



Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

SUBDIVISIONS		<input type="checkbox"/> Final Sign off of EPC Site Plan(s) (Form P2)	
<input type="checkbox"/> Major – Preliminary Plat (Form P1)	<input type="checkbox"/> Amendment to Site Plan (Form P2)	<input type="checkbox"/> Vacation of Public Right-of-way (Form V)	
<input type="checkbox"/> Minor – Preliminary/Final Plat (Form S2)	MISCELLANEOUS APPLICATIONS		
<input type="checkbox"/> Major - Final Plat (Form S1)	<input type="checkbox"/> Extension of Infrastructure List or IIA (Form S1)	<input type="checkbox"/> Vacation of Public Easement(s) DRB (Form V)	
<input type="checkbox"/> Amendment to Preliminary Plat (Form S2)	<input type="checkbox"/> Minor Amendment to Infrastructure List (Form S2)	PRE-APPLICATIONS	
<input type="checkbox"/> Extension of Preliminary Plat (Form S1)	<input type="checkbox"/> Temporary Deferral of SNW (Form V2)	<input checked="" type="checkbox"/> Sketch Plat Review and Comment (Form S2)	
	<input type="checkbox"/> Sidewalk Waiver (Form V2)		
SITE PLANS		APPEAL	
<input type="checkbox"/> DRB Site Plan (Form P2)	<input type="checkbox"/> Waiver to IDO (Form V2)	<input type="checkbox"/> Decision of DRB (Form A)	
<input type="checkbox"/> Waiver to DPM (Form V2)			
BRIEF DESCRIPTION OF REQUEST			
Sketch Plat Review and Comment			

APPLICATION INFORMATION		
Applicant: Wymont, LLC		Phone: 505-896-9037
Address: 333 Rio Rancho Drive NE, Suite 202		Email: jarrodl@aswinc.com
City: Rio Rancho	State: NM	Zip: 87124
Professional/Agent (if any): Tierra West, LLC		Phone:
Address: 5571 Midway Park PI NE		Email: jniski@tierrawestllc.com
City: Albuquerque	State: NM	Zip: 87109
Proprietary Interest in Site: owner	List all owners:	
SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)		
Lot or Tract No.: LT 1-A-1 PLAT FOR LOTS 1-A-1 AND 5-A-1	Block:	Unit:
Subdivision/Addition: La Mirada Subdivision	MRGCD Map No.:	UPC Code: 101906048047020404
Zone Atlas Page(s): G-19-Z	Existing Zoning: MX-M	Proposed Zoning: MX-M
# of Existing Lots: 1	# of Proposed Lots: 70	Total Area of Site (Acres): 15.1868 acres
LOCATION OF PROPERTY BY STREETS		
Site Address/Street: 4315 Wyoming Blvd NE	Between: Montgomery Blvd NE	and La Mirada PI NE
CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)		
PR-2019-002309, PS-2019-00029, SD-2019-00221, SD-2019-00223, SD-2019-00226, SD-2019-00227, SI-2019-00414		

Signature:		Date: 12/13/2021			
Printed Name: Ronald R. Bohannon		<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent			
FOR OFFICIAL USE ONLY					
Case Numbers	Action	Fees	Case Numbers	Action	Fees
Meeting Date:			Fee Total:		
Staff Signature:		Date:	Project #		

FORM S2: SUBDIVISION OF LAND – MINOR ACTIONS

Please refer to the DRB minor case schedule for meeting dates and deadlines. Bring original Mylar or paper copy of plat with property owner's and City Surveyor's signatures on it to the meeting. Your attendance is required.

SKETCH PLAT REVIEW AND COMMENT

- Interpreter Needed for Hearing? _____ if yes, indicate language: _____
- A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD. PDF shall be organized with the Development Review Application and this Form S2 at the front followed by the remaining documents in the order provided on this form.
 - Zone Atlas map with the entire site clearly outlined and labeled
 - Letter describing, explaining, and justifying the request
 - Scale drawing of the proposed subdivision plat (7 copies, folded)
 - Site sketch with measurements showing structures, parking, building setbacks, adjacent rights-of-way, and street improvements, if there is any existing land use (7 copies, folded)

MAJOR SUBDIVISION FINAL PLAT APPROVAL

- Interpreter Needed for Hearing? _____ if yes, indicate language: _____
- A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD. PDF shall be organized with the Development Review Application and this Form S2 at the front followed by the remaining documents in the order provided on this form.
 - Zone Atlas map with the entire site clearly outlined and labeled
 - Proposed Final Plat (7 copies, 24" x 36" folded)
 - Design elevations & cross sections of perimeter walls (3 copies)
 - Copy of recorded IIA
 - Landfill disclosure and EHD signature line on the plat if property is within a landfill buffer
 - DXF file and hard copy of final plat data for AGIS submitted and approved

SUBDIVISION OF LAND – MINOR (PRELIMINARY/FINAL PLAT APPROVAL)

- Interpreter Needed for Hearing? _____ if yes, indicate language: _____
- A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD. PDF shall be organized with the Development Review Application and this Form S2 at the front followed by the remaining documents in the order provided on this form.
 - Zone Atlas map with the entire site clearly outlined and labeled
 - Letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-6(K)
 - Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A)
 - Proposed Preliminary / Final Plat with property owner's and City Surveyor's signatures on the plat prior to submittal. (7 copies, folded)
 - Site sketch with measurements showing structures, parking, building setbacks, adjacent rights-of-way, and street improvements (to include sidewalk, curb & gutter with distance to property line noted) if there is any existing land use (7 copies, folded)
 - Sidewalk Exhibit and/or cross sections of proposed streets (3 copies, 11" by 17" maximum)
 - Signed Form DRWS Drainage Report Grading and Drainage Plan, and Water & Sewer Availability submittal information
 - Proposed Infrastructure List, if applicable
 - Required notice with content per IDO Section 14-16-6-4(K)
 - Office of Neighborhood Coordination inquiry response and proof of emailed notice to applicable Neighborhood Association representatives
 - Landfill disclosure and Environmental Health Department signature line on the plat if property is within a landfill buffer
 - DXF file and hard copy of final plat data for AGIS submitted and approved

Note: Any application that requires major public infrastructure must be processed as a Subdivision of Land - Major. See Form S1.

MINOR AMENDMENT TO PRELIMINARY PLAT

- Interpreter Needed for Hearing? _____ if yes, indicate language: _____
- A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD. PDF shall be organized with the Development Review Application and this Form S2 at the front followed by the remaining documents in the order provided on this form.
 - Zone Atlas map with the entire site clearly outlined and labeled
 - Letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)
 - Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (7 copies, folded)
 - Original Preliminary Plat, Infrastructure List, and/or Grading Plan (7 copies, folded)
 - Infrastructure List, if applicable

Note: Any application that does not qualify as a Minor Amendment in IDO Section 14-16-6-4(X) must be processed as a Major Amendment. See Form S1.

<p><i>I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.</i></p>									
<p>Signature: </p>	<p>Date: <u>7/13/2021</u></p>								
<p>Printed Name: Ronald R. Bohannon</p>	<p><input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent</p>								
<p>FOR OFFICIAL USE ONLY</p>									
<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 50%;">Project Number</th> <th style="width: 50%;">Case Numbers</th> </tr> </thead> <tbody> <tr> <td style="height: 20px;"> </td> <td style="text-align: center;">-</td> </tr> <tr> <td style="height: 20px;"> </td> <td style="text-align: center;">-</td> </tr> <tr> <td style="height: 20px;"> </td> <td style="text-align: center;">-</td> </tr> </tbody> </table>	Project Number	Case Numbers		-		-		-	
Project Number	Case Numbers								
	-								
	-								
	-								
<p>Staff Signature</p>									
<p>Date:</p>									



TIERRA WEST, LLC

July 13, 2021

Ms. Jolene Wolfley, Chair
Design Review Board
PO Box 1293
Albuquerque, NM 87102

RE: **SKETCH PLAT REVIEW AND COMMENT
LT 1-A-1 PLAT FOR LOTS 1-A-1 AND 5-A-1
LA MIRADA SUBDIVISION
ZONE ATLAS MAP: G-19-Z**

Dear Ms. Wolfley:

Tierra West, LLC is submitting Sketch plat review and comment on behalf of Wymont, LLC for a mixed use subdivision. The subject property is located at 4315 Wyoming Blvd. The site is zoned mixed use moderate (MX-M).

The site was previously a vacant shopping center that will be demolished and redeveloped into 66 residential lots and 9 commercial Tracts with access off La Mirada, Wyoming Blvd. and Montgomery Blvd. The town house development will be zero lot line setbacks from some of the lots. An emergency access will be provided to the redeveloped commercial properties to the north. The commercial Tracts will be connected by internal roadways with easements for utility connections and a blanket drainage easement.

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

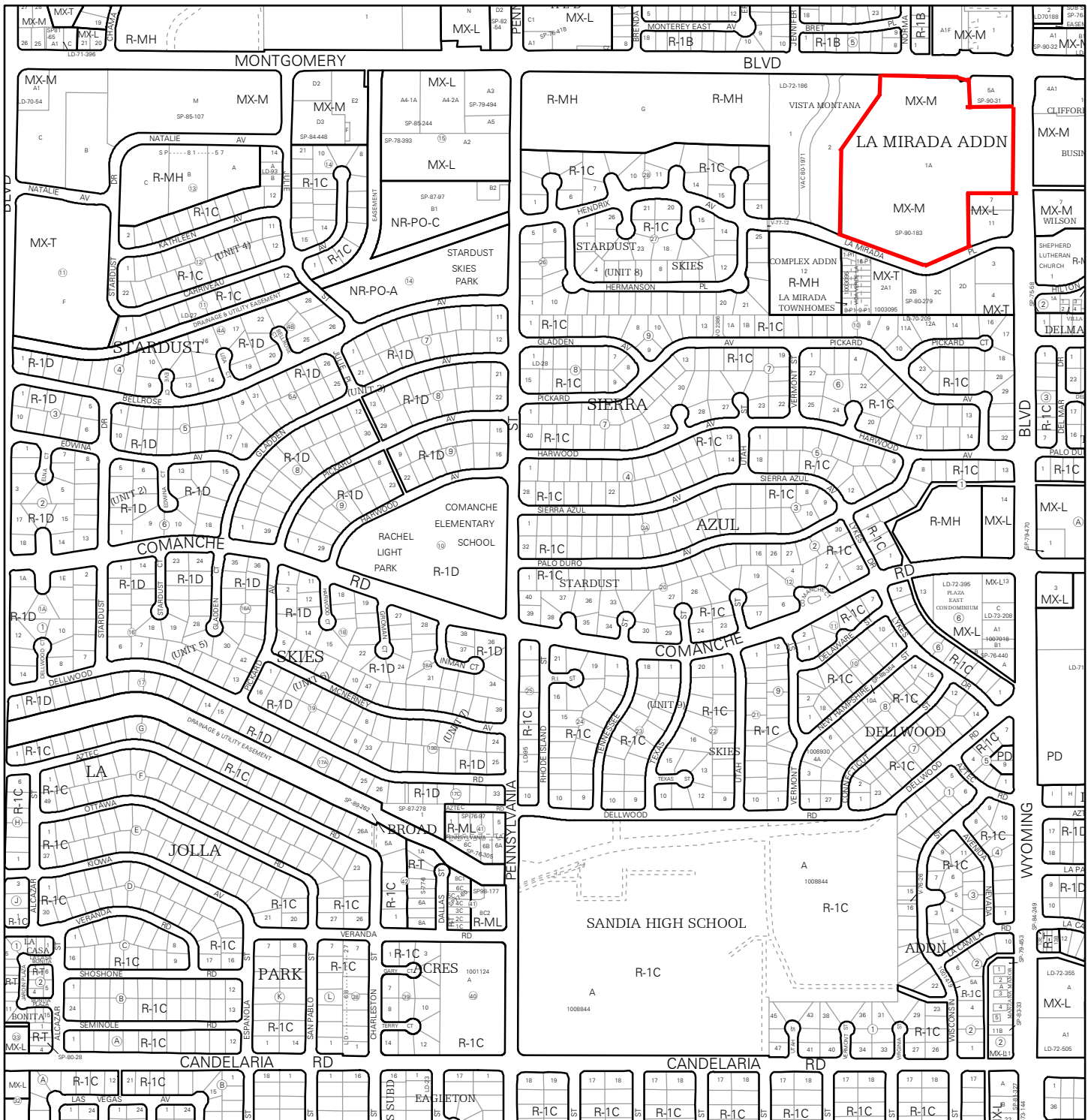
Sincerely,

Ronald R. Bohannon, P.E.

Enclosure/s


JN: 2021008
RRB/jn/kw

5571 Midway Park Pl. NE
Albuquerque, NM 87109
(505) 858-3100 fax (505) 858-1118 1-800-245-3102
tierrawestllc.com



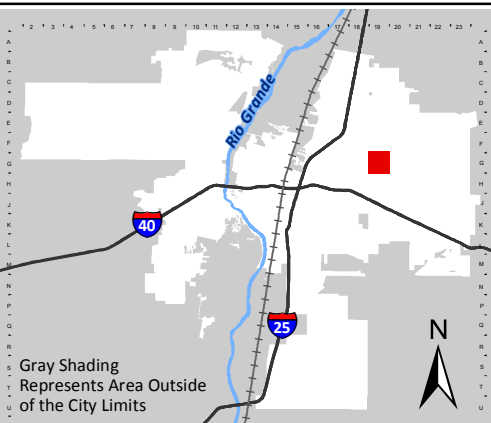
For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018











IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).

Zone Atlas Page:
G-19-Z



Gray Shading
Represents Area Outside
of the City Limits

-  Easement
-  Escarpment
-  Petroglyph National Monument
-  Areas Outside of City Limits
-  Airport Protection Overlay (APO) Zone
-  Character Protection Overlay (CPO) Zone
-  Historic Protection Overlay (HPO) Zone
-  View Protection Overlay (VPO) Zone

0 250 500 1,000 Feet

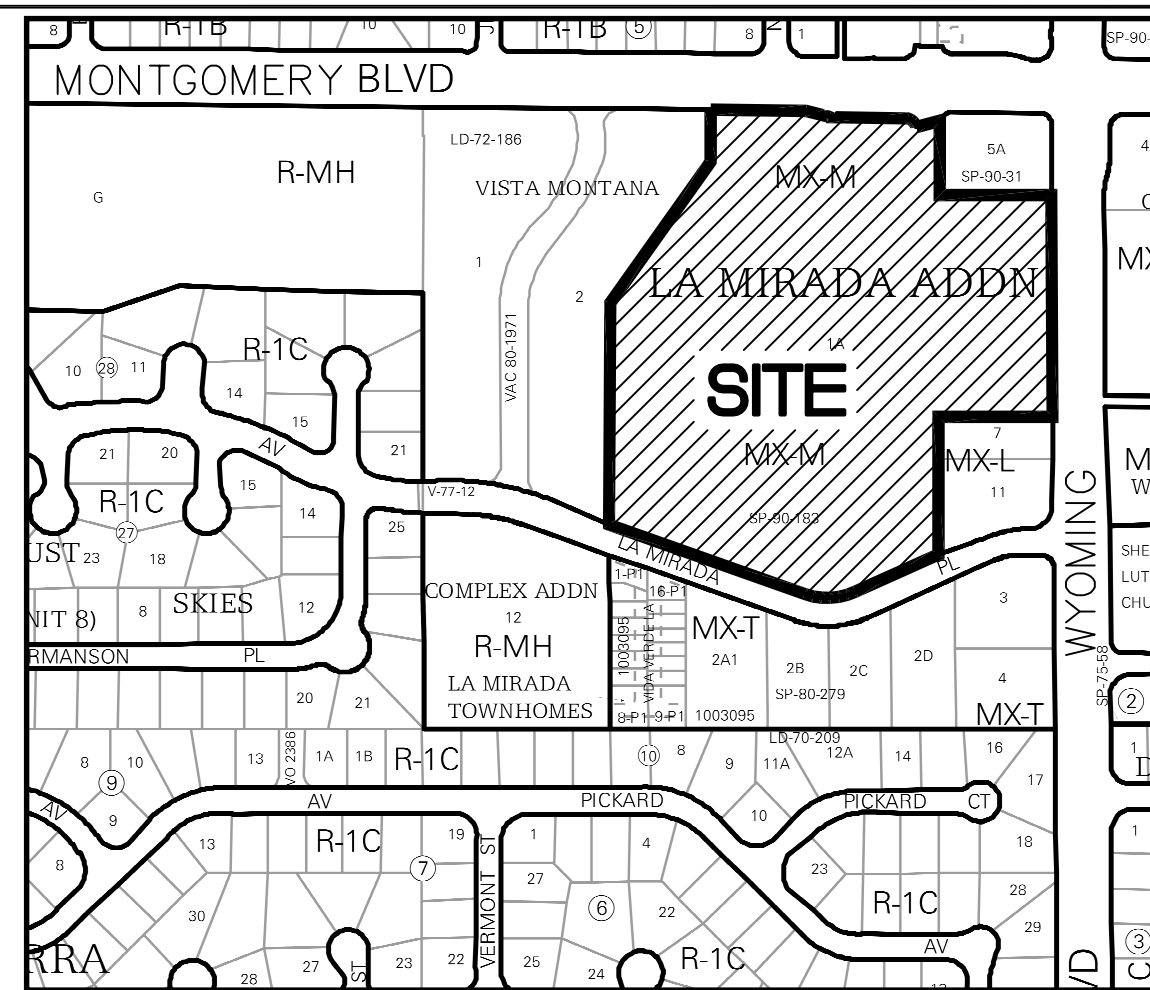
Line #	Direction	Length (ft)
L1	S 76°03'13" E	43.17'
L2	S 85°43'01" E	3.42'
L3	S 89°19'08" E	6.99'
L4	N 72°42'55" E	38.82'
L5	S 89°41'44" E	3.01'

This Sheet Shows Existing Conditions, Existing Easements, and Vacated Easements

Record and Measured Legal Description

LOT NUMBERED ONE-A-ONE (1-A-1) OF LA MIRADA SUBDIVISION, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT ENTITLED "PLAT FOR LOTS 1-A-1 AND 5-A-1, LA MIRADA SUBDIVISION, BEING COMPRISED OF LOTS 1-A AND 5-A, LA MIRADA SUBDIVISION, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON DECEMBER 23, 2019, IN PLAT BOOK 2019C, PAGE 137.

Sketch Plat for Tracts 1 thru 8, The Wymont and Lots 1 thru 66 and Tract A, B, C, Wymont Place Being Comprised of Lot 1-A-1, La Mirada Subdivision City of Albuquerque Bernalillo County, New Mexico July 2021



Vicinity Map - Zone Atlas G-19-Z

Easement Notes

- EXISTING PNM TRANSMISSION LINE EASEMENT (4/24/1973, BK. MISC. 309, FOL. 334, DOC. NO. 47734)
- CENTERLINE OF 32.5 FOOT OPENING AT THE PROPERTY LINE BEING A PRIVATE RECIPROCAL DRIVEWAY OPENING EASEMENT BENEFITING LOT 1-A-1 AND 5-A-1 FOR ACCESS TO AND FROM LOT 1-A-1 AND LOT 5-A-1 INTO THE DRIVE AISLES FOR USE WITHIN LOT 1-A-1 AND 5-A-1 AS SUCH DRIVE AISLES ARE ESTABLISHED AND/OR RELOCATED FROM TIME TO TIME BY THE RESPECTIVE OWNERS OF LOT 1-A-1 AND LOT 5-A-1. EACH OWNER IS TO BE RESPONSIBLE TO MAINTAIN THAT PORTION OF THE RECIPROCAL DRIVEWAY OPENING AND THE DRIVE AISLES THAT ARE SITUATE UPON THAT OWNER'S LOT (12/23/2019, 2019C-137)
- EXISTING 7' UTILITY EASEMENT (3/19/1974, C9-165), AMENDED BY PLAT (3/20/1981, C18-32) ACROSS THE EASTERLY 7' OF LOT 1-A-1
- EXISTING 7' EASEMENT FOR POWER TRANSMISSION LINES 53' ABOVE GROUND LEVEL (9/24/1968, BK. 116, PG. 158, DOC. NO. 8889) ACROSS THE EASTERLY 7' OF LOT 1-A-1 AND 5-A-1
- EXISTING UTILITY EASEMENT (4/14/1972, C8-126) LOCATED ON VISTA MONTANA COMPLEX
- EXISTING 10' PNM EASEMENT (6/21/1977, BK. MISC. 542, PG. 844, DOC. NO. 77-36542) **VACATED WITH THIS PLAT**
- EXISTING 6' ANCHOR EASEMENT (6/21/1977, BK. MISC. 542, PG. 844, DOC. NO. 77-36542)
- EXISTING 10' UNDERGROUND PNM & MST&T EASEMENT (10/28/1986, BK. MISC. 412A, PG. 15, DOC. NO. 86105149)
- EXISTING PNM EASEMENT (4/24/1973, BK. MISC. 309, PG. 333, DOC. NO. 47733) LOCATED ON LOT 5-A-1
- EXISTING 10' PNM EASEMENT (6/21/1977, BK. MISC. 542, PG. 845, DOC. 7736543) LOCATED ON LOT 5-A-1
- EXISTING 15' GAS EASEMENT (12/23/2019, 2019C-137)
- EXISTING 10' PUE (12/23/2019, 2019C-137) LOCATED ON LOT 5-A-1
- EXISTING PNM & US WEST EASEMENT (1/22/1996, BK. 96-2, PG. 6187-6188, DOC. NO. 96007364)
- 15' PNM & CENTURYLINK EASEMENT (12/23/2019, 2019C-137) **VACATED WITH THIS PLAT**
- EXISTING PRIVATE CROSS LOT ACCESS EASEMENT BENEFITING LOTS 5-A-1 AND 1-A-1 OVER THE DRIVE AISLES WITHIN LOTS 5-A-1 AND 1-A-1 AS MAY BE STRIPED AND MODIFIED OVER TIME AND MAINTAINED BY THE RESPECTIVE UNDERLYING OWNERS OF LOT 5-A-1 AND LOT 1-A-1, EXCLUDING BUILDING ENVELOPES FOR BOTH FUTURE AND EXISTING BUILDINGS (12/23/2019, 2019C-137)
- EXISTING PRIVATE CROSS LOT DRAINAGE EASEMENT, BENEFITING LOT 5-A-1, OVER LOT 1-A-1 EXCLUDING BUILDING ENVELOPES FOR BOTH EXISTING AND FUTURE BUILDINGS, TO BE MAINTAINED BY THE UNDERLYING OWNER OF LOT 1-A-1 (12/23/2019, 2019C-137)
- EXISTING 10' PNM EASEMENT (12/23/2019, 2019C-137) **VACATED WITH THIS PLAT**
- EXISTING 10' PNM EASEMENT (12/23/2019, 2019C-137)
- EXISTING PRIVATE CROSS LOT PARKING EASEMENTS WITHIN THE PARKING AREAS AS REGULATED, STRIPED AND MODIFIED OVER TIME BY THE OWNER OF LOT 1-A-1, WITHIN LOT 1-A-1, BENEFITING LOT 5-A-1 AND LOT 1-A-1, EXCLUDING BUILDING ENVELOPES FOR BOTH EXISTING AND FUTURE BUILDINGS, TO BE MAINTAINED BY THE UNDERLYING OWNER OF SAID LOT 1-A-1 (12/23/2019, 2019C-137)
- EXISTING PRIVATE DRIVEWAY EASEMENT BENEFITING LOTS 5-A-1 AND 1-A-1 TO BE MAINTAINED BY THE OWNER OF LOT 1-A-1 FOR ACCESS TO AND FROM MONTGOMERY BOULEVARD FOR LOTS 5-A-1 AND 1-A-1 AND FOR ACCESS BETWEEN LOTS 5-A-1 AND 1-A-1 (12/23/2019, 2019C-137)
- EXISTING 10' PNM EASEMENT (12/23/2019, 2019C-137)
- EXISTING 10' PNM EASEMENT (12/23/2019, 2019C-137)
- EXISTING CENTURYLINK EASEMENT (12/23/2019, 2019C-137)
- EXISTING PUBLIC SIDEWALK AND BUS STOP SHELTER EASEMENT (12/23/2019, 2019C-137)
- EXISTING PRIVATE EASEMENT AGREEMENT BETWEEN THE BANK OF AMERICA AND THE OWNER OF THE SUBJECT PROPERTY (12/23/2019, DOC. 2019109248)

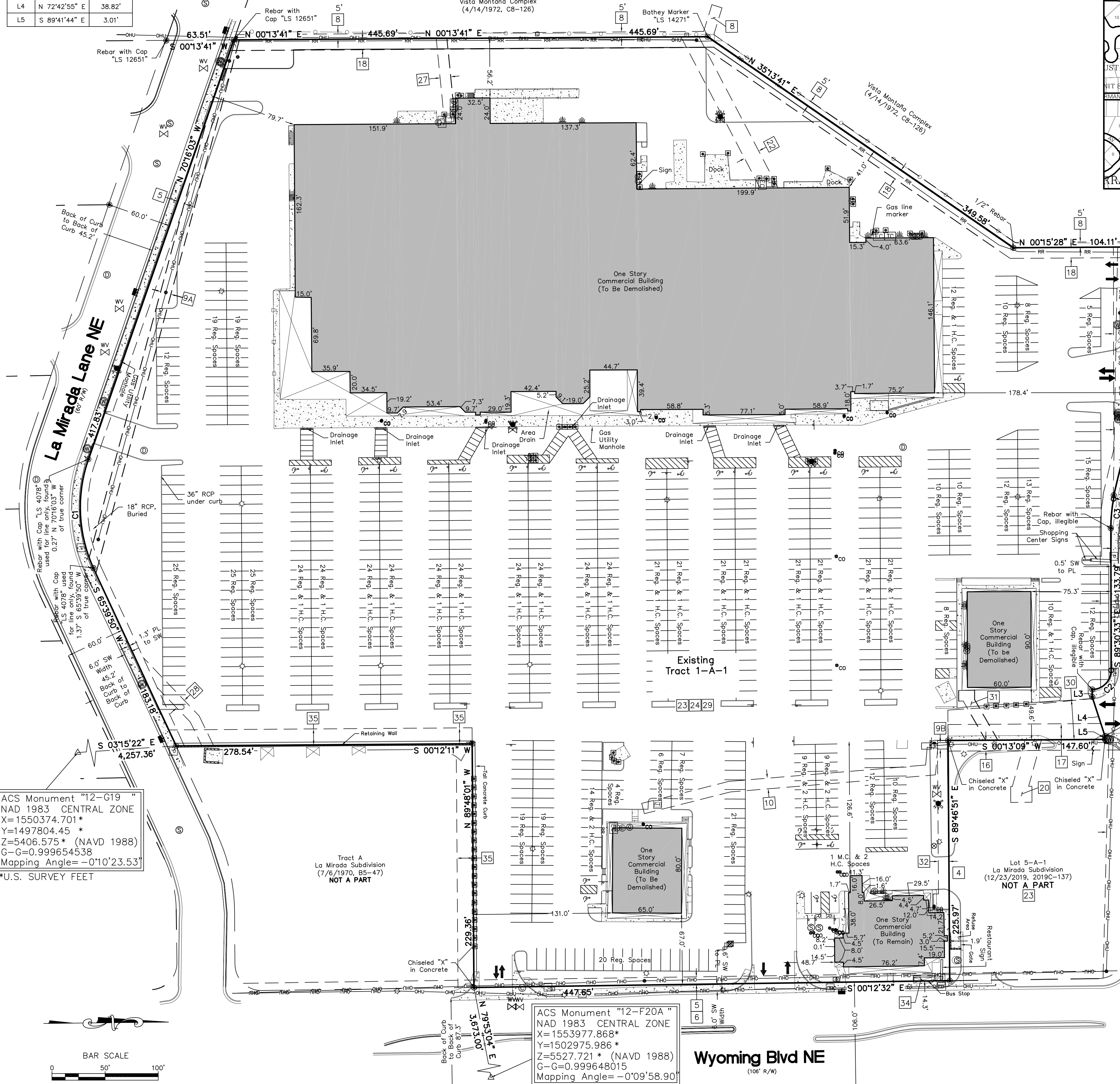
Purpose of Plat

- Subdivide as Shown hereon.
- Vacate Easements.

Legend

N 90°00'00" E	
(Symbol)	MEASURED BEARINGS AND DISTANCES FOUND REBAR WITH CAP "LS 4078" UNLESS OTHERWISE INDICATED
(Symbol)	SET BATHEY MARKER "LS 14271" UNLESS OTHERWISE NOTED
(Symbol)	COVERED AREA
(Symbol)	CONCRETE
(Symbol)	UTILITY PEDESTAL
(Symbol)	GUARD RAIL
(Symbol)	WIRE FENCE
(Symbol)	METAL FENCE
(Symbol)	RETAINING WALL
(Symbol)	BLOCK WALL
(Symbol)	CHAINLINK FENCE
(Symbol)	RAILROAD TIES
(Symbol)	HANDRAIL
(Symbol)	BOLLARD
(Symbol)	OVERHEAD UTILITY LINE
(Symbol)	UTILITY POLE
(Symbol)	ANCHOR
(Symbol)	PULL BOX
(Symbol)	LIGHT POLE
(Symbol)	ELECTRIC METER
(Symbol)	TRANSFORMER
(Symbol)	ELECTRIC CABINET
(Symbol)	GAS METER
(Symbol)	CABLE MANHOLE
(Symbol)	WATER VALVE
(Symbol)	WATER METER
(Symbol)	FIRE HYDRANT
(Symbol)	ROOF DRAIN
(Symbol)	MANHOLE
(Symbol)	SAS CLEANOUT
(Symbol)	IRRIGATION BOX
(Symbol)	MANHOLE
(Symbol)	STORM DRAIN INLET
(Symbol)	IRRIGATION VALVE
(Symbol)	SIGN
(Symbol)	CURB CUT/INDICATION OF ACCESS TO ROADWAY
(Symbol)	F.D.C.
(Symbol)	RAMP

Curve #	Length	Radius	Delta	Chord Length	Chord Direction
C1	106.14'	138.00'	44°04'07"	103.54'	S 87°41'53" W
C2	28.05'	18.00'	89°17'07"	25.30'	S 44°52'00" E
C3	27.73'	157.00'	10°07'06"	27.69'	S 84°04'11" E



ACS Monument "12-G19" NAD 1983 CENTRAL ZONE X=1550374.701 * Y=1497804.45 * Z=5406.575 * (NAVD 1988) G-G=0.999654538 Mapping Angle=-0°10'23.53" *U.S. SURVEY FEET

ACS Monument "12-F20A" NAD 1983 CENTRAL ZONE X=1553977.868 * Y=1502975.986 * Z=5527.721 * (NAVD 1988) G-G=0.999648015 Mapping Angle=-0°09'58.90" *U.S. SURVEY FEET

Wyoming Blvd NE
(106' R/W)



CSI-CARTESIAN SURVEYS INC.
P.O. BOX 44414 RIO RANCHO, N.M. 87174
Phone (505) 896-3050 Fax (505) 891-0244
wplotnerj@gmail.com

