



Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

SUBDIVISIONS	<input type="checkbox"/> Final Sign off of EPC Site Plan(s) (Form P2)	<input type="checkbox"/> Variance for Carport within setback(s) (Form V)
<input type="checkbox"/> Major – Preliminary Plat (Form P1)	<input type="checkbox"/> Amendment to Site Plan (Form P2)	<input type="checkbox"/> Vacation of Public Right-of-way (Form V)
<input type="checkbox"/> Minor – Preliminary/Final Plat (Form S2)	MISCELLANEOUS APPLICATIONS	<input type="checkbox"/> Vacation of Public Easement(s) DRB (Form V)
<input type="checkbox"/> Major - Final Plat (Form S1)	<input type="checkbox"/> Extension of Infrastructure List (Form S1)	<input type="checkbox"/> Vacation of Private Easement(s) (Form V)
<input type="checkbox"/> Amendment to Preliminary Plat (Form S2)	<input type="checkbox"/> Amendment to Infrastructure List (Form P1)	PRE-APPLICATIONS
<input type="checkbox"/> Extension of Preliminary Plat (Form S1)	<input type="checkbox"/> Temporary Deferral of SW (Form P2)	<input checked="" type="checkbox"/> Sketch Plat Review and Comment (Form P2)
	<input type="checkbox"/> Sidewalk Waiver (Form V)	
SITE PLANS	<input type="checkbox"/> Variance to IDO (Form V)	APPEAL
<input type="checkbox"/> DRB Site Plan (Form XX)	<input type="checkbox"/> Variance to DPM (Form V)	<input type="checkbox"/> Decision of DRB (Form A)
BRIEF DESCRIPTION OF REQUEST		
Sketch Plat Review and Comment		

APPLICATION INFORMATION		
Applicant: Maverik, Inc		Phone: 801-335-3851
Address: 185S State St., Suite 800		Email: Troy.Jorgensen@maverik.com
City: Salt Lake	State: UT	Zip: 84111
Professional/Agent (if any): Tierra West, LLC		Phone: 505-858-3100
Address: 5571 Midway Park Pl		Email: vperea@tierrawestllc.com
City: Albuquerque	State: NM	Zip: 87109
Proprietary Interest in Site: Owner	List all owners:	
SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)		
Lot or Tract No.: Tracts A-1 & B-1	Block:	Unit:
Subdivision/Addition: Menaul Blvd & I-25	MRGCD Map No.:	
Zone Atlas Page(s): H-15-Z	Existing Zoning: NR-LM	UPC Code: 101505942129310108
# of Existing Lots: 2	# of Proposed Lots: 2	Proposed Zoning: NR-LM
LOCATION OF PROPERTY BY STREETS		
Site Address/Street: 1901 Menaul Blvd	Between: Menaul Blvd	and: University
CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)		
PR-2019-002295/VA-2019-00141	PR-2019-002294/VA-2019-00140	1011491

Signature:	Date: 6-18-19
Printed Name: Ronald R. Bohannon	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

FOR OFFICIAL USE ONLY					
Case Numbers	Action	Fees	Case Numbers	Action	Fees
Meeting/Hearing Date:				Fee Total:	
Staff Signature:			Date:	Project #	

FORM S2: SUBDIVISION OF LAND – MINOR ACTIONS

Please refer to the DRB minor case schedule for meeting dates and deadlines unless noted differently below. Bring original Mylar of plat with property owner's and City Surveyor's signatures on it to the meeting. Your attendance is required.

A Variance – DRB for the Bulk Transfer of Land requires application on Form V in addition to this FORM S2.

>> INFORMATION REQUIRED FOR ALL MINOR SUBDIVISION APPLICATIONS

- N/A Interpreter Needed for Hearing? ___ if yes, indicate language: _____
- A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD. PDF shall be organized with the Development Review Application and this Form S2 at the front followed by the remaining documents in the order provided on this form.
- Zone Atlas map with the entire site clearly outlined and labeled
- SKETCH PLAT REVIEW AND COMMENT**
 - Letter describing, explaining, and justifying the request
 - Scale drawing of the proposed subdivision plat (7 copies, folded)
 - Site sketch with measurements showing structures, parking, building setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (7 copies, folded)
- MAJOR SUBDIVISION FINAL PLAT APPROVAL (requires published notice, heard on the DRB Major Case Schedule)**
 - ___ Letter describing, explaining, and justifying the request
 - ___ Copy of recorded IIA
 - ___ Proposed Final Plat (7 copies, 24" x 36" folded)
 - ___ Design elevations & cross sections of perimeter walls (3 copies)
 - ___ Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
 - ___ DXF file and hard copy of final plat data for AGIS submitted and approved
- MINOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL**
 - ___ Letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-6(I)
 - ___ Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A)
 - ___ Form DRWS Drainage Report, Grading and Drainage Plan, and Water & Sewer Availability Statement submittal information
 - ___ Required notice with content per IDO Section 14-16-6-4(K)(6)
 - ___ Office of Neighborhood Coordination Public Notice Inquiry response
 - ___ Proof of emailed notice to applicable Neighborhood Association representatives
 - ___ Proposed Preliminary / Final Plat with property owner's and City Surveyor's signatures on the plat prior to submittal (7 copies, folded)
 - ___ Sidewalk Exhibit and/or cross sections of proposed streets (3 copies, 11" by 17" maximum)
 - ___ Site sketch with measurements showing structures, parking, building setbacks, adjacent rights-of-way and street improvements (to include sidewalk, curb & gutter with distance to property line noted) if there is any existing land use (7 copies, folded)
 - ___ Landfill disclosure statement per IDO Section 14-16-5-2(G) if site is within a designated landfill buffer zone
 - ___ Proposed Infrastructure List, if applicable
 - ___ DXF file and hard copy of final plat data for AGIS submitted and approved
- MINOR AMENDMENT TO PRELIMINARY PLAT OR INFRASTRUCTURE LIST**
 - ___ Letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)
 - ___ Original Preliminary Plat, Infrastructure List, and/or Grading Plan (7 copies, folded)
 - ___ Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (7 copies, folded)

Note: Any application that does not qualify as a Minor Amendment in IDO Section 14-16-6-4(X) must be processed as a Major Amendment. See Form S1.

<i>I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.</i>	
Signature:	Date: 06/18/19
Printed Name: Ronald R. Bohannon	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent
FOR OFFICIAL USE ONLY	
Case Numbers:	Project Number
Staff Signature:	
Date:	



TIERRA WEST, LLC

June 17, 2019

Kym E. Dicome
Development Review Board Chair
City of Albuquerque
600 2nd St NW
Albuquerque, NM 87102

**RE: MAVERIK UNIVERSITY AND MENAUL SKETCH PLAT
MAVERIK-1901 MENAUL BLVD. NE ALBUQUERQUE, NM 87107
TR OF LD IN SEC 9 T10N R3E IN THE S/2 SW/4 SE/4 NE/4
EXCTHE SE'LY POROUT TO R/W AT THE
NW CORNER OF MENAUL & UNIVERSITY & EXC A W'LY
PORT OUT TO R/W AT MENAUL & I-25**

Dear Ms. Dicome,

Tierra West, on behalf of our client, is submitting a sketch plat to demonstrate the intent to develop a convenience store building and two fueling station canopies for heavy commercial truck and light passenger vehicles. The properties are on the northwest corner of Menaul Blvd. NE and University Blvd. The lots are currently zoned as NR-LM per the Integrated Development Ordinance. We have provided a sketch plat and a conceptual site plan with this letter.

The 2.5-acre Maverik site will be located in the southeast quadrant of the subject property, which totals 6.50 acres. The development will be leasing the 2.5-acre portion to Maverik, Inc. and the balance will be developed in the future as transported related uses. This split necessitates the platting the two lots and adjusting their adjoining lot line. A replatting action of the property will follow the Integrated Development Ordinance (IDO) requirements seeking approval through the development review board for replatting the 6.50-acre property into two lots.

The attached site sketch shows a proposed Access to the site will be provided from Menaul Blvd, University Blvd, and the I-25 NB frontage road via 5 new driveways while closing all other existing driveways. The layout of the site will be 2.5 acres in total, including the building, fueling stations, landscaping, parking, and drive aisles. The design and layout of the site plan will follow the Integrated Development Ordinance requirements through the Development Review Board Site Plan Approval process. The total property area is 6.50 acres; the Maverik Site Development plan will consist of only 2.5 acres of the southeast quadrant of this property. The remaining 4.00 acre balance of the property is to be developed at a later date.

We ask that you review the attached sketch plat and conceptual site plan and provide us with feedback related to the required infrastructure, design considerations, and approval procedure necessary to develop this lot.

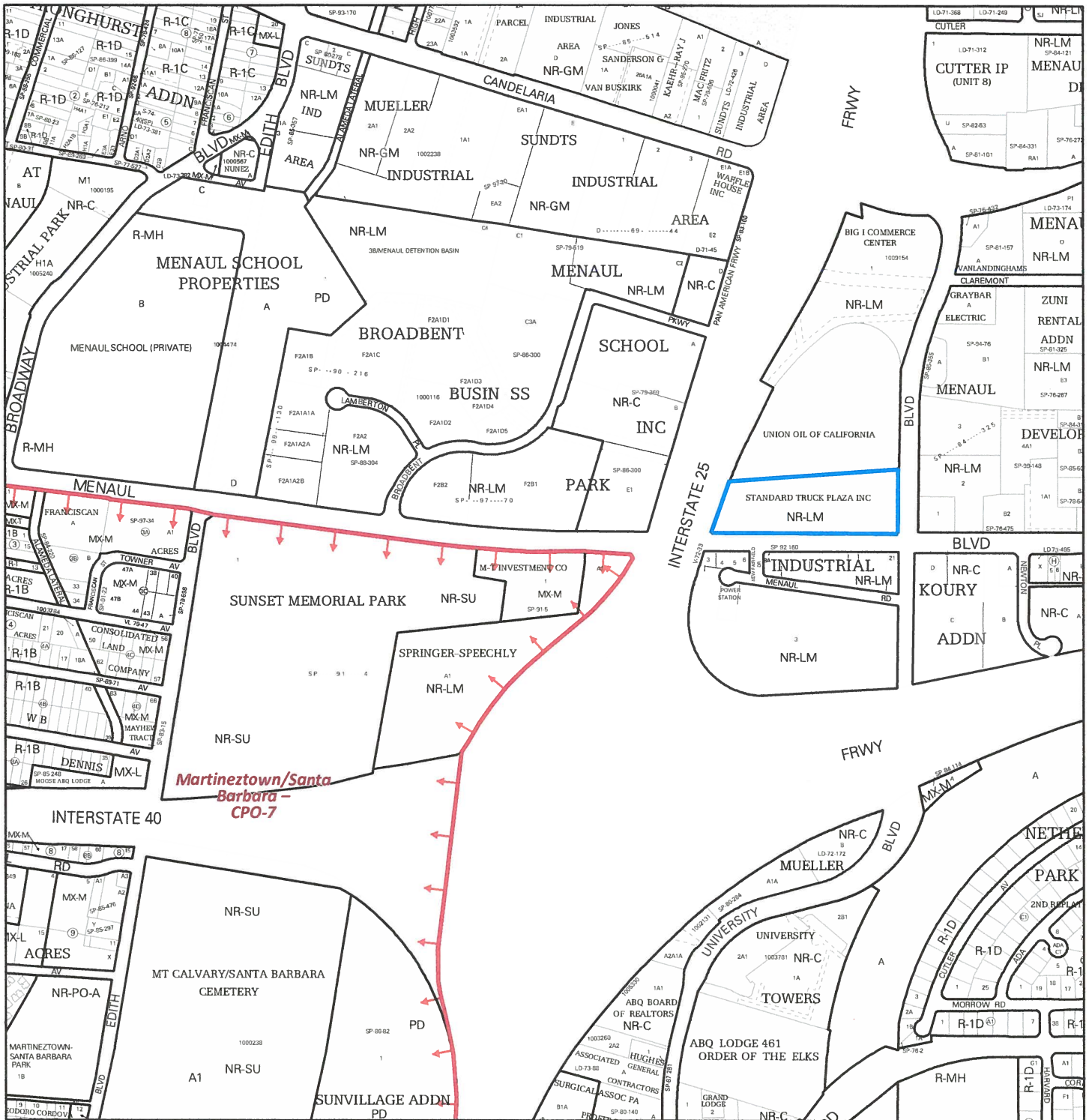
If you have any questions, please feel to contact me.

Sincerely,

Ronald R. Bohannon, PE

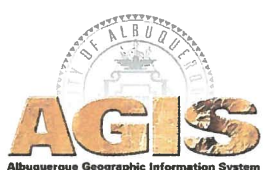
JN: 2018062

5571 Midway Park Pl. NE
Albuquerque, NM 87109
(505) 858-3100
fax (505) 858-1118
tierrawestllc.com
1-800-245-3102











For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

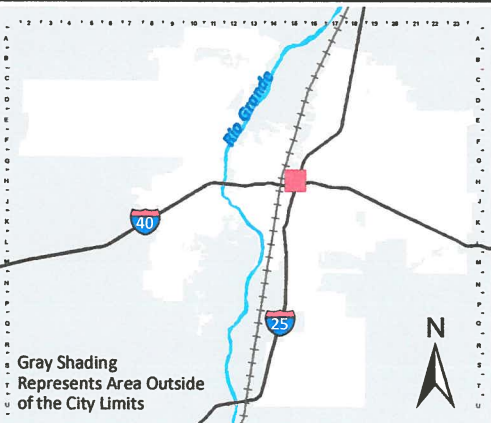
IDO Zone Atlas May 2018



IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).

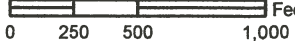
Zone Atlas Page:
H-15-Z

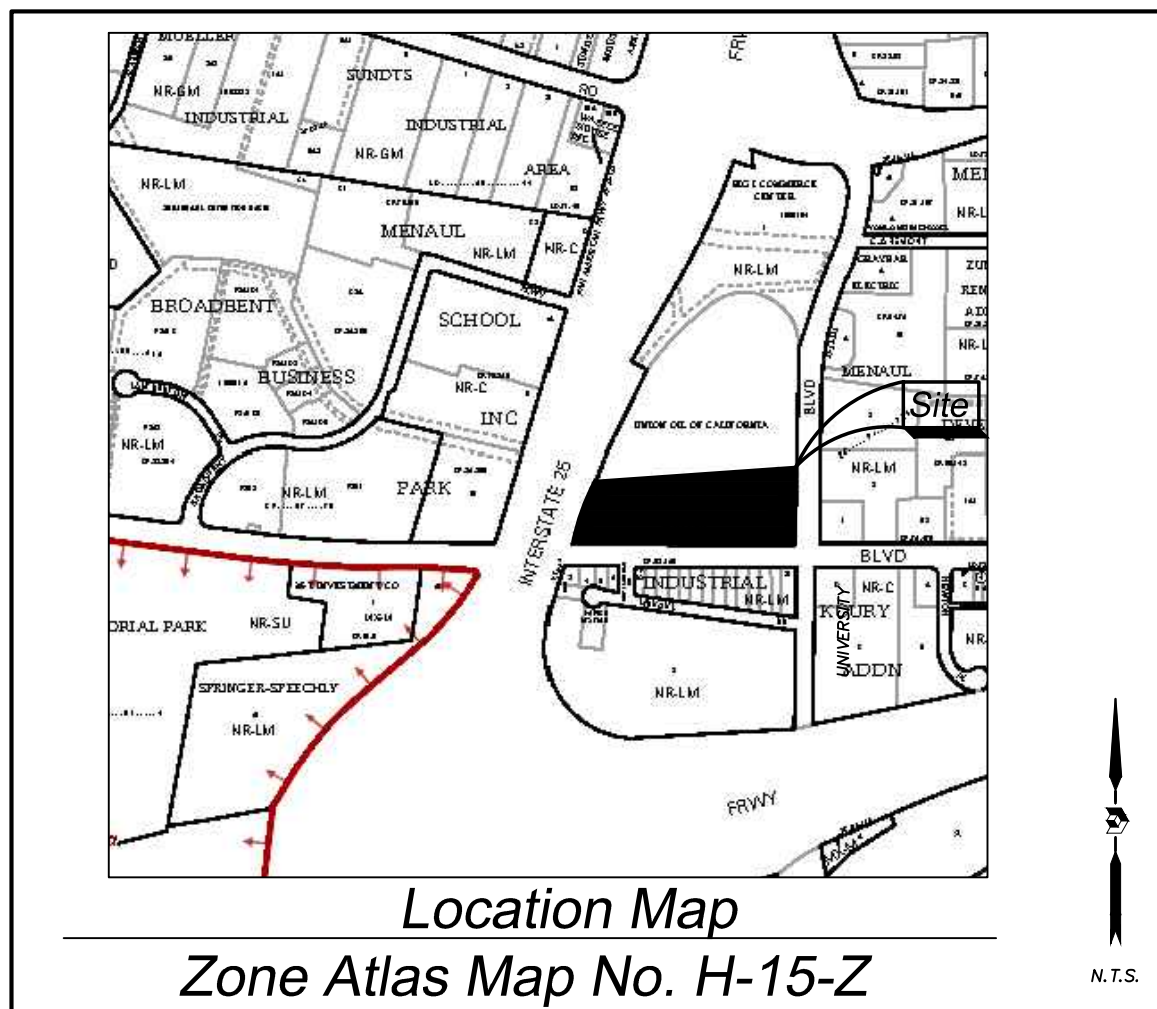
-  Easement
-  Escarpment
-  Petroglyph National Monument
-  Areas Outside of City Limits
-  Airport Protection Overlay (APO) Zone
-  Character Protection Overlay (CPO) Zone
-  Historic Protection Overlay (HPO) Zone
-  View Protection Overlay (VPO) Zone



Gray Shading
Represents Area Outside
of the City Limits

N





Location Map

Zone Atlas Map No. H-15-Z

Subdivision Data:

GROSS SUBDIVISION ACREAGE: 6.5008 ACRES±
 ZONE ATLAS INDEX NO: H-15-Z
 NO. OF TRACTS CREATED: 2
 NO. OF LOTS CREATED: 0
 MILES OF FULL-WIDTH STREETS CREATED: 0

Purpose of Plat

THE PURPOSE OF THIS PLAT IS TO REPLAT THE EXISTING TWO TRACTS INTO TWO NEW TRACTS AND TO GRANT EASEMENTS

Solar Note:

NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERCTED ON THE LOTS OF PARCELS WITHIN THE AREA OF THIS PLAT.

Public Utility Easements

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON JOINT USE OF:
 A. PUBLIC SERVICE COMPANY OF NEW MEXICO ("PNM"), A NEW MEXICO CORPORATION, (PNM ELECTRIC) FOR INSTALLATION, MAINTENANCE AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, AND OTHER EQUIPMENT AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICES.

B. NEW MEXICO GAS COMPANY FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS SERVICES.

C. QWEST CORPORATION D/B/A CENTURYLINK QC FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES.

D. CABLE TV FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE SERVICES.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE WITHIN THE EASEMENT CHANGE, REMOVE, REPLACE, MODIFY, RENEW, OPERATE AND MAINTAIN FACILITIES FOR PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM AND OVER SAID EASEMENTS, WITH THE RIGHT AND PRIVILEGE OF GOING UPON, OVER AND ACROSS ADJOINING LANDS OF GRANTOR FOR THE PURPOSES SET FORTH HEREIN AND WITH THE RIGHT TO UTILIZE THE RIGHT OF WAY AND EASEMENT TO EXTEND SERVICES TO CUSTOMERS OF GRANTEE, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERCTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMER/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN (10) FEET IN FRONT OF TRANSFORMER/SWITCHGEAR DOORS AND FIVE (5) FEET ON EACH SIDE.

Disclaimer

IN APPROVING THIS PLAT, PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM), QWEST CORPORATION D/B/A CENTURYLINK QC AND NEW MEXICO GAS COMPANY (NMGC) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PNM, QWEST CORPORATION D/B/A CENTURYLINK QC AND NMGC DO NOT WAIVE OR RELEASE ANY EASEMENT OR EASEMENT RIGHTS WHICH HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT OR OTHER DOCUMENT AND WHICH ARE NOT SHOWN SPECIFICALLY DESCRIBED AND ON THIS PLAT.

RECORDING STAMP

Legal Description

A TRACT OF LAND LYING AND SITUATE WITHIN THE EXTERIOR BOUNDARIES OF THE TOWN OF ALBUQUERQUE GRANT, WITHIN THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, IN PROJECTED SECTION 9, TOWNSHIP 10 NORTH, RANGE 3 EAST, N.M.P.M., AND BEING IDENTIFIED AS TRACTS A AND B FROM A PORTION OF AN UN-PLATTED 6.5774 ACRE TRACT AS DESCRIBED IN THAT SPECIAL WARRANTY DEED FILED ON MAY 4, 1976 IN BOOK D5A, PAGES 424-426, LESS THAN AND EXCEPTING THAT PORTION OUT TO NMDOT RIGHT OF WAY BY STIPULATED JUDGEMENT FILED NOVEMBER 20, 2000, AS DOCUMENT NO. 200115519 AND THAT PORTION OF TRACT B OUT TO THE CITY OF ALBUQUERQUE FOR RIGHT OF WAY BY QUITCLAIM DEED FILED APRIL 28, 1980, AS DOCUMENT NO. 8024872, RECORDS OF BERNALILLO COUNTY, NEW MEXICO, BEING MORE PARTICULARLY DESCRIBED BY NEW MEXICO STATE PLANE COORDINATE SYSTEM GRID BEARINGS (NAD 83-CENTRAL ZONE) AND GROUND DISTANCES (US SURVEY FEET) AS FOLLOWS;

BEGINNING AT THE NORTHEAST CORNER OF DESCRIBED TRACT, LYING ON THE WEST RIGHT OF WAY LINE OF UNIVERSITY BOULEVARD, N.E., MARKED BY A FOUND NO. 4 REBAR WITH YELLOW PLASTIC CAP (ILLEGIBLE), FROM WHENCE A TIE TO FOUND A.G.R.S. MONUMENT "I_40_12" BEARS S 83°09'46" E, A DISTANCE OF 3472.86 FEET;

THENCE FROM SAID POINT OF BEGINNING, ALONG SAID WEST RIGHT OF WAY LINE, S 00°33'30" W, A DISTANCE OF 359.49 FEET TO THE SOUTHEAST CORNER OF DESCRIBED TRACT, MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE LEAVING SAID WEST RIGHT OF WAY LINE ALONG A NON-TANGENT CURVE TO THE RIGHT, HAVING AN ARC LENGTH OF 12.79 FEET, A RADIUS OF 20.92 FEET, A DELTA ANGLE OF 35°02'28", A CHORD BEARING OF S 63°21'25" W, AND A CHORD LENGTH OF 12.60 FEET, TO AN ANGLE POINT, LYING ON THE NORTH RIGHT OF WAY LINE OF MENAUL BOULEVARD, N.E., MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993"

THENCE ALONG SAID NORTH RIGHT OF WAY LINE, S 89°58'04" W, A DISTANCE OF 229.02 FEET TO AN ANGLE POINT, MARKED BY A FOUND NO. 4 REBAR WITH YELLOW PLASTIC CAP (ILLEGIBLE);

THENCE CONTINUING ALONG SAID NORTH RIGHT OF WAY LINE, S 89°58'04" W, A DISTANCE OF 659.71 FEET TO THE SOUTHWEST CORNER OF DESCRIBED TRACT, MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE LEAVING SAID NORTH RIGHT OF WAY LINE, N 00°01'59" W, A DISTANCE OF 7.31 FEET TO AN ANGLE POINT, MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE S 89°57'59" W, A DISTANCE OF 27.11 FEET TO AN ANGLE POINT, MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE N 44°23'05" W, A DISTANCE OF 30.40 FEET TO A POINT OF NON-TANGENT CURVATURE, MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE ALONG A NON-TANGENT CURVE TO THE RIGHT, HAVING AN ARC LENGTH OF 222.36 FEET, A RADIUS OF 2441.92 FEET, A DELTA ANGLE OF 05°13'02", A CHORD BEARING OF N 14°15'56" E, AND A CHORD LENGTH OF 222.28 FEET, TO A POINT OF TANGENCY, MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE N 16°52'29" E, A DISTANCE OF 7.66 FEET TO THE NORTHWEST CORNER OF DESCRIBED TRACT, MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE N 82°45'00" E, A DISTANCE OF 902.09 FEET TO THE POINT OF BEGINNING, CONTAINING 6.5008 ACRES (283,175 SQUARE FEET), MORE OR LESS, NOW COMPRISING OF TRACTS A-1 AND B-1, TRUCK STOP PLAZA.

Free Consent and Dedication

THE REPLAT SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

SAID OWNER DOES HEREBY GRANT ALL EASEMENTS AS SHOWN HEREON WITH LISTED BENEFICIARIES AND STIPULATIONS.

SHERYL PALONI _____ DATE
 MANAGER
 THE TRUCK STOP PLAZA, LLC

Acknowledgment

STATE OF NEW MEXICO) SS
 COUNTY OF BERNALILLO)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 2019 BY SHERYL PALONI, MANAGER, THE TRUCK STOP PLAZA, LLC

BY _____ MY COMMISSION EXPIRES: _____
 NOTARY PUBLIC

Plat of
 Tracts A-1 & B-1
Truck Stop Plaza
 Town of Albuquerque Gran Projected
 Section 9, Township 10 North, Range 3 East, N.M.P.M.
 Albuquerque, Bernalillo County, New Mexico
 June 2019

Project No. PR-2019-

Application No. SD-2019-

Utility Approvals

PNM	DATE
NEW MEXICO GAS COMPANY	DATE
QWEST CORPORATION D/B/A CENTURYLINK QC	DATE
COMCAST	DATE

City Approvals

CITY SURVEYOR	DATE
TRAFFIC ENGINEERING, TRANSPORTATION DEPARTMENT	DATE
A.B.C.W.U.A.	DATE
PARKS AND RECREATION DEPARTMENT	DATE
AMAFCA	DATE
CITY ENGINEER	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE
CODE ENFORCEMENT	DATE
REAL PROPERTY DIVISION	DATE
ENVIRONMENTAL HEALTH DEPARTMENT	DATE

Surveyor's Certificate

I, LARRY W. MEDRANO, A REGISTERED NEW MEXICO PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF THE MINIMUM STANDARDS FOR LAND SURVEYS AS ADOPTED BY THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

LARRY W. MEDRANO _____ DATE
 N.M.P.S. No. 11993



COORDINATE AND DIMENSION INFORMATION				PLSS INFORMATION				PROPERTY INFORMATION		PROJECT INFORMATION			
STATE PLANE ZONE: NM-C	GRID/GROUND COORDINATES: GRID	TYPE: STANDARD		LAND GRANT TOWN OF ALBUQUERQUE GRANT				PROPERTY OWNER THE TRUCK STOP PLAZA, LLC.		CREW/TECH: MT	DATE OF SURVEY 10/1-2/2018		
HORIZONTAL DATUM: NAD83	VERTICAL DATUM: NAVD88	ROTATION ANGLE: 0° 00' 00.00"	MATCHES DRAWING UNITS YES	SECTION 9	TOWNSHIP 10 NORTH	RANGE 3 EAST	MERIDIAN NMPM	SUBDIVISION NAME TRUCK STOP PLAZA		DRAWN BY: JK	CHECKED BY: LM		
CONTROL USED: ALBUQUERQUE GEODETIC REFERENCE SYSTEM				BASE POINT FOR SCALING AND/OR ROTATION: N = 0 E = 0				CITY ALBUQUERQUE	COUNTY BERNALILLO	STATE NM	UPC 101505942129310108	PSI JOB NO. 18-1144P	SHEET NUMBER 1 OF 2
COMBINED SCALE FACTOR: GRID TO GROUND: 1.000326784 GROUND TO GRID: 0.999673323		DISTANCE ANNOTATION: GROUND BEARING ANNOTATION: GRID		ELEVATION TRANSLATION: ±0.00'		ELEVATIONS VALID: NO							



OFFICE LOCATION:
 9200 San Mateo Boulevard, NE
 Albuquerque, NM 87113
 505.856.5700 PHONE
 505.856.7900 FAX

Drainage Facilities and/or Detention Areas Maintained by Lot Owner

AREAS DESIGNATED ON THE ACCOMPANYING PLAT AS "DRAINAGE EASEMENTS" ARE HEREBY DEDICATED BY THE OWNER AS A PERPETUAL EASEMENT FOR THE COMMON USE AND BENEFIT OF THE VARIOUS LOTS WITHIN THE SUBDIVISIONS FOR THE PURPOSE OF PERMITTING THE CONVEYANCE OF STORM WATER RUNOFF AND THE CONSTRUCTING AND MAINTAINING OF DRAINAGE FACILITIES IN ACCORDANCE WITH STANDARDS PRESCRIBED BY THE CITY OF ALBUQUERQUE. NO FENCE, WALL, PLANTING, BUILDING OR OTHER OBSTRUCTION MAY BE PLACED OR MAINTAINED IN EASEMENT AREA WITHOUT APPROVAL OF THE CITY ENGINEER OF THE CITY OF ALBUQUERQUE. THERE ALSO SHALL BE NO ALTERATION OF THE GRADES OR CONTOURS IN SAID EASEMENT AREA WITHOUT THE APPROVAL OF THE CITY ENGINEER. IT SHALL BE THE DUTY OF THE LOT OWNERS OF THIS SUBDIVISION TO MAINTAIN SAID DRAINAGE EASEMENT AND FACILITIES AT THEIR COST IN ACCORDANCE WITH STANDARDS PRESCRIBED BY THE CITY OF ALBUQUERQUE. THE CITY SHALL HAVE THE RIGHT TO ENTER PERIODICALLY TO INSPECT THE FACILITIES. IN THE EVENT SAID LOT OWNERS FAIL TO ADEQUATELY AND PROPERLY MAINTAIN DRAINAGE EASEMENT AND FACILITIES, AT ANY TIME FOLLOWING FIFTEEN (15) DAYS WRITTEN NOTICE TO SAID LOT OWNERS, THE CITY MAY ENTER UPON SAID AREA, PERFORM SAID MAINTENANCE, AND THE COST OF PERFORMING SAID MAINTENANCE SHALL BE PAID BY APPLICABLE LOT OWNERS PROPORTIONATELY ON THE BASIS OF LOT OWNERSHIP. IN THE EVENT LOT OWNERS FAIL TO PAY THE COST OF MAINTENANCE WITHIN THIRTY (30) DAYS AFTER DEMAND FOR PAYMENT MADE BY THE CITY, THE CITY MAY FILE A LIEN AGAINST ALL LOTS IN THE SUBDIVISION FOR WHICH PROPORTIONATE PAYMENT HAS NOT BEEN MADE. THE OBLIGATIONS IMPOSED HEREIN SHALL BE BINDING UPON THE OWNER, HIS HEIRS, AND ASSIGNS AND SHALL RUN WITH ALL LOTS WITHIN THIS SUBDIVISION.

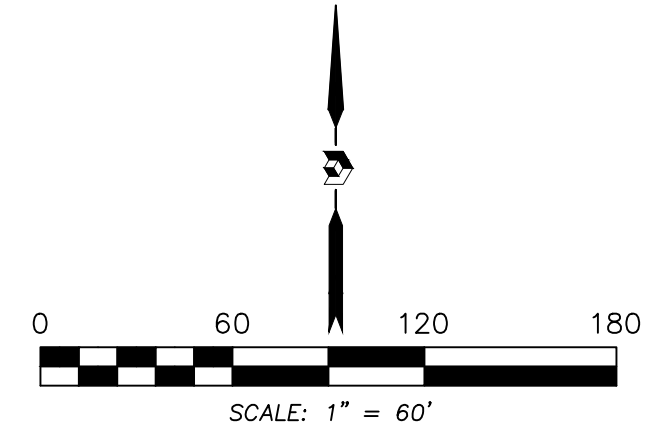
THE GRANTOR AGREES TO DEFEND, INDEMNIFY, AND HOLD HARMLESS, THE CITY, ITS OFFICIALS, AGENTS AND EMPLOYEES FROM AND AGAINST ANY AND ALL CLAIMS, ACTIONS, SUITS, OR PROCEEDINGS OF ANY KIND BROUGHT AGAINST SAID PARTIES FOR OR ON ACCOUNT OF ANY MATTER ARISING FROM THE DRAINAGE FACILITY PROVIDED FOR HEREIN OR THE GRANTOR'S FAILURE TO CONSTRUCT, MAINTAIN, OR MODIFY SAID DRAINAGE FACILITY.

Grant of Drainage Easements:

CITY CONSTRUCTS AND MAINTAINS A PERPETUAL EASEMENT ON THE AREAS DESIGNATED ON THIS PLAT AS "DRAINAGE EASEMENT" IS HEREBY DEDICATED TO THE CITY OF ALBUQUERQUE FOR THE PURPOSE OF PERMITTING THE CONVEYANCE OF STORM WATER RUNOFF AND FOR THE PURPOSE OF CONSTRUCTING, MAINTAINING, OPERATING, REMOVING, AND REPLACING STORM WATER DRAINAGE FACILITIES. NO FENCE, WALL, PLANTING, BUILDING, OR OTHER OBSTRUCTION MAY BE PLACED OR MAINTAINED IN SAID EASEMENT AREA AND THERE SHALL BE NO ALTERATION OF THE GRADES OR CONTOURS IN SAID DEDICATED AREA WITHOUT THE APPROVAL OF THE CITY ENGINEER OF THE CITY OF ALBUQUERQUE. NO OBSTRUCTIONS MAY BE PLACED IN EASEMENT AREA WHICH WOULD PREVENT INGRESS AND EGRESS TO SAME BY MAINTENANCE VEHICLES OR WHICH WOULD PREVENT VEHICLES TRAVELING ON DRAINAGE WAY FOR MAINTENANCE PURPOSES.

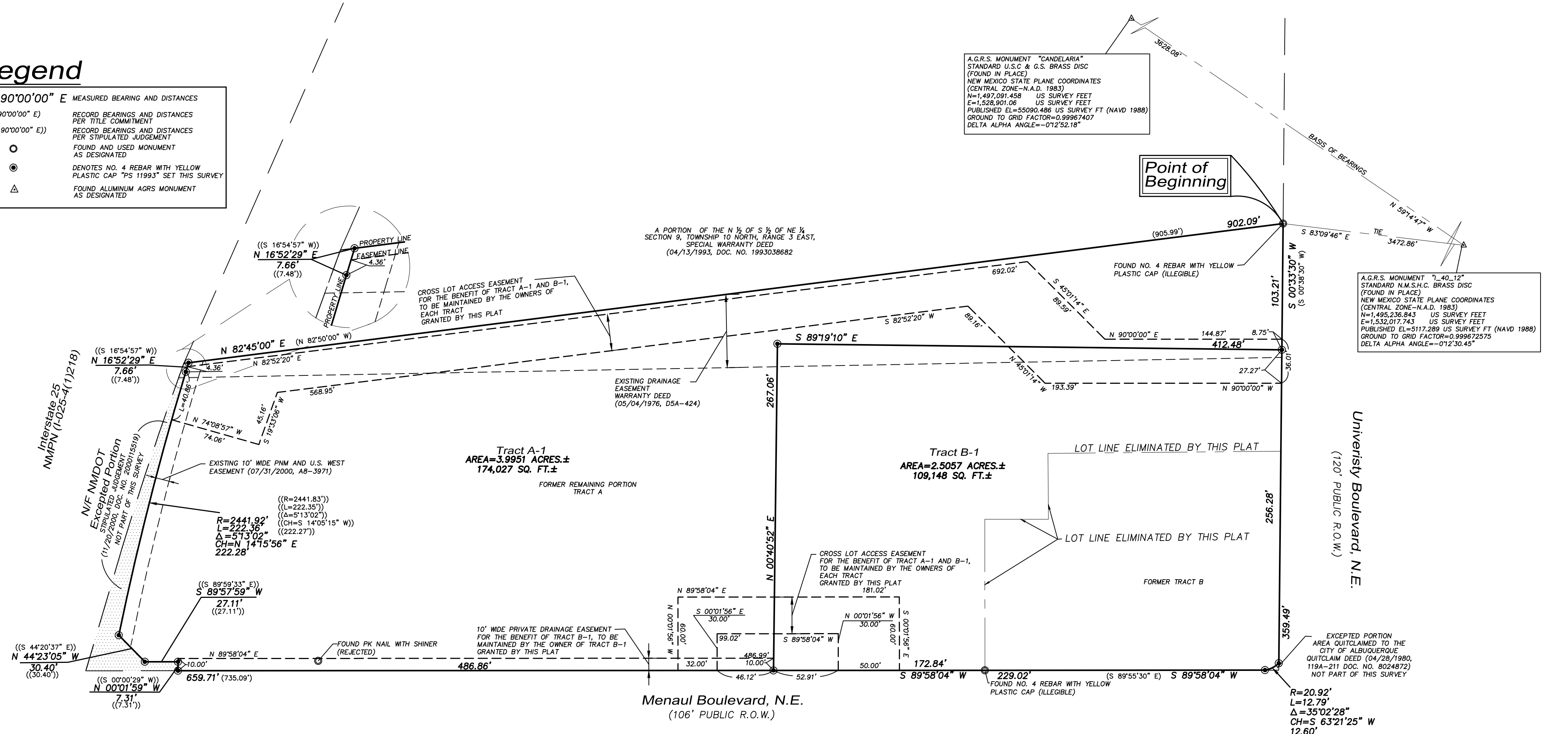
RECORDING STAMP


Plat of
Tracts A-1 & B-1
Truck Stop Plaza
Town of Albuquerque Gran Projected
Section 9, Township 10 North, Range 3 East, N.M.P.M.
Albuquerque, Bernalillo County, New Mexico
June 2019



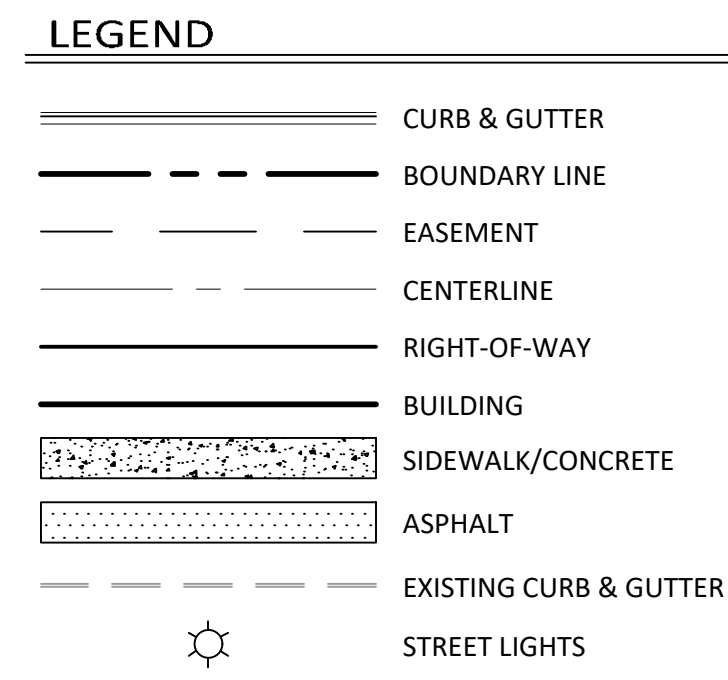
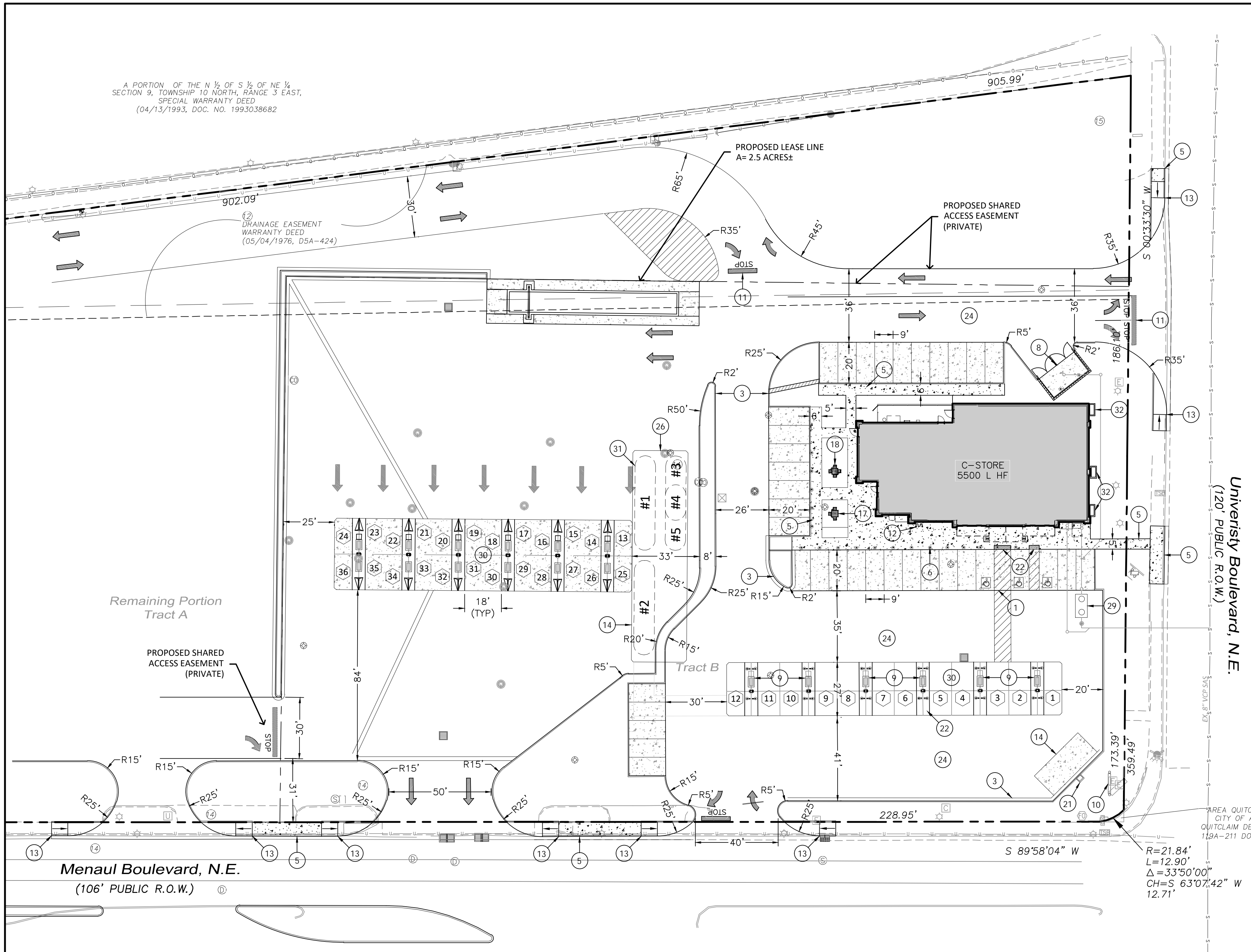
Legend

N 90°00'00" E	MEASURED BEARING AND DISTANCES
(N 90°00'00" E)	RECORD BEARINGS AND DISTANCES PER TITLE COMMITMENT
((N 90°00'00" E))	RECORD BEARINGS AND DISTANCES PER STIPULATED JUDGEMENT
○	FOUND AND USED MONUMENT AS DESIGNATED
●	DENOTES NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993" SET THIS SURVEY
△	FOUND ALUMINUM AGRS MONUMENT AS DESIGNATED

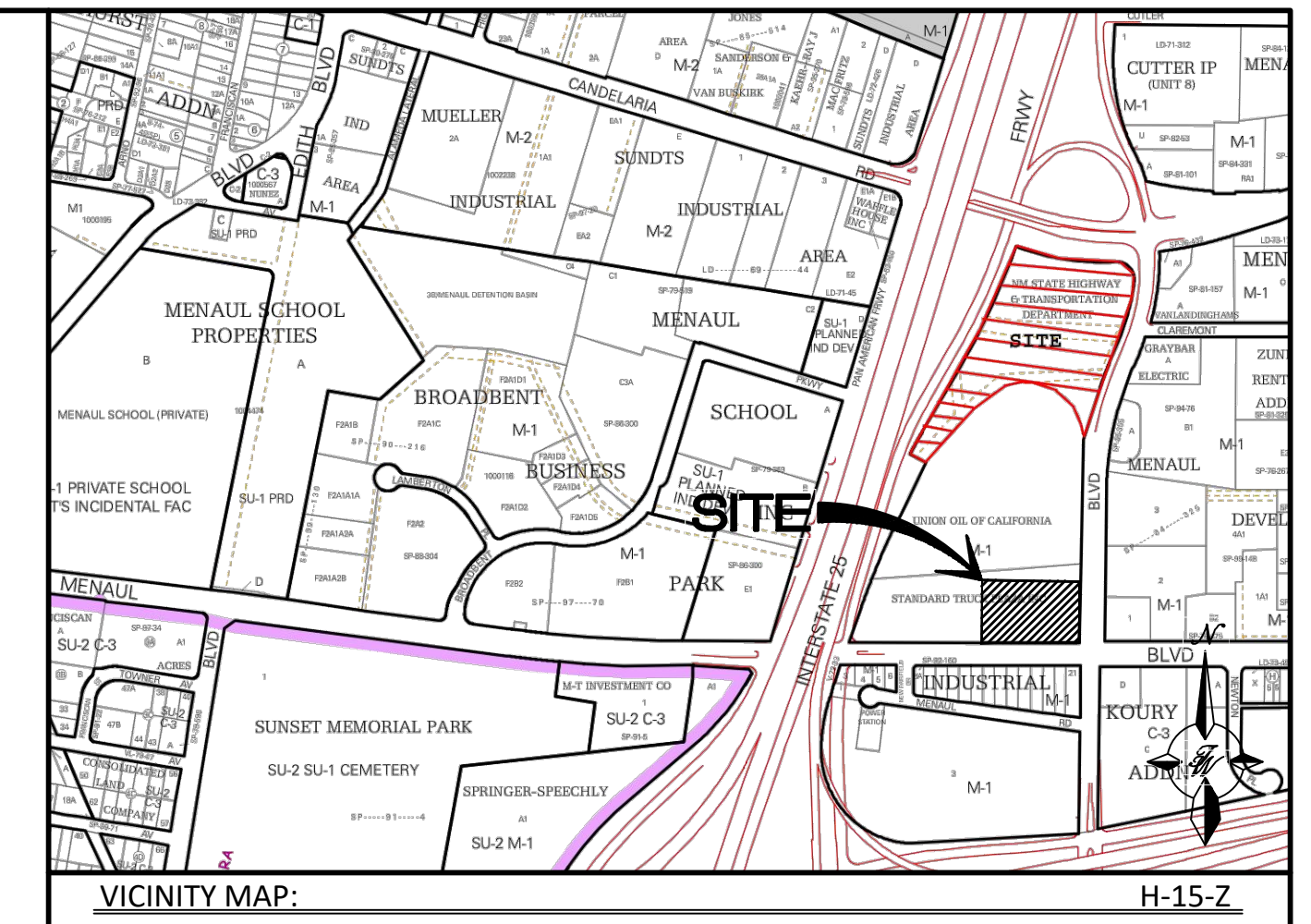


COORDINATE AND DIMENSION INFORMATION				PLSS INFORMATION				PROPERTY INFORMATION				PROJECT INFORMATION		
STATE PLANE ZONE: NM-C	GRID (GROUND COORDINATES): GRID	TYPE: STANDARD		LAND GRANT TOWN OF ALBUQUERQUE GRANT				PROPERTY OWNER THE TRUCK STOP PLAZA, LLC.				CREW/TECH: MT	DATE OF SURVEY 10/1-2/2018	
HORIZONTAL DATUM: NAD83	VERTICAL DATUM: NAVD88	ROTATION ANGLE: 0° 00' 00.00"	MATCHES DRAWING UNITS: YES	SECTION 9	TOWNSHIP 10 NORTH	RANGE 3 EAST	MERIDIAN NMPM	SUBDIVISION NAME TRUCK STOP PLAZA				DRAWN BY: JK	CHECKED BY: LM	
CONTROL USED: ALBUQUERQUE GEODETIC REFERENCE SYSTEM				CITY ALBUQUERQUE				COUNTY BERNALILLO		STATE NM		PSI JOB NO. 18-1144P		SHEET NUMBER 2 OF 2
COMBINED SCALE FACTOR: GRID TO GROUND: 1.000326784 GROUND TO GRID: 0.999673323				ELEVATION TRANSLATION: ±0.00'				ELEVATIONS VALID: NO		 OFFICE LOCATION: 9200 San Mateo Boulevard, NE Albuquerque, NM 87113 505.856.5700 PHONE 505.856.7900 FAX				

A PORTION OF THE N 1/2 OF S 1/2 OF NE 1/4 SECTION 9, TOWNSHIP 10 NORTH, RANGE 3 EAST, SPECIAL WARRANTY DEED (04/13/1993, DOC. NO. 1993038682)



- NOTES:**
- SEE ELECTRICAL PLANS FOR ALL LIGHT POLES & LIGHT POLE LOCATIONS. ALL LIGHT POLES BASES SHALL BE STRAIGHT AND PLASTERED SMOOTH. TOP OF LIGHT BASE SHALL BE 2'-6" ABOVE TOP OF CURB/SIDEWALK. BASES PROVIDED BY G.C., TYP.
 - XACTAIR STATION ON 30"x36" CONCRETE PAD. EQUIPMENT PROVIDED BY OWNER. G.C. TO PROVIDE ELECTRICAL SERVICE AND INSTALL AIR STATION EQUIPMENT.
 - ALL UTILITY DIGGING OR OTHER EXCAVATION SHALL TAKE IN CONSIDERATION EXISTING SIDEWALKS, CURB & GUTTERS AND OTHER STRUCTURES THAT MAY NEED TO BE REMOVED AND/OR REPLACED AS PART OF THE G.C. BID.
 - ALL RETAIL PRODUCT AREAS ARE TO BE UNDER THE BUILDINGS PERMANENT ROOF



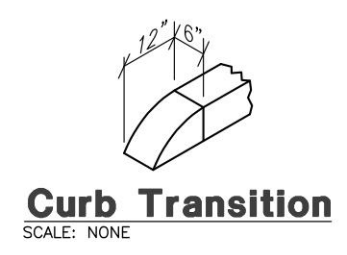
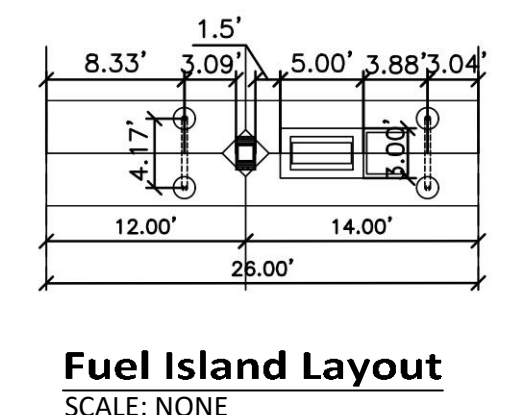
LEGAL DESCRIPTION:
REMAINING PORTION TRACT A AND REMAINING PORTION TRACT B, LYING AT THE NORTHEAST CORNER OF IR-25 (I-025-4(1)218) AND MENAUL BLVD. N.E.

SITE DATA

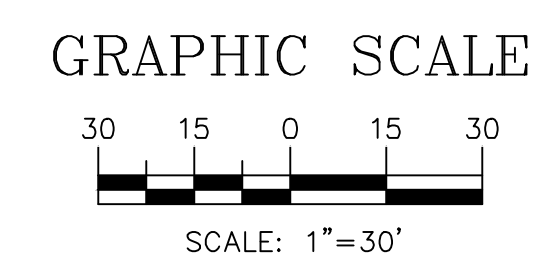
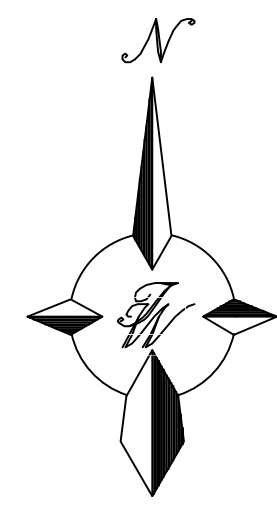
PROPOSED USAGE:	GAS CONVENIENCE STORE
IDO CLASSIFICATION:	HEAVY AND LIGHT VEHICLE FUELING STATION
LOT AREA:	108,900 SF (2.50 ACRES)
ADDRESS:	TBD
BUILDING AREA:	5,500 SF
STACK:	
ASPHALT AREA:	
PARKING REQUIRED:	22 SPACES (4 SPACES PER 1,000 SF)
PARKING PROVIDED:	38 SPACES
HC PARKING REQUIRED:	2 SPACES
HC PARKING PROVIDED:	2 SPACES (1 VAN ACCESSIBLE)
MC PARKING REQUIRED:	2 SPACES
MC PARKING PROVIDED:	2 SPACES
BICYCLE PARKING REQUIRED:	2 SPACES
BICYCLE PARKING PROVIDED:	2 SPACES
LANDSCAPE AREA REQUIRED:	15,510 SF
LANDSCAPE AREA PROVIDED:	16,155 SF

KEYED NOTES

- | | |
|--|---|
| 1 ACCESSIBLE PARKING PER ADA STANDARDS WITH SIGN SEE DETAIL SHT. C5 | 17 ADA PICNIC TABLE (SEE ARCH. PLANS) |
| 2 MOTORCYCLE PARKING WITH SIGN | 18 PICNIC TABLE (SEE ARCH. PLANS) |
| 3 ON-SITE CURB & GUTTER (SEE DETAIL SHT. C6) | 19 CONCRETE PARKING STALL (SEE DETAIL SHT. C6) |
| 4 MODIFIED OIL-WATER SEPARATOR: SINGLE TYPE C INLET COA STD DWG 2205. SNOUT DETAIL SEE SHEET C9. | 20 PETROLEUM TRENCH CAP SECTION (SEE DETAIL SHT. C6) |
| 5 CONCRETE SIDEWALK (SEE DETAIL SHT. C7) | 21 XACTAIR AIR STATION (SEE DETAIL SHT. C6) |
| 6 BOLLARDS (SEE DETAIL SHT. C7) | 22 TRUNCATED DOMES (SEE DETAIL SHT. C8) |
| 7 EXISTING WALL (TO REMAIN) | 23 "HOOP" BOLLARD (SEE DETAIL SHT. C7) |
| 8 DUMPSTER (SEE DETAIL SHT. C8) | 24 ASPHALT PAVING (SEE GEOTECH REPORT) |
| 9 GAS PUMP ISLAND (TYP) | 25 MAVERIK D/F ILLUMINATED PYLON SIGN (SEE ARCH. PLANS) |
| 10 MAVERIK MONUMENT SIGN (SEE ARCH. PLANS) | 26 UNDERGROUND STORAGE FUEL TANKS (REFER MECH. PLANS) |
| 11 2.0' STOP BAR | 27 SIDEWALK CULVERT COA STD DWG 2236 |
| 12 BICYCLE RACKS (SEE DETAIL SHT. C8) | 28 CURB & GUTTER (PER COA STD 2415A) |
| 13 UNIDIRECTIONAL ACCESSIBLE RAMP (SEE DETAIL SHT. C8) | 29 GREASE INTERCEPTOR |
| 14 CONCRETE SLAB W/CHAMFERED CORNERS | |
| 15 4' CONCRETE SIDEWALK (SEE DETAIL SHT. C7) | |
| 16 POWER POLE TO BE REMOVED (BY OTHERS) | |



- INDEX TO DRAWINGS**
- C1. SITE PLAN FOR BUILDING PERMIT
 - C2. GRADING PLAN
 - C3. DEVELOPED DRAINAGE PLAN
 - C4. GRADING DETAILS
 - C5. MASTER UTILITY PLAN
 - C6. CONSTRUCTION DETAILS
 - C7. CONSTRUCTION DETAILS
 - C8. CONSTRUCTION DETAILS
 - C9. CONSTRUCTION DETAILS
 - C10. DEMOLITION PLAN
 - L1. LANDSCAPING PLAN
 - B1. BUILDING ELEVATION & SIGN PLANS
 - SW1. EROSION CONTROL PLAN
 - SW2. EROSION CONTROL DETAILS
 - SW3. EROSION CONTROL DETAILS



PROJECT NUMBER: _____
APPLICATION NUMBER: _____

Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineer, Transportation Division	Date
ABCWUA	Date
Parks & Recreation Department	Date
City Engineer/Hydrology	Date
Code Enforcement	Date
*Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

* Environmental Health, if necessary

ENGINEER'S SEAL	MAVERIK UNIVERSITY & MENAUL	DRAWN BY DY
	SITE PLAN FOR BUILDING PERMIT	DATE 4/24/19
RONALD R. BOHANNAN P.E. #7868	TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	2018062-C1-SPB
		SHEET # C1
		JOB # 2018062

