



Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

SUBDIVISIONS	<input checked="" type="checkbox"/> Final Sign off of EPC Site Plan(s) (Form P2A)	<input type="checkbox"/> Extension of IIA: Temp. Def. of S/W (Form V2)
<input type="checkbox"/> Major – Preliminary Plat (Form S1)	<input type="checkbox"/> Amendment to Site Plan (Form P2)	<input type="checkbox"/> Vacation of Public Right-of-way (Form V)
<input type="checkbox"/> Major – Bulk Land Plat (Form S1)	MISCELLANEOUS APPLICATIONS	<input type="checkbox"/> Vacation of Public Easement(s) DRB (Form V)
<input type="checkbox"/> Extension of Preliminary Plat (Form S1)	<input type="checkbox"/> Extension of Infrastructure List or IIA (Form S1)	<input type="checkbox"/> Vacation of Private Easement(s) (Form V)
<input type="checkbox"/> Minor Amendment - Preliminary Plat (Form S2)	<input type="checkbox"/> Minor Amendment to Infrastructure List (Form S2)	PRE-APPLICATIONS
<input type="checkbox"/> Minor - Final Plat (Form S2)	<input type="checkbox"/> Temporary Deferral of S/W (Form V2)	<input type="checkbox"/> Sketch Plat Review and Comment (Form S2)
<input type="checkbox"/> Minor – Preliminary/Final Plat (Form S2)	<input type="checkbox"/> Sidewalk Waiver (Form V2)	
SITE PLANS	<input type="checkbox"/> Waiver to IDO (Form V2)	APPEAL
<input type="checkbox"/> DRB Site Plan (Form P2)	<input type="checkbox"/> Waiver to DPM (Form V2)	<input type="checkbox"/> Decision of DRB (Form A)

BRIEF DESCRIPTION OF REQUEST
 Final sign-off on EPC amended site plan for La Mirada Shopping Center/Wymont Place subdivision.

APPLICATION INFORMATION

Applicant: Butterfly Holdings, LLC		Phone: (505) 896-9032
Address: 333 Rio Rancho Blvd, Suite 202		Email: jarrodl@aswinc.com
City: Rio Rancho	State: NM	Zip: 87124
Professional/Agent (if any): Consensus Planning, Inc.		Phone: (505) 764-9801
Address: 302 8th Street NW		Email: fishman@consensusplanning.com
City: Albuquerque	State: NM	Zip: 87102
Proprietary Interest in Site: Contract Purchaser	List <u>all</u> owners: M&M Co.	

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.: 1-A-1	Block:	Unit:
Subdivision/Addition: La Mirada Subdivision	MRGCD Map No.:	UPC Code: 101906048047020404L1
Zone Atlas Page(s): G-19	Existing Zoning: MX-M	Proposed Zoning No Change
# of Existing Lots: 1	# of Proposed Lots: 69 lots + tracts by separate plat	Total Area of Site (Acres): 15.2 acres

LOCATION OF PROPERTY BY STREETS

Site Address/Street: 4315 Wyoming Blvd NE Between: Montgomery Blvd NE and: La Mirada Place NE

CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

Z-73-47, 1007145, and PR-2019-002309

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

Signature:	Date: 9/14/21
Printed Name: Jacqueline Fishman, AICP	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees	Case Numbers	Action	Fees

Meeting Date:	Fee Total:
Staff Signature:	Date: Project #

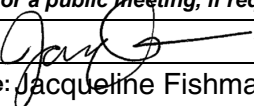

FORM P2A: FINAL SIGN-OFF FOR MASTER DEVELOPMENT PLANS AND SITE PLANS - EPC

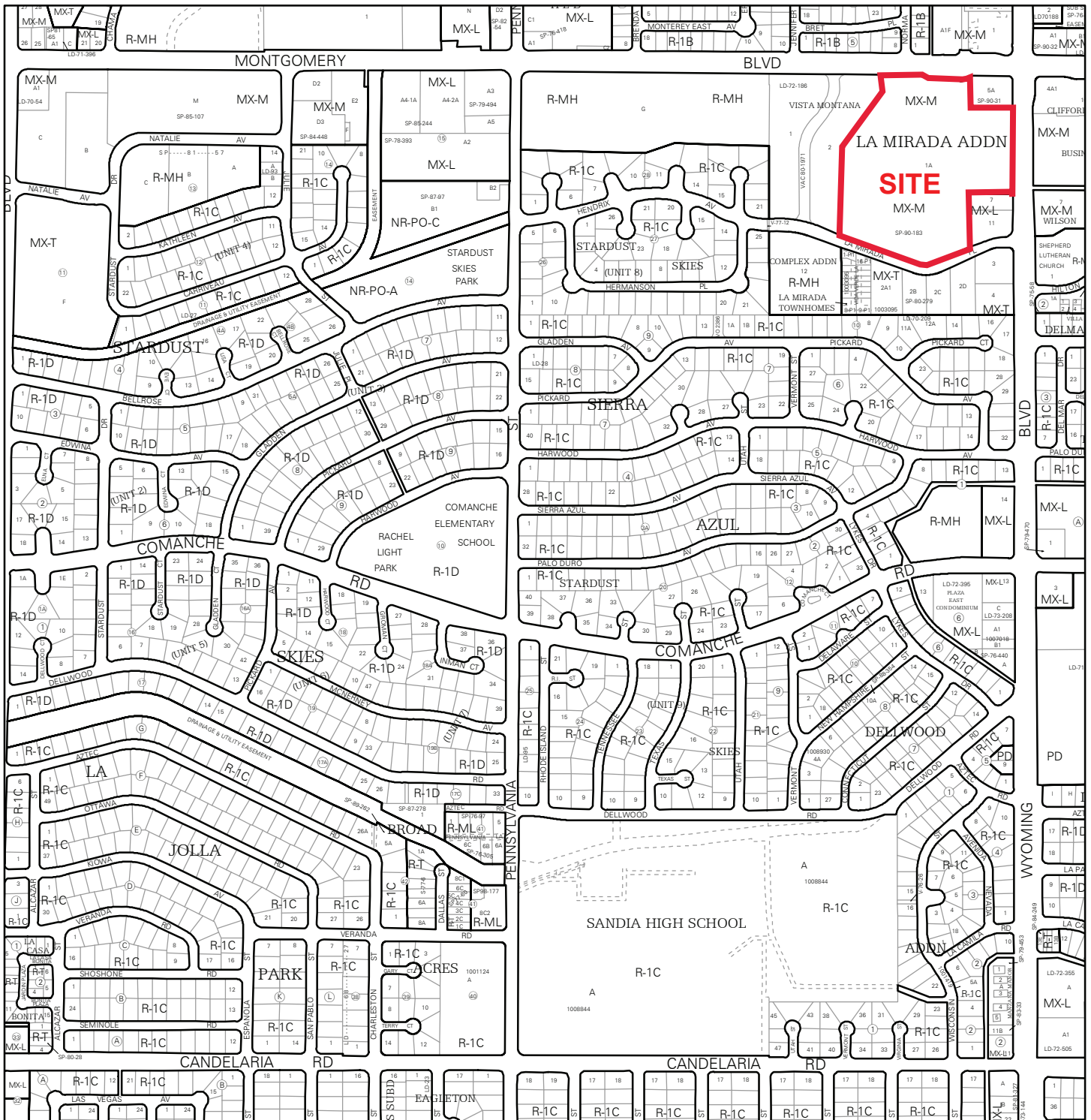
Please refer to the DRB public meeting schedules for meeting dates and deadlines. Your attendance is required.

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD. PDF shall be organized with the Development Review Application and this Form P2 at the front followed by the remaining documents in the order provided on this form.

FINAL SIGN-OFF FOR MASTER DEVELOPMENT PLANS AND SITE PLANS – EPC

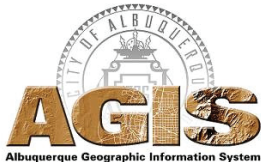
- Interpreter Needed for Hearing? No if yes, indicate language: _____
- PDF of application as described above
- Zone Atlas map with the entire site clearly outlined and labeled
- Letter of authorization from the property owner if application is submitted by an agent
- Solid Waste Department signature on Site Plan
- Signed Form DRWS Drainage Report, Grading and Drainage Plan, and Water & Sewer Availability Statement filing information
- Approved Grading and Drainage Plan
- Copy of Site Plan with Fire Marshal's stamp, i.e. "Fire 1" plan *(not required for Master Development Plans)*
- Copy of EPC Notice of Decision and letter explaining how each EPC condition has been met
- Site Plan and related drawings
- Infrastructure List, if required

<p><i>I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting, if required, or otherwise processed until it is complete.</i></p>	
<p>Signature: </p>	<p>Date: 9/14/21</p>
<p>Printed Name: Jacqueline Fishman, AICP</p>	<p><input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent</p>
<p>FOR OFFICIAL USE ONLY</p>	
<p>Case Numbers: _____</p>	<p>Project Number: _____</p>
<p>Staff Signature: _____</p>	
<p>Date: _____</p>	

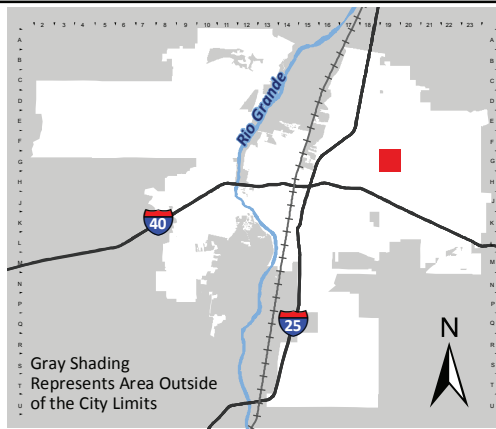


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018



IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).



Zone Atlas Page:
G-19-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

0 250 500 1,000 Feet

January 22, 2021

City of Albuquerque
Development Review Board
600 2nd Street
Albuquerque, New Mexico, 87102

Re: Owners Authorization; Lot 1-A, La Mirada Subdivision/La Mirada shopping center

To Whom it may concern,

This letter authorizes representatives of Butterfly Holdings, LLC and Consensus Planning, Inc. to act on behalf of the M-M Company on Plat, Site Plan, variance, and vacation issues associated with the subject property. This letter does not authorize Butterfly Holdings, LLC and Consensus Planning, Inc. to execute and approve any Preliminary Plat, Final Plat, Site Pan, variance application or vacation issue without M-M Co.'s further consent or joinder.

Sincerely,

M-M Co., a New Mexico partnership

By: Tower 22, LLC, General Partner

By: 

Brian J. Matteucci, Member

July 21, 2021

Chair

Steven Michael Quezada
County of Bernalillo
Commissioner, District 2

Vice Chair

Klarissa J. Peña
City of Albuquerque
Councilor, District 3

Walt Benson
County of Bernalillo
Commissioner, District 4

Pat Davis
City of Albuquerque
Councilor, District 6

Trudy E. Jones
City of Albuquerque
Councilor, District 8

Timothy M. Keller
City of Albuquerque
Mayor

Charlene Pyskoty
County of Bernalillo
Commissioner, District 5

Ex-Officio Member
Pablo R. Rael
Village of Los Ranchos
Board Trustee

Executive Director
Mark S. Sanchez

Website
www.abcwua.org

Jon Niski
Tierra West LLC
5571 Midway Park Pl
Albuquerque, NM 87109

RE: Water and Sanitary Sewer Availability Statement #210325

Project Name: La Mirada Subdivision

Project Address: 4315 Wyoming Blvd

**Legal Description: LOT 1-A REDIVISION OF LT 1 & TR B (NOW COMPRISING
LTS 1-A & 1-B) LA MIRADA SUBD CONT 15.1914 AC +-**

UPC: 101906047846711204L1

Zone Atlas Map: G - 19

Dear Mr. Niski:

Project Description: The subject site is located north of La Miranda Place, within the City of Albuquerque limits. The proposed development consists of approximately 15.19 acres and the property is currently zoned MX-M for mixed-use, moderate intensity. The property lies within the Pressure Zone 4ER in the Montgomery trunk. The request for availability indicates plans to redevelop the site for residential construction as a townhome community. The proposed plans illustrate the need to remove and replace existing private fire hydrants to update the fire protection system. In addition, the site proposes the extension of both sanitary sewer and a looped water main system to accommodate the proposed units.

Existing Conditions: Water infrastructure in the area consists of the following:

- Six-inch CI distribution main (project #09-181-73) along La Miranda Rd

Sanitary sewer infrastructure in the area consists of the following:

- Eight-inch Vitrified Clay collector line (project #01-137-71) along La Miranda Rd

Water Service: New metered water service to the subdivision can be provided via a looped extension to the existing six-inch distribution main, as noted in the "Existing Conditions" section. This extension must be provided and funded by the developer. The proposed extension outlines the use of an eight-inch line from the existing six-inch main. Note that when the parcel is subdivided into the separate lots, each lot will have separate water services.

Existing metered service and fire lines that will not be utilized are to be removed by shutting the valve near the distribution main and capping the line near the valve. For fire lines, the valve access shall be grouted and collar removed. Service is also contingent upon compliance with the Fire Marshal's instantaneous fire flow requirements. Water service will not be sold without adequate fire protection. Water service will only be sold in conjunction with sanitary sewer service.

Sanitary Sewer Service: Sanitary sewer service can be provided via an extension to the existing eight-inch collector line, as noted in the "Existing Conditions" section. This

extension must be provided and funded by the developer. Note that when the parcel is subdivided into the separate lots, each lot will have separate sanitary sewer services.

Fire Protection: A standard fire hydrant flow of 1,000 gallons-per-minute has been applied to the existing/proposed infrastructure. As modeled using InfoWater™ computer software, the fire flow can be met. Fire flow analyzed at the northern-most proposed hydrant of the La Mirada subdivision. All new required hydrants as well as their exact locations must be determined through the City of Albuquerque Fire Marshal's Office and verified through the Utility Development Office prior to sale of service.

Cross Connection Prevention: Any residential premises having existing private wells and who desire to connect to the public water system shall have two options as follows: 1) Customers shall permanently abandon the use of private wells by plugging the wells as accepted by the Water Authority prior to connecting to the public water system; or 2) Customers who choose to maintain their private wells shall completely sever the private well from the premises' potable plumbing system and shall install a reduced pressure principle backflow prevention assembly approved by the Water Authority at the terminal end of the water service from the public water system (e.g., service connection).

Easements: Exclusive public water and sanitary sewer easements are required for all public lines that are to be constructed outside of any dedicated rights-of-way. A minimum width easement of 20 feet is required for a single utility and 25 feet for water and sewer both within the same easement. Easements for standard sized water meters need to be five feet by five feet and include the length of the water service if located on private property. For larger meters that require a meter vault, 35 feet by 35 feet easement is required. Actual easement widths may vary depending on the depth of the lines to be installed. Acceptable easements must be documented prior to approval of service.

Pro Rata: Pro rata is not owed and the property can utilize the services available upon completion of the requirements of this statement to connect to water and sanitary sewer.

Design and Construction: The design and construction of all required improvements will be at the developer / property owner's expense. Improvements must be coordinated through the Water Authority Mini Work Order process. Construction must be performed by a licensed and bonded public utility contractor.

Costs and Fees: In addition to installation and construction costs, any new metered water services will be subject to both water and sanitary sewer Utility Expansion Charges (UEC) payable at the time of service application. All charges and rates collected will be based on the ordinances and policies in effect at the time service is actually requested and authorized.

Water Use: All new development shall be required to meet the standard water usage of 180 gallons per household per day which is equivalent to 75 gallons per capita per day. Where available, outdoor water usage shall utilize reclaimed water.

Closure: This availability statement provides a commitment from the Water Authority to provide services to the development, as long as identified conditions are met. It will remain in effect for a period of one year from the date of issue and applies only to the

Jon Niski
Tierra West, LLC
Page 3

development identified herein. Its validity is, in part, contingent upon the continuing accuracy of the information supplied by the developer. Changes in the proposed development may require reevaluation of availability and should be brought to the attention of the Utility Development Section of the Water Authority as soon as possible.

Please feel free to contact Mr. Kristopher Cadena in our Utility Development Section at (505) 289-3301 or email at kcadena@abcwua.org if you have questions regarding the information presented herein or need additional information.

Sincerely,



Mark S. Sanchez
Executive Director

Enclosures: Infrastructure Maps (2)
f/ Availability Statement 210425

210325 - Water

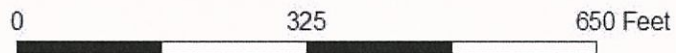


Legend

- Project Location
- Valve
- Hydrant

**Pipe
 SUBTYPE**

- Distribution Line
- Hydrant Leg
- Well Collector Line



--- General Map Keyed Notes

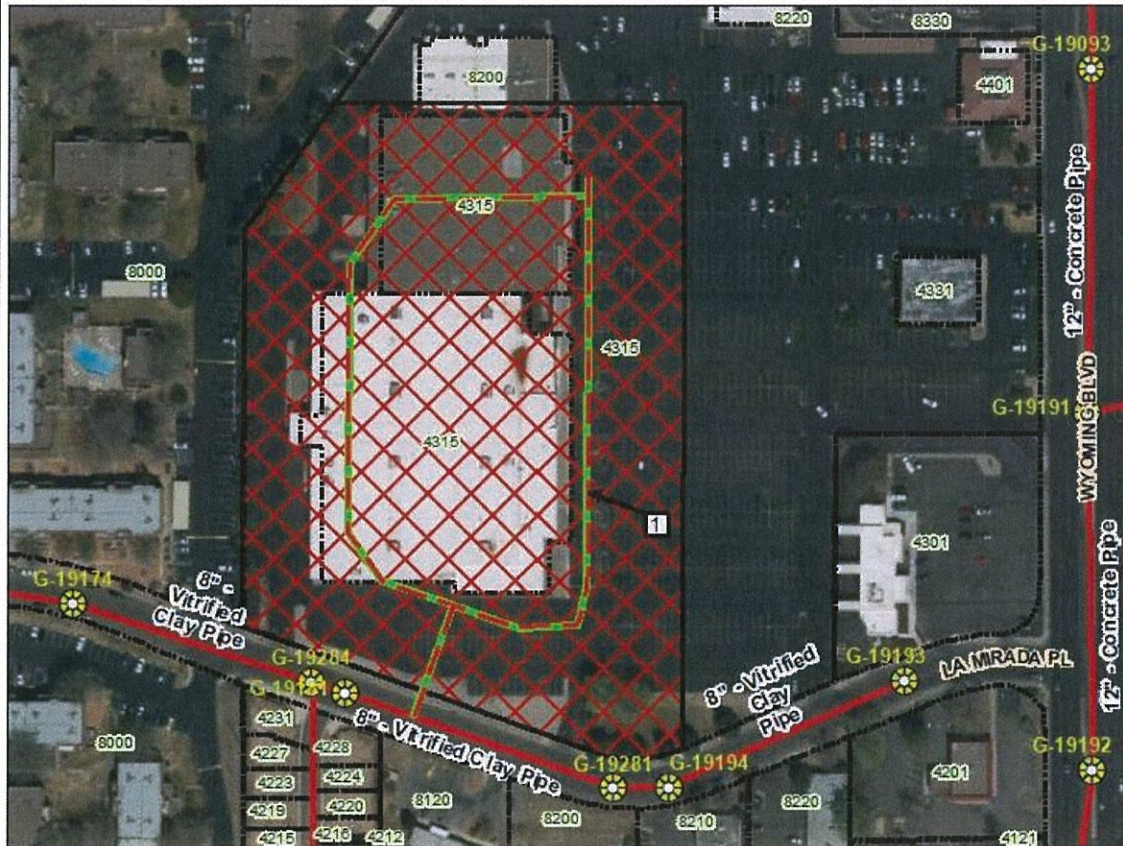
1. --- Proposed Waterline Extension

--- Fire Flow Analysis Points



1. --- Analysis Point



210325 - Sanitary Sewer



Legend

-  Project Location
-  Sewer Manhole

Sewer Pipe SUBTYPE

 COLLECTOR

0 325 650 Feet



 --- General Map Keyed Notes

1. --- Proposed Sewer Extension 



CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

August 4, 2021

Ronald Bohannan, P.E.
Tierra West, LLC
5571 Midway Park Place NE
Albuquerque, NM 87109

**RE: The Wymont
4315 Wyoming Blvd NE
Conceptual Grading and Drainage Plans
Engineer's Stamp Date: No Date
Hydrology File: G19D004**

Dear Mr. Bohannan:

PO Box1293

Based upon the information provided in your submittal received 06/23/2021, the Conceptual Grading and Drainage Plans are approved for action by the DRB for Site Plan for Building Permit and Platting.

Albuquerque

NM 87103

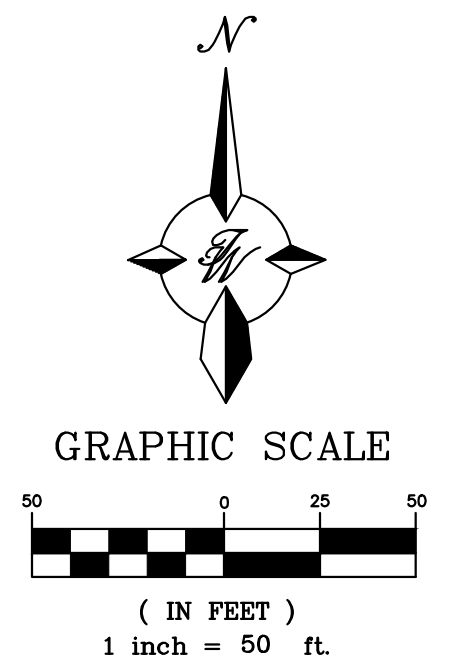
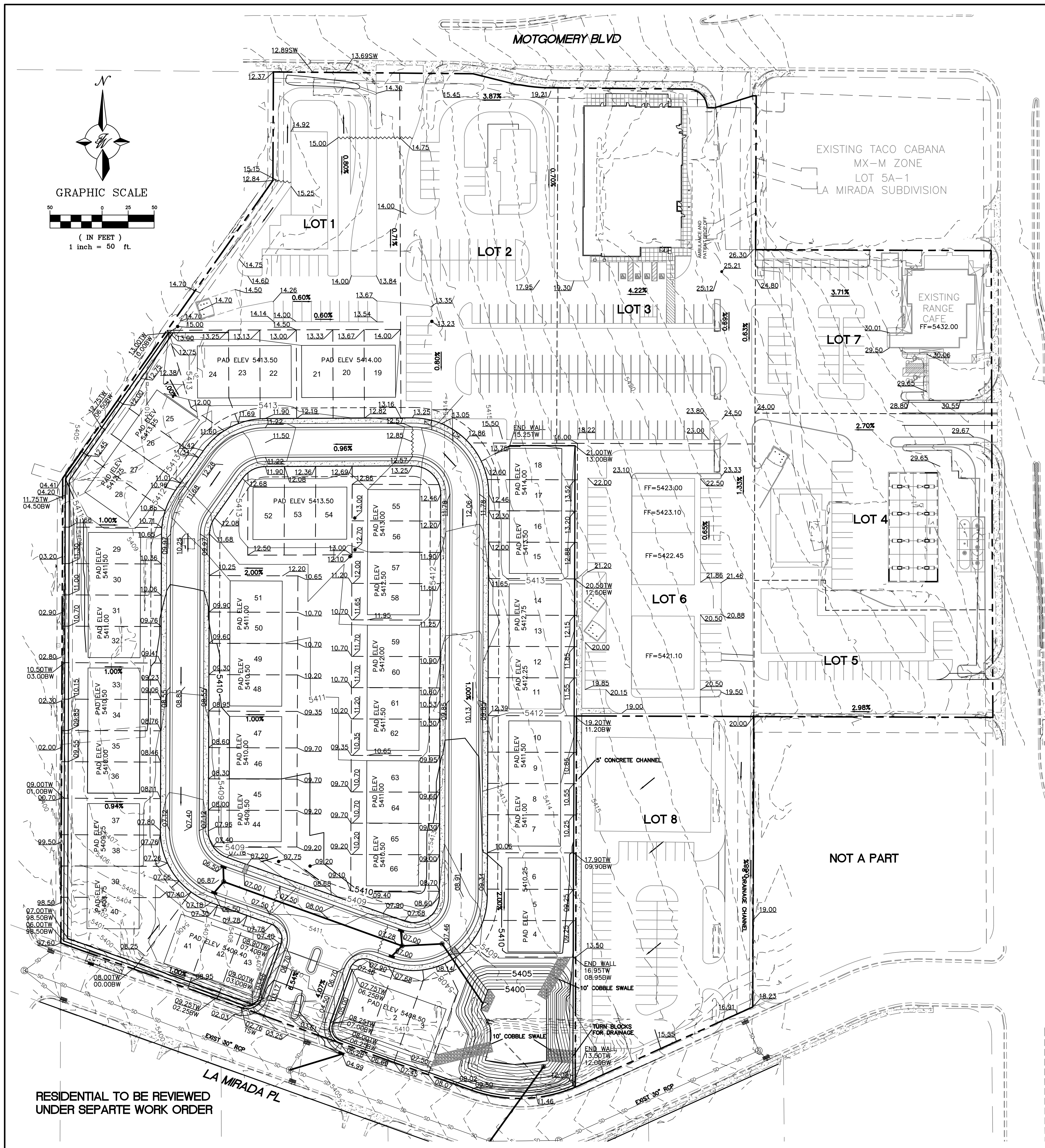
As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

www.cabq.gov

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department



- LEGEND**
- CURB & GUTTER
 - - - BOUNDARY LINE
 - ▭ BUILDING
 - - - PROPERTY LINE
 - - - EXISTING CURB & GUTTER
 - PROPOSED HYDRANT
 - NEW SD MH
 - ▭ NEW CUR INLET TYPE 'C'
 - EXISTING SAS MH
 - EXISTING GATE VALVE
 - - - EXISTING WATERLINE
 - - - EXISTING SAS
 - - - RETAINING WALL
 - - - WATER BLOCK

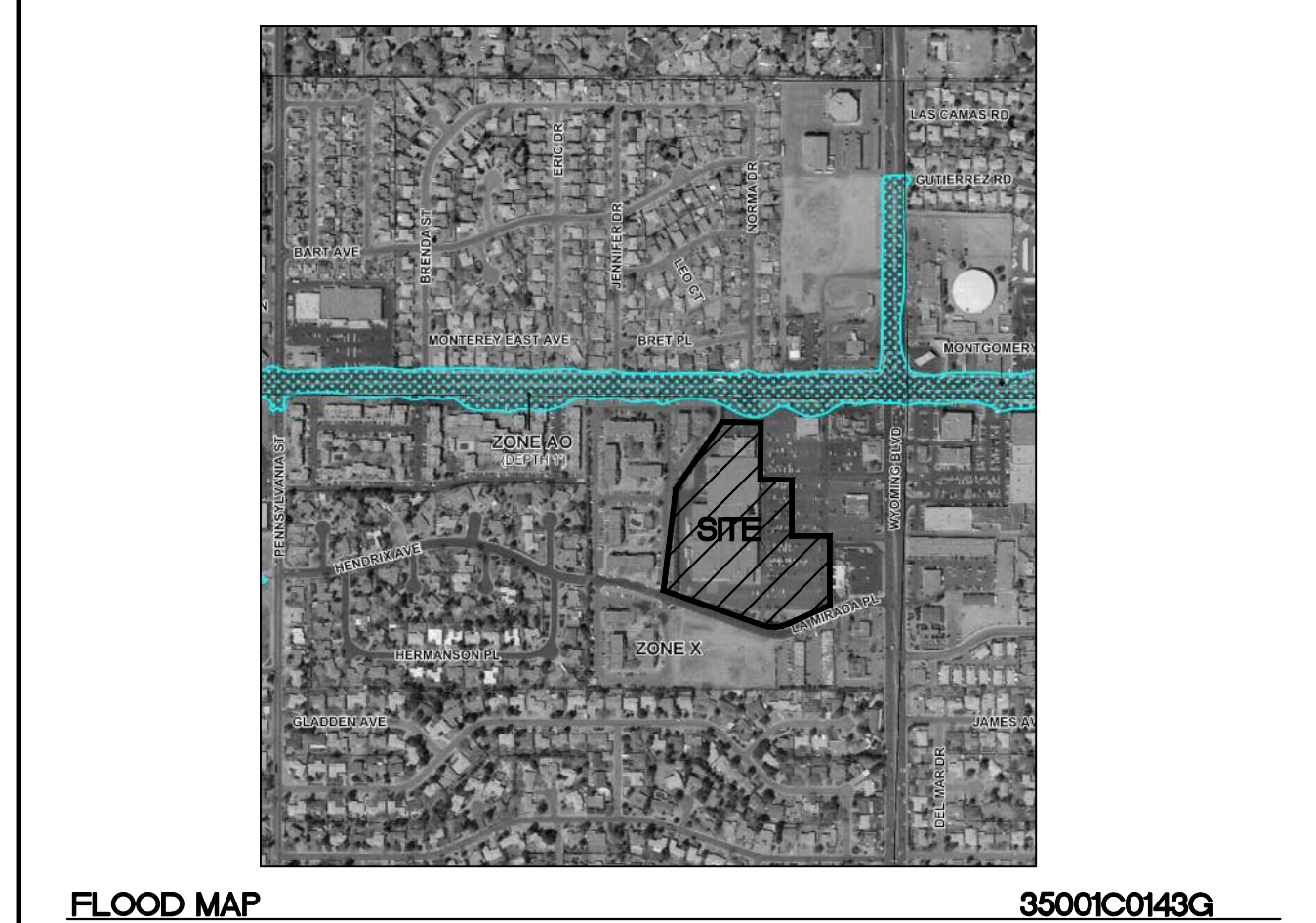
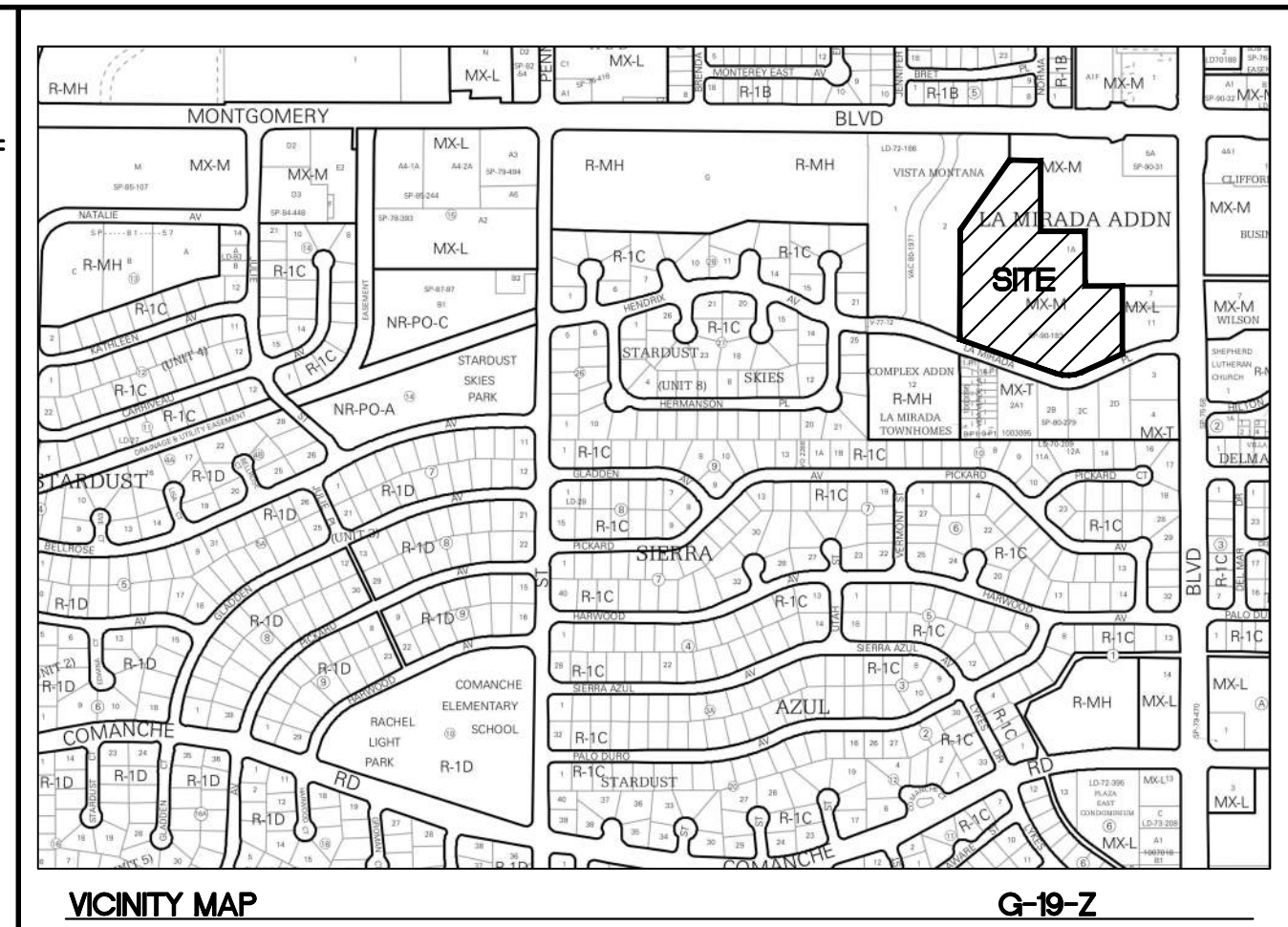
- NOTICE TO CONTRACTORS**
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
 2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HERON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
 3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 785-1234, FOR LOCATION OF EXISTING UTILITIES.
 4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
 5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
 6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
 7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

- EROSION CONTROL NOTES:**
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
 2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
 3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
 4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
 5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.
 6. ALL SLOPES NOT STABILIZED AT THE END OF THE PROJECT SHALL BE STABILIZED IN ACCORDANCE WITH COA SPECS OR 3" GRAVEL.

NOTE - ADD 5400 TO ALL ELEVATIONS

NOT FOR CONSTRUCTION

CAUTION
 ALL EXISTING UTILITIES WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS. PRIOR TO STARTING THE WORK, ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



Channel Capacity

Weir Equation:
 $Q = CLH^{3/2}$

Q = Flow
 C = 2.95
 L = Length of weir
 H = Height of Weir

Off Site Curb Opening
 $Q = 2.95 * 20 * 0.50^{3/2}$
 $Q = 20.86 \text{ cfs} < Q = 13.39 \text{ cfs}$

Pond Concrete Channel
 $Q = 2.95 * 6 * 0.50^{3/2}$
 $Q = 6.26 \text{ cfs}$

Park Curb Opening
 $Q = 2.95 * 2 * 0.50^{3/2}$
 $Q = 2.09 \text{ cfs} < Q = 1.55 \text{ cfs}$

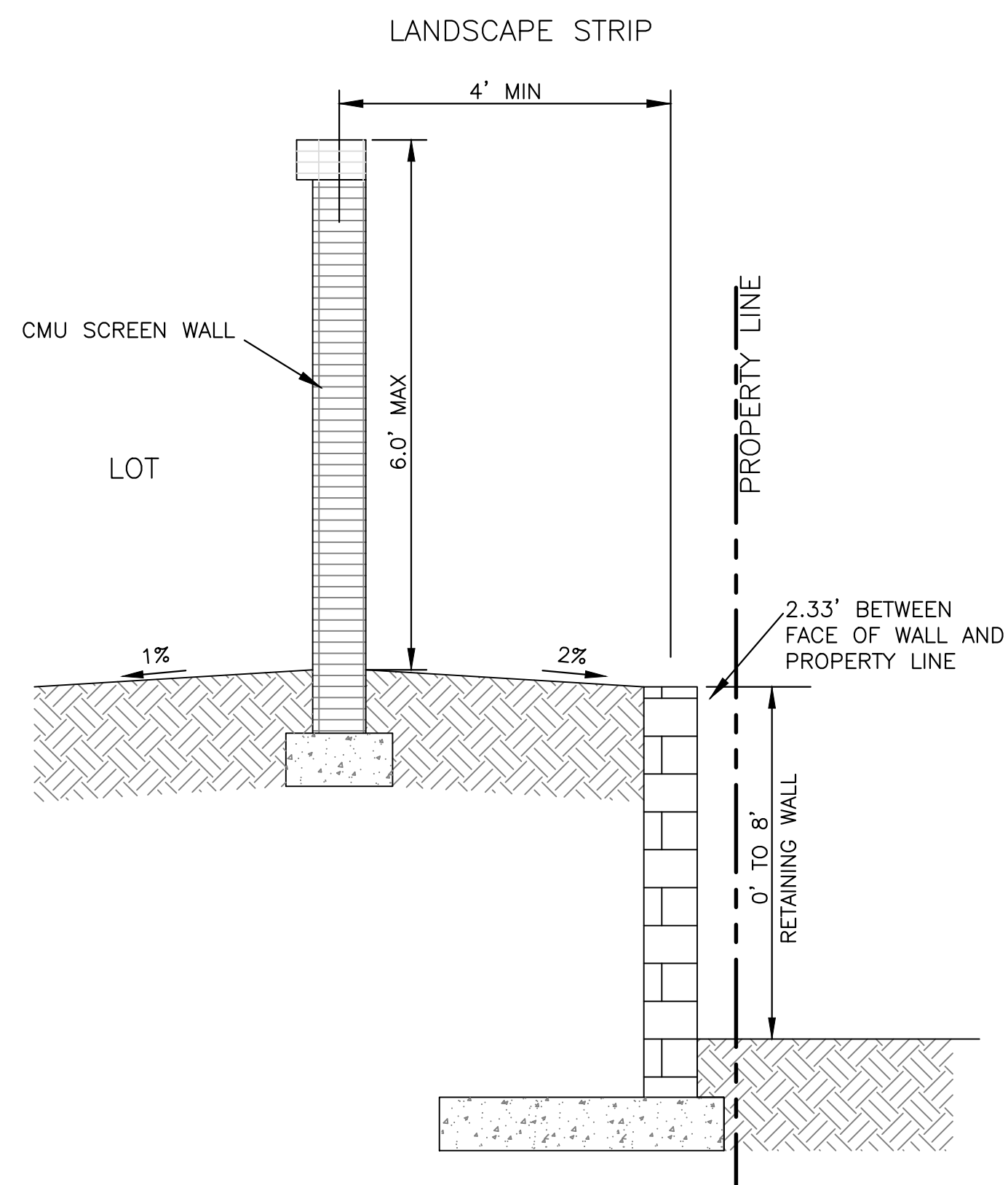
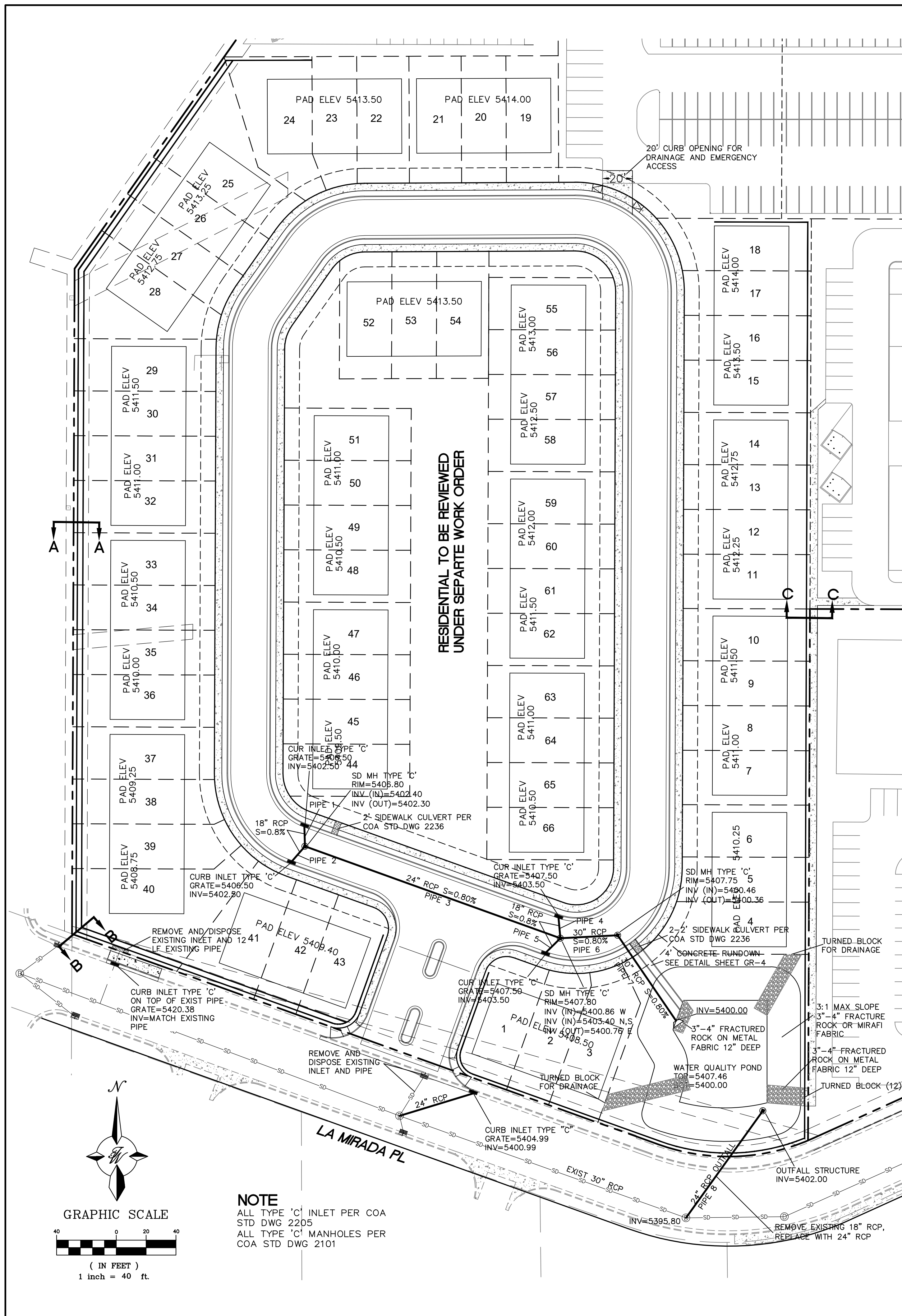
Detention Pond Opening
 $Q = 2.95 * 14 * 0.67^{3/2}$
 $Q = 22.66 \text{ cfs} < Q = 22.66 \text{ cfs}$

City of Albuquerque
 Planning Department
 Development Review Services
HYDROLOGY SECTION
PRELIMINARY APPROVED
 DATE: 08/04/21
 BY: *Renee C. Brantley*
 HydroTrans # G19D004

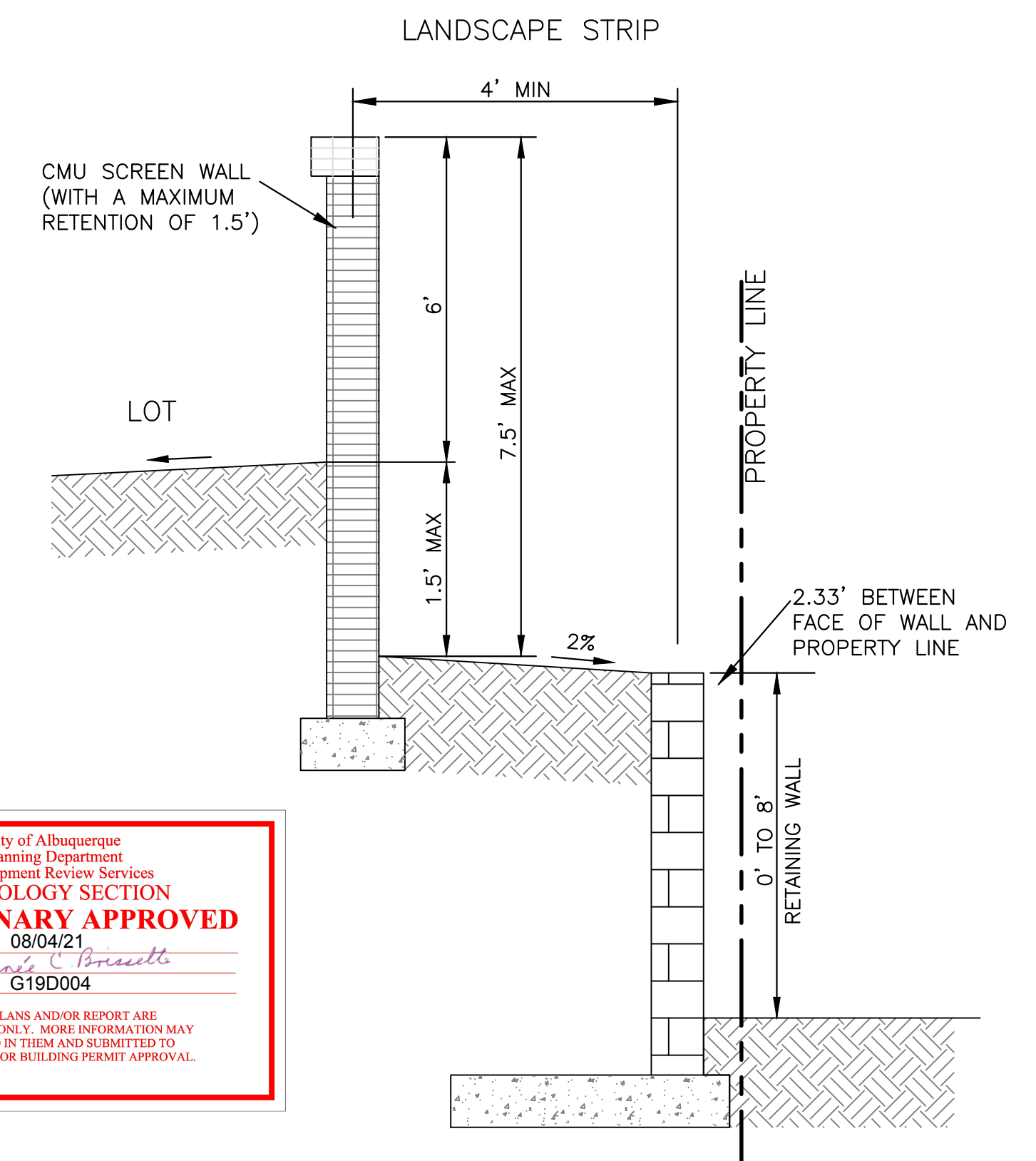
THESE PLANS AND/OR REPORT ARE CONFIDENTIAL. MORE INFORMATION MAY BE NEEDED IN THEM AND SUBMITTED TO HYDROLOGY FOR BUILDING PERMIT APPROVAL.

ENGINEER'S SEAL	THE WYMONT ALBUQUERQUE, NM	DRAWN BY pm
NOT FOR CONSTRUCTION		CONCEPTUAL GRADING AND DRAINAGE PLAN
	RONALD R. BOHANNAN P.E. #7868	TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com

RESIDENTIAL TO BE REVIEWED UNDER SEPARTE WORK ORDER



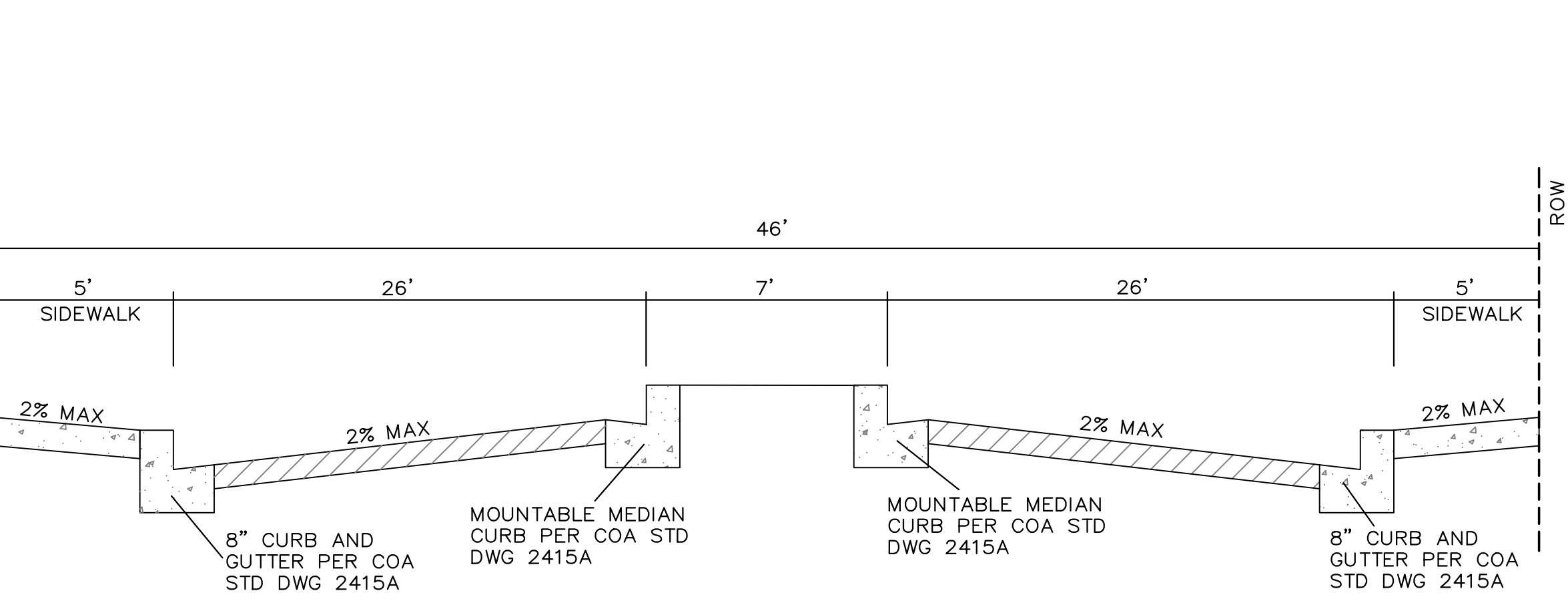
SECTION A-A
NTS



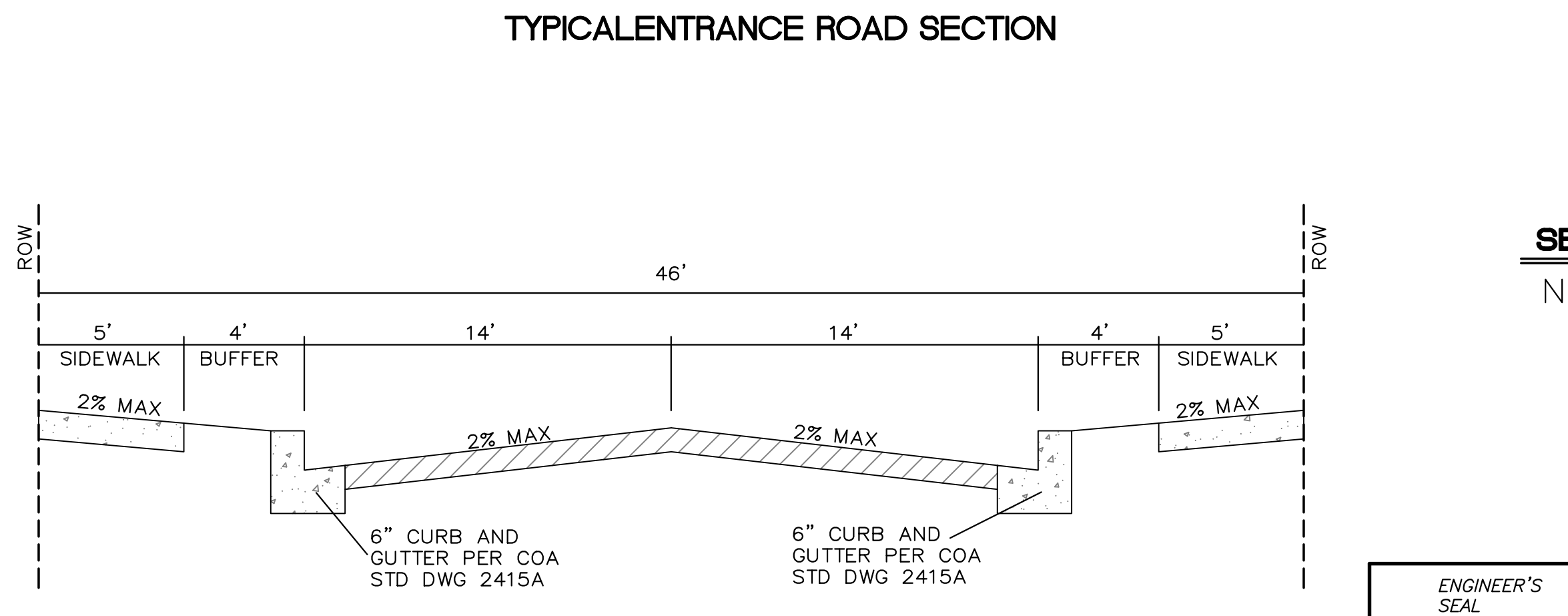
SECTION B-B
NTS

City of Albuquerque
 Planning Department
 Development Review Services
HYDROLOGY SECTION
PRELIMINARY APPROVED
 DATE: 08/04/21
 BY: *Ronald R. Bohannan*
 HydroTrans # G19D004

THESE PLANS AND/OR REPORT ARE CONCEPTUAL ONLY. MORE INFORMATION MAY BE NEEDED IN THEM AND SUBMITTED TO HYDROLOGY FOR BUILDING PERMIT APPROVAL.

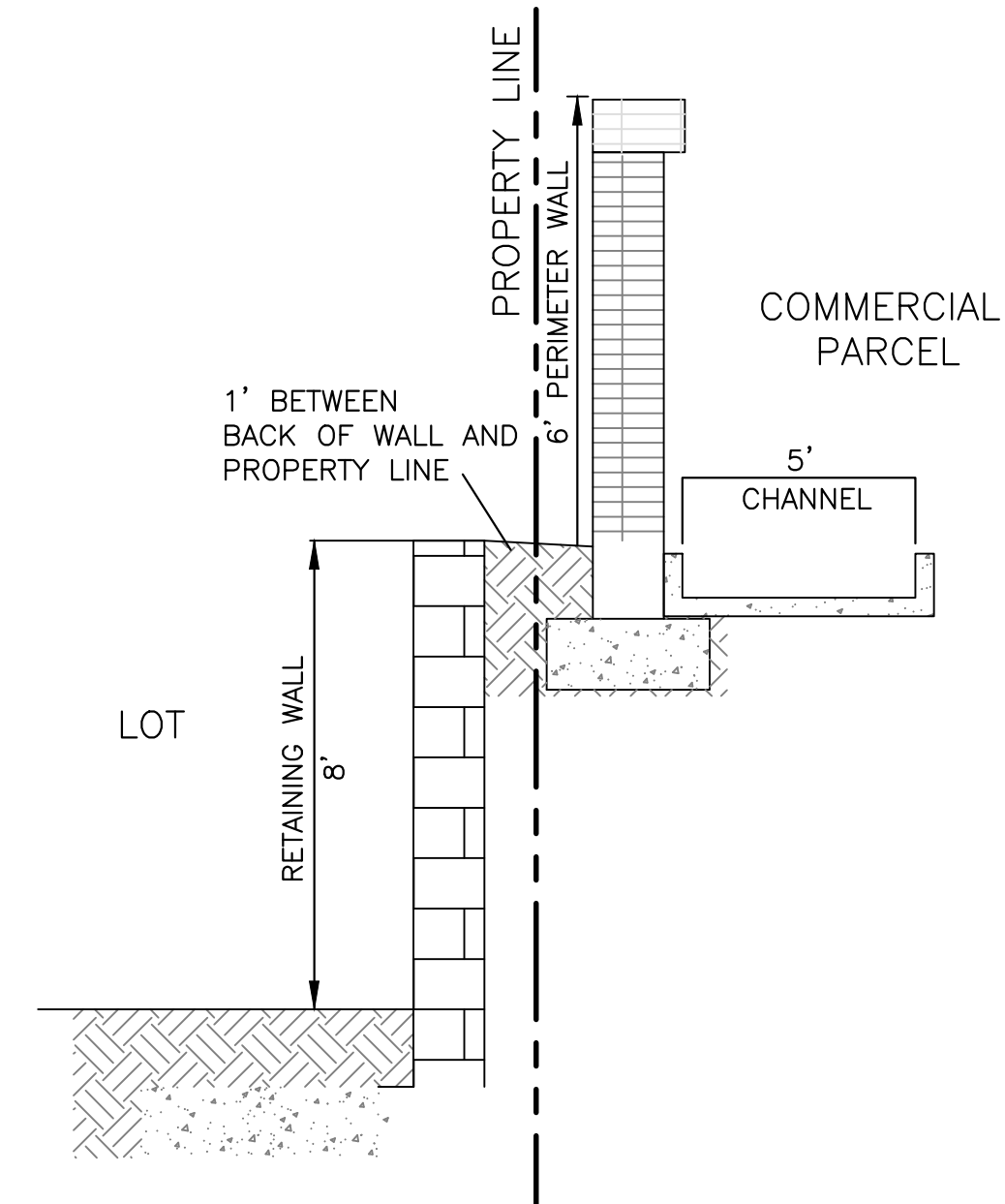


TYPICAL ENTRANCE ROAD SECTION



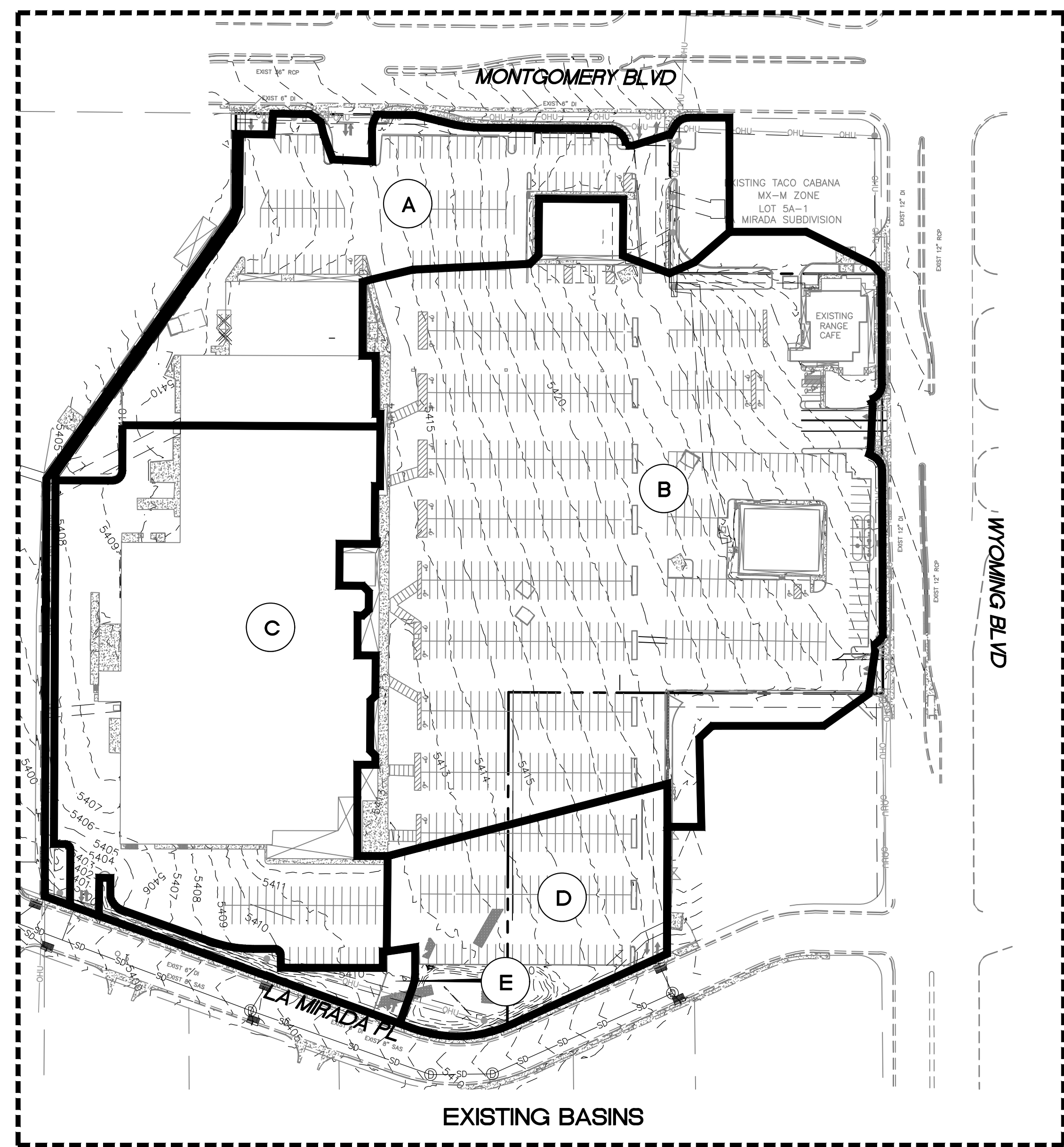
TYPICAL INTERIOR ROAD SECTION

NOT FOR CONSTRUCTION

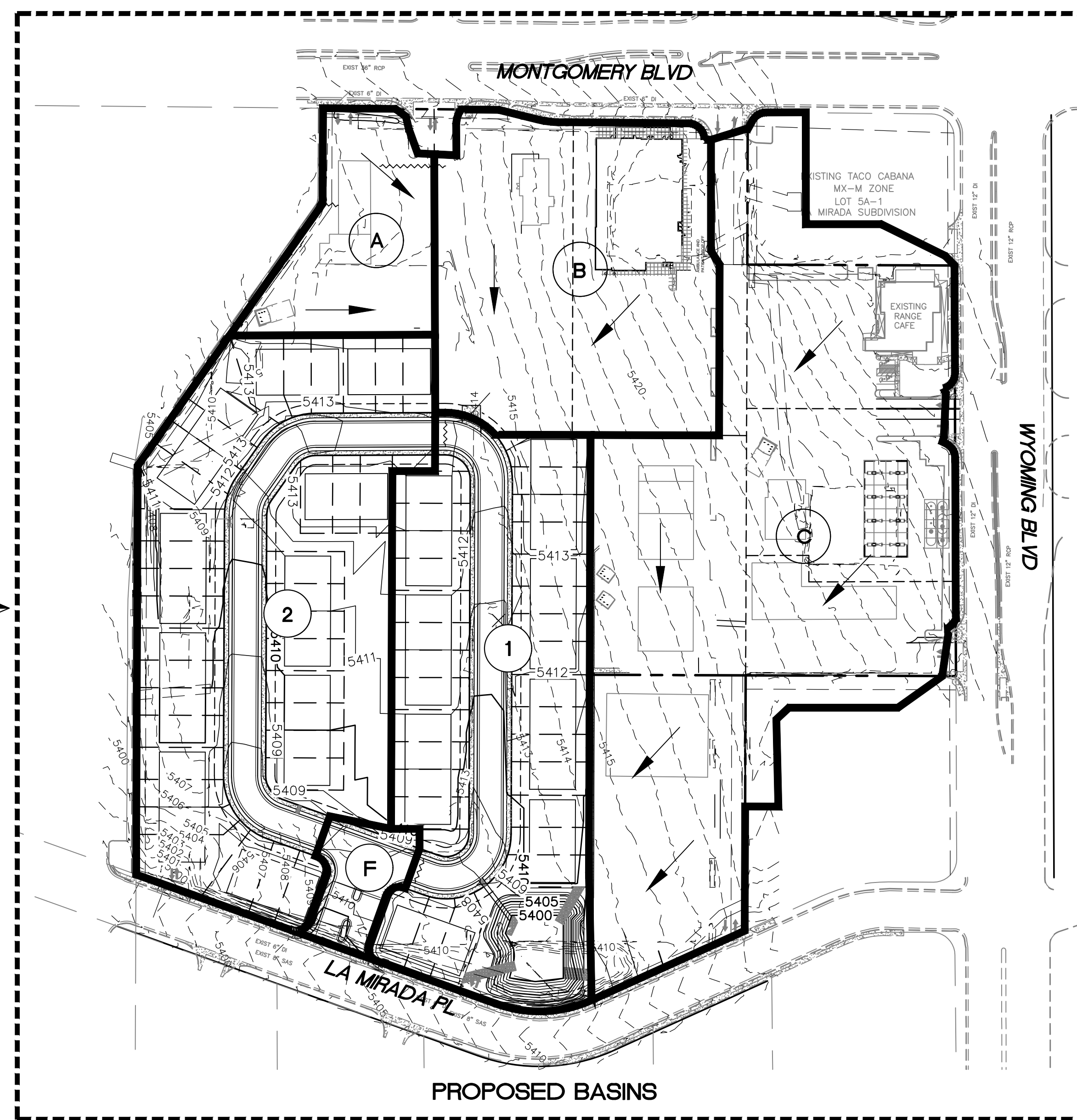


SECTION C-C
NTS

NOT FOR CONSTRUCTION	ENGINEER'S SEAL RONALD R. BOHANNAN P.E. #7868	THE WYMONT ALBUQUERQUE, NM CONCEPTUAL GRADING AND DRAINAGE PLAN	DRAWN BY pm DATE 8-4-21 DRAWING
	8-4-21	TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # GR-2
	JOB # 2021008		



EXISTING BASINS



PROPOSED BASINS

EXISTING DRAINAGE:

THIS SITE IS CURRENTLY VACANT SHOPPING CENTER AND IS LOCATED ON THE SOUTHWEST CORNER OF WYOMING BOULEVARD AND MONTGOMERY BOULEVARD. THE SITE IS BOUNDED BY ROADS ON THE NORTH, SOUTH AND EAST SIDE AND A MULTIFAMILY DEVELOPMENT ON THE WEST SIDE AND CONTAINS APPROXIMATELY 15.69 ACRES. THE SITE DRAINS FROM EAST TO WEST WITH MOST OF IT DRAINING ONTO AN EXISTING DETENTION POND. THE REMAINDER OF THE SITE DRAINS INTO AN EXISTING DROP INLET LOCATED AT THE SOUTHWEST ENTRANCE. ACCORDING TO AN APPROVED GRADING AND DRAINAGE PLAN (G-19/D4) COMPLETED BY JEFF MORTENSEN AND ASSOCIATES THE EXISTING POND MAY BE ELIMINATED AND ALL FLOW DISCHARGED TO THE EXISTING STORM SEWER IN HENDRIX AVENUE. THOSE IMPROVEMENTS WERE NEVER COMPLETED AND THE POND HAS REMAINED IN PLACE. BASED ON THE REVISED DRAINAGE VALUES IN THE CURRENT DPM THE TOTAL FLOW DISCHARGED FROM THIS SITE IS 68.15 CFS. THE SITE IS NOT LOCATED WITHIN A FLOOD PLAIN AS SHOWN ON THE FIRM MAP. THERE ARE NOT OFFSITE FLOWS THAT ENTER THE SITE.

PROPOSED DRAINAGE:

THE SITE IS BEING SUBDIVIDED INTO A COMMERCIAL CENTER AND A RESIDENTIAL NEIGHBORHOOD. EACH AREA IS DIVIDED INTO THREE BASINS. BASINS "A" AND "B" WILL DRAIN THROUGH THE RESIDENTIAL SUBDIVISION THROUGH AN EMERGENCY ACCESS LOCATED AT THE NORTHEAST CORNER OF THE RESIDENTIAL AREA. BASIN "C" WILL DRAIN TO A PROPOSED DRAINAGE CHANNEL LOCATED ON THE WEST SIDE OF THE RESIDENTIAL AREA. ALL FLOWS FROM THE COMMERCIAL CENTER WILL BE CONVEYED TO A WATER QUALITY POND LOCATED AT THE SOUTHEAST CORNER OF THE RESIDENTIAL AREA. TOTAL OFF-SITE FLOWS PASSING THROUGH THE RESIDENTIAL AREA IS 30.88 CFS. EACH OF THE COMMERCIAL PARCELS WILL BE REQUIRED TO SUBMIT A GRADING PLAN FOR BUILDING PERMIT THAT FOLLOWS THIS OVERALL DRAINAGE SCHEME.

THE RESIDENTIAL SUBDIVISION WILL ALSO DRAIN TO THE WATER QUALITY POND VIA SURFACE FLOWS AND VIA A STORM SEWER. A SMALL AREA, SHOWN AS BASIN 3 WILL DRAIN DIRECTLY TO HENDRIX AVENUE. DUE TO THE GRADES BETWEEN HENDRIX AVENUE AND THE SUBDIVISION THERE IS NO WAY TO CAPTURE THIS FLOW AND IT BASICALLY FOLLOWS THE SAME DRAINAGE PATTERN AS IT CURRENTLY DOES. THIS FLOW (1.16 CFS) IS CAPTURED IN EXISTING DROP INLETS IN HENDRIX AVENUE.

THE WATER QUALITY POND IS SIZED TO CONTAIN THE REQUIRED VOLUME FROM THE COMMERCIAL BASINS AS WELL AS THE RESIDENTIAL BASINS. BASED ON CURRENT REQUIREMENTS THE POND WILL RETAIN A VOLUME OF 0.28 AC-FT. AN OUTLET WILL BE PROVIDED IN THE POND AND CONNECTED TO THE EXISTING STORM SEWER IN HENDRIX AVENUE.

THE TOTAL FLOW DISCHARGED TO THE HENDRIX AVENUE STORM SEWER WILL BE 58.75 CFS WHICH IS 9.40 CFS LESS THAN WHAT IS CURRENTLY DISCHARGED TO THAT SYSTEM.

Weighted E Method

Existing Basins																
Basin	Area (sf)	Area (acres)	Treatment A		Treatment B		Treatment C		Treatment D		100-Year			10-Year		
			%	(acres)	%	(acres)	%	(acres)	%	(acres)	Weighted E (in)	Volume (ac-ft)	Flow cfs	Weighted E (in)	Volume (ac-ft)	Flow cfs
A	114,831	2.64	0%	0	7%	0.18	0%	0.00	93%	2.45	2.460	0.540	11.47	1.549	0.340	7.09
B	314,923	7.23	0%	0	5%	0.36	0%	0.00	95%	6.87	2.494	1.503	31.74	1.575	0.949	19.69
C	178,480	4.10	0%	0	0%	0.00	0%	0.00	100%	4.10	2.580	0.881	18.40	1.640	0.560	11.51
D	57,852	1.33	0%	0	21%	0.28	0%	0.00	79%	1.05	2.219	0.246	5.41	1.367	0.151	3.25
E	9,747	0.22	0%	0	0%	0.00	100%	0.22	0%	0.00	1.090	0.020	0.71	0.520	0.010	0.38
F	7,497	0.17	0%	0	100%	0.17	0%	0.00	0%	0.00	0.860	0.012	0.43	0.340	0.005	0.18
		15.69									3.202	68.15				

Proposed Basins																
Basin	Area (sf)	Area (acres)	Treatment A		Treatment B		Treatment C		Treatment D		100-Year			10-Year		
			%	(acres)	%	(acres)	%	(acres)	%	(acres)	Weighted E (in)	Volume (ac-ft)	Flow cfs	Weighted E (in)	Volume (ac-ft)	Flow cfs
OF-1	36,043	0.83	0%	0	15%	0.12	0%	0.00	85%	0.70	2.322	0.160	3.47	1.445	0.100	2.11
OF-2	103,118	2.37	0%	0	15%	0.36	0%	0.00	85%	2.01	2.322	0.458	9.92	1.445	0.285	6.03
OF-3	235,576	5.41	0%	0	15%	0.81	0%	0.00	85%	4.60	2.322	1.046	22.66	1.445	0.651	13.79
1	124,083	2.85	0%	0	60%	1.71	0%	0.00	40%	1.14	1.548	0.367	9.37	0.860	0.204	5.03
2	172,427	3.96	0%	0	57%	2.26	0%	0.00	43%	1.70	1.600	0.528	13.26	0.899	0.297	7.20
Park	27,059	0.62	0%	0	100%	0.62	0%	0.00	0%	0.00	0.860	0.045	1.55	0.340	0.018	0.66
3	11,833	0.27	0%	0	10%	0.03	0%	0.00	90%	0.24	2.408	0.055	1.17	1.510	0.034	0.72
		15.68									10.40	2.614	59.84			

Equations:

Weighted E = $E_a \cdot A_a + E_b \cdot A_b + E_c \cdot A_c + E_d \cdot A_d$ / (Total Area)

Volume = Weighted E * Total Area

Flow = $Q_a \cdot A_a + Q_b \cdot A_b + Q_c \cdot A_c + Q_d \cdot A_d$

Water Quality Calculation: $0.26'' \times 10.40 \text{ ac} = 9,816 \text{ cubic feet (0.225 ac-ft)}$

Excess Precipitation, E (inches)			Peak Discharge (cfs/acre)		
Zone 3	100-Year	10-Year	Zone 3	100-Year	10-Year
E_a	0.67	0.18	Q_a	1.84	0.51
E_b	0.86	0.34	Q_b	2.49	1.07
E_c	1.09	0.52	Q_c	3.17	1.69
E_d	2.58	1.64	Q_d	4.49	2.81

Pipe Capacity

Pipe	D (in)	Slope (%)	Area (ft ²)	R	Q Provided (cfs)	Q Required (cfs)	Velocity (ft/s)
1	18	0.80	1.77	0.375	9.42	6.63	3.75
2	18	0.80	1.77	0.375	9.42	6.63	3.75
3	24	0.80	3.14	0.500	20.29	13.26	4.22
4	18	0.80	1.77	0.375	9.42	8.25	4.67
5	18	0.80	1.77	0.375	9.42	8.25	4.67
6	30	0.80	4.91	0.625	36.79	29.76	6.06
7	30	0.70	4.91	0.625	34.41	29.76	6.06
8	24	7.00	3.14	0.500	60.01	59.85	19.05

Manning's Equation:

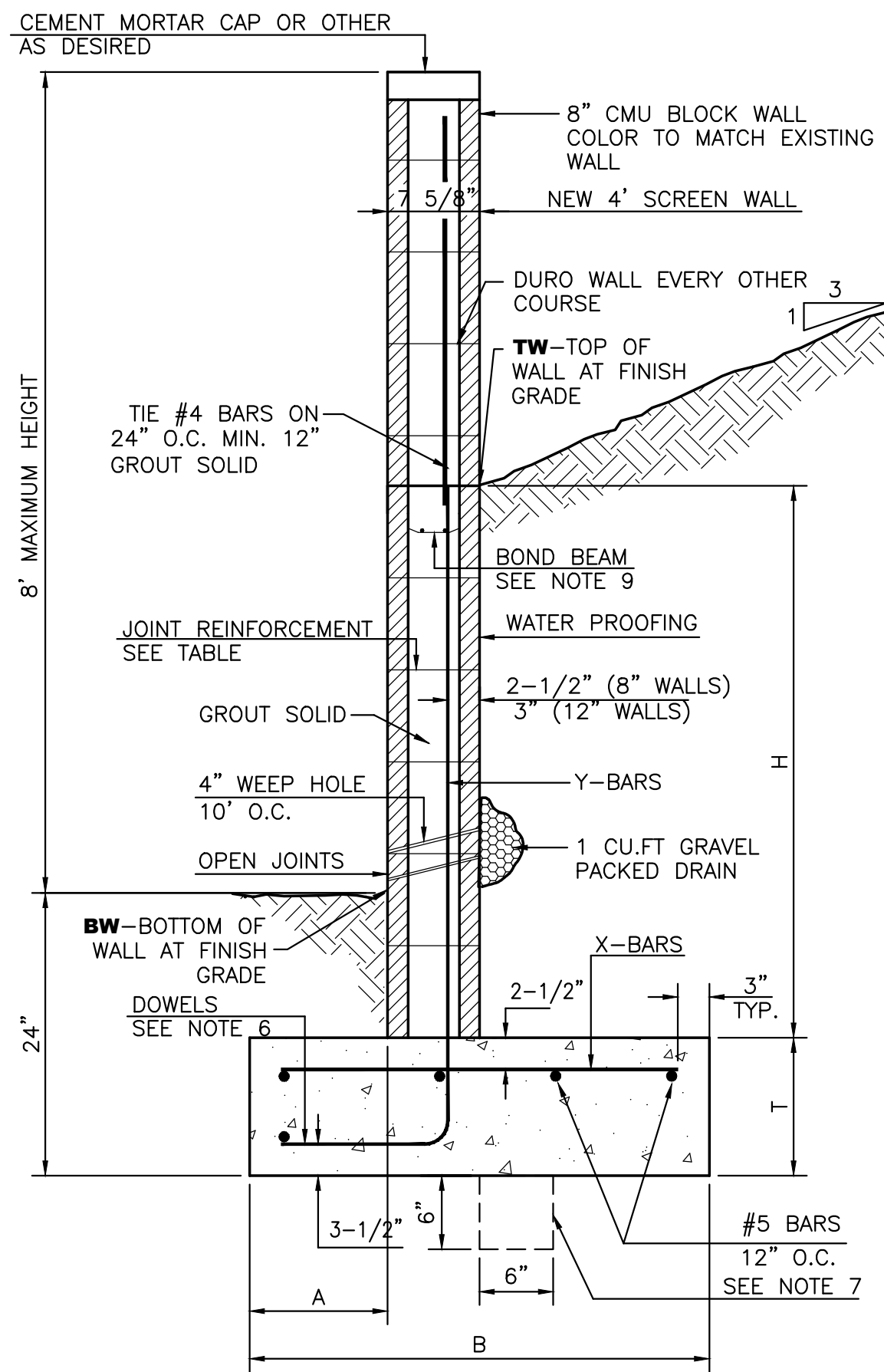
$Q = 1.49/n \cdot A \cdot R^{2/3} \cdot S^{1/2}$

- A = Area
- R = D/4
- S = Slope
- n = 0.013

NOT FOR CONSTRUCTION



<p>ENGINEER'S SEAL</p> <p>NOT FOR CONSTRUCTION</p> <p>RONALD R. BOHANNAN P.E. #7868</p>	<p>THE WYMONT ALBUQUERQUE, NM</p>	<p>DRAWN BY pm</p>
	<p>CONCEPTUAL GRADING AND DRAINAGE PLAN</p>	<p>DATE 8-4-21</p>
<p>8-4-21</p>	<p>TERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierawestllc.com</p>	<p>DRAWING</p>
		<p>SHEET # GR-3</p>
		<p>JOB # 2021008</p>



RETAINING WALL DETAIL
NTS

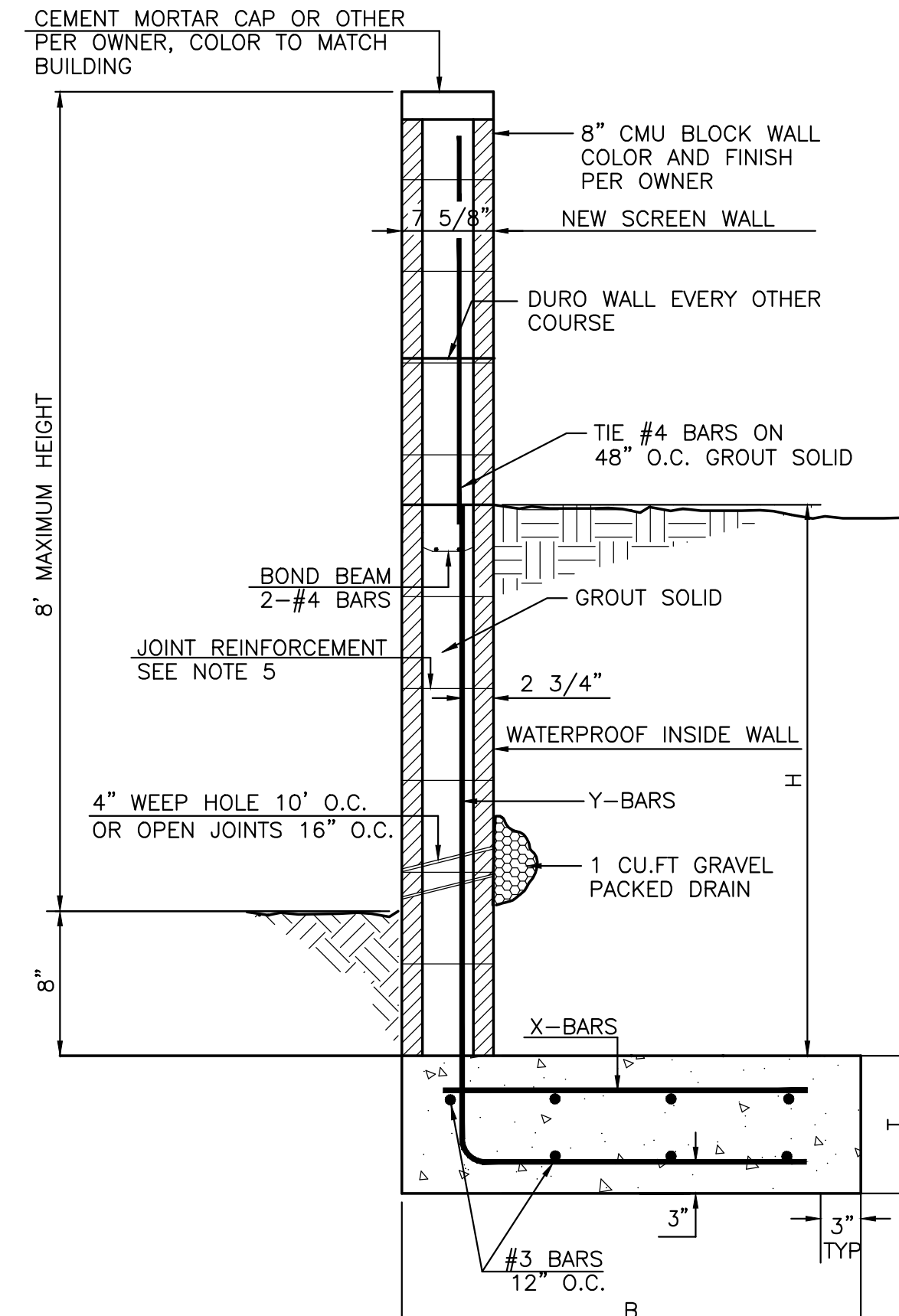
8 INCH REINFORCED CONCRETE MASONRY WALL

H	A	B	T	Y-BARS	X-BARS
ft.-in.	in.	ft.-in.	in.		
2'-0"	8"	2'-0"	9"	#4 @32" O.C.	#4 @24" O.C.
2'-8"	8"	2'-0"	9"	#4 @32" O.C.	#4 @24" O.C.
3'-4"	8"	2'-4"	9"	#4 @32" O.C.	#4 @24" O.C.
4'-0"	10"	2'-8"	9"	#4 @32" O.C.	#4 @24" O.C.
4'-8"	12"	3'-4"	10"	#5 @32" O.C.	#4 @18" O.C.
5'-4"	14"	3'-10"	10"	#6 @16" O.C.	#4 @18" O.C.
6'-0"	16"	4'-8"	12"	#6 @8" O.C.	#4 @12" O.C.

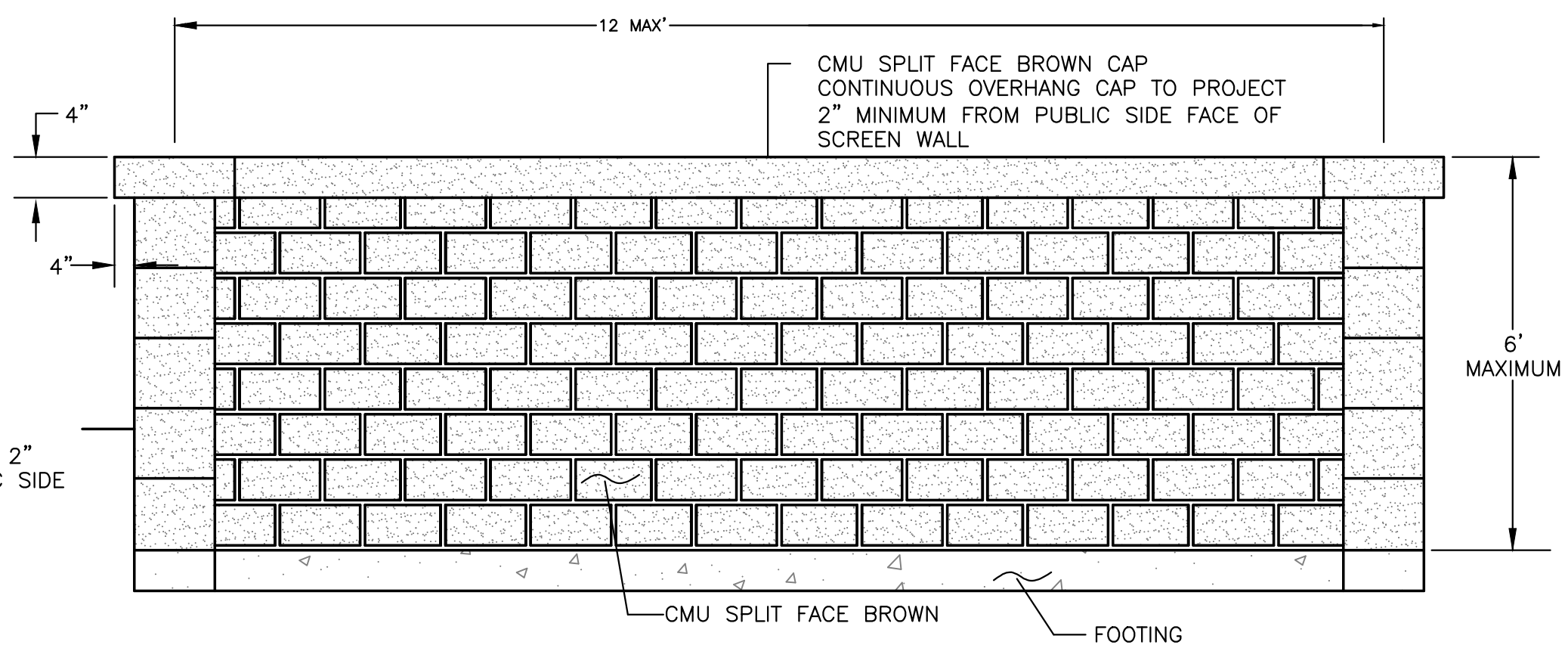
12 INCH REINFORCED CONCRETE MASONRY WALL

H	A	B	T	Y-BARS	X-BARS
ft.-in.	in.	ft.-in.	in.		
5'-4"	14"	3'-8"	10"	#6 @18" O.C.	#4 @24" O.C.
6'-0"	15"	4'-2"	12"	#4 @16" O.C.	#4 @18" O.C.
6'-8"	16"	4'-6"	12"	#6 @24" O.C.	#5 @18" O.C.
7'-4"	18"	4'-10"	12"	#6 @16" O.C.	#5 @18" O.C.
8'-0"	20"	5'-4"	12"	#7 @18" O.C.	#6 @12" O.C.
8'-8"	20"	5'-8"	12"	#7 @16" O.C.	#6 @12" O.C.

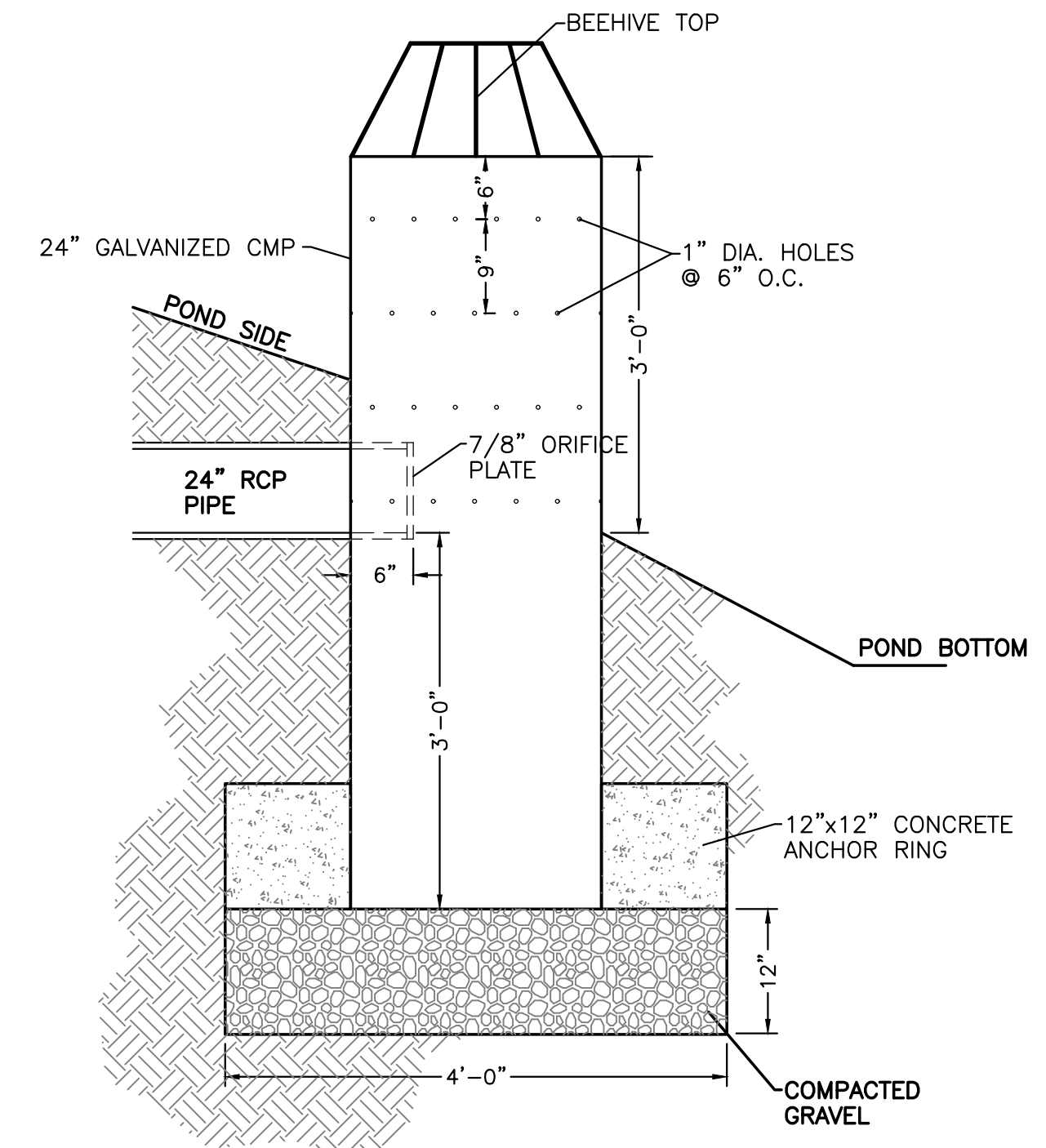
- GENERAL NOTES:**
- ALL CONCRETE IS TO BE 4000 PSI @ 28 DAYS.
 - MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
 - BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
 - ALL BARS ARE TO BE GRADE 60, ASTM 615.
 - TRUSS TYPE DURO-WALL EVERY OTHER COURSE.
 - DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO Y-BARS. SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
 - PROVIDE KEY FOR 8" AND 12" WALLS WHERE H EXCEEDS 6'-0"
 - USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 16'.
 - BOND BEAM, 1-#4 BARS FOR WALLS UNDER 3'-4", 2-#4 BARS FOR WALLS UNDER 5'-4", 2-#5 BARS FOR WALLS OVER 5'-4".



'L' FOOTING RETAINING WALL DETAIL
NTS



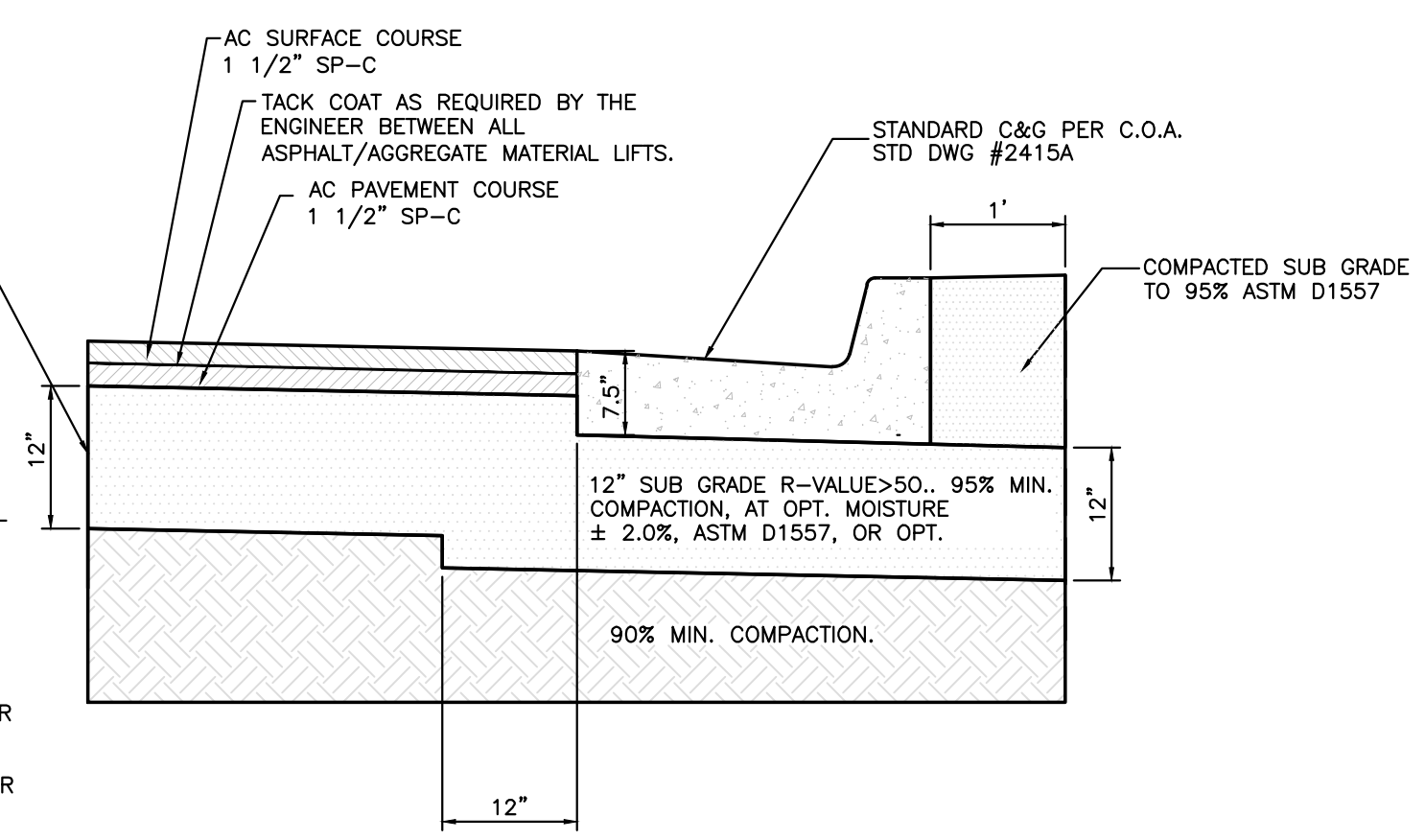
SCREENWALL/RETAINING WALL- ELEVATION FOR STREET FACING WALL
NTS



OUTFALL DETAIL
NTS

FINISH SURFACE OF SUB GRADE SHALL BE MOISTURE CONTROLLED AT COMPACTION MOISTURE RANGE, OR PRIME COAT APPLIED AS REQUIRED BY THE ENGINEER UNTIL NEXT/FINAL SURFACE IS COMPLETED. SUB GRADE PREPARATION SHALL BE PERFORMED AFTER ALL SUBSURFACE R/W UTILITIES CONSTRUCTION IS COMPLETED.

1' SURGED SOIL, R-VALUE>50. PLACED IN 2-6" COMPACTED LIFTS. 95% MIN. COMPACTION, AT OPT. MOISTURE ± 2.0%, ASTM D1557, OR OPT. MOISTURE, TO +4%, ASTM D698 FOR SOIL W/35% OR MORE MATERIAL PASSING THE NO. 200 SIEVE. SOIL NOT HAVING THE MIN. R-VALUE OF 50, SHALL BE REMOVED TO A DEPTH OF 2 FEET AND REPLACED BY THE CONTRACTOR WITH SUITABLE MATERIAL OR A PAVEMENT SHALL BE DESIGNED BY TIERRA WEST, LLC ACCOMMODATING THE EXISTING R-VALUE PER C.O.A. STANDARD SPECIFICATIONS.



TYPICAL PAVING SECTION (LOCAL RESIDENTIAL)
NTS

Street Capacity Calculations

28' F-F Street Section with 6" curb
Slope= 0.01

For water depths less than 0.125 feet
Y= Water depth
Area = 8*Y^2
P= SQRT(257*Y^2) + Y
n= 0.017

Depth (ft)	Area (ft^2)	P (ft)	R (A/P)	Q (cfs)	2Q (cfs)	Vel (ft/s)	D*V	Fr	D2 (ft)
0.01	0.00	0.17	0.00	0.00	0.00	0.25	0.00	0.43	0.00
0.02	0.00	0.34	0.01	0.00	0.00	0.39	0.01	0.48	0.01
0.04	0.01	0.68	0.02	0.01	0.02	0.62	0.02	0.54	0.02
0.06	0.03	1.02	0.03	0.02	0.05	0.81	0.05	0.58	0.03
0.08	0.05	1.36	0.04	0.05	0.10	0.98	0.08	0.61	0.04
0.10	0.08	1.70	0.05	0.09	0.18	1.14	0.11	0.63	0.05
0.12	0.12	2.04	0.06	0.15	0.30	1.29	0.15	0.65	0.07
0.13	0.13	2.13	0.06	0.17	0.33	1.32	0.17	0.66	0.07

For water depths greater than 0.125 ft but less than 0.280 ft
Y1= Y-0.125
A2= A1 + 2*Y1 + 25*Y1^2
P2= P1 + SQRT(2501*Y1^2)+Y1

Depth (ft)	Area (ft^2)	P (ft)	R (A/P)	Q (cfs)	2Q (cfs)	Vel (ft/s)	D*V	Fr	D2 (ft)
0.13	0.14	2.38	0.06	0.18	0.35	1.29	0.17	0.63	0.07
0.14	0.16	2.89	0.06	0.20	0.41	1.27	0.18	0.60	0.07
0.16	0.23	3.91	0.06	0.29	0.59	1.30	0.21	0.57	0.07
0.20	0.42	5.95	0.07	0.62	1.23	1.48	0.30	0.58	0.09
0.24	0.69	8.00	0.09	1.17	2.33	1.70	0.41	0.61	0.12
0.28	1.04	10.04	0.10	1.99	3.98	1.92	0.54	0.64	0.15

For water depths greater than 0.280 ft but less than 0.500 ft
Y2= Y-0.280
A3= A2 + Y2*14
P3= P2 + Y2

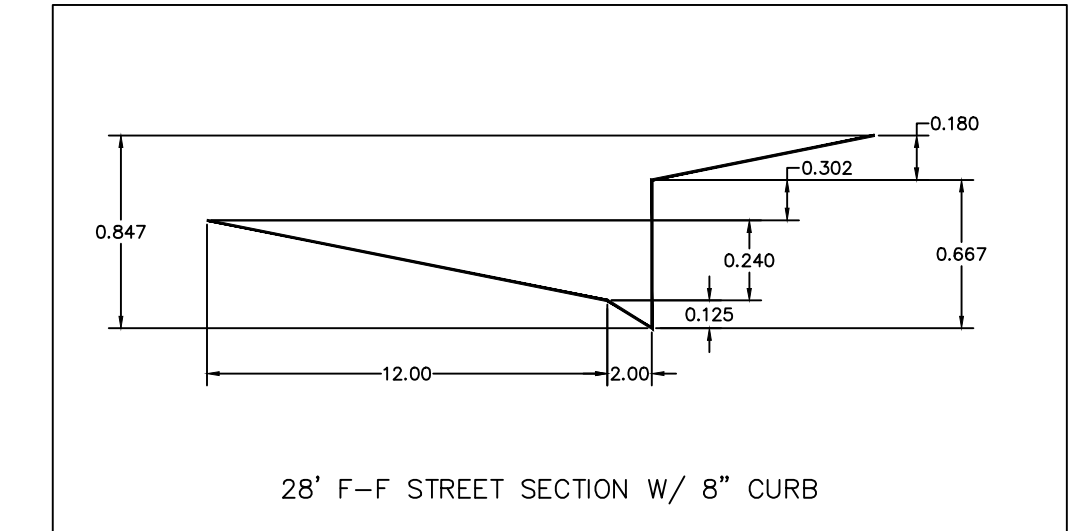
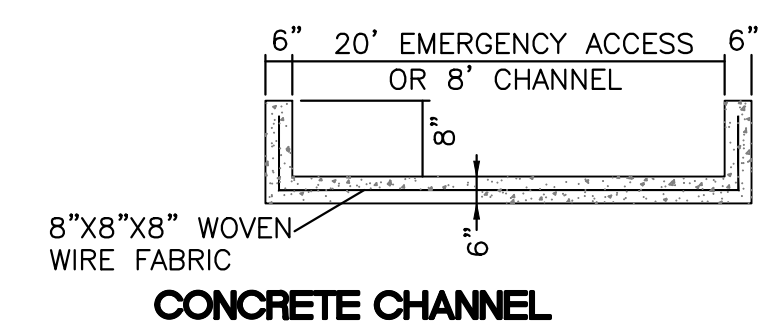
Depth (ft)	Area (ft^2)	P (ft)	R (A/P)	Q (cfs)	2Q (cfs)	Vel (ft/s)	D*V	Fr	D2 (ft)
0.300	1.32	10.06	0.13	2.96	5.93	2.25	0.68	0.72	0.19
0.330	1.74	10.09	0.17	4.69	9.39	2.70	0.89	0.83	0.26
0.359	2.14	10.11	0.21	6.63	13.26	3.10	1.11	0.91	0.32
0.360	2.15	10.12	0.21	6.69	13.39	3.11	1.12	0.91	0.32
0.370	2.30	10.13	0.23	7.46	14.92	3.25	1.20	0.94	0.34
0.418	2.96	10.17	0.29	11.38	22.76	3.84	1.60	1.05	0.44
0.455	3.49	10.21	0.34	14.90	29.80	4.27	1.94	1.12	0.53
0.485	3.90	10.24	0.38	17.93	35.87	4.59	2.23	1.16	0.59
0.500	4.12	10.26	0.40	19.57	39.15	4.76	2.38	1.19	0.62

For water depths greater than 0.500 ft but less than 0.68 ft
Y3= Y-0.500
A4= A3 + 14 * Y3 + 25 * Y3^2
P4= P3 + SQRT(2501 * Y3^2)

Depth (ft)	Area (ft^2)	P (ft)	R (A/P)	Q (cfs)	2Q (cfs)	Vel (ft/s)	D*V	Fr	D2 (ft)
0.55	4.88	12.76	0.38	22.47	44.93	4.61	2.53	1.09	0.62
0.58	5.31	14.01	0.38	24.28	48.57	4.58	2.63	1.06	0.62
0.60	5.77	15.26	0.38	26.34	52.69	4.57	2.74	1.04	0.63
0.63	6.26	16.51	0.38	28.64	57.28	4.58	2.86	1.02	0.64
0.65	6.78	17.76	0.38	31.18	62.35	4.60	2.99	1.01	0.65
0.68	7.45	19.26	0.39	34.54	69.08	4.64	3.15	0.99	0.67



NOT FOR CONSTRUCTION



ENGINEER'S SEAL NOT FOR CONSTRUCTION 8-4-21 RONALD R. BOHANNAN P.E. #7868	THE WYMONT ALBUQUERQUE, NM GRADING DETAILS	DRAWN BY pm DATE 8-4-21 DRAWING
	TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # GR-4 JOB # 2021008



ALBUQUERQUE FIRE MARSHAL'S OFFICE PERMITS CHECKING DIVISION

PERMIT

PERMIT NUMBER: FP11-005645
 APPROVED DATE: 03/18/21

APPROVED

THESE CONSTRUCTION DOCUMENTS WERE REVIEWED AND APPROVED BY THE ALBUQUERQUE FIRE MARSHAL'S OFFICE IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE FIRE DEPARTMENT AND NFPA STANDARDS. THIS PERMIT IS VALID FOR 180 DAYS. FINAL INSPECTION IS REQUIRED.

VICINITY MAP G-19-Z

- LEGEND**
- CURB & BOUNDARY
 - BUILDING
 - EXISTING CURB & BOUNDARY
 - 8" SAS
 - 8" WL
 - PROPOSED HYDRANT
 - NEW SAS MH
 - NEW WATER METER
 - EXISTING SAS MH
 - ⊗ EXISTING GATE VALVE
 - EXISTING WATERLINE
 - EXISTING SAS

- KEYED NOTES**
- ① GATE W/KNOX BOX
 - ② PROPOSED FIRE HYDRANT
 - ③ EXISTING HYDRANT TO BE REMOVED
 - ④ 20' KNOCKDOWN GATE FOR EMERGENCY ACCESS W/KNOX BOX
 - ⑤ EXISTING FIRE HYDRANT

LEGAL DESCRIPTION:
 LOT NUMBERED 1-A-1 OF LA MIRADA SUBDIVISION

UPC NO: 101906048047020404L1

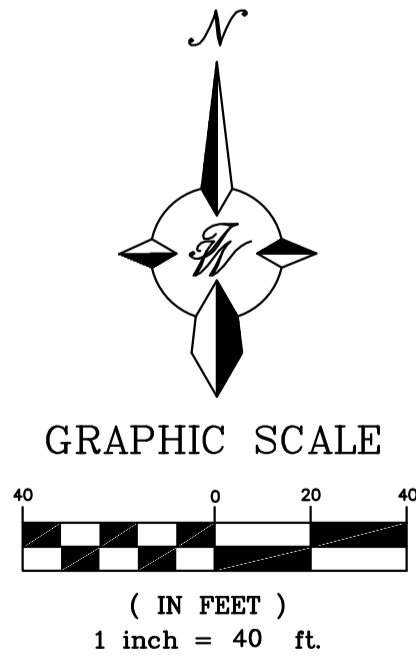
LA MIRADA SUBDIVISION
 ALBUQUERQUE, NM 87109

RESIDENTIAL
 OCCUPANCY TYPE: TOWNHOMES

LOT AREA: 308450 SF (7.08 ACRES)
 BUILDING AREA: 1800 SF (EA)

CONSTRUCTION TYPE: V
 NON SPRINKLED
 MAX BUILDING HEIGHT 36' TOP OF PEAK

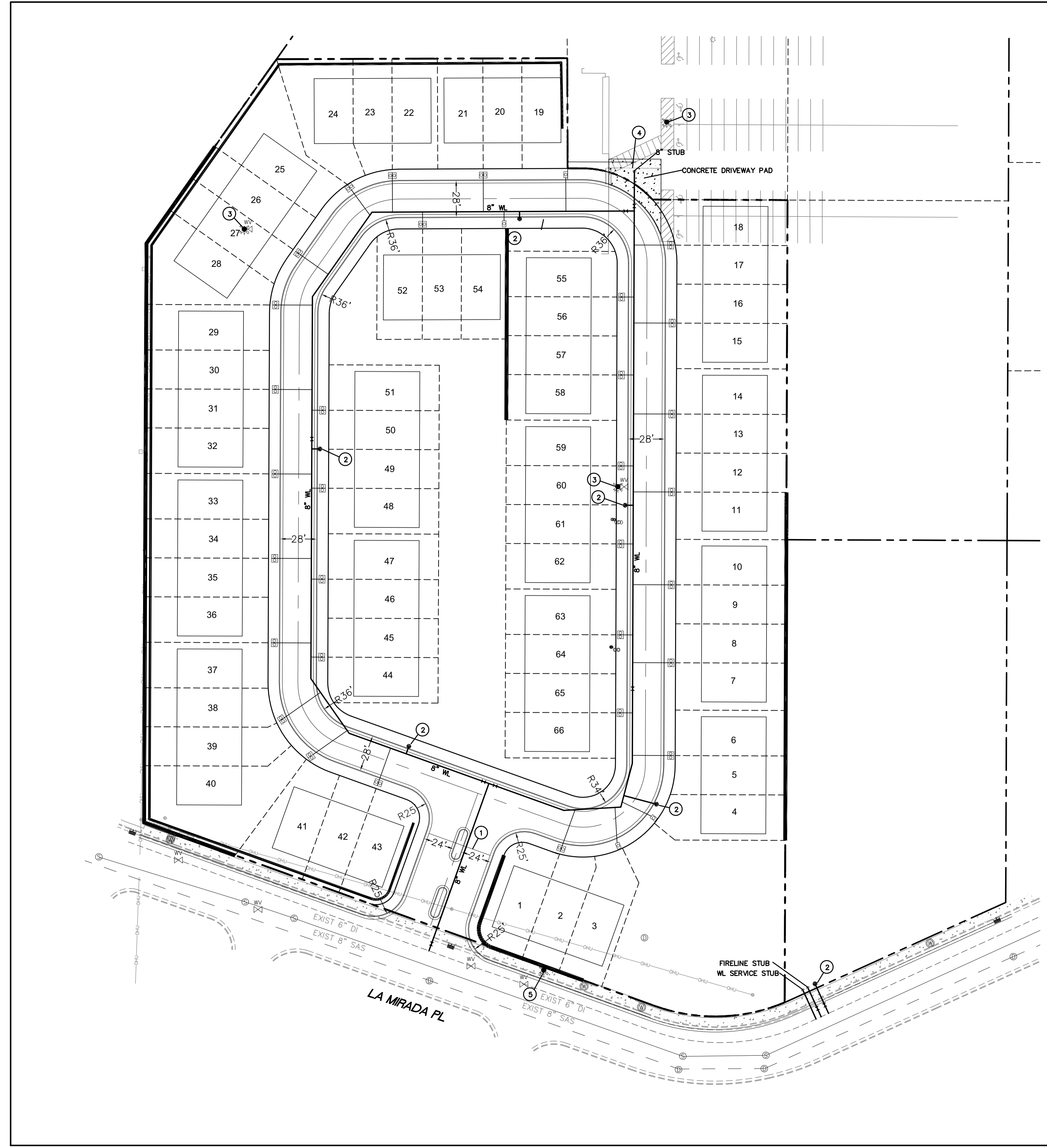
- NOTES**
1. ON SITE FIRE LANE ROAD SHALL BE MARKED ON BOTH SIDES, AS DIRECTED BY FIRE MARSHALL
 2. FIRE APPARATUS ACCESS ROADS SHALL NOT EXCEED 10 PERCENT IN GRADE AND SHALL HAVE AN ALL WEATHER DRIVING SURFACE CAPABLE OF SUPPORTING THE IMPOSED LOAD OF FIRE APPARATUS WEIGHING AT LEAST 75000 LBS
 3. KEY BOX (KNOX BOX) SHALL BE MOUNTED BETWEEN 4 AND 6 FEET ABOVE GRADE AND SHALL BE ILLUMINATED.



CAUTION

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS. PRIOR TO STARTING THE WORK, ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

ENGINEER'S SEAL	LA MIRADA ALBUQUERQUE, NM	DRAWN BY pm
	FIRE ONE PLAN	DATE 3-16-21
RONALD R. BOHANNAN P.E. #7868	 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	DRAWING
		SHEET # FO-1
		JOB # 2021008



PLANNING DEPARTMENT
URBAN DESIGN & DEVELOPMENT DIVISION
600 2nd Street NW, 3rd Floor, Albuquerque, NM 87102
P.O. Box 1293, Albuquerque, NM 87103
Office (505) 924-3860 Fax (505) 924-3339



OFFICIAL NOTIFICATION OF DECISION

May 21, 2021

Jarrold Likar
Butterfly Holdings, LLC
333 Rio Rancho Blvd.
Suite 202
Rio Rancho, NM 87124

Project #2019-002309
SI-2021-00370—Site Improvement, Major Amendment to
Site Plan

LEGAL DESCRIPTION:

Consensus Planning Inc., agents for Butterfly Holdings LLC, requests the above action for all or a portion of Lot 1-A-1 and 5-A-1, La Mirada Subdivision (being comprised of Lots 1-A and 5-A), zoned MX-M, located at 4315 Wyoming Blvd. NE, between Montgomery Blvd. NE and La Mirada Pl. NE, approximately 15.5 acres

(G-19)

Staff Planner: Sergio Lozoya

On May 20, 2021, the Environmental Planning Commission (EPC) voted to Approve Project # 2019-002309/SI-2021-00370, a Site Plan – EPC, Major Amendment, based on the following Findings and subject to the following conditions of approval:

1. The request is for a Major Amendment of a Prior Approved Site Development Plan for a property legally described as Lot 1-A-1 and 5-A-1, La Mirada Subdivision (being comprised of Lots 1-A and 5-A), located at 4315 Wyoming Blvd. NE between Montgomery Blvd. NE and La Mirada Pl, NE, approximately 15.5 acres.
2. The applicant proposes to amend the prior approved site development plan in the following manner:
 - A. Redevelop the southwestern portion of the subject site (approx. 8.5 acres) with a Townhouse subdivision. This area will be reviewed using a new site plan, which will go through the Development Review Board (DRB) process.
 - B. Remove the remainder of the subject site from the governing site development plan and allow for future redevelopment to be subject to IDO regulations.
3. The subject site is zoned MX-M (Mixed Use – Medium Intensity). The purpose of the MX-M zone district is to provide for a wide array of moderate-intensity retail, commercial, institutional and moderate-density residential uses, with taller, multi-story buildings encouraged in Centers and Corridors. Allowable uses are shown in IDO Table 4-2-1. Townhouses are a permissive use in the MX-M zone district.

4. The EPC is hearing this case pursuant to IDO section 14-16-6-4(Z) Amendments of Pre-IDO Approvals. Major amendments shall be reviewed by the decision-making body that issued the permit or approval being amended, following the procedures for the most closely equivalent decision in Part 14-16-6 (Administration and Enforcement). The amendment exceeds the thresholds found in IDO table 6-4-4: Allowable Minor Amendments, therefore it is classified as a Major Amendment pursuant to IDO section 14-16-6-4(Z)(1)(b).
5. The subject site is located in an Area of Change and at the intersection of a Multi-Modal Corridor (Wyoming Blvd NE) and Major Transit Corridor (Montgomery Blvd NE).
6. The Albuquerque/Bernalillo County Comprehensive Plan and the Integrated Development Ordinance (IDO) are incorporated herein by reference and made part of the record for all purposes.
7. The request is consistent with the following Comprehensive Plan Goals and Policies from Chapter 4: Community Identity:

A. Goal 4.1 Character: Enhance, protect, and preserve distinct communities.

The request would enhance, protect, and preserve this distinct community by providing residential uses, which would replace a currently underutilized commercial development consisting largely of asphalt surface parking and vacant buildings.

B. Policy 4.1.2 Identity and Design: Protect the identity and cohesiveness of the neighborhoods by ensuring the appropriate scale and location of the development, mix of uses, and character of building design.

The request would facilitate the development of 66 townhouses on a site that is largely underused and unoccupied. The development would abut a multi-family development, and is also near single-family dwellings. The proposed Townhouses would provide an appropriate scale (in between multi-family and single family), proper location of development, and a mix of housing options.

C. Policy 4.1.4 Neighborhoods: Enhance, protect, and preserve neighborhoods and traditional communities as key to our long-term health and vitality.

The proposed site plan would generally enhance, protect, and preserve the nearby neighborhood because it would facilitate the development of a largely vacant site and an underutilized parking lot. Developing this space to be townhomes would enhance the area, protect housing values, and preserve the neighborhood. The development of the site and subsequent occupancy promotes the areas long term health and vitality.

8. The request is consistent with the following Comprehensive Plan Goals and Policies from Chapter 5: Land Use
- A. Goal 5.1: Centers and Corridors: Grow as a community of strong Centers connected by a multi-modal network of Corridors.

The subject site sits along two designated corridors; Montgomery Blvd NE is designated as a Major Transit Corridor, and Wyoming Blvd NE is designated as a Multi-Modal corridor by the Comprehensive Plan. The subject site is not in a designated Activity Center. However, the

request would facilitate residential development along two designated Corridors, and generally low-density residential development is intended outside of Centers.

- B. Policy 5.1.10 Major Transit Corridors: Foster corridors that prioritize high-frequency transit service with pedestrian-oriented development.

The request would facilitate the development of 66 townhouses which would activate nearby Corridors with more residents using transit and walking to nearby commercial services. The proposed Site Plan includes walkways for residents and pedestrian access from the surrounding site. The request would encourage residential development and makes the nearby transit service accessible.

9. The request furthers the following, additional policies regarding Centers and Corridors from Comprehensive Plan Chapter 5: Land Use.

- A. Goal 5.2 Complete Communities: Foster communities where residents can live, work, learn, shop and play together.

The request would facilitate the development of the subject site with 66 Townhouses, which would provide additional opportunities for residents to live, work, and shop in the area. The request would foster complete communities where residents can live and work together because the proposed development would be within walking distance of surrounding commercial development, and ABQ Ride Route 5 and 31.

- B. Policy 5.2.1 Land Uses: Create healthy, sustainable, and distinct communities with a mix of uses that are conveniently accessible from surrounding neighborhoods.

The request would create healthy, sustainable and distinct communities with a mix of uses by locating the residential development near a mix of commercial uses. The location of the subject site near existing commercial development would generally promote walkability, which contributes to the health of the community. There are three pedestrian access points from the subject site to surrounding development, which promote convenience and accessibility.

- C. Sub Policy 5.2.1 a: Encourage development and redevelopment that brings goods, services, and amenities within walking distance of neighborhoods and promotes good access for all residents.

The proposed boundary for the Site Plan would allow the surrounding lots to be developed under the IDO MX-M Zone District standards. The development under the original site plan was largely underutilized and has not changed for several years. The request facilitates development under MX-M standards, which would bring goods, services, and amenities, all of which are within walking distance from the proposed Townhouses and the surrounding neighborhoods.

- D. Sub Policy 5.2.1 e: Create healthy, sustainable communities with a mix of uses that are conveniently accessible from surrounding neighborhoods.

The subject site location along two designated corridors promotes convenient accessibility to commercial services. The surrounding sites release from Site Plan regulation to the IDO MX-M zone district guidelines will facilitate the development of a mix of uses that are conveniently accessible from surrounding neighborhoods.

- E. Sub Policy 5.2.1 n: Encourage more productive use of vacant lots and under-utilized lots, including surface parking.

The request would encourage more productive use of the currently under-utilized lot which is comprised of largely vacant commercial space and surface parking by facilitating the development of 66 Townhouses.

10. The request furthers the following, additional polices regarding Centers and Corridors from Comprehensive Plan Chapter 5: Land Use.

- A. Goal 5.3 Efficient Development Patterns: Promote development patterns that maximize the utility of existing infrastructure and public facilities and the efficient use of land to support the public good.

The subject site is already served by existing infrastructure and public facilities, so the redevelopment made possible by the request would generally promote efficient development patterns and use of land.

- B. Policy 5.3.1 Infill Development: Support additional growth in areas with existing infrastructure and public facilities.

The subject site is an infill site located in an area already served by existing infrastructure and public facilities. The request would support additional growth along two established Corridors.

- C. Policy 5.3.2 Leapfrog Development: Discourage growth in areas without existing infrastructure and public facilities.

The request would facilitate the development where infrastructure and public facilities already exist. And would be infill development as opposed to fringe development where there is no infrastructure.

- D. Goal 5.4 Jobs-Housing Balance: Balance jobs and housing by encouraging growth near employment across the region and prioritizing job growth west of the Rio Grande.

The request would facilitate residential development at a site that is near existing commercial and office development, which are often where jobs are located. The subject site is served well by transit and residents living there would have access to jobs in the area. However, the request does not prioritize job growth west of the Rio Grande.

- E. Goal 5.6 City Development areas: Encourage and direct growth to Areas of Change where it is expected and desired to ensure that development in and near Areas of Consistency reinforces the character and intensity of the surrounding area.

The subject site is located in an Area of Change, where growth is expected and desired the request would encourage, enable, and direct growth to it.

11. The request is consistent with the following Comprehensive Plan Goals and Policies from Chapter 9: Housing

- A. Goal 9.1 Supply: Ensure a sufficient supply and range of high-quality housing types that meet current and future needs at a variety of price levels to ensure more balanced housing options.

The request would facilitate the development of approximately 66 Townhouses, which ensures a sufficient supply and range of high-quality housing types. The subject site is located at the intersection of two designated Corridors (Multi-Modal, and Major Transit) and near multi-family and single-family housing. The addition of Townhouses provides ensures that the area will meet current and future needs at a variety of price levels to ensure more balanced housing options.

- B. Goal 9.3 Density: Support increased housing density in appropriate places with adequate services and amenities.

The request would allow and support development of residential uses, among them the slightly denser Townhouse residential development. The subject site is an appropriate place for such development because it is located along a Major Transit Corridor.

- C. Policy 9.3.1 Centers & Corridors: Encourage higher density, multi-unit housing and mixed-use development in Downtown, Urban, Activity, and Village Centers, and along Premium and Major Transit Corridors to capture growth, relieve development pressure at the edge of the urban footprint, and maintain low densities in rural areas.

The request would allow residential uses, specifically Townhouses (mixed-use development) to develop near appropriate uses such as jobs and services, and along a Major Transit Corridor. The release of the surrounding geography to the IDO MX-M regulation could facilitate additional mixed-use development along a Major Transit Corridor.

12. The request meets the Site Plan-EPC Review & Decision Criteria in IDO Section 14-16-6-6(J)(3) as follows:

- A. 14-16-6-6(J)(3)(a) As demonstrated by the policy analysis of the site plan, the request is consistent with applicable Comprehensive Goals and Policies.
- B. 14-16-6-6(J)(3)(b) The subject site is zoned MX-M; therefore, this criterion does not apply.
- C. 14-16-6-6(J)(3)(c) With the application of conditions of approval, the site plan will comply with all applicable provisions of the IDO. The request will need to be reviewed by the Development Review Board (DRB) to ensure compliance with applicable provisions of the Development Process Manual (DPM). As per the IDO, the EPC will determine whether any deviations from typical Mixed-Use development are acceptable in this proposed major amendment.

OFFICIAL NOTICE OF DECISION

Project #2019-002309

May 21, 2021

Page 6 of 9

- D. 14-16-6-6(J)(3)(d) The request will be reviewed by the Development Review Board (DRB), which is charged with addressing infrastructure and ensuring that infrastructure such as streets, trails, sidewalks, and drainage systems has sufficient capacity to serve a proposed development.
 - E. 14-16-6-6(J)(3)(e) The future, proposed development will be required to comply with the decisions made by two bodies- the EPC and the DRB. The EPCs' conditions of approval will improve compliance with the IDO, which contains regulations to mitigate site plan impacts to surrounding areas. The DRB's conditions will ensure infrastructure is adequately addressed so that a proposed development will not burden the surrounding area.
 - F. 14-16-6-6(J)(3)(f) The subject property is not within an approved Master Development Plan; therefore, this criterion does not apply.
 - G. 14-16-6-6(J)(3)(g) The subject property is not within the Railroad and Spur Area and no cumulative impact analysis is required, therefore this criterion does not apply.
13. The applicant's policy-based response adequately demonstrates that the request furthers a preponderance of applicable Goals and policies regarding Centers and Corridors (Major Transit and Multi-Modal Corridors), infill and efficient development patterns, and jobs-housing balance, and does not present any significant conflicts with the Comprehensive Plan. Therefore, the request is consistent with the City's health, safety, morals, and general welfare.
14. The affected, registered neighborhood organizations are the Loma Del Rey NA, District 4 Coalition of Neighborhood Associations, and District 7 Coalition of Neighborhood Associations. Property owners within 100 feet of the subject site were also notified as required.
15. A pre-application neighborhood meeting was requested and held on March 4, 2021 with members of the Loma Del Rey NA. The public was generally supportive of the proposal as indicated in the facilitated meeting minutes.
16. As of this writing, Staff has not been contacted and is unaware of any opposition.

Conditions:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB) to ensure all technical issues are resolved. The DRB is responsible for ensuring that technical EPC Conditions have been satisfied and that other applicable City requirements have been met.
2. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.

OFFICIAL NOTICE OF DECISION

Project #2019-002309

May 21, 2021

Page 7 of 9

3. The applicant shall meet with the Staff planner prior to applying to the DRB to ensure that all conditions of approval are addressed and met. Upon receiving sign-off from the DRB, the applicant shall submit a finalized version of the site plan for filing at the Planning Department.
4. Pedestrian Access & Circulation:
 - A. There will be a pedestrian entrance in addition to pedestrian access at the main gate. Clarification of keyed note three shall be provided. Emergency access shall be called out on the Site Plan.
 - B. Proposed sidewalks within development to be dimensioned to ensure compliance with DPM standards, pursuant to IDO subsection 14-16-5-3(D)(1)(a).
5. Parking & Circulation:
 - A. Parking calculations shall be shown clearly on site plan, and shall comply with IDO table 5-5-1.
 - B. Transit stops within 330' shall be shown and dimensioned to demonstrate eligibility for parking reductions, pursuant to IDO subsection 14-16-5-5(C)(5)(c)2.
 - C. Turning template provided by the applicant to be reviewed and approved by Transportation Development Services.
6. Landscaping:

All street trees must be planted in accordance to IDO Section 14-16-5-6(D)(1)(c).
7. Walls:

Pursuant to IDO table 5-7-1 Maximum Wall Height, maximum wall height in Mixed Use zone districts is 8 feet. Currently, wall sections show terraced walls with a range of up to 12 feet in height. Any wall that is proposed to be higher than 8 feet will need additional approval from the City Engineer, pursuant to IDO Subsection 14-16-5-7(F)(1)(a).
8. Lighting:

Provide a note on the Site Plan stating that lighting shall be provided in accordance with IDO section 14-16-5-8 Outdoor and Site Lighting.
9. Clarification:
 - A. A typical dimension for building setbacks shall be shown on Site Plan, pursuant to IDO subsection 14-16-5-1(D).
 - B. Provide a note on the Site Plan stating that all design standards shall be met pursuant to IDO section 14-16-5-11(C) Low-Density Residential Development.

10. Conditions from Transportation Development Review Services:

- A. This project is part of an overall project that involves a required Traffic Impact Study to determine off-site improvements. Traffic Impact Study recommendations shall be placed onto an infrastructure list.
- B. Based on the number of units, show a second access for emergency purposes. If sharing access with an adjacent parcel, a shared access agreement is required.
- C. Per new DPM requirements, a 5-foot sidewalk is required on each side of the proposed roadway. This would need the proposed overall easement width to be widened.
- D. The applicant will work with the City Transportation Engineer for approval of the proposed 50' turning radius.
- E. Provide turning template to ensure that turn-around space is sufficient in front of the proposed gate location.
- F. Minimum sidewalk width requirements on La Mirada shall be met.

APPEAL: If you wish to appeal this decision, you must do so within 15 days of the EPC's decision or by **June 4th, 2021**. The date of the EPC's decision is not included in the 15-day period for filing an appeal, and if the 15th day falls on a Saturday, Sunday or Holiday, the next working day is considered as the deadline for filing the appeal.

For more information regarding the appeal process, please refer to Section 14-16-6-4(V) of the IDO, Administration and Enforcement. A Non-Refundable filing fee will be calculated at the Land Development Coordination Counter and is required at the time the appeal is filed. It is not possible to appeal EPC Recommendations to City Council; rather, a formal protest of the EPC's Recommendation can be filed within the 15-day period following the EPC's recommendation.

You will receive notification if any person files an appeal. If there is no appeal, you can receive Building Permits at any time after the appeal deadline quoted above, provided all conditions imposed at the time of approval have been met. Successful applicants are reminded that other regulations of the City Zoning Code must be complied with, even after approval of the referenced application(s).

Sincerely,

for Brennon Williams
Planning Director

BW/SL

OFFICIAL NOTICE OF DECISION

Project #2019-002309

May 21, 2021

Page 9 of 9

cc: Jackie Fishman, Consensus Planning Inc. fishman@consensusplanning.com
Loma Del Rey NA, Carol Orona, oronacarol@hotmail.com
Loma Del Rey NA, Brian Eagan, eagan.brian@gmail.com
District 4 Coalition of NA, Daniel Regan, dlreganabq@gmail.com
District 4 Coalition of NA, Mildred Griffiee, mgriffiee@noreste.org
District 7 Coalition of NA, David Haughawout, davidh.d7@comcast.net
District 7 Coalition of NA, Lynne Martin, lmartin900@aol.com
Mary Hawley, mhawley329@gmail.com
John Ransom, jransom@nmrea.com
EPC File
City Legal, Kevin Morrow, kmorrow@cabq.gov



September 14, 2021

Jolene Wolfley, Chair
Development Review Board
600 Second Street NW
Albuquerque, NM 87102

Re: La Mirada/Wymont Place (PR-2019-002309, SI-2021-00370) Final Site Plan Sign-off

Landscape Architecture
Urban Design
Planning Services

302 Eighth St. NW
Albuquerque, NM 87102

(505) 764-9801
Fax 842-5495
cp@consensusplanning.com
www.consensusplanning.com

Dear Madam Chair:

The purpose of this letter is to transmit the Site Plan that was approved by the Environmental Planning Commission (EPC) on May 20, 2021. The EPC placed the following conditions of approval. The response to each of the conditions are shown below.

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB) to ensure all technical issues are resolved. The DRB is responsible for ensuring that technical EPC Conditions have been satisfied and that other applicable City requirements have been met.

The Site Plan is being submitted to the DRB for their review at the September 22, 2021 meeting. This letter outlines the changes to meet the EPC Conditions of approval and review by the DRB will ensure all technical standards are met.

2. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.

This letter outlines the changes made to meet the EPC conditions of approval. The changes include only those to meet the conditions of approval and update the grading and utility sheets based on final coordination with Hydrology and the ABCWUA.

3. The applicant shall meet with the Staff planner prior to applying to the DRB to ensure that all conditions of approval are addressed and met. Upon receiving sign-off from the DRB, the applicant shall submit a finalized version of the site plan for filing at the Planning Department.

The applicant has been coordinating with the Staff planner, Sergio Lozoya, regarding the updated site plan. Once approved by the DRB, the Applicant will submit the finalized plan for filing at the Planning Department.

PRINCIPALS

James K. Strozier, FAICP
Christopher J. Green, PLA,
ASLA, LEED AP
Jacqueline Fishman, AICP

4. Pedestrian Access & Circulation:



- A. There will be a pedestrian entrance in addition to pedestrian access at the main gate. Clarification of keyed note three shall be provided. Emergency access shall be called out on the Site Plan.

Keyed note 3 has been updated to reflect the additional pedestrian access between the subdivision and the adjacent commercial property in the northeast corner of the site. Keyed note 9 identifies the emergency access pad location.

- B. Proposed sidewalks within development to be dimensioned to ensure compliance with DPM standards, pursuant to IDO subsection 14-16-5-3(D)(1)(a).

Typical dimensions have been added to the sidewalks within the subdivision showing compliance with the DPM requirement for a 5-foot sidewalk on local streets. Existing sidewalk widths on La Mirada Place show these currently meet or exceed DPM requirements.

5. Parking & Circulation:

- A. Parking calculations shall be shown clearly on site plan, and shall comply with IDO table 5-5-1.

Parking calculations have been added to show that 132 spaces are required and 264 are being provided with garages and driveways for future units. General note #9 also states that parking shall comply with the referenced table.

- B. Transit stops within 330' shall be shown and dimensioned to demonstrate eligibility for parking reductions, pursuant to IDO subsection 14-16-5-5(C)(5)(c)2.

The parking notes within the site data have been updated to remove reference to the eligibility for parking reductions. The site was modified since the original note was written and it is no longer within 330 feet of the nearest transit stop, so it is not eligible for a reduction and dimensioning the distance is no longer necessary. The site meets the IDO parking requirements without the need for any reductions.

- C. Turning template provided by the applicant to be reviewed and approved by Transportation Development Services.

A turning template was created and submitted to Transportation staff for review and approval.

6. Landscaping:

- All street trees must be planted in accordance to IDO Section 14-16-5-6(D)(1)(c).

The landscape plan was updated for compliance with the referenced section. Specifically, trees were modified to meet the planting area and height requirements found in Table 5-6-3.



7. Walls:
Pursuant to IDO table 5-7-1 Maximum Wall Height, maximum wall height in Mixed Use zone districts is 8 feet. Currently, wall sections show terraced walls with a range of up to 12 feet in height. Any wall that is proposed to be higher than 8 feet will need additional approval from the City Engineer, pursuant to IDO Subsection 14-16-5-7(F)(1)(a).

The terraced walls have been updated to comply with this requirement as shown on Sheet GR-2.

8. Lighting:
Provide a note on the Site Plan stating that lighting shall be provided in accordance with IDO section 14-16-5-8 Outdoor and Site Lighting.

The site lighting note within the Development Data on the site plan has been updated to reflect compliance with IDO Section 14-16-5-8.

9. Clarification:
 - A. A typical dimension for building setbacks shall be shown on Site Plan, pursuant to IDO subsection 14-16-5-1(D).

A typical lot layout showing dimensions of the setbacks has been added to the legend on the site plan.

- B. Provide a note on the Site Plan stating that all design standards shall be met pursuant to IDO section 14-16-5-11(C) Low-Density Residential Development.

A note reflecting compliance with building design standards for Low-Density Residential Development was added as General Note #8.

10. Conditions from Transportation Development Review Services:
 - A. This project is part of an overall project that involves a required Traffic Impact Study to determine off-site improvements. Traffic Impact Study recommendations shall be placed onto an infrastructure list.

The Traffic Impact Study was completed, and no mitigations were recommended.

- B. Based on the number of units, show a second access for emergency purposes. If sharing access with an adjacent parcel, a shared access agreement is required.

The second emergency access is shown at the northeast corner of the site. Shared access will be established via plat for the project.



- C. Per new DPM requirements, a 5-foot sidewalk is required on each side of the proposed roadway. This would need the proposed overall easement width to be widened.

A 5-foot sidewalk is included on both sides of the street.

- D. The applicant will work with the City Transportation Engineer for approval of the proposed 50' turning radius.

Transportation Development staff have approved the 50-foot turning radii based on the low speed limit within the subdivision.

- E. Provide turning template to ensure that turn-around space is sufficient in front of the proposed gate location.

A turning template was submitted to Transportation staff for review and approval. These templates are attached to this submittal.

- F. Minimum sidewalk width requirements on La Mirada shall be met.

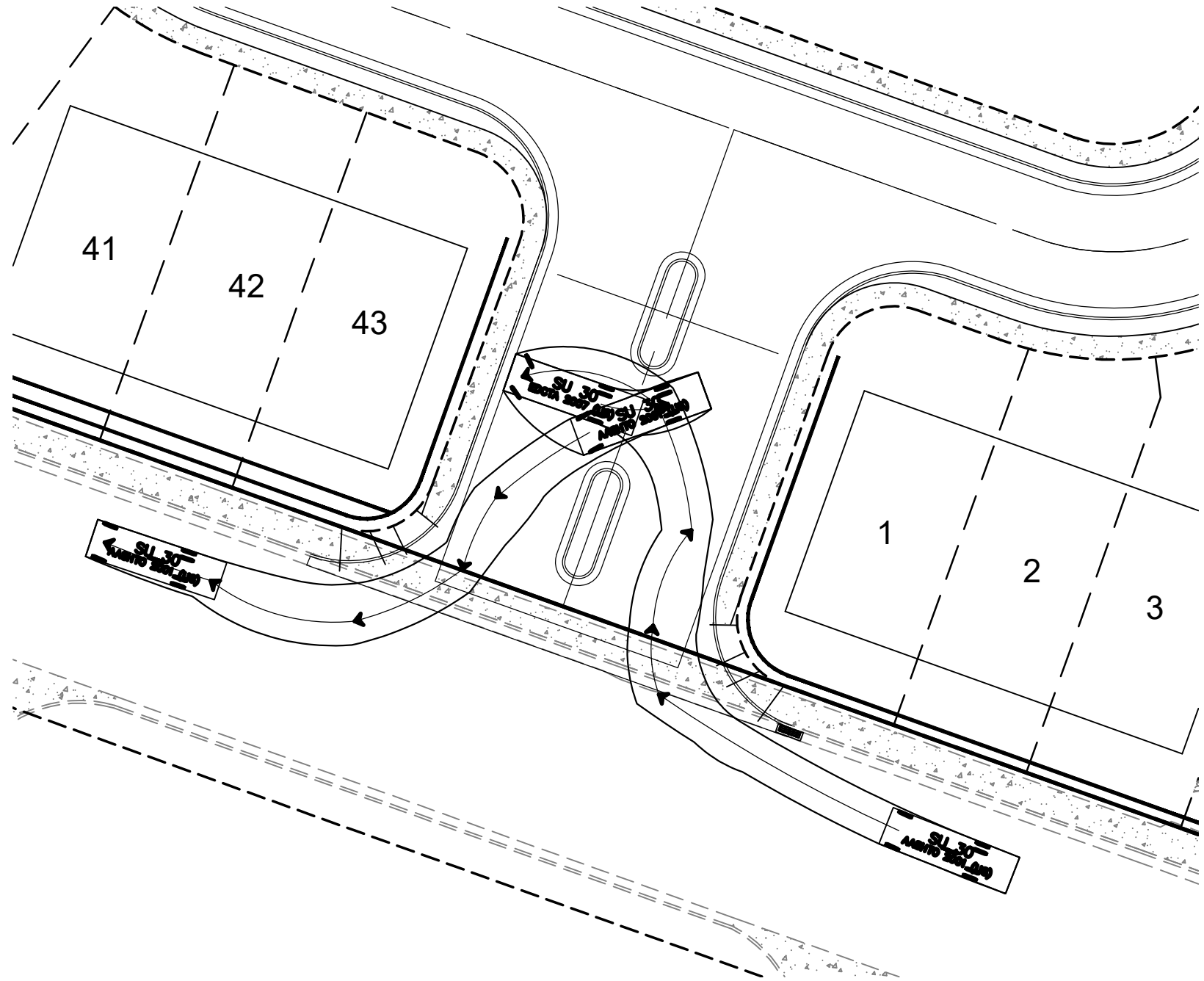
Existing sidewalk widths on La Mirada are dimensioned on the site plan and meet or exceed the 5-foot minimum requirement.

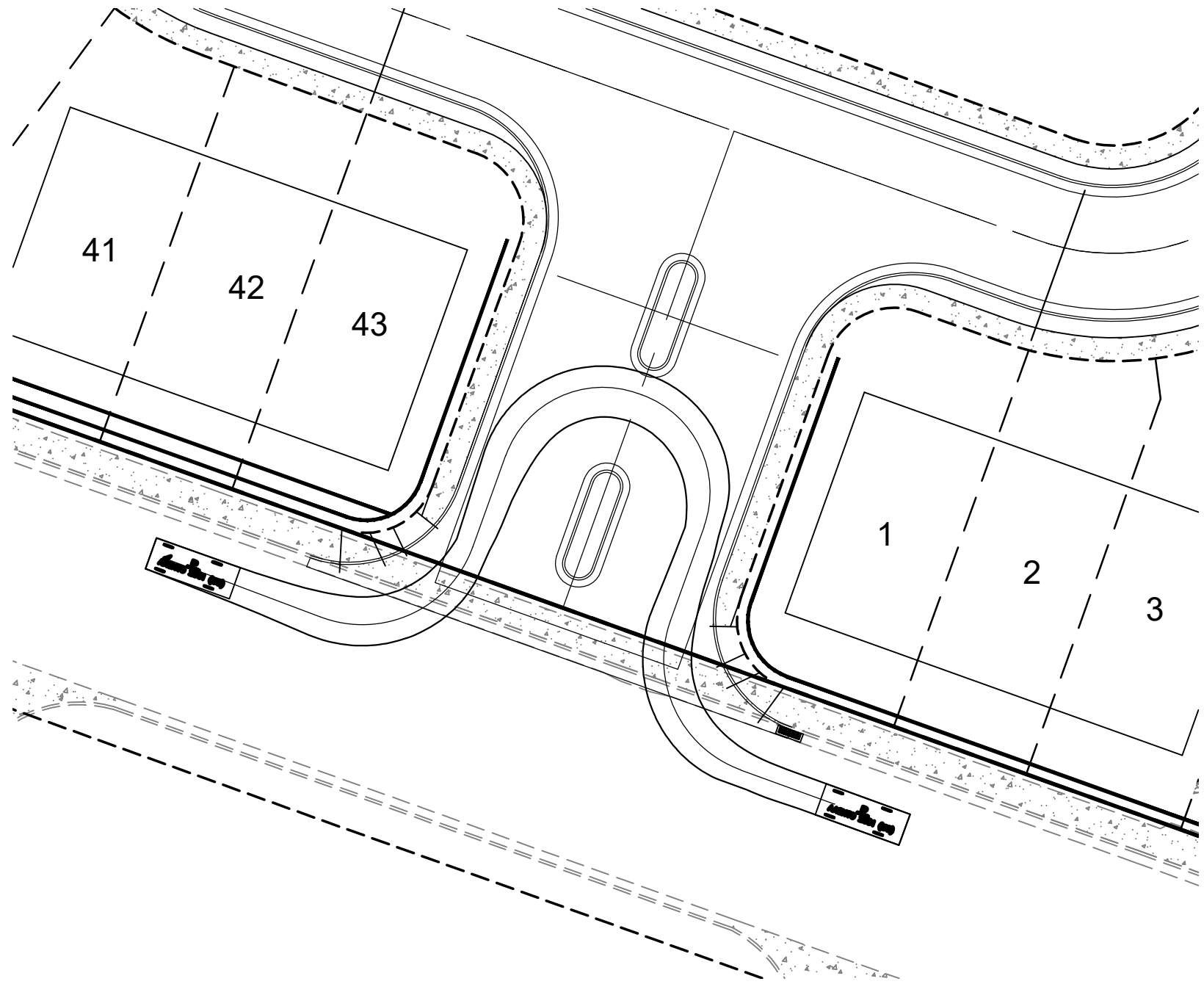
Please do not hesitate to contact me with any questions or if additional information is needed.

Sincerely,

A handwritten signature in black ink, appearing to read 'Michael J. Vos', is positioned above the typed name.

Michael J. Vos, AICP
Senior Planner







DEVELOPMENT DATA

Legal Description: Lot 1-A-1, La Mirada Subdivision containing 8.3236 acres
 Zoning: MX-M
 Land Use: Townhouses
 Pedestrian and Vehicular Access:
 • Primary vehicular access is from La Mirada Place NE, an existing urban local roadway. The subdivision shall be gated and the new roadway serving the subdivision shall be privately owned and maintained by a Homeowners' Association.
 • Pedestrian access will be private, gated access from La Mirada Place NE and in two locations from the adjacent MX-M properties, as shown on the Site Plan.
 • Transit access is provided on Montgomery Boulevard (Route 5) and Wyoming Boulevard (Route 31).

Lot Sizes: The MX-M zone does not have minimum lot size or width requirements. The typical lot size is 2,550 square feet and typical width is 30 feet.

Setbacks: Development shall comply with the minimum setbacks of the MX-M Zone District
 Front, minimum: 5 feet
 Side, minimum: 0 feet
 Street side, minimum: 5 feet
 Rear, minimum: 15 feet
 Density: 9.0 Dwelling Units per Acre
 Maximum Building Height allowed: 48 feet

Building Design: Townhouses shall comply with the building design requirements of IDO Section 14-16-5-11(C) Low-Density Residential Development

Usable Open Space: Per the Townhouse Use-specific Standards in IDO Section 14-16-4-3(B)(5)(a), usable open space is required in the amount of 200 square feet per 1 Bedroom, 250 square feet per 2 Bedroom, and 300 square feet per 3+ Bedroom dwelling unit. The total usable open space required, assuming 3 bedrooms per unit is 22,200 square feet, 27,975.42 square feet is provided.

Parking Requirements: 1 space per dwelling unit up to 2 bedroom and 2 spaces for each 3+ bedroom dwelling unit. Townhomes are proposed with 2 car garages and 20' driveways.

Site Lighting: Site lighting shall be a maximum of 20 feet tall, fully shielded, and compliant with the Night Sky Protection Act in accordance with section 14-16-5-8

GENERAL NOTES:

- EASEMENTS FOR UTILITY ALIGNMENTS WILL BE DEDICATED BY FUTURE PLATTING ACTION TO MUTUALLY BENEFIT ABUTTING PROPERTIES.
- TRACTS A, B, C AND D TO BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
- PRIVATE ACCESS ROADS ARE TO BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
- PERIMETER AND LOT FENCING SHALL BE 6'-0" SPLIT FACE CMU,
- EXISTING STRUCTURES ON SITE TO BE DEMOLISHED FOLLOWING APPROVAL OF THIS REQUEST AND SUBSEQUENT SUBDIVISION PLAT REQUEST.
- LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE AREA.
- ALL INTERNAL SIDEWALKS WILL BE 5' IN WIDTH.
- ALL DESIGN STANDARDS WILL BE MET IN ACCORDANCE WITH SECTION 14-16-5-11(C) LOW-DENSITY RESIDENTIAL DEVELOPMENT
- PARKING CALCULATIONS COMPLY WITH IDO TABLE 5-5-1

KEYED NOTES:

- DIVIDED ENTRY WITH 22' INGRESS AND EGRESS LANES.
- VEHICLE AND PEDESTRIAN GATE.
- PEDESTRIAN ACCESS GATE TO BE PROVIDED FOR ACCESS TO COMMERCIAL AREA.
- PROJECT MONUMENT SIGN WITHIN ENTRANCE MEDIAN, SEE LANDSCAPE PLAN FOR MONUMENT SIGN DIMENSIONS, COLORS AND DETAIL.
- HANDICAP RAMP LOCATIONS
- 6' TALL SPLIT FACE CMU PRIVACY WALL, SEE CONCEPTUAL GRADING AND DRAINAGE PLAN FOR WALL SECTIONS AND DETAILS
- 6' TALL SPLIT FACE CMU PRIVACY WALL W/REAR ACCESS GATE
- EXISTING SIDEWALK WIDTHS ON LA MIRADA PLACE
- 20' CONCRETE PAD FOR EMERGENCY ACCESS

PROJECT NUMBER: PR-2019-002309

Application Number: SI-2021-00370

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated May 20, 2021 and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
City Engineer/Hydrology	Date
Code Enforcement	Date
Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

Site Vicinity



ZONE ATLAS PAGE G-19-Z

Legend

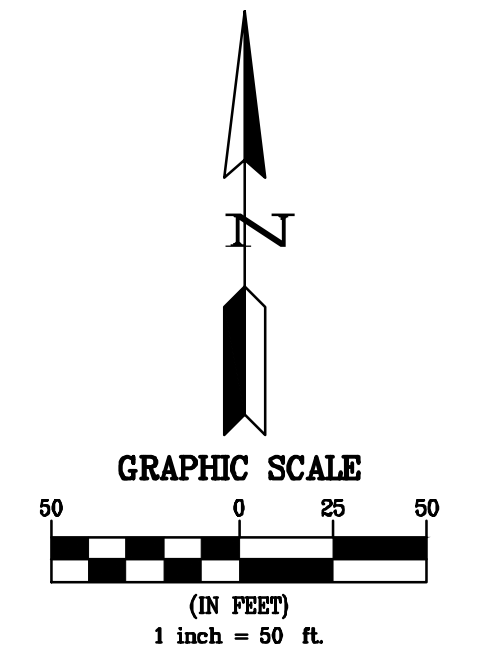
- TYPICAL MULTI-UNIT RESIDENTIAL BUILDING
HATCHED AREA DEPICTS BUILDING ENVELOPE ON INDIVIDUALLY OWNED LOT
- NOT A PART OF THE SITE DEVELOP PLAN
- EXISTING PROPERTY BOUNDARY
- SITE PLAN BOUNDARY
- ROADWAY CENTERLINE
- CURB AND GUTTER
- 20' TALL STREET LIGHT
EXACT LOCATIONS MAY VARY

EXISTING MULTI-FAMILY
R-MH ZONE
LOTS 1 AND 2
LA MIRADA AND VA

PARKING
 PARKING REQUIRED 132 SPACES (66 LOTS x 2 SPACES PER UNIT)
 PARKING PROVIDED 264 SPACES (2 IN GARAGE, 2 IN DRIVEWAY)

MONTGOMERY BLVD.
R/W VARIES; 106 MIN.

EXISTING TACO CABANA
MX-M ZONE
LOT 5A-1
LA MIRADA SUBDIVISION



FUTURE COMMERCIAL PAD SITES
NOT A PART OF THIS REQUEST
MX-M ZONE

WYOMING BLVD.
106' R/W

EXISTING BANK OF AMERICA
MX-L ZONE
TRACT A, REPLAT OF LOTS
7 AND 11 OF LA MIRADA
SUBDIVISION



TRACT B
STORM WATER
DETENTION
POND
0.379 ACRES

MX-T ZONE

LA MIRADA PL.
60' R/W

SITE DEVELOPMENT PLAN

LA MIRADA SQUARE
SITE DEVELOPMENT PLAN
ENVIRONMENTAL PLANNING COMMISSION

DATE: 3/9/2021

SHEET: S-1

MONTGOMERY BLVD.

FUTURE COMMERCIAL PAD SITES
NOT A PART OF THIS REQUEST
MX-M ZONE

LANDSCAPE CALCULATIONS

TOTAL AREA OF PROJECT	308,366 SF
LESS BUILDING	98,961 SF
NET LOT AREA	209,405 SF
REQUIRED LANDSCAPE AREA MINIMUM 15% OF NET LOT AREA	31,411 SF
ACTUAL LANDSCAPE AREA	51,278 SF
LANDSCAPE AREA REQUIREMENT EXCEEDED	19,867 SF
LANDSCAPE COVERAGE REQUIRED - 75%	23,559 SF
COVERAGE PROVIDED	100,571 SF
REQUIREMENT EXCEEDED	77,012 SF
REQUIRED 25% COVERAGE BY GROUND-LEVEL PLANTS	7,853 SF
ACTUAL COVERAGE BY GROUND-LEVEL PLANTS	7,900 SF
REQUIREMENT EXCEEDED	47 SF
SOD ALLOWED (10%)	3,141 SF
SOD ACTUAL	3,038 SF
STREET TREES REQUIRED (1 TREE PER 25 LF)	21 TREES
STREET TREES PROVIDED	21 TREES
DWELLING UNIT TREES REQUIRED (1 TREE PER 1ST STORY UNIT + 1 TREE PER 2ND STORY UNIT. 66 UNITS TOTAL)	66 TREES
PROVIDED	86 TREES (IN COMMON AREA)
	69 TREES (AT RESIDENTIAL UNITS)

PLANT SCHEDULE

DECIDUOUS TREES	QTY	BOTANICAL / COMMON NAME	SIZE	H X W
2	ACER NEGUNDO 'SENSATION' / SENSATION BOX ELDER MAPLE	2"	B&B	40' X 30'
2	CHLOPSIS LINEARIS 'ART'S SEEDLESS' / ART'S SEEDLESS DESERT WILLOW	24"	BOX	20' X 25'
2	COTINUS COGGYGRIA / SMOKE TREE	15	GAL	15' X 15'
4	FORESTIERA NEOMEXICANA / NEW MEXICAN PRIVET	24"	BOX	15' X 15'
1	GLEDITSIA TRIACANTHOS INERMIS / THORNLESS COMMON HONEYLOCUST	2"	B&B	50' X 45'
4	LAGERSTROEMIA INDICA / CRAPE MYRTLE	15	GAL	15' X 15'
3	POPULUS X ACUMINATA / LANCELEAF POPLAR	2"	B&B	50' X 50'
38	PYRUS CALLERYANA 'CLEVELAND SELECT' / CLEVELAND SELECT PEAR	2"	B&B	25' X 15'
2	QUERCUS MUEHLENBERGII / CHINKAPIN OAK	2"	B&B	40' X 40'
79	ULMUS PARVIFOLIA 'ALLEE' / ALLEE LACEBARK ELM	2"	B&B	40' X 40'
3	WITEX AGNUS-CASTUS / CHASTE TREE	24"	BOX	20' X 20'
7	PINUS CEMBORODES EDULIS / PINYON PINE	6"	B&B	30' X 20'
8	PINUS NIGRA / AUSTRIAN BLACK PINE	10"	B&B	20' X 10'
EVERGREEN TREES	QTY	BOTANICAL / COMMON NAME	SIZE	H X W
38	JUNPERUS SABINA 'BUFFALO' / BUFFALO JUNIPER	5	GAL	2' X 5'
36	POTENTILLA FRUTICOSA / BUSH CINQUEFOL	5	GAL	3' X 3'
SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	H X W
6	DASYLIRION TEXANUM / TEXAS SOTOL	5	GAL	5' X 5'
3	HESPERALOE PARVIFLORA / RED YUCCA	5	GAL	3' X 4'
3	NOLINA MICROCARPA / BEARGRASS	5	GAL	5' X 6'
7	YUCCA BACCATA / BANANA YUCCA	5	GAL	4' X 5'
DESERT ACCENTS	QTY	BOTANICAL / COMMON NAME	SIZE	H X W
15	NEPETA X FAASSENI 'SELECT BLUE' / CATMINT	1	GAL	1' X 2'
2	PENSTEMON PALMERI / PALMER'S PENSTEMON	5	GAL	4' X 2'
GRASSES	QTY	BOTANICAL / COMMON NAME	SIZE	H X W
34	BOUTELOUA GRACILIS 'BLONDE AMBITION' / BLONDE AMBITION BLUE GRAMA	1	GAL	3' X 3'
31	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS	1	GAL	30" X 2'
17	HELICTOTRICHON SEMPERVIRENS / BLUE OAT GRASS	1	GAL	2' X 2'
44	MUEHLENBERGIA CAPILLARIS 'REGAL MIST' TM / MUHLY	1	GAL	3' X 3'
DECIDUOUS SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	H X W
8	BUTDLLEJA DAVIDI / BUTTERFLY BUSH	5	GAL	4' X 4'
36	CARYOPTERIS X CLANDONENSIS 'DARK KNIGHT' / BLUE MIST SPIREA	1	GAL	3' X 3'
9	EUONYMUS ALATUS 'COMPACTUS' / COMPACT BURNING BUSH	5	GAL	6' X 6'
11	LAVANDULA ANGUSTIFOLIA / ENGLISH LAVENDER	1	GAL	3' X 3'
30	RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC	5	GAL	4' X 4'
16	ROSA X 'NOCKOUT' TM / ROSE	5	GAL	6' X 5'
30	SALVIA GREGGII / AUTUMN SAGE CHERRY	1	GAL	2' X 3'
EVERGREEN SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	H X W
22	CERCOCARPUS INTRICATUS / LITTLE LEAF MOUNTAIN MAHOGONY	5	GAL	6' X 6'
3	CERCOCARPUS LEDIFOLIUS / CURL-LEAF MOUNTAIN MAHOGONY	5	GAL	15' X 15'
11	COTONEASTER PARNEYI / COTONEASTER	5	GAL	10' X 15'
36	ERICAMERIA LARICIFOLIA / TURPENTINE BUSH	5	GAL	3' X 4'
12	FALLUGIA PARADOXA / APACHE PLUME	5	GAL	6' X 7'
17	RHAPHOLEPIS INDICA / INDIAN HAWTHORN	5	GAL	3' X 4'

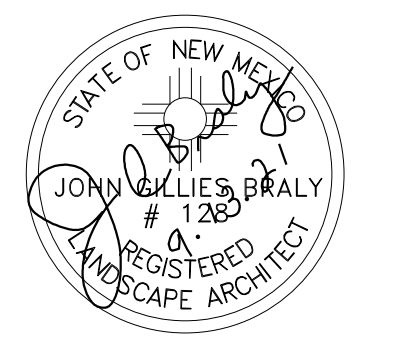
REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION	QTY
●	BOULDER	11
—	BENCH	4
SYMBOL	DESCRIPTION	QTY
■	MOUNTAINAIR BROWN 7/8" GRAVEL	20,305 SF
■	LUCY ROSE 1" GRAVEL	2,382 SF
■	2-4" WALLIN COBBLE	5,200 SF
■	TURF GRASS	3,038 SF
■	1" WALLIN	15,583 SF
■	NATIVE SEED	4,770 SF

GENERAL LANDSCAPE NOTES

- CONTRACTOR TO VERIFY EXISTING UTILITY LOCATIONS BEFORE EXCAVATION AND PLANTING.
- RESPONSIBILITY FOR MAINTENANCE: THE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTENANCE OF THE LANDSCAPE DURING CONSTRUCTION AND DURING A 90 DAY-MAINTENANCE PERIOD FOLLOWING SUBSTANTIAL COMPLETION. THE OWNER WILL BE RESPONSIBLE FOR MAINTENANCE FOLLOWING THE 90-DAY MAINTENANCE PERIOD.
- THE PROPERTY OWNER SHALL MAINTAIN RIGHT-OF-WAY (ROW) LANDSCAPING IN A NEAT AND HEALTHY CONDITION.
- STATEMENT OF COMPLIANCE WITH CITY OF ALBUQUERQUE: THE LANDSCAPING SHALL COMPLY WITH THE CITY OF ALBUQUERQUE INTEGRATED DEVELOPMENT ORDINANCE (IDO) INCLUDING, BUT NOT LIMITED TO, GENERAL LANDSCAPING REGULATIONS, WATER CONSERVATION LANDSCAPING AND WATER WASTE REGULATIONS, POLLEN-RELATED REGULATIONS, MINIMUM VEGETATIVE COVERAGE REQUIREMENTS AND STREET TREE REGULATIONS.
- TIMING OF LANDSCAPE INSTALLATION: INSTALLATION OF THE LANDSCAPING SHALL BE COMPLETE WITHIN 60 DAYS OF THE RELATED BUILDING'S OCCUPANCY.
- SURFACE TREATMENT: LANDSCAPE AREAS SHALL BE COVERED WITH MULCH.
- LANDSCAPE, FENCING, AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS, THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3' AND 8' (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.
- LANDSCAPING WILL BE WATERED WITH AN AUTOMATED IRRIGATION SYSTEM THAT INCLUDES DRIP ZONES FOR LANDSCAPING.
- MINIMUM PLANT SIZES ARE AS PER CITY OF ALBUQUERQUE STANDARDS.
- CALIPER TREES, 6" HEIGHT CONIFERS, AND 1 GALLON SHRUBS AREAS DISTURBED DURING CONSTRUCTION, INCLUDING AREAS NOT WITHIN THE PROPERTY LINE, WILL BE STABILIZED.
- ROOF DRAINS: SURFACE DRAINAGE OFF DOWNSPOUTS SHALL BE DIRECTED AWAY FROM BUILDINGS INTO LANDSCAPE AREAS OR ENGINEERED DRAINAGE SYSTEMS, REFER TO CIVIL.
- VEGETATIVE SCREENING SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS SHALL ALLOW 10' OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5' OF CLEARANCE ON THE REMAINING SIDES FOR SAFE OPERATION AND MAINTENANCE.
- NEW PLANTINGS DO NOT INCLUDE HIGH WATER TURF.
- ORGANIC BARK MULCH IS PROVIDED AT EACH TREE FROM ROOT BALL EXTENDING OUT TO DRIPLINE PER CITY OF ALBUQUERQUE IDO 14-16-5-6(C)(5)(b).
- WHERE MULCH IS ADJACENT TO CONCRETE OR ASPHALT, FINISH GRADE OF MULCH SHALL 1/2" BELOW TOP OF CONCRETE, UNLESS OTHERWISE INDICATED.
- PLANT MATERIAL SHALL BE FREE OF DISEASE AND INSECTS AND SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI) OF THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
- ALL LANDSCAPING CONTIGUOUS TO INDIGENOUS AREAS TO BE PLANTED WITH INDIGENOUS TREES AND SHRUBS.
- BENCH TO BE INSTALLED ON CONCRETE PAD.

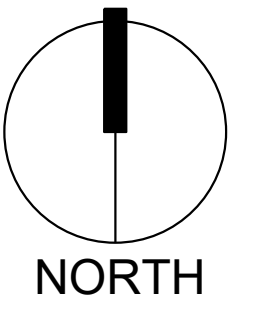
YELLOWSTONE LANDSCAPE
www.yellowstonelandscape.com
PO Box 10597
Albuquerque, NM 87184
505.898.9615
design@yellowstonelandscape.com



Date: 3/4/2021
Revisions:
▲ 3/8/2021
▲ 3/9/2021
▲ 3/11/2021
▲ 9/13/2021

Drawn by: PL
Reviewed by: JB

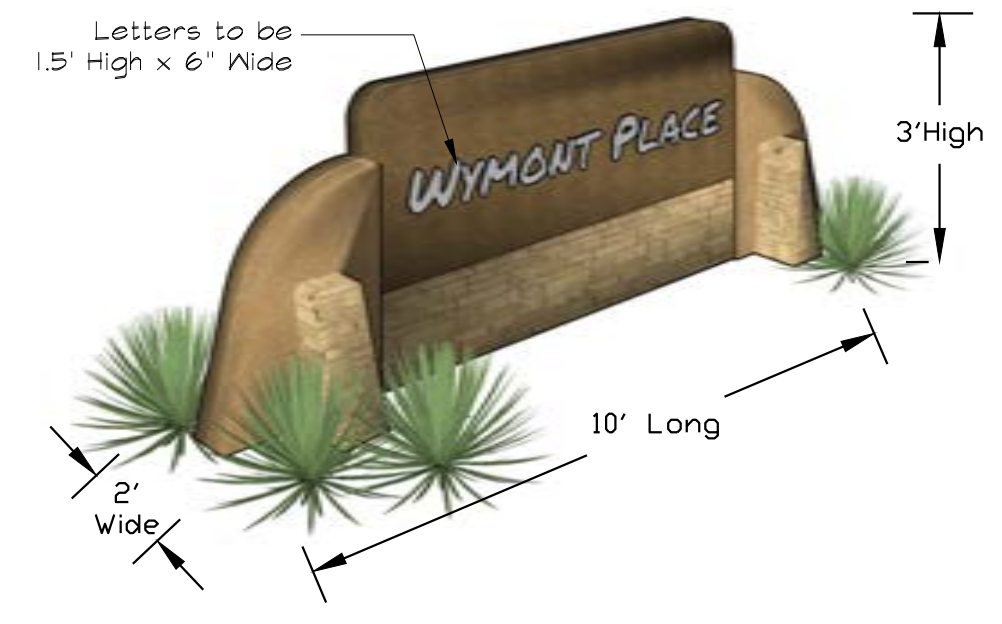
Wymont Place
La Mirada PL.
Albuquerque, New Mexico



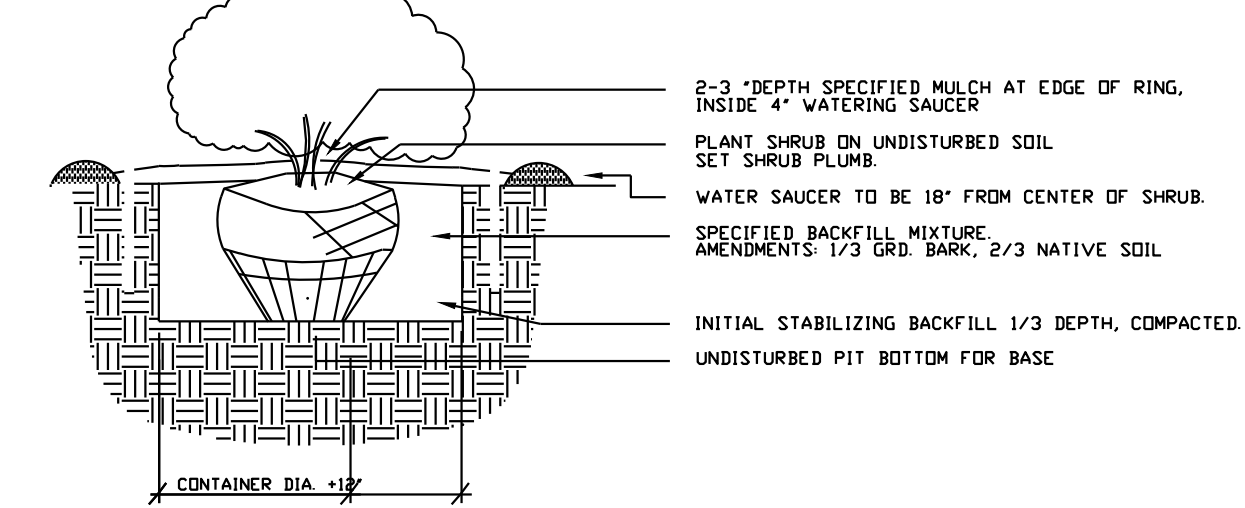
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Landscape Plan

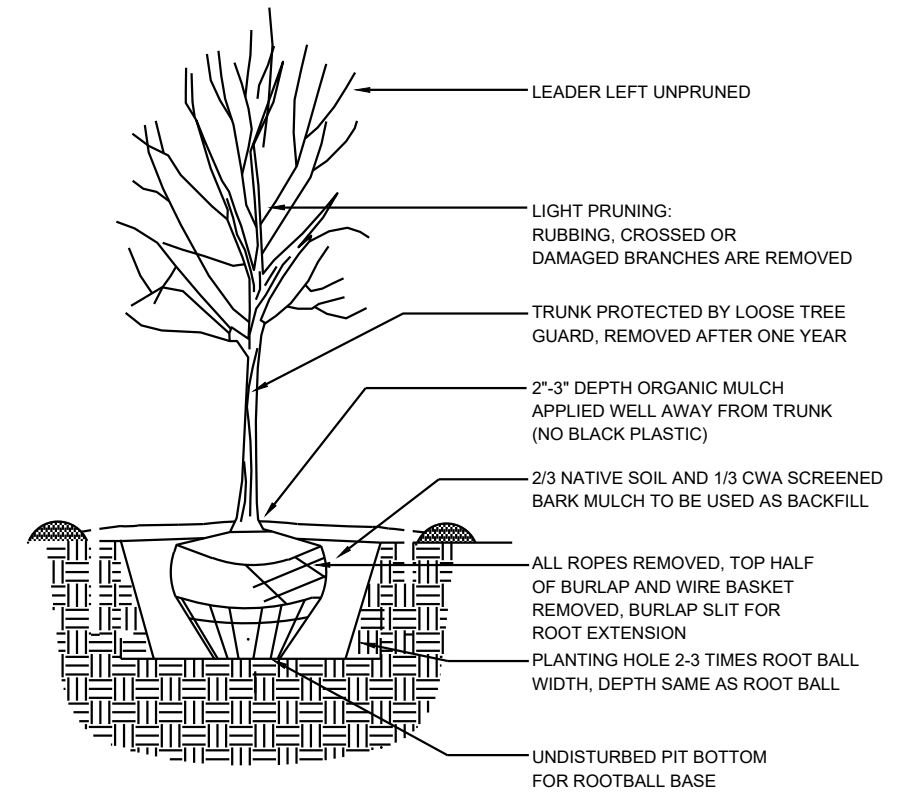
Sheet Number:
LS-01



MONUMENT SIGN
The monument sign to be constructed of CMU block with a stucco finish. The stucco color to be a brown earth tone with a faux ledgestone accent. The letters to be constructed of metal.



SHRUB PLANTING DETAIL

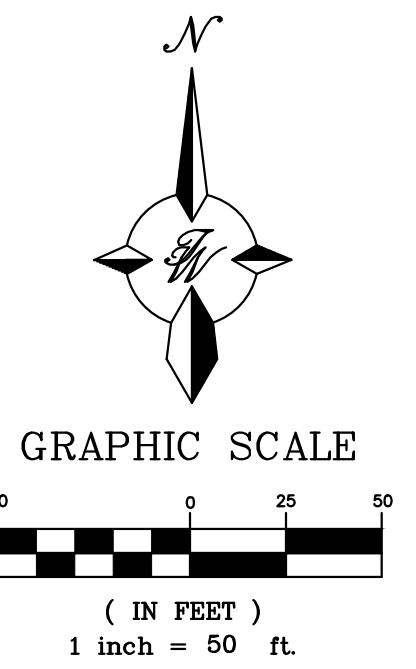
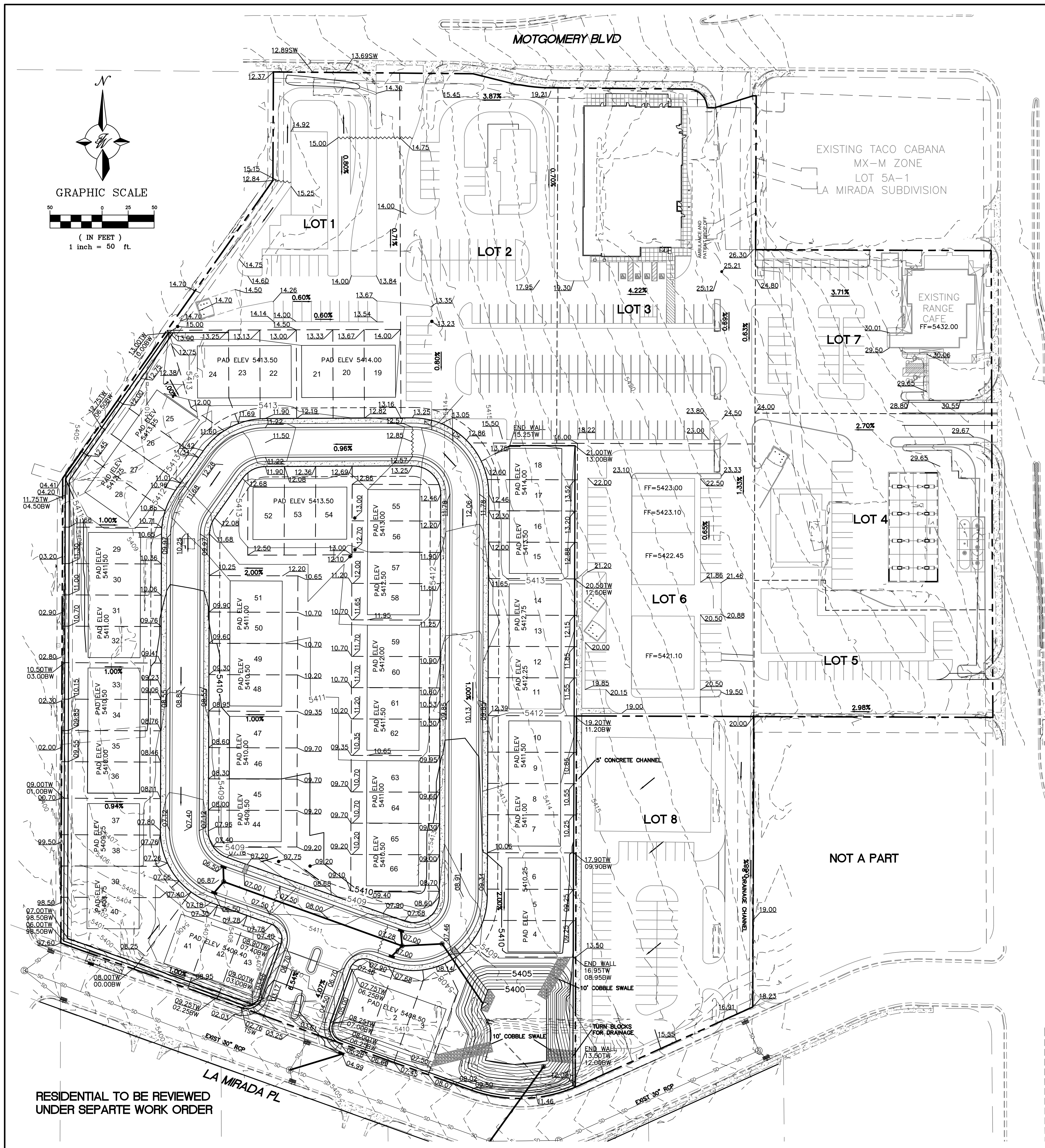


TREE PLANTING DETAIL

LANDSCAPE IN FRONT OF RESIDENTIAL UNITS WILL BE INSTALLED WITH THE CONSTRUCTION OF THE HOUSE

WITH THE PLACEMENT OF A DRIVE PAD, THE LOCATION AND NUMBER OF PLANTS IDENTIFIED MAY CHANGE

CLEAR SIGHT TRIANGLE NOTE: LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.



- LEGEND**
- CURB & GUTTER
 - - - BOUNDARY LINE
 - ▭ BUILDING
 - - - PROPERTY LINE
 - - - EXISTING CURB & GUTTER
 - PROPOSED HYDRANT
 - NEW SD MH
 - ▭ NEW CUR INLET TYPE 'C'
 - EXISTING SAS MH
 - EXISTING GATE VALVE
 - - - EXISTING WATERLINE
 - - - EXISTING SAS
 - - - RETAINING WALL
 - ▭ WATER BLOCK

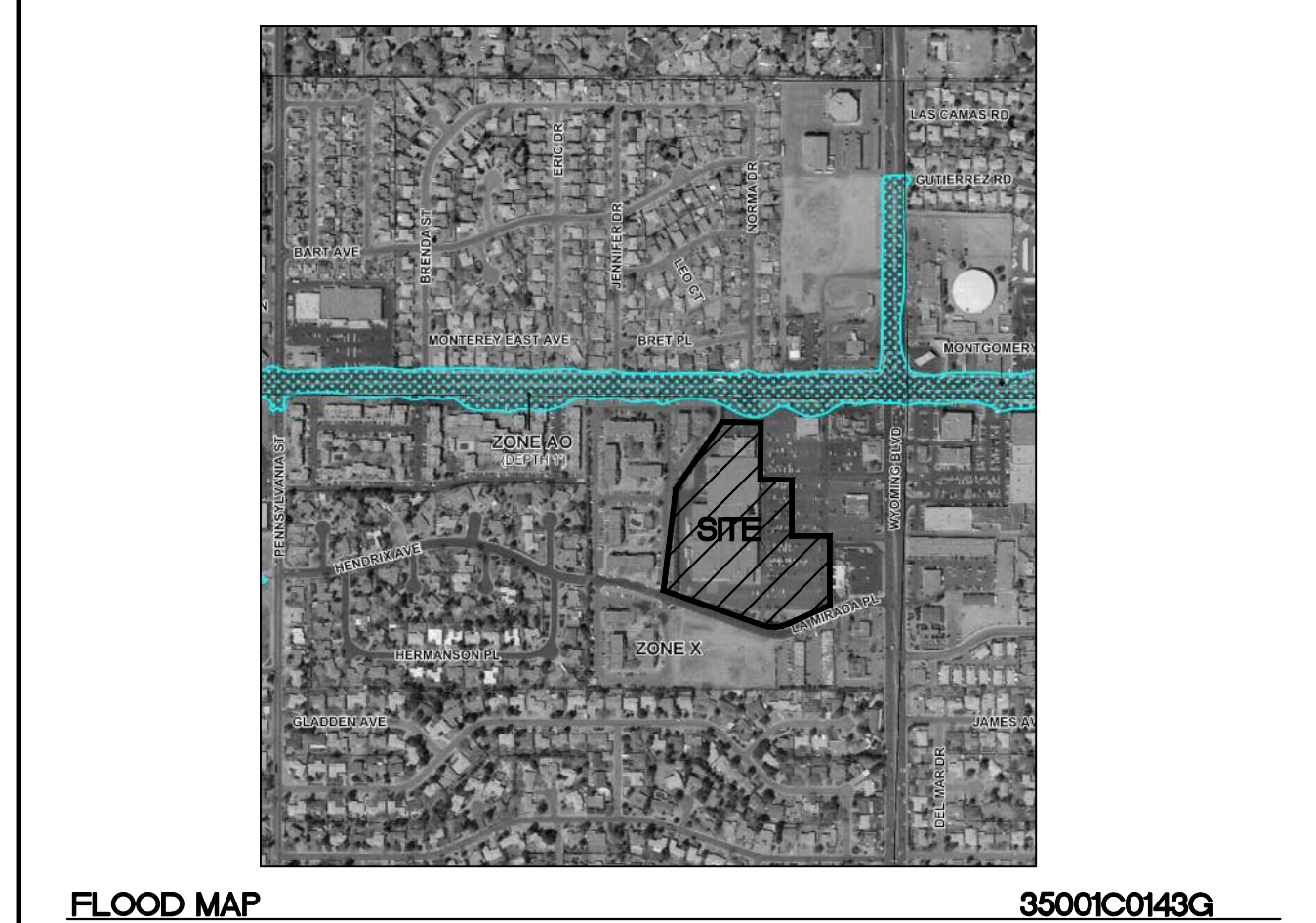
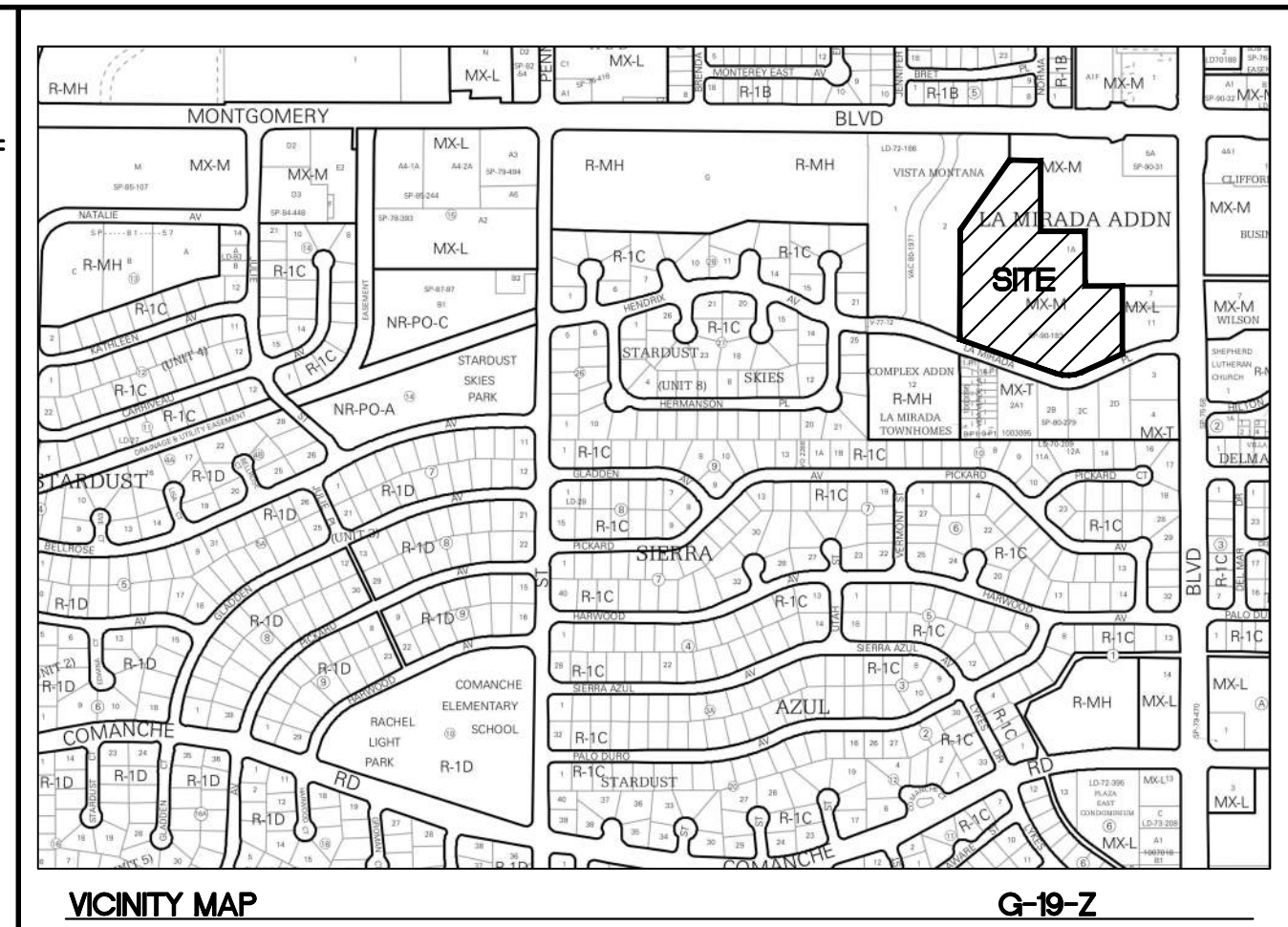
- NOTICE TO CONTRACTORS**
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
 2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HERON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
 3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 785-1234, FOR LOCATION OF EXISTING UTILITIES.
 4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
 5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
 6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
 7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

- EROSION CONTROL NOTES:**
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
 2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
 3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
 4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
 5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.
 6. ALL SLOPES NOT STABILIZED AT THE END OF THE PROJECT SHALL BE STABILIZED IN ACCORDANCE WITH COA SPECS OR 3" GRAVEL.

NOTE - ADD 5400 TO ALL ELEVATIONS

NOT FOR CONSTRUCTION

CAUTION
 ALL EXISTING UTILITIES WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS. PRIOR TO STARTING THE WORK, ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



Channel Capacity

Weir Equation:
 $Q = CLH^{3/2}$
 Q = Flow
 C = 2.95
 L = Length of weir
 H = Height of Weir

Off Site Curb Opening
 $Q = 2.95 * 20 * 0.50^{3/2}$
 $Q = 20.86 \text{ cfs} < Q = 13.39 \text{ cfs}$

Pond Concrete Channel
 $Q = 2.95 * 6 * 0.50^{3/2}$
 $Q = 6.26 \text{ cfs}$

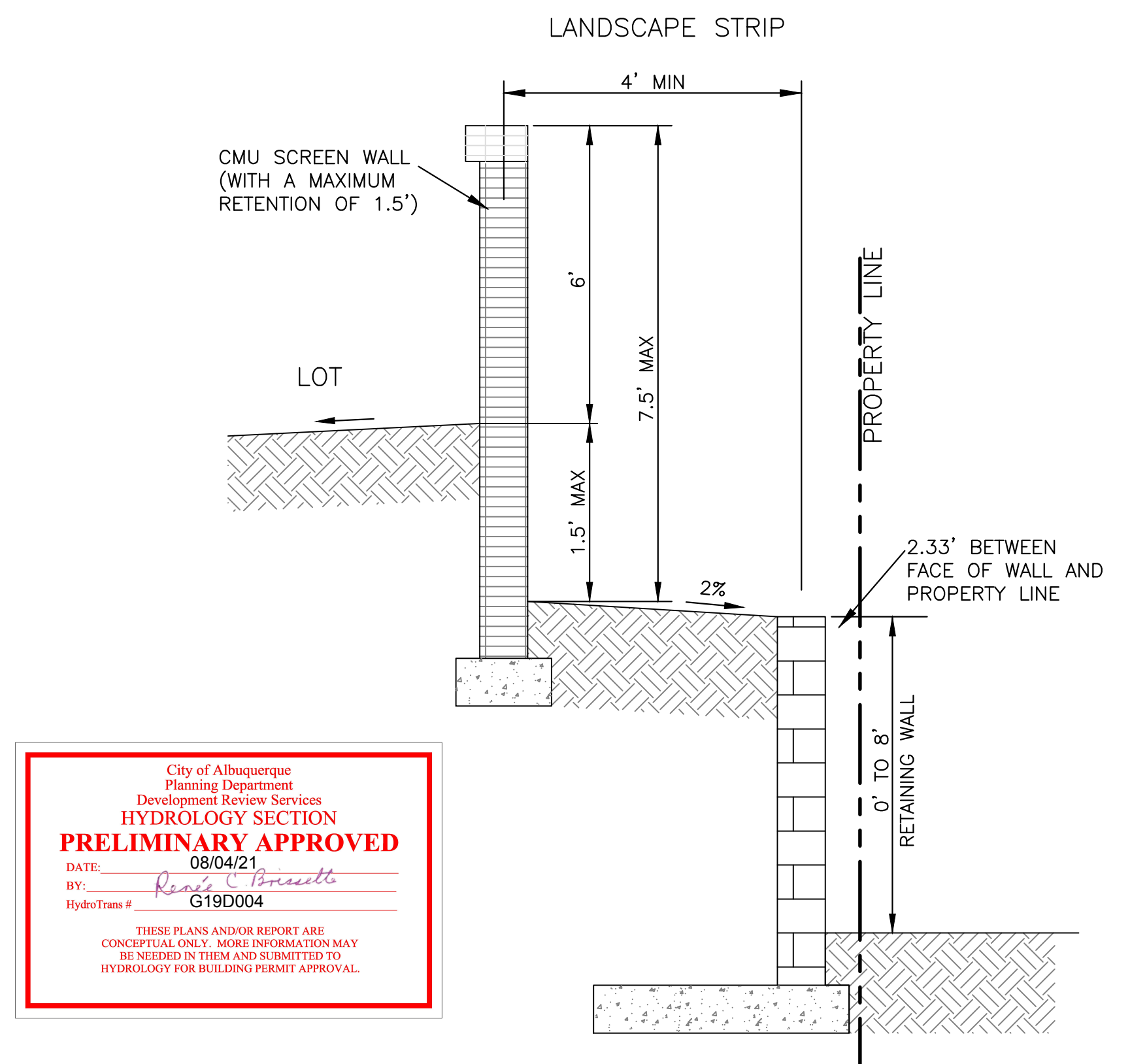
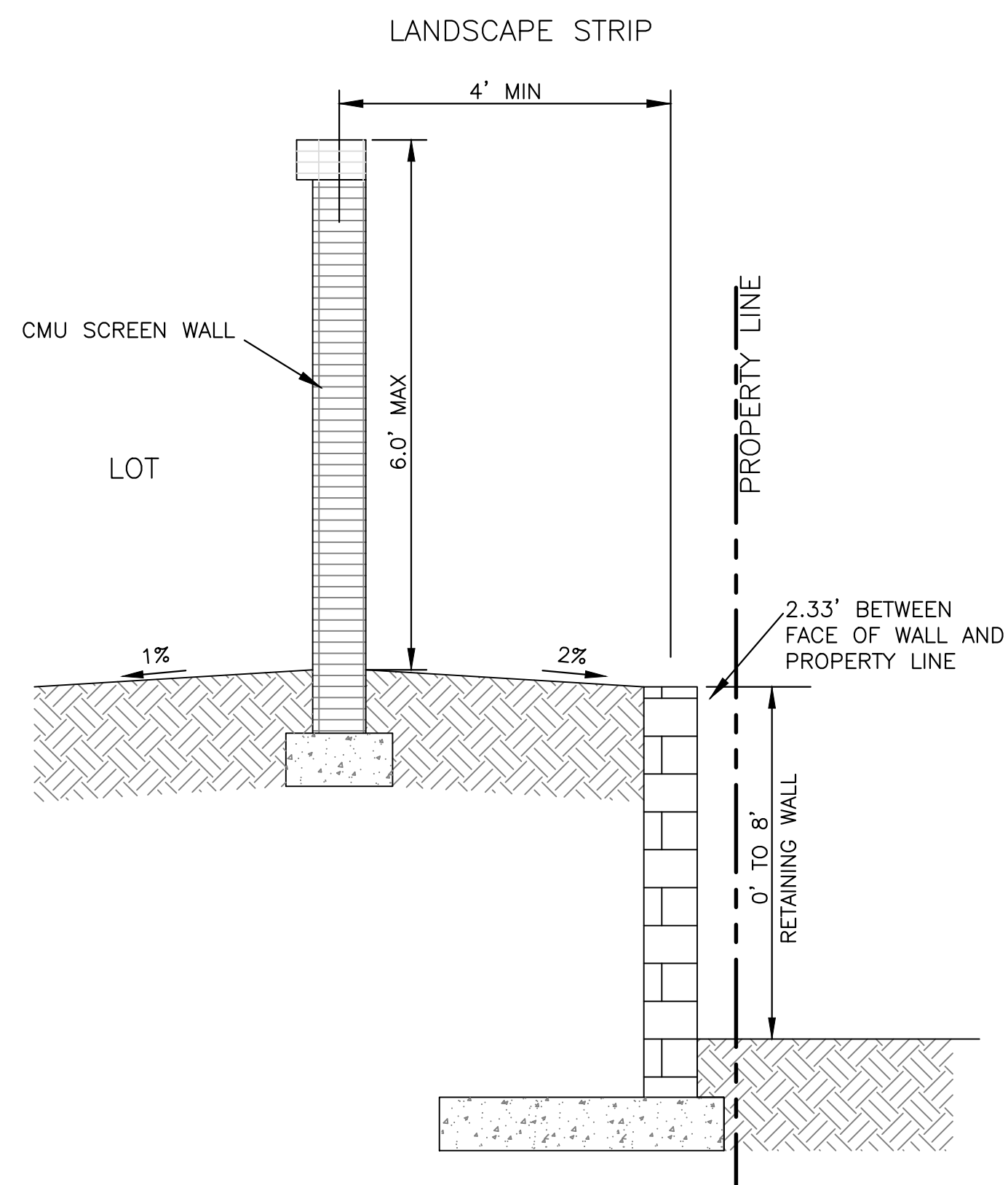
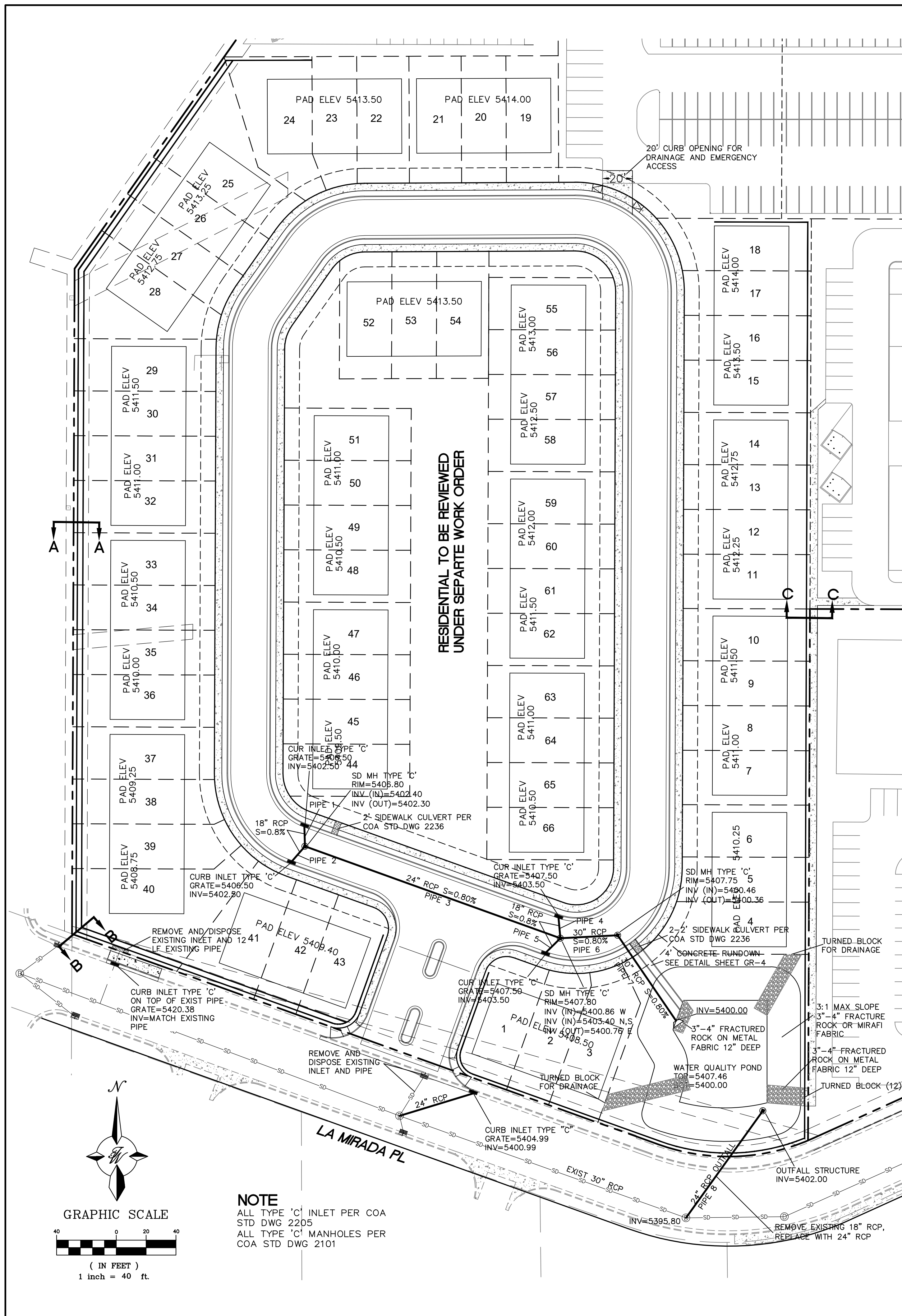
Park Curb Opening
 $Q = 2.95 * 2 * 0.50^{3/2}$
 $Q = 2.09 \text{ cfs} < Q = 1.55 \text{ cfs}$

Detention Pond Opening
 $Q = 2.95 * 14 * 0.67^{3/2}$
 $Q = 22.66 \text{ cfs} < Q = 22.66 \text{ cfs}$

City of Albuquerque
 Planning Department
 Development Review Services
HYDROLOGY SECTION
PRELIMINARY APPROVED
 DATE: 08/04/21
 BY: *Renee C. Brantley*
 HydroTrans # G19D004

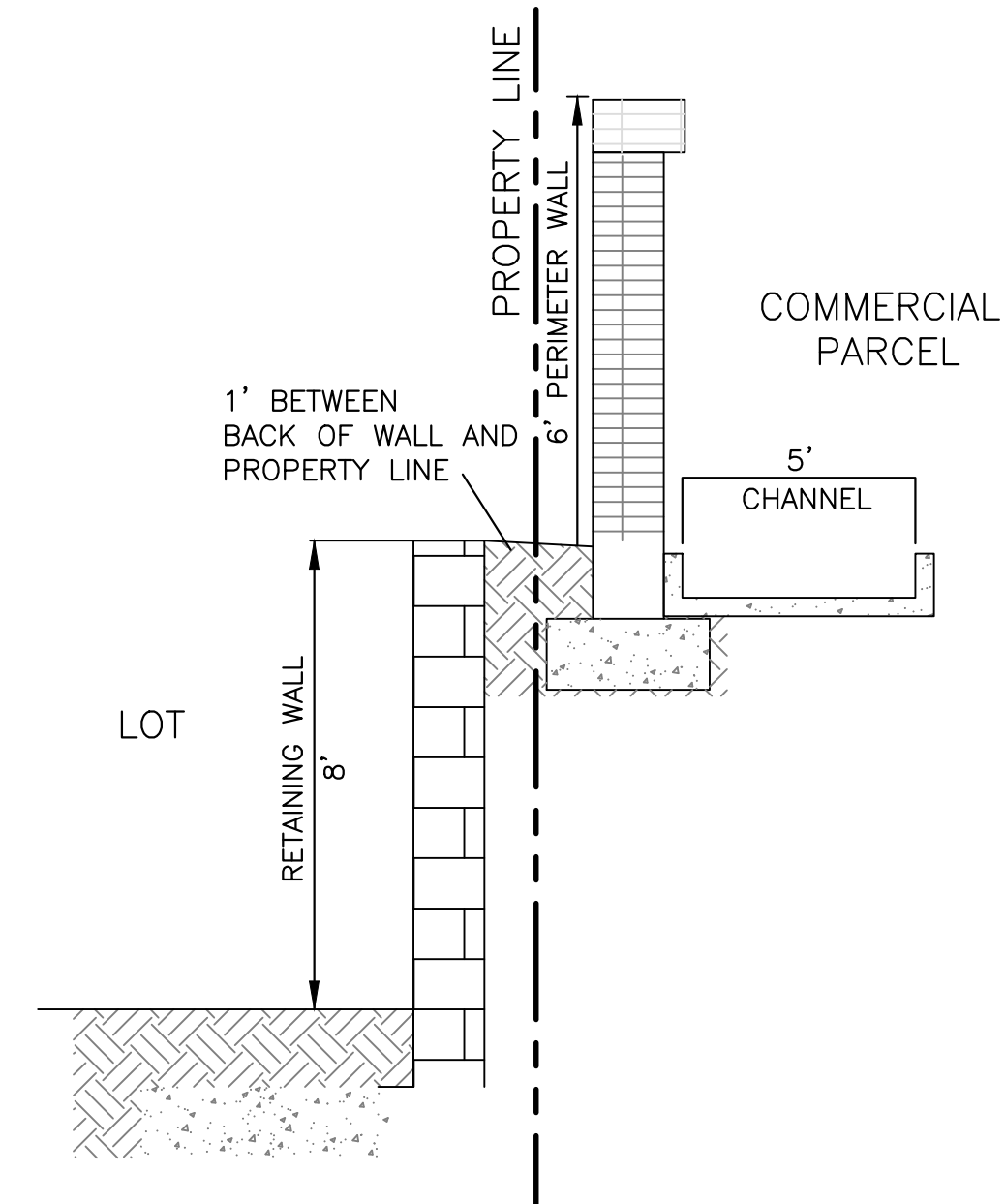
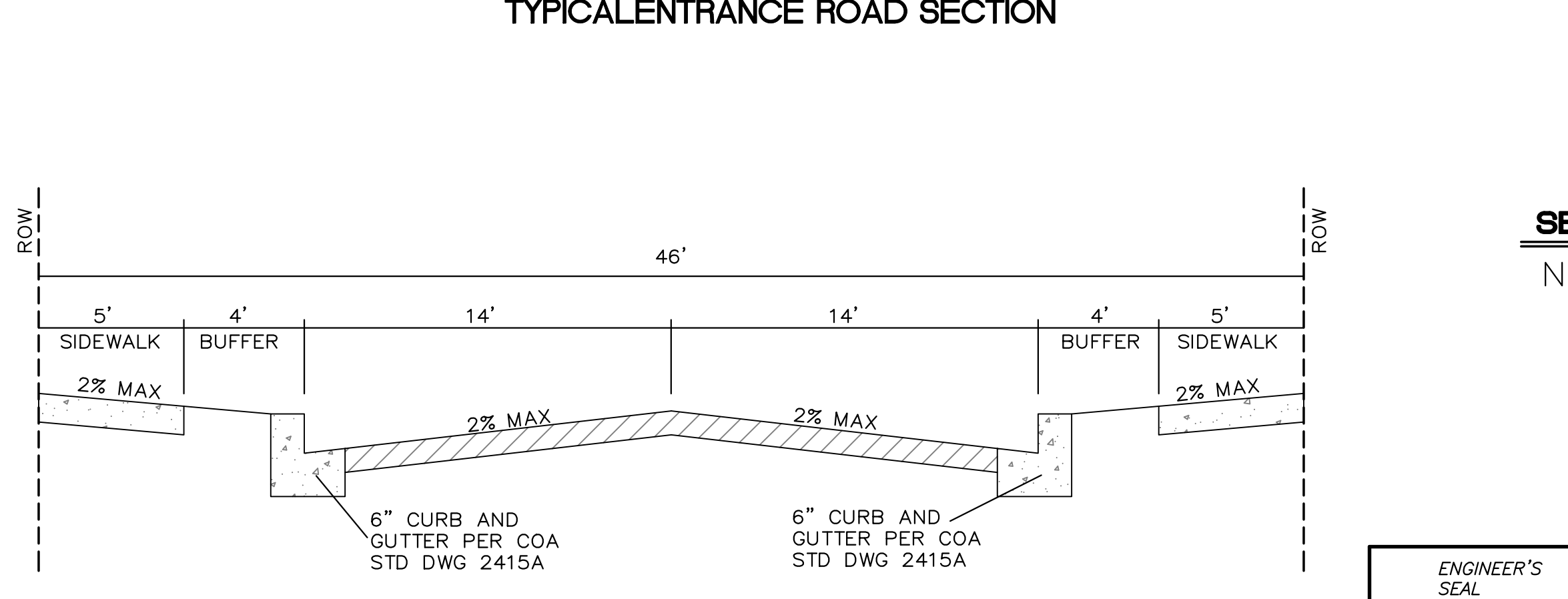
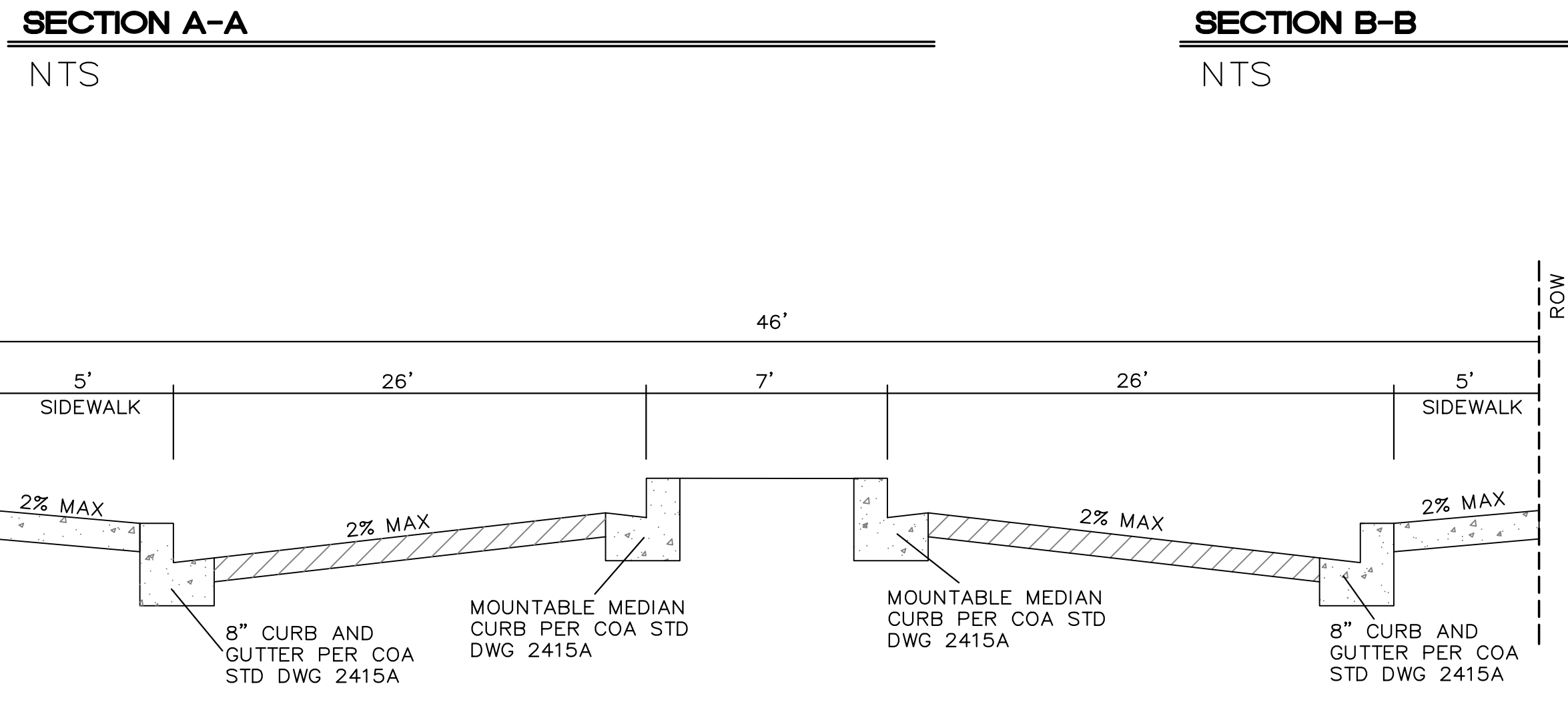
RESIDENTIAL TO BE REVIEWED UNDER SEPARTE WORK ORDER

ENGINEER'S SEAL NOT FOR CONSTRUCTION RONALD R. BOHANNAN P.E. #7868	THE WYMONT ALBUQUERQUE, NM	DRAWN BY pm
	CONCEPTUAL GRADING AND DRAINAGE PLAN	DATE 8-4-21
	TERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	DRAWING
		SHEET # GR-1
		JOB # 2021008



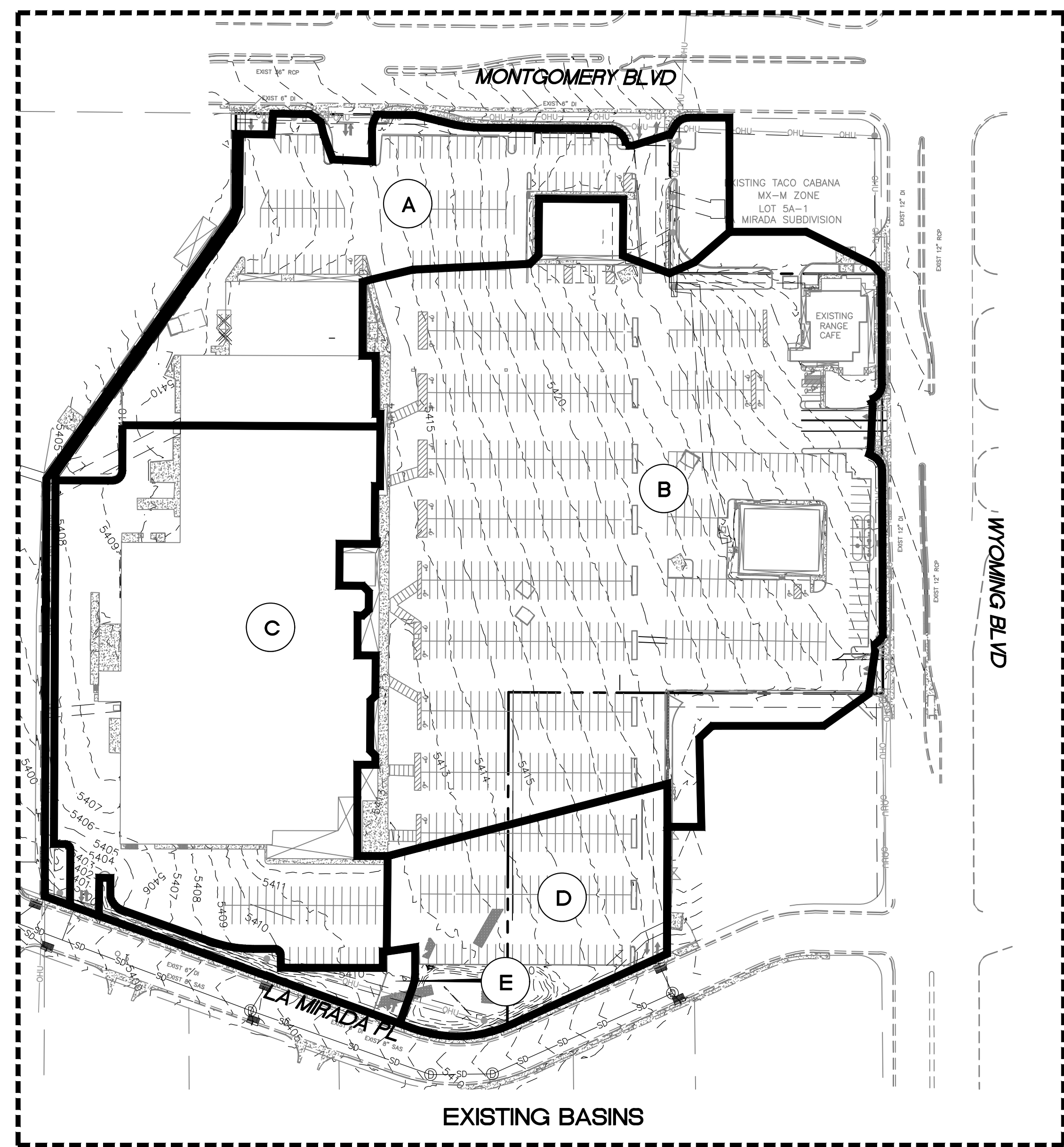
City of Albuquerque
 Planning Department
 Development Review Services
HYDROLOGY SECTION
PRELIMINARY APPROVED
 DATE: 08/04/21
 BY: *Ronald R. Bohannan*
 HydroTrans # G19D004

THESE PLANS AND/OR REPORT ARE CONCEPTUAL ONLY. MORE INFORMATION MAY BE NEEDED IN THEM AND SUBMITTED TO HYDROLOGY FOR BUILDING PERMIT APPROVAL.

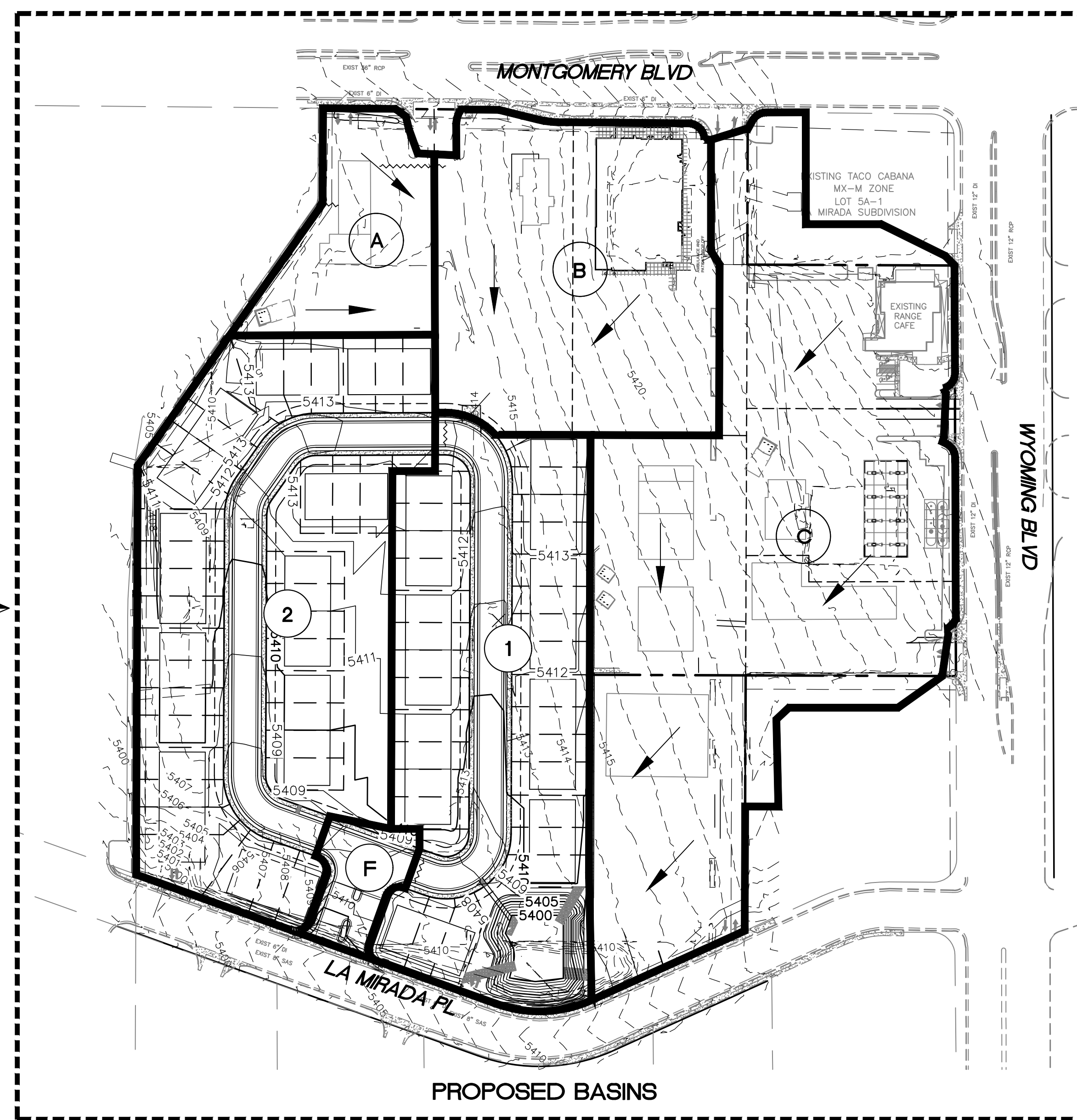


NOT FOR CONSTRUCTION

NOT FOR CONSTRUCTION	ENGINEER'S SEAL RONALD R. BOHANNAN P.E. #7868	THE WYMONT ALBUQUERQUE, NM CONCEPTUAL GRADING AND DRAINAGE PLAN	DRAWN BY pm DATE 8-4-21 DRAWING
	8-4-21	<i>TIERRA WEST, LLC</i> 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # GR-2
	JOB # 2021008		



EXISTING BASINS



PROPOSED BASINS

EXISTING DRAINAGE:

THIS SITE IS CURRENTLY VACANT SHOPPING CENTER AND IS LOCATED ON THE SOUTHWEST CORNER OF WYOMING BOULEVARD AND MONTGOMERY BOULEVARD. THE SITE IS BOUNDED BY ROADS ON THE NORTH, SOUTH AND EAST SIDE AND A MULTIFAMILY DEVELOPMENT ON THE WEST SIDE AND CONTAINS APPROXIMATELY 15.69 ACRES. THE SITE DRAINS FROM EAST TO WEST WITH MOST OF IT DRAINING ONTO AN EXISTING DETENTION POND. THE REMAINDER OF THE SITE DRAINS INTO AN EXISTING DROP INLET LOCATED AT THE SOUTHWEST ENTRANCE. ACCORDING TO AN APPROVED GRADING AND DRAINAGE PLAN (G-19/D4) COMPLETED BY JEFF MORTENSEN AND ASSOCIATES THE EXISTING POND MAY BE ELIMINATED AND ALL FLOW DISCHARGED TO THE EXISTING STORM SEWER IN HENDRIX AVENUE. THOSE IMPROVEMENTS WERE NEVER COMPLETED AND THE POND HAS REMAINED IN PLACE. BASED ON THE REVISED DRAINAGE VALUES IN THE CURRENT DPM THE TOTAL FLOW DISCHARGED FROM THIS SITE IS 68.15 CFS. THE SITE IS NOT LOCATED WITHIN A FLOOD PLAIN AS SHOWN ON THE FIRM MAP. THERE ARE NOT OFFSITE FLOWS THAT ENTER THE SITE.

PROPOSED DRAINAGE:

THE SITE IS BEING SUBDIVIDED INTO A COMMERCIAL CENTER AND A RESIDENTIAL NEIGHBORHOOD. EACH AREA IS DIVIDED INTO THREE BASINS. BASINS "A" AND "B" WILL DRAIN THROUGH THE RESIDENTIAL SUBDIVISION THROUGH AN EMERGENCY ACCESS LOCATED AT THE NORTHEAST CORNER OF THE RESIDENTIAL AREA. BASIN "C" WILL DRAIN TO A PROPOSED DRAINAGE CHANNEL LOCATED ON THE WEST SIDE OF THE RESIDENTIAL AREA. ALL FLOWS FROM THE COMMERCIAL CENTER WILL BE CONVEYED TO A WATER QUALITY POND LOCATED AT THE SOUTHEAST CORNER OF THE RESIDENTIAL AREA. TOTAL OFF-SITE FLOWS PASSING THROUGH THE RESIDENTIAL AREA IS 30.88 CFS. EACH OF THE COMMERCIAL PARCELS WILL BE REQUIRED TO SUBMIT A GRADING PLAN FOR BUILDING PERMIT THAT FOLLOWS THIS OVERALL DRAINAGE SCHEME.

THE RESIDENTIAL SUBDIVISION WILL ALSO DRAIN TO THE WATER QUALITY POND VIA SURFACE FLOWS AND VIA A STORM SEWER. A SMALL AREA, SHOWN AS BASIN 3 WILL DRAIN DIRECTLY TO HENDRIX AVENUE. DUE TO THE GRADES BETWEEN HENDRIX AVENUE AND THE SUBDIVISION THERE IS NO WAY TO CAPTURE THIS FLOW AND IT BASICALLY FOLLOWS THE SAME DRAINAGE PATTERN AS IT CURRENTLY DOES. THIS FLOW (1.16 CFS) IS CAPTURED IN EXISTING DROP INLETS IN HENDRIX AVENUE.

THE WATER QUALITY POND IS SIZED TO CONTAIN THE REQUIRED VOLUME FROM THE COMMERCIAL BASINS AS WELL AS THE RESIDENTIAL BASINS. BASED ON CURRENT REQUIREMENTS THE POND WILL RETAIN A VOLUME OF 0.28 AC-FT. AN OUTLET WILL BE PROVIDED IN THE POND AND CONNECTED TO THE EXISTING STORM SEWER IN HENDRIX AVENUE.

THE TOTAL FLOW DISCHARGED TO THE HENDRIX AVENUE STORM SEWER WILL BE 58.75 CFS WHICH IS 9.40 CFS LESS THAN WHAT IS CURRENTLY DISCHARGED TO THAT SYSTEM.

Weighted E Method

Existing Basins																
Basin	Area (sf)	Area (acres)	Treatment A		Treatment B		Treatment C		Treatment D		100-Year			10-Year		
			%	(acres)	%	(acres)	%	(acres)	%	(acres)	Weighted E (in)	Volume (ac-ft)	Flow cfs	Weighted E (in)	Volume (ac-ft)	Flow cfs
A	114,831	2.64	0%	0	7%	0.18	0%	0.00	93%	2.45	2.460	0.540	11.47	1.549	0.340	7.09
B	314,923	7.23	0%	0	5%	0.36	0%	0.00	95%	6.87	2.494	1.503	31.74	1.575	0.949	19.69
C	178,480	4.10	0%	0	0%	0.00	0%	0.00	100%	4.10	2.580	0.881	18.40	1.640	0.560	11.51
D	57,852	1.33	0%	0	21%	0.28	0%	0.00	79%	1.05	2.219	0.246	5.41	1.367	0.151	3.25
E	9,747	0.22	0%	0	0%	0.00	100%	0.22	0%	0.00	1.090	0.020	0.71	0.520	0.010	0.38
F	7,497	0.17	0%	0	100%	0.17	0%	0.00	0%	0.00	0.860	0.012	0.43	0.340	0.005	0.18
		15.69									3.202	0.860	68.15			

Proposed Basins																
Basin	Area (sf)	Area (acres)	Treatment A		Treatment B		Treatment C		Treatment D		100-Year			10-Year		
			%	(acres)	%	(acres)	%	(acres)	%	(acres)	Weighted E (in)	Volume (ac-ft)	Flow cfs	Weighted E (in)	Volume (ac-ft)	Flow cfs
OF-1	36,043	0.83	0%	0	15%	0.12	0%	0.00	85%	0.70	2.322	0.160	3.47	1.445	0.100	2.11
OF-2	103,118	2.37	0%	0	15%	0.36	0%	0.00	85%	2.01	2.322	0.458	9.92	1.445	0.285	6.03
OF-3	235,576	5.41	0%	0	15%	0.81	0%	0.00	85%	4.60	2.322	1.046	22.66	1.445	0.651	13.79
1	124,083	2.85	0%	0	60%	1.71	0%	0.00	40%	1.14	1.548	0.367	9.37	0.860	0.204	5.03
2	172,427	3.96	0%	0	57%	2.26	0%	0.00	43%	1.70	1.600	0.528	13.26	0.899	0.297	7.20
Park	27,059	0.62	0%	0	100%	0.62	0%	0.00	0%	0.00	0.860	0.045	1.55	0.340	0.018	0.66
3	11,833	0.27	0%	0	10%	0.03	0%	0.00	90%	0.24	2.408	0.055	1.17	1.510	0.034	0.72
		15.68									10.40	2.614	59.84			

Equations:

Weighted E = $E_a \cdot A_a + E_b \cdot A_b + E_c \cdot A_c + E_d \cdot A_d$ / (Total Area)

Volume = Weighted E * Total Area

Flow = $Q_a \cdot A_a + Q_b \cdot A_b + Q_c \cdot A_c + Q_d \cdot A_d$

Water Quality Calculation: $0.26'' \times 10.40 \text{ ac} = 9,816 \text{ cubic feet (0.225 ac-ft)}$

Excess Precipitation, E (inches)			Peak Discharge (cfs/acre)		
Zone 3	100-Year	10-Year	Zone 3	100-Year	10-Year
E_a	0.67	0.18	Q_a	1.84	0.51
E_b	0.86	0.34	Q_b	2.49	1.07
E_c	1.09	0.52	Q_c	3.17	1.69
E_d	2.58	1.64	Q_d	4.49	2.81

Pipe Capacity

Pipe	D (in)	Slope (%)	Area (ft ²)	R	Q Provided (cfs)	Q Required (cfs)	Velocity (ft/s)
1	18	0.80	1.77	0.375	9.42	6.63	3.75
2	18	0.80	1.77	0.375	9.42	6.63	3.75
3	24	0.80	3.14	0.500	20.29	13.26	4.22
4	18	0.80	1.77	0.375	9.42	8.25	4.67
5	18	0.80	1.77	0.375	9.42	8.25	4.67
6	30	0.80	4.91	0.625	36.79	29.76	6.06
7	30	0.70	4.91	0.625	34.41	29.76	6.06
8	24	7.00	3.14	0.500	60.01	59.85	19.05

Manning's Equation:

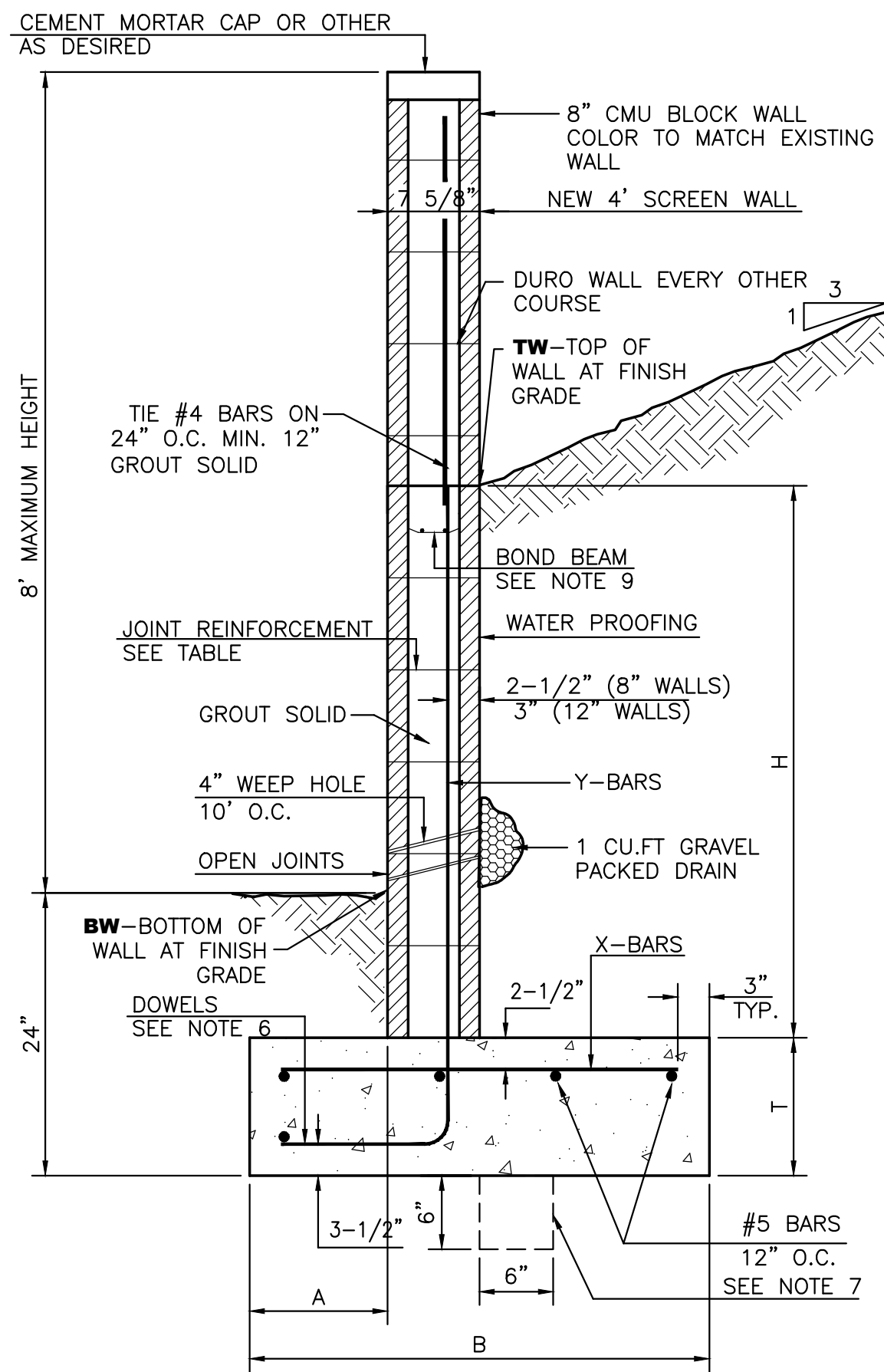
$Q = 1.49/n \cdot A \cdot R^{2/3} \cdot S^{1/2}$

- A = Area
- R = D/4
- S = Slope
- n = 0.013

NOT FOR CONSTRUCTION



<p>ENGINEER'S SEAL</p> <p>NOT FOR CONSTRUCTION</p> <p>RONALD R. BOHANNAN P.E. #7868</p>	<p>THE WYMONT ALBUQUERQUE, NM</p>	<p>DRAWN BY pm</p>
	<p>CONCEPTUAL GRADING AND DRAINAGE PLAN</p>	<p>DATE 8-4-21</p>
	<p>TERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierawestllc.com</p>	<p>DRAWING</p> <p>SHEET # GR-3</p> <p>JOB # 2021008</p>



RETAINING WALL DETAIL
NTS

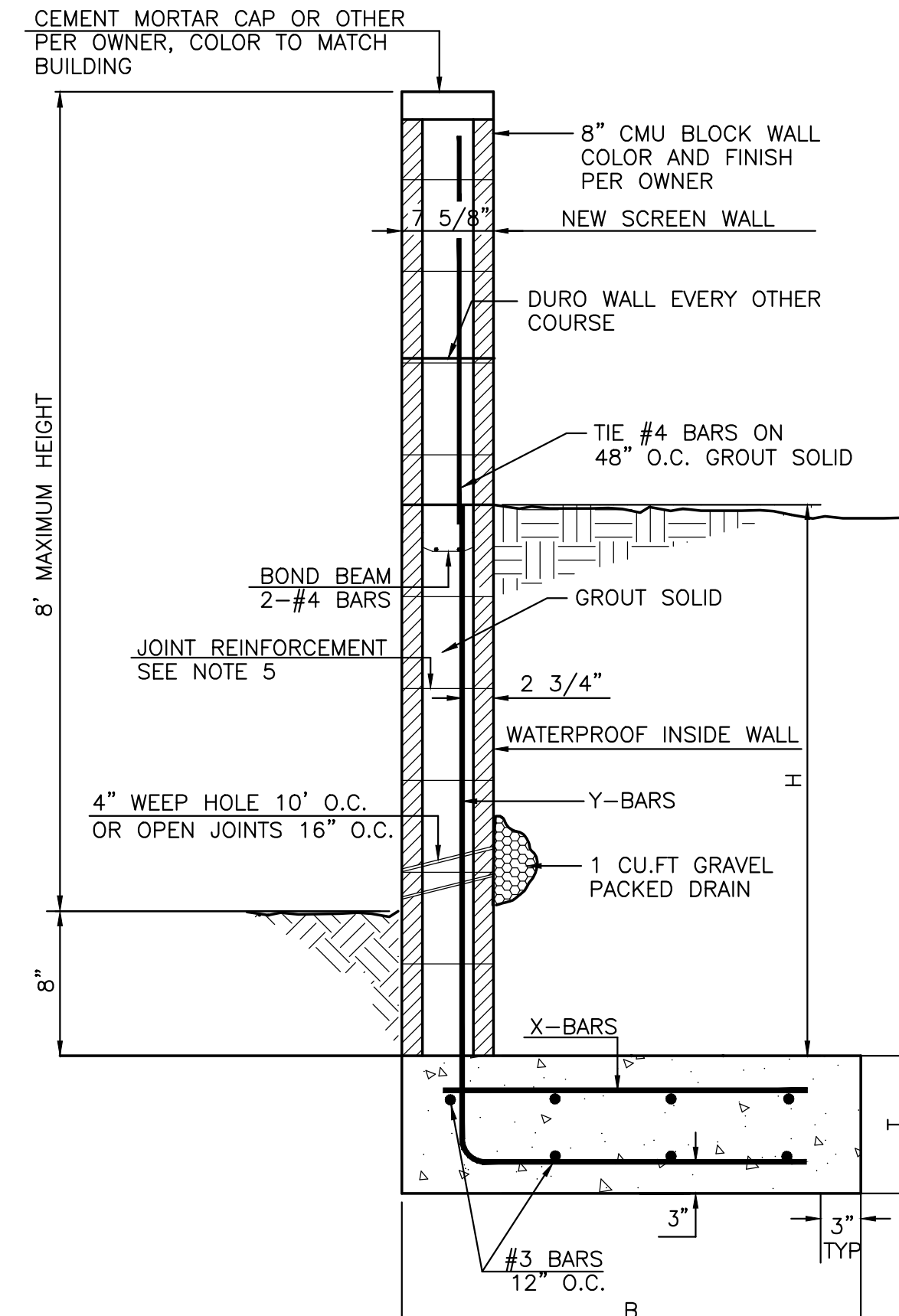
8 INCH REINFORCED CONCRETE MASONRY WALL

H	A	B	T	Y-BARS	X-BARS
ft.-in.	in.	ft.-in.	in.		
2'-0"	8"	2'-0"	9"	#4 @32" O.C.	#4 @24" O.C.
2'-8"	8"	2'-0"	9"	#4 @32" O.C.	#4 @24" O.C.
3'-4"	8"	2'-4"	9"	#4 @32" O.C.	#4 @24" O.C.
4'-0"	10"	2'-8"	9"	#4 @32" O.C.	#4 @24" O.C.
4'-8"	12"	3'-4"	10"	#5 @32" O.C.	#4 @18" O.C.
5'-4"	14"	3'-10"	10"	#6 @16" O.C.	#4 @18" O.C.
6'-0"	16"	4'-8"	12"	#6 @8" O.C.	#4 @12" O.C.

12 INCH REINFORCED CONCRETE MASONRY WALL

H	A	B	T	Y-BARS	X-BARS
ft.-in.	in.	ft.-in.	in.		
5'-4"	14"	3'-8"	10"	#6 @18" O.C.	#4 @24" O.C.
6'-0"	15"	4'-2"	12"	#4 @16" O.C.	#4 @18" O.C.
6'-8"	16"	4'-6"	12"	#6 @24" O.C.	#5 @18" O.C.
7'-4"	18"	4'-10"	12"	#6 @16" O.C.	#5 @18" O.C.
8'-0"	20"	5'-4"	12"	#7 @18" O.C.	#6 @12" O.C.
8'-8"	20"	5'-8"	12"	#7 @16" O.C.	#6 @12" O.C.

- GENERAL NOTES:**
- ALL CONCRETE IS TO BE 4000 PSI @ 28 DAYS.
 - MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
 - BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
 - ALL BARS ARE TO BE GRADE 60, ASTM 615.
 - TRUSS TYPE DURO-WALL EVERY OTHER COURSE.
 - DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO Y-BARS. SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
 - PROVIDE KEY FOR 8" AND 12" WALLS WHERE H EXCEEDS 6'-0"
 - USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 16'.
 - BOND BEAM, 1-#4 BARS FOR WALLS UNDER 3'-4", 2-#4 BARS FOR WALLS UNDER 5'-4", 2-#5 BARS FOR WALLS OVER 5'-4".



'L' FOOTING RETAINING WALL DETAIL
NTS

Street Capacity Calculations

28' F-F Street Section with 6" curb
Slope= 0.01

For water depths less than 0.125 feet
 Y= Water depth
 Area = 8*Y^2
 P= SQRT(257*Y^2) + Y
 n= 0.017

Depth (ft)	Area (ft^2)	P (ft)	R (A/P)	Q (cfs)	2Q (cfs)	Vel (ft/s)	D*V	Fr	D2 (ft)
0.01	0.00	0.17	0.00	0.00	0.00	0.25	0.00	0.43	0.00
0.02	0.00	0.34	0.01	0.00	0.00	0.39	0.01	0.48	0.01
0.04	0.01	0.68	0.02	0.01	0.02	0.62	0.02	0.54	0.02
0.06	0.03	1.02	0.03	0.02	0.05	0.81	0.05	0.58	0.03
0.08	0.05	1.36	0.04	0.05	0.10	0.98	0.08	0.61	0.04
0.10	0.08	1.70	0.05	0.09	0.18	1.14	0.11	0.63	0.05
0.12	0.12	2.04	0.06	0.15	0.30	1.29	0.15	0.65	0.07
0.13	0.13	2.13	0.06	0.17	0.33	1.32	0.17	0.66	0.07

For water depths greater than 0.125 ft but less than 0.280 ft
 Y1= Y-0.125
 A2= A1 + 2*Y1 + 25*Y1^2
 P2= P1 + SQRT(2501*Y1^2)+Y1

Depth (ft)	Area (ft^2)	P (ft)	R (A/P)	Q (cfs)	2Q (cfs)	Vel (ft/s)	D*V	Fr	D2 (ft)
0.13	0.14	2.38	0.06	0.18	0.35	1.29	0.17	0.63	0.07
0.14	0.16	2.89	0.06	0.20	0.41	1.27	0.18	0.60	0.07
0.16	0.23	3.91	0.06	0.29	0.59	1.30	0.21	0.57	0.07
0.20	0.42	5.95	0.07	0.62	1.23	1.48	0.30	0.58	0.09
0.24	0.69	8.00	0.09	1.17	2.33	1.70	0.41	0.61	0.12
0.28	1.04	10.04	0.10	1.99	3.98	1.92	0.54	0.64	0.15

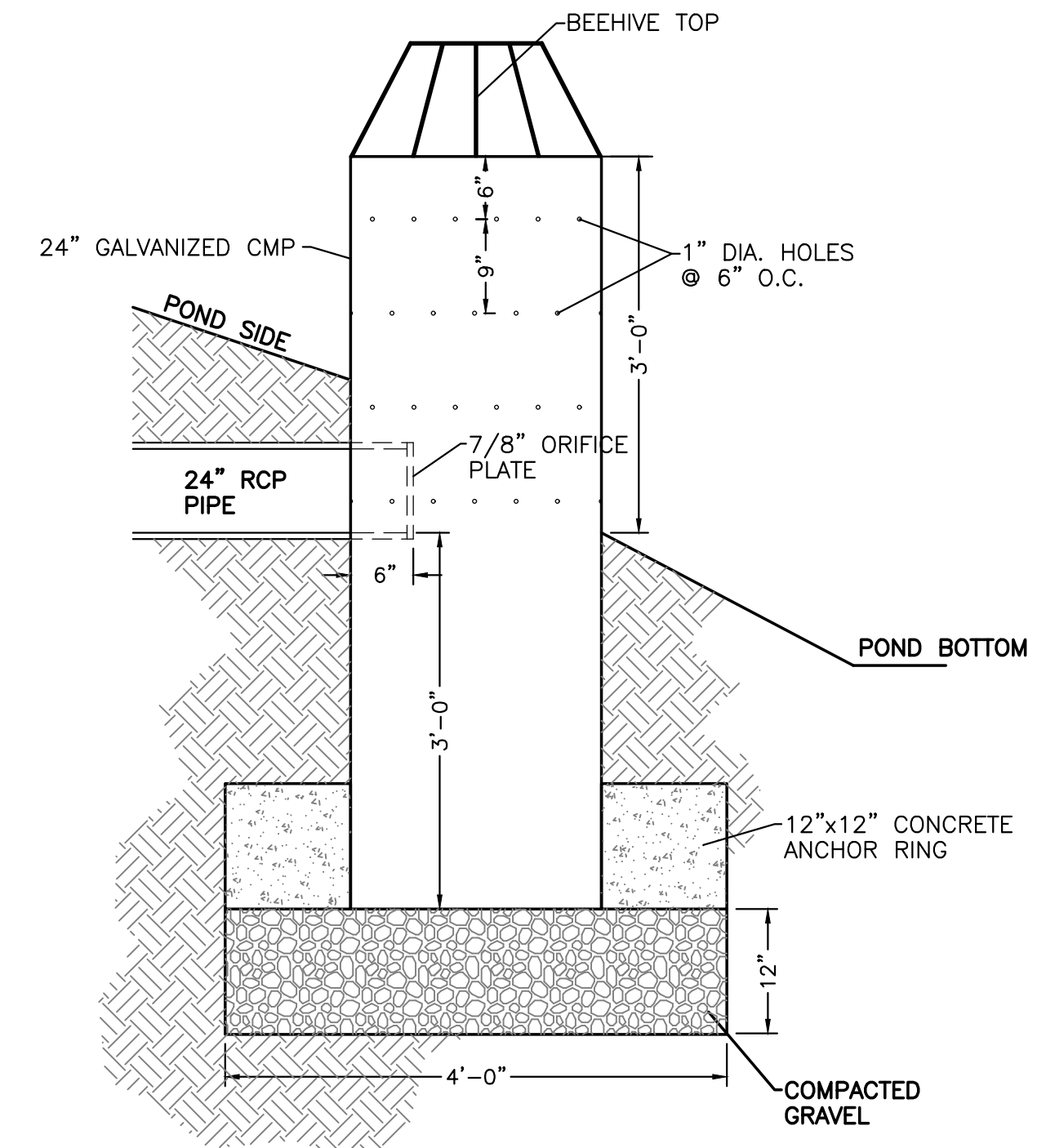
For water depths greater than 0.280 ft but less than 0.500 ft
 Y2= Y - 0.280
 A3= A2 + Y2*14
 P3= P2 + Y2

Depth (ft)	Area (ft^2)	P (ft)	R (A/P)	Q (cfs)	2Q (cfs)	Vel (ft/s)	D*V	Fr	D2 (ft)
0.300	1.32	10.06	0.13	2.96	5.93	2.25	0.68	0.72	0.19
0.330	1.74	10.09	0.17	4.69	9.39	2.70	0.89	0.83	0.26
0.359	2.14	10.11	0.21	6.63	13.26	3.10	1.11	0.91	0.32
0.360	2.15	10.12	0.21	6.69	13.39	3.11	1.12	0.91	0.32
0.370	2.30	10.13	0.23	7.46	14.92	3.25	1.20	0.94	0.34
0.418	2.96	10.17	0.29	11.38	22.76	3.84	1.60	1.05	0.44
0.455	3.49	10.21	0.34	14.90	29.80	4.27	1.94	1.12	0.53
0.485	3.90	10.24	0.38	17.93	35.87	4.59	2.23	1.16	0.59
0.500	4.12	10.26	0.40	19.57	39.15	4.76	2.38	1.19	0.62

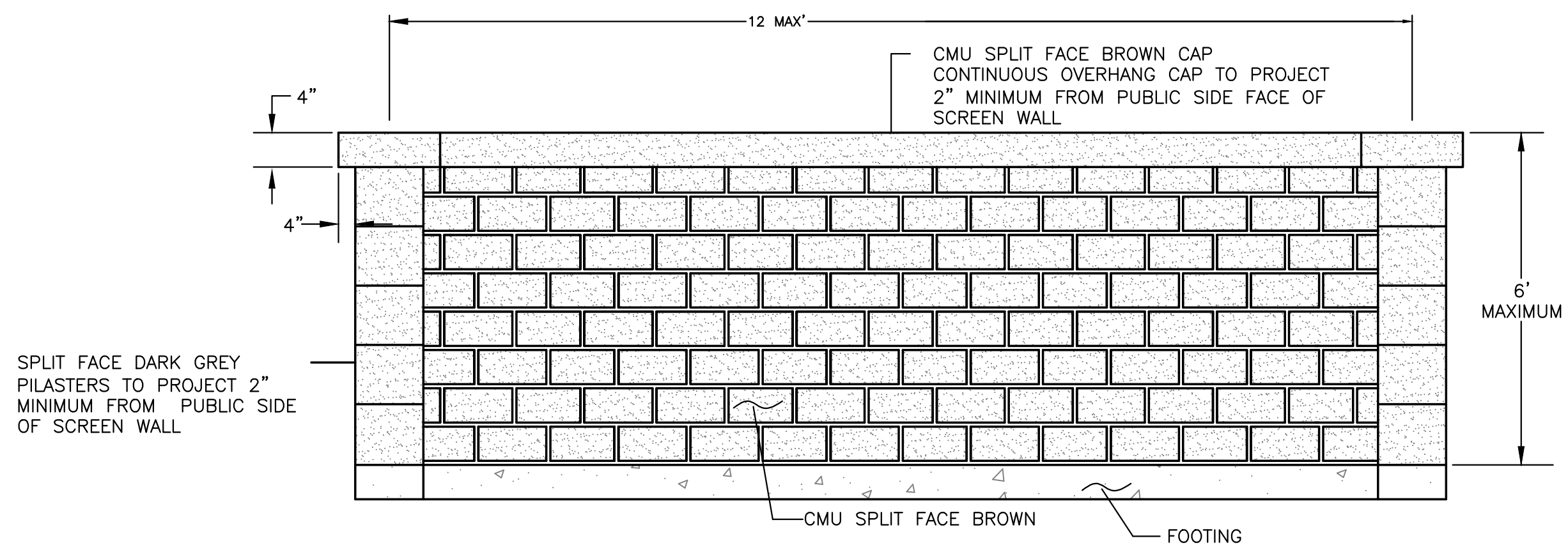
For water depths greater than 0.500 ft but less than 0.68 ft
 Y3= Y - 0.500
 A4= A3 + 14 * Y3 + 25 * Y3^2
 P4= P3 + SQRT(2501 * Y3^2)

Depth (ft)	Area (ft^2)	P (ft)	R (A/P)	Q (cfs)	2Q (cfs)	Vel (ft/s)	D*V	Fr	D2 (ft)
0.55	4.88	12.76	0.38	22.47	44.93	4.61	2.53	1.09	0.62
0.58	5.31	14.01	0.38	24.28	48.57	4.58	2.63	1.06	0.62
0.60	5.77	15.26	0.38	26.34	52.69	4.57	2.74	1.04	0.63
0.63	6.26	16.51	0.38	28.64	57.28	4.58	2.86	1.02	0.64
0.65	6.78	17.76	0.38	31.18	62.35	4.60	2.99	1.01	0.65
0.68	7.45	19.26	0.39	34.54	69.08	4.64	3.15	0.99	0.67

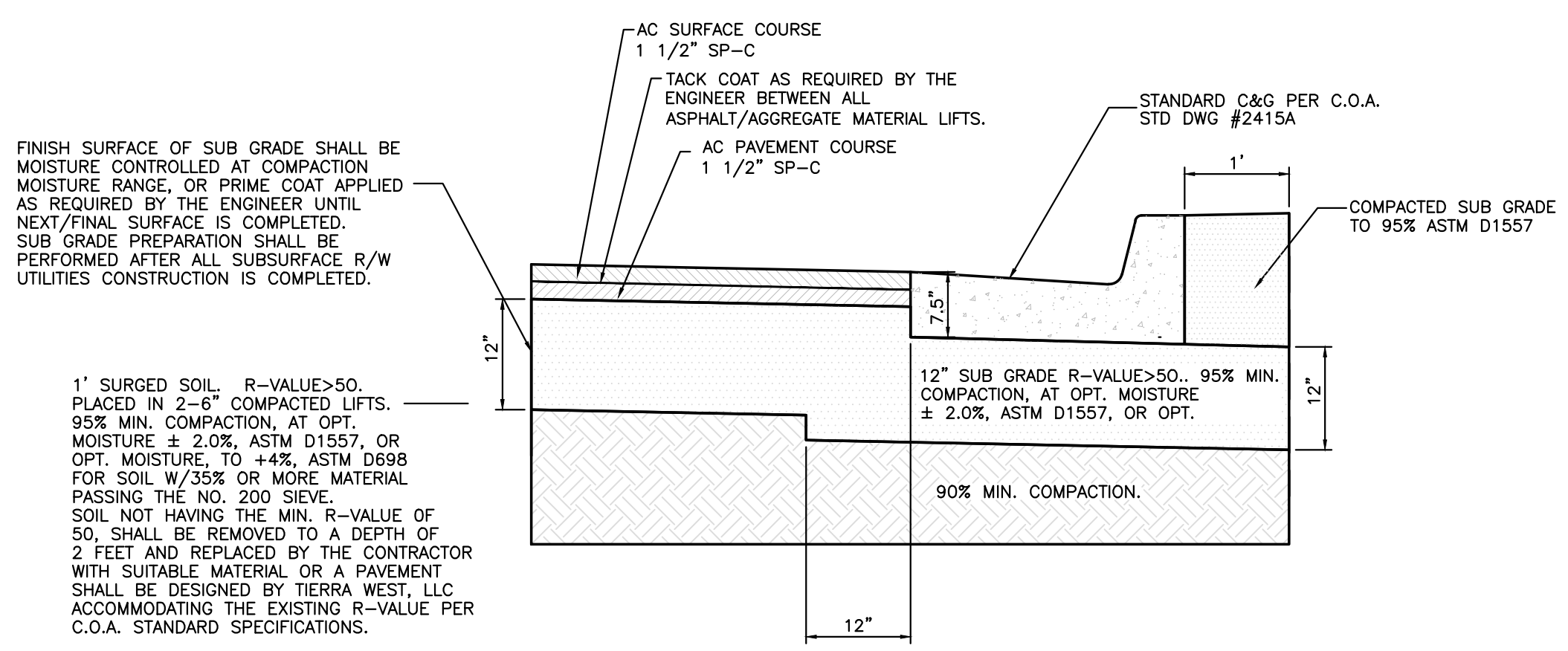
Basin 2
Off-Site
Basin 1 + Off-site



OUTFALL DETAIL
NTS



SCREENWALL/RETAINING WALL- ELEVATION FOR STREET FACING WALL
NTS



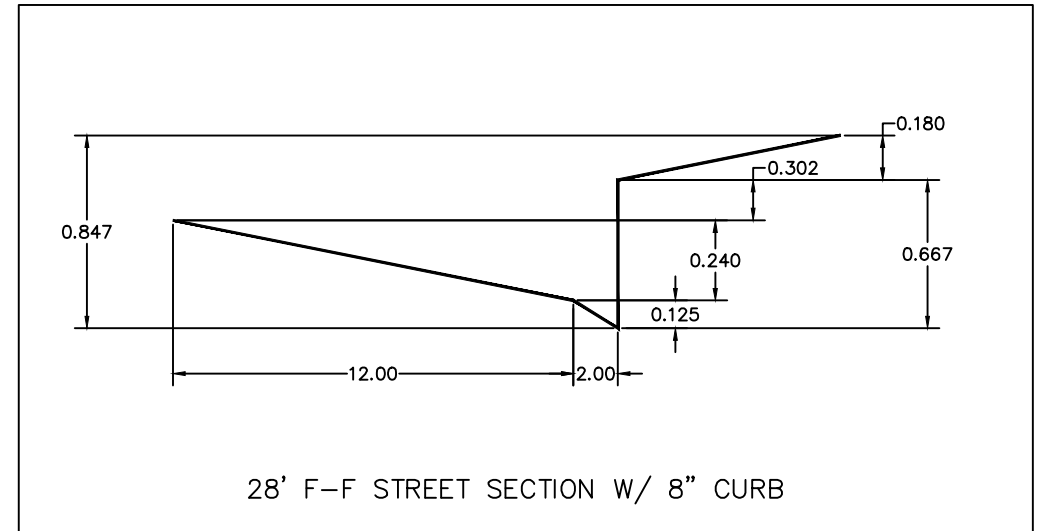
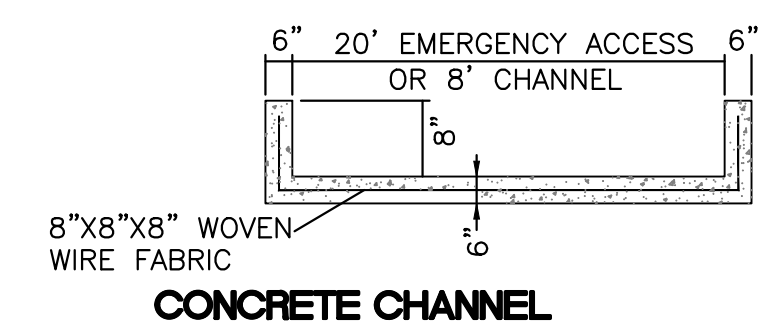
TYPICAL PAVING SECTION (LOCAL RESIDENTIAL)
NTS

1' SURGED SOIL, R-VALUE>50. PLACED IN 2-6" COMPACTED LIFTS. 95% MIN. COMPACTION, AT OPT. MOISTURE ± 2.0%, ASTM D1557, OR OPT. MOISTURE, TO +4%, ASTM D698 FOR SOIL W/35% OR MORE MATERIAL PASSING THE NO. 200 SIEVE. SOIL NOT HAVING THE MIN. R-VALUE OF 50, SHALL BE REMOVED TO A DEPTH OF 2 FEET AND REPLACED BY THE CONTRACTOR WITH SUITABLE MATERIAL OR A PAVEMENT SHALL BE DESIGNED BY TIERRA WEST, LLC ACCOMMODATING THE EXISTING R-VALUE PER C.O.A. STANDARD SPECIFICATIONS.

City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
PRELIMINARY APPROVED
DATE: 08/04/21
BY: *Ronald R. Bohannan*
HydroTrans # G19D004

THESE PLANS AND/OR REPORT ARE CONCEPTUAL ONLY. MORE INFORMATION MAY BE NEEDED IN THEM AND SUBMITTED TO HYDROLOGY FOR BUILDING PERMIT APPROVAL.

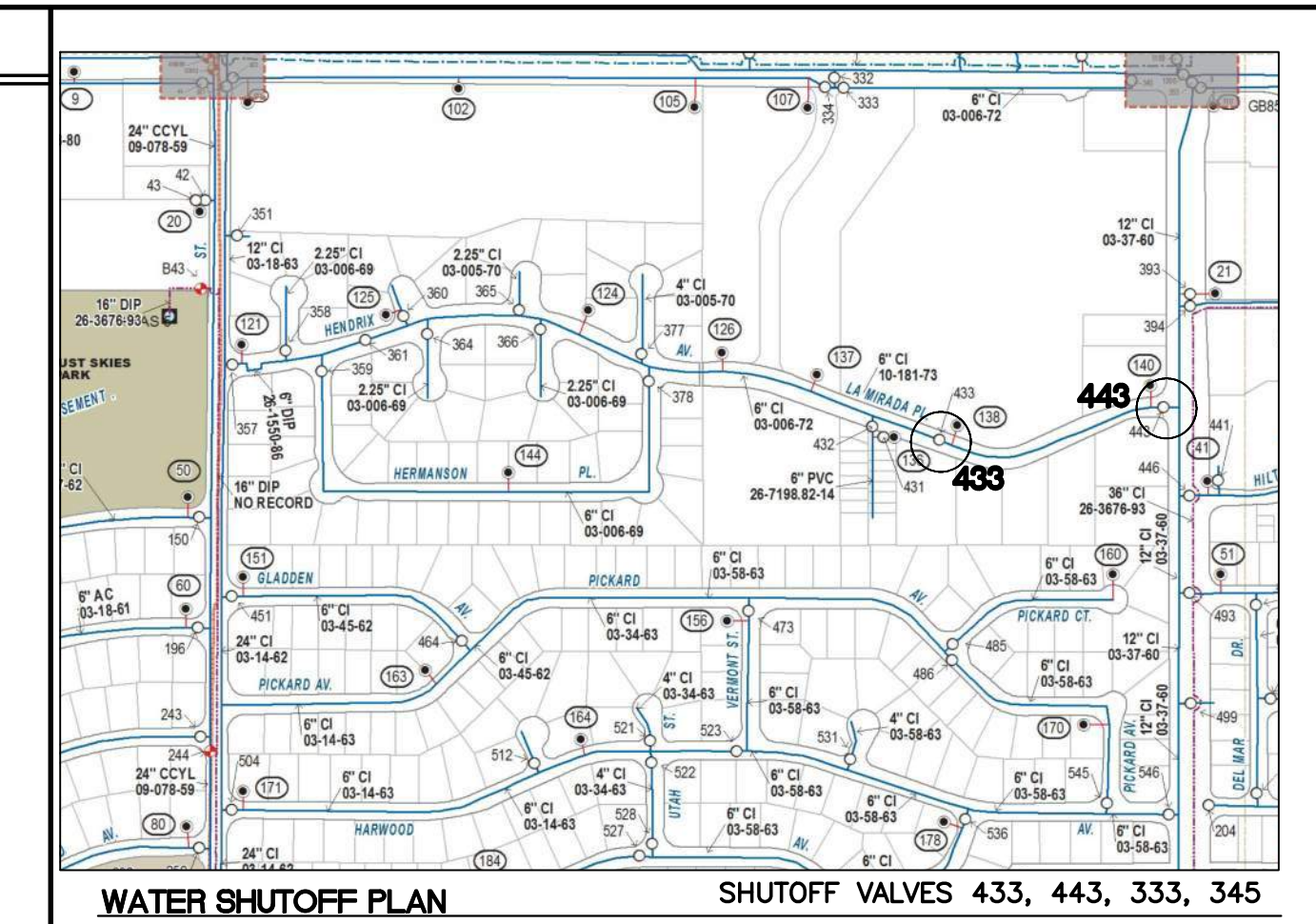
NOT FOR CONSTRUCTION



ENGINEER'S SEAL NOT FOR CONSTRUCTION 8-4-21 RONALD R. BOHANNAN P.E. #7868	THE WYMONT ALBUQUERQUE, NM GRADING DETAILS	DRAWN BY pm DATE 8-4-21 DRAWING
	TIERRA WEST, LLC 5571 MIDWAY PARK PL. NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # GR-4 JOB # 2021008

LEGEND

	CURB & GUTTER
	BOUNDARY LINE
	BUILDING
	EXISTING CURB & GUTTER
	SANITARY SEWER LINE
	PROPOSED WATERLINE
	PROPOSED HYDRANT
	NEW SAS MH
	NEW WATER METER
	EXISTING SAS MH
	EXISTING GATE VALVE
	EXISTING WATERLINE
	EXISTING SAS

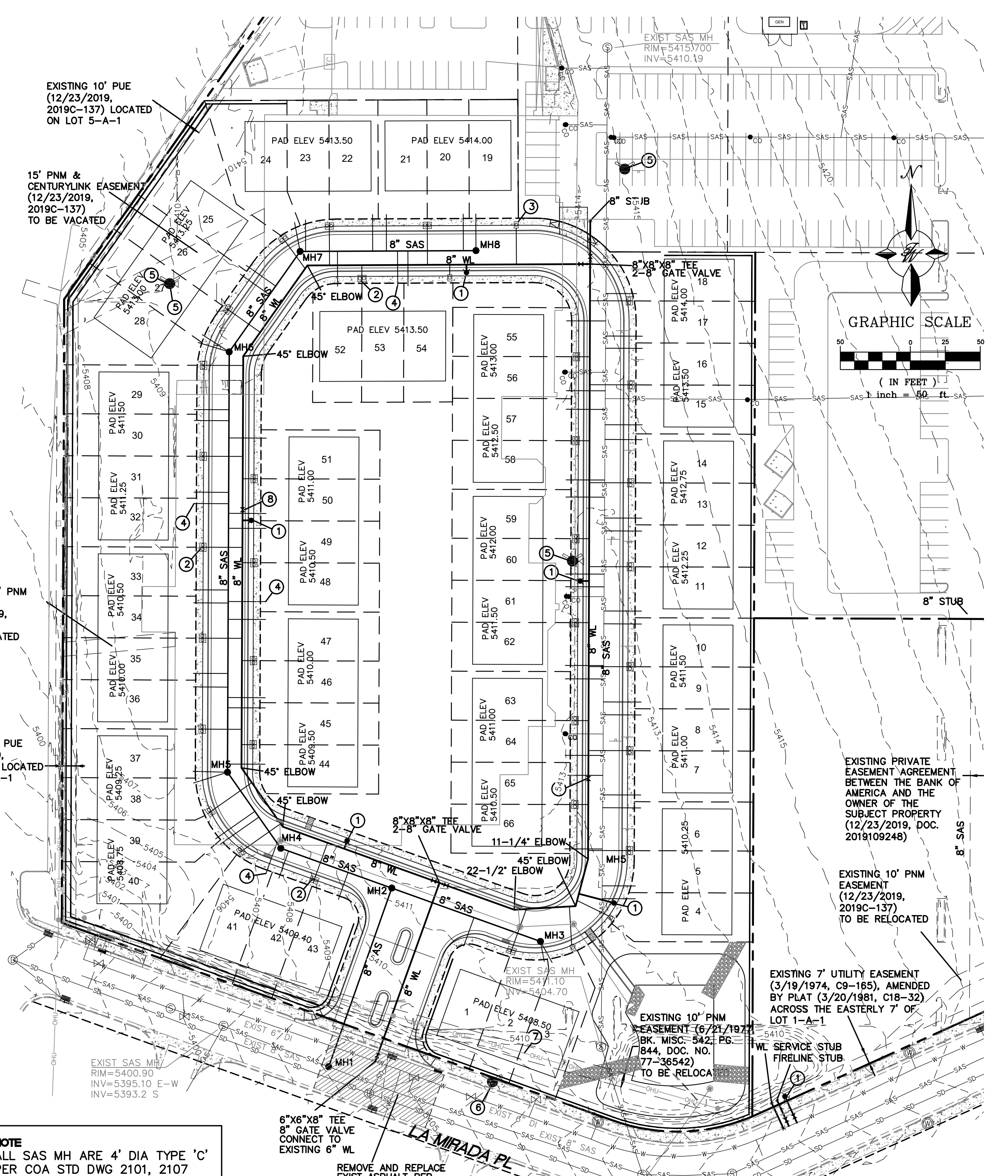


- KEYED NOTES**
- 1 NEW FIRE HYDRANT PER COA STD DWG 2326, 2328, 2340
 - 2 DOUBLE 1" WATER METER (TYP) PER COA STD DWG 2366, 2368
 - 3 SINGLE 1" WATER METER (TYP) PER COA STD DWG 2366, 2368
 - 4 SAS SERVICE (TYP)
 - 5 EXISTING FIRE HYDRANT TO BE REMOVED AND SALVAGED
 - 6 EXISTING FIRE HYDRANT
 - 7 EXISTING OVERHEAD POWER LINE TO BE RELOCATED
 - 8 8" GATE VALVE PER COA STD DWG 2326, 2329, 2461
 - 9 EXISTING WATER METER

- GENERAL UTILITY NOTES:**
1. ALL WATER AND SEWER UTILITY WORK TO BE DONE IN ACCORDANCE WITH COA STANDARDS AND SPECIFICATIONS LATEST EDITION.
 2. 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
 3. REFERENCE PLUMBING PLANS FOR WATER LINE RISER LOCATIONS. BACKFLOW PREVENTOR LOCATED INSIDE BUILDING
 4. CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS AT LOCATIONS INDICATED AND AT MID RUN IF LONGER THAN 100'
 5. ALL PLUMBING PIPE MATERIAL TO BE USED PER UPC.
 6. FIRE LINE AND DOMESTIC WATERLINE MUST HAVE BACKFLOW PREVENTORS PER UPC. TO BE PROVIDED IN THE BUILDING
 7. ALL EX. SD INLETS AND MH'S SHALL HAVE CONCRETE COLLARS POURED AND BE ADJUSTED TO FINISHED GRADE.
 8. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
 9. ALL UTILITY DISTANCES SHOWN ARE FOR REFERENCE ONLY.
 10. PNM HAS NUMEROUS ELECTRIC FACILITIES AT THIS SITE CURRENTLY SERVING EXISTING CUSTOMERS. THE APPLICANT SHALL COORDINATE WITH PNM REGARDING THESE EXISTING FACILITIES. ANY RELOCATION, CHANGES OR REALIGNMENT OF EXISTING ELECTRIC UTILITIES WILL BE THE DEVELOPER EXPENSE. IN SOME CASES, RELOCATION OR CHANGES TO EXISTING FACILITIES MAY NOT BE FEASIBLE DUE TO PHYSICAL, USE OR SAFETY CLEARANCE CONSTRAINTS.
 11. PNM WILL REVIEW ALL TECHNICAL NEEDS, ISSUES AND SAFETY CLEARANCES FOR ITS ELECTRIC POWER SYSTEMS. ANY EXISTING AND PROPOSED PUBLIC UTILITY EASEMENTS SHALL BE INDICATED ON THE SITE PLAN UTILITY SHEET PRIOR TO DRB REVIEW. PNM'S STANDARD FOR PUBLIC UTILITY EASEMENTS IS 10 FEET IN WIDTH TO ENSURE ADEQUATE, SAFE CLEARANCES.
 12. SCREENING SHALL BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET SURROUNDING ALL GROUND-MOUNTED UTILITIES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

SAS STRUCTURE TABLE

STRUCTURE	RIM	INV(IN)	INV(OUT)
MH1	5425.42	5395.70	5395.60
MH2	5408.00	5399.30	5399.20
MH3	5407.71	---	5401.70
MH4	5407.05	5400.00	5399.90
MH5	5407.72	5401.00	5400.90
MH6	5411.43	5404.40	5404.30
MH7	5412.13	5405.44	5405.34
MH8	5412.71	---	5406.70



NOTE
ALL SAS MH ARE 4' DIA TYPE 'C' PER COA STD DWG 2101, 2107

REMOVE AND REPLACE EXIST ASPHALT PER COA STD DWG 2465 ARTERIAL

CAUTION
ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

	LA MIRADA ALBUQUERQUE, NM	DRAWN BY pjm
	CONCEPTUAL UTILITY PLAN	DATE 6-22-21
	5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	DRAWING
6-22-21 RONALD R. BOHANNAN P.E. #7868		SHEET # MU-1
		JOB # 2021008

THE CONTRACTOR SHALL COORDINATE WITH THE WATER AUTHORITY SEVEN (7) DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER INFRASTRUCTURE. WORK REQUIRING SHUTOFF OF FACILITIES DESIGNATED AS MASTER PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY 14 DAYS IN ADVANCE OF PERFORMING SUCH WORK. ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES. SHUTOFF REQUESTS MUST BE MADE ONLINE AT [HTTP://ABCWUA.ORG/CONTENT/VIEW/463/729/](http://abcwua.org/content/view/463/729/).