associations. Attached, please find evidence of the e-mail receipt for your records and submission of the Vacation of Public easement to DRB.

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,



Vinny Perea, P.E.

cc: Troy Jorgenson, Maverik, Inc.
Elizabeth Sorenson, Maverik, Inc.

Enclosure/s:

JN: 2018062
RRB/vp/jg

5571 Midway Park Pl. NE Albuquerque, NM 87109
(505) 858-3100 fax (505) 858-1118 1-800-245-3102
tierravestllc.com

Jaimie Garcia

From: Quevedo, Vicente M. <vquevedo@cabq.gov>
Sent: Tuesday, August 13, 2019 1:36 PM
To: Jaimie Garcia
Subject: Public Notice Inquiry_1901 Menaul Blvd NE_DRB
Attachments: IDOZoneAtlasPage_H-15-Z.PDF; Public Notice Inquiry_1901 Menaul Blvd NE_DRB.xlsx

Jaimie,

See list of associations below and attached regarding your DRB submittal. In addition, we have included web links below that will provide you with additional details about the new Integrated Development Ordinance (IDO) requirements. The web links also include notification templates that you may utilize when contacting each association. Thank you.

Association Name	First Name	Last Name	Email	Address
North Valley Coalition	Doyle	Kimbrough	newmexmba@aol.com	2327 Cam NW
North Valley Coalition	Peggy	Norton	peggynorton@yahoo.com	P.O. Box 7
District 7 Coalition of Neighborhood Associations	Lynne	Martin	lmartin900@aol.com	1531 Espe
District 7 Coalition of Neighborhood Associations	David	Haughawout	davidh.d7@comcast.net	2824 Char
Martineztown Work Group	Rosalie	Martinez	rosalimartinez06@gmail.com	507 Rosen
Martineztown Work Group	Loretta	Naranjo Lopez	lnjalopez@msn.com	1127 Walt
Santa Barbara Martineztown NA	Loretta	Naranjo Lopez	lnjalopez@msn.com	1127 Walt
Santa Barbara Martineztown NA	Ian	Colburn	colburn.ian@gmail.com	1002 Arnc

IDO – Public Notice Requirements & Template: <https://www.cabq.gov/planning/urban-design-development/public-notice>

IDO – Neighborhood Meeting Requirements & Template: <https://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>

IDO - Administration & Enforcement section: <http://documents.cabq.gov/planning/IDO/IDO-Effective-2018-05-17-Part6.pdf>

Respectfully,

Vicente M. Quevedo, MCRP
Neighborhood Liaison
Office of Neighborhood Coordination
City of Albuquerque – City Council
(505) 768-3332

Website: www.cabq.gov/neighborhoods



Confidentiality Notice: This e-mail, including all attachments is for the sole use of the intended recipient(s) and may contain confidential and privileged information. Any unauthorized review, use, disclosure or distribution is prohibited unless specifically provided under the New Mexico Inspection of Public Records Act. If you are not the intended recipient, please contact the sender and destroy all copies of this message.

From: webmaster=cabq.gov@mailgun.org [<mailto:webmaster=cabq.gov@mailgun.org>] On Behalf Of webmaster@cabq.gov

Sent: Tuesday, August 13, 2019 9:19 AM

To: Office of Neighborhood Coordination <jgarcia@tierrawestll.com>

Cc: Office of Neighborhood Coordination <onc@cabq.gov>

Subject: Public Notice Inquiry Sheet Submission

Public Notice Inquiry For:

Development Review Board

If you selected "Other" in the question above, please describe what you are seeking a Public Notice Inquiry for below:

Contact Name

Jaimie Garcia

Telephone Number

505-858-3100

Email Address

jgarcia@tierrawestll.com

Company Name

Tierra West, LLC

Company Address

5571 Midway Park Place NE

City

Albuquerque

State

NM

ZIP

87109

Legal description of the subject site for this project:

TR OF LD IN SEC 9 T10N R3E IN THE S/2 SW/4 SE/4 NE/4 EXC THE SE'LY PORT OUT TO R/W AT THE NW CORNER OF MENAUL & UNIVERSITY & EXC A W'LY PORT OUT TO R/W AT MENAUL & I-25

Physical address of subject site:

1901 Menaul Blvd NE Albuquerque NM 87107

Subject site cross streets:

University and Menaul

Other subject site identifiers:

This site is located on the following zone atlas page:

H-15-Z

=====
This message has been analyzed by Deep Discovery Email Inspector.



TIERRA WEST, LLC

August 14, 2019

Mr. Ian Colburn
Santa Barbara Martineztown NA
1002 Arno NE
Albuquerque, NM 87102

**RE: MAVERIK- 1901 MENAUL BLVD NE
ALBUQUERQUE, NM 87110
MAJOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL
VACATION OF PUBLIC EASEMENT
ZONE ATLAS PAGE H-15-Z**

Dear Mr. Colburn:

Tierra West LLC, on behalf of Maverik Inc., is submitting a Major Subdivision Preliminary/Final Plat and request for Vacation of Public Easement for approval for the subject property. We are requesting a lot line adjustment between two properties of the existing tract of land. The subject property is located on the northwest corner of Menaul Blvd. and University Blvd. NE. The site's address is 1901 Menaul Blvd. NE Albuquerque, NM 87107. The property's legal description is "Tract of Land in Sec 9 T10N R3E in the S/2 SW/4 SE/4 NE/4 excluding the SE'ly Portion out to RW at the NW corner of Menaul & University & excluding a W'ly portion out to RW at Menaul & I-25". The total property consists of 7.14 acres of land. The platting and vacation actions are part of the development process for a 5,500 square-foot Maverik convenience store and fuel pump station that is to be located in the southeastern quadrant of the subject property.

Preliminary/Final Plat

The 2.5-acre Maverik site will be located in the southeast quadrant of the subject property, which is 7.13 acres total. Since the Maverik site will not be taking up the entire property, the current landowner will be leasing the 2.5-acre portion to Maverik, Inc. which will require subdividing the lots appropriately. There are currently two separate lots of the property that will require a lot line adjustment in order to do move forward with the development. The replatting action is currently following the Integrated Development Ordinance requirements in order to create a 2.5-acre tract for the Maverik site and a 4.64-acre tract for the remaining balance for future development, which is yet to be determined.

Vacation of Public Easement

The development of the Maverik store and future development on the property will require a vacation of a public drainage easement. The drainage easement varies in width along the north property line of the subject site; however there is currently no public drainage infrastructure within this easement. Correspondence with the City Hydrology Department has determined that this easement was part of an old drainage channel that has since been placed in a storm drain pipe underground and in the travel center property directly north of the Maverik site. Vacating this drainage easement will have no affect towards any adjoining properties, adjoining public right-of-way, or any of the existing public drainage facilities in the area.

5571 Midway Park Pl. NE Albuquerque, NM 87109
(505) 858-3100 fax (505) 858-1118 1-800-245-3102
tierrawestllc.com

If you have any questions or need additional information please contact me.

Sincerely,

A handwritten signature in black ink, appearing to read "Vinny Perea". The signature is fluid and cursive, with the first name "Vinny" written in a larger, more prominent script than the last name "Perea".

Vinny Perea, P.E.

cc: Elizabeth Sorenson, Maverik, Inc.
Christie Hutchings, Maverik, Inc.

JN: 2018062
RRB/vp/jg



TIERRA WEST, LLC

August 14, 2019

Ms. Loretta Naranjo Lopez
Santa Barbara Martineztown NA
1127 Walter NE
Albuquerque, NM 87102

**RE: MAVERIK- 1901 MENAUL BLVD NE
ALBUQUERQUE, NM 87110
MAJOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL
VACATION OF PUBLIC EASEMENT
ZONE ATLAS PAGE H-15-Z**

Dear Ms. Naranjo Lopez:

Tierra West LLC, on behalf of Maverik Inc., is submitting a Major Subdivision Preliminary/Final Plat and request for Vacation of Public Easement for approval for the subject property. We are requesting a lot line adjustment between two properties of the existing tract of land. The subject property is located on the northwest corner of Menaul Blvd. and University Blvd. NE. The site's address is 1901 Menaul Blvd. NE Albuquerque, NM 87107. The property's legal description is "Tract of Land in Sec 9 T10N R3E in the S/2 SW/4 SE/4 NE/4 excluding the SE'y Portion out to R/W at the NW corner of Menaul & University & excluding a W'y portion out to R/W at Menaul & I-25". The total property consists of 7.14 acres of land. The platting and vacation actions are part of the development process for a 5,500 square-foot Maverik convenience store and fuel pump station that is to be located in the southeastern quadrant of the subject property.

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5571 Midway Park Pl. NE
Albuquerque, NM 87109
(505) 858-3100 fax (505) 858-1118
tierrawestllc.com 1-800-245-3102

If you have any questions or need additional information please contact me.

Sincerely,

A handwritten signature in black ink, appearing to read 'Vinny Perea', with a long horizontal flourish extending to the right.

Vinny Perea, P.E.

cc: Elizabeth Sorenson, Maverik, Inc.
Christie Hutchings, Maverik, Inc.

JN: 2018062
RRB/vp/jg



TIERRA WEST, LLC

August 14, 2019

Ms. Loretta Naranjo Lopez
Martineztown Work Group
1127 Walter NE
Albuquerque, NM 87102

**RE: MAVERIK- 1901 MENAUL BLVD NE
ALBUQUERQUE, NM 87110
MAJOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL
VACATION OF PUBLIC EASEMENT
ZONE ATLAS PAGE H-15-Z**

Dear Ms. Naranjo Lopez:

Tierra West LLC, on behalf of Maverik Inc., is submitting a Major Subdivision Preliminary/Final Plat and request for Vacation of Public Easement for approval for the subject property. We are requesting a lot line adjustment between two properties of the existing tract of land. The subject property is located on the northwest corner of Menaul Blvd. and University Blvd. NE. The site's address is 1901 Menaul Blvd. NE Albuquerque, NM 87107. The property's legal description is "Tract of Land in Sec 9 T10N R3E in the S/2 SW/4 SE/4 NE/4 excluding the SE'y Portion out to RW at the NW corner of Menaul & University & excluding a W'y portion out to RW at Menaul & I-25". The total property consists of 7.14 acres of land. The platting and vacation actions are part of the development process for a 5,500 square-foot Maverik convenience store and fuel pump station that is to be located in the southeastern quadrant of the subject property.

Preliminary/Final Plat

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5571 Midway Park Pl. NE Albuquerque, NM 87109
(505) 858-3100 fax (505) 858-1118 1-800-245-3102
tierrawestllc.com

If you have any questions or need additional information please contact me.

Sincerely,

A handwritten signature in black ink, appearing to read 'Vinny Perea', with a long horizontal flourish extending to the right.

Vinny Perea, P.E.

cc: Elizabeth Sorenson, Maverik, Inc.
Christie Hutchings, Maverik, Inc.

JN: 2018062
RRB/vp/jg



TIERRA WEST, LLC

August 14, 2019

Ms. Rosalie Martinez
Martineztown Work Group
507 Rosemont NE
Albuquerque, NM 87102

**RE: MAVERIK- 1901 MENAUL BLVD NE
ALBUQUERQUE, NM 87110
MAJOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL
VACATION OF PUBLIC EASEMENT
ZONE ATLAS PAGE H-15-Z**

Dear Ms. Martinez:

Tierra West LLC, on behalf of Maverik Inc., is submitting a Major Subdivision Preliminary/Final Plat and request for Vacation of Public Easement for approval for the subject property. We are requesting a lot line adjustment between two properties of the existing tract of land. The subject property is located on the northwest corner of Menaul Blvd. and University Blvd. NE. The site's address is 1901 Menaul Blvd. NE Albuquerque, NM 87107. The property's legal description is "Tract of Land in Sec 9 T10N R3E in the S/2 SW/4 SE/4 NE/4 excluding the SE'ly Portion out to R/W at the NW corner of Menaul & University & excluding a W'ly portion out to R/W at Menaul & I-25". The total property consists of 7.14 acres of land. The platting and vacation actions are part of the development process for a 5,500 square-foot Maverik convenience store and fuel pump station that is to be located in the southeastern quadrant of the subject property.

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Vinny Perea, P.E.

cc: Elizabeth Sorenson, Maverik, Inc.
Christie Hutchings, Maverik, Inc.

JN: 2018062
RRB/vp/jg

TW

TIERRA WEST, LLC

August 14, 2019

Mr. David Haughwout
District 7 Coalition NA
2824 Chama Street NE
Albuquerque, NM 87110

**RE: MAVERIK- 1901 MENAUL BLVD NE
ALBUQUERQUE, NM 87110
MAJOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL
VACATION OF PUBLIC EASEMENT
ZONE ATLAS PAGE H-15-Z**

Dear Mr. Haughwout:

Tierra West LLC, on behalf of Maverik Inc., is submitting a Major Subdivision Preliminary/Final Plat and request for Vacation of Public Easement for approval for the subject property. We are requesting a lot line adjustment between two properties of the existing tract of land. The subject property is located on the northwest corner of Menaul Blvd. and University Blvd. NE. The site's address is 1901 Menaul Blvd. NE Albuquerque, NM 87107. The property's legal description is "Tract of Land in Sec 9 T10N R3E in the S/2 SW/4 SE/4 NE/4 excluding the SE'ly Portion out to RW at the NW corner of Menaul & University & excluding a W'ly portion out to RW at Menaul & I-25". The total property consists of 7.14 acres of land. The platting and vacation actions are part of the development process for a 5,500 square-foot Maverik convenience store and fuel pump station that is to be located in the southeastern quadrant of the subject property.

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Vinny Perea, P.E.

cc: Elizabeth Sorenson, Maverik, Inc.
Christie Hutchings, Maverik, Inc.

JN: 2018062
RRB/vp/jg



TIERRA WEST, LLC

August 14, 2019

Ms. Lynne Martin
District 7 Coalition NA
1531 Espjo NE
Albuquerque, NM 87112

**RE: MAVERIK- 1901 MENAUL BLVD NE
ALBUQUERQUE, NM 87110
MAJOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL
VACATION OF PUBLIC EASEMENT
ZONE ATLAS PAGE H-15-Z**

Dear Ms. Martin:

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Christie Hutchings, Maverik, Inc.

JN: 2018062
RRB/vp/jg



TIERRA WEST, LLC

August 14, 2019

Ms. Peggy Norton
North Valley Coalition
P.O. Box 70232
Albuquerque, NM 87197

**RE: MAVERIK- 1901 MENAUL BLVD NE
ALBUQUERQUE, NM 87110
MAJOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL
VACATION OF PUBLIC EASEMENT
ZONE ATLAS PAGE H-15-Z**

Dear Ms. Norton:

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Christie Hutchings, Maverik, Inc.

JN: 2018062
RRB/vp/jg



TIERRA WEST, LLC

August 14, 2019

Mr. Doyle Kimbrough
North Valley Coalition
2327 Campbell Road
Albuquerque, NM 87104

**RE: MAVERIK- 1901 MENAUL BLVD NE
ALBUQUERQUE, NM 87110
MAJOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL
VACATION OF PUBLIC EASEMENT
ZONE ATLAS PAGE H-15-Z**

Dear Mr. Kimbrough:

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Vinny Perea, P.E.

cc: Elizabeth Sorenson, Maverik, Inc.
Christie Hutchings, Maverik, Inc.

JN: 2018062
RRB/vp/jg

ALB BOCA HOTEL LTD PTNS C/O
OCEAN PROPS / ATTN N HEBERT
1000 MARKET ST UNIT 1
PORTSMOUTH NH 03801-3358

PALONI JOHN & SUNWEST BANK TR
PALONI RVT
10600 DEL REY AVE NE
ALBUQUERQUE NM 87122-3514

FED BLDG SERV INC
PO BOX 35280
ALBUQUERQUE NM 87176-5280

ALBUQUERQUE BOCA PARKING
BUILDING 1
1000 MARKET ST SUITE 300
PORTSMOUTH NH 03801-3358

M-F PARTNERSHIP
PO BOX 35280
ALBUQUERQUE NM 87176-5280

UNIVERSITY HOTELS LLC
3304 W HIGHWAY 66
GALLUP NM 87301-6841

ALB BOCA HOTEL LTD PTNS
1000 MARKET ST BLDG 1
PORTSMOUTH NH 03801

ALB BOCA HOTEL LIMITED PRSHP C/O
OCEAN PROPS / ATTN N HEBERT
1000 MARKET ST UNIT 1
PORTSMOUTH NH 03801-3358

CIRCLE K CONVENIENCE STORES #1777
ATTN: PROPERTY TAX DEPT
PO BOX 52085 DC-17
PHOENIX AZ 85072-2085

BOGGS ALEXANDER D VON
3167 SAN MATEO BLVD NE SUITE N5
ALBUQUERQUE NM 87110

PLE PROPERTIES LLC
3304 TEXAS ST NE
ALBUQUERQUE NM 87110-2313

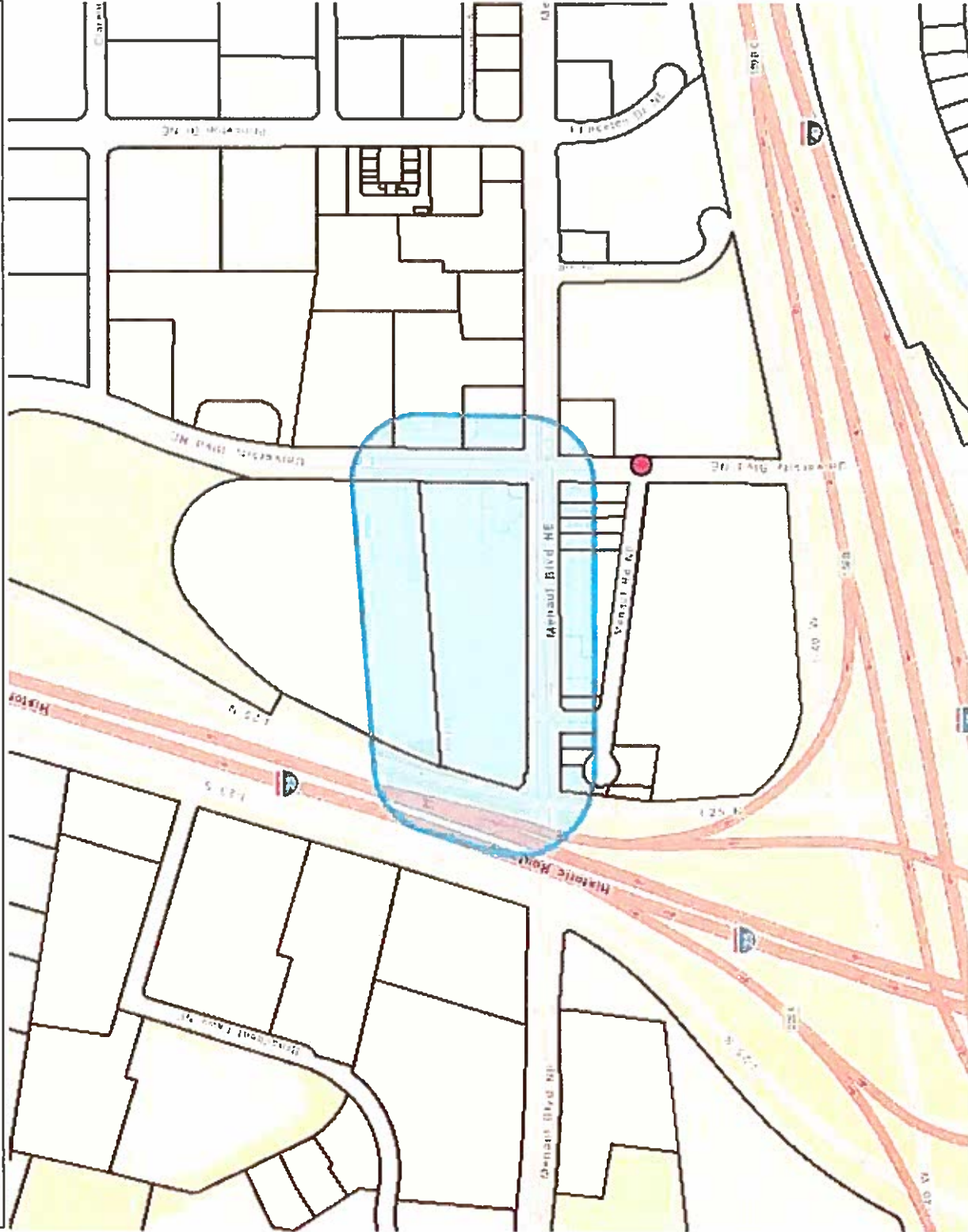
ALBUQUERQUE BOCA PARKING
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1000 MARKET ST BLDG 1
PORTSMOUTH NH 03801

M-F PARTNERSHIP
PO BOX 35280
ALBUQUERQUE NM 87176-5280

TA OPERATING CORPORATION C/O
TAX DEPARTMENT
24601 CENTER RIDGE RD
WESTLAKE OH 44145-5634

Menaul and University



- Legend**
- Bernalillo County Parcels
 - Municipal Limits**
 - Corrales
 - Edgewood
 - Los Ranchos
 - Rio Rancho
 - Tijeras
 - UNINCORPORATED

Notes

Buffer 208 ft
ROW Menaul 108 ft

908 0 454 908 Feet
 WGS_1984_Web_Mercator_Auxiliary_Sphere
 8/13/2019 © City of Albuquerque
 The City of Albuquerque ("City") provides the data on this website as a service to the public. The City makes no warranty, representation, or guaranty as to the content, accuracy, timeliness, or completeness of any of the data provided at this website. Please visit <http://www.cabq.gov/abq-data/abq-data-disclaimer-1> for more information.
THIS MAP IS NOT TO BE USED FOR NAVIGATION



Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

SUBDIVISIONS		<input type="checkbox"/> Final Sign off of EPC Site Plan(s) (Form P2)	
<input checked="" type="checkbox"/> Major - Preliminary Plat (Form P1)	<input type="checkbox"/> Amendment to Site Plan (Form P2)	<input type="checkbox"/> Vacation of Public Right-of-way (Form V)	
<input type="checkbox"/> Minor - Preliminary/Final Plat (Form S2)	MISCELLANEOUS APPLICATIONS		
<input checked="" type="checkbox"/> Major - Final Plat (Form S1)	<input type="checkbox"/> Extension of Infrastructure List or IIA (Form S1)	<input type="checkbox"/> Vacation of Public Easement(s) DRB (Form V)	
<input type="checkbox"/> Amendment to Preliminary Plat (Form S2)	<input type="checkbox"/> Minor Amendment to Infrastructure List (Form S2)	PRE-APPLICATIONS	
<input type="checkbox"/> Extension of Preliminary Plat (Form S1)	<input type="checkbox"/> Temporary Deferral of SW (Form V2)	<input type="checkbox"/> Sketch Plat Review and Comment (Form S2)	
	<input type="checkbox"/> Sidewalk Waiver (Form V2)		
SITE PLANS		APPEAL	
<input type="checkbox"/> DRB Site Plan (Form P2)	<input type="checkbox"/> Waiver to IDO (Form V2)	<input type="checkbox"/> Decision of DRB (Form A)	
BRIEF DESCRIPTION OF REQUEST			
Major- Preliminary Plat/ Major- Final Plat			

APPLICATION INFORMATION		
Applicant: Maverik, Inc		Phone: 801-335-3851
Address: 185 S State St. Suite 800		Email: troy.jorgensen@maverik.com
City: Salt Lake	State: UT	Zip: 8411
Professional/Agent (if any): Tierra West, LLC		Phone: 505-858-3100
Address: 5571 Midway Park PI NE		Email: vperea@tierrawestllc.com
City: Albuquerque	State: NM	Zip: 87109
Proprietary Interest in Site:	List <u>all</u> owners:	
SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)		
Lot or Tract No.: <small>TR OF LD IN SEC 9 TION R3E IN THE S12 SW14 SE14 NE14 EXC THE SELY PORT OUT TO RRW AT THE NW CORNER OF MENAUL UNIVERSITY & EXC A WLY PORT OUT TO RRW AT MENAUL & I-25</small>	Block:	Unit:
Subdivision/Addition:	MRGCD Map No.:	UPC Code: 101505942129310108
Zone Atlas Page(s): H-15-Z	Existing Zoning: NR-LM	Proposed Zoning NR-LM
# of Existing Lots: 1	# of Proposed Lots: 1	Total Area of Site (Acres): 7.1353
LOCATION OF PROPERTY BY STREETS		
Site Address/Street: 1901 Menaul Blvd	Between: Menaul Blvd	and: University
CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)		
1011491, PR-2019-002294		

Signature:	Date: 8/15/19				
Printed Name: Vincent Perea	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent				
FOR OFFICIAL USE ONLY					
Case Numbers	Action	Fees	Case Numbers	Action	Fees
Meeting Date:	Fee Total:				
Staff Signature:	Date:	Project #			

FORM S1: SUBDIVISION OF LAND – MAJOR

Please refer to the DRB public meeting schedule for meeting dates and deadlines. Your attendance is required.

>> INFORMATION REQUIRED FOR ALL MAJOR SUBDIVISION REQUESTS

- N/A Interpreter Needed for Meeting? _____ if yes, indicate language _____
- A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@caba.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD. PDF shall be organized with the Development Review Application and this Form P1 at the front followed by the remaining documents in the order provided on this form.
- Zone Atlas map with the entire site clearly outlined and labeled
- Letter of authorization from the property owner if application is submitted by an agent
- Sign Posting Agreement
- MAJOR SUBDIVISION PRELIMINARY PLAT APPROVAL
- MAJOR AMENDMENT TO PRELIMINARY PLAT
 - Sites 5 acres or greater: Archeological Certificate in accordance with IDO Section 14-16-6-5(A)
 - TIS Traffic Impact Study Form
 - Form DRWS Drainage Report, Grading and Drainage Plan, and Water & Sewer Availability Statement submittal information
 - Letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-6(J)
 - Proof of Sketch Plat per IDO Section 14-16-6-6(J)(2)(b)
 - Required notices with content per IDO Section 14-16-6-4(K)(6)
 - Office of Neighborhood Coordination notice inquiry response
 - Copy of notification letter and proof of first class mailing
 - Proof of emailed notice to affected Neighborhood Association representatives
 - Buffer map and list of property owners within 100 feet (excluding public rights-of-way) provided by Planning Department or created by applicant, copy of notifying letter, and proof of first class mailing
 - Preliminary Plat including the Grading Plan with property owner's and City Surveyor's signatures on the plat (7 copies, 24" x 36" folded)
 - Sidewalk Exhibit and/or cross sections of proposed streets (3 copies, 11" by 17" maximum)
 - Site sketch with measurements showing structures, parking, building setbacks, adjacent rights-of-way and street improvements (to include sidewalk, curb & gutter with distance to property line noted) if there is any existing land use (7 copies, folded)
 - N/A Landfill disclosure statement on the plat per IDO Section 14-16-5-2(G) if site is within a designated landfill buffer zone
 - Proposed Infrastructure List
- EXTENSION OF PRELIMINARY PLAT
- INFRASTRUCTURE LIST EXTENSION OR AN INFRASTRUCTURE IMPROVEMENTS AGREEMENT (IIA) EXTENSION

For temporary sidewalk deferral extension, use Form V.

 - ___ Letter describing, explaining, and justifying the request per IDO Sections 14-16-6-4(W) and 14-16-6-6(J)
 - ___ Copy of the Official DRB Notice of Decision for any prior approvals
 - ___ Required notices with content per IDO Section 14-16-6-4(K)(6)
 - ___ Office of Neighborhood Coordination notice inquiry response
 - ___ Copy of notification letter and proof of first class mailing
 - ___ Proof of emailed notice to affected Neighborhood Association representatives
 - ___ Buffer map and list of property owners within 100 feet (excluding public rights-of-way) provided by Planning Department or created by applicant, copy of notifying letter, and proof of first class mailing
 - ___ Preliminary Plat or site plan reduced to 8 5" x 11"
 - ___ Copy of DRB approved infrastructure list

<p><i>I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting, if required, or otherwise processed until it is complete.</i></p>	
Signature:	Date: <u>8/15/19</u>
Printed Name: <u>Vinny Perea</u>	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent
FOR OFFICIAL USE ONLY	
Case Numbers:	Project Number:
Staff Signature:	
Date:	

FORM S2: SUBDIVISION OF LAND – MINOR ACTIONS

Please refer to the DRB minor case schedule for meeting dates and deadlines unless noted differently below. Bring original Mylar of plat with property owner's and City Surveyor's signatures on it to the meeting. Your attendance is required.

A Variance – DRB for the Bulk Transfer of Land requires application on Form V in addition to this FORM S2.

>> INFORMATION REQUIRED FOR ALL MINOR SUBDIVISION APPLICATIONS

- Interpreter Needed for Hearing? if yes, indicate language: _____
- A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD. PDF shall be organized with the Development Review Application and this Form S2 at the front followed by the remaining documents in the order provided on this form.
- Zone Atlas map with the entire site clearly outlined and labeled

SKETCH PLAT REVIEW AND COMMENT

- Letter describing, explaining, and justifying the request
- Scale drawing of the proposed subdivision plat (7 copies, folded)
- Site sketch with measurements showing structures, parking, building setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (7 copies, folded)

MAJOR SUBDIVISION FINAL PLAT APPROVAL (requires published notice, heard on the DRB Major Case Schedule)

- Letter describing, explaining, and justifying the request
- N/A Copy of recorded IIA
- Proposed Final Plat (7 copies, 24" x 36" folded)
- Design elevations & cross sections of perimeter walls (3 copies)
- N/A Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- DXF file and hard copy of final plat data for AGIS submitted and approved

MINOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL

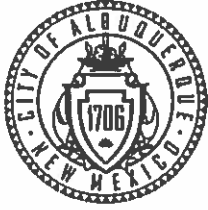
- Letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-6(I)
- Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A)
- Form DRWS Drainage Report, Grading and Drainage Plan, and Water & Sewer Availability Statement submittal information
- Required notice with content per IDO Section 14-16-6-4(K)(6)
 - Office of Neighborhood Coordination Public Notice Inquiry response
 - Proof of emailed notice to applicable Neighborhood Association representatives
- Proposed Preliminary / Final Plat with property owner's and City Surveyor's signatures on the plat prior to submittal (7 copies, folded)
- Sidewalk Exhibit and/or cross sections of proposed streets (3 copies, 11" by 17" maximum)
- Site sketch with measurements showing structures, parking, building setbacks, adjacent rights-of-way and street improvements (to include sidewalk, curb & gutter with distance to property line noted) if there is any existing land use (7 copies, folded)
- Landfill disclosure statement per IDO Section 14-16-5-2(G) if site is within a designated landfill buffer zone
- Proposed Infrastructure List, if applicable
- DXF file and hard copy of final plat data for AGIS submitted and approved

MINOR AMENDMENT TO PRELIMINARY PLAT OR INFRASTRUCTURE LIST

- Letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)
- Original Preliminary Plat, Infrastructure List, and/or Grading Plan (7 copies, folded)
- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (7 copies, folded)

Note: Any application that does not qualify as a Minor Amendment in IDO Section 14-16-6-4(X) must be processed as a Major Amendment. See Form S1.

<p><i>I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.</i></p>	
Signature:	Date: <u>8/15/19</u>
Printed Name: <u>Vinny Perea</u>	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent
FOR OFFICIAL USE ONLY	
Case Numbers:	Project Number
Staff Signature:	
Date:	



City of Albuquerque
P.O. Box 1293 Albuquerque, NM 87103
Planning Department
David S. Campbell, Director

Tim Keller, Mayor
Sarita Nair, CAO

DATE: August 8, 2019

SUBJECT: Albuquerque Archaeological Ordinance - Compliance Documentation

Case Number(s): PR-2019-002724, 1011491
Agent: Tierra West, LLC (Vinny Perea vperea@tierrawestllc.com)
Applicant: Maverik, Inc.
Legal Description: SEC 9 T10N R3E IN THE S/2 SW/4 SE/4 NE/4 EXC THE SE'LY PORT OUT TO R/W AT THE NW CORNER OF MENAUL & UNIVERSITY & EXC A W'LY PORT OUT TO R/W AT MENAUL & I-25
Zoning: NR-LM
Acreage: 7.1353
Zone Atlas Page(s): H-15-Z

CERTIFICATE OF NO EFFECT: Yes No

CERTIFICATE OF APPROVAL: Yes No

SUPPORTING DOCUMENTATION:

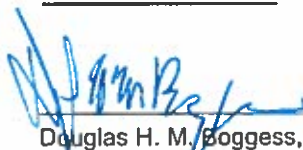
NMCRIS 49912, Google Earth historical images.

SITE VISIT: N/A

RECOMMENDATIONS:

CERTIFICATE OF NO EFFECT ISSUED-under 6-5(A) (3)(a) criterion 2 "The property has been disturbed through previous land use"

SUBMITTED BY:

 8/8/2019

Douglas H. M. Boggess, MA, RPA Date
Senior Principal Investigator
Acting City Archaeologist
Lone Mountain Archaeological Services, Inc.

SUBMITTED TO:

Russell Brito, Planning Manager
City of Albuquerque Planning Department

CITY OF ALBUQUERQUE

TRAFFIC IMPACT STUDY (TIS) FORM

APPLICANT: Tierra West, LLC DATE OF REQUEST: 8/13/19 ZONE ATLAS PAGE(S): H-15-Z

CURRENT: _____ LEGAL DESCRIPTION: _____

ZONING NR-LM

LOT OR TRACT # _____ BLOCK # _____
TR OF LD IN SEC 9 T10N R3E IN THE S12 SW1/4 SE1/4 NE1/4 EXC THE SELY PORT OUT TO RW. THE NW CORNER OF MENAUL & UNIVERSITY & EXC A WLY PORT OUT TO RW AT MENAUL & I-25

PARCEL SIZE (AC/SQ. FT.) 7.1353

SUBDIVISION NAME Menaul Blvd & I-25

REQUESTED CITY ACTION(S):

- ANNEXATION []
- ZONE CHANGE [] From _____ To _____
- SECTOR, AREA, FAC, COMP PLAN []
- AMENDMENT (Map/Text) []

- SITE DEVELOPMENT PLAN:
- SUBDIVISION* [X] AMENDMENT []
 - BUILDING PERMIT [] ACCESS PERMIT []
 - BUILDING PURPOSES [] OTHER []

*includes platting actions

PROPOSED DEVELOPMENT:

GENERAL DESCRIPTION OF

- NO CONSTRUCTION/DEVELOPMENT []
- NEW CONSTRUCTION [X]
- EXPANSION OF EXISTING DEVELOPMENT []

ACTION: 12 Lt. Vehicle Pumps 170 Rooms
OF UNITS: 7 Heavy Truck Pumps (Future Hotel)
BUILDING SIZE: 6750 (sq. ft) (Maverik C-Store)
5000 (sq. ft) (Future Restaurant)

Note: changes made to development proposals / assumptions, from the information provided above, will result in a new TIS determination.

APPLICANT OR REPRESENTATIVE DATE 8/13/19

(To be signed upon completion of processing by the Traffic Engineer)

Planning Department, Development & Building Services Division, Transportation Development Section -
2ND Floor West, 600 2ND St. NW, Plaza del Sol Building, City, 87102, phone 924-3994

TRAFFIC IMPACT STUDY (TIS) REQUIRED: YES [X] NO [] BORDERLINE []

THRESHOLDS MET? YES [X] NO [] MITIGATING REASONS FOR NOT REQUIRING TIS: PREVIOUSLY STUDIED: []
Notes: TIS for this site has been submitted and is currently under review

If a TIS is required: a scoping meeting (as outlined in the development process manual) must be held to define the level of analysis needed and the parameters of the study. *Any subsequent changes to the development proposal identified above may require an update or new TIS.*

DATE 8/13/19
TRAFFIC ENGINEER

Required TIS must be completed prior to applying to the EPC and/or the DRB. Arrangements must be made prior to submittal if a variance to this procedure is requested and noted on this form, otherwise the application may not be accepted or deferred if the arrangements are not complied with.

TIS _____ -SUBMITTED / /
-FINALIZED / / TRAFFIC ENGINEER _____
DATE _____

FORM DRWS: DRAINAGE REPORT/GRADING AND DRAINAGE PLAN / WATER & SANITARY SEWER AVAILABILITY
THIS FORM IS REQUIRED WITH THE DEVELOPMENT REVIEW BOARD APPLICATION FOR SUBDIVISIONS AND SITE PLANS.

PROJECT NAME: Maverik - University & Menaul

AGIS MAP # H-15-Z

LEGAL DESCRIPTIONS: TR of LD in SEC 9 T10N R3E in the S/2 SW/4 SE/4
NE/4 EXCTHE SELY PORT OUT TO R/W AT THE
NW CORNER OF MENAUL & UNIVERSITY & EXC A WLY PORT OUT TO R/W AT MENAUL & I-25

X **DRAINAGE REPORT/GRADING AND DRAINAGE PLAN**

A drainage report/grading and drainage plan, as per the Drainage Ordinance, was submitted to the City of Albuquerque Planning Department, Hydrology Division (2nd /Ground Floor, Plaza del Sol) on 7/9/2019 (date).



Applicant/Agent

8/15/19

Date

Hydrology Division Representative

Date

NOTE: A GRADING AND DRAINAGE PLAN MUST BE APPROVED PRIOR TO DRB APPROVAL

X **WATER AND SEWER AVAILABILITY STATEMENT - 190122**

A Water and Sewer Availability Statement for this project was requested to the ABCWUA (2nd/Ground floor, Plaza del Sol) on 4/9/2019 (date).



Applicant/Agent

8/15/19

Date

ABCWUA Representative

Date

PROJECT # _____

DEVELOPMENT REVIEW BOARD
TRANSPORTATION DEVELOPMENT

DRB Project Number: 2019-002294
Maverik at Menaul & University

AGENDA ITEM NO: 11

SUBJECT: Sketch Plat

ENGINEERING COMMENTS:

1. Provide a sidewalk exhibit showing the location, width and defining the distance from the back of curb to the property line. Right of way dedication may be required.
2. If future development is not going to be submitted to DRB, a TCL (Traffic Circulation Layout) will be required before building permit.
3. A TIS or Trip Generation Exhibit will need to be provided for this request.
4. Menaul Blvd. is classified as a Principal Arterial in this location. A work order will be required for improvements in the right of way.
5. Clarify the extents of the infrastructure requirements. It should be referenced to the Plat or Site Plan.

*Please remember to email me directly with an electronic copy of all supplemental submittal documents.

Disclaimer: The comments provided are based upon the information received from the applicant. If new or revised information is submitted, additional comments may be provided by Transportation Development.

FROM: Racquel M. Michel, P.E.
Transportation Development
505-924-3991 or rmichel@cabq.gov

DATE: June 26, 2019

ACTION:

APPROVED __; DENIED __; DEFERRED __; COMMENTS PROVIDED __; WITHDRAWN __

DELEGATED: _____ TO: (TRANS) (HYD) (WUA) (PRKS) (CE) (PLNG)

DEVELOPMENT REVIEW BOARD

Code Enforcement Comments

AGENDA ITEM NO: 11

DRB Project Number: PR-2019-002294

Application Number: _____

Project Name: _____

Request: Sketch Plat

COMMENTS:

The property is Zoned NR-LM. NR-LM does permissively allow a light vehicle fueling station and convenience store. Code Enforcement would have no objection to this request.

(Comments may continue onto the next page)

Disclaimer: The comments provided are based upon the information received from the applicant/agent. If new or revised information is submitted, additional comments may be provided by Planning.

FROM: Benjamin McIntosh, Code Enforcement Supervisor DATE: 6/26/2019
Planning Department
924-3466 bmcintosh@cabq.gov

ACTION:

APPROVED ___; DENIED ___; DEFERRED ___; COMMENTS PROVIDED ___; WITHDRAWN ___

DELEGATED: (TRANS) (HYD) (WUA) (PRKS) (PLNG) (CE)

DEVELOPMENT REVIEW BOARD - HYDROLOGY SECTION
 Dana Peterson, PE Senior Engineer | 505-924-3695 dpeterson@cabq.gov

DRB Project Number: 2019-002294 Hearing Date: 6-26-19
 Project: Maverick @ University & Menaul Agenda Item No: 11

- | | | | |
|---|---|---|--|
| <input checked="" type="checkbox"/> Sketch Plat | <input type="checkbox"/> Minor Preliminary / Final Plat | <input type="checkbox"/> Preliminary Plat | <input type="checkbox"/> Final Plat |
| <input type="checkbox"/> Temp Sidewalk Deferral | <input type="checkbox"/> Sidewalk Waiver/Variance | <input type="checkbox"/> Site Plan for Bldg. Permit
<input type="checkbox"/> Site Plan for Subdivision | <input type="checkbox"/> Bulk Land Plat |
| <input type="checkbox"/> SIA Extension | <input type="checkbox"/> DPM Variance | <input type="checkbox"/> Vacation of Public Easement | <input type="checkbox"/> Vacation of Public Right of Way |

ENGINEERING COMMENTS:

- Will the infrastructure be tied to the Plat or the Site Plan?
- Prior to approving the Infrastructure List, an approved grading and drainage plan will be required.
- Infrastructure List:
 - Damaged curb and gutter and valley gutter needs to be replaced along the entire Menaul frontage; the University side seems to be in good condition
 - Inlet replacement at the truck exit may be required
 - Include the storm drain connection to manhole at Manual & Pan-American
 - Additional infrastructure may be required, pending G&D Plan approval
- Show the floodplain (w/ FIRM, effective date and zone) on the plat. Zone AO-1' along Manual
- Delete the 2nd section in the Plat Drainage Easement note (grant of drainage easements)

RESOLUTION/COMMENTS:

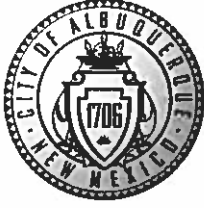
Code:

Water:

Transportation:

Planning:

APPROVED DELEGATED TO: TRANS HYD WUA PRKS PLNG
 DENIED Delegated For: _____
 SIGNED: I.L. SPSD SPBP FINAL PLAT
 DEFERRED TO _____



Development Review Board

Planning Dept. - Sketch Plat Comments

Project #:PR-2019-002294

Application #:PS -2019-00049

Meeting Date: June 26, 2019

-
- This PR# has been assigned to this subject site. Any applications (vacations, platting, site plans, etc..) for this subject site MUST reference this PR#. It must be noted on the application with the submittal for future actions.
 - Note that the document titles listed in the submitted PDF must not include symbols (+, &, etc....) and title should be a short and abbreviated as possible.
 - Note that the Sketch Plat submittal is the old application. The up to date app is on the COA Planning webpage. It includes the site area and changes Variances to Waivers.
 - The site plan will have to be processed through DRB if Major Infrastructure is required. Otherwise, since it is under 5 acres, the site plan could be processed administratively. See Transportation, ABCWUA and Hydrology comments about IL.
 - On the application, it cites 2 PR#s (one is 2294) and two VA#s. What are those referring to?
 - Must have all Utilities and AMAFCA signatures prior to PLN sign off as well as having the dxf approved.
 - SITE PLAN COMMENTS (give applicant redline at the meeting)
 - Each landscaped area calculations must be on the LSP
 - Calls out "proposed lease line" but there is a plat to subdivide. Correct the language to call out proposed lot line
 - There are several symbols that are not labelled
 - Keyed Notes 30,31,32 are missing
 - New addition dimensions for parking spaces (see se area) and dimensions should say "typical" . Should have typical for all parking spaces (compact, regular, ADA, etc)
 - Section 4-3(D)(17)(e) restricts a corner lot access to 1 per frontage. Must obtain variance from ZHE to allow what is proposed.
 - Drive thrus must be screened from public R/W with min 6 foot landscape area to include either a screen vegetation or wall.
 - Table 5-5-8 has a min stacking space depending on use. How does this site plan meet that requirement?
 - Add Note 5-5(I)(1)(e) and 4-3(D)(17)(h) to the site plan



**Development Review Board (DRB)
 Review Comments
 Utility Development Section
 Reviewer: Kristopher Cadena, P.E.
 Phone: 505.289.3301**

DRB Project No: PR-2019-002294	Date: 06/26/19	Item No: #11
Zone Atlas Page: H-15	Legal Description: Lot(s) TRACT OF LAND IN SEC 9 T10N R3E AND BEING IDENTIFIED AS TRACTS A AND B FROM A PORTION OF AN UNPLATTED 6.5774 ACRE TRACT AS DESCRIBED IN SPECIAL WARRANTY DEED FILED MAY 4, 1978 IN BOOK D5A, PAGES 424-426 LESS AND THAN AND ACCEPTING PORTION OUT TO NMDOT R/W BY STIPULATED JUDGEMENT FILED NOVEMBER 20, 2000 AS DOC 200115519 AND THAT PORTION OF TRACT B OUT TO COA R/W BY QUIT CLAIM DEED FILED APRIL 28, 1980 DOCUMENT Location: 1901 MENAUL BLVD NE east of I-40 and west of UNIVERSITY BLVD NE	
Request For: PS-2019-00049 - SKETCH PLAT		

ABCWUA Comment:

Please provide written description of how the following comments were addressed with the next submittal.

1. No objection.
2. Availability statement #190122 has been issued and provides the conditions for service. Infrastructure requirements are not required. The proposed tracts A-1 and B-1 both have frontage along University Blvd. which has public waterlines and sanitary sewer which can be used for service.

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 Ms. Lynne Martin
 District 7 Coalition Neighborhood
 1531 Espejo NE
 Albuquerque, NM 87112

Street and Apt. No.
 City, State, ZIP+4

PS Form 3800, April 2015 PSN 7520-01-000-9001 See Reverse for Instructions



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 Mr. Ian Colburn
 Santa Barbara Martineztown NA
 1002 Arno NE
 Albuquerque, NM 87102

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 Ms. Rosalie Martinez
 Martineztown Work Group
 507 Rosemont NE
 Albuquerque, NM 87102

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 Ms. Carol Krause
 Semillas y Raices Neighborhood
 800 Mountain Road NE
 Albuquerque, NM 87102

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Sent To
 Mr. Doyle Kimbrough
 North Valley Coalition
 2327 Campbell Road NE
 Albuquerque, NM 87104

Street and Apt. No.
 City, State, ZIP+4

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Sent To
 Ms. Peggy Norton
 North Valley Coalition
 PO BOX 70232
 Albuquerque, NM 87197

Street and Apt. No.
 City, State, ZIP+4

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 Santa Barbara Martineztown NA
 1127 Walter NE
 Albuquerque, NM 87102

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 Martineztown Work Group
 1127 Walter NE
 Albuquerque, NM 87102

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 Ms. Monique Bell
 Semillas y Raices Neighborhood
 1113 Edith Boulevard NE
 Albuquerque, NM 87102

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TIERRA WEST, LLC

June 4, 2019

Ms. Peggy Norton
North Valley Coalition
P.O. Box 70232
Albuquerque, NM 87197

**RE: REQUEST FOR SITE PLAN FOR BUILDING PERMIT APPROVAL
MAVERIK-1901 MENAUL BLVD. NE ALBUQUERQUE, NM 87107
TR OF LD IN SEC 9 T10N R3E IN THE S/2 SW/4 SE/4 NE/4
EXCTHE SE'LY POROUT TO R/W AT THE
NW CORNER OF MENAUL & UNIVERSITY & EXC A W'LY
PORT OUT TO R/W AT MENAUL & I-25
ZONE ATLAS PAGE H-15-Z**

Dear Ms. Norton:

In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Subsection 14-16 6-4(C) Neighborhood Meeting, we are providing you an opportunity to discuss application(s) for the proposed Maverik, Inc. project located at the northwest corner of Menaul Blvd. NE and University Blvd before we submit any application(s). The site is zoned NR-LM (Non-Residential-Light Manufacturing). This would be an information meeting where Tierra West, LLC Agent for Maverik, Inc. would present the proposal, and we could discuss any ideas or concerns you may have.

Site Development Plan

The development of the Maverik site will consist of a 5,500 square-foot convenience store building and two fueling station canopies for heavy commercial trucks and light passenger vehicles. This will be to accommodate commercial sales of food, beverage, and gasoline. Access to the site will be provided from Menaul Blvd, University Blvd, and the I-25 NB frontage road via 5 new driveways while closing all other existing driveways. The layout of the site will be 2.5 acres in total, including the building, fueling stations, landscaping, parking, and drive aisles. The design and layout of the site plan will follow the Integrated Development Ordinance requirements through the Development Review Board Site Plan Approval process. The total property area is 7.14 acres; the Maverik Site Development plan will consist of only 2.5 acres of the southeast quadrant of this property. The remaining 4.64 acre balance of the property is to be developed at a later date.

Major Infrastructure

The development of the site will require roadway improvements within the public right-of-way to accommodate customer traffic of Maverik, specifically lengthening left turn lanes at the approaches of the University/Menaul intersection and University/Candelaria intersection. Other improvements include a deceleration lane for the proposed driveway connecting to the frontage road and lengthening the right turn lane at the approach of the Menaul/Vassar intersection. These improvements will require a City of Albuquerque work order which requires an approved infrastructure list by the Development Review Board to account for the quantity and cost of all public improvements.

5571 Midway Park Pl. NE Albuquerque, NM 87109
(505) 858-3100 fax (505) 858-1118 1-800-245-3102
tierrawestllc.com

Ms. Peggy Norton

June 4, 2019

Page 2

Sketch Plat/ Final Plat Approval

The 2.5-acre Maverik site will be located in the southeast quadrant of the subject property, which is 7.13 acres total. Since the Maverik site will not be taking up the entire property, the current landowner will be leasing the 2.5-acre portion to Maverik, Inc. which will require subdividing the single lot into two separate lots. A replatting action of the property will follow the Integrated Development Ordinance requirements through the development review board for subdividing the 7.14-acre property into two lots, one being 2.5 acres and the other being 4.64 acres.

Per the IDO, you have 15 days from June 3, 2019 to respond, by either 1) requesting a meeting or 2) declining the meeting. If you do not respond within 15 days, you are waiving the opportunity for a Neighborhood Meeting, and we can submit our application anytime thereafter. We would like to submit our application on/anticipated June 19, 2019.

If you would like to meet, please let us know when your next regular neighborhood meeting is scheduled.

Before submitting our application, we will send Mailed and/or Emailed Public Notice as required by IDO Table G-1-1 to make you aware of the public hearing at which the project will be reviewed and decided by the City.

Anyone may request, and the City may require, an applicant to attend a City-sponsored facilitated meeting with Neighborhood Associations, based on the complexity and potential impacts of a proposed project (IDO Section 14-16-6-4 (D)). Visit https://www.cabq.gov/planning/urban_design-development/facilitated-meetings-for-proposed-development/ to view and download the Facilitated Meetings Criteria. If you wish to request a Facilitated Meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

If you don't feel that facilitated meeting is needed but have questions, please call Vinny Perea or myself.

Tierra West LLC Contact(s):
Ronald R. Bohannon, PE
5571 Midway Park Place NE
Albuquerque, NM 87109
rrb@tierrawestllc.com
505-858-3100

Vinny Perea, PE
5571 Midway Park Place NE
Albuquerque, NM 87109
vperea@tierrawestllc.com
505-858-3100

Sincerely,



Ronald R. Bohannon, P.E.

Enclosure/s

Ms. Peggy Norton

June 4, 2019

Page 3

cc: Troy Jorgensen, Maverik Inc.
Elizabeth Sorenson, Maverik Inc.
Peggy Norton, North Valley Coalition
Doyle Kimbrough, North Valley Coalition
Lynne Martin, Distric 7 Coalition of Neighborhood Associations
David Haughawout, District 7 Coalition of Neighborhood Associations
Rosalie Martinez, Martineztown Work Group
Loretta Naranjo Lopez, Martineztown Work Group
Ian Colburn, Santa Barbara Martineztown NA
Loretta Naranjo Lopez, Santa Barbara Martineztown NA
Monique Bell, Semillas Y Raices Neighborhood Community Group
Carol Krause, Semillas y Raices Neighborhood Community Group

JN: 2018062

RRB/vp/jg

JW

TIERRA WEST, LLC

June 4, 2019

Mr. Doyle Kimbrough
North Valley Coalition
2327 Campbell Road NW
Albuquerque, NM 87104

RE. REQUEST FOR SITE PLAN FOR BUILDING PERMIT APPROVAL
MAVERIK-1901 MENAUL BLVD. NE ALBUQUERQUE, NM 87107
TR OF LD IN SEC 9 T10N R3E IN THE S/2 SW/4 SE/4 NE/4
EXCTHE SE'LY POROUT TO R/W AT THE
NW CORNER OF MENAUL & UNIVERSITY & EXC A W'LY
PORT OUT TO R/W AT MENAUL & I-25
ZONE ATLAS PAGE H-15-Z

Dear Mr. Kimbrough:

In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Subsection 14-16-6-4(C) Neighborhood Meeting, we are providing you an opportunity to discuss application(s) for the proposed Maverik, Inc. project located at the northwest corner of Menaul Blvd. NE and University Blvd before we submit any application(s). The site is zoned NR-LM (Non-Residential-Light Manufacturing). This would be an information meeting where Tierra West, LLC Agent for Maverik, Inc. would present the proposal, and we could discuss any ideas or concerns you may have.

Site Development Plan

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Major Infrastructure

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5571 Midway Park Pl. NE Albuquerque, NM 87109
(505) 858-3100 fax (505) 858-1118 1-800-245-3102
tierrawestllc.com

Mr. Doyle Kimbrough

June 4, 2019

Page 2

Sketch Plat/ Final Plat Approval

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If you don't feel that facilitated meeting is needed but have questions, please call Vinny Perea or myself.

Tierra West LLC Contact(s):
Ronald R. Bohannon, PE
5571 Midway Park Place NE
Albuquerque, NM 87109
rrb@tierrawestllc.com
505-859-3100

Vinny Perea, PE
5571 Midway Park Place NE
Albuquerque, NM 87109
vperea@tierrawestllc.com
505-858-3100

Sincerely,



Ronald R. Bohannon, P.E.

Enclosure/s

Mr. Doyle Kimbrough

June 4, 2019

Page 3

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Loretta Naranjo Lopez, Santa Barbara Martineztown NA
Monique Bell, Semillas Y Raices Neighborhood Community Group
Carol Krause, Semillas y Raices Neighborhood Community Group

JN 2010062
RRB/vp/jg



TIERRA WEST, LLC

June 4, 2019

Ms. Lynne Martin
District 7 Coalition of Neighborhood Association
1531 Espejo NE
Albuquerque, NM 87112

RE: REQUEST FOR SITE PLAN FOR BUILDING PERMIT APPROVAL
MAVERIK-1901 MENAUL BLVD. NE ALBUQUERQUE, NM 87107
TR OF LD IN SEC 9 T10N R3E IN THE S/2 SW/4 SE/4 NE/4
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NW CORNER OF MENAUL & UNIVERSITY & EXC A W'LY
PORT OUT TO R/W AT MENAUL & I-25
ZONE ATLAS PAGE H-15-Z

Dear Ms. Martin:

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5571 Midway Park Pl. NE Albuquerque, NM 87109
(505) 858-3100 fax (505) 858-1118 1-800-245-3102
tierrawestllc.com

Sketch Plat/ Final Plat Approval

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If you don't feel that facilitated meeting is needed but have questions, please call Vinny Perea or myself.

Tierra West LLC Contact(s):
Ronald R. Bohannon, PE
5571 Midway Park Place NE
Albuquerque, NM 87109
rrb@tierrawestllc.com
505-858-3100

Vinny Perea, PE
5571 Midway Park Place NE
Albuquerque, NM 87109
vperea@tierrawestllc.com
505-858-3100

Sincerely,



Ronald R. Bohannon, P.E.

Enclosure/s

Ms.Lynne Martin

June 4, 2019

Page 3

cc: Troy Jorgensen, Maverik Inc.
Elizabeth Sorenson, Maverik Inc.
Peggy Norton, North Valley Coalition
Doyle Kimbrough, North Valley Coalition
Lynne Martin, Distric 7 Coalition of Neighborhood Associations
David Haughawout, District 7 Coalition of Neighborhood Associations
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Ian Colburn, Santa Barbara Martineztown NA
Loretta Naranjo Lopez, Santa Barbara Martineztown NA
Monique Bell, Semillas Y Raices Neighborhood Community Group
Carol Krause, Semillas y Raices Neighborhood Community Group

JN: 2018062

RRB/vp/jg



TIERRA WEST, LLC

June 4, 2019

Mr. David Haughawout
District 7 Coalition of Neighborhood Associations
2824 Chama Street NE
Albuquerque, NM 87110

RE: REQUEST FOR SITE PLAN FOR BUILDING PERMIT APPROVAL
MAVERIK-1901 MENAUL BLVD. NE ALBUQUERQUE, NM 87107
TR OF LD IN SEC 9 T10N R3E IN THE S/2 SW/4 SE/4 NE/4
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ZONE ATLAS PAGE H-15-Z

Dear Mr. Haughawout:

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5571 Midway Park Pl NE Albuquerque, NM 87109
(505) 858-3100 fax (505) 858-1118 1-800-245-3102
tierrawestllc.com

Mr. David Haughawout

June 4, 2019

Page 2

Sketch Plat/ Final Plat Approval

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Tierra West LLC Contact(s):
Ronald R. Bohannon, PE
5571 Midway Park Place NE
Albuquerque, NM 87109
rrob@tierrawestllc.com
505-858-3100

Vinny Perea, PE
5571 Midway Park Place NE
Albuquerque, NM 87109
vperea@tierrawestllc.com
505-858-3100

Sincerely,



Ronald R. Bohannon, P.E.

Enclosure/s

Mr. David Haughawout

June 4, 2019

Page 3

cc: Troy Jorgensen, Maverik Inc.
Elizabeth Sorenson, Maverik Inc
Peggy Norton, North Valley Coalition
Doyle Kimbrough, North Valley Coalition
Lynne Martin, Distric 7 Coalition of Neighborhood Associations
David Haughawout, District 7 Coalition of Neighborhood Associations
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Ian Colburn, Santa Barbara Martineztown NA
Loretta Naranjo Lopez, Santa Barbara Martineztown NA
Monique Bell, Semillas Y Raices Neighborhood Community Group
Carol Krause, Semillas y Raices Neighborhood Community Group

JN: 2018062

RRB/vp/jg



TIERRA WEST, LLC

June 4, 2019

Ms. Rosalie Martinez
Martineztown Work Group
507 Rosemont NE
Albuquerque, NM 87102

RE: REQUEST FOR SITE PLAN FOR BUILDING PERMIT APPROVAL
MAVERIK-1901 MENAUL BLVD. NE ALBUQUERQUE, NM 87107
TR OF LD IN SEC 9 T10N R3E IN THE S/2 SW/4 SE/4 NE/4
EXCTHE SE'LY POROUT TO R/W AT THE
NW CORNER OF MENAUL & UNIVERSITY & EXC A W'LY
PORT OUT TO R/W AT MENAUL & I-25
ZONE ATLAS PAGE H-15-Z

Dear Ms. Martinez:

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5571 Midway Park Pl. NE Albuquerque, NM 87109
(505) 858-3100 fax (505) 858-1113 1-800-245-3102
tierrawestllc.com

Ms. Rosalie Martinez

June 4, 2019

Page 2

Sketch Plat/ Final Plat Approval

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Tierra West LLC Contact(s):
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Albuquerque, NM 87109
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505-858-3100

Vinny Perea, PE
5571 Midway Park Place NE
Albuquerque, NM 87109
vperea@tierrawestllc.com
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Sincerely,



Ronald R. Bohannon, P.E.

Enclosure/s

Ms.Rosalie Martinez

June 4, 2019

Page 3

cc Troy Jorgensen, Maverik Inc.
Elizabeth Sorenson, Maverik Inc
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Monique Bell, Semillas Y Raices Neighborhood Community Group
Carol Krause, Semillas y Raices Neighborhood Community Group

JN: 2018062

RRB/vp/jg



TIERRA WEST, LLC

June 4, 2019

Ms. Loretta Naranjo Lopes
Martineztown Work Group
1127 Walter NE
Albuquerque, NM 87102

RE: REQUEST FOR SITE PLAN FOR BUILDING PERMIT APPROVAL
MAVERIK-1901 MENAUL BLVD. NE ALBUQUERQUE, NM 87107
TR OF LD IN SEC 9 T10N R3E IN THE S/2 SW/4 SE/4 NE/4
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ZONE ATLAS PAGE H-15-Z

Dear Ms. Naranjo Lopes:

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(505) 858-3100 fax (505) 858-1113 1-800-245-3102
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Ms.Loretta Naranjo Lopes

June 4, 2019

Page 2

Sketch Plat/ Final Plat Approval

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Albuquerque, NM 87109
rrb@tierrawestllc.com
505-858-3100

Vinny Perea, PE
5571 Midway Park Place NE
Albuquerque, NM 87109
vperea@tierrawestllc.com
505-858-3100

Sincerely,



Ronald R. Bohannon, P.E

Enclosure/s

Ms.Loretta Naranjo Lopes

June 4, 2019

Page 3

cc: Troy Jorgensen, Maverik Inc.
Elizabeth Sorenson, Maverik Inc.
Peggy Norton, North Valley Coalition
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Loretta Naranjo Lopez, Santa Barbara Martineztown NA
Monique Bell, Semillas Y Raices Neighborhood Community Group
Carol Krause, Semillas y Raices Neighborhood Community Group

JN: 2018062

RRB/vp/jg

TW

TIERRA WEST, LLC

June 4, 2019

Mr. Ian Colburn
Santa Barbara Martineztown NA
1002 Arno NE
Albuquerque, NM 87102

**RE: REQUEST FOR SITE PLAN FOR BUILDING PERMIT APPROVAL
MAVERIK-1901 MENAUL BLVD. NE ALBUQUERQUE, NM 87107
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ZONE ATLAS PAGE H-15-Z**

Dear Mr. Colburn:

In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Subsection 14-16-6-4(C) Neighborhood Meeting, we are providing you an opportunity to discuss application(s) for the proposed Maverik, Inc project located at the northwest corner of Menaul Blvd. NE and University Blvd before we submit any application(s). The site is zoned NR-LM (Non-Residential-Light Manufacturing). This would be an information meeting where Tierra West, LLC Agent for Maverik, Inc. would present the proposal, and we could discuss any ideas or concerns you may have.

Site Development Plan

The development of the Maverik site will consist of a 5,500 square foot convenience store building and two fueling station canopies for heavy commercial trucks and light passenger vehicles. This will be to accommodate commercial sales of food, beverage, and gasoline. Access to the site will be provided from Menaul Blvd, University Blvd, and the I-25 NB frontage road via 5 new driveways while closing all other existing driveways. The layout of the site will be 2.5 acres in total, including the building, fueling stations, landscaping, parking, and drive aisles. The design and layout of the site plan will follow the Integrated Development Ordinance requirements through the Development Review Board Site Plan Approval process. The total property area is 7.14 acres, the Maverik Site Development plan will consist of only 2.5 acres of the southeast quadrant of this property. The remaining 4.64 acre balance of the property is to be developed at a later date.

Major Infrastructure

The development of the site will require roadway improvements within the public right-of-way to accommodate customer traffic of Maverik, specifically lengthening left turn lanes at the approaches of the University/Menaul intersection and University/Candelaria intersection. Other improvements include a deceleration lane for the proposed driveway connecting to the frontage road and lengthening the right turn lane at the approach of the Menaul/Vassar intersection. These improvements will require a City of Albuquerque work order which requires an approved infrastructure list by the Development Review Board to account for the quantity and cost of all public improvements.

5571 Midway Park Pl. NE Albuquerque, NM 87109
(505) 858-3000 fax (505) 858-1118 1-800-245-3102
tierrawestllc.com

Sketch Plat/ Final Plat Approval

The 2.5-acre Maverik site will be located in the southeast quadrant of the subject property, which is 7.13 acres total. Since the Maverik site will not be taking up the entire property, the current landowner will be leasing the 2.5-acre portion to Maverik, Inc. which will require subdividing the single lot into two separate lots. A replatting action of the property will follow the Integrated Development Ordinance requirements through the development review board for subdividing the 7.14-acre property into two lots, one being 2.5 acres and the other being 4.64 acres.

Per the IDO, you have 15 days from June 3, 2019 to respond, by either 1) requesting a meeting or 2) declining the meeting. If you do not respond within 15 days, you are waiving the opportunity for a Neighborhood Meeting, and we can submit our application anytime thereafter. We would like to submit our application on/anticipated June 19, 2019.

If you would like to meet, please let us know when your next regular neighborhood meeting is scheduled.

Before submitting our application, we will send Mailed and/or Emailed Public Notice as required by IDO Table 6-1-1 to make you aware of the public hearing at which the project will be reviewed and decided by the City.

Anyone may request, and the City may require, an applicant to attend a City-sponsored facilitated meeting with Neighborhood Associations, based on the complexity and potential impacts of a proposed project (IDO Section 14-16-6-4 (D)). Visit: <https://www.cabq.gov/planning/urban-design-development/facilitated-meetings-for-proposed-development/> to view and download the Facilitated Meetings Criteria. If you wish to request a Facilitated Meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

If you don't feel that facilitated meeting is needed but have questions, please call Vinny Perea or myself.

Tierra West LLC Contact(s):
Ronald R. Bohannon, PE
5571 Midway Park Place NE
Albuquerque, NM 87109
rrb@tierrawestllc.com
505-858-3100

Vinny Perea, PE
5571 Midway Park Place NE
Albuquerque, NM 87109
vperea@tierrawestllc.com
505-858-3100

Sincerely,



Ronald R. Bohannon, P.E.

Enclosure/s

Mr. Ian Colburn
June 4, 2019
Page 3

cc Troy Jorgensen, Maverik Inc.
Elizabeth Sorenson, Maverik Inc
Peggy Norton, North Valley Coalition
Doyle Kimbrough, North Valley Coalition
Lynne Martin, Distric 7 Coalition of Neighborhood Associations
David Haughawout, District 7 Coalition of Neighborhood Associations
Rosalie Martinez, Martineztown Work Group
Loretta Naranjo Lopez, Martineztown Work Group
Ian Colburn, Santa Barbara Martineztown NA
Loretta Naranjo Lopez, Santa Barbara Martineztown NA
Monique Bell, Semillas Y Raices Neighborhood Community Group
Carol Krause, Semillas y Raices Neighborhood Community Group

JN: 2018062
RRB/vp/jg



TIERRA WEST, LLC

June 4, 2019

Ms. Loretta Naranjo Lopez
Santa Barbara Martineztown NA
1127 Walter NE
Albuquerque, NM 87102

RE: REQUEST FOR SITE PLAN FOR BUILDING PERMIT APPROVAL
MAVERIK-1901 MENAUL BLVD. NE ALBUQUERQUE, NM 87107
TR OF LD IN SEC 9 T10N R3E IN THE S/2 SW/4 SE/4 NE/4
EXCTHE SE'LY POROUT TO R/W AT THE
NW CORNER OF MENAUL & UNIVERSITY & EXC A W'LY
PORT OUT TO R/W AT MENAUL & I-25
ZONE ATLAS PAGE H-15-Z

Dear Ms. Naranjo Lopez:

In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Subsection 14-16-6-4(C) Neighborhood Meeting, we are providing you an opportunity to discuss application(s) for the proposed Maverik, Inc. project located at the northwest corner of Menaul Blvd. NE and University Blvd before we submit any application(s). The site is zoned NR-LM (Non-Residential-Light Manufacturing). This would be an information meeting where Tierra West, LLC Agent for Maverik, Inc. would present the proposal, and we could discuss any ideas or concerns you may have.

Site Development Plan

The development of the Maverik site will consist of a 5,500 square-foot convenience store building and two fueling station canopies for heavy commercial trucks and light passenger vehicles. This will be to accommodate commercial sales of food, beverage, and gasoline. Access to the site will be provided from Menaul Blvd, University Blvd, and the I-25 NB frontage road via 5 new driveways while closing all other existing driveways. The layout of the site will be 2.5 acres in total, including the building, fueling stations, landscaping, parking, and drive aisles. The design and layout of the site plan will follow the Integrated Development Ordinance requirements through the Development Review Board Site Plan Approval process. The total property area is 7.14 acres; the Maverik Site Development plan will consist of only 2.5 acres of the southeast quadrant of this property. The remaining 4.64 acre balance of the property is to be developed at a later date.

Major Infrastructure

The development of the site will require roadway improvements within the public right-of-way to accommodate customer traffic of Maverik, specifically lengthening left turn lanes at the approaches of the University/Menaul intersection and University/Candelaria intersection. Other improvements include a deceleration lane for the proposed driveway connecting to the frontage road and lengthening the right turn lane at the approach of the Menaul/Vassar intersection. These improvements will require a City of Albuquerque work order which requires an approved infrastructure list by the Development Review Board to account for the quantity and cost of all public improvements.

5571 Midway Park Pl, NE Albuquerque, NM 87109
(505) 858-3100 fax (505) 858-1118 1-800-245-3102
tierrawestllc.com

Ms. Loretta Naranjo Lopez

June 4, 2019

Page 2

Sketch Plat/ Final Plat Approval

The 2.5-acre Maverik site will be located in the southeast quadrant of the subject property, which is 7.13 acres total. Since the Maverik site will not be taking up the entire property, the current landowner will be leasing the 2.5-acre portion to Maverik, Inc. which will require subdividing the single lot into two separate lots. A replatting action of the property will follow the Integrated Development Ordinance requirements through the development review board for subdividing the 7.14-acre property into two lots, one being 2.5 acres and the other being 4.64 acres.

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If you don't feel that facilitated meeting is needed but have questions, please call Vinny Perea or myself.

Tierra West LLC Contact(s):
Ronald R. Bohannon, PE
5571 Midway Park Place NE
Albuquerque, NM 87109
rrb@tierrawestllc.com
505-858-3100

Vinny Perea, PE
5571 Midway Park Place NE
Albuquerque, NM 87109
vperea@tierrawestllc.com
505-858-3100

Sincerely,



Ronald R. Bohannon, P.E.

Enclosure/s

Ms.Loretta Naranjo Lopez

June 4, 2019

Page 3

cc: Troy Jorgensen, Maverik Inc
Elizabeth Sorenson, Maverik Inc
Peggy Norton, North Valley Coalition
Doyle Kimbrough, North Valley Coalition
Lynne Martin, Distric 7 Coalition of Neighborhood Associations
David Haughawout, District 7 Coalition of Neighborhood Associations
Rosalie Martinez, Martineztown Work Group
Loretta Naranjo Lopez, Martineztown Work Group
Ian Colburn, Santa Barbara Martineztown NA
Loretta Naranjo Lopez, Santa Barbara Martineztown NA
Monique Bell, Semillas Y Raices Neighborhood Community Group
Carol Krause, Semillas y Raices Neighborhood Community Group

JN: 2018062

RRB/vp/jg



TIERRA WEST, LLC

June 4, 2019

Ms. Monique Bell
Semillas y Raices Neighborhood Community Group
1113 Edith Boulevard NE
Albuquerque, NM 87102

**RE: REQUEST FOR SITE PLAN FOR BUILDING PERMIT APPROVAL
MAVERIK-1901 MENAUL BLVD. NE ALBUQUERQUE, NM 87107
TR OF LD IN SEC 9 T10N R3E IN THE S/2 SW/4 SE/4 NE/4
EXCTHE SE'LY POROUT TO R/W AT THE
NW CORNER OF MENAUL & UNIVERSITY & EXC A W'LY
PORT OUT TO R/W AT MENAUL & I-25
ZONE ATLAS PAGE H-15-Z**

Dear Ms. Bell:

In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Subsection 14-16-6-4(C) Neighborhood Meeting, we are providing you an opportunity to discuss application(s) for the proposed Maverik, Inc. project located at the northwest corner of Menaul Blvd. NE and University Blvd before we submit any application(s). The site is zoned NR-LM (Non Residential-Light Manufacturing). This would be an information meeting where Tierra West, LLC Agent for Maverik, Inc. would present the proposal, and we could discuss any ideas or concerns you may have.

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5571 Midway Park Pl. NE Albuquerque, NM 87109
(505) 858-3100 fax (505) 858-1116 1-800-245-3102
tierrawestllc.com

Ms Monique Bell

June 4, 2019

Page 2

Sketch Plat/ Final Plat Approval

The 2.5-acre Maverik site will be located in the southeast quadrant of the subject property, which is 7.13 acres total. Since the Maverik site will not be taking up the entire property, the current landowner will be leasing the 2.5-acre portion to Maverik, Inc. which will require subdividing the single lot into two separate lots. A replatting action of the property will follow the Integrated Development Ordinance requirements through the development review board for subdividing the 7.14-acre property into two lots, one being 2.5 acres and the other being 4.64 acres.

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Tierra West LLC Contact(s):
Ronald R. Bohannon, PE
5571 Midway Park Place NE
Albuquerque, NM 87109
rrb@tierrawestllc.com
505-858-3100

Vinny Perea, PE
5571 Midway Park Place NE
Albuquerque, NM 87109
vperea@tierrawestllc.com
505-858-3100

Sincerely,



Ronald R. Bohannon, P.E.

Enclosure/s

Ms. Monique Bell
June 4, 2019
Page 3

cc Troy Jorgensen, Maverik Inc.
Elizabeth Sorenson, Maverik Inc.
Peggy Norton, North Valley Coalition
Doyle Kimbrough, North Valley Coalition
Lynne Martin, Distric 7 Coalition of Neighborhood Associations
David Haughawout, District 7 Coalition of Neighborhood Associations
Rosalie Martinez, Martineztown Work Group
Loretta Naranjo Lopez, Martineztown Work Group
Ian Colburn, Santa Barbara Martineztown NA
Loretta Naranjo Lopez, Santa Barbara Martineztown NA
Monique Bell, Semillas Y Raices Neighborhood Community Group
Carol Krause, Semillas y Raices Neighborhood Community Group

JN: 2018062
RRB/vp/jg

JW

TIERRA WEST, LLC

June 4, 2019

Ms. Carol Krause
Semillas y Raices Neighborhood Community Group
800 Mountain Road NE
Albuquerque, NM 87102

RE: REQUEST FOR SITE PLAN FOR BUILDING PERMIT APPROVAL
MAVERIK-1901 MENAUL BLVD. NE ALBUQUERQUE, NM 87107
TR OF LD IN SEC 9 T10N R3E IN THE S/2 SW/4 SE/4 NE/4
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NW CORNER OF MENAUL & UNIVERSITY & EXC A W'LY
PORT OUT TO R/W AT MENAUL & I-25
ZONE ATLAS PAGE H-15-Z

Dear Ms. Krause:

In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Subsection 14-16-6-4(C) Neighborhood Meeting, we are providing you an opportunity to discuss application(s) for the proposed Maverik, Inc. project located at the northwest corner of Menaul Blvd. NE and University Blvd before we submit any application(s). The site is zoned NR LM (Non Residential Light Manufacturing). This would be an information meeting where Tierra West, LLC Agent for Maverik, Inc. would present the proposal, and we could discuss any ideas or concerns you may have.

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5571 Midway Park Pl. NE Albuquerque, NM 87109
(505) 855-3100 fax (505) 858-1118 1-800-245-3102
tierrawestllc.com

Sketch Plat/ Final Plat Approval

The 2.5-acre Maverik site will be located in the southeast quadrant of the subject property, which is 7.13 acres total. Since the Maverik site will not be taking up the entire property, the current landowner will be leasing the 2.5-acre portion to Maverik, Inc. which will require subdividing the single lot into two separate lots. A replatting action of the property will follow the Integrated Development Ordinance requirements through the development review board for subdividing the 7.14-acre property into two lots, one being 2.5 acres and the other being 4.64 acres.

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If you don't feel that facilitated meeting is needed but have questions, please call Vinny Perea or myself.

Tierra West LLC Contact(s)
Ronald R. Bohannon, PE
5571 Midway Park Place NE
Albuquerque, NM 87109
rrb@tierrawestllc.com
505-858-3100

Vinny Perea, PE
5571 Midway Park Place NE
Albuquerque, NM 87109
vperea@tierrawestllc.com
505-858-3100

Sincerely,



Ronald R. Bohannon, P.E.

Enclosure/s

cc Troy Jorgensen, Maverik Inc.
Elizabeth Sorenson, Maverik Inc.
Peggy Norton, North Valley Coalition
Doyle Kimbrough, North Valley Coalition
Lynne Martin, Distric 7 Coalition of Neighborhood Associations
David Haughawout, District 7 Coalition of Neighborhood Associations
Rosalie Martinez, Martineztown Work Group
Loretta Naranjo Lopez, Martineztown Work Group
Ian Colburn, Santa Barbara Martineztown NA
Lorelta Naranjo Lopez, Santa Barbara Martineztown NA
Monique Bell, Semillas Y Raices Neighborhood Community Group
Carol Krause, Semillas y Raices Neighborhood Community Group

JN: 2018062
RRB/vp/jg

TW

TIERRA WEST, LLC

August 15, 2019

Ms. Kym Dicome
Development Review Board
P.O. Box 1293
Albuquerque, NM 87103

RE: **DEVELOPMENT REVIEW BOARD (DRB)
GOOD FAITH ATTEMPT OF PUBLIC NOTICE
MAVERIK UNIVERSITY AND MENAUL PRELIMINARY/FINAL
1901 MENAUL BLVD. NE ALBUQUERQUE, NM 87107
TR OF LD IN SEC 9 T10N R3E IN THE S/2 SW/4 SE/4 NE/4
EXCTHE SE'LY POROUT TO R/W AT THE
NW CORNER OF MENAUL & UNIVERSITY & EXC A W'LY
PORT OUT TO R/W AT MENAUL & I-25**

Dear Ms. Dicome:

This letter is to inform you that on June 4, 2019 a required public notice was sent by certified mail to the following Neighborhood Associations per the City of Albuquerque's Integrated Development Ordinance (IDO):

- North Valley Coalition
- District 7 Coalition of Neighborhood Associations
- Martineztown Work Group
- Santa Barbara Martineztown NA
- Semillas y Raices Neighborhood Community Group

The neighborhood associations were notified of a pending request to the City for a request for a Preliminary/Final Plat to DRB. Per IDO section 14-16-6 6-4(K)(2)(e) the applicant shall be required to provide public notice 15 consecutive days before a monthly public meeting or hearing. Our good faith attempt to provide the information to the neighborhood associations was completed and within the requested timeframe. As of present day we have NOT received a response from any of the above listed Neighborhood Associations. Attached, please find evidence of the stamped certified mail receipt for your records and submission of the Preliminary/Final Plat to DRB.

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,



Vinny Perea, P.E.

cc: Troy Jorgenson, Maverik, Inc.
Elizabeth Sorenson, Maverik, Inc.

Enclosure/s:

JN: 2018062
RRB/vp/jg

5571 Midway Park Pl. NE Albuquerque, NM 87109
(505) 858-3100 fax (505) 858-1118 1-800-245-3102
tierrawestllc.com

TOWN

TIERRA WEST, LLC

August 15, 2019

RE: MAVERIK- 1901 MENAUL BLVD NE
ALBUQUERQUE, NM 87110
MAJOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL
VACATION OF PUBLIC EASEMENT
ZONE ATLAS PAGE H-15-Z

Dear To Whom It May Concern:

Tierra West LLC, on behalf of Maverik Inc., is submitting a Major Subdivision Preliminary/Final Plat and request for Vacation of Public Easement for approval for the subject property. We are requesting a lot line adjustment between two properties of the existing tract of land. The subject property is located on the northwest corner of Menaul Blvd. and University Blvd. NE. The site's address is 1901 Menaul Blvd. NE Albuquerque, NM 87107. The property's legal description is "Tract of Land in Sec 9 T10N R3E in the S/2 SW/4 SE/4 NE/4 excluding the SE'ly Portion out to R/W at the NW corner of Menaul & University & excluding a W'ly portion out to R/W at Menaul & I-25". The total property consists of 7.14 acres of land. The platting and vacation actions are part of the development process for a 5,500 square-foot Maverik convenience store and fuel pump station that is to be located in the southeastern quadrant of the subject property.

Preliminary/Final Plat

The 2.5-acre Maverik site will be located in the southeast quadrant of the subject property, which is 7.13 acres total. Since the Maverik site will not be taking up the entire property, the current landowner will be leasing the 2.5-acre portion to Maverik, Inc. which will require subdividing the lots appropriately. There are currently two separate lots of the property that will require a lot line adjustment in order to do move forward with the development. The replatting action is currently following the Integrated Development Ordinance requirements in order to create a 2.5-acre tract for the Maverik site and a 4.64-acre tract for the remaining balance for future development, which is yet to be determined.

Vacation of Public Easement

The development of the Maverik store and future development on the property will require a vacation of a public drainage easement. The drainage easement varies in width along the north property line of the subject site; however there is currently no public drainage infrastructure within this easement. Correspondence with the City Hydrology Department has determined that this easement was part of an old drainage channel that has since been placed in a storm drain pipe underground and in the travel center property directly north of the Maverik site. Vacating this drainage easement will have no affect towards any adjoining properties, adjoining public right-of-way, or any of the existing public drainage facilities in the area.

If you have any questions or need additional information please contact me.

Sincerely,



Vinny Perea, P.E.

cc: Elizabeth Sorenson, Maverik, Inc.
Christie Hutchings, Maverik, Inc.

JN: 2018062
RRB/vp/jg

5571 Midway Park Pl. NE Albuquerque, NM 87109
(505) 858-3100 fax (505) 858-1118 1-800-245-3102
tierrawestllc.com

ALB BOCA HOTEL LTD PTNS C/O
OCEAN PROPS / ATTN N HEBERT
1000 MARKET ST UNIT 1
PORTSMOUTH NH 03801-3358

PALONI JOHN & SUNWEST BANK TR
PALONI RVT
10600 DEL REY AVE NE
ALBUQUERQUE NM 87122-3514

FED BLDG SERV INC
PO BOX 35280
ALBUQUERQUE NM 87176-5280

ALBUQUERQUE BOCA PARKING
BUILDING 1
1000 MARKET ST SUITE 300
PORTSMOUTH NH 03801-3358

M-F PARTNERSHIP
PO BOX 35280
ALBUQUERQUE NM 87176-5280

UNIVERSITY HOTELS LLC
3304 W HIGHWAY 66
GALLUP NM 87301-6841

ALB BOCA HOTEL LTD PTNS
1000 MARKET ST BLDG 1
PORTSMOUTH NH 03801

ALB BOCA HOTEL LIMITED PRSHIP C/O
OCEAN PROPS / ATTN N HEBERT
1000 MARKET ST UNIT 1
PORTSMOUTH NH 03801-3358

CIRCLE K CONVENIENCE STORES #1777
ATTN: PROPERTY TAX DEPT
PO BOX 52085 DC-17
PHOENIX AZ 85072-2085

BOGGS ALEXANDER D VON
3167 SAN MATEO BLVD NE SUITE N5
ALBUQUERQUE NM 87110

PLE PROPERTIES LLC
3304 TEXAS ST NE
ALBUQUERQUE NM 87110-2313

ALBUQUERQUE BOCA PARKING
BUILDING 1
1000 MARKET ST SUITE 300
PORTSMOUTH NH 03801-3358

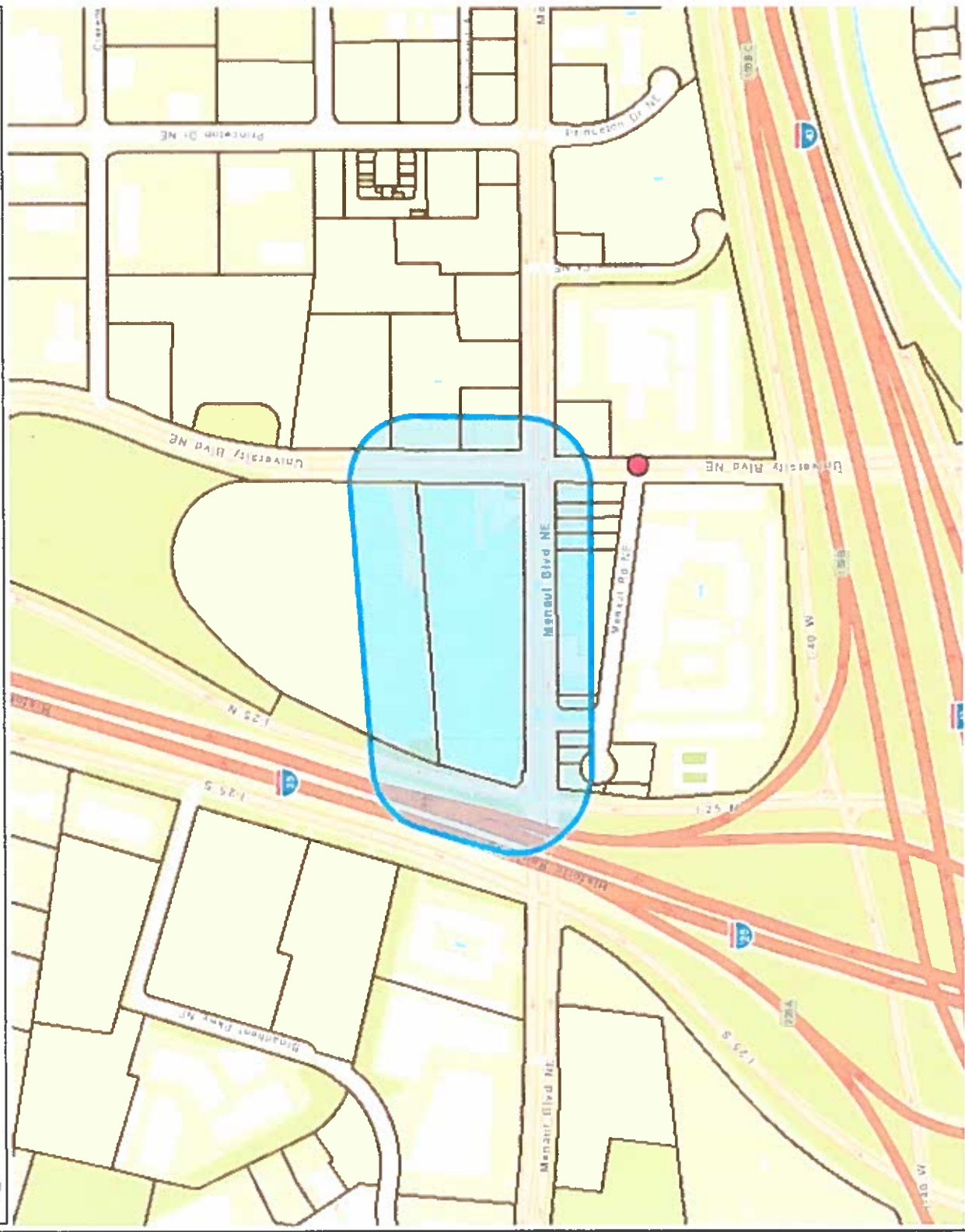
ALB BOCA HOTEL LTD PTNS
1000 MARKET ST BLDG 1
PORTSMOUTH NH 03801

M-F PARTNERSHIP
PO BOX 35280
ALBUQUERQUE NM 87176-5280

TA OPERATING CORPORATION C/O
TAX DEPARTMENT
24601 CENTER RIDGE RD
WESTLAKE OH 44145-5634



Menaul and University



- Legend**
- Bernalillo County Parcels
 - Municipal Limits**
 - Corrales
 - Edgewood
 - Los Ranchos
 - Rio Rancho
 - Tijeras
 - UNINCORPORATED

Notes
 Buffer 208 ft
 ROW Menaul 108 ft



908
 WGS_1984_Web_Mercator_Auxiliary_Sphere
 8/13/2019 © City of Albuquerque
 1: 5,448

The City of Albuquerque ("City") provides the data on this website as a service to the public. The City makes no warranty, representation, or guaranty as to the content, accuracy, timeliness, or completeness of any of the data provided at this website. Please visit <http://www.cabq.gov/abq-data/abq-data-discclaimer> for more information.
THIS MAP IS NOT TO BE USED FOR NAVIGATION

INFRASTRUCTURE LIST

(REV 2-16-18)

EXHIBIT "A"

TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

Date Submitted: _____
Date Site Plan Approved: _____
Date Preliminary Plat Approved: _____
Date Preliminary Plat Expires: _____
DRB Project No.: PR-2019-002294
DRB Application No.: _____

Tracts A-1 & B-1 Truck Stop Plaza

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN
Tract of Land in Section 9 Township 10N Range 3E in the S/2 SW/4 SE/4 NE/4 Excluding the SE/4 Portion out to RW at the NW Corner of Menaul & University
& Excluding a W/4 Portion out to RW at menaul & I-25
EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/Private infrastructure required to be constructed or financially guaranteed for the above development. This listing is not necessarily a complete listing. During the S/A process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed	Constructed Under	Size	Type of Improvement	Location	From	To	Construction Certification	
							Inspector	City Cnst Engineer
<input type="text"/>	<input type="text"/>	24"	RCP Storm Drain	Menaul/I-25 Intersection	SW Corner Tract A-1	Ex. MH in Intersection	/	/
<input type="text"/>	<input type="text"/>	Type D	4x Adjust Storm Inlet Grates To Finished Grade	Two Easternmost Proposed Driveway Entrances off of Menaul Blvd			/	/
<input type="text"/>	<input type="text"/>	32'-Wide	Full-Access Driveway to Menaul Blvd	Menaul Blvd, 495' West of University Blvd			/	/
<input type="text"/>	<input type="text"/>	50'-Wide	Right-Out, Left-Out Driveway to Menaul Blvd	Menaul Blvd, 350' West of University Blvd			/	/
<input type="text"/>	<input type="text"/>	40'-Wide	Right-In, Right-Out Driveway to Menaul Blvd	Menaul Blvd, 208' West of University Blvd			/	/
<input type="text"/>	<input type="text"/>	36'-Wide	Full-Access Driveway to University Blvd	University Blvd, 260' North of Menaul Blvd			/	/
<input type="text"/>	<input type="text"/>	7'-0"	2x Sidewalk/Curb/Gutter Remove and Replace for New Driveway Curb Cuts	N. Side Menaul Blvd, 275' and 430' West of University Blvd			/	/
<input type="text"/>	<input type="text"/>	7'-0"	Sidewalk/Curb/Gutter Remove and Replace for Closing Old Driveway	N. Side Menaul Blvd, 125' West of University Blvd			/	/
<input type="text"/>	<input type="text"/>	7'-0"	Sidewalk/Curb/Gutter Remove and Replace for Closing Old Driveway	W Side University Blvd, 140' North of Menaul Blvd			/	/

Guaranteed DRC #	Under DRC #	Size	Type of Improvement	Location	From	To	Private		City Crst Engineer
							Inspector	P.E.	
		ADA Ramps	6x Unidirectional ADA Ramps at Each Proposed Driveway Entrance (2 per each Driveway Entrance)	N. Side Menaul Blvd. at Each Proposed Driveway Entrance (3)			/	/	/
		ADA Ramps	2x Undirection ADA Ramps at Proposed Driveway Entrance (2 Per each Driveway Entrance)	W Side University Blvd at Proposed Driveway Entrance (1)			/	/	/
		8"	Remove and Replace Median Curb For Full Access Opening	Menaul Blvd	718' West of University Blvd	325' West of University Blvd	/	/	/
		8"	Remove and Replace Median Curb for Extending Left Turn Lane to 160' Long	Menaul Blvd	University Blvd	160' West of University Blvd	/	/	/
		4" & 6"	Remove and Replace Striping for Extending Left Turn Lane to 160' Long	Menaul Blvd	University Blvd	160' West of University Blvd	/	/	/
		6"	SP-III AC for Reconfigured Median and Left Turn Lane Extension	Menaul	University Blvd	715' West of University Blvd	/	/	/
		4" & 6"	Remove and Replace Striping for Extending Left Turn Lane to 160' Long	University Blvd	Menaul Blvd	160' South of Menaul Blvd	/	/	/
		4" & 6"	Remove and Replace Striping for Extending Left Turn Lane to 171' Long	University Blvd	Candelana Rd	285' South of Candelana Rd	/	/	/
		4" & 6"	Remove and Replace Striping for Right Turn Lane Only Addition	University Blvd	Menaul Blvd	325' North of Menaul Blvd	/	/	/
		4" & 6"	Remove and Replace Striping for Extending Right Turn Lane to 233' Long	Vassar Dr	Menaul Blvd	233' North of Menaul Blvd	/	/	/
		30"-Wide	Right-in, Right-Out Driveway to I-25 NB Frontage Rd	I-25 NB Frontage Rd, 237' North of Menaul Blvd			/	/	/
		8"	Remove and Replace Curb/Gutter For Deceleration Lane Addition	I-25 NB Frontage Rd	61' North of Menaul Blvd	217' North of Menaul Blvd	/	/	/
		8"	SP-III AC For Deceleration Lane Addition	I-25 NB Frontage Rd	61' North of Menaul Blvd	217' North of Menaul Blvd	/	/	/

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification	
							Inspector	City Crst Engineer
		4" & 6"	Striping for Deceleration Lane Addition	I-25 NB Frontage Rd	61' North of Menaul Blvd	217' North of Menaul Blvd	/	/
		4" & 6"	Remove and Replace Striping for Additional Left Turn Lane	University Blvd	I-40 EB On-Ramp	350' North of I-40 EB On-Ramp	/	/

Approval of Creditable Items:

Impact Fee Administrator Signature _____ Date _____
 City User Dept. Signature _____ Date _____

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.
 Street lights per City requirements.

- 1 Additional left turn lane at University Blvd/I-40 EB On-Ramp may require vehicle detection and signal timing adjustments
- 2
- 3

AGENT / OWNER _____ **DEVELOPMENT REVIEW BOARD MEMBER APPROVALS** _____

NAME (print) _____ DRB CHAIR - date _____ PARKS & RECREATION - date _____

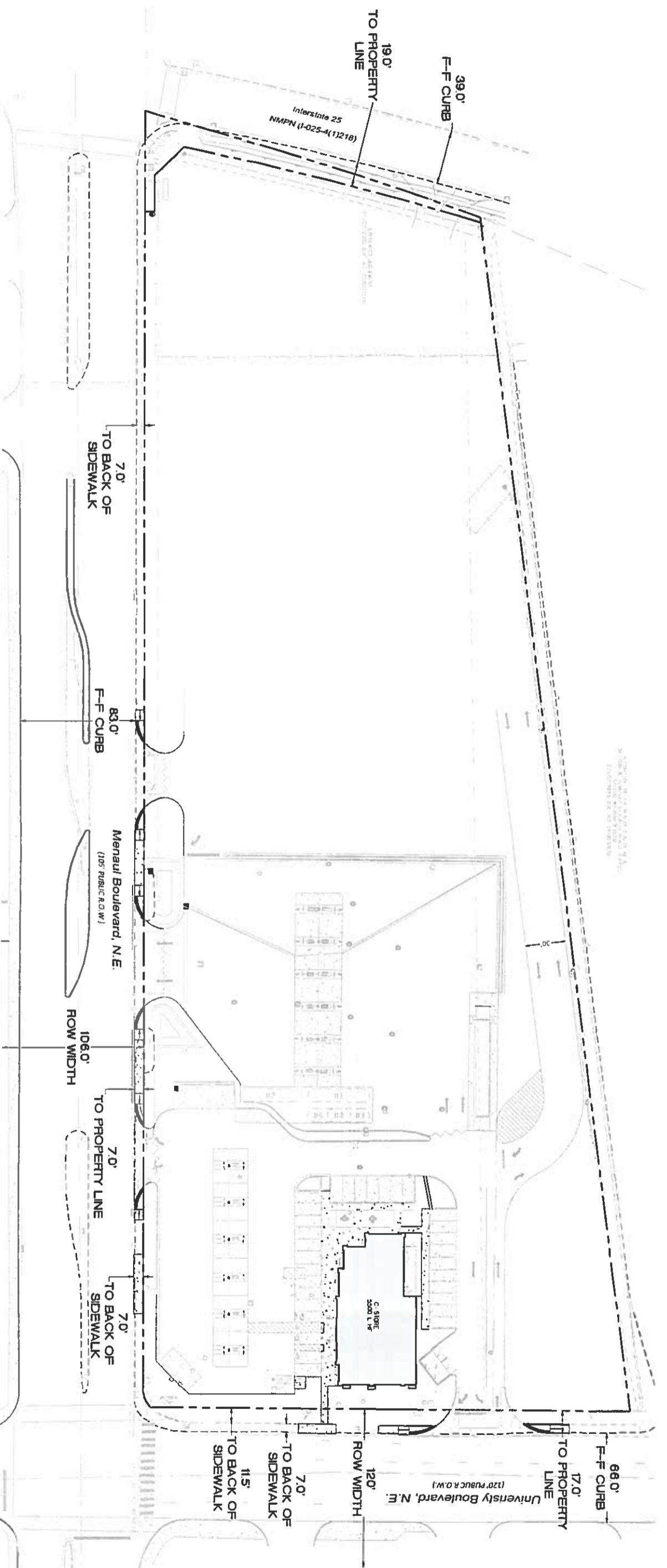
FIRM _____ TRANSPORTATION DEVELOPMENT - date _____ AMAFCA - date _____

SIGNATURE - date _____ UTILITY DEVELOPMENT - date _____ CODE ENFORCEMENT - date _____

CITY ENGINEER - date _____ - date _____

DESIGN REVIEW COMMITTEE REVISIONS

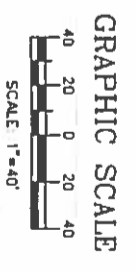
REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER



AS SHOWN ON PLANS, THE CLIENT ASSUMES RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT.

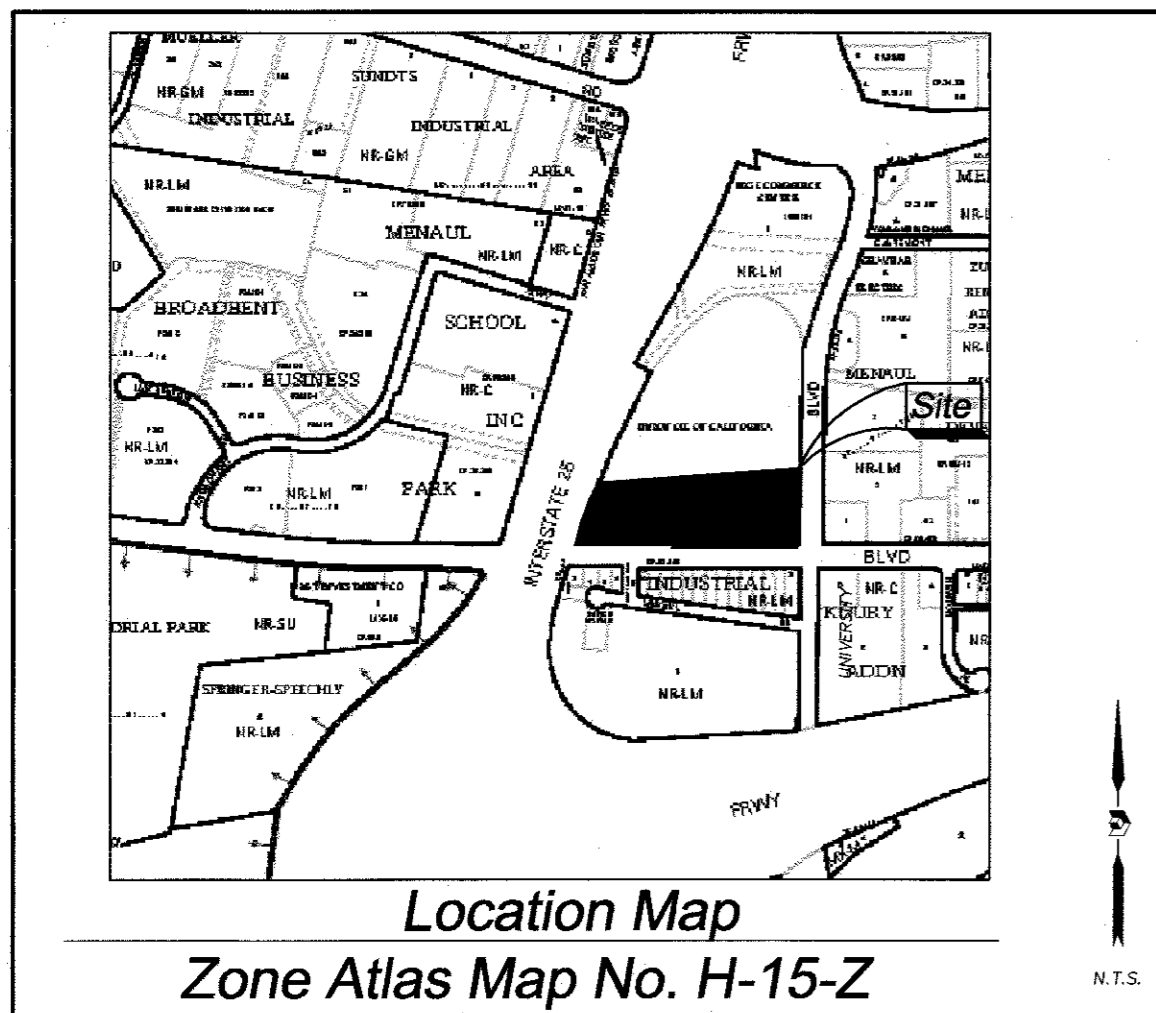
LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- RIGHT-OF-WAY
- BUILDING
- SIDEWALK
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- ⊗ 12" x 12" CATCH BASIN (NDS OR EQUAL)
- ⊙ DROP INLET
- ⊙ CURB INLET



ENGINEER'S SCALE	MAVERIK UNIVERSITY & MENAUL	DRAWN RMG
	SIDEWALK EXHIBIT	DATE 8/13/11
		20110606Z - SIDEWALK
		SHEET

TERRA WEST, LLC
5571 MIDWAY PARK PLACE, INC.
ALBUQUERQUE, NM 87109
(505) 558-3100



RECORDING STAMP

Plat of
Tracts A-1 & B-1
Truck Stop Plaza
Town of Albuquerque Gran Projected
Section 9, Township 10 North, Range 3 East, N.M.P.M.
Albuquerque, Bernalillo County, New Mexico
July 2019

Legal Description

A TRACT OF LAND LYING AND SITUATE WITHIN THE EXTERIOR BOUNDARIES OF THE TOWN OF ALBUQUERQUE GRANT, WITHIN THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, IN PROJECTED SECTION 9, TOWNSHIP 10 NORTH, RANGE 3 EAST, N.M.P.M., AND BEING IDENTIFIED AS TRACTS A AND B FROM A PORTION OF AN UN-PLATTED 6.5774 ACRE TRACT AS DESCRIBED IN THAT SPECIAL WARRANTY DEED FILED ON MAY 4, 1976 IN BOOK D5A, PAGES 424-426, LESS THAN AND EXCEPTING THAT PORTION OUT TO NMDOT FOR RIGHT OF WAY BY STIPULATED JUDGEMENT FILED NOVEMBER 20, 2000, AS DOCUMENT NO. 200015519 AND THAT PORTION OF TRACT B OUT TO THE CITY OF ALBUQUERQUE FOR RIGHT OF WAY BY QUITCLAIM DEED FILED APRIL 28, 1980, AS DOCUMENT NO. 8024872, RECORDS OF BERNALILLO COUNTY, NEW MEXICO, BEING MORE PARTICULARLY DESCRIBED BY NEW MEXICO STATE PLANE COORDINATE SYSTEM GRID BEARINGS (NAD 83-CENTRAL ZONE) AND GROUND DISTANCES (US SURVEY FEET) AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF DESCRIBED TRACT, LYING ON THE WEST RIGHT OF WAY LINE OF UNIVERSITY BOULEVARD, N.E., MARKED BY A FOUND NO. 4 REBAR WITH YELLOW PLASTIC CAP (ILLEGIBLE), FROM WHENCE A TIE TO FOUND A.G.R.S. MONUMENT "L_40_12" BEARS S 83°09'46" E, A DISTANCE OF 3472.86 FEET;

THENCE FROM SAID POINT OF BEGINNING, ALONG SAID WEST RIGHT OF WAY LINE, S 00°33'30" W, A DISTANCE OF 359.49 FEET TO THE SOUTHEAST CORNER OF DESCRIBED TRACT, MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE LEAVING SAID WEST RIGHT OF WAY LINE ALONG A NON-TANGENT CURVE TO THE RIGHT, HAVING AN ARC LENGTH OF 12.79 FEET, A RADIUS OF 20.92 FEET, A DELTA ANGLE OF 35°02'28", A CHORD BEARING OF S 63°21'25" W, AND A CHORD LENGTH OF 12.60 FEET, TO AN ANGLE POINT, LYING ON THE NORTH RIGHT OF WAY LINE OF MENAUL BOULEVARD, N.E., MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE ALONG SAID NORTH RIGHT OF WAY LINE, S 89°58'04" W, A DISTANCE OF 229.02 FEET TO AN ANGLE POINT, MARKED BY A FOUND NO. 4 REBAR WITH YELLOW PLASTIC CAP (ILLEGIBLE);

THENCE CONTINUING ALONG SAID NORTH RIGHT OF WAY LINE, S 89°58'04" W, A DISTANCE OF 659.71 FEET TO THE SOUTHWEST CORNER OF DESCRIBED TRACT, MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE LEAVING SAID NORTH RIGHT OF WAY LINE, N 00°01'59" W, A DISTANCE OF 7.31 FEET TO AN ANGLE POINT, MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE S 89°57'59" W, A DISTANCE OF 27.11 FEET TO AN ANGLE POINT, MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE N 44°23'05" W, A DISTANCE OF 30.40 FEET TO A POINT OF NON-TANGENT CURVATURE, MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE ALONG A NON-TANGENT CURVE TO THE RIGHT, HAVING AN ARC LENGTH OF 222.36 FEET, A RADIUS OF 2441.92 FEET, A DELTA ANGLE OF 05°13'02", A CHORD BEARING OF N 14°15'56" E, AND A CHORD LENGTH OF 222.28 FEET, TO A POINT OF TANGENCY, MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE N 16°52'29" E, A DISTANCE OF 7.66 FEET TO THE NORTHWEST CORNER OF DESCRIBED TRACT, MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE N 82°45'00" E, A DISTANCE OF 902.09 FEET TO THE POINT OF BEGINNING, CONTAINING 6.5008 ACRES (283,175 SQUARE FEET), MORE OR LESS, NOW COMPRISING OF TRACTS A-1 AND B-1, TRUCK STOP PLAZA.

Subdivision Data:

CROSS SUBDIVISION ACREAGE: 6.5008 ACRES±
ZONE ATLAS INDEX NO.: H-15-Z
NO. OF TRACTS CREATED: 2
NO. OF LOTS CREATED: 0
MILES OF FULL-WIDTH STREETS CREATED: 0

Purpose of Plat

THE PURPOSE OF THIS PLAT IS TO REPLAT THE EXISTING TWO TRACTS INTO TWO NEW TRACTS AND TO GRANT EASEMENTS

Solar Note:

NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERECTED ON THE LOTS OF PARCELS WITHIN THE AREA OF THIS PLAT.

Free Consent

THE REPLAT SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

SAID OWNER DOES HEREBY GRANT ALL EASEMENTS AS SHOWN HEREON WITH LISTED BENEFICIARIES AND STIPULATIONS.

Public Utility Easements

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON JOINT USE OF:
A. PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM), A NEW MEXICO CORPORATION, (PNM ELECTRIC) FOR INSTALLATION, MAINTENANCE AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, AND OTHER EQUIPMENT AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICES.

B. NEW MEXICO GAS COMPANY FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS SERVICES.

C. QWEST CORPORATION D/B/A CENTURYLINK QC FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES.

D. CABLE TV FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE SERVICES.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE WITHIN THE EASEMENT CHANGE, REMOVE, REPLACE, MODIFY, RENEW, OPERATE AND MAINTAIN FACILITIES FOR PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM AND OVER SAID EASEMENTS, WITH THE RIGHT AND PRIVILEGE OF GOING UPON, OVER AND ACROSS ADJOINING LANDS OF GRANTEE FOR THE PURPOSES SET FORTH HEREIN AND WITH THE RIGHT TO UTILIZE THE RIGHT OF WAY AND EASEMENT TO EXTEND SERVICES TO CUSTOMERS OF GRANTEE, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMER/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN (10) FEET IN FRONT OF TRANSFORMER/SWITCHGEAR DOORS AND FIVE (5) FEET ON EACH SIDE.

Disclaimer

IN APPROVING THIS PLAT, PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM), QWEST CORPORATION D/B/A CENTURYLINK QC AND NEW MEXICO GAS COMPANY (NMGC) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PNM, QWEST CORPORATION D/B/A CENTURYLINK QC AND NMGC DO NOT WAIVE OR RELEASE ANY EASEMENT OR EASEMENT RIGHTS WHICH HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT OR OTHER DOCUMENT AND WHICH ARE NOT SHOWN SPECIFICALLY DESCRIBED AND ON THIS PLAT.

Project No. PR-2019-

Application No. _____

Utility Approvals

PNM _____ DATE _____

NEW MEXICO GAS COMPANY _____ DATE _____

QWEST CORPORATION D/B/A CENTURYLINK QC _____ DATE _____

COMCAST _____ DATE _____

City Approvals

Larry W. Medrano P.S. 8/13/19
CITY SURVEYOR _____ DATE _____

TRAFFIC ENGINEERING, TRANSPORTATION DEPARTMENT _____ DATE _____

A.B.C.W.U.A. _____ DATE _____

PARKS AND RECREATION DEPARTMENT _____ DATE _____

AMAFCA _____ DATE _____

CITY ENGINEER _____ DATE _____

DRB CHAIRPERSON, PLANNING DEPARTMENT _____ DATE _____

CODE ENFORCEMENT _____ DATE _____

Surveyor's Certificate

I, LARRY W. MEDRANO, A REGISTERED NEW MEXICO PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF THE MINIMUM STANDARDS FOR LAND SURVEYS AS ADOPTED BY THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

Larry W. Medrano 7/30/19
LARRY W. MEDRANO
N.M.P.S. No. 11993
DATE _____

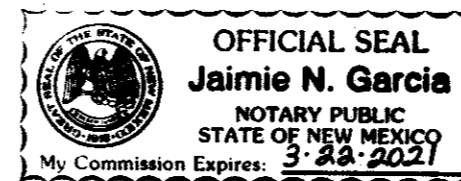


Sheryl Paloni
SHERYL PALONI
MANAGER
THE TRUCK STOP PLAZA, LLC

8-2-19
DATE

Acknowledgment

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO) SS



THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 2nd DAY OF August, 2019 BY
SHERYL PALONI, MANAGER, THE TRUCK STOP PLAZA, LLC

By *Jaimie N. Garcia* MY COMMISSION EXPIRES: 3-22-2021
NOTARY PUBLIC

COORDINATE AND DIMENSION INFORMATION			PLSS INFORMATION				PROPERTY INFORMATION		PROJECT INFORMATION			
STATE PLANE ZONE: NM-C	GRID GRID	TYPE: STANDARD	LAND GRANT TOWN OF ALBUQUERQUE GRANT				PROPERTY OWNER THE TRUCK STOP PLAZA, LLC.		PRECISION SURVEYS, INC.	OFFICE LOCATION: 9200 San Mateo Boulevard, NE Albuquerque, NM 87113 505.856.5700 PHONE 505.856.7900 FAX	CREW/TECH: MT	DATE OF SURVEY 10/1-2/2018
HORIZONTAL DATUM: NAD83	VERTICAL DATUM: NAVD88	ROTATION ANGLE: 0° 00' 00.00"	SECTION 9	TOWNSHIP 10 NORTH	RANGE 3 EAST	MERIDIAN NMPM	SUBDIVISION NAME TRUCK STOP PLAZA	DRAWN BY: JK			CHECKED BY: LM	
CONTROL USED: ALBUQUERQUE GEODETIC REFERENCE SYSTEM		MATCHES DRAWING UNITS YES	CITY ALBUQUERQUE		COUNTY BERNALILLO	STATE NM	UPC 101505942129310108	PSI JOB NO. 18-1144P	SHEET NUMBER 1 OF 2			
COMBINED SCALE FACTOR: GRID TO GROUND: 1.000326784 GROUND TO GRID: 0.999673323		BASE POINT FOR SCALING AND/OR ROTATION: N = 0 E = 0	ELEVATION TRANSLATION: ±0.00'		ELEVATIONS VALD: NO							

Drainage Facilities and/or Detention Areas Maintained by Lot Owner

AREAS DESIGNATED ON THE ACCOMPANYING PLAT AS "DRAINAGE EASEMENTS" ARE HEREBY DEDICATED BY THE OWNER AS A PERPETUAL EASEMENT FOR THE COMMON USE AND BENEFIT OF THE VARIOUS LOTS WITHIN THE SUBDIVISIONS FOR THE PURPOSE OF PERMITTING THE CONVEYANCE OF STORM WATER RUNOFF AND THE CONSTRUCTING AND MAINTAINING OF DRAINAGE FACILITIES IN ACCORDANCE WITH STANDARDS PRESCRIBED BY THE CITY OF ALBUQUERQUE. NO FENCE, WALL, PLANTING, BUILDING OR OTHER OBSTRUCTION MAY BE PLACED OR MAINTAINED IN EASEMENT AREA WITHOUT APPROVAL OF THE CITY ENGINEER OF THE CITY OF ALBUQUERQUE. THERE ALSO SHALL BE NO ALTERATION OF THE GRADES OR CONTOURS IN SAID EASEMENT AREA WITHOUT THE APPROVAL OF THE CITY ENGINEER. IT SHALL BE THE DUTY OF THE LOT OWNERS OF THIS SUBDIVISION TO MAINTAIN SAID DRAINAGE EASEMENT AND FACILITIES AT THEIR COST IN ACCORDANCE WITH STANDARDS PRESCRIBED BY THE CITY OF ALBUQUERQUE. THE CITY SHALL HAVE THE RIGHT TO ENTER PERIODICALLY TO INSPECT THE FACILITIES. IN THE EVENT SAID LOT OWNERS FAIL TO ADEQUATELY AND PROPERLY MAINTAIN DRAINAGE EASEMENT AND FACILITIES, AT ANY TIME FOLLOWING FIFTEEN (15) DAYS WRITTEN NOTICE TO SAID LOT OWNERS, THE CITY MAY ENTER UPON SAID AREA, PERFORM SAID MAINTENANCE, AND THE COST OF PERFORMING SAID MAINTENANCE SHALL BE PAID BY APPLICABLE LOT OWNERS PROPORTIONATELY ON THE BASIS OF LOT OWNERSHIP. IN THE EVENT LOT OWNERS FAIL TO PAY THE COST OF MAINTENANCE WITHIN THIRTY (30) DAYS AFTER DEMAND FOR PAYMENT MADE BY THE CITY, THE CITY MAY FILE A LIEN AGAINST ALL LOTS IN THE SUBDIVISION FOR WHICH PROPORTIONATE PAYMENT HAS NOT BEEN MADE. THE OBLIGATIONS IMPOSED HEREIN SHALL BE BINDING UPON THE OWNER, HIS HEIRS, AND ASSIGNS AND SHALL RUN WITH ALL LOTS WITHIN THIS SUBDIVISION.

THE GRANTOR AGREES TO DEFEND, INDEMNIFY, AND HOLD HARMLESS, THE CITY, ITS OFFICIALS, AGENTS AND EMPLOYEES FROM AND AGAINST ANY AND ALL CLAIMS, ACTIONS, SUITS, OR PROCEEDINGS OF ANY KIND BROUGHT AGAINST SAID PARTIES FOR OR ON ACCOUNT OF ANY MATTER ARISING FROM THE DRAINAGE FACILITY PROVIDED FOR HEREIN OR THE GRANTOR'S FAILURE TO CONSTRUCT, MAINTAIN, OR MODIFY SAID DRAINAGE FACILITY.

Notes:

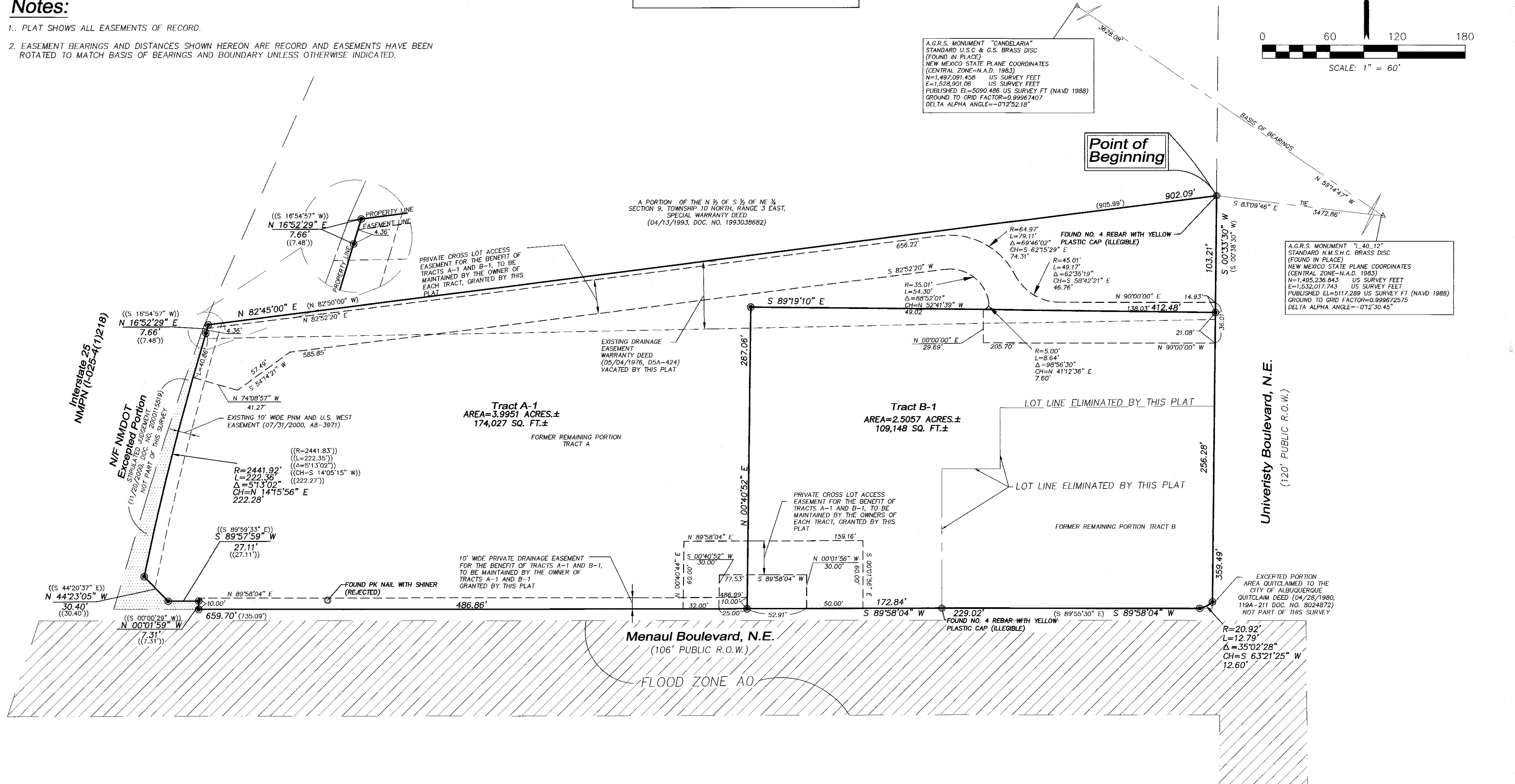
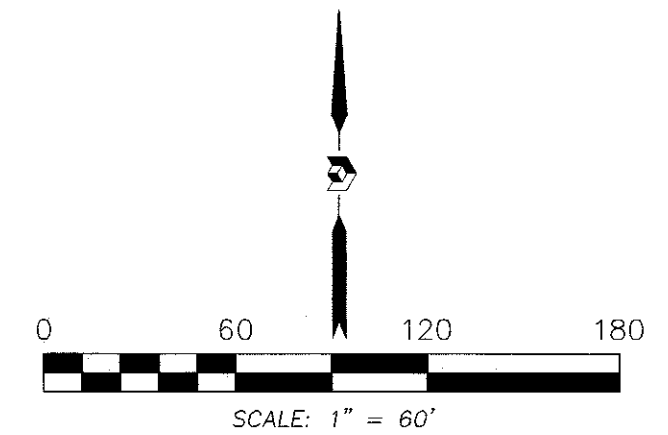
1. PLAT SHOWS ALL EASEMENTS OF RECORD.
2. EASEMENT BEARINGS AND DISTANCES SHOWN HEREON ARE RECORD AND EASEMENTS HAVE BEEN ROTATED TO MATCH BASIS OF BEARINGS AND BOUNDARY UNLESS OTHERWISE INDICATED.

RECORDING STAMP

Legend

- N 90°00'00" E MEASURED BEARING AND DISTANCES
(N 90°00'00" E) RECORD BEARINGS AND DISTANCES PER TITLE COMMITMENT
(N 90°00'00" E) RECORD BEARINGS AND DISTANCES PER STIPULATED JUDGEMENT
- FOUND AND USED MONUMENT AS DESIGNATED
 - DENOTES NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993" OR PK NAIL WITH TAG "PS 11993" SET THIS SURVEY
 - △ FOUND ALUMINUM AGRS MONUMENT AS DESIGNATED

Plat of
Tracts A-1 & B-1
Truck Stop Plaza
Town of Albuquerque Gran Projected
Section 9, Township 10 North, Range 3 East, N.M.P.M.
Albuquerque, Bernalillo County, New Mexico
July 2019



COORDINATE AND DIMENSION INFORMATION			PLSS INFORMATION				PROPERTY INFORMATION		PROJECT INFORMATION	
STATE PLANE ZONE: NM-C	GRID COORDINATES: GRID	TYPE: STANDARD	LAND GRANT TOWN OF ALBUQUERQUE GRANT				PROPERTY OWNER THE TRUCK STOP PLAZA, LLC.		CREW/TECH: MT	DATE OF SURVEY 10/1-2/2018
HORIZONTAL DATUM: NAD83	VERTICAL DATUM: NAVD88	ROTATION ANGLE: 0° 00' 00.00"	SECTION 9	TOWNSHIP 10 NORTH	RANGE 3 EAST	MERIDIAN NMPM	SUBDIVISION NAME TRUCK STOP PLAZA	DRAWN BY: JK		
CONTROL USED: ALBUQUERQUE GEODETIC REFERENCE SYSTEM			CITY ALBUQUERQUE				COUNTY BERNALILLO		PSI JOB NO. 18-1144P	SHEET NUMBER 2 OF 2
COMBINED SCALE FACTOR: GRID TO GROUND: 1.000326784 GROUND TO GRID: 0.999673323			STATE NM				UPC 101505942129310108			

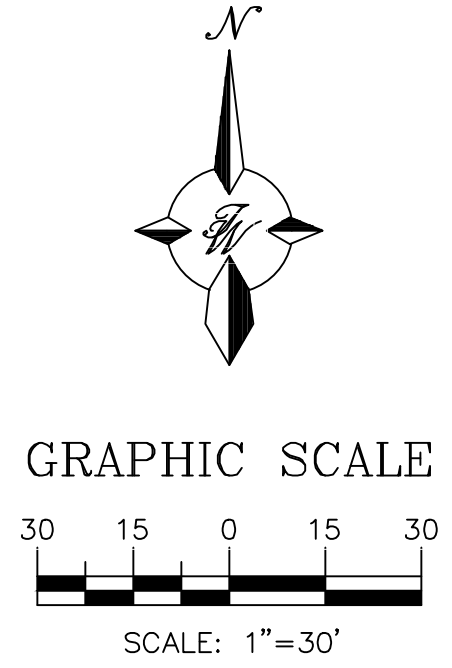


OFFICE LOCATION:
9200 San Mateo Boulevard, NE
Albuquerque, NM 87113
505.856.5700 PHONE
505.856.7900 FAX

A PORTION OF THE N 1/2 OF S 1/2 OF NE 1/4 SECTION 9, TOWNSHIP 10 NORTH, RANGE 3 EAST, SPECIAL WARRANTY DEED (04/13/1993, DOC. NO. 1993038682)

DRAINAGE EASEMENT WARRANTY DEED (05/04/1976, DSA-424)

University Boulevard, N.E.
(120' PUBLIC R.O.W.)

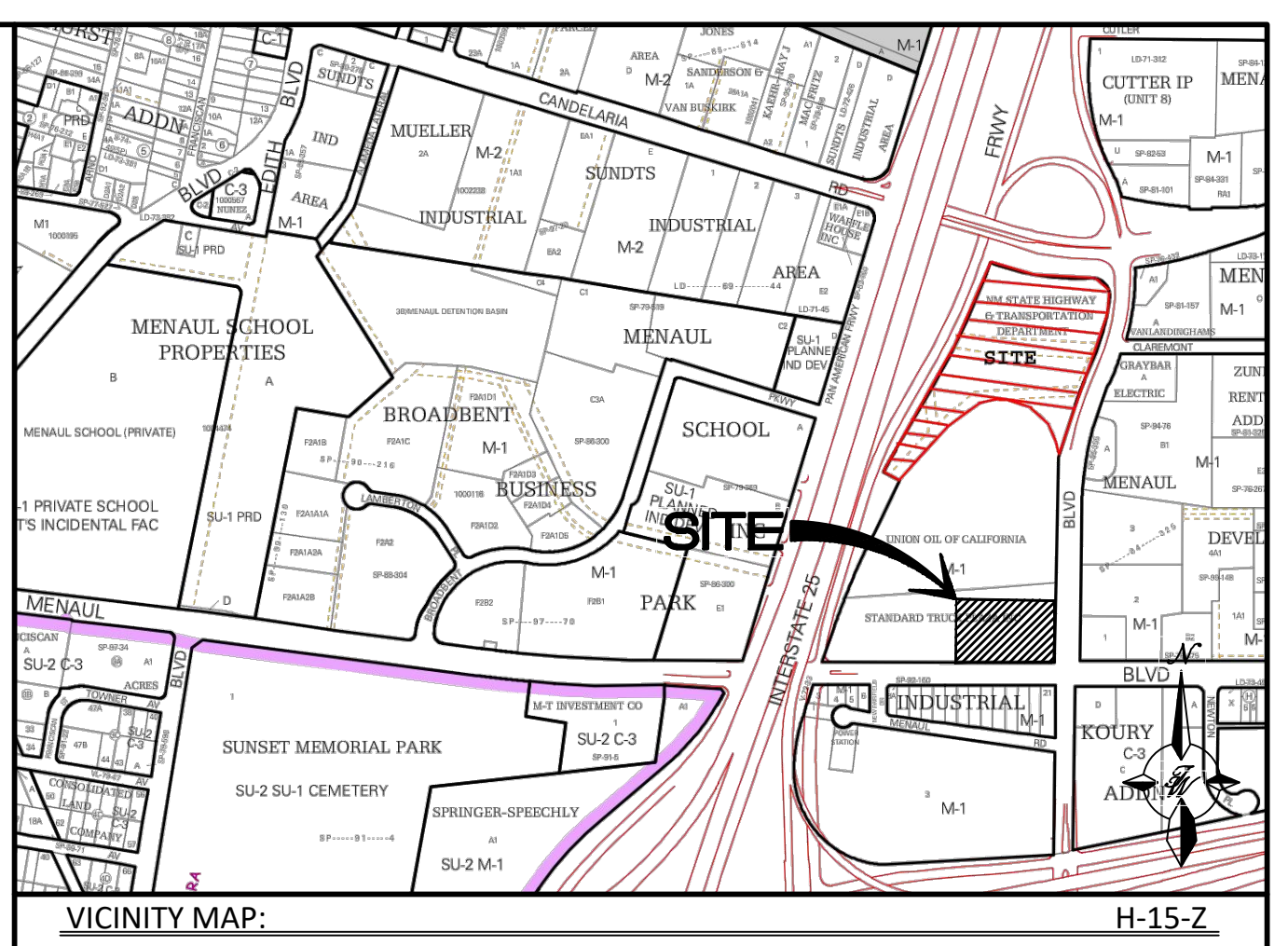


GRAPHIC SCALE
SCALE: 1" = 30'

LEGEND

—	CURB & GUTTER
---	BOUNDARY LINE
- - -	EASEMENT
---	CENTERLINE
---	RIGHT-OF-WAY
---	BUILDING
---	SIDEWALK/CONCRETE
---	ASPHALT
---	EXISTING CURB & GUTTER
☼	STREET LIGHTS

- NOTES:**
- SEE ELECTRICAL PLANS FOR ALL LIGHT POLES & LIGHT POLE LOCATIONS. ALL LIGHT POLES BASES SHALL BE STRAIGHT AND PLASTERED SMOOTH. TOP OF LIGHT BASE SHALL BE 2'-6" ABOVE TOP OF CURB/SIDEWALK. BASES PROVIDED BY G.C., TYP.
 - XACTAIR STATION ON 30"x36" CONCRETE PAD. EQUIPMENT PROVIDED BY OWNER. G.C. TO PROVIDE ELECTRICAL SERVICE AND INSTALL AIR STATION EQUIPMENT.
 - ALL UTILITY DIGGING OR OTHER EXCAVATION SHALL TAKE IN CONSIDERATION EXISTING SIDEWALKS, CURB & GUTTERS AND OTHER STRUCTURES THAT MAY NEED TO BE REMOVED AND/OR REPLACED AS PART OF THE G.C. BID.
 - ALL RETAIL PRODUCT AREAS ARE TO BE UNDER THE BUILDINGS PERMANENT ROOF



LEGAL DESCRIPTION:
REMAINING PORTION TRACT A AND REMAINING PORTION TRACT B, LYING AT THE NORTHEAST CORNER OF IR-25 (I-025-4(1)218) AND MENAUL BLVD. N.E.

SITE DATA

PROPOSED USAGE:	GAS CONVENIENCE STORE
IDO CLASSIFICATION:	HEAVY AND LIGHT VEHICLE FUELING STATION
LOT AREA:	108,900 SF (2.50 ACRES)
ADDRESS:	TBD
BUILDING AREA:	5,500 SF
STACK:	
ASPHALT AREA:	
PARKING REQUIRED:	22 SPACES (4 SPACES PER 1,000 SF)
PARKING PROVIDED:	38 SPACES
HC PARKING REQUIRED:	2 SPACES
HC PARKING PROVIDED:	2 SPACES (1 VAN ACCESSIBLE)
MC PARKING REQUIRED:	2 SPACES
MC PARKING PROVIDED:	2 SPACES
BICYCLE PARKING REQUIRED:	2 SPACES
BICYCLE PARKING PROVIDED:	2 SPACES
LANDSCAPE AREA REQUIRED:	15,510 SF
LANDSCAPE AREA PROVIDED:	16,155 SF

PROJECT NUMBER: _____
APPLICATION NUMBER: _____

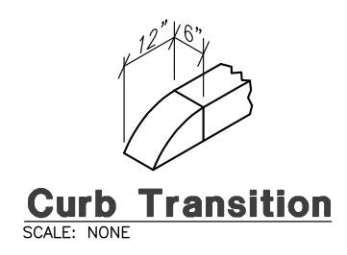
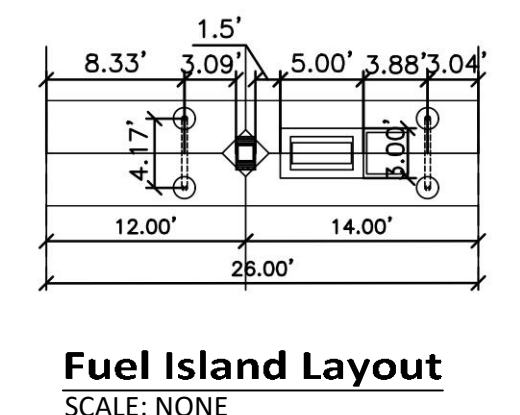
Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineer, Transportation Division	Date
ABCWUA	Date
Parks & Recreation Department	Date
City Engineer/Hydrology	Date
Code Enforcement	Date
*Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

* Environmental Health, if necessary

- KEYED NOTES**
- | | |
|--|---|
| 1 ACCESSIBLE PARKING PER ADA STANDARDS WITH SIGN SEE DETAIL SHT. C5 | 17 ADA PICNIC TABLE (SEE ARCH. PLANS) |
| 2 MOTORCYCLE PARKING WITH SIGN | 18 PICNIC TABLE (SEE ARCH. PLANS) |
| 3 ON-SITE CURB & GUTTER (SEE DETAIL SHT. C6) | 19 CONCRETE PARKING STALL (SEE DETAIL SHT. C6) |
| 4 MODIFIED OIL-WATER SEPARATOR: SINGLE TYPE C INLET COA STD DWG 2205. SNOUT DETAIL SEE SHEET C9. | 20 PETROLEUM TRENCH CAP SECTION (SEE DETAIL SHT. C6) |
| 5 CONCRETE SIDEWALK (SEE DETAIL SHT. C7) | 21 XACTAIR AIR STATION (SEE DETAIL SHT. C6) |
| 6 BOLLARDS (SEE DETAIL SHT. C7) | 22 TRUNCATED DOMES (SEE DETAIL SHT. C8) |
| 7 EXISTING WALL (TO REMAIN) | 23 "HOOP" BOLLARD (SEE DETAIL SHT. C7) |
| 8 DUMPSTER (SEE DETAIL SHT. C8) | 24 ASPHALT PAVING (SEE GEOTECH REPORT) |
| 9 GAS PUMP ISLAND (TYP) | 25 MAVERIK D/F ILLUMINATED PYLON SIGN (SEE ARCH. PLANS) |
| 10 MAVERIK MONUMENT SIGN (SEE ARCH. PLANS) | 26 UNDERGROUND STORAGE FUEL TANKS (REFER MECH. PLANS) |
| 11 2.0' STOP BAR | 27 SIDEWALK CULVERT COA STD DWG 2236 |
| 12 BICYCLE RACKS (SEE DETAIL SHT. C8) | 28 CURB & GUTTER (PER COA STD 2415A) |
| 13 UNIDIRECTIONAL ACCESSIBLE RAMP (SEE DETAIL SHT. C8) | 29 GREASE INTERCEPTOR |
| 14 CONCRETE SLAB W/CHAMFERED CORNERS | |
| 15 4' CONCRETE SIDEWALK (SEE DETAIL SHT. C7) | |
| 16 POWER POLE TO BE REMOVED (BY OTHERS) | |



- INDEX TO DRAWINGS**
- C1. SITE PLAN FOR BUILDING PERMIT
 - C2-A. CONCEPTUAL GRADING PLAN
 - C2-B. CONCEPTUAL GRADING PLAN
 - C3. GRADING DETAILS—FUEL CANOPIES
 - C4. GRADING DETAILS—ROOF DRAINS
 - C5. MASTER UTILITY PLAN
 - C6. CONSTRUCTION DETAILS
 - C7. CONSTRUCTION DETAILS
 - C8. CONSTRUCTION DETAILS
 - C9. CONSTRUCTION DETAILS
 - C10. DEMOLITION PLAN



ENGINEER'S SEAL	MAVERIK UNIVERSITY & MENAUL	DRAWN BY DY
	SITE PLAN FOR BUILDING PERMIT	DATE 4/24/19
	TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	2018062-C1-SPB
RONALD R. BOHANNAN P.E. #7868		SHEET # C1
		JOB # 2018062

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