



DEVELOPMENT REVIEW BOARD  
SUPPLEMENTAL SUBMITTAL

**(Deadline is Friday at noon unless noted on 2019 agenda – late submittals will not be accepted unless approved by the DRB)**

PROJECT NO. PR-2019-002294  
Application No. SD-2019-00152, -00151, and -00150

TO:

- Planning Department/Chair
- Hydrology
- Transportation Development
- Albuquerque/ Bernalillo Co. WUA
- Code Enforcement

\*(Please attach this sheet with each collated set for each board member)

**NOTE: ELECTRONIC VERSION (ie disk, thumbdrive) is Required. Submittal will not be accepted without.**

DRB SCHEDULED HEARING DATE: 9/11/2019 HEARING DATE OF DEFERRAL: 9/25/2019

SUBMITTAL DESCRIPTION: Updates per DRB comments to: plat for Menaul ROW dedication, justification letter for IDO criteria,

Sidewalk exhibit for additional dimensions, infrastructure list for drainage items and cleaner organization, pole/bus stop

clearance exhibit for identifying clear width from sidewalks, vacation exhibit identifying the drainage easement to be

vacated in relation to the site plan.

CONTACT NAME: Vinny Perea, PE

TELEPHONE: 505-858-3100 EMAIL: vperea@tierrawestllc.com



# TIERRA WEST, LLC

September 12, 2019

Ms. Kym Dicome  
Development Review Board  
P.O. Box 1293  
Albuquerque, NM 87103

**RE: MAVERIK- 1901 MENAUL BLVD NE  
ALBUQUERQUE, NM 87110  
MAJOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL  
VACATION OF PUBLIC EASEMENT  
ZONE ATLAS PAGE H-15-Z**

Dear Ms. Dicome:

Tierra West LLC, on behalf of Maverik Inc., is submitting a Major Subdivision Preliminary/Final Plat and request for Vacation of Public Easement for approval for the subject property. We are requesting a lot line adjustment between two properties of the existing tract of land. The subject property is located on the northwest corner of Menaul Blvd. and University Blvd. NE. The site's address is 1901 Menaul Blvd. NE Albuquerque, NM 87107. The property's legal description is "Tract of Land in Sec 9 T10N R3E in the S/2 SW/4 SE/4 NE/4 excluding the SE'y Portion out to R/W at the NW corner of Menaul & University & excluding a W'y portion out to R/W at Menaul & I-25". The total property consists of 7.14 acres of land. The platting and vacation actions are part of the development process for a 5,500 square-foot Maverik convenience store and fuel pump station that is to be located in the southeastern quadrant of the subject property.

### **Preliminary/Final Plat**

The 2.5-acre Maverik site will be located in the southeast quadrant of the subject property, which is 7.13 acres total. Since the Maverik site will not be taking up the entire property, the current landowner will be leasing the 2.5-acre portion to Maverik, Inc. which will require subdividing the lots appropriately. There are currently two separate lots of the property that will require a lot line adjustment in order to do move forward with the development. The replatting action is currently following the Integrated Development Ordinance requirements in order to create a 2.5-acre tract for the Maverik site and a 4.64-acre tract for the remaining balance for future development, which is yet to be determined.

Per section 14-16-6-6(K)(3), a plat shall be approved if it meets the following criteria in bold:

**1. *Is Consistent with the ABC Comp Plan, as amended.***

The subject property falls within an "Area of Change" as shown on the map in Figure 5-6 of the ABC Comp Plan. This means that this property is supported by the comp plan for desired growth and redevelopment with a mix of uses. The total property will have a mix of uses including gas/convenience store, and potentially a hotel and/or restaurant use for the balance of the property in future development, creating new employment opportunities.

**2. *Complies with all applicable provisions of the IDO, the DPM, other adopted City regulations, and any conditions specifically applied to development of the property in a prior permit or approval affecting the property.***

5571 Midway Park Pl. NE Albuquerque, NM 87109  
(505) 858-3100 fax (505) 858-1118 1-800-245-3102  
tierrawestllc.com

The plat complies with the applicable provisions of the IDO and the DPM, following the procedure of a DRB meeting for a sketch plat, which has already occurred, and going through the DRB process for both preliminary and final plat approval. Neighborhood notifications and sign posting have also been created and distributed to follow the IDO notification process.

**Vacation of Public Easement**

The development of the Maverik store and future development on the property will require a vacation of a public drainage easement. The drainage easement varies in width along the north property line of the subject site; however there is currently no public drainage infrastructure within this easement. Correspondence with the City Hydrology Department has determined that this easement was part of an old drainage channel that has since been placed in a storm drain pipe underground and in the travel center property directly north of the Maverik site. Vacating this drainage easement will have no affect towards any adjoining properties, adjoining public right-of-way, or any of the existing public drainage facilities in the area.

Per section 14-16-6-6(L)(3), a vacation of easement shall be approved if it complies with the following criteria in bold:

**6-6(L)(3)(a) The public welfare does not require that the public right-of-way or easement be retained.**

It has been identified by the City Hydrology Department and their records that this easement was for the former alignment of remnant Embudo Channel. The channel has since been modified to convey stormwater via underground piping running through the property directly north of the subject site and outside of the easement, so this drainage easement serves no purpose as there is no current infrastructure within it.

If you have any questions or need additional information please contact me.

Sincerely,



Vinny Perea, P.E.

cc: Elizabeth Sorenson, Maverik, Inc.  
Christie Hutchings, Maverik, Inc.

JN: 2018062  
RRB/vp/jg

**INFRASTRUCTURE LIST**

(Rev. 2-16-18)

**EXHIBIT "A"**

**TO SUBDIVISION IMPROVEMENTS AGREEMENT  
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

**Tracts A-1 & B-1 Truck Stop Plaza**

**PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN**

**Tract of Land in Section 9 Township 10N Range 3E in the S/2 SW/4 SE/4 NE/4 Excluding the SE'ly Portion out to R/W at the NW Corner of Menaul & University  
& Excluding a W'ly Portion out to R/W at menaul & I-25**

**EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION**

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private		City Cnst Engineer
							Inspector	P.E.	
<input type="text"/>	<input type="text"/>	24"	RCP Storm Drain	Menaul/I-25 Intersection	SW Corner Tract A-1	Ex. MH in Intersection	/	/	/
<input type="text"/>	<input type="text"/>	Type D	4x Adjust Storm Inlet Grates To Finished Grade	N. Side Menaul Blvd	354' West of University Blvd	163' West of University Blvd	/	/	/
<input type="text"/>	<input type="text"/>	32'-Wide	Full-Access Driveway to Menaul Blvd, Valley Gutters, and ADA ramps	N. Side Menaul Blvd	543' West of University Blvd	444' West of University Blvd	/	/	/
<input type="text"/>	<input type="text"/>	50'-Wide	Right-Out, Left-Out Driveway to Menaul Blvd, Valley Gutters, and ADA Ramps	N. Side Menaul Blvd	411' West of University Blvd	294' West of University Blvd	/	/	/
<input type="text"/>	<input type="text"/>	40'-Wide	Right-In, Right-Out Driveway to Menaul Blvd, Valley Gutters, and ADA Ramps	N. Side Menaul Blvd	254' West of University Blvd	159' West of University Blvd	/	/	/
<input type="text"/>	<input type="text"/>	36'-Wide	Full-Access Driveway to University Blvd Valley Gutters, and ADA Ramps	W. Side University Blvd	328' North of Menaul Blvd	199' North of Menaul Blvd	/	/	/
<input type="text"/>	<input type="text"/>	30'-Wide	Right-In, Right-Out Driveway to I-25 NB Frontage Rd, Valley Gutters, and ADA Ramps	I-25 NB Frontage Rd	237' North of Menaul Blvd	Menaul Blvd	/	/	/
<input type="text"/>	<input type="text"/>	6'-0"	Sidewalk/Curb/Gutter Remove and Replace for New Driveway Curb Cuts	N. Side Menaul Blvd	444' West of University Blvd	35' West of University Blvd	/	/	/
<input type="text"/>	<input type="text"/>	6'-0"	Sidewalk/Curb/Gutter Remove and Replace	W. Side University Blvd	328' North of University Blvd	44' North of University Blvd	/	/	/

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private		City Cnst Engineer
							Inspector	P.E.	
			Dedicated Left Turn Lane Extension Median Curb/Gutter/Paving/Striping	Menaul Blvd	266' West of University Blvd	University Blvd	/	/	/
			Full Access Median Modification Median Curb/Gutter/Paving/Striping	Menaul Blvd	711' West of University Blvd	320' West of University Blvd	/	/	/
		4" & 6"	Dedicated Left Turn Lane Extension Remove & Replace Striping	University Blvd	Menaul Blvd	160' South of Menaul Blvd	/	/	/
		4" & 6"	Dedicated Right Turn Lane Addition Remove & Replace Striping	University Blvd	735' North of Menaul Blvd	Menaul Blvd	/	/	/
		4" & 6"	Dedicated Left Turn Lane Extension Remove & Replace Striping	University Blvd	Candelaria Rd	285' South of Candelaria Rd	/	/	/
		4" & 6"	Dedicated Right Turn Lane Extension Remove & Replace Striping	Vassar Dr	233' North of Menaul Blvd	Menaul Blvd	/	/	/
		4" & 6"	Dedicated Left Turn Lane Addition Remove & Replace Striping	University Blvd	350' North of I-40 EB On-Ramp	I-40 EB On-Ramp	/	/	/
			Deceleration Lane Addition for Driveway Curb/Gutter/Paving/Striping	I-25 NB Frontage Rd	217' North of Menaul Blvd	61' North of Menaul Blvd	/	/	/
			Truncated Domes Added to Existing ADA Curb Ramps	All 4 corners of Menaul/ University Intersection			/	/	/
			Refurbish Striping of Stop Bars, Approach Lanes, and Crosswalks	All 4 quadrants of Menaul/University Intersection			/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The Items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private		City Cnst Engineer
							Inspector	P.E.	
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
Approval of Creditable Items:							Approval of Creditable Items:		
Impact Fee Administrator Signature      Date							City User Dept. Signature      Date		

**NOTES**

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.  
Street lights per City requirements.

- 1 \_\_\_\_\_  
\_\_\_\_\_
- 2 \_\_\_\_\_  
\_\_\_\_\_
- 3 \_\_\_\_\_  
\_\_\_\_\_

<b>AGENT / OWNER</b>	<b>DEVELOPMENT REVIEW BOARD MEMBER APPROVALS</b>
----------------------	--

\_\_\_\_\_  
NAME (print)

\_\_\_\_\_  
FIRM

\_\_\_\_\_  
SIGNATURE - date

\_\_\_\_\_  
DRB CHAIR - date

\_\_\_\_\_  
TRANSPORTATION DEVELOPMENT - date

\_\_\_\_\_  
UTILITY DEVELOPMENT - date

\_\_\_\_\_  
CITY ENGINEER - date

\_\_\_\_\_  
PARKS & RECREATION - date

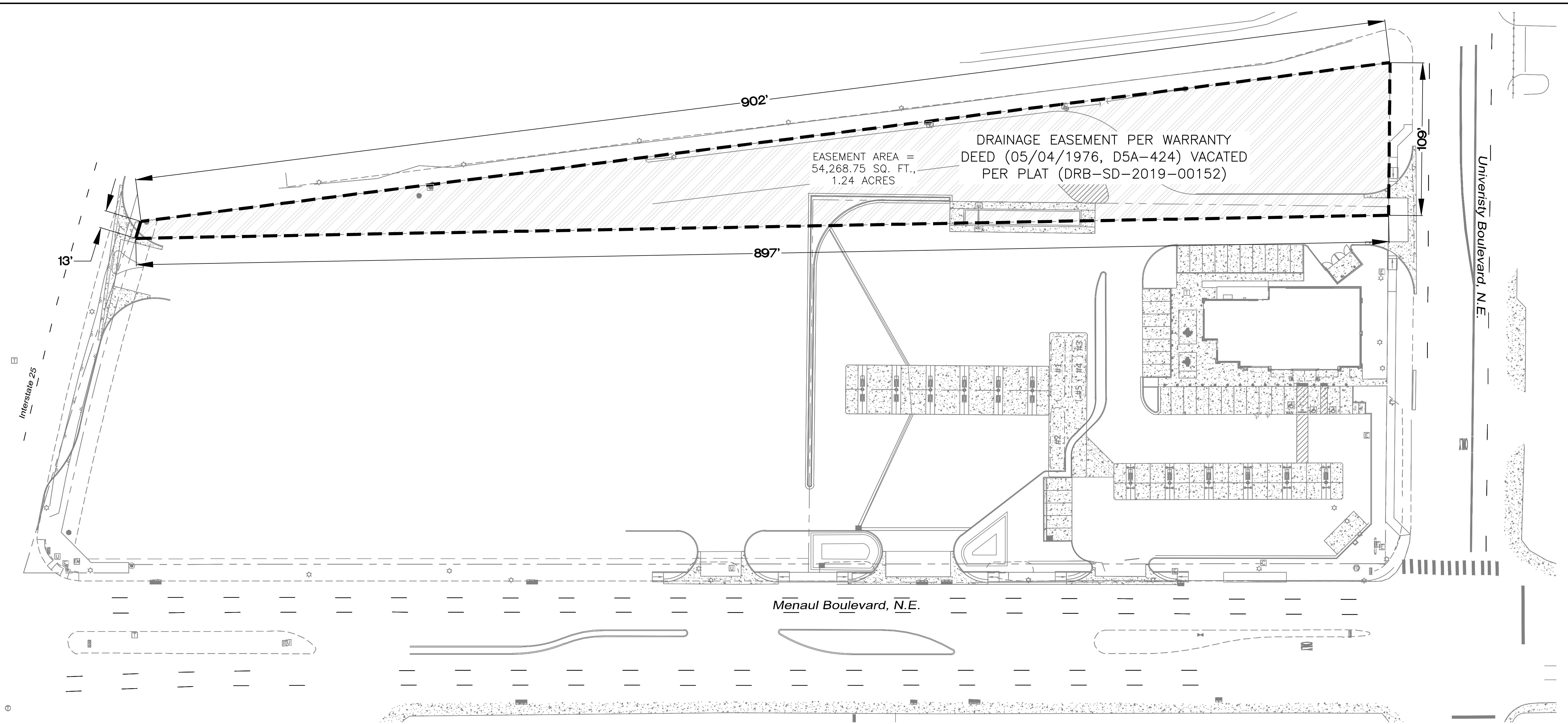
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AMAFCA - date

\_\_\_\_\_  
CODE ENFORCEMENT - date

\_\_\_\_\_  
- date

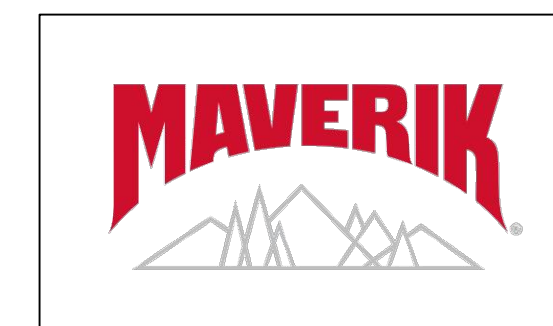
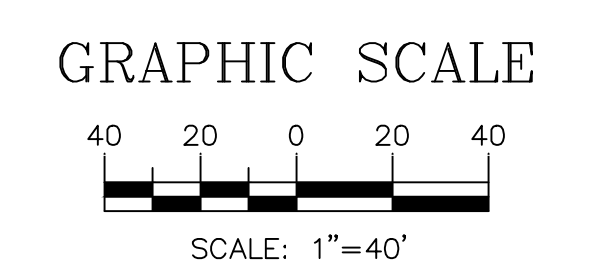
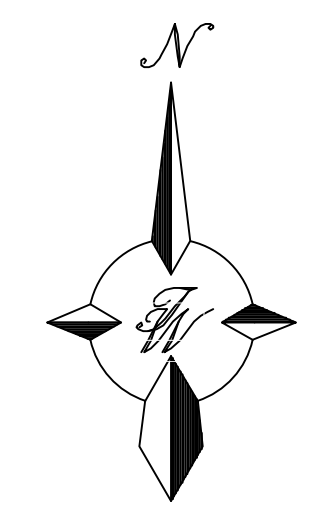
<b>DESIGN REVIEW COMMITTEE REVISIONS</b>
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REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT /OWNER



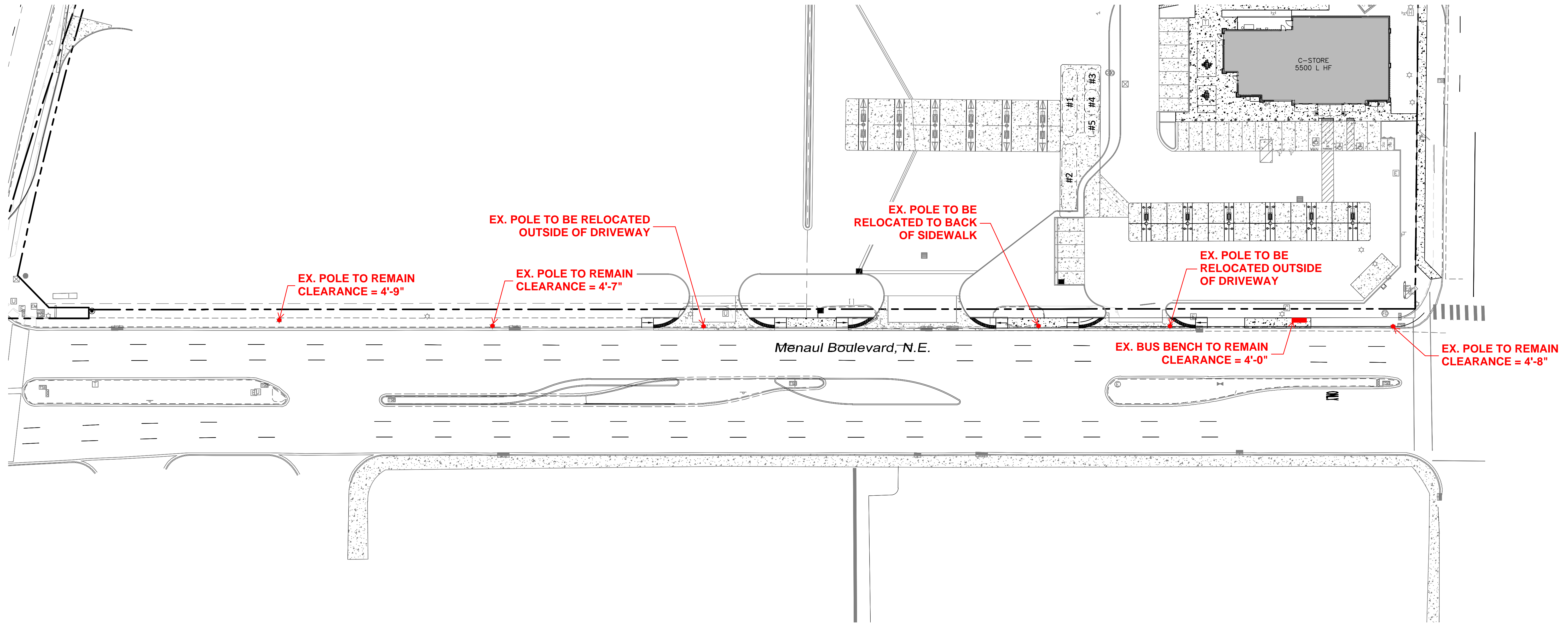
**LEGEND**

	CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	RIGHT-OF-WAY
	BUILDING
	SIDEWALK
	EXISTING CURB & GUTTER
	EXISTING BOUNDARY LINE
	DRAINAGE EASEMENT TO BE VACATED


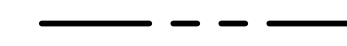


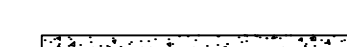








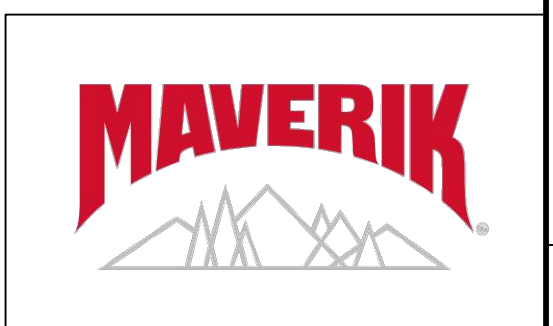
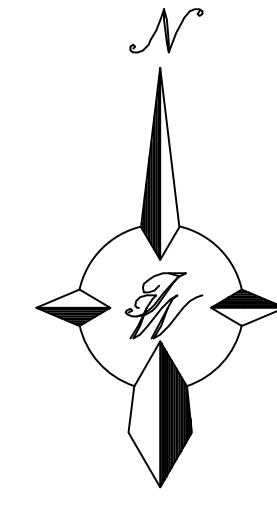
ENGINEER'S SEAL	<b>MAVERIK</b> UNIVERSITY & MENAUL	DRAWN BY RMG
	<b>EASEMENT VACATION EXHIBIT</b>	DATE 9/13/19
RONALD R. BOHANNAN P.E. #7868	<b>TIERRA WEST, LLC</b> 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrowestllc.com	2018062-EASEMENT VACATION EXHIBIT
		SHEET # <b>D1</b>
		JOB # 2018062





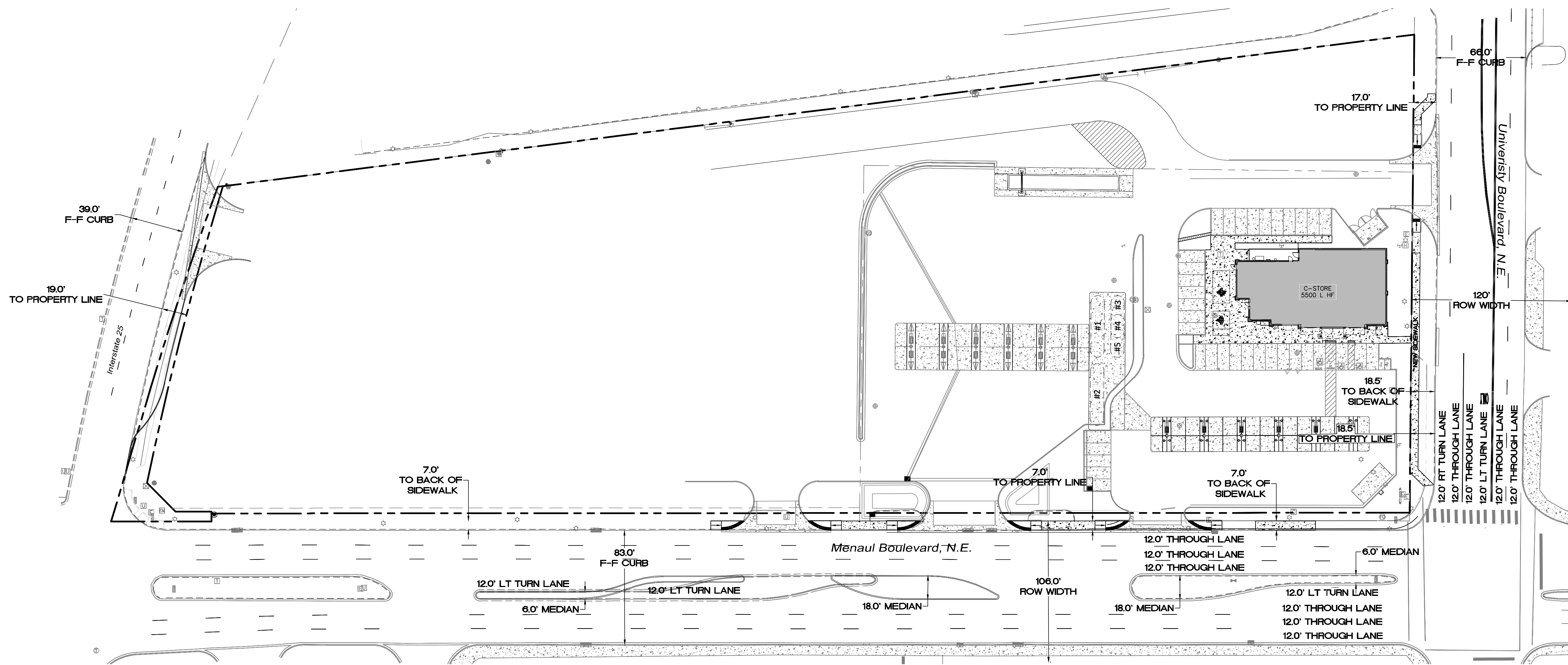
**LEGEND**

-  CURB & GUTTER
-  BOUNDARY LINE
-  EASEMENT
-  RIGHT-OF-WAY
-  BUILDING
-  SIDEWALK
-  EXISTING CURB & GUTTER
-  EXISTING BOUNDARY LINE
-  12"x12" CATCH BASIN (NDS OR EQUAL)
-  DROP INLET
-  CURB INLET






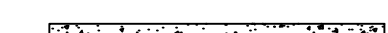







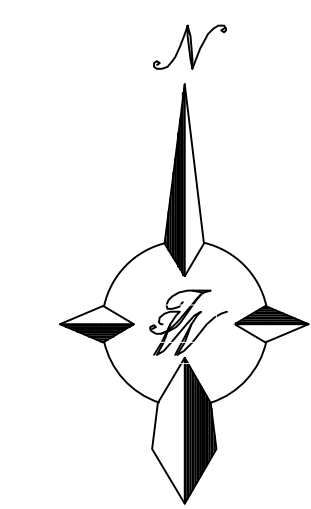
ENGINEER'S SEAL	<b>MAVERIK</b> UNIVERSITY & MENAUL	DRAWN BY RMG
	<b>POLE/BUS STOP CLEARANCE EXHIBIT</b>	DATE 9/17/19
RONALD R. BOHANNAN P.E. #7868	<small>TIERRA WEST, LLC</small> 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrowestllc.com	JOB # 2018062
		SHEET # 2018062-SIDEWALK-EXH



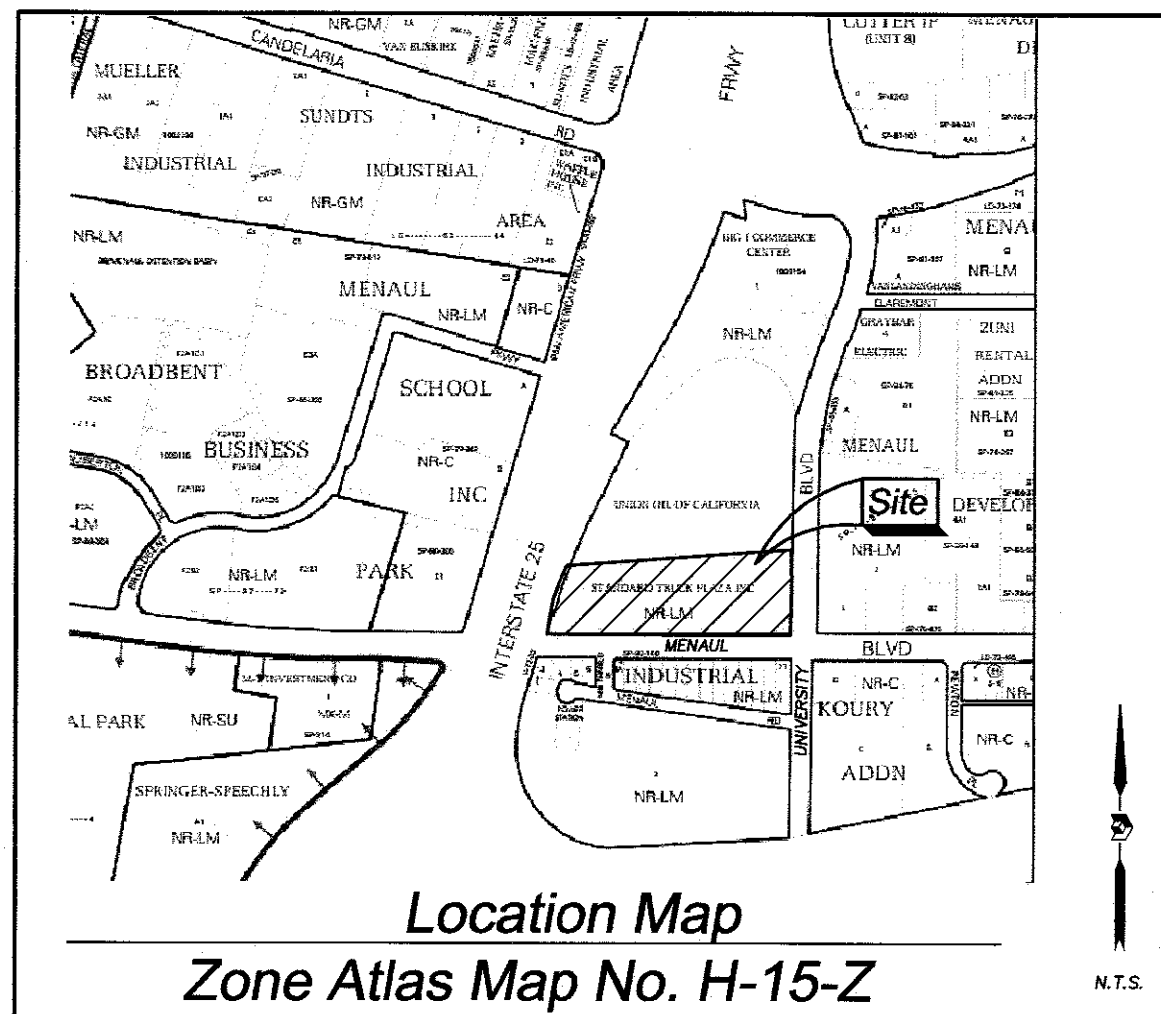


**LEGEND**

-  CURB & GUTTER
-  BOUNDARY LINE
-  EASEMENT
-  RIGHT-OF-WAY
-  BUILDING
-  SIDEWALK
-  EXISTING CURB & GUTTER
-  EXISTING BOUNDARY LINE
-  12"x12" CATCH BASIN (NDS OR EQUAL)
-  DROP INLET
-  CURB INLET



ENGINEER'S SEAL	<b>MAVERIK</b>	DRAWN BY RMG
	UNIVERSITY & MENAUL	DATE 8/13/19
	SIDEWALK EXHIBIT	2018062-SIDEWALK-EXHIBIT
	<b>TIERRA WEST, LLC</b>	SHEET #
	5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	JOB # 2018062
RONALD R. BOHANNAN P.E. #7868		



RECORDING STAMP

Plat of  
Tracts A-1 & B-1  
**Truck Stop Plaza**  
Town of Albuquerque Gran Projected  
Section 9, Township 10 North, Range 3 East, N.M.P.M.  
Albuquerque, Bernalillo County, New Mexico  
September 2019

**Legal Description**

A TRACT OF LAND LYING AND SITUATE WITHIN THE EXTERIOR BOUNDARIES OF THE TOWN OF ALBUQUERQUE GRANT, WITHIN THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, IN PROJECTED SECTION 9, TOWNSHIP 10 NORTH, RANGE 3 EAST, N.M.P.M., AND BEING IDENTIFIED AS TRACTS A AND B FROM A PORTION OF AN UN-PLATTED 6.5774 ACRE TRACT AS DESCRIBED IN THAT SPECIAL WARRANTY DEED FILED ON MAY 4, 1976 IN BOOK D5A, PAGES 424-426, LESS THAN AND EXCEPTING THAT PORTION OUT TO NMDOT FOR RIGHT OF WAY BY STIPULATED JUDGEMENT FILED NOVEMBER 20, 2000, AS DOCUMENT NO. 200015519 AND THAT PORTION OF TRACT B OUT TO THE CITY OF ALBUQUERQUE FOR RIGHT OF WAY BY QUITCLAIM DEED FILED APRIL 28, 1980, AS DOCUMENT NO. 8024872, RECORDS OF BERNALILLO COUNTY, NEW MEXICO, BEING MORE PARTICULARLY DESCRIBED BY NEW MEXICO STATE PLANE COORDINATE SYSTEM GRID BEARINGS (NAD 83-CENTRAL ZONE) AND GROUND DISTANCES (US SURVEY FEET) AS FOLLOWS;

BEGINNING AT THE NORTHEAST CORNER OF DESCRIBED TRACT, LYING ON THE WEST RIGHT OF WAY LINE OF UNIVERSITY BOULEVARD, N.E., MARKED BY A FOUND NO. 4 REBAR WITH YELLOW PLASTIC CAP (ILLEGIBLE), FROM WHENCE A TIE TO FOUND A.G.R.S. MONUMENT "1\_40\_12" BEARS S 83°09'46" E, A DISTANCE OF 3472.86 FEET;

THENCE FROM SAID POINT OF BEGINNING, ALONG SAID WEST RIGHT OF WAY LINE, S 00°33'30" W, A DISTANCE OF 359.49 FEET TO THE SOUTHEAST CORNER OF DESCRIBED TRACT, MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE LEAVING SAID WEST RIGHT OF WAY LINE ALONG A NON-TANGENT CURVE TO THE RIGHT, HAVING AN ARC LENGTH OF 12.79 FEET, A RADIUS OF 20.92 FEET, A DELTA ANGLE OF 35°02'28", A CHORD BEARING OF S 63°21'25" W, AND A CHORD LENGTH OF 12.60 FEET, TO AN ANGLE POINT, LYING ON THE NORTH RIGHT OF WAY LINE OF MENAUL BOULEVARD, N.E., MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE ALONG SAID NORTH RIGHT OF WAY LINE, S 89°58'04" W, A DISTANCE OF 229.02 FEET TO AN ANGLE POINT, MARKED BY A FOUND NO. 4 REBAR WITH YELLOW PLASTIC CAP (ILLEGIBLE);

THENCE CONTINUING ALONG SAID NORTH RIGHT OF WAY LINE, S 89°58'04" W, A DISTANCE OF 659.71 FEET TO THE SOUTHWEST CORNER OF DESCRIBED TRACT, MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE LEAVING SAID NORTH RIGHT OF WAY LINE, N 00°01'59" W, A DISTANCE OF 7.31 FEET TO AN ANGLE POINT, MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE S 89°57'59" W, A DISTANCE OF 27.11 FEET TO AN ANGLE POINT, MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE N 44°23'05" W, A DISTANCE OF 30.40 FEET TO A POINT OF NON-TANGENT CURVATURE, MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE ALONG A NON-TANGENT CURVE TO THE RIGHT, HAVING AN ARC LENGTH OF 222.36 FEET, A RADIUS OF 2441.92 FEET, A DELTA ANGLE OF 05°13'02", A CHORD BEARING OF N 14°15'56" E, AND A CHORD LENGTH OF 222.28 FEET, TO A POINT OF TANGENCY, MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE N 16°52'29" E, A DISTANCE OF 7.66 FEET TO THE NORTHWEST CORNER OF DESCRIBED TRACT, MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE N 82°45'00" E, A DISTANCE OF 902.09 FEET TO THE POINT OF BEGINNING, CONTAINING 6.5008 ACRES (283,175 SQUARE FEET), MORE OR LESS, NOW COMPRISING OF TRACTS A-1 AND B-1, TRUCK STOP PLAZA.

**Free Consent and Dedication**

THE REPLAT SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

SAID OWNER DOES HEREBY GRANT ALL EASEMENTS AS SHOWN HEREON WITH LISTED BENEFICIARIES AND STIPULATIONS.

SAID OWNER DOES HEREBY DEDICATE ALL STREETS AND PUBLIC RIGHTS OF WAY SHOWN HEREON TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH WARRANTY COVENANTS.

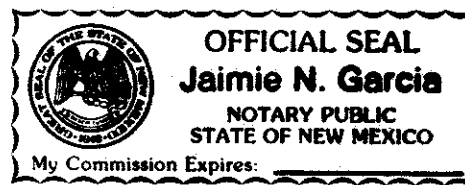
*Sheryl Paloni* 9-17-19  
SHERYL PALONI, MANAGER, THE TRUCK STOP PLAZA, LLC

**Acknowledgment**

STATE OF NEW MEXICO ) SS  
COUNTY OF BERNALILLO)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 17<sup>th</sup> DAY OF September, 2019 BY SHERYL PALONI, MANAGER, THE TRUCK STOP PLAZA, LLC

BY *Jaimie N. Garcia* MY COMMISSION EXPIRES: 3-22-2021  
NOTARY PUBLIC



Project No. PR-2019-002294  
Application No. SD-2019-00151  
Utility Approvals

PNM	DATE
NEW MEXICO GAS COMPANY	DATE
QWEST CORPORATION D/B/A CENTURYLINK QC	DATE
COMCAST	DATE

**City Approvals**

*Soren M. Reinboves* 9/19/19  
CITY SURVEYOR DATE

TRAFFIC ENGINEERING, TRANSPORTATION DEPARTMENT	DATE
A.B.C.W.U.A.	DATE
PARKS AND RECREATION DEPARTMENT	DATE
AMAFCA	DATE
CITY ENGINEER	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE
CODE ENFORCEMENT	DATE

**Surveyor's Certificate**

I, LARRY W. MEDRANO, A REGISTERED NEW MEXICO PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF THE MINIMUM STANDARDS FOR LAND SURVEYS AS ADOPTED BY THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

*Larry W. Medrano* 9/12/19  
LARRY W. MEDRANO, N.M.P.S. No. 11993 DATE



**Subdivision Data:**

GROSS SUBDIVISION ACREAGE: 6.5008 ACRES±  
ZONE ATLAS INDEX NO: H-15-Z  
NO. OF TRACTS CREATED: 2  
NO. OF LOTS CREATED: 0  
MILES OF FULL-WIDTH STREETS CREATED: 0

**Purpose of Plat**

THE PURPOSE OF THIS PLAT IS TO REPLAT THE EXISTING TWO TRACTS INTO TWO NEW TRACTS, TO GRANT EASEMENTS, TO VACATE A PUBLIC EASEMENT AND TO DEDICATE ADDITIONAL STREET RIGHT OF WAY FOR MENAUL BOULEVARD, N.E.

**Solar Note:**

NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERECTED ON THE LOTS OF PARCELS WITHIN THE AREA OF THIS PLAT.

**Public Utility Easements**

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON JOINT USE OF:  
A. PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM), A NEW MEXICO CORPORATION, (PNM ELECTRIC) FOR INSTALLATION, MAINTENANCE AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, AND OTHER EQUIPMENT AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICES.

B. NEW MEXICO GAS COMPANY FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS SERVICES.

C. QWEST CORPORATION D/B/A CENTURYLINK QC FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES.

D. CABLE TV FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE SERVICES.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE WITHIN THE EASEMENT CHANGE, REMOVE, REPLACE, MODIFY, RENEW, OPERATE AND MAINTAIN FACILITIES FOR PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM AND OVER SAID EASEMENTS, WITH THE RIGHT AND PRIVILEGE OF GOING UPON, OVER AND ACROSS ADJOINING LANDS OF GRANTOR FOR THE PURPOSES SET FORTH HEREIN AND WITH THE RIGHT TO UTILIZE THE RIGHT OF WAY AND EASEMENT TO EXTEND SERVICES TO CUSTOMERS OF GRANTEE, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMER/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN (10) FEET IN FRONT OF TRANSFORMER/SWITCHGEAR DOORS AND FIVE (5) FEET ON EACH SIDE.

**Disclaimer**

IN APPROVING THIS PLAT, PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM), QWEST CORPORATION D/B/A CENTURYLINK QC AND NEW MEXICO GAS COMPANY (NMGC) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PNM, QWEST CORPORATION D/B/A CENTURYLINK QC AND NMGC DO NOT WAIVE OR RELEASE ANY EASEMENT OR EASEMENT RIGHTS WHICH HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT OR OTHER DOCUMENT AND WHICH ARE NOT SHOWN SPECIFICALLY DESCRIBED AND ON THIS PLAT.

COORDINATE AND DIMENSION INFORMATION				PLSS INFORMATION				PROPERTY INFORMATION				PROJECT INFORMATION			
STATE PLANE ZONE: NM-C		GRID (GROUND COORDINATES): GRID		TYPE: STANDARD		LAND GRANT: TOWN OF ALBUQUERQUE GRANT		PROPERTY OWNER: THE TRUCK STOP PLAZA, LLC.		CREW/TECH: MT		DATE OF SURVEY: 10/1-2/2018			
HORIZONTAL DATUM: NAD83		VERTICAL DATUM: NAVD88		ROTATION ANGLE: 0° 00' 00.00"		MATCHES DRAWING UNITS: YES		SUBDIVISION NAME: TRUCK STOP PLAZA		DRAWN BY: JK		CHECKED BY: LM			
CONTROL USED: ALBUQUERQUE GEODETIC REFERENCE SYSTEM				BASE POINT FOR SCALING AND/OR ROTATION: N = 0, E = 0				CITY: ALBUQUERQUE		UPC: 101505942129310108		PSI JOB NO. 18-1144P		SHEET NUMBER 1 OF 2	
COMBINED SCALE FACTOR: GRID TO GROUND: 1.000326784, GROUND TO GRID: 0.999673323				DISTANCE ANNOTATION: GROUND				COUNTY: BERNALILLO		STATE: NM		PHONE: 505.856.5700		FAX: 505.856.7900	
				BEARING ANNOTATION: GRID				ELEVATION TRANSLATION: ±0.00'		ELEVATIONS VALID: NO					



OFFICE LOCATION:  
9200 San Mateo Boulevard, NE  
Albuquerque, NM 87113  
505.856.5700 PHONE  
505.856.7900 FAX



# Drainage Facilities and/or Detention Areas Maintained by Lot Owner

AREAS DESIGNATED ON THE ACCOMPANYING PLAT AS "DRAINAGE EASEMENTS" ARE HEREBY DEDICATED BY THE OWNER AS A PERPETUAL EASEMENT FOR THE COMMON USE AND BENEFIT OF THE VARIOUS LOTS WITHIN THE SUBDIVISIONS FOR THE PURPOSE OF PERMITTING THE CONVEYANCE OF STORM WATER RUNOFF AND THE CONSTRUCTING AND MAINTAINING OF DRAINAGE FACILITIES IN ACCORDANCE WITH STANDARDS PRESCRIBED BY THE CITY OF ALBUQUERQUE. NO FENCE, WALL, PLANTING, BUILDING OR OTHER OBSTRUCTION MAY BE PLACED OR MAINTAINED IN EASEMENT AREA WITHOUT APPROVAL OF THE CITY ENGINEER OF THE CITY OF ALBUQUERQUE. THERE ALSO SHALL BE NO ALTERATION OF THE GRADES OR CONTOURS IN SAID EASEMENT AREA WITHOUT THE APPROVAL OF THE CITY ENGINEER. IT SHALL BE THE DUTY OF THE LOT OWNERS OF THIS SUBDIVISION TO MAINTAIN SAID DRAINAGE EASEMENT AND FACILITIES AT THEIR COST IN ACCORDANCE WITH STANDARDS PRESCRIBED BY THE CITY OF ALBUQUERQUE. THE CITY SHALL HAVE THE RIGHT TO ENTER PERIODICALLY TO INSPECT THE FACILITIES. IN THE EVENT SAID LOT OWNERS FAIL TO ADEQUATELY AND PROPERLY MAINTAIN DRAINAGE EASEMENT AND FACILITIES, AT ANY TIME FOLLOWING FIFTEEN (15) DAYS WRITTEN NOTICE TO SAID LOT OWNERS, THE CITY MAY ENTER UPON SAID AREA, PERFORM SAID MAINTENANCE, AND THE COST OF PERFORMING SAID MAINTENANCE SHALL BE PAID BY APPLICABLE LOT OWNERS PROPORTIONATELY ON THE BASIS OF LOT OWNERSHIP. IN THE EVENT LOT OWNERS FAIL TO PAY THE COST OF MAINTENANCE WITHIN THIRTY (30) DAYS AFTER DEMAND FOR PAYMENT MADE BY THE CITY, THE CITY MAY FILE A LIEN AGAINST ALL LOTS IN THE SUBDIVISION FOR WHICH PROPORTIONATE PAYMENT HAS NOT BEEN MADE. THE OBLIGATIONS IMPOSED HEREIN SHALL BE BINDING UPON THE OWNER, HIS HEIRS, AND ASSIGNS AND SHALL RUN WITH ALL LOTS WITHIN THIS SUBDIVISION.

THE GRANTOR AGREES TO DEFEND, INDEMNIFY, AND HOLD HARMLESS, THE CITY, ITS OFFICIALS, AGENTS AND EMPLOYEES FROM AND AGAINST ANY AND ALL CLAIMS, ACTIONS, SUITS, OR PROCEEDINGS OF ANY KIND BROUGHT AGAINST SAID PARTIES FOR OR ON ACCOUNT OF ANY MATTER ARISING FROM THE DRAINAGE FACILITY PROVIDED FOR HEREIN OR THE GRANTOR'S FAILURE TO CONSTRUCT, MAINTAIN, OR MODIFY SAID DRAINAGE FACILITY.

## Notes:

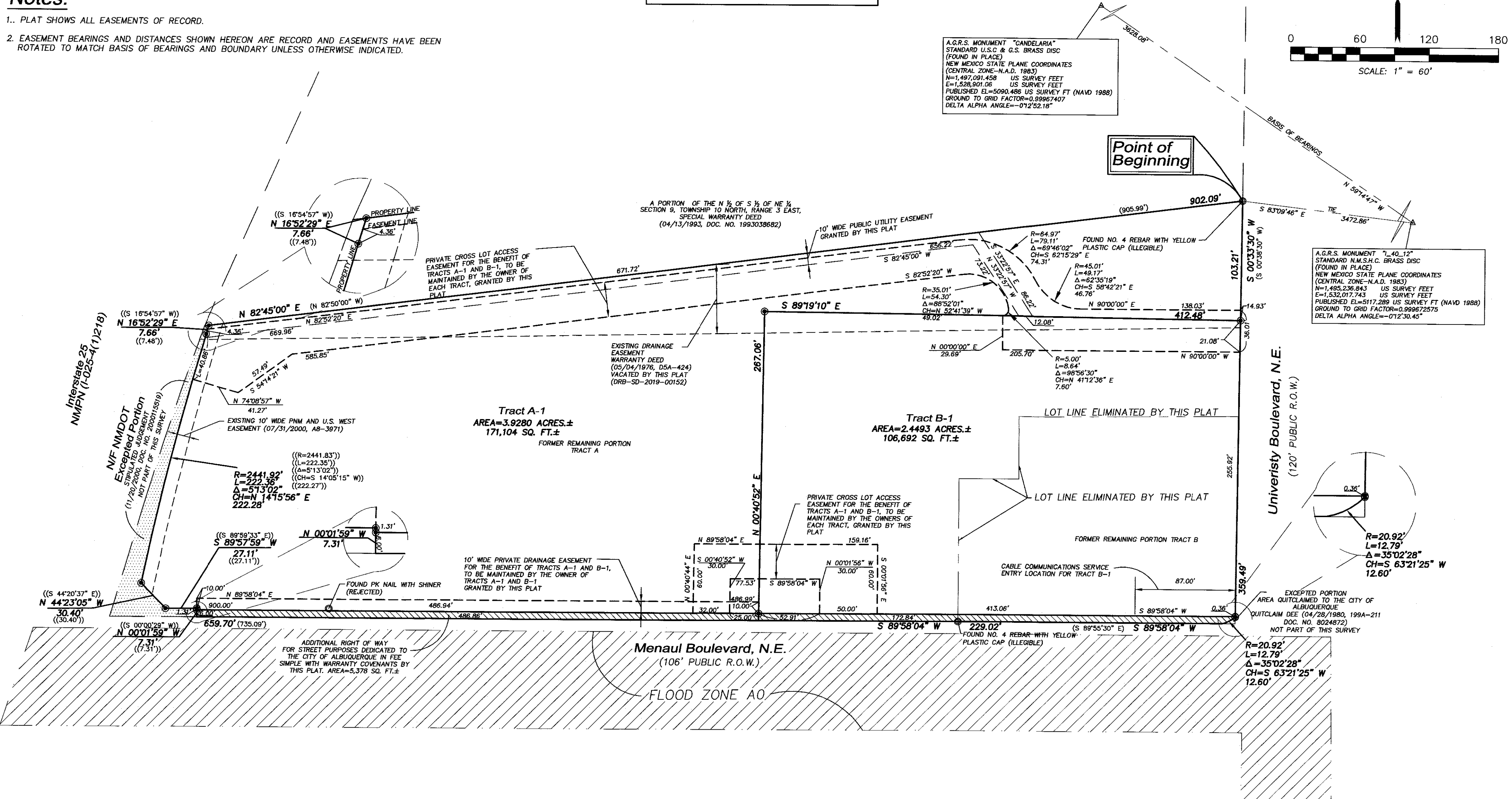
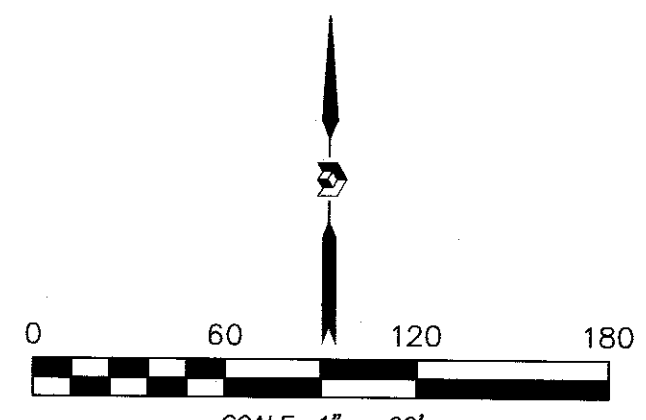
1. PLAT SHOWS ALL EASEMENTS OF RECORD.
2. EASEMENT BEARINGS AND DISTANCES SHOWN HEREON ARE RECORD AND EASEMENTS HAVE BEEN ROTATED TO MATCH BASIS OF BEARINGS AND BOUNDARY UNLESS OTHERWISE INDICATED.

RECORDING STAMP

## Legend

- N 90°00'00" E MEASURED BEARING AND DISTANCES (N 90°00'00" E)
- RECORD BEARINGS AND DISTANCES PER TITLE COMMITMENT
- RECORD BEARINGS AND DISTANCES PER STIPULATED JUDGEMENT
- FOUND AND USED MONUMENT AS DESIGNATED
- DENOTES NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993" OR PK NAIL WITH TAG "PS 11993" SET THIS SURVEY
- △ FOUND ALUMINUM AGRS MONUMENT AS DESIGNATED

Plat of  
**Tracts A-1 & B-1**  
**Truck Stop Plaza**  
 Town of Albuquerque Gran Projected  
 Section 9, Township 10 North, Range 3 East, N.M.P.M.  
 Albuquerque, Bernalillo County, New Mexico  
 September 2019



COORDINATE AND DIMENSION INFORMATION				PLSS INFORMATION				PROPERTY INFORMATION				PROJECT INFORMATION						
STATE PLANE ZONE: <b>NM-C</b>	GRID	TYPE: <b>STANDARD</b>		LAND GRANT TOWN OF ALBUQUERQUE GRANT				PROPERTY OWNER THE TRUCK STOP PLAZA, LLC.				PROJECT INFORMATION						
HORIZONTAL DATUM: NAD83	VERTICAL DATUM: NAVD88	ROTATION ANGLE: 0° 00' 00.00"	MATCHES DRAWING UNITS: YES	SECTION 9	TOWNSHIP 10 NORTH	RANGE 3 EAST	MERIDIAN NMPM	SUBDIVISION NAME TRUCK STOP PLAZA				CREW/TECH: MT	DATE OF SURVEY 10/1-2/2018					
CONTROL USED: ALBUQUERQUE GEODETIC REFERENCE SYSTEM				BASE POINT FOR SCALING AND/OR ROTATION: N = 0 E = 0				CITY ALBUQUERQUE				COUNTY BERNALILLO	STATE NM	UPC 101505942129310108	DRAWN BY: JK	CHECKED BY: LM		
COMBINED SCALE FACTOR: GRID TO GROUND: 1.000326784 GROUND TO GRID: 0.999673323				DISTANCE ANNOTATION: GROUND				ELEVATION TRANSLATION: ±0.00'				ELEVATIONS VALID: NO				PSI JOB NO. 18-1144P	SHEET NUMBER 2 OF 2	



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