



Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

SUBDIVISIONS	<input type="checkbox"/> Final Sign off of EPC Site Plan(s) (Form P2A)	<input type="checkbox"/> Extension of IIA: Temp. Def. of SW (Form V2)
<input checked="" type="checkbox"/> Major – Preliminary Plat (Form S1)	<input type="checkbox"/> Amendment to Site Plan (Form P2)	<input type="checkbox"/> Vacation of Public Right-of-way (Form V)
<input type="checkbox"/> Major – Bulk Land Plat (Form S1)	MISCELLANEOUS APPLICATIONS	<input type="checkbox"/> Vacation of Public Easement(s) DRB (Form V)
<input type="checkbox"/> Extension of Preliminary Plat (Form S1)	<input type="checkbox"/> Extension of Infrastructure List or IIA (Form S1)	<input type="checkbox"/> Vacation of Private Easement(s) (Form V)
<input type="checkbox"/> Minor Amendment - Preliminary Plat (Form S2)	<input type="checkbox"/> Minor Amendment to Infrastructure List (Form S2)	PRE-APPLICATIONS
<input type="checkbox"/> Minor - Final Plat (Form S2)	<input type="checkbox"/> Temporary Deferral of SW (Form V2)	<input type="checkbox"/> Sketch Plat Review and Comment (Form S2)
<input type="checkbox"/> Minor – Preliminary/Final Plat (Form S2)	<input type="checkbox"/> Sidewalk Waiver (Form V2)	
SITE PLANS	<input type="checkbox"/> Waiver to IDO (Form V2)	APPEAL
<input type="checkbox"/> DRB Site Plan (Form P2)	<input type="checkbox"/> Waiver to DPM (Form V2)	<input type="checkbox"/> Decision of DRB (Form A)

BRIEF DESCRIPTION OF REQUEST

Major Subdivision Preliminary Plat

APPLICATION INFORMATION

Applicant: Wymont LLC		Phone: 505-896-9037
Address: 333 Rio Rancho Blvd Suite 202		Email: jarrodl@aswinc.com
City: Rio Rancho	State: NM	Zip: 87124
Professional/Agent (if any): Tierra West LLC		Phone: 505-858-3100
Address: 5571 Midway Park PI NE		Email: jniski@tierrawestllc.com
City: Albuquerque	State: NM	Zip: 87109
Proprietary Interest in Site:	List all owners:	

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.: LT 1-A-1 PLAT FOR LOTS 1-A-1 AND 5-A-1	Block:	Unit:
Subdivision/Addition: La Mirada Subdivision	MRGCD Map No.:	UPC Code: 10190604804702040L1
Zone Atlas Page(s): G-19-Z	Existing Zoning: MX-M	Proposed Zoning MX-M
# of Existing Lots: 1	# of Proposed Lots: 66, 4 residential tracts	Total Area of Site (Acres): 15.1868

LOCATION OF PROPERTY BY STREETS

Site Address/Street: 4315 Wyoming Blvd NE Between: Montgomery Blvd NE and: La Mirada PI NE
 8 commercial tracts

CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

PR-2019-002309, PS-2019-00029, SD-2019-00221, SD-2019-00223, SD-2019-00226

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

Signature:	Date: 09/02/2021
Printed Name: Ronald R. Bohannon	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees	Case Numbers	Action	Fees

Meeting Date:	Fee Total:
Staff Signature:	Date:
	Project #

FORM S1: SUBDIVISION OF LAND – MAJOR

Please refer to the DRB public meeting schedule for meeting dates and deadlines. Your attendance is required.

- MAJOR SUBDIVISION PRELIMINARY PLAT APPROVAL
- MAJOR AMENDMENT TO PRELIMINARY PLAT
- BULK LAND SUBDIVISION
- Interpreter Needed for Meeting? _____ if yes, indicate language: _____

N/A A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD. PDF *shall be organized* with the Development Review Application and this Form S1 at the front followed by the remaining documents *in the order provided on this form*.

- Zone Atlas map with the entire site clearly outlined and labeled
- Letter of authorization from the property owner if application is submitted by an agent
- Sign Posting Agreement
- Sites 5 acres or greater: Archeological Certificate in accordance with IDO Section 14-16-6-5(A)
- TIS Traffic Impact Study Form
- Form DRWS Drainage Report, Grading and Drainage Plan, and Water & Sewer Availability Statement submittal information
- Letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-6(L)
- Proof of Sketch Plat per IDO Section 14-16-6-6(L)(2)(b)
- Required notices with content per IDO Section 14-16-6-4(K)(1)
 - Office of Neighborhood Coordination notice inquiry response
 - Copy of notification letter, completed notification form(s), proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b), and proof of first-class mailing to affected Neighborhood Association representatives.
 - Proof of emailed notice to affected Neighborhood Association representatives
 - Buffer map and list of property owners within 100 feet (excluding public rights-of-way) provided by Planning Department or created by applicant, copy of notifying letter, completed notification forms(s), proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b), and proof of first-class mailing
- Preliminary Plat including the Grading Plan with property owner's and City Surveyor's signatures on the plat
- Sidewalk Exhibit and/or cross sections of proposed streets
- Site sketch with measurements showing structures, parking, building setbacks, adjacent rights-of-way and street improvements (to include sidewalk, curb & gutter with distance to property line noted) if there is any existing land use
- N/A** Sensitive Lands Site Analysis for new subdivisions of land in accordance with IDO Section 5-2(C)
- N/A** Landfill disclosure statement on the plat per IDO Section 14-16-6-4(S)(5)(d)(2.)(d.) if site is within a designated landfill buffer zone
- Proposed Infrastructure List

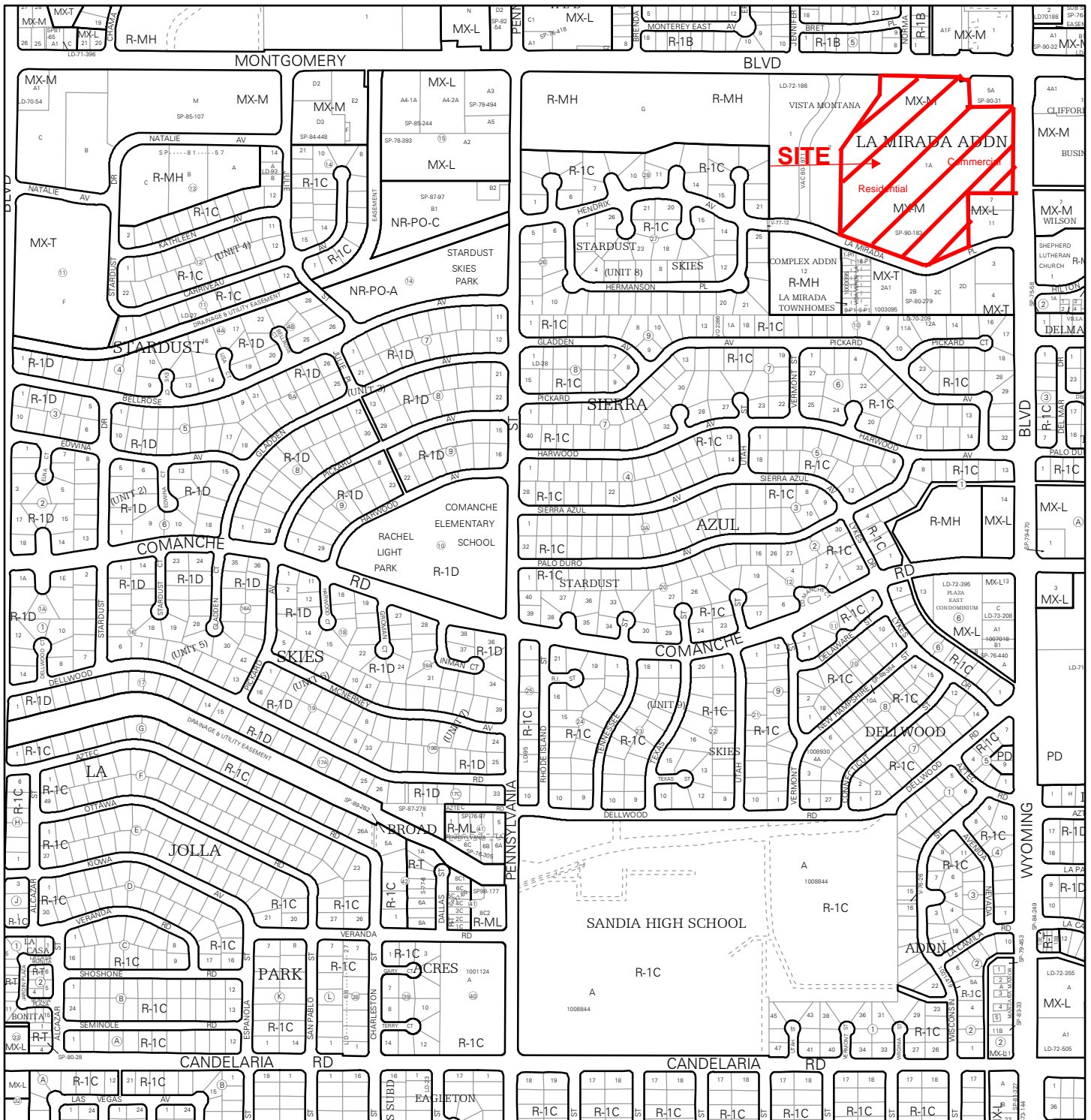
- EXTENSION OF PRELIMINARY PLAT
- INFRASTRUCTURE LIST EXTENSION OR AN INFRASTRUCTURE IMPROVEMENTS AGREEMENT (IIA) EXTENSION

For temporary sidewalk deferral extension, use Form V.

— A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD. PDF *shall be organized* with the Development Review Application and this Form S1 at the front followed by the remaining documents *in the order provided on this form*.


- Zone Atlas map with the entire site clearly outlined and labeled
- Letter of authorization from the property owner if application is submitted by an agent
- Letter describing, explaining, and justifying the request per IDO Section 14-16-6-4(X)(4)
- Preliminary Plat or site plan
- Copy of DRB approved infrastructure list

<p><i>I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting, if required, or otherwise processed until it is complete.</i></p>	
Signature:	Date: 9/2/2021
Printed Name: Ronald R. Bohannon	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent
FOR OFFICIAL USE ONLY	
Case Numbers: _____	Project Number: _____
Staff Signature: _____	
Date: _____	

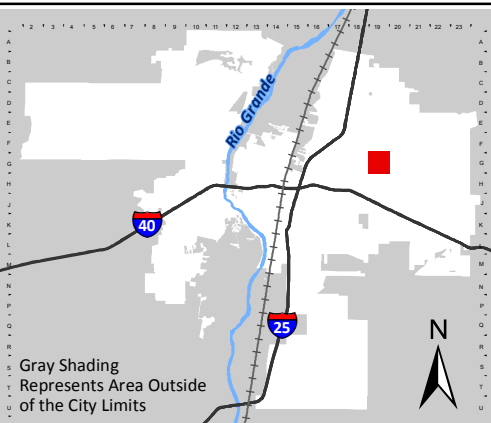


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>









IDO Zone Atlas May 2018



IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).



Zone Atlas Page:
G-19-Z

-  Easement
-  Escarpment
-  Petroglyph National Monument
-  Areas Outside of City Limits
-  Airport Protection Overlay (APO) Zone
-  Character Protection Overlay (CPO) Zone
-  Historic Protection Overlay (HPO) Zone
-  View Protection Overlay (VPO) Zone

0 250 500 1,000 Feet

July 13, 2021

Ms. Jolene Wolfley
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

RE: **CITY SUBMITTALS**
LA MIRADA SUBDIVISION
LT 1-A-1 PLAT FOR LOTS 1-A-1 AND 5-A-1
ZONE ATLAS MAP: G-19-Z

Dear Ms. Wolfley:

The purpose of this letter is to authorize Tierra West LLC to act as agent on behalf of Wymont, LLC pertaining to any and all submittals made to the City of Albuquerque for the above-referenced site.

JARROD LYKAR

Print Name

Signature

Jarrold Lykar
VP-LAND DEV.

Title

Date

7/13/21

ORT 2011162 KJW

WARRANTY DEED

M - M CO., a New Mexico general partnership ("**Grantor**"), for and in consideration of good and valuable consideration to it paid by WYMONT LLC, a New Mexico limited liability company ("**Grantee**"), whose mailing address is 333 Rio Rancho Boulevard, Suite 202, Rio Rancho, New Mexico 87124, the receipt and sufficiency of which are hereby acknowledged and confessed, has GRANTED, BARGAINED, SOLD, and CONVEYED, and by these presents does GRANT, BARGAIN, SELL, and CONVEY unto the Grantee that certain tract of land ("**Land**") described on **Exhibit A** attached hereto and incorporated herein by reference, together with all improvements thereon and all rights and appurtenances appertaining thereto (herein collectively called the "**Property**"), with warranty covenants.

This conveyance is given and accepted subject (i) to the exceptions set forth on **Exhibit B** attached hereto and incorporated herein by reference, and (ii) the rights of tenants as tenants only (herein called the "**Permitted Encumbrances**").

WITNESS THE EXECUTION HEREOF as of the 24 day of June, 2021.


GRANTOR:


M-M CO.,
a New Mexico general partnership

By: Mauney Investments LLC,
a New Mexico limited liability company, Partner

By: 
Name: Marc Mauney
Title: Manager

By: Tower 22 LLC,
a New Mexico limited liability company, Partner

By: 
Name: David J. Matteucci
Title: Member

By: 
Name: Brian J. Matteucci
Title: Member

By: 
Name: Paula L. Matteucci
Title: Member

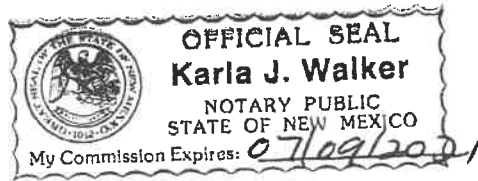
STATE OF NEW MEXICO)
) ss.
COUNTY OF BERNALILLO)

This instrument was acknowledged before me on June 24, 2021, by Marc Mauney, Manager of Mauney Investments LLC, a New Mexico limited liability company and Partner of M-M Co., a New Mexico general partnership, on behalf of said company and partnership.

Karla J. Walker
Notary Public

My commission expires:

07/09/2021



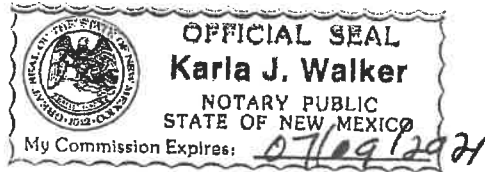
STATE OF NEW MEXICO)
) ss.
COUNTY OF BERNALILLO)

This instrument was acknowledged before me on June 24, 2021, by David J. Matteucci, Member of Tower 22 LLC, a New Mexico limited liability company and Partner of M-M Co., a New Mexico general partnership, on behalf of said company and partnership.

Karla J. Walker
Notary Public

My commission expires:

07/09/2021



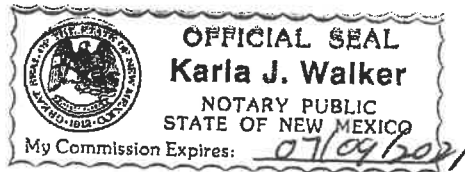
STATE OF NEW MEXICO)
) ss.
COUNTY OF BERNALILLO)

This instrument was acknowledged before me on June 24, 2021, by Brian J. Matteucci, Member of Tower 22 LLC, a New Mexico limited liability company and Partner of M-M Co., a New Mexico general partnership, on behalf of said company and partnership.

Karla J. Walker
Notary Public


My commission expires:

07/09/2021



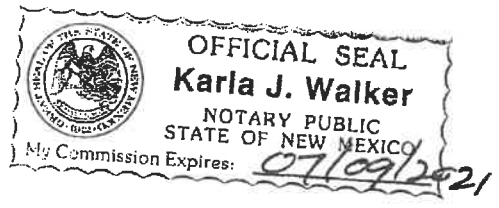
STATE OF NEW MEXICO)
) ss.
COUNTY OF BERNALILLO)

This instrument was acknowledged before me on June 24, 2021, by Paula L. Matteucci, Member of Tower 22 LLC, a New Mexico limited liability company and Partner of M-M Co., a New Mexico general partnership, on behalf of said company and partnership.



Notary Public

My commission expires:
07/09/2021



**EXHIBIT A
to Warranty Deed**

LAND DESCRIPTION

Lot numbered One-A-One (1-A-1) of LA MIRADA SUBDIVISION, as the same is shown and designated on the Plat entitled, "Plat for Lots 1-A-1 and 5-A-1, LA MIRADA SUBDIVISION, Being comprised of Lots 1-A and 5-A, La Mirada, Subdivision, City of Albuquerque, Bernalillo County, New Mexico", filed in the office of the County Clerk of Bernalillo County, New Mexico, on December 23, 2019, in Plat Book 2019C, Page 137.

**EXHIBIT B
to Warranty Deed**

PERMITTED ENCUMBRANCES

1. Reservations contained in the Patent from the United States of America, recorded May 1, 1933 in Book 77, Page 175, records of Bernalillo County, New Mexico.
2. Easement, and rights incident thereto, in favor of Public Service Company of New Mexico, recorded September 24, 1968 in Book Misc. 116, Page 158 as Document No. 8889, records of Bernalillo County, New Mexico.
3. Easement, and rights incident thereto, in favor of Public Service Company of New Mexico, recorded June 21, 1977 in Book Misc. 542, Page 844 as Document No. 77-36542, records of Bernalillo County, New Mexico.
4. Easement, and rights incident thereto, in favor of Public Service Company of New Mexico, recorded April 24, 1973 in Book Misc. 309, Page 334 as Document No. 47734, records of Bernalillo County, New Mexico.
5. Easements and notes as shown, noted and provided for on the Amended Summary Plat recorded March 20, 1981 in Volume C18, folio 32, records of Bernalillo County, New Mexico.
6. Underground Easement, and rights incident thereto, in favor of Public Service Company of New Mexico and The Mountain States Telephone and Telegraph Company recorded October 28, 1986 in Book Misc. 412-A, Page 15 as Document No. 86105049, records of Bernalillo County, New Mexico.
7. Easements and notes as shown, noted and provided for on the Plat recorded December 23, 2019 in Plat Book 2019C, Page 137, records of Bernalillo County, New Mexico.
8. Private Easement Agreement by and between Bank of America, National Association, and M-M Co., a New Mexico general partnership, recorded December 23, 2019 as Document No. 2019109248, records of Bernalillo County, New Mexico.
9. Terms, conditions and provisions of the Encroachment Agreement between M-M Co., a New Mexico general partnership, and G & L Investment Co., Inc., a New Mexico corporation, joined by Taco Cabana of New Mexico, Inc., a New Mexico corporation, recorded December 27, 2019 as Document No. 2019110679, records of Bernalillo County, New Mexico.
10. Easements affecting the insured premises, as set forth in the Third Amendment to Taco Cabana Lease Agreement recorded December 27, 2019 as Document No. 2019110680, re-recorded January 2, 2020 as Document No. 2020000377, records of Bernalillo County, New Mexico.

11. Encroachment of restaurant sign into the public utility easements along the easterly boundary of the Property, as shown and delineated on the Boundary Survey and ALTA/NSPS Land Title Survey prepared by Will W. Plotner, Jr., N.M.R.P.S. No. 14271 dated March 9, 2020.

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from _____ To _____

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.



(Applicant or Agent)

9/2/2021

(Date)

I issued _____ signs for this application, _____
(Date) (Staff Member)

PROJECT NUMBER: _____



City of Albuquerque
P.O. Box 1293 Albuquerque, NM 87103
Planning Department
Alan Varela, Interim Director

Tim Keller, Mayor
Sarita Nair, CAO

DATE: September 2, 2021

SUBJECT: Albuquerque Archaeological Ordinance - Compliance Documentation

Case Number(s): PR-2019-002309, SI-2021-01439
Agent: Tierra West, LLC
Applicant: M & M CO
Legal Description: LT 1-A-1 PLAT FOR LOTS 1-A-1 and 5-A-1
Zoning: MX-M
Acreage: 15.1868
Zone Atlas Page(s): G-19-Z

CERTIFICATE OF NO EFFECT: Yes No

CERTIFICATE OF APPROVAL: Yes No

SUPPORTING DOCUMENTATION:

Historic Google Earth Aerial photographs

SITE VISIT: N/A

RECOMMENDATIONS:


The property appears to have been disturbed by previous development (parking lots, buildings) since at least 1985.

Therefore: CERTIFICATE OF NO EFFECT ISSUED-under criterion 2 "The property has been disturbed through previous land use"

SUBMITTED BY:

SUBMITTED TO:

Planning, Development Services



Douglas H. M. Boggess, MA, RPA Date
Senior Principal Investigator
Acting City Archaeologist
Lone Mountain Archaeological Services, Inc.



City of Albuquerque

Planning Department
Development Review Services Division

Traffic Scoping Form (REV 12/2020)

Project Title: La Mirada Building Permit #: _____ Hydrology File #: _____
Zone Atlas Page: G-19-Z DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: (Land Only) LT 1-A-1 PLAT FOR LOTS 1-A-1 AND 5-A-1 LA MIRADA SUBDIVISION (BEING COMPRISED OF LOTS 1-A AND 5-A LA MIRADA SUBDIVISION)
City Address: 4315 Wyoming Blvd NE Albuquerque, NM 87109

Applicant: Tierra West, LLC Contact: Jonathan Niski
Address: 5571 Midway Park Place NE Albuquerque, NM 87109
Phone#: 505-858-3100 Fax#: 505-858-1118 E-mail: jniski@tierrawestll.com

Development Information

Build out/Implementation Year: 2021 Current/Proposed Zoning: MX-M

Project Type: New: () Change of Use: () Same Use/Unchanged: (X) Same Use/Increased Activity: ()

Proposed Use (mark all that apply): Residential: (X) Office: () Retail: (X) Mixed-Use: ()

Describe development and Uses:

Residential development with future commercial parcels

Days and Hours of Operation (if known): _____

Facility

Building Size (sq. ft.): _____

Number of Residential Units: 74

Number of Commercial Units: 7

Traffic Considerations

Expected Number of Daily Visitors/Patrons (if known):* See attached Trip Generation Analysis

Expected Number of Employees (if known):* _____

**AM 535 trips
PM 563 trips**

Expected Number of Delivery Trucks/Buses per Day (if known):* _____

Trip Generations during PM/AM Peak Hour (if known):* _____

Driveway(s) Located on: Street Name Hendrix Avenue for Residential and Montgomery and Wyoming for Future Commercial

Adjacent Roadway(s) Posted Speed: Street Name Hendrix Avenue Posted Speed 35 MPH

Street Name Montgomery and Wyoming Posted Speed 45 MPH

* If these values are not known, assumptions will be made by City staff. Depending on the assumptions, a full TIS may be required

Roadway Information (adjacent to site)

Comprehensive Plan Corridor Designation/Functional Classification: Major Transit Corridor / Montgomery Blvd NE
(arterial, collector, local, main street)

Comprehensive Plan Center Designation: N/A
(urban center, employment center, activity center)

Jurisdiction of roadway (NMDOT, City, County): City of Albuquerque

Adjacent Roadway(s) Traffic Volume: 37,500 vpd Volume-to-Capacity Ratio: 0.63 NB PM
(if applicable)

Adjacent Transit Service(s): Yes, Montgomery and Wyoming Nearest Transit Stop(s): Montgomery and Wyoming intersection

Is site within 660 feet of Premium Transit?: Yes No

Current/Proposed Bicycle Infrastructure: None
(bike lanes, trails)

Current/Proposed Sidewalk Infrastructure: Yes perimeter sidewalks

Relevant Web-sites for Filling out Roadway Information:

City GIS Information: <http://www.cabq.gov/gis/advanced-map-viewer>

Comprehensive Plan Corridor/Designation: <https://abc-zone.com/document/abc-comp-plan-chapter-5-land-use> (map after Page 5-5)

Road Corridor Classification: <https://www.mrcog-nm.gov/DocumentCenter/View/1920/Long-Range-Roadway-System-LRRS-PDF?bidid=>

Traffic Volume and V/C Ratio: <https://www.mrcog-nm.gov/285/Traffic-Counts> and <https://public.mrcog-nm.gov/taqa/>

Bikeways: http://documents.cabq.gov/planning/adopted-longrange-plans/BTFP/Final/BTFP%20FINAL_Jun25.pdf (Map Pages 75 to 81)

TIS Determination

Note: Changes made to development proposals / assumptions, from the information provided above, will result in a new TIS determination.

Traffic Impact Study (TIS) Required: Yes No Borderline

Thresholds Met? Yes No

Mitigating Reasons for Not Requiring TIS: _____ Previously Studied:

Notes:

M. P. E.

3/16/2021

TRAFFIC ENGINEER

DATE



Submittal

The Scoping Form must be submitted as part of any building permit application, DRB application, or EPC application. See the Development Process Manual Chapter 7.4 for additional information.

Submit by email to the City Traffic Engineer mgrush@cabq.gov . Call 924-3362 for information.

Site Plan/Traffic Scoping Checklist

Site plan, building size in sq. ft. (show new, existing, remodel), to include the following items as applicable:

1. Access -- location and width of driveways
2. Sidewalks (Check DPM and IDO for sidewalk requirements. Also, Centers have wider sidewalk requirements.)
3. Bike Lanes (check for designated bike routes, long range bikeway system) ([*check MRCOG Bikeways and Trails in the 2040 MTP map*](#))
4. Location of nearby multi-use trails, if applicable ([*check MRCOG Bikeways and Trails in the 2040 MTP map*](#))
5. Location of nearby transit stops, transit stop amenities (eg. bench, shelter). Note if site is within 660 feet of premium transit.
6. Adjacent roadway(s) configuration (number of lanes, lane widths, turn bays, medians, etc.)
7. Distance from access point(s) to nearest adjacent driveways/intersections.
8. Note if site is within a Center and more specifically if it is within an Urban Center.
9. Note if site is adjacent to a Main Street.
10. Identify traffic volumes on adjacent roadway per MRCOG information. If site generates more than 100 vehicles per hour, identify v/c ratio on this form.

FORM DRWS: DRAINAGE REPORT/GRADING AND DRAINAGE PLAN / WATER & SANITARY SEWER AVAILABILITY
THIS FORM IS REQUIRED WITH THE DEVELOPMENT REVIEW BOARD APPLICATION FOR SUBDIVISIONS AND SITE PLANS.

PROJECT NAME: The Wymont

AGIS MAP # G-19-Z

LEGAL DESCRIPTIONS: LT 1-A-1 PLAT FOR LOTS 1-A-1 AND 5-A-1
LA MIRADA SUBDIVISION

DRAINAGE REPORT/GRADING AND DRAINAGE PLAN

A drainage report/grading and drainage plan, as per the Drainage Ordinance, was submitted to the City of Albuquerque Planning Department, Hydrology Division (2nd /Ground Floor, Plaza del Sol) on 8/11/2021 (date).


Applicant/Agent

8/21/2021
Date

Ernest Armijo
Hydrology Division Representative

8/31/2021
Date

NOTE: A GRADING AND DRAINAGE PLAN MUST BE APPROVED PRIOR TO DRB APPROVAL

WATER AND SEWER AVAILABILITY STATEMENT

A Water and Sewer Availability Statement for this project was requested to the ABCWUA (2nd/Ground floor, Plaza del Sol) on 8/23/2021 (date).


Applicant/Agent

8/31/2021
Date

Edwin Bergeron
ABCWUA Representative

8/31/2021
Date

PROJECT # _____



TIERRA WEST, LLC

September 2, 2021

Ms. Jolene Wolfley
Development Review Board
600 Second NW
Albuquerque, NM 87102

**RE: MAJOR SUBDIVISION PRELIMINARY PLAT APPROVAL
LT 1-A-1 PLAT FOR LOTS 1-A-1 AND 5-A-1
THE WYMONT FORMERLY KNOWN AS LA MIRADA SUBDIVISION
ZONE ATLAS MAP: G-19-Z**

Dear Ms. Wolfley:

Tierra West, LLC, on behalf of Wymont, LLC requests approval of a Major Subdivision Preliminary Plat approval submittal. The subject property is located at 4315 Wyoming Blvd. The site is zoned Mixed-Use Moderate (MX-M).

Site Location

The site is located at the southwest corner of Montgomery Blvd. and Wyoming Blvd. currently consisting of one Parcel to be divided up into 66 residential lots, 4 Tracts within the residential subdivision to be maintained by a Home Owner's Association and 8 commercial Tracts. We are seeking Preliminary Plat approval and have included and incorporated all of the comments from Sketch Plat. Also included is the infrastructure list for the public improvements. Per the IDO we are requesting preliminary approval based upon the following sections of the IDO:

Context /Request

6-6(L)(3) Review and Decision Criteria

6-6(L)(3)(a) An application for a Bulk Land Subdivision shall be approved if it complies with all applicable provisions of this IDO, the DPM, other adopted City regulations, and any conditions specifically applied to development of the property in a prior permit or approval affecting the property.

The site's zoning is MX-M and is in compliance with the purpose of the zone as stated in IDO 2-4(C)(1) and complies with the design standards per the sections listed in Table 2-4-6.

City Fire Marshal has approved the Fire One Plan for the overall site and a request for an Availability Letter is under review by the ABCWUA.

A TIS was also completed and is under review by City Transportation at this time. The TIS does not recommend any off-site improvements to the existing transportation network.

6-6(L)(3)(b) An application for a Preliminary Plat shall be approved if it complies with all applicable provisions of this IDO, the DPM, other adopted City regulations, and any conditions specifically applied to development of the property in a prior permit or approval affecting the property. 6-6(L)(3)(c) An application for a Final Plat shall be approved if it includes all changes, conditions, and requirements contained in the Preliminary Plat approval.

Comments received during the Sketch Plat review were incorporated into the Preliminary Plat.

6-6(I)(3)(b) The City's existing infrastructure and public improvements, including but not limited to its streets, trail, drainage, and sidewalk systems, have adequate capacity to serve the proposed development, and any burdens on those systems have been mitigated to the maximum extent practicable.

The development was reviewed by various agencies and City departments for determining if existing public infrastructure has adequate capacity for this development.

ABCWUA has provided a Water & Sewer Availability Statement for the residential subdivision that states the existing adjacent public water and sanitary sewer lines have adequate capacity for domestic service and fire protection. A separate Availability request is under review by the ABCWUA for the commercial portion of the project.

City Hydrology has approved Conceptual Grading and Drainage Plans for both the residential and commercial portions of this site.

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,



Ronald R. Bohannon, P.E.

cc: Jarrod Likar

JN: 2021008
RRB/jn/kw



DEVELOPMENT REVIEW BOARD

Agenda

ONLINE ZOOM MEETING

July 21, 2021

- Jolene Wolfley..... DRB Chair**
- Jeanne Wolfenbarger Transportation**
- Blaine Carter Water Authority**
- Ernest Armijo.Hydrology**
- Carl Garcia.....Code Enforcement**
- Cheryl Somerfeldt.....Parks and Rec**

Angela Gomez ~ DRB Hearing Monitor

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT ANGELA GOMEZ, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: DEFERRAL OF CASES WILL BE ANNOUNCED AT THE BEGINNING OF THE AGENDA.

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW. PER THE DRB RULES OF PROCEDURE, AN INDEFINITE DEFERRAL REQUIRES A RE-APPLICATION AND REPAYMENT OF ALL APPLICATION FEES.

NOTE: CLICK ON THE BLUE HIGHLIGHTED PROJECT # LINK TO ACCESS THE CASE. (Place mouse over hyperlink, right-click, choose "open hyperlink")

A. Call to Order: 9:00 A.M.

B. Changes and/or Additions to the Agenda

a. Motion to amend the rules to allow a virtual meeting because of the public health emergency.

b. Remote Meeting Information: <https://cabq.zoom.us/j/96464119110> Place mouse over hyperlink, right-click, choose "open hyperlink")

Meeting ID: 964 6411 9110

+1 312 626 6799 or Find your local number: <https://cabq.zoom.us/u/akvSf6cwq>

MAJOR CASES

1. [PR-2021-005390](#)

[SI-2021-00832](#) – SITE PLAN

[VA-2021-00217](#) – SIDEWALK WIDTH

WAIVER

CONSENSUS PLANNING, INC. agent for **GREATER ALBUQUERQUE HOUSING PARTNERSHIP** requests the aforementioned action(s) for all or a portion of: **LOTS 1-22, VALLEY VIEW ADDITION** zoned **MX-M**, located at **5000 CENTRAL AVE SE between JACKSON ST SE and SAN MATEO BLVD** containing approximately 1.61 acre(s). (K-17) [Deferred from 6/30/21]

PROPERTY OWNERS: GREATER ALBUQUERQUE HOUSING PARTNERSHIP

REQUEST: SITE PLAN FOR 4-STORY MIXED-USE DEVELOPMENT WITH 92 DWELLING UNITS AND 2,000 SQ. FT. COMMERCIAL, WAIVER FOR SIDEWALK WIDTH ALONG JACKSON STREET

2. [PR-2020-004457](#)
[SD-2021-00025](#) – PRELIMINARY PLAT
[VA-2021-00033](#) – VARIANCE
[VA-2021-00034](#) – TEMPORARY DEFERRAL
OF SIDEWALK

RIO GRANDE ENGINEERING agent for BARBARA MUELLER request(s) the aforementioned action(s) for all or a portion of **TRACT 22 VOLCANO CLIFFS SUBD UNIT 6 LOT 22, VOLCANO CLIFFS UNIT 6** zoned RA-1 , located on **QUIVIRA DR between VISTA VIEJA AVE and RETABLO RD** containing approximately 6.0 acre(s). (D-9)[Deferred from 3/3/21, 5/26/21]

PROPERTY OWNERS: MUELLER BARBARA A
REQUEST: PRELIMINARY PLAT, VARIANCE, TEMP SIDEWALK DEFERRAL

****APPLICANT REQUESTS DEFERRAL TO JULY 28, 2021.**

3. [PR-2018-001579](#)
[SI-2021-00304](#) – SITE PLAN
[SI-2021-00305](#) – SITE PLAN AMENDMENT

MODULUS ARCHITECTS INC. C/O ANGELA WILLIAMSON agent for WINROCK PARTNERS LLC requests the aforementioned action(s) for all or a portion of: **PARCEL Z FINAL PLAT PARCEL Z AND TRACTS A, D, E, F-1, G & H,** zoned MX-H, located at **2100 LOUISIANA BLVD NW between INDIAN SCHOOL and I-40** containing approximately 28.8654 acre(s). (J-19)[Deferred from 3/31/21, 4/28/21, 5/26/21, 6/23/21, 6/30/21, 7/14/21]

PROPERTY OWNERS: WINROCK PARTNERS LLC
REQUEST: SITE PLAN FOR NEW PARK CONCEPT TO INCLUDE WATERFEATURES, 2 INTERNAL PAD SITES FOR FUTURE USERS, 2 BUILDINGS ALONG DILLARDS. PARK INCLUDES KIDS PLAYING AREA, PATHS AND BRIDGES

****APPLICANT REQUESTS DEFERRAL TO AUGUST 4, 2021.**

4. [PR-2021-005411](#)
[SI-2021-00760](#) – SITE PLAN
[SD-2021-00100](#) – PRELIMINARY PLAT
[SD-2021-00101](#) – VACATION OF PRIVATE
EASEMENT-PNM
[SD-2021-00102](#) - VACATION OF PRIVATE
EASEMENT-TEMP CONSTRUCTION
[SD-2021-00103](#) - VACATION OF PRIVATE
EASEMENT-NMDOT

TIERRA WEST, LLC agent for **ALBUQUERQUE ANUSA, LLC – CHARLES W SABADASH III** requests the aforementioned action(s) for all or a portion of: zoned NR-LM, located at **9100 PAN AMERICAN between ALAMEDA PL NE and GLENDALE** containing approximately 5.2896 acre(s). (B-18) [Deferred from 6/16/21, 6/30/21, 7/14/21]

PROPERTY OWNERS: ALBUQUERQUE ANUSA, LLC, MELLOY BROTHERS MOTOR LTD CO
REQUEST: SITE PLAN FOR LIGHT VEHICLE SALES AND RENTAL, MAJOR PRELIMINARY PLAT, PRIVATE EASEMENT VACATIONS

5. [PR-2021-005508](#)
[SI-2021-00809](#) – SITE PLAN

GARCIA/KRAEMER & ASSOCIATES agent for **JP MORGAN CHASE C/O SUNIL DUBEY** requests the aforementioned action(s) for all or a portion of: **TRACT A-1-A-1, THE PLAZA AT PASEO DEL NORTE** zoned **MX-M**, located at **9261 COORS BLVD between PASEO DEL NORTE NW and IRVING BLVD NW** containing approximately 25.97 acre(s). (C-13)
[Deferred from 6/23/21, 6/30/21]

PROPERTY OWNERS: CPP PASEO I LLC & CPP PASEO II LLC
REQUEST: CONSTRUCTION OF A 3291 SQUARE FOOT BANK BUILDING WITH DRIVE THRU ON A 1.257 ACRE PAD SITE WITHIN AN EXISTING 25.97 ACRE SHOPPING CENTER SITE

MINOR CASES

6. [PR-2020-004138](#)
[SD-2021-00142](#) – AMENDMENT OF VACATION OF RIGHT OF WAY- HAWKING DRIVE and EASTMAN AVENUE

BOHANNAN HUSTON, INC. agent for **NETFLIX STUDIOS, LLC** requests the aforementioned action(s) for all or a portion of: **HAWKING DRIVE between STRYKER ROAD and NORTH OF SAGAN AVE, AND EASTMAN AVE SE between UNIVERSITY BLVD and HAWKING DRIVE, MESA DEL SOL INNOVATION PARK** zoned **PC**, located on **EASTMAN AVE SE and HAWKING DR SE, EAST OF UNIVERSITY BLVD** containing approximately 11.2 acre(s). (R-16)

PROPERTY OWNERS: NETFLIX STUDIO LLC, CITY OF ALBUQUERQUE
REQUEST: AMENDMENT OF VACATION OF RIGHT OF WAY IN PREPARATION OF FUTURE SUBDIVISION ACTION

7. [PR-2019-002253](#)
[SD-2021-00140](#) – PRELIMINARY/FINAL PLAT
Sketch plat 8-19-2020

JUANITA GARCIA – JAG PLANNING AND ZONING agent for **OLD TOWN PLAZA, LLC C/O JOYCE T. BATTAGLIA** requests the aforementioned action(s) for all or a portion of: **TRACT B, LANDS OF CASA DE ARMIJO, LA PLACITA PATIO MARKETS AND PLAZA HACIENDA** zoned **MX-T**, located at **302 SAN FELIPE between MOUNTAIN RD NW and CENTRAL AVE NW** containing approximately 2.17 acre(s). (J-13)

PROPERTY OWNERS: OLD TOWN PLAZA. LLC
REQUEST: SUBDIVIDE EXISTING TRACT INTO 2 SEPARATE TRACTS

8. [PR-2020-004256](#)
SD-2021-00141 – PRELIMINARY/FINAL
 PLAT
 Sketch plat 8-19-2020
- CSI – CARTESIAN SURVEYS, INC. agent for GLEN EFFERTZ requests the aforementioned action(s) for all or a portion of: **TRACT A, LAND OF GLEN EFFERTZ** zoned R-1B, located at **2918 MOUNTAIN RD NW between LAGUNA SECA LANE NW and MONTOYA ST NW** containing approximately 0.8661 acre(s). (J-12)
- PROPERTY OWNERS:** MELINDA GARCIA & GLEN EFFERTZ
REQUEST: REQUEST PLAT REVIEW FOR MINOR SUBDIVISION CREATING TWO NEW TRACTS FROM ONE EXISTING TRACT, GRANT EASEMENTS
-
9. [PR-2021-005019](#)
 (AKA: [PR-2020-003259](#))
SD-2021-00110 – VACATION OF PUBLIC
 EASEMENT
SD-2021-00109 – PRELIMINARY/FINAL
 PLAT
- CSI – CARTESIAN SURVEY'S INC. agent for PAY AND SAVE request(s) the aforementioned action(s) for all or a portion of **TRACT A-2, TRACT A LOTS 1-5 AND 11-17, LANDS OF M.S.T & T, FURR'S PROPERTIES INC.; RIVERA PLACE**, zoned MX-M, located at **4701 4TH ST NW between GRIEGOS RD NW and PALO DURO AVE NW**, containing approximately 3.3677 acre(s). (F-14)[*Deferred from 6/9/21, 6/16/21, 6/30/21, 7/14/21*]
- PROPERTY OWNERS:** PAY AND SAVE, INC
REQUEST: COMBINE 15 EXISTING PARCELS INTO ONE PROPOSED TRACT, VACATE PUBLIC EASEMENT, GRANT PUBLIC EASEMENT
-
10. [PR-2021-005017](#)
SD-2021-00121 – PRELIMINARY/FINAL
 PLAT
VA-2021-00237 – SIDEWALK WAIVER
- ARCH + PLAN LAND USE CONSULTANTS agent for FRANCES McCARTY/McCARTY RVT request(s) the aforementioned action(s) for all or a portion of: **27 P-1, 28 P-1 & 29 P-1, OXBOW BLUFF** zoned R-1D, located at **4110 WATERWILLOW between SILVERY MINNOW PL and GREY HAWK PL**, containing approximately 1.9940 acre(s). (F-11)[*Deferred from 6/30/21*]
- PROPERTY OWNERS:** FRANCES McCARTY/McCARTY RVT
REQUEST: LOT CONSOLIDATION FOR 3 LOTS INTO 2 LOTS, VACATION & DEDICATION OF BUILDING ENVELOPES
-
11. [PR-2020-004645](#)
SD-2021-00135 – PRELIMINARY/FINAL
 PLAT (Sketch Plat 3-3-21)
- ARCH + PLAN LAND USE CONSULTANTS agent for GOODMAN LAWRENCE RVT requests the aforementioned action(s) for all or a portion of: **TRACT A, SNOW VISTA INVESTORS** zoned NR-C , located at **1125 SNOW VISTA SW between DEVARGAS RD and BENAVIDES RD** containing approximately 10.7788 acre(s). (M-9) [*Deferred from 7/14/21*]
- PROPERTY OWNERS:** LAWRENCE GOODMAN RVT
REQUEST: SUBDIVIDE ONE LOT INTO 5 LOTS

12. [PR-2020-004640](#)
(AKA: PR-2020-005571)
SD-2021-00113 – PRELIMINARY/FINAL PLAT
SD-2021-00114 – VACATION OF PUBLIC EASEMENT
SD-2021-00115 – VACATION OF PUBLIC EASEMENT
- MODULUS ARCHITECTS** agent(s) for **MONTGOMERY PLAZA PARTNERS LLC** request(s) the aforementioned action(s) for all or a portion of: **A, B, 1-C, ALLWOODS & MONTGOMERY PLAZA** zoned MX-M, located at **4595 & 4601 SAN MATEO BLVD NE between MONTGOMERY BLVD NE and SAN MATEO BLVD NE**, containing approximately 8.8 acre(s). (F-17)[*Deferred from 6/16/21, 6/30/21, 7/14/21*]
- PROPERTY OWNERS:** MONTGOMERY PLAZA PARTNERS, LLC
REQUEST: SUBDIVIDE EXISTING 3 TRACTS, VACATE EASEMENTS/GRANT EASEMENTS
-

13. [PR-2019-004717](#)
(AKA: PR-2019-003222)
SD-2021-00116 – PRELIMINARY/FINAL PLAT
- TRB HOLDINGS LLC** request(s) the aforementioned action(s) for all or a portion of: **LOTS 8-10 AND VACATED PORTION OF CITY RIGHT OF WAY, BLOCK 3, PANORAMA ADDITION** zoned MX-M, located at **12701, 12712 & 12714 COPPER AVE NE between CHELWOOD and TRAMWAY**, containing approximately 0.302 acre(s). (K-22)[*Deferred from 6/23/21, 6/30/21, 7/14/21*]
- PROPERTY OWNERS:** TRB HOLDINGS LLC
REQUEST: RE-PLAT OF A CONSOLIDATION OF THREE LOTS WITH THE SAME ZONING, AFTER VACATING A RIGHT OF WAY.
-

SKETCH PLAT

14. [PR-2021-005744](#)
PS-2021-00086 – SKETCH PLAT
- JOHN & STEPHANIE FARROW** requests the aforementioned action(s) for all or a portion of: zoned R-A, **located at 2400 MEADOWVIEW DRIVE NW between MATHEW AVENUE and INDIAN SCHOOL ROAD** containing approximately 1.7125 acre(s). (G-13)
- PROPERTY OWNERS:** JOHN & STEPHANIE FARROW
REQUEST: SPLIT OFF THE NORTH 110; FOR SALE TO BUYER TO BUILD SINGLE FAMILY HOME
-

15. [PR-2020-003656](#)
PS-2021-00087 – SKETCH PLAT
- ARCH + PLAN LAND USE CONSULTANTS** agent for **JAMES & MARY JEAN PLUMMER** requests the aforementioned action(s) for all or a portion of: **164-A1, 164-A2, 164-A4, 164-B** zoned R-A, **located at 4701 SAN ISIDRO NW between GRIEGOS RD and AVENIDA CRISTO REY** containing approximately 0.3138 acre(s). (F-13)
- PROPERTY OWNERS:** JAMES & MARY JEAN PLUMMER
REQUEST: LOT CONSOLIDATION – 4 LOTS INTO ONE LOT
-

16. [PR-2020-004174](#)
PS-2021-00088 – SKETCH PLAT
 Sketch plat 8-5-2020
- MARK GOODWIN & ASSOCIATES** agent for **REMBE URBAN DESIGN & DEVELOPMENT** requests the aforementioned action(s) for all or a portion of: **TRACTS 143, 144A1, 144B3, 167B, 168A1, 169, 175, 171 MRGCD MAP 31** zoned **R-A**, located on **GRIEGOS** between **GRIEGOS DRAIN** and **SAN ISIDRO ST NW** containing approximately **9.37** acre(s). (F-13)
- PROPERTY OWNERS:** ARCHDIOCESE OF SANTA FE REAL ESTATE CORP/
 OUR LADY OF GUADALUPE
REQUEST: SKETCH PLAT REVIEW FOR LAS RAMBLAS SUBDIVISION
-
17. [PR-2021-005746](#)
PS-2021-00089 – SKETCH PLAT
- CSI – CARTESIAN SURVEYS, INC.** agent for **AIM MANAGEMENT CORP.** requests the aforementioned action(s) for all or a portion of: **LOTS 1-A AND 1-B** zoned **NR-BP**, located at **5800 JEFFERSON ST NE** between **BALLOON PARK ROAD NE** and **JEFFERSON PLAZA NE** containing approximately **4.6540** acre(s). (E-17)
- PROPERTY OWNERS:** OSUNA DEVELOPMENT CO, LLC
REQUEST: REVIEW FOR 2 PROPOSED LOTS FROM 2 EXISTING LOTS IN THE FRATERNAL ORDER OF THE POLICE ADDITION, VACATE EASEMENTS, GRANT EASEMENT
-
18. [PR-2021-005745](#)
PS-2021-00090 – SKETCH PLAT
- HUITT-ZOLLARS** agent for **MDS INVESTMENTS, LLC** requests the aforementioned action(s) for all or a portion of: **LOT A-1-A-2, MESA DEL SOL INNOVATION PARK** zoned **PC**, located west of **STRAND LOOP SE** and south of **BOBBY FOSTER ROAD SE** containing approximately **31.8** acre(s). (R-15, S-15)
- PROPERTY OWNERS:** MDS INVESTMENTS, LLC
REQUEST: SINGLE FAMILY RESIDENTIAL 172 UNITS
-
19. [PR-2019-0002309](#)
PS-2021-00091 – SKETCH PLAT
- TIERRA WEST, LLC** agent for **WYMONT LLC** requests the aforementioned action(s) for all or a portion of: **LOT 1-A-1 PLAT FOR LOTS 1-A-1 AND 5-A-1, LA MIRADA SUBDIVISION** zoned **MX-M**, located at **4315 WYOMING BLVD NE** between **MONTGOMERY BLVD NE** and **LA MIRADA PL NE** containing approximately **15.1868** acre(s). (G-19)
- PROPERTY OWNERS:** M&M CO
REQUEST: SKETCH PLAT REVIEW AND COMMENT

Other Matters

Action Sheet Minutes – July 14, 2021

DRB Member Signing Session for Approved Cases

ADJOURN

Kristl Walker

From: Garmona, Dalaina L. <dlcarmona@cabq.gov>
Sent: Wednesday, August 25, 2021 3:34 PM
To: Kristl Walker
Subject: 4315 Wyoming Blvd Neighborhood Meeting Inquiry
Attachments: IDOZoneAtlasPage_G-19-Z.PDF

Dear Applicant:

Please find the neighborhood contact information listed below. Please make certain to read the information further down in this e-mail as it will help answer other questions you may have.

Association Name	First Name	Last Name	Email	Address Line 1	City	State	Zip	Mobile Phone	Phone
Loma Del Rey NA	Carol	Orona	oronacarol@hotmail.com	8416 Palo Duro Avenue NE	Albuquerque	NM	87111		5052948
Loma Del Rey NA	Jessica	Armijo	jarmijo12@outlookl.com	3701 Erbbe Street NE	Albuquerque	NM	87111		5054001
District 4 Coalition of Neighborhood Associations	Daniel	Regan	dlreganabq@gmail.com	4109 Channa Street NE	Albuquerque	NM	87109	5052802549	
District 4 Coalition of Neighborhood Associations	Mildred	Griffiee	mgriffiee@noreste.org	PO Box 90986	Albuquerque	NM	87199	5052800082	
District 7 Coalition of Neighborhood Associations	Darcy	Bushnell	dmc793@gmail.com	PO Box 35704	Albuquerque	NM	87176	5053795335	
District 7 Coalition of Neighborhood Associations	Tyler	Richter	tyler.richter@gmail.com	801 Madison NE	Albuquerque	NM	87110	5052392903	

PLEASE NOTE: The ONC does not have any jurisdiction over any other aspect of your application beyond this neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, buffers, or project plans, so we encourage you to contact the Planning Department at: 505-924-3857 Option #1, e-mail: devhelp@cabq.gov, or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

Confidentiality Notice: This e-mail, including all attachments is for the sole use of the intended recipient(s) and may contain confidential and privileged information. Any unauthorized review, use, disclosure or distribution is prohibited unless specifically provided under the New Mexico Inspection of Public Records Act. If you are not the intended recipient, please contact the sender and destroy all copies of this message.

From: webmaster=cabq.gov@mailgun.org [mailto:webmaster=cabq.gov@mailgun.org] **On Behalf Of** webmaster@cabq.gov
Sent: Wednesday, August 25, 2021 1:34 PM
To: Office of Neighborhood Coordination <kwalker@tirrorawestllc.com>
Cc: Office of Neighborhood Coordination <onc@cabq.gov>
Subject: Neighborhood Meeting Inquiry Sheet Submission

Neighborhood Meeting Inquiry For:
Development Review Board

If you selected "Other" in the question above, please describe what you are seeking a Neighborhood Meeting Inquiry for below:
Contact Name Kristl Walker
Telephone Number 5058583100
Email Address kwalker@tirrorawestllc.com

Company Name
Company Address 5571 Midway Park Pl
City Albuquerque
State
ZIP 87109

Legal description of the subject site for this project:
LT 1-A-1 PLAT FOR LOSTS 1-A-1 AND 5-A-1 LA MIRADA SUBDIVISION
Physical address of subject site:
4315 Wyoming Blvd
Subject site cross streets:
Wyoming Blvd & Montgomery
Other subject site identifiers:
This site is located on the following zone atlas page:
G-19-Z

**MAILED
NEIGHBORHOOD
NOTICES**

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed/Emailed to a Neighborhood Association**

Date of Notice*: September 2, 2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) Public Notice to:

Neighborhood Association (NA)*: Loma Del Rey NA

Name of NA Representative*: Carol Orona

Email Address* or Mailing Address* of NA Representative¹: 8416 Palo Duro Avenue NE, Albuquerque, NM 87111

Information Required by IDO Subsection 14-16-6-4(K)(1)(a)

1. Subject Property Address* 4315 Wyoming Blvd NE
Location Description Land Only LT 1-A-1 PLAT FOR LOTS 1-A-1 AND 5-A-1 LA MIRADA SUBDIVISION
2. Property Owner* Wymont LLC
3. Agent/Applicant* [if applicable] Tierra West LLC
4. Application(s) Type* per IDO Table 6-1-1 [mark all that apply]
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision Preliminary Plat Approval (Minor or Major)
 - Vacation _____ (Easement/Private Way or Public Right-of-way)
 - Variance
 - Waiver
 - Other: _____

Summary of project/request²:

This site is located at the southwest corner of Montgomery Blvd and Wyoming Blvd. currently consisting of one parcel to be divided up into 66 residential lots and 8 commercial tracts.

¹ Pursuant to IDO Subsection 14-16-6-4(K)(5)(a), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

² Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

5. **For Site Plan Applications only***, attach site plan showing, at a minimum:
- a. Location of proposed buildings and landscape areas.*
 - b. Access and circulation for vehicles and pedestrians.*
 - c. Maximum height of any proposed structures, with building elevations.*
 - d. **For residential development***: Maximum number of proposed dwelling units.
 - e. **For non-residential development***:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information [Optional]:

From the IDO Zoning Map⁶:

1. Area of Property [typically in acres] 15.1868
 2. IDO Zone District MX-M
 3. Overlay Zone(s) [if applicable] _____
 4. Center or Corridor Area [if applicable] _____
- Current Land Use(s) [vacant, if none] Commerical retail
-

NOTE: Pursuant to IDO Subsection 14-16-6-4(L), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

Carol Orona- Loma Del Rey NA
Sarah Matosian - Loma Del Rey NA

Cc: Daniel Regan - District 4 Coalition of NA [Other Neighborhood Associations, if any]
Mildred Griffiee - District 4 Coalition of NA
Darcy Bushnell- District 7 Coalition of NA
Tyler Richter- District 7 Coalition of NA

⁶ Available here: <https://tinurl.com/idozoningmap>

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed/Emailed to a Neighborhood Association**

Date of Notice*: September 2, 2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) Public Notice to:

Neighborhood Association (NA)*: Loma Del Rey NA

Name of NA Representative*: Jessica Armijo

Email Address* or Mailing Address* of NA Representative¹: 3701 Erbbe Street NE, Albuquerque, NM 87111

Information Required by IDO Subsection 14-16-6-4(K)(1)(a)

1. Subject Property Address* 4315 Wyoming Blvd NE
Location Description Land Only LT 1-A-1 PLAT FOR LOTS 1-A-1 AND 5-A-1 LA MIRADA SUBDIVISION
2. Property Owner* Wymont LLC
3. Agent/Applicant* [if applicable] Tierra West LLC
4. Application(s) Type* per IDO Table 6-1-1 [mark all that apply]
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision Preliminary Plat Approval (Minor or Major)
 - Vacation _____ (Easement/Private Way or Public Right-of-way)
 - Variance
 - Waiver
 - Other: _____

Summary of project/request²:

This site is located at the southwest corner of Montgomery Blvd and Wyoming Blvd. currently consisting of one parcel to be divided up into 66 residential lots and 8 commercial tracts.

¹ Pursuant to IDO Subsection 14-16-6-4(K)(5)(a), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

² Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

5. This application will be decided at a public meeting or hearing by*:

- Zoning Hearing Examiner (ZHE) Development Review Board (DRB)
- Landmarks Commission (LC) Environmental Planning Commission (EPC)

Date/Time*: September 29, 2021 9:00am

Location*³: Zoom Meeting

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found*⁴:

<https://wetransfer.com/>

Information Required for Mail/Email Notice by IDO Subsection 6-4(K)(1)(b):

1. Zone Atlas Page(s)*⁵ G-19-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project*:

- Deviation(s) Variance(s) Waiver(s)

Explanation*: N/A

4. A Pre-submittal Neighborhood Meeting was required by Table 6-1-1: Yes No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

³ Physical address or Zoom link

⁴ Address (mailing or email), phone number, or website to be provided by the applicant

⁵ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

5. **For Site Plan Applications only***, attach site plan showing, at a minimum:
- a. Location of proposed buildings and landscape areas.*
 - b. Access and circulation for vehicles and pedestrians.*
 - c. Maximum height of any proposed structures, with building elevations.*
 - d. **For residential development***: Maximum number of proposed dwelling units.
 - e. **For non-residential development***:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information [Optional]:

From the IDO Zoning Map⁶:

1. Area of Property [typically in acres] 15.1868
 2. IDO Zone District MX-M
 3. Overlay Zone(s) [if applicable] _____
 4. Center or Corridor Area [if applicable] _____
- Current Land Use(s) [vacant, if none] Commerical retail
-

NOTE: Pursuant to IDO Subsection 14-16-6-4(L), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

Carol Orona- Loma Del Rey NA
Sarah Matosian - Loma Del Rey NA

Cc: Daniel Regan - District 4 Coalition of NA [Other Neighborhood Associations, if any]
Mildred Griffiee - District 4 Coalition of NA
Darcy Bushnell- District 7 Coalition of NA
Tyler Richter- District 7 Coalition of NA

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[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed/Emailed to a Neighborhood Association**

Date of Notice*: September 2, 2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) Public Notice to:

Neighborhood Association (NA)*: District 4 Coalition of Neighborhood Associations

Name of NA Representative*: Daniel Regan

Email Address* or Mailing Address* of NA Representative¹: 4109 Chama Stree NE, Albuquerque, NM 87109

Information Required by IDO Subsection 14-16-6-4(K)(1)(a)

1. Subject Property Address* 4315 Wyoming Blvd NE
Location Description Land Only LT 1-A-1 PLAT FOR LOTS 1-A-1 AND 5-A-1 LA MIRADA SUBDIVISION
2. Property Owner* Wymont LLC
3. Agent/Applicant* [if applicable] Tierra West LLC
4. Application(s) Type* per IDO Table 6-1-1 [mark all that apply]
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision Preliminary Plat Approval (Minor or **Major**)
 - Vacation _____ (Easement/Private Way or Public Right-of-way)
 - Variance
 - Waiver
 - Other: _____

Summary of project/request²:

This site is located at the southwest corner of Montgomery Blvd and Wyoming Blvd. currently consisting of one parcel to be divided up into 66 residential lots and 8 commercial tracts.

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² Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

5. **For Site Plan Applications only***, attach site plan showing, at a minimum:
- a. Location of proposed buildings and landscape areas.*
 - b. Access and circulation for vehicles and pedestrians.*
 - c. Maximum height of any proposed structures, with building elevations.*
 - d. **For residential development***: Maximum number of proposed dwelling units.
 - e. **For non-residential development***:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information [Optional]:

From the IDO Zoning Map⁶:

1. Area of Property [typically in acres] 15.1868
 2. IDO Zone District MX-M
 3. Overlay Zone(s) [if applicable] _____
 4. Center or Corridor Area [if applicable] _____
- Current Land Use(s) [vacant, if none] Commerical retail
-

NOTE: Pursuant to IDO Subsection 14-16-6-4(L), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

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Carol Orona- Loma Del Rey NA
Sarah Matosian - Loma Del Rey NA

Cc: Daniel Regan - District 4 Coalition of NA [Other Neighborhood Associations, if any]
Mildred Griffee - District 4 Coalition of NA
Darcy Bushnell- District 7 Coalition of NA
Tyler Richter- District 7 Coalition of NA

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Mailed/Emailed to a Neighborhood Association**

Date of Notice*: September 2,2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) Public Notice to:

Neighborhood Association (NA)*: District 4 Coalition of Neighborhood Associations

Name of NA Representative*: Mildred Griffiee

Email Address* or Mailing Address* of NA Representative¹: PO Box 90986, Albuquerque, NM 87199

Information Required by IDO Subsection 14-16-6-4(K)(1)(a)

1. Subject Property Address* 4315 Wyoming Blvd NE
Location Description Land Only LT 1-A-1 PLAT FOR LOTS 1-A-1 AND 5-A-1 LA MIRADA SUBDIVISION
2. Property Owner* Wymont LLC
3. Agent/Applicant* [if applicable] Tierra West LLC
4. Application(s) Type* per IDO Table 6-1-1 [mark all that apply]
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
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 - Vacation _____ (Easement/Private Way or Public Right-of-way)
 - Variance
 - Waiver
 - Other: _____

Summary of project/request²:

This site is located at the southwest corner of Montgomery Blvd and Wyoming Blvd. currently consisting of one parcel to be divided up into 66 residential lots and 8 commercial tracts.

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² Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

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- a. Location of proposed buildings and landscape areas.*
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 - e. **For non-residential development***:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information [Optional]:

From the IDO Zoning Map⁶:

1. Area of Property [typically in acres] 15.1868
 2. IDO Zone District MX-M
 3. Overlay Zone(s) [if applicable] _____
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- Current Land Use(s) [vacant, if none] Commerical retail
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Carol Orona- Loma Del Rey NA
Sarah Matosian - Loma Del Rey NA

Cc: Daniel Regan - District 4 Coalition of NA _____ [Other Neighborhood Associations, if any]
Mildred Griffiee - District 4 Coalition of NA
Darcy Bushnell- District 7 Coalition of NA
Tyler Richter- District 7 Coalition of NA

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**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed/Emailed to a Neighborhood Association**

Date of Notice*: September 2, 2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) Public Notice to:

Neighborhood Association (NA)*: District 7 Coalition of Neighborhood Associations

Name of NA Representative*: Darcy Bushnell

Email Address* or Mailing Address* of NA Representative¹: PO Box 35704, Albuquerque, NM 87176

Information Required by IDO Subsection 14-16-6-4(K)(1)(a)

1. Subject Property Address* 4315 Wyoming Blvd NE
Location Description Land Only LT 1-A-1 PLAT FOR LOTS 1-A-1 AND 5-A-1 LA MIRADA SUBDIVISION
2. Property Owner* Wymont LLC
3. Agent/Applicant* [if applicable] Tierra West LLC
4. Application(s) Type* per IDO Table 6-1-1 [mark all that apply]
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
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 - Vacation _____ (Easement/Private Way or Public Right-of-way)
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 - Waiver
 - Other: _____

Summary of project/request²:

This site is located at the southwest corner of Montgomery Blvd and Wyoming Blvd. currently consisting of one parcel to be divided up into 66 residential lots and 8 commercial tracts.

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Additional Information [Optional]:

From the IDO Zoning Map⁶:

1. Area of Property [typically in acres] 15.1868
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- Current Land Use(s) [vacant, if none] Commerical retail
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Useful Links

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<https://ido.abc-zone.com/>

IDO Interactive Map

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Carol Orona- Loma Del Rey NA
Sarah Matosian - Loma Del Rey NA

Cc: Daniel Regan - District 4 Coalition of NA [Other Neighborhood Associations, if any]

Mildred Griffie - District 4 Coalition of NA

Darcy Bushnell- District 7 Coalition of NA

Tyler Richter- District 7 Coalition of NA

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**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed/Emailed to a Neighborhood Association**

Date of Notice*: September 2, 2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) Public Notice to:

Neighborhood Association (NA)*: District 7 Coalition of Neighborhood Associations

Name of NA Representative*: Tyler Richter

Email Address* or Mailing Address* of NA Representative¹: 801 Madison NE, Albuquerque, NM 87110

Information Required by IDO Subsection 14-16-6-4(K)(1)(a)

1. Subject Property Address* 4315 Wyoming Blvd NE
Location Description Land Only LT 1-A-1 PLAT FOR LOTS 1-A-1 AND 5-A-1 LA MIRADA SUBDIVISION
2. Property Owner* Wymont LLC
3. Agent/Applicant* [if applicable] Tierra West LLC
4. Application(s) Type* per IDO Table 6-1-1 [mark all that apply]
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision Preliminary Plat Approval (Minor or Major)
 - Vacation _____ (Easement/Private Way or Public Right-of-way)
 - Variance
 - Waiver
 - Other: _____

Summary of project/request²:

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 - e. **For non-residential development***:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information [Optional]:

From the IDO Zoning Map⁶:

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 4. Center or Corridor Area [if applicable] _____
- Current Land Use(s) [vacant, if none] Commerical retail
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Useful Links

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IDO Interactive Map

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Carol Orona- Loma Del Rey NA
Sarah Matosian - Loma Del Rey NA

Cc: Daniel Regan - District 4 Coalition of NA _____ [Other Neighborhood Associations, if any]

Mildred Griffiee - District 4 Coalition of NA

Darcy Bushnell- District 7 Coalition of NA _____

Tyler Richter- District 7 Coalition of NA

⁶ Available here: <https://tinurl.com/idozoningmap>

NEIGHBORHOOD PROOF OF MAIL

Full submittal packet was mailed

P

US POSTAGE & FEES PAID
1 LB PRIORITY MAIL RATE
ZONE 1 NO SURCHARGE
ComBastPrice

06250008688999
FROM 87109



stamps
and
evidence
09/02/2021

PRIORITY MAIL 1-DAY™

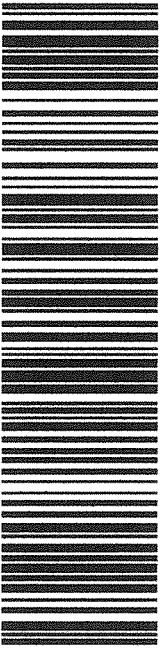
Tierra West, LLC
5571 MIDWAY PARK PL NE
ALBUQUERQUE NM 87109

0005

C001

SHIP TO:
Carol Orona
Loma Del Rey NA
8416 Palo Duro Ave NE
Albuquerque NM 87111-3239

USPS TRACKING #



9405 5118 9956 1500 0522 23



P

US POSTAGE & FEES PAID
1 LB PRIORITY MAIL RATE
ZONE 1 NO SURCHARGE
ComBasPrice

062S0006588899
FROM 87109



stamps
encia
09/02/2021

PRIORITY MAIL 1-DAY™

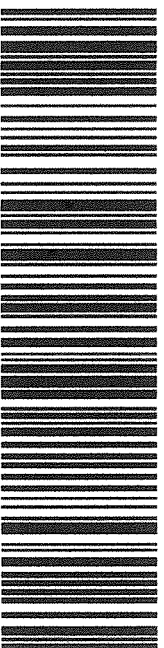
Tierra West, LLC
5571 MIDWAY PARK PL NE
ALBUQUERQUE NM 87109

0005

C005

SHIP TO: Jessica Armijo
Loma Del Rey NA
3701 Erbbe Street NE
Albuquerque NM 87111-3357

USPS TRACKING #



9405 5118 9956 1500 0996 17

P

US POSTAGE & FEES PAID
1 LB PRIORITY MAIL RATE
ZONE 1 NO SURCHARGE
ComBasPrice

062S0008588899
FROM 87109



stamps
indicia
09/02/2021

PRIORITY MAIL 1-DAY™

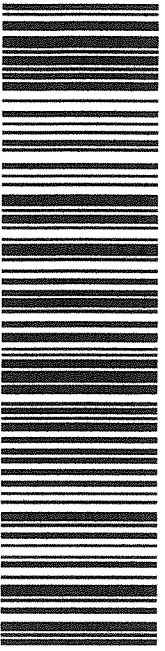
Tierra West, LLC
5571 MIDWAY PARK PL NE
ALBUQUERQUE NM 87109

0005

C016

SHIP TO:
Daniel Regan
District 4 Coalition of NA
4109 Chama Street NE
Albuquerque NM 87109-1810

USPS TRACKING #



9405 5118 9956 1500 0924 34



P

US POSTAGE & FEES PAID
1 LB PRIORITY MAIL RATE
ZONE 1 NO SURCHARGE
ComBasPrice

062S0008588899
FROM 87109



stamps
enticia
09/02/2021

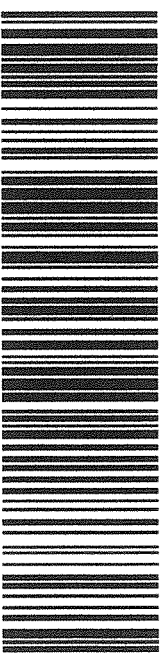
PRIORITY MAIL 1-DAY™

Tierra West, LLC
5571 MIDWAY PARK PL NE
ALBUQUERQUE NM 87109
0005

B009

SHIP Mildred Griffee
TO: District 4 Coalition of NA
PO BOX 90986
Albuquerque NM 87199-0986

USPS TRACKING #



9405 5118 9956 1500 0961 35

P

US POSTAGE & FEES PAID
1 LB PRIORITY MAIL RATE
ZONE 1 NO SURCHARGE
ComBasPrice

062S0008588899
FROM 87109



stamps
ending
09/02/2021

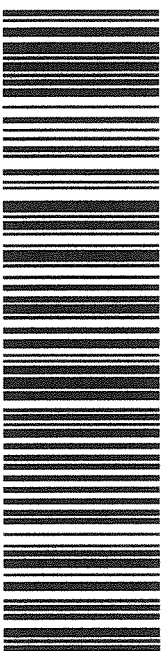
PRIORITY MAIL 1-DAY™

Tierra West, LLC **0005**
5571 MIDWAY PARK PL NE
ALBUQUERQUE NM 87109

B039

SHIP TO: Darcy Bushnell
District 7 Coalition NA
PO BOX 35704
Albuquerque NM 87176-5704

USPS TRACKING



9405 5118 9956 1500 0241 21



P

US POSTAGE & FEES PAID
1 LB PRIORITY MAIL RATE
ZONE 1 NO SURCHARGE
ComBasPrice

0625000858899
FROM 87109



stamps
endicia
09/02/2021

PRIORITY MAIL 1-DAY™

Tierra West, LLC
5571 MIDWAY PARK PL NE
ALBUQUERQUE NM 87109

0005

C018

SHIP TO: Tyler Richter
District 7 Coalition NA
801 Madison St NE
Albuquerque NM 87110-6212

USPS TRACKING #



9405 5118 9956 1500 0280 37

**EMAILED
NEIGHBORHOOD
NOTICES**

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed/Emailed to a Neighborhood Association**

Date of Notice*: September 2,2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) Public Notice to:

Neighborhood Association (NA)*: Loma Del Rey NA

Name of NA Representative*: Carol Orona

Email Address* or Mailing Address* of NA Representative¹: oronacarol@hotmail.com

Information Required by IDO Subsection 14-16-6-4(K)(1)(a)

1. Subject Property Address* 4315 Wyoming Blvd NE
Location Description Land Only LT 1-A-1 PLAT FOR LOTS 1-A-1 AND 5-A-1 LA MIRADA SUBDIVISION
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3. Agent/Applicant* [if applicable] Tierra West LLC
4. Application(s) Type* per IDO Table 6-1-1 [mark all that apply]
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
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 - Vacation _____ (Easement/Private Way or Public Right-of-way)
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 - Waiver
 - Other: _____

Summary of project/request²:

This site is located at the southwest corner of Montgomery Blvd and Wyoming Blvd. currently consisting
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[Note: Items with an asterisk (*) are required.]

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 - d. **For residential development***: Maximum number of proposed dwelling units.
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 - Gross floor area for each proposed use.

Additional Information [Optional]:

From the IDO Zoning Map⁶:

1. Area of Property [typically in acres] 15.1868
 2. IDO Zone District MX-M
 3. Overlay Zone(s) [if applicable] _____
 4. Center or Corridor Area [if applicable] _____
- Current Land Use(s) [vacant, if none] Commerical retail
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Carol Orona- Loma Del Rey NA
Sarah Matosian - Loma Del Rey NA

Cc: Daniel Regan - District 4 Coalition of NA [Other Neighborhood Associations, if any]

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Tyler Richter- District 7 Coalition of NA

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[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed/Emailed to a Neighborhood Association**

Date of Notice*: September 2,2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) Public Notice to:

Neighborhood Association (NA)*: Loma Del Rey NA

Name of NA Representative*: Jessica Armijo

Email Address* or Mailing Address* of NA Representative¹: jarmijo12@outlook.com

Information Required by IDO Subsection 14-16-6-4(K)(1)(a)

1. Subject Property Address* 4315 Wyoming Blvd NE
Location Description Land Only LT 1-A-1 PLAT FOR LOTS 1-A-1 AND 5-A-1 LA MIRADA SUBDIVISION
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Summary of project/request²*: _____

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² Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

5. This application will be decided at a public meeting or hearing by*:

- Zoning Hearing Examiner (ZHE) Development Review Board (DRB)
 Landmarks Commission (LC) Environmental Planning Commission (EPC)

Date/Time*: September 29, 2021 9:00am

Location*³: Zoom Meeting

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found*⁴:

<https://wetransfer.com/>

Information Required for Mail/Email Notice by IDO Subsection 6-4(K)(1)(b):

1. Zone Atlas Page(s)*⁵ G-19-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project*:

- Deviation(s) Variance(s) Waiver(s)

Explanation*: N/A

4. A Pre-submittal Neighborhood Meeting was required by Table 6-1-1: Yes No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

³ Physical address or Zoom link

⁴ Address (mailing or email), phone number, or website to be provided by the applicant

⁵ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

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Additional Information [Optional]:

From the IDO Zoning Map⁶:

1. Area of Property [typically in acres] 15.1868
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- Current Land Use(s) [vacant, if none] Commerical retail
-

NOTE: Pursuant to IDO Subsection 14-16-6-4(L), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

Carol Orona- Loma Del Rey NA
Sarah Matosian - Loma Del Rey NA

Cc: Daniel Regan - District 4 Coalition of NA _____ [Other Neighborhood Associations, if any]

Mildred Griffiee - District 4 Coalition of NA

Darcy Bushnell- District 7 Coalition of NA _____

Tyler Richter- District 7 Coalition of NA

⁶ Available here: <https://tinurl.com/idozoningmap>

[Note: Items with an asterisk (*) are required.]

5. **For Site Plan Applications only***, attach site plan showing, at a minimum:
- a. Location of proposed buildings and landscape areas.*
 - b. Access and circulation for vehicles and pedestrians.*
 - c. Maximum height of any proposed structures, with building elevations.*
 - d. **For residential development***: Maximum number of proposed dwelling units.
 - e. **For non-residential development***:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information [Optional]:

From the IDO Zoning Map⁶:

1. Area of Property [typically in acres] 15.1868
 2. IDO Zone District MX-M
 3. Overlay Zone(s) [if applicable] _____
 4. Center or Corridor Area [if applicable] _____
- Current Land Use(s) [vacant, if none] Commerical retail
-

NOTE: Pursuant to IDO Subsection 14-16-6-4(L), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

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<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

Carol Orona- Loma Del Rey NA
Sarah Matosian - Loma Del Rey NA
Cc: Daniel Regan - District 4 Coalition of NA [Other Neighborhood Associations, if any]
Mildred Griffiee - District 4 Coalition of NA
Darcy Bushnell- District 7 Coalition of NA
Tyler Richter- District 7 Coalition of NA

⁶ Available here: <https://tinyurl.com/idozoningmap>

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed/Emailed to a Neighborhood Association**

Date of Notice*: September 2,2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) Public Notice to:

Neighborhood Association (NA)*: District 4 Coalition of Neighborhood Associations

Name of NA Representative*: Mildred Griffiee

Email Address* or Mailing Address* of NA Representative¹: mgriffiee@noreste.org

Information Required by IDO Subsection 14-16-6-4(K)(1)(a)

1. Subject Property Address* 4315 Wyoming Blvd NE
Location Description Land Only LT 1-A-1 PLAT FOR LOTS 1-A-1 AND 5-A-1 LA MIRADA SUBDIVISION
2. Property Owner* Wymont LLC
3. Agent/Applicant* [if applicable] Tierra West LLC
4. Application(s) Type* per IDO Table 6-1-1 [mark all that apply]
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision Preliminary Plat Approval (Minor or **Major**)
 - Vacation _____ (Easement/Private Way or Public Right-of-way)
 - Variance
 - Waiver
 - Other: _____

Summary of project/request²*:

This site is located at the southwest corner of Montgomery Blvd and Wyoming Blvd. currently consisting of one parcel to be divided up into 66 residential lots and 8 commercial tracts.

¹ Pursuant to IDO Subsection 14-16-6-4(K)(5)(a), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

² Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

5. **For Site Plan Applications only***, attach site plan showing, at a minimum:
- a. Location of proposed buildings and landscape areas.*
 - b. Access and circulation for vehicles and pedestrians.*
 - c. Maximum height of any proposed structures, with building elevations.*
 - d. **For residential development***: Maximum number of proposed dwelling units.
 - e. **For non-residential development***:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information [Optional]:

From the IDO Zoning Map⁶:

1. Area of Property [typically in acres] 15.1868
 2. IDO Zone District MX-M
 3. Overlay Zone(s) [if applicable] _____
 4. Center or Corridor Area [if applicable] _____
- Current Land Use(s) [vacant, if none] Commerical retail
-

NOTE: Pursuant to IDO Subsection 14-16-6-4(L), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

Carol Orona- Loma Del Rey NA
Sarah Matosian - Loma Del Rey NA

Cc: Daniel Regan - District 4 Coalition of NA [Other Neighborhood Associations, if any]
Mildred Griffie - District 4 Coalition of NA
Darcy Bushnell- District 7 Coalition of NA
Tyler Richter- District 7 Coalition of NA

⁶ Available here: <https://tinurl.com/idozoningmap>

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed/Emailed to a Neighborhood Association**

Date of Notice*: September 2, 2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) Public Notice to:

Neighborhood Association (NA)*: District 7 Coalition of Neighborhood Associations

Name of NA Representative*: Darcy Bushnell

Email Address* or Mailing Address* of NA Representative¹: dmc793@gmail.com

Information Required by IDO Subsection 14-16-6-4(K)(1)(a)

1. Subject Property Address* 4315 Wyoming Blvd NE
Location Description Land Only LT 1-A-1 PLAT FOR LOTS 1-A-1 AND 5-A-1 LA MIRADA SUBDIVISION
2. Property Owner* Wymont LLC
3. Agent/Applicant* [if applicable] Tierra West LLC
4. Application(s) Type* per IDO Table 6-1-1 [mark all that apply]
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision Preliminary Plat Approval (Minor or **Major**)
 - Vacation _____ (Easement/Private Way or Public Right-of-way)
 - Variance
 - Waiver
 - Other: _____

Summary of project/request²*:

This site is located at the southwest corner of Montgomery Blvd and Wyoming Blvd. currently consisting
of one parcel to be divided up into 66 residential lots and 8 commercial tracts.

¹ Pursuant to IDO Subsection 14-16-6-4(K)(5)(a), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

² Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

5. This application will be decided at a public meeting or hearing by*:

- Zoning Hearing Examiner (ZHE)
- Development Review Board (DRB)
- Landmarks Commission (LC)
- Environmental Planning Commission (EPC)

Date/Time*: September 29, 2021 9:00am

Location*³: Zoom Meeting

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found*⁴:

<https://wetransfer.com/>

Information Required for Mail/Email Notice by IDO Subsection 6-4(K)(1)(b):

1. Zone Atlas Page(s)*⁵ G-19-Z

2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant*: Attached to notice or provided via website noted above

3. The following exceptions to IDO standards have been requested for this project*:

- Deviation(s)
- Variance(s)
- Waiver(s)

Explanation*: N/A

4. A Pre-submittal Neighborhood Meeting was required by Table 6-1-1: Yes No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

³ Physical address or Zoom link

⁴ Address (mailing or email), phone number, or website to be provided by the applicant

⁵ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

5. **For Site Plan Applications only***, attach site plan showing, at a minimum:

- a. Location of proposed buildings and landscape areas.*
- b. Access and circulation for vehicles and pedestrians.*
- c. Maximum height of any proposed structures, with building elevations.*
- d. **For residential development***: Maximum number of proposed dwelling units.
- e. **For non-residential development***:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information [Optional]:

From the IDO Zoning Map⁶:

1. Area of Property [typically in acres] 15.1868
 2. IDO Zone District MX-M
 3. Overlay Zone(s) [if applicable] _____
 4. Center or Corridor Area [if applicable] _____
- Current Land Use(s) [vacant, if none] Commerical retail
-

NOTE: Pursuant to IDO Subsection 14-16-6-4(L), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

Carol Orona- Loma Del Rey NA
Sarah Matosian - Loma Del Rey NA

Cc: Daniel Regan - District 4 Coalition of NA _____ [Other Neighborhood Associations, if any]

Mildred Griffiee - District 4 Coalition of NA

Darcy Bushnell- District 7 Coalition of NA _____

Tyler Richter- District 7 Coalition of NA

⁶ Available here: <https://tinurl.com/idozoningmap>

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed/Emailed to a Neighborhood Association**

Date of Notice*: September 2, 2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) Public Notice to:

Neighborhood Association (NA)*: District 7 Coalition of Neighborhood Associations

Name of NA Representative*: Tyler Richter

Email Address* or Mailing Address* of NA Representative¹: tyler.richter@gmail.com

Information Required by IDO Subsection 14-16-6-4(K)(1)(a)

1. Subject Property Address* 4315 Wyoming Blvd NE
Location Description Land Only LT 1-A-1 PLAT FOR LOTS 1-A-1 AND 5-A-1 LA MIRADA SUBDIVISION
2. Property Owner* Wymont LLC
3. Agent/Applicant* [if applicable] Tierra West LLC
4. Application(s) Type* per IDO Table 6-1-1 [mark all that apply]
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision Preliminary Plat Approval (Minor or **Major**)
 - Vacation _____ (Easement/Private Way or Public Right-of-way)
 - Variance
 - Waiver
 - Other: _____

Summary of project/request²:

This site is located at the southwest corner of Montgomery Blvd and Wyoming Blvd. currently consisting
of one parcel to be divided up into 66 residential lots and 8 commercial tracts.

¹ Pursuant to IDO Subsection 14-16-6-4(K)(5)(a), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

² Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

5. This application will be decided at a public meeting or hearing by*:

- Zoning Hearing Examiner (ZHE) Development Review Board (DRB)
- Landmarks Commission (LC) Environmental Planning Commission (EPC)

Date/Time*: September 29, 2021 9:00am

Location*³: Zoom Meeting

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found*⁴:

<https://wetransfer.com/>

Information Required for Mail/Email Notice by IDO Subsection 6-4(K)(1)(b):

1. Zone Atlas Page(s)*⁵ G-19-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project*:

- Deviation(s) Variance(s) Waiver(s)

Explanation*: N/A

4. A Pre-submittal Neighborhood Meeting was required by Table 6-1-1: Yes No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

³ Physical address or Zoom link

⁴ Address (mailing or email), phone number, or website to be provided by the applicant

⁵ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

5. **For Site Plan Applications only***, attach site plan showing, at a minimum:
- a. Location of proposed buildings and landscape areas.*
 - b. Access and circulation for vehicles and pedestrians.*
 - c. Maximum height of any proposed structures, with building elevations.*
 - d. **For residential development***: Maximum number of proposed dwelling units.
 - e. **For non-residential development***:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information [Optional]:

From the IDO Zoning Map⁶:

1. Area of Property [typically in acres] 15.1868
 2. IDO Zone District MX-M
 3. Overlay Zone(s) [if applicable] _____
 4. Center or Corridor Area [if applicable] _____
- Current Land Use(s) [vacant, if none] Commerical retail
-

NOTE: Pursuant to IDO Subsection 14-16-6-4(L), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

Carol Orona- Loma Del Rey NA
Sarah Matosian - Loma Del Rey NA
Cc: Daniel Regan - District 4 Coalition of NA [Other Neighborhood Associations, if any]
Mildred Griffie - District 4 Coalition of NA
Darcy Bushnell- District 7 Coalition of NA
Tyler Richter- District 7 Coalition of NA

⁶ Available here: <https://tinurl.com/idozoningmap>

[Note: Items with an asterisk (*) are required.]

100ft Buffer Neighborhood

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed to a Property Owner**

Date of Notice*: September 2, 2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) **Subsection 14-16-6-4(K) Public Notice** to:

Property Owner within 100 feet*: SCHRODER SALLY A

Mailing Address*: 4505 NORMA DR NE, ALBUQUERQUE NM 87109-1735

Project Information Required by IDO Subsection 14-16-6-4(K)(1)(a)

1. Subject Property Address* 4315 Wyoming Blvd NE
Location Description Land Only LT 1-A-1 PLAT FOR LOTS 1-A-1 AND 5-A-1 LA MIRADA SUBDIVISION
2. Property Owner* Wymont LLC
3. Agent/Applicant* [if applicable] Tierra West LLC
4. Application(s) Type* per IDO Table 6-1-1 [mark all that apply]
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision Preliminary Plat Approval (Minor or Major)
 - Vacation _____ (Easement/Private Way or Public Right-of-way)
 - Variance
 - Waiver
 - Other: _____

Summary of project/request¹*: _____

This site is located at the southwest corner of Montgomery Blvd and Wyoming Blvd currently consisting of one parcel to be divided up into 66 residential lots and 8 commercial tracts.

5. This application will be decided at a public meeting or hearing by*:
 - Zoning Hearing Examiner (ZHE)
 - Development Review Board (DRB)
 - Landmarks Commission (LC)
 - Environmental Planning Commission (EPC)

¹ Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

Date/Time*: September 29, 2021 9:00am

Location*²: Zoom Meeting

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

- 6. Where more information about the project can be found*³:
Jon Niski 505-858-3100

Project Information Required for Mail/Email Notice by IDO Subsection 6-4(K)(1)(b):

- 1. Zone Atlas Page(s)*⁴ G-19-Z
- 2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant*: Attached to notice or provided via website noted above
- 3. The following exceptions to IDO standards have been requested for this project*:

Deviation(s) Variance(s) Waiver(s)

Explanation*: N/A

- 4. A Pre-submittal Neighborhood Meeting was required by Table 6-1-1: Yes No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

- 5. **For Site Plan Applications only***, attach site plan showing, at a minimum:

- a. Location of proposed buildings and landscape areas.*
- b. Access and circulation for vehicles and pedestrians.*
- c. Maximum height of any proposed structures, with building elevations.*

² Physical address or Zoom link

³ Address (mailing or email), phone number, or website to be provided by the applicant

⁴ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

- d. **For residential development***: Maximum number of proposed dwelling units.
- e. **For non-residential development***:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information:

From the IDO Zoning Map⁵:

1. Area of Property [typically in acres] 15.1868
 2. IDO Zone District MX-M
 3. Overlay Zone(s) [if applicable] _____
 4. Center or Corridor Area [if applicable] _____
- Current Land Use(s) [vacant, if none] Commercial Retail
-

NOTE: Pursuant to IDO Subsection 14-16-6-4(L), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

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<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

⁵ Available here: <https://tinyurl.com/idozoningmap>

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed/Emailed to a Neighborhood Association**

Date of Notice*: September 2,2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) Public Notice to:

Neighborhood Association (NA)*: District 4 Coalition of Neighborhood Associations

Name of NA Representative*: Daniel Regan

Email Address* or Mailing Address* of NA Representative¹: dreganabq@gmail.com

Information Required by IDO Subsection 14-16-6-4(K)(1)(a)

1. Subject Property Address* 4315 Wyoming Blvd NE
Location Description Land Only LT 1-A-1 PLAT FOR LOTS 1-A-1 AND 5-A-1 LA MIRADA SUBDIVISION
2. Property Owner* Wymont LLC
3. Agent/Applicant* [if applicable] Tierra West LLC
4. Application(s) Type* per IDO Table 6-1-1 [mark all that apply]
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
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 - Subdivision Preliminary Plat Approval (Minor or **Major**)
 - Vacation _____ (Easement/Private Way or Public Right-of-way)
 - Variance
 - Waiver
 - Other: _____

Summary of project/request²*: _____

This site is located at the southwest corner of Montgomery Blvd and Wyoming Blvd. currently consisting of one parcel to be divided up into 66 residential lots and 8 commercial tracts.

¹ Pursuant to IDO Subsection 14-16-6-4(K)(5)(a), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

² Attach additional information, as needed to explain the project/request.

NEIGHBORHOOD PROOF OF EMAIL

Full submittal packet was emailed

Kristl Walker

From: WeTransfer <noreply@wetransfer.com>
Sent: Thursday, September 2, 2021 2:38 PM
To: Kristl Walker
Subject: Jaimie sent you The Wymont Prelim Plat Submittal pdf.pdf via WeTransfer



jgarcia@tierrawestllc.com
sent you The Wymont Prelim Plat
Submittal pdf.pdf

1 item, 24.3 MB in total • Expires on 3 September, 2022

The Wymont Prelim Plat Submittal pdf.pdf Good afternoon

Loma Del Rey NA, District 4 Coalition of Neighborhood Associations,
District 7 Coalition of Neighborhood Associations per IDO section 14-16-6-
4(k)

Tierra West LLC is emailing per the IDO requirements a copy of the Major
Preliminary Plat Approval.

Thank you

Get your files

Download link

<https://wetransfer.com/downloads/27b7d24a14ffdabc48303f0aa57ab74620210902203654/04f8e1e0b59e7c4d96bb78c0b9d2260920210902203654/13fd1>

1 item

The Wymont Prelim Plat Submittal pdf.pdf
24.3 MB

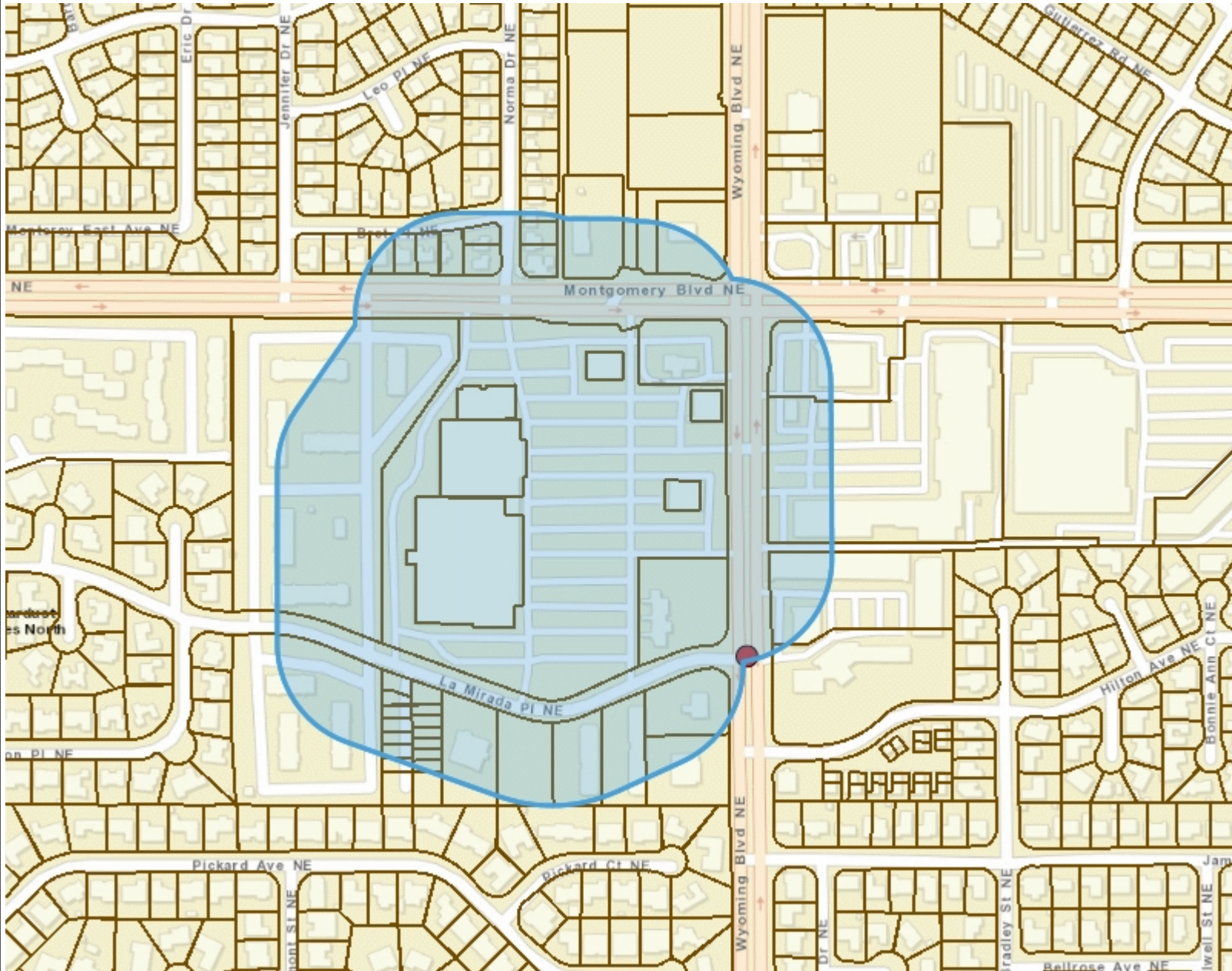
To make sure our emails arrive, please add noreply@wetransfer.com to your contacts.

[About WeTransfer](#) · [Help](#) · [Legal](#) · [Report this transfer as spam](#)

100FT BUFFER MAILED NOTICES



Montgomery and Wyoming NE



Legend

□ Bernalillo County Parcels

Notes

Buffer Map: 270 Ft.
ROW Montgomery Blvd NE: 170 Ft.

762 0 381 762 Feet

WGS_1984_Web_Mercator_Auxiliary_Sphere
9/1/2021 © City of Albuquerque

1: 4,570

The City of Albuquerque ("City") provides the data on this website as a service to the public. The City makes no warranty, representation, or guaranty as to the content, accuracy, timeliness, or completeness of any of the data provided at this website. Please visit <http://www.cabq.gov/abq-data/abq-data-disclaimer-1> for more information.
THIS MAP IS NOT TO BE USED FOR NAVIGATION

SCHRODER SALLY A
4505 NORMA DR NE
ALBUQUERQUE NM 87109-1735

AVILA ISIDRO V
8216 BRET PL NE
ALBUQUERQUE NM 87109

G & L INVESTMENT CO INC
317 6TH ST NW
ALBUQUERQUE NM 87102

LOS ALTOS CENTER LLC
6121 INDIAN SCHOOL RD NE SUITE 218
ALBUQUERQUE NM 87110

ADAMS FERRELL & JANET
12309 LOS ARBOLES AVE NE
ALBUQUERQUE NM 87111-2071

SALAZAR ARMANDO & CHRISTINE
945 S EUCLID AVE
PASADENA CA 91106-4259

CULBERTSON DUSTIN A & CHRISTA M
8209 PICKARD CT NE
ALBUQUERQUE NM 87110-1556

MATTEUCCI PAUL J ETUX ETAL C/O
THOMSON PROPERTY TAX SERVICES
PO BOX 2609
CARLSBAD CA 92018

W & M CO
317 6TH ST NW
ALBUQUERQUE NM 87102

SELIGMAN JAMES A & ANA CARRILLO
1525 32ND CIR SE
RIO RANCHO NM 87124-1913

DURANGO PABLO E & DURANGO JANE
C & DURANGO-COHEN PABLO LUIS
ETAL
3944 SELMI GROVE
RICHMOND CA 94806-1864

MAESTAS MANUEL
1278 E PAR TEE LN
IDAHO FALLS ID 83401-4242

WG ALBUQUERQUE NM
MONTGOMERY LANDLORD LLC C/O
WALGREEN CO RE PROPERTY TAX DEPT
PO BOX 1159
DEERFIELD IL 60015-6002

RADCLIFF JASON W
8208 BRET PL NE
ALBUQUERQUE NM 87109-1716

BANK OF AMERICA ATTN: CORP REAL
ESTATE ASSESSMENTS
101 N TYRON ST
CHARLOTTE NC 28246-0100

BEGGIO SEAN
8220 BRET PL NE
ALBUQUERQUE NM 87109-1716

WI EVANGELICAL LUTHERAN SYNOD
3900 WYOMING BLVD NE
ALBUQUERQUE NM 87111

MAUNEY INVESTMENTS LLC & ETAL
C/O RYAN LLC
PO BOX 2609
CARLSBAD CA 92018-2609

SELIGMAN JAMES A & ANA CARRILLO
1525 32ND CIR SE
RIO RANCHO NM 87124-1913

SELIGMAN JAMES A & ANA CARRILLO
1525 32ND CIR SE
RIO RANCHO NM 87124-1913

MONTGOMERY CROSSING LLC &
WYOMING CROSSING LLC
8950 W OLYMPIC BLVD SUITE 372
BEVERLY HILLS CA 90211-3565

LAND HOLDING - 4201 WYOMING LLC
4416 WYOMING BLVD NE
ALBUQUERQUE NM 87111-3146

SAUVEGEAU OMER HENRY ETUX
8224 BRET PL NE
ALBUQUERQUE NM 87109-1716

DRISCOLL JOHN & CATHLEEN
3005 CASA DEL NORTE DR NE
ALBUQUERQUE NM 87111-5614

VUKOTA LA ENTRADA APARTMENT
HOMES LP
5251 DTC PKWY SUITE 1001
GREENWOOD VILLAGE CO 80111-2799

SPECIAL "K" INVESTMENTS INC
11741 SKY VALLEY WAY NE
ALBUQUERQUE NM 87111

STEADMAN RICHARD EARL &
JOSEPHINE ELEANOR
4504 NORMA DR NE
ALBUQUERQUE NM 87109-1736

W & M CO
317 6TH ST NW
ALBUQUERQUE NM 87102

SELIGMAN JAMES & ANA CARRILLO
1525 32ND CIR SE
RIO RANCHO NM 87124-1913

SELIGMAN JAMES A & ANA CARRILLO
1525 32ND CIR SE
RIO RANCHO NM 87124-1913

SELIGMAN JAMES A & ANA CARRILLO
1525 32ND CIR SE
RIO RANCHO NM 87124-1913

SELIGMAN JAMES A & ANA CARRILLO
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RIO RANCHO NM 87124-1913

SELIGMAN JAMES A & ANA CARRILLO
1525 32ND CIR SE
RIO RANCHO NM 87124-1913

SELIGMAN JAMES A & ANA CARRILLO
1525 32ND CIR SE
RIO RANCHO NM 87124-1913

SELIGMAN JAMES A & ANA CARRILLO
1525 32ND CIR SE
RIO RANCHO NM 87124-1913

SELIGMAN JAMES A & ANA CARRILLO
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SELIGMAN JAMES A & ANA CARRILLO
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1525 32ND CIR SE
RIO RANCHO NM 87124-1913

SELIGMAN JAMES A & ANA CARRILLO
1525 32ND CIR SE
RIO RANCHO NM 87124-1913

MCDONALDS CORPORATION C/O
CONQUISTADORES INC
PO BOX 92500
ALBUQUERQUE NM 87199-2500

W & M CO
317 6TH ST NW
ALBUQUERQUE NM 87102

G & L INVESTMENTS CO INC
317 6TH ST NW
ALBUQUERQUE NM 87102

M & M CO
8220 LA MIRADA RD NE SUITE 700
ALBUQUERQUE NM 87109-1659

M & M CO
8220 LA MIRADA RD NE SUITE 700
ALBUQUERQUE NM 87109-1659

M & M CO WAL MART 01-0824 #8013
C/O WAL-MART PROP TAX DEPT MS
0555
8220 LA MIRADA RD NE SUITE #300
ALBUQUERQUE NM 87109-1657

M & M CO ATTN: ALBERTSONS LLC
8220 LA MIRADA RD NE SUITE #300
ALBUQUERQUE NM 87109-1657

M & M CO
8220 LA MIRADA RD NE SUITE 700
ALBUQUERQUE NM 87109-1659

M & M CO
8220 LA MIRADA RD NE SUITE 700
ALBUQUERQUE NM 87109-1659

M & M CO
8220 LA MIRADA RD NE SUITE 700
ALBUQUERQUE NM 87109-1659

[Note: Items with an asterisk (*) are required.]

100ft Buffer Neighborhood

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed to a Property Owner**

Date of Notice*: September 2,2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) Public Notice to:

Property Owner within 100 feet*: DURANGO PABLO E & DURANGO JANE C & DURANGO-COHEN PABLO LUIS ETAL

Mailing Address*: 3944 SELMI GROVE, RICHMOND CA 94806-1864

Project Information Required by IDO Subsection 14-16-6-4(K)(1)(a)

1. Subject Property Address* 4315 Wyoming Blvd NE
Location Description Land Only LT 1-A-1 PLAT FOR LOTS 1-A-1 AND 5-A-1 LA MIRADA SUBDIVISION
2. Property Owner* Wymont LLC
3. Agent/Applicant* [if applicable] Tierra West LLC
4. Application(s) Type* per IDO Table 6-1-1 [mark all that apply]
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision Preliminary Plat Approval (Minor or **Major**)
 - Vacation _____ (Easement/Private Way or Public Right-of-way)
 - Variance
 - Waiver
 - Other: _____

Summary of project/request¹:

This site is located at the southwest corner of Montgomery Blvd and Wyoming Blvd currently consisting of one parcel to be divided up into 66 residential lots and 8 commercial tracts.

5. This application will be decided at a public meeting or hearing by*:

<input type="checkbox"/> Zoning Hearing Examiner (ZHE)	<input checked="" type="checkbox"/> Development Review Board (DRB)
<input type="checkbox"/> Landmarks Commission (LC)	<input type="checkbox"/> Environmental Planning Commission (EPC)

¹ Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

Date/Time*: September 29, 2021 9:00am

Location*²: Zoom Meeting

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

- 6. Where more information about the project can be found*³:
Jon Niski 505-858-3100

Project Information Required for Mail/Email Notice by IDO Subsection 6-4(K)(1)(b):

- 1. Zone Atlas Page(s)*⁴ G-19-Z
- 2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant*: Attached to notice or provided via website noted above
- 3. The following exceptions to IDO standards have been requested for this project*:

Deviation(s) Variance(s) Waiver(s)

Explanation*: N/A

- 4. A Pre-submittal Neighborhood Meeting was required by Table 6-1-1: Yes No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

- 5. **For Site Plan Applications only***, attach site plan showing, at a minimum:

- a. Location of proposed buildings and landscape areas.*
- b. Access and circulation for vehicles and pedestrians.*
- c. Maximum height of any proposed structures, with building elevations.*

² Physical address or Zoom link

³ Address (mailing or email), phone number, or website to be provided by the applicant

⁴ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

- d. **For residential development***: Maximum number of proposed dwelling units.
- e. **For non-residential development***:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information:

From the IDO Zoning Map⁵:

1. Area of Property [typically in acres] 15.1868
 2. IDO Zone District MX-M
 3. Overlay Zone(s) [if applicable] _____
 4. Center or Corridor Area [if applicable] _____
- Current Land Use(s) [vacant, if none] Commercial Retail
-

NOTE: Pursuant to IDO Subsection 14-16-6-4(L), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

⁵ Available here: <https://tinyurl.com/idozoningmap>

[Note: Items with an asterisk (*) are required.]

100ft Buffer Neighborhood

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed to a Property Owner**

Date of Notice*: September 2,2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) Public Notice to:

Property Owner within 100 feet*: MONTGOMERY CROSSING LLC & WYOMING CROSSING LLC

Mailing Address*: 8950 W OLYMPIC BLVD SUITE 372, BEVERLY HILLS CA 90211-3565

Project Information Required by IDO Subsection 14-16-6-4(K)(1)(a)

1. Subject Property Address* 4315 Wyoming Blvd NE
Location Description Land Only LT 1-A-1 PLAT FOR LOTS 1-A-1 AND 5-A-1 LA MIRADA SUBDIVISION
2. Property Owner* Wymont LLC
3. Agent/Applicant* [if applicable] Tierra West LLC
4. Application(s) Type* per IDO Table 6-1-1 [mark all that apply]
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision Preliminary Plat Approval (Minor or **Major**)
 - Vacation _____ (Easement/Private Way or Public Right-of-way)
 - Variance
 - Waiver
 - Other: _____

Summary of project/request¹*:

This site is located at the southwest corner of Montgomery Blvd and Wyoming Blvd currently consisting of one parcel to be divided up into 66 residential lots and 8 commercial tracts.

5. This application will be decided at a public meeting or hearing by*:

<input type="checkbox"/> Zoning Hearing Examiner (ZHE)	<input checked="" type="checkbox"/> Development Review Board (DRB)
<input type="checkbox"/> Landmarks Commission (LC)	<input type="checkbox"/> Environmental Planning Commission (EPC)

¹ Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

Date/Time*: September 29, 2021 9:00am

Location*²: Zoom Meeting

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

- 6. Where more information about the project can be found*³:
Jon Niski 505-858-3100

Project Information Required for Mail/Email Notice by IDO Subsection 6-4(K)(1)(b):

- 1. Zone Atlas Page(s)*⁴ G-19-Z
- 2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant*: Attached to notice or provided via website noted above
- 3. The following exceptions to IDO standards have been requested for this project*:

Deviation(s) Variance(s) Waiver(s)

Explanation*: N/A

- 4. A Pre-submittal Neighborhood Meeting was required by Table 6-1-1: Yes No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

- 5. **For Site Plan Applications only***, attach site plan showing, at a minimum:

- a. Location of proposed buildings and landscape areas.*
- b. Access and circulation for vehicles and pedestrians.*
- c. Maximum height of any proposed structures, with building elevations.*

² Physical address or Zoom link

³ Address (mailing or email), phone number, or website to be provided by the applicant

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[Note: Items with an asterisk (*) are required.]

- d. **For residential development***: Maximum number of proposed dwelling units.
- e. **For non-residential development***:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information:

From the IDO Zoning Map⁵:

1. Area of Property [typically in acres] 15.1868
 2. IDO Zone District MX-M
 3. Overlay Zone(s) [if applicable] _____
 4. Center or Corridor Area [if applicable] _____
- Current Land Use(s) [vacant, if none] Commercial Retail
-

NOTE: Pursuant to IDO Subsection 14-16-6-4(L), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

⁵ Available here: <https://tinyurl.com/idozoningmap>

[Note: Items with an asterisk (*) are required.]

100ft Buffer Neighborhood

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed to a Property Owner**

Date of Notice*: September 2, 2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) Public Notice to:

Property Owner within 100 feet*: AVILA ISIDRO V

Mailing Address*: 8216 BRET PL NE, ALBUQUERQUE NM 87109

Project Information Required by IDO Subsection 14-16-6-4(K)(1)(a)

1. Subject Property Address* 4315 Wyoming Blvd NE
Location Description Land Only LT 1-A-1 PLAT FOR LOTS 1-A-1 AND 5-A-1 LA MIRADA SUBDIVISION
2. Property Owner* Wymont LLC
3. Agent/Applicant* [if applicable] Tierra West LLC
4. Application(s) Type* per IDO Table 6-1-1 [mark all that apply]
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision Preliminary Plat Approval (Minor or **Major**)
 - Vacation _____ (Easement/Private Way or Public Right-of-way)
 - Variance
 - Waiver
 - Other: _____

Summary of project/request¹*:

This site is located at the southwest corner of Montgomery Blvd and Wyoming Blvd currently consisting of one parcel to be divided up into 66 residential lots and 8 commercial tracts.

5. This application will be decided at a public meeting or hearing by*:
 - Zoning Hearing Examiner (ZHE)
 - Development Review Board (DRB)
 - Landmarks Commission (LC)
 - Environmental Planning Commission (EPC)

¹ Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

Date/Time*: September 29, 2021 9:00am

Location*²: Zoom Meeting

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found*³:

Jon Niski 505-858-3100

Project Information Required for Mail/Email Notice by IDO Subsection 6-4(K)(1)(b):

1. Zone Atlas Page(s)*⁴ G-19-Z

2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant*: Attached to notice or provided via website noted above

3. The following exceptions to IDO standards have been requested for this project*:

Deviation(s) Variance(s) Waiver(s)

Explanation*: N/A

4. A Pre-submittal Neighborhood Meeting was required by Table 6-1-1: Yes No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

5. **For Site Plan Applications only***, attach site plan showing, at a minimum:

- a. Location of proposed buildings and landscape areas.*
- b. Access and circulation for vehicles and pedestrians.*
- c. Maximum height of any proposed structures, with building elevations.*

² Physical address or Zoom link

³ Address (mailing or email), phone number, or website to be provided by the applicant

⁴ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

- d. **For residential development***: Maximum number of proposed dwelling units.
- e. **For non-residential development***:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information:

From the IDO Zoning Map⁵:

1. Area of Property [typically in acres] 15.1868
 2. IDO Zone District MX-M
 3. Overlay Zone(s) [if applicable] _____
 4. Center or Corridor Area [if applicable] _____
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NOTE: Pursuant to IDO Subsection 14-16-6-4(L), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

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<https://ido.abc-zone.com/>

IDO Interactive Map
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[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed to a Property Owner**

Date of Notice*: September 2,2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) Public Notice to:

Property Owner within 100 feet*: MAESTAS MANUEL

Mailing Address*: 1278 E PAR TEE LN,IDAHO FALLS ID 83401-4242

Project Information Required by IDO Subsection 14-16-6-4(K)(1)(a)

1. Subject Property Address* 4315 Wyoming Blvd NE
Location Description Land Only LT 1-A-1 PLAT FOR LOTS 1-A-1 AND 5-A-1 LA MIRADA SUBDIVISION
2. Property Owner* Wymont LLC
3. Agent/Applicant* [if applicable] Tierra West LLC
4. Application(s) Type* per IDO Table 6-1-1 [mark all that apply]
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision Preliminary Plat Approval (Minor or Major)
 - Vacation _____ (Easement/Private Way or Public Right-of-way)
 - Variance
 - Waiver
 - Other: _____

Summary of project/request¹*:

This site is located at the southwest corner of Montgomery Blvd and Wyoming Blvd currently consisting of one parcel to be divided up into 66 residential lots and 8 commercial tracts.

5. This application will be decided at a public meeting or hearing by*:

<input type="checkbox"/> Zoning Hearing Examiner (ZHE)	<input checked="" type="checkbox"/> Development Review Board (DRB)
<input type="checkbox"/> Landmarks Commission (LC)	<input type="checkbox"/> Environmental Planning Commission (EPC)

¹ Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

Date/Time*: September 29, 2021 9:00am

Location*²: Zoom Meeting

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

- 6. Where more information about the project can be found*³:
Jon Niski 505-858-3100

Project Information Required for Mail/Email Notice by IDO Subsection 6-4(K)(1)(b):

- 1. Zone Atlas Page(s)*⁴ G-19-Z
- 2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant*: Attached to notice or provided via website noted above
- 3. The following exceptions to IDO standards have been requested for this project*:

Deviation(s) Variance(s) Waiver(s)

Explanation*: N/A

- 4. A Pre-submittal Neighborhood Meeting was required by Table 6-1-1: Yes No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

- 5. **For Site Plan Applications only***, attach site plan showing, at a minimum:

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- c. Maximum height of any proposed structures, with building elevations.*

² Physical address or Zoom link

³ Address (mailing or email), phone number, or website to be provided by the applicant

⁴ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

- d. For residential development*: Maximum number of proposed dwelling units.
- e. For non-residential development*:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information:

From the IDO Zoning Map⁵:

1. Area of Property [typically in acres] 15.1868
 2. IDO Zone District MX-M
 3. Overlay Zone(s) [if applicable] _____
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- Current Land Use(s) [vacant, if none] Commercial Retail
-

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<https://tinyurl.com/IDOzoningmap>

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[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed to a Property Owner**

Date of Notice*: September 2, 2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) Public Notice to:

Property Owner within 100 feet*: LAND HOLDING - 4201 WYOMING LLC

Mailing Address*: 4416 WYOMING BLVD NE, ALBUQUERQUE NM 87111-3146

Project Information Required by IDO Subsection 14-16-6-4(K)(1)(a)

1. Subject Property Address* 4315 Wyoming Blvd NE
Location Description Land Only LT 1-A-1 PLAT FOR LOTS 1-A-1 AND 5-A-1 LA MIRADA SUBDIVISION
2. Property Owner* Wymont LLC
3. Agent/Applicant* [if applicable] Tierra West LLC
4. Application(s) Type* per IDO Table 6-1-1 [mark all that apply]
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
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 - Vacation _____ (Easement/Private Way or Public Right-of-way)
 - Variance
 - Waiver
 - Other: _____

Summary of project/request¹*:

This site is located at the southwest corner of Montgomery Blvd and Wyoming Blvd currently consisting of one parcel to be divided up into 66 residential lots and 8 commercial tracts.

5. This application will be decided at a public meeting or hearing by*:
 - Zoning Hearing Examiner (ZHE)
 - Development Review Board (DRB)
 - Landmarks Commission (LC)
 - Environmental Planning Commission (EPC)

¹ Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

Date/Time*: September 29, 2021 9:00am

Location*²: Zoom Meeting

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

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Jon Niski 505-858-3100

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Deviation(s) Variance(s) Waiver(s)

Explanation*: N/A

- 4. A Pre-submittal Neighborhood Meeting was required by Table 6-1-1: Yes No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

- 5. **For Site Plan Applications only***, attach site plan showing, at a minimum:

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- d. **For residential development***: Maximum number of proposed dwelling units.
- e. **For non-residential development***:
 - Total gross floor area of proposed project.
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Additional Information:

From the IDO Zoning Map⁵:

1. Area of Property [typically in acres] 15.1868
 2. IDO Zone District MX-M
 3. Overlay Zone(s) [if applicable] _____
 4. Center or Corridor Area [if applicable] _____
- Current Land Use(s) [vacant, if none] Commercial Retail
-

NOTE: Pursuant to IDO Subsection 14-16-6-4(L), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

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IDO Interactive Map

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[Note: Items with an asterisk (*) are required.]

100ft Buffer Neighborhood

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed to a Property Owner**

Date of Notice*: September 2,2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) Public Notice to:

Property Owner within 100 feet*: G & L INVESTMENT CO INC

Mailing Address*: 317 6TH ST NW, ALBUQUERQUE NM 87102

Project Information Required by IDO Subsection 14-16-6-4(K)(1)(a)

1. Subject Property Address* 4315 Wyoming Blvd NE
Location Description Land Only LT 1-A-1 PLAT FOR LOTS 1-A-1 AND 5-A-1 LA MIRADA SUBDIVISION
2. Property Owner* Wymont LLC
3. Agent/Applicant* [if applicable] Tierra West LLC
4. Application(s) Type* per IDO Table 6-1-1 [mark all that apply]
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
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 - Vacation _____ (Easement/Private Way or Public Right-of-way)
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 - Other: _____

Summary of project/request¹*: _____

This site is located at the southwest corner of Montgomery Blvd and Wyoming Blvd currently consisting of one parcel to be divided up into 66 residential lots and 8 commercial tracts.

5. This application will be decided at a public meeting or hearing by*:
 - Zoning Hearing Examiner (ZHE)
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Explanation*: N/A

- 4. A Pre-submittal Neighborhood Meeting was required by Table 6-1-1: Yes No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

- 5. **For Site Plan Applications only***, attach site plan showing, at a minimum:

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- c. Maximum height of any proposed structures, with building elevations.*

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Additional Information:

From the IDO Zoning Map⁵:

1. Area of Property [typically in acres] 15.1868
 2. IDO Zone District MX-M
 3. Overlay Zone(s) [if applicable] _____
 4. Center or Corridor Area [if applicable] _____
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-

NOTE: Pursuant to IDO Subsection 14-16-6-4(L), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

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[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed to a Property Owner**

Date of Notice*: September 2, 2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) Public Notice to:

Property Owner within 100 feet*: WG ALBUQUERQUE NM MONTGOMERY LANDLORD LLC C/O WALGREEN CO RE PROPERTY TAX DEPT

Mailing Address*: PO BOX 1159, DEERFIELD IL 60015-6002

Project Information Required by IDO Subsection 14-16-6-4(K)(1)(a)

- 1. Subject Property Address* 4315 Wyoming Blvd NE
Location Description Land Only LT 1-A-1 PLAT FOR LOTS 1-A-1 AND 5-A-1 LA MIRADA SUBDIVISION
- 2. Property Owner* Wymont LLC
- 3. Agent/Applicant* [if applicable] Tierra West LLC
- 4. Application(s) Type* per IDO Table 6-1-1 [mark all that apply]
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision Preliminary Plat Approval (Minor or **Major**)
 - Vacation _____ (Easement/Private Way or Public Right-of-way)
 - Variance
 - Waiver
 - Other: _____

Summary of project/request^{1*}:

This site is located at the southwest corner of Montgomery Blvd and Wyoming Blvd currently consisting of one parcel to be divided up into 66 residential lots and 8 commercial tracts.

- 5. This application will be decided at a public meeting or hearing by*:
 - Zoning Hearing Examiner (ZHE)
 - Development Review Board (DRB)
 - Landmarks Commission (LC)
 - Environmental Planning Commission (EPC)

¹ Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

Date/Time*: September 29, 2021 9:00am

Location*²: Zoom Meeting

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

- 6. Where more information about the project can be found*³:
Jon Niski 505-858-3100

Project Information Required for Mail/Email Notice by IDO Subsection 6-4(K)(1)(b):

- 1. Zone Atlas Page(s)*⁴ G-19-Z
- 2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant*: Attached to notice or provided via website noted above
- 3. The following exceptions to IDO standards have been requested for this project*:

Deviation(s) Variance(s) Waiver(s)

Explanation*: N/A

- 4. A Pre-submittal Neighborhood Meeting was required by Table 6-1-1: Yes No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

- 5. **For Site Plan Applications only***, attach site plan showing, at a minimum:

- a. Location of proposed buildings and landscape areas.*
- b. Access and circulation for vehicles and pedestrians.*
- c. Maximum height of any proposed structures, with building elevations.*

² Physical address or Zoom link

³ Address (mailing or email), phone number, or website to be provided by the applicant

⁴ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

- d. **For residential development***: Maximum number of proposed dwelling units.
- e. **For non-residential development***:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information:

From the IDO Zoning Map⁵:

1. Area of Property [typically in acres] 15.1868
 2. IDO Zone District MX-M
 3. Overlay Zone(s) [if applicable] _____
 4. Center or Corridor Area [if applicable] _____
- Current Land Use(s) [vacant, if none] Commercial Retail
-

NOTE: Pursuant to IDO Subsection 14-16-6-4(L), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

⁵ Available here: <https://tinyurl.com/idozoningmap>

[Note: Items with an asterisk (*) are required.]

100ft Buffer Neighborhood

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed to a Property Owner**

Date of Notice*: September 2, 2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) Public Notice to:

Property Owner within 100 feet*: SAUVEGEAU OMER HENRY ETUX

Mailing Address*: 8224 BRET PL NE, ALBUQUERQUE NM 87109-1716

Project Information Required by IDO Subsection 14-16-6-4(K)(1)(a)

1. Subject Property Address* 4315 Wyoming Blvd NE
Location Description Land Only LT 1-A-1 PLAT FOR LOTS 1-A-1 AND 5-A-1 LA MIRADA SUBDIVISION
2. Property Owner* Wymont LLC
3. Agent/Applicant* [if applicable] Tierra West LLC
4. Application(s) Type* per IDO Table 6-1-1 [mark all that apply]
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision Preliminary Plat Approval (Minor or **Major**)
 - Vacation _____ (Easement/Private Way or Public Right-of-way)
 - Variance
 - Waiver
 - Other: _____

Summary of project/request¹*:

This site is located at the southwest corner of Montgomery Blvd and Wyoming Blvd currently consisting of one parcel to be divided up into 66 residential lots and 8 commercial tracts.

5. This application will be decided at a public meeting or hearing by*:
 - Zoning Hearing Examiner (ZHE)
 - Development Review Board (DRB)
 - Landmarks Commission (LC)
 - Environmental Planning Commission (EPC)

¹ Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

Date/Time*: September 29, 2021 9:00am

Location*²: Zoom Meeting

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

- 6. Where more information about the project can be found*³:
Jon Niski 505-858-3100

Project Information Required for Mail/Email Notice by IDO Subsection 6-4(K)(1)(b):

- 1. Zone Atlas Page(s)*⁴ G-19-Z
- 2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant*: Attached to notice or provided via website noted above
- 3. The following exceptions to IDO standards have been requested for this project*:

Deviation(s) Variance(s) Waiver(s)

Explanation*: N/A

- 4. A Pre-submittal Neighborhood Meeting was required by Table 6-1-1: Yes No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

- 5. **For Site Plan Applications only***, attach site plan showing, at a minimum:

- a. Location of proposed buildings and landscape areas.*
- b. Access and circulation for vehicles and pedestrians.*
- c. Maximum height of any proposed structures, with building elevations.*

² Physical address or Zoom link

³ Address (mailing or email), phone number, or website to be provided by the applicant

⁴ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

- d. **For residential development***: Maximum number of proposed dwelling units.
- e. **For non-residential development***:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information:

From the IDO Zoning Map⁵:

1. Area of Property [typically in acres] 15.1868
 2. IDO Zone District MX-M
 3. Overlay Zone(s) [if applicable] _____
 4. Center or Corridor Area [if applicable] _____
- Current Land Use(s) [vacant, if none] Commercial Retail
-

NOTE: Pursuant to IDO Subsection 14-16-6-4(L), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

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[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed to a Property Owner**

Date of Notice*: September 2,2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) Public Notice to:

Property Owner within 100 feet*: LOS ALTOS CENTER LLC

Mailing Address*: 6121 INDIAN SCHOOL RD NE SUITE 218,ALBUQUERQUE NM 87110

Project Information Required by IDO Subsection 14-16-6-4(K)(1)(a)

1. Subject Property Address* 4315 Wyoming Blvd NE
Location Description Land Only LT 1-A-1 PLAT FOR LOTS 1-A-1 AND 5-A-1 LA MIRADA SUBDIVISION
2. Property Owner* Wymont LLC
3. Agent/Applicant* [if applicable] Tierra West LLC
4. Application(s) Type* per IDO Table 6-1-1 [mark all that apply]
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision Preliminary Plat Approval (Minor or **Major**)
 - Vacation _____ (Easement/Private Way or Public Right-of-way)
 - Variance
 - Waiver
 - Other: _____

Summary of project/request¹:

This site is located at the southwest corner of Montgomery Blvd and Wyoming Blvd currently consisting of one parcel to be divided up into 66 residential lots and 8 commercial tracts.

5. This application will be decided at a public meeting or hearing by*:
 - Zoning Hearing Examiner (ZHE)
 - Development Review Board (DRB)
 - Landmarks Commission (LC)
 - Environmental Planning Commission (EPC)

¹ Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

- d. **For residential development***: Maximum number of proposed dwelling units.
- e. **For non-residential development***:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information:

From the IDO Zoning Map⁵:

1. Area of Property [typically in acres] 15.1868
 2. IDO Zone District MX-M
 3. Overlay Zone(s) [if applicable] _____
 4. Center or Corridor Area [if applicable] _____
- Current Land Use(s) [vacant, if none] Commercial Retail
-

NOTE: Pursuant to IDO Subsection 14-16-6-4(L), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

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⁵ Available here: <https://tinyurl.com/idozoningmap>

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed to a Property Owner**

Date of Notice*: September 2,2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) Public Notice to:

Property Owner within 100 feet*: RADCLIFF JASON W

Mailing Address*: 8208 BRET PL NE, ALBUQUERQUE NM 87109-1716

Project Information Required by IDO Subsection 14-16-6-4(K)(1)(a)

1. Subject Property Address* 4315 Wyoming Blvd NE
Location Description Land Only LT 1-A-1 PLAT FOR LOTS 1-A-1 AND 5-A-1 LA MIRADA SUBDIVISION
2. Property Owner* Wymont LLC
3. Agent/Applicant* [if applicable] Tierra West LLC
4. Application(s) Type* per IDO Table 6-1-1 [mark all that apply]
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision Preliminary Plat Approval (Minor or **Major**)
 - Vacation _____ (Easement/Private Way or Public Right-of-way)
 - Variance
 - Waiver
 - Other: _____

Summary of project/request¹*: _____

This site is located at the southwest corner of Montgomery Blvd and Wyoming Blvd currently consisting of one parcel to be divided up into 66 residential lots and 8 commercial tracts.

5. This application will be decided at a public meeting or hearing by*:
 - Zoning Hearing Examiner (ZHE)
 - Development Review Board (DRB)
 - Landmarks Commission (LC)
 - Environmental Planning Commission (EPC)

¹ Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

- d. **For residential development***: Maximum number of proposed dwelling units.
- e. **For non-residential development***:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information:

From the IDO Zoning Map⁵:

1. Area of Property [typically in acres] 15.1868
 2. IDO Zone District MX-M
 3. Overlay Zone(s) [if applicable] _____
 4. Center or Corridor Area [if applicable] _____
- Current Land Use(s) [vacant, if none] Commercial Retail
-

NOTE: Pursuant to IDO Subsection 14-16-6-4(L), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

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[Note: Items with an asterisk (*) are required.]

100ft Buffer Neighborhood

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed to a Property Owner**

Date of Notice*: September 2,2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) Public Notice to:

Property Owner within 100 feet*: DRISCOLL JOHN & CATHLEEN

Mailing Address*: 3005 CASA DEL NORTE DR NE, ALBUQUERQUE NM 87111-5614

Project Information Required by IDO Subsection 14-16-6-4(K)(1)(a)

1. Subject Property Address* 4315 Wyoming Blvd NE
Location Description Land Only LT 1-A-1 PLAT FOR LOTS 1-A-1 AND 5-A-1 LA MIRADA SUBDIVISION
2. Property Owner* Wymont LLC
3. Agent/Applicant* [if applicable] Tierra West LLC
4. Application(s) Type* per IDO Table 6-1-1 [mark all that apply]
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision Preliminary Plat Approval (Minor or Major)
 - Vacation _____ (Easement/Private Way or Public Right-of-way)
 - Variance
 - Waiver
 - Other: _____

Summary of project/request¹*: _____

This site is located at the southwest corner of Montgomery Blvd and Wyoming Blvd currently consisting of one parcel to be divided up into 66 residential lots and 8 commercial tracts.

5. This application will be decided at a public meeting or hearing by*:
 - Zoning Hearing Examiner (ZHE)
 - Development Review Board (DRB)
 - Landmarks Commission (LC)
 - Environmental Planning Commission (EPC)

¹ Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

Date/Time*: September 29, 2021 9:00am

Location*²: Zoom Meeting

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

- 6. Where more information about the project can be found*³:
Jon Niski 505-858-3100

Project Information Required for Mail/Email Notice by IDO Subsection 6-4(K)(1)(b):

- 1. Zone Atlas Page(s)*⁴ G-19-Z
- 2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant*: Attached to notice or provided via website noted above
- 3. The following exceptions to IDO standards have been requested for this project*:

Deviation(s) Variance(s) Waiver(s)

Explanation*: N/A

- 4. A Pre-submittal Neighborhood Meeting was required by Table 6-1-1: Yes No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

- 5. **For Site Plan Applications only***, attach site plan showing, at a minimum:

- a. Location of proposed buildings and landscape areas.*
- b. Access and circulation for vehicles and pedestrians.*
- c. Maximum height of any proposed structures, with building elevations.*

² Physical address or Zoom link

³ Address (mailing or email), phone number, or website to be provided by the applicant

⁴ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

- d. **For residential development***: Maximum number of proposed dwelling units.
- e. **For non-residential development***:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information:

From the IDO Zoning Map⁵:

1. Area of Property [typically in acres] 15.1868
 2. IDO Zone District MX-M
 3. Overlay Zone(s) [if applicable] _____
 4. Center or Corridor Area [if applicable] _____
- Current Land Use(s) [vacant, if none] Commercial Retail
-

NOTE: Pursuant to IDO Subsection 14-16-6-4(L), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

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100ft Buffer Neighborhood

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed to a Property Owner**

Date of Notice*: September 2,2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) Public Notice to:

Property Owner within 100 feet*: ADAMS FERRELL & JANET

Mailing Address*: 12309 LOS ARBOLES AVE NE, ALBUQUERQUE NM 87111-2071

Project Information Required by IDO Subsection 14-16-6-4(K)(1)(a)

1. Subject Property Address* 4315 Wyoming Blvd NE
Location Description Land Only LT 1-A-1 PLAT FOR LOTS 1-A-1 AND 5-A-1 LA MIRADA SUBDIVISION
2. Property Owner* Wymont LLC
3. Agent/Applicant* [if applicable] Tierra West LLC
4. Application(s) Type* per IDO Table 6-1-1 [mark all that apply]
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
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 - Vacation _____ (Easement/Private Way or Public Right-of-way)
 - Variance
 - Waiver
 - Other: _____

Summary of project/request¹:

This site is located at the southwest corner of Montgomery Blvd and Wyoming Blvd currently consisting of one parcel to be divided up into 66 residential lots and 8 commercial tracts.

5. This application will be decided at a public meeting or hearing by*:
 - Zoning Hearing Examiner (ZHE)
 - Development Review Board (DRB)
 - Landmarks Commission (LC)
 - Environmental Planning Commission (EPC)

¹ Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

Date/Time*: September 29, 2021 9:00am

Location*²: Zoom Meeting

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

- 6. Where more information about the project can be found*³:
Jon Niski 505-858-3100

Project Information Required for Mail/Email Notice by IDO Subsection 6-4(K)(1)(b):

- 1. Zone Atlas Page(s)*⁴ G-19-Z
- 2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant*: Attached to notice or provided via website noted above
- 3. The following exceptions to IDO standards have been requested for this project*:

Deviation(s) Variance(s) Waiver(s)

Explanation*: N/A

- 4. A Pre-submittal Neighborhood Meeting was required by Table 6-1-1: Yes No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

- 5. **For Site Plan Applications only***, attach site plan showing, at a minimum:

- a. Location of proposed buildings and landscape areas.*
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- c. Maximum height of any proposed structures, with building elevations.*

² Physical address or Zoom link

³ Address (mailing or email), phone number, or website to be provided by the applicant

⁴ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

- d. **For residential development***: Maximum number of proposed dwelling units.
- e. **For non-residential development***:
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 - Gross floor area for each proposed use.

Additional Information:

From the IDO Zoning Map⁵:

1. Area of Property [typically in acres] 15.1868
 2. IDO Zone District MX-M
 3. Overlay Zone(s) [if applicable] _____
 4. Center or Corridor Area [if applicable] _____
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100ft Buffer Neighborhood

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed to a Property Owner**

Date of Notice*: September 2, 2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) Public Notice to:

Property Owner within 100 feet*: BANK OF AMERICA ATTN: CORP REAL ESTATE ASSESSMENTS

Mailing Address*: 101 N TYRON ST, CHARLOTTE NC 28246-0100

Project Information Required by IDO Subsection 14-16-6-4(K)(1)(a)

1. Subject Property Address* 4315 Wyoming Blvd NE
Location Description Land Only LT 1-A-1 PLAT FOR LOTS 1-A-1 AND 5-A-1 LA MIRADA SUBDIVISION
2. Property Owner* Wymont LLC
3. Agent/Applicant* [if applicable] Tierra West LLC
4. Application(s) Type* per IDO Table 6-1-1 [mark all that apply]
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
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 - Vacation _____ (Easement/Private Way or Public Right-of-way)
 - Variance
 - Waiver
 - Other: _____

Summary of project/request¹*: _____

This site is located at the southwest corner of Montgomery Blvd and Wyoming Blvd currently consisting of one parcel to be divided up into 66 residential lots and 8 commercial tracts.

5. This application will be decided at a public meeting or hearing by*:
 - Zoning Hearing Examiner (ZHE)
 - Development Review Board (DRB)
 - Landmarks Commission (LC)
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¹ Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

Date/Time*: September 29, 2021 9:00am

Location*²: Zoom Meeting

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

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- 6. Where more information about the project can be found*³:
Jon Niski 505-858-3100

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- 1. Zone Atlas Page(s)*⁴ G-19-Z
- 2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant*: Attached to notice or provided via website noted above
- 3. The following exceptions to IDO standards have been requested for this project*:
 - Deviation(s) Variance(s) Waiver(s)
 - Explanation*: N/A

- 4. A Pre-submittal Neighborhood Meeting was required by Table 6-1-1: Yes No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

- 5. **For Site Plan Applications only***, attach site plan showing, at a minimum:
 - a. Location of proposed buildings and landscape areas.*
 - b. Access and circulation for vehicles and pedestrians.*
 - c. Maximum height of any proposed structures, with building elevations.*

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[Note: Items with an asterisk (*) are required.]

- d. **For residential development***: Maximum number of proposed dwelling units.
- e. **For non-residential development***:
 - Total gross floor area of proposed project.
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Additional Information:

From the IDO Zoning Map⁵:

1. Area of Property [typically in acres] 15.1868
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 3. Overlay Zone(s) [if applicable] _____
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NOTE: Pursuant to IDO Subsection 14-16-6-4(L), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

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⁵ Available here: <https://tinyurl.com/idozoningmap>

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed to a Property Owner**

Date of Notice*: September 2, 2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) Public Notice to:

Property Owner within 100 feet*: VUKOTA LA ENTRADA APARTMENT HOMES LP

Mailing Address*: 5251 DTC PKWY SUITE 1001, GREENWOOD VILLAGE CO 80111-2799

Project Information Required by IDO Subsection 14-16-6-4(K)(1)(a)

- 1. Subject Property Address* 4315 Wyoming Blvd NE
Location Description Land Only LT 1-A-1 PLAT FOR LOTS 1-A-1 AND 5-A-1 LA MIRADA SUBDIVISION
- 2. Property Owner* Wymont LLC
- 3. Agent/Applicant* [if applicable] Tierra West LLC
- 4. Application(s) Type* per IDO Table 6-1-1 [mark all that apply]
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 - Permit _____ (Carport or Wall/Fence – Major)
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 - Subdivision Preliminary Plat Approval (Minor or Major)
 - Vacation _____ (Easement/Private Way or Public Right-of-way)
 - Variance
 - Waiver
 - Other: _____

Summary of project/request¹:

This site is located at the southwest corner of Montgomery Blvd and Wyoming Blvd currently consisting of one parcel to be divided up into 66 residential lots and 8 commercial tracts.

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 - Zoning Hearing Examiner (ZHE)
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 - Landmarks Commission (LC)
 - Environmental Planning Commission (EPC)

¹ Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

Date/Time*: September 29, 2021 9:00am

Location*²: Zoom Meeting

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

- 6. Where more information about the project can be found*³:
Jon Niski 505-858-3100

Project Information Required for Mail/Email Notice by IDO Subsection 6-4(K)(1)(b):

- 1. Zone Atlas Page(s)*⁴ G-19-Z
- 2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant*: Attached to notice or provided via website noted above
- 3. The following exceptions to IDO standards have been requested for this project*:

Deviation(s) Variance(s) Waiver(s)

Explanation*: N/A

- 4. A Pre-submittal Neighborhood Meeting was required by Table 6-1-1: Yes No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

- 5. **For Site Plan Applications only***, attach site plan showing, at a minimum:

- a. Location of proposed buildings and landscape areas.*
- b. Access and circulation for vehicles and pedestrians.*
- c. Maximum height of any proposed structures, with building elevations.*

² Physical address or Zoom link

³ Address (mailing or email), phone number, or website to be provided by the applicant

⁴ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

- d. **For residential development***: Maximum number of proposed dwelling units.
- e. **For non-residential development***:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information:

From the IDO Zoning Map⁵:

1. Area of Property [typically in acres] 15.1868
 2. IDO Zone District MX-M
 3. Overlay Zone(s) [if applicable] _____
 4. Center or Corridor Area [if applicable] _____
- Current Land Use(s) [vacant, if none] Commercial Retail
-

NOTE: Pursuant to IDO Subsection 14-16-6-4(L), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

⁵ Available here: <https://tinyurl.com/idozoningmap>

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed to a Property Owner**

Date of Notice*: September 2,2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) Public Notice to:

Property Owner within 100 feet*: SALAZAR ARMANDO & CHRISTINE

Mailing Address*: 945 S EUCLID AVE, PASADENA CA 91106-4259

Project Information Required by IDO Subsection 14-16-6-4(K)(1)(a)

- 1. Subject Property Address* 4315 Wyoming Blvd NE
Location Description Land Only LT 1-A-1 PLAT FOR LOTS 1-A-1 AND 5-A-1 LA MIRADA SUBDIVISION
- 2. Property Owner* Wymont LLC
- 3. Agent/Applicant* [if applicable] Tierra West LLC
- 4. Application(s) Type* per IDO Table 6-1-1 [mark all that apply]
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision Preliminary Plat Approval (Minor or **Major**)
 - Vacation _____ (Easement/Private Way or Public Right-of-way)
 - Variance
 - Waiver
 - Other: _____

Summary of project/request¹*: _____

This site is located at the southwest corner of Montgomery Blvd and Wyoming Blvd currently consisting of one parcel to be divided up into 66 residential lots and 8 commercial tracts.

- 5. This application will be decided at a public meeting or hearing by*:
 - Zoning Hearing Examiner (ZHE)
 - Development Review Board (DRB)
 - Landmarks Commission (LC)
 - Environmental Planning Commission (EPC)

¹ Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

Date/Time*: September 29, 2021 9:00am

Location*²: Zoom Meeting

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

- 6. Where more information about the project can be found*³:
Jon Niski 505-858-3100

Project Information Required for Mail/Email Notice by IDO Subsection 6-4(K)(1)(b):

- 1. Zone Atlas Page(s)*⁴ G-19-Z
- 2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant*: Attached to notice or provided via website noted above
- 3. The following exceptions to IDO standards have been requested for this project*:
 - Deviation(s) Variance(s) Waiver(s)
 - Explanation*: N/A

- 4. A Pre-submittal Neighborhood Meeting was required by Table 6-1-1: Yes No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

- 5. **For Site Plan Applications only***, attach site plan showing, at a minimum:
 - a. Location of proposed buildings and landscape areas.*
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[Note: Items with an asterisk (*) are required.]

- d. **For residential development***: Maximum number of proposed dwelling units.
- e. **For non-residential development***:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information:

From the IDO Zoning Map⁵:

1. Area of Property [typically in acres] 15.1868
 2. IDO Zone District MX-M
 3. Overlay Zone(s) [if applicable] _____
 4. Center or Corridor Area [if applicable] _____
- Current Land Use(s) [vacant, if none] Commercial Retail
-

NOTE: Pursuant to IDO Subsection 14-16-6-4(L), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

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<https://ido.abc-zone.com/>

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<https://tinyurl.com/IDOzoningmap>

⁵ Available here: <https://tinyurl.com/idozoningmap>

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed to a Property Owner**

Date of Notice*: September 2, 2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) Public Notice to:

Property Owner within 100 feet*: BEGGIO SEAN

Mailing Address*: 8220 BRET PL NE, ALBUQUERQUE NM 87109-1716

Project Information Required by IDO Subsection 14-16-6-4(K)(1)(a)

1. Subject Property Address* 4315 Wyoming Blvd NE
Location Description Land Only LT 1-A-1 PLAT FOR LOTS 1-A-1 AND 5-A-1 LA MIRADA SUBDIVISION
2. Property Owner* Wymont LLC
3. Agent/Applicant* [if applicable] Tierra West LLC
4. Application(s) Type* per IDO Table 6-1-1 [mark all that apply]
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
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 - Vacation _____ (Easement/Private Way or Public Right-of-way)
 - Variance
 - Waiver
 - Other: _____

Summary of project/request¹*:
This site is located at the southwest corner of Montgomery Blvd and Wyoming Blvd currently consisting of one parcel to be divided up into 66 residential lots and 8 commercial tracts.

5. This application will be decided at a public meeting or hearing by*:
 - Zoning Hearing Examiner (ZHE)
 - Development Review Board (DRB)
 - Landmarks Commission (LC)
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¹ Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

Date/Time*: September 29, 2021 9:00am

Location*²: Zoom Meeting

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

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Jon Niski 505-858-3100

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- 1. Zone Atlas Page(s)*⁴ G-19-Z
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Deviation(s) Variance(s) Waiver(s)

Explanation*: N/A

- 4. A Pre-submittal Neighborhood Meeting was required by Table 6-1-1: Yes No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

- 5. **For Site Plan Applications only***, attach site plan showing, at a minimum:

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[Note: Items with an asterisk (*) are required.]

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- e. **For non-residential development***:
 - Total gross floor area of proposed project.
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Additional Information:

From the IDO Zoning Map⁵:

1. Area of Property [typically in acres] 15.1868
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NOTE: Pursuant to IDO Subsection 14-16-6-4(L), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

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<https://tinyurl.com/IDOzoningmap>

⁵ Available here: <https://tinyurl.com/idozoningmap>

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed to a Property Owner**

Date of Notice*: September 2,2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) Public Notice to:

Property Owner within 100 feet*: SPECIAL "K" INVESTMENTS INC

Mailing Address*: 11741 SKY VALLEY WAY NE, ALBUQUERQUE NM 87111

Project Information Required by IDO Subsection 14-16-6-4(K)(1)(a)

- 1. Subject Property Address* 4315 Wyoming Blvd NE
Location Description Land Only LT 1-A-1 PLAT FOR LOTS 1-A-1 AND 5-A-1 LA MIRADA SUBDIVISION
- 2. Property Owner* Wymont LLC
- 3. Agent/Applicant* [if applicable] Tierra West LLC
- 4. Application(s) Type* per IDO Table 6-1-1 [mark all that apply]
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision Preliminary Plat Approval (Minor or Major)
 - Vacation _____ (Easement/Private Way or Public Right-of-way)
 - Variance
 - Waiver
 - Other: _____

Summary of project/request¹:

This site is located at the southwest corner of Montgomery Blvd and Wyoming Blvd currently consisting of one parcel to be divided up into 66 residential lots and 8 commercial tracts.

- 5. This application will be decided at a public meeting or hearing by*:
 - Zoning Hearing Examiner (ZHE)
 - Development Review Board (DRB)
 - Landmarks Commission (LC)
 - Environmental Planning Commission (EPC)

¹ Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

Date/Time*: September 29, 2021 9:00am

Location*²: Zoom Meeting

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

- 6. Where more information about the project can be found*³:
Jon Niski 505-858-3100

Project Information Required for Mail/Email Notice by IDO Subsection 6-4(K)(1)(b):

- 1. Zone Atlas Page(s)*⁴ G-19-Z
- 2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant*: Attached to notice or provided via website noted above
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Deviation(s) Variance(s) Waiver(s)

Explanation*: N/A

- 4. A Pre-submittal Neighborhood Meeting was required by Table 6-1-1: Yes No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

- 5. **For Site Plan Applications only***, attach site plan showing, at a minimum:

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[Note: Items with an asterisk (*) are required.]

- d. **For residential development***: Maximum number of proposed dwelling units.
- e. **For non-residential development***:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information:

From the IDO Zoning Map⁵:

1. Area of Property [typically in acres] 15.1868
 2. IDO Zone District MX-M
 3. Overlay Zone(s) [if applicable] _____
 4. Center or Corridor Area [if applicable] _____
- Current Land Use(s) [vacant, if none] Commercial Retail
-

NOTE: Pursuant to IDO Subsection 14-16-6-4(L), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

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<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

⁵ Available here: <https://tinurl.com/idozoningmap>

[Note: Items with an asterisk (*) are required.]

100ft Buffer Neighborhood

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed to a Property Owner**

Date of Notice*: September 2,2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) Public Notice to:

Property Owner within 100 feet*: CULBERTSON DUSTIN A & CHRISTA M

Mailing Address*: 8209 PICKARD CT NE, ALBUQUERQUE NM 87110-1556

Project Information Required by IDO Subsection 14-16-6-4(K)(1)(a)

1. Subject Property Address* 4315 Wyoming Blvd NE
Location Description Land Only LT 1-A-1 PLAT FOR LOTS 1-A-1 AND 5-A-1 LA MIRADA SUBDIVISION
2. Property Owner* Wymont LLC
3. Agent/Applicant* [if applicable] Tierra West LLC
4. Application(s) Type* per IDO Table 6-1-1 [mark all that apply]
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision Preliminary Plat Approval (Minor or **Major**)
 - Vacation _____ (Easement/Private Way or Public Right-of-way)
 - Variance
 - Waiver
 - Other: _____

Summary of project/request¹*: _____

This site is located at the southwest corner of Montgomery Blvd and Wyoming Blvd currently consisting of one parcel to be divided up into 66 residential lots and 8 commercial tracts.

5. This application will be decided at a public meeting or hearing by*:
 - Zoning Hearing Examiner (ZHE)
 - Development Review Board (DRB)
 - Landmarks Commission (LC)
 - Environmental Planning Commission (EPC)

¹ Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

Date/Time*: September 29, 2021 9:00am

Location*²: Zoom Meeting

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

- 6. Where more information about the project can be found*³:
Jon Niski 505-858-3100

Project Information Required for Mail/Email Notice by IDO Subsection 6-4(K)(1)(b):

- 1. Zone Atlas Page(s)*⁴ G-19-Z
- 2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant*: Attached to notice or provided via website noted above
- 3. The following exceptions to IDO standards have been requested for this project*:

Deviation(s) Variance(s) Waiver(s)

Explanation*: N/A

- 4. A Pre-submittal Neighborhood Meeting was required by Table 6-1-1: Yes No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

- 5. **For Site Plan Applications only***, attach site plan showing, at a minimum:

- a. Location of proposed buildings and landscape areas.*
- b. Access and circulation for vehicles and pedestrians.*
- c. Maximum height of any proposed structures, with building elevations.*

² Physical address or Zoom link

³ Address (mailing or email), phone number, or website to be provided by the applicant

⁴ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

- d. **For residential development***: Maximum number of proposed dwelling units.
- e. **For non-residential development***:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information:

From the IDO Zoning Map⁵:

1. Area of Property [typically in acres] 15.1868
 2. IDO Zone District MX-M
 3. Overlay Zone(s) [if applicable] _____
 4. Center or Corridor Area [if applicable] _____
- Current Land Use(s) [vacant, if none] Commercial Retail
-

NOTE: Pursuant to IDO Subsection 14-16-6-4(L), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

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<https://ido.abc-zone.com/>

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⁵ Available here: <https://tinyurl.com/idozoningmap>

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed to a Property Owner**

Date of Notice*: September 2,2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) Public Notice to:

Property Owner within 100 feet*: WI EVANGELICAL LUTHERAN SYNOD

Mailing Address*: 3900 WYOMING BLVD NE, ALBUQUERQUE NM 87111

Project Information Required by IDO Subsection 14-16-6-4(K)(1)(a)

1. Subject Property Address* 4315 Wyoming Blvd NE
Location Description Land Only LT 1-A-1 PLAT FOR LOTS 1-A-1 AND 5-A-1 LA MIRADA SUBDIVISION
2. Property Owner* Wymont LLC
3. Agent/Applicant* [if applicable] Tierra West LLC
4. Application(s) Type* per IDO Table 6-1-1 [mark all that apply]
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
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 - Vacation _____ (Easement/Private Way or Public Right-of-way)
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 - Other: _____

Summary of project/request¹*: _____

This site is located at the southwest corner of Montgomery Blvd and Wyoming Blvd currently consisting of one parcel to be divided up into 66 residential lots and 8 commercial tracts.

5. This application will be decided at a public meeting or hearing by*:
 - Zoning Hearing Examiner (ZHE)
 - Development Review Board (DRB)
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¹ Attach additional information, as needed to explain the project/request.

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Location*²: Zoom Meeting

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

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- 6. Where more information about the project can be found*³:
Jon Niski 505-858-3100

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- 1. Zone Atlas Page(s)*⁴ G-19-Z
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Deviation(s) Variance(s) Waiver(s)

Explanation*: N/A

- 4. A Pre-submittal Neighborhood Meeting was required by Table 6-1-1: Yes No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

- 5. **For Site Plan Applications only***, attach site plan showing, at a minimum:

- a. Location of proposed buildings and landscape areas.*
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[Note: Items with an asterisk (*) are required.]

- d. **For residential development***: Maximum number of proposed dwelling units.
- e. **For non-residential development***:
 - Total gross floor area of proposed project.
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Additional Information:

From the IDO Zoning Map⁵:

1. Area of Property [typically in acres] 15.1868
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[Note: Items with an asterisk (*) are required.]

100ft Buffer Neighborhood

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed to a Property Owner**

Date of Notice*: September 2, 2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) Public Notice to:

Property Owner within 100 feet*: STEADMAN RICHARD EARL & JOSEPHINE ELEANOR

Mailing Address*: 4504 NORMA DR NE, ALBUQUERQUE NM 87109-1736

Project Information Required by IDO Subsection 14-16-6-4(K)(1)(a)

1. Subject Property Address* 4315 Wyoming Blvd NE
Location Description Land Only LT 1-A-1 PLAT FOR LOTS 1-A-1 AND 5-A-1 LA MIRADA SUBDIVISION
2. Property Owner* Wymont LLC
3. Agent/Applicant* [if applicable] Tierra West LLC
4. Application(s) Type* per IDO Table 6-1-1 [mark all that apply]
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
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 - Vacation _____ (Easement/Private Way or Public Right-of-way)
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Summary of project/request¹*:

This site is located at the southwest corner of Montgomery Blvd and Wyoming Blvd currently consisting of one parcel to be divided up into 66 residential lots and 8 commercial tracts.

5. This application will be decided at a public meeting or hearing by*:
 - Zoning Hearing Examiner (ZHE) Development Review Board (DRB)
 - Landmarks Commission (LC) Environmental Planning Commission (EPC)

¹ Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

Date/Time*: September 29, 2021 9:00am

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 - Deviation(s)
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 Explanation*: N/A

- 4. A Pre-submittal Neighborhood Meeting was required by Table 6-1-1: Yes No

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- 5. **For Site Plan Applications only***, attach site plan showing, at a minimum:
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- d. **For residential development***: Maximum number of proposed dwelling units.
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Additional Information:

From the IDO Zoning Map⁵:

1. Area of Property [typically in acres] 15.1868
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[Note: Items with an asterisk (*) are required.]

100ft Buffer Neighborhood

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed to a Property Owner**

Date of Notice*: September 2, 2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) Public Notice to:

Property Owner within 100 feet*: MATTEUCCI PAUL J ETUX ETAL C/O THOMSON PROPERTY TAX SERVICES

Mailing Address*: PO BOX 2609, CARLSBAD CA 92018

Project Information Required by IDO Subsection 14-16-6-4(K)(1)(a)

1. Subject Property Address* 4315 Wyoming Blvd NE
Location Description Land Only LT 1-A-1 PLAT FOR LOTS 1-A-1 AND 5-A-1 LA MIRADA SUBDIVISION
2. Property Owner* Wymont LLC
3. Agent/Applicant* [if applicable] Tierra West LLC
4. Application(s) Type* per IDO Table 6-1-1 [mark all that apply]
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision Preliminary Plat Approval (Minor or **Major**)
 - Vacation _____ (Easement/Private Way or Public Right-of-way)
 - Variance
 - Waiver
 - Other: _____

Summary of project/request¹*: _____

This site is located at the southwest corner of Montgomery Blvd and Wyoming Blvd currently consisting of one parcel to be divided up into 66 residential lots and 8 commercial tracts.

5. This application will be decided at a public meeting or hearing by*:
 - Zoning Hearing Examiner (ZHE)
 - Development Review Board (DRB)
 - Landmarks Commission (LC)
 - Environmental Planning Commission (EPC)

¹ Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

Date/Time*: September 29, 2021 9:00am

Location*²: Zoom Meeting

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

- 6. Where more information about the project can be found*³:
Jon Niski 505-858-3100

Project Information Required for Mail/Email Notice by IDO Subsection 6-4(K)(1)(b):

- 1. Zone Atlas Page(s)*⁴ G-19-Z
- 2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant*: Attached to notice or provided via website noted above
- 3. The following exceptions to IDO standards have been requested for this project*:

Deviation(s) Variance(s) Waiver(s)

Explanation*: N/A

- 4. A Pre-submittal Neighborhood Meeting was required by Table 6-1-1: Yes No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

- 5. **For Site Plan Applications only***, attach site plan showing, at a minimum:

- a. Location of proposed buildings and landscape areas.*
- b. Access and circulation for vehicles and pedestrians.*
- c. Maximum height of any proposed structures, with building elevations.*

² Physical address or Zoom link

³ Address (mailing or email), phone number, or website to be provided by the applicant

⁴ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

- d. For residential development*: Maximum number of proposed dwelling units.
- e. For non-residential development*:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information:

From the IDO Zoning Map⁵:

1. Area of Property [typically in acres] 15.1868
 2. IDO Zone District MX-M
 3. Overlay Zone(s) [if applicable] _____
 4. Center or Corridor Area [if applicable] _____
- Current Land Use(s) [vacant, if none] Commercial Retail
-

NOTE: Pursuant to IDO Subsection 14-16-6-4(L), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

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[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed to a Property Owner**

Date of Notice*: September 2,2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) Public Notice to:

Property Owner within 100 feet*: MAUNEY INVESTMENTS LLC & ETAL C/O RYAN LLC

Mailing Address*: PO BOX 2609, CARLSBAD CA 92018-2609

Project Information Required by IDO Subsection 14-16-6-4(K)(1)(a)

1. Subject Property Address* 4315 Wyoming Blvd NE
Location Description Land Only LT 1-A-1 PLAT FOR LOTS 1-A-1 AND 5-A-1 LA MIRADA SUBDIVISION
2. Property Owner* Wymont LLC
3. Agent/Applicant* [if applicable] Tierra West LLC
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 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
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 - Vacation _____ (Easement/Private Way or Public Right-of-way)
 - Variance
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 - Other: _____

Summary of project/request¹*: _____

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¹ Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

Date/Time*: September 29, 2021 9:00am

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6. Where more information about the project can be found*³:
Jon Niski 505-858-3100

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1. Zone Atlas Page(s)*⁴ G-19-Z
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Explanation*: N/A

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NOTE: Pursuant to IDO Subsection 14-16-6-4(L), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

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**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed to a Property Owner**

Date of Notice*: September 2, 2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) Public Notice to:

Property Owner within 100 feet*: W & M CO

Mailing Address*: 317 6TH ST NW, ALBUQUERQUE NM 87102

Project Information Required by IDO Subsection 14-16-6-4(K)(1)(a)

1. Subject Property Address* 4315 Wyoming Blvd NE
Location Description Land Only LT 1-A-1 PLAT FOR LOTS 1-A-1 AND 5-A-1 LA MIRADA SUBDIVISION
2. Property Owner* Wymont LLC
3. Agent/Applicant* [if applicable] Tierra West LLC
4. Application(s) Type* per IDO Table 6-1-1 [mark all that apply]
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
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 - Other: _____

Summary of project/request¹:

This site is located at the southwest corner of Montgomery Blvd and Wyoming Blvd currently consisting of one parcel to be divided up into 66 residential lots and 8 commercial tracts.

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 - Development Review Board (DRB)
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Deviation(s) Variance(s) Waiver(s)

Explanation*: N/A

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From the IDO Zoning Map⁵:

1. Area of Property [typically in acres] 15.1868
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NOTE: Pursuant to IDO Subsection 14-16-6-4(L), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

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[Note: Items with an asterisk (*) are required.]

100ft Buffer Neighborhood

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed to a Property Owner**

Date of Notice*: September 2, 2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) Public Notice to:

Property Owner within 100 feet*: MCDONALDS CORPORATION C/O CONQUISTADORES INC

Mailing Address*: PO BOX 92500, ALBUQUERQUE NM 87199-2500

Project Information Required by IDO Subsection 14-16-6-4(K)(1)(a)

1. Subject Property Address* 4315 Wyoming Blvd NE
Location Description Land Only LT 1-A-1 PLAT FOR LOTS 1-A-1 AND 5-A-1 LA MIRADA SUBDIVISION
2. Property Owner* Wymont LLC
3. Agent/Applicant* [if applicable] Tierra West LLC
4. Application(s) Type* per IDO Table 6-1-1 [mark all that apply]
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
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 - Vacation _____ (Easement/Private Way or Public Right-of-way)
 - Variance
 - Waiver
 - Other: _____

Summary of project/request¹*:

This site is located at the southwest corner of Montgomery Blvd and Wyoming Blvd currently consisting of one parcel to be divided up into 66 residential lots and 8 commercial tracts.

5. This application will be decided at a public meeting or hearing by*:
 - Zoning Hearing Examiner (ZHE)
 - Development Review Board (DRB)
 - Landmarks Commission (LC)
 - Environmental Planning Commission (EPC)

¹ Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

Date/Time*: September 29, 2021 9:00am

Location*²: Zoom Meeting

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

- 6. Where more information about the project can be found*³:
Jon Niski 505-858-3100

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- 1. Zone Atlas Page(s)*⁴ G-19-Z
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100ft Buffer Neighborhood

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for Decisions Requiring a Meeting or Hearing
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Date of Notice*: September 2,2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) Public Notice to:

Property Owner within 100 feet*: SELIGMAN JAMES A & ANA CARRILLO

Mailing Address*: 1525 32ND CIR SE, RIO RANCHO NM 87124-1913

Project Information Required by IDO Subsection 14-16-6-4(K)(1)(a)

1. Subject Property Address* 4315 Wyoming Blvd NE
Location Description Land Only LT 1-A-1 PLAT FOR LOTS 1-A-1 AND 5-A-1 LA MIRADA SUBDIVISION
2. Property Owner* Wymont LLC
3. Agent/Applicant* [if applicable] Tierra West LLC
4. Application(s) Type* per IDO Table 6-1-1 [mark all that apply]
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
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Summary of project/request¹:

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Location*²: Zoom Meeting

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Additional Information:

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This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) Public Notice to:

Property Owner within 100 feet*: G & L INVESTMENTS CO INC

Mailing Address*: 317 6TH ST NW, ALBUQUERQUE NM 87102

Project Information Required by IDO Subsection 14-16-6-4(K)(1)(a)

1. Subject Property Address* 4315 Wyoming Blvd NE
Location Description Land Only LT 1-A-1 PLAT FOR LOTS 1-A-1 AND 5-A-1 LA MIRADA SUBDIVISION
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Property Owner within 100 feet*: M & M CO

Mailing Address*: 8220 LA MIRADA RD NE SUITE 700, ALBUQUERQUE NM 87109-1659

Project Information Required by IDO Subsection 14-16-6-4(K)(1)(a)

1. Subject Property Address* 4315 Wyoming Blvd NE
Location Description Land Only LT 1-A-1 PLAT FOR LOTS 1-A-1 AND 5-A-1 LA MIRADA SUBDIVISION
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- c. Maximum height of any proposed structures, with building elevations.*

² Physical address or Zoom link

³ Address (mailing or email), phone number, or website to be provided by the applicant

⁴ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

- d. **For residential development***: Maximum number of proposed dwelling units.
- e. **For non-residential development***:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information:

From the IDO Zoning Map⁵:

1. Area of Property [typically in acres] 15.1868
 2. IDO Zone District MX-M
 3. Overlay Zone(s) [if applicable] _____
 4. Center or Corridor Area [if applicable] _____
- Current Land Use(s) [vacant, if none] Commercial Retail
-

NOTE: Pursuant to IDO Subsection 14-16-6-4(L), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

⁵ Available here: <https://tinyurl.com/idozoningmap>

[Note: Items with an asterisk (*) are required.]

100ft Buffer Neighborhood

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed to a Property Owner**

Date of Notice*: September 2, 2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) Public Notice to:

Property Owner within 100 feet*: M & M CO WAL MART 01-0824 #8013 C/O WAL-MART PROP TAX DEPT MS 0555

Mailing Address*: 8220 LA MIRADA RD NE SUITE #300, ALBUQUERQUE NM 87109-1657

Project Information Required by IDO Subsection 14-16-6-4(K)(1)(a)

1. Subject Property Address* 4315 Wyoming Blvd NE
Location Description Land Only LT 1-A-1 PLAT FOR LOTS 1-A-1 AND 5-A-1 LA MIRADA SUBDIVISION
2. Property Owner* Wymont LLC
3. Agent/Applicant* [if applicable] Tierra West LLC
4. Application(s) Type* per IDO Table 6-1-1 [mark all that apply]
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision Preliminary Plat Approval (Minor or **Major**)
 - Vacation _____ (Easement/Private Way or Public Right-of-way)
 - Variance
 - Waiver
 - Other: _____

Summary of project/request¹*:

This site is located at the southwest corner of Montgomery Blvd and Wyoming Blvd currently consisting of one parcel to be divided up into 66 residential lots and 8 commercial tracts.

5. This application will be decided at a public meeting or hearing by*:
 - Zoning Hearing Examiner (ZHE)
 - Development Review Board (DRB)
 - Landmarks Commission (LC)
 - Environmental Planning Commission (EPC)

¹ Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

Date/Time*: September 29, 2021 9:00am

Location*²: Zoom Meeting

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

- 6. Where more information about the project can be found*³:
Jon Niski 505-858-3100

Project Information Required for Mail/Email Notice by IDO Subsection 6-4(K)(1)(b):

- 1. Zone Atlas Page(s)*⁴ G-19-Z
- 2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant*: Attached to notice or provided via website noted above
- 3. The following exceptions to IDO standards have been requested for this project*:

Deviation(s) Variance(s) Waiver(s)

Explanation*: N/A

- 4. A Pre-submittal Neighborhood Meeting was required by Table 6-1-1: Yes No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

- 5. **For Site Plan Applications only***, attach site plan showing, at a minimum:

- a. Location of proposed buildings and landscape areas.*
- b. Access and circulation for vehicles and pedestrians.*
- c. Maximum height of any proposed structures, with building elevations.*

² Physical address or Zoom link

³ Address (mailing or email), phone number, or website to be provided by the applicant

⁴ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

- d. For residential development*: Maximum number of proposed dwelling units.
- e. For non-residential development*:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information:

From the IDO Zoning Map⁵:

1. Area of Property [typically in acres] 15.1868
 2. IDO Zone District MX-M
 3. Overlay Zone(s) [if applicable] _____
 4. Center or Corridor Area [if applicable] _____
- Current Land Use(s) [vacant, if none] Commercial Retail
-

NOTE: Pursuant to IDO Subsection 14-16-6-4(L), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

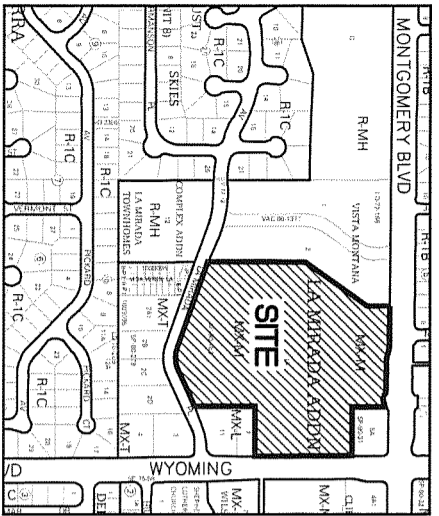
Integrated Development Ordinance (IDO):
<https://ido.abc-zone.com/>

IDO Interactive Map
<https://tinyurl.com/IDOzoningmap>

⁵ Available here: <https://tinyurl.com/idozoningmap>

Indexing Information

Section 6, Township 10 North, Range 4 East, N.M.P.M.
 Subdivision: La Mirada Subdivision
 UIC # 101900480470204041



Vicinity Map - Zone Atlas G-19-Z

Purpose of Plat

1. Subdivide existing tract into 66 Residential lots, 4 HOA tracts and 8 non-residential tracts.
2. Vacate Easements.
3. Grant Easements.

Solar Collection Note

NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A REDED RESTRICTION CONTRACT OR BUILDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERCTED ON THE LOTS OR PARCELS WITHIN THE AREA OF PROPOSED PLAT. THE FOREGOING REQUIREMENT SHALL BE A CONDITION TO APPROVAL OF THIS PLAT.

Documents

1. TITLE COMMITMENT PROVIDED BY OLD REPUBLIC NATIONAL TITLE, HAVING FILE NO. 201182 AND AN EFFECTIVE DATE OF DECEMBER 16, 2020 AND UPDATED APRIL 8, 2021.
2. PLAT FOR LA MIRADA, FILED IN THE BERNALILLO COUNTY CLERK'S OFFICE ON NOVEMBER 6, 1990 IN BOOK 90C, PAGE 274.
3. PLAT FOR LA MIRADA SUBDIVISION, FILED IN THE BERNALILLO COUNTY CLERK'S OFFICE ON MARCH 19, 1974 IN BOOK C9, PAGE 165 AND CORRECTION PLAT, FILED IN THE BERNALILLO COUNTY CLERK'S OFFICE ON MARCH 20, 1991 IN BOOK C18, PAGE 32.
4. PLAT FOR VISTA MONTANA COMPLEX, FILED IN THE BERNALILLO COUNTY CLERK'S OFFICE ON APRIL 14, 1972 IN BOOK C8, PAGE 126.
5. PLAT OF RECORD FOR LOTS 1-A-1 AND 5-A-1, LA MIRADA SUBDIVISION, FILED IN THE BERNALILLO COUNTY CLERK'S OFFICE ON DECEMBER 23, 2019, IN PLAT BOOK 2019C, PAGE 137.
6. PLAT FOR TRACTS A AND B BEING A REPEAT OF LOTS 7 & 11 OF LA MIRADA SUBDIVISION, FILED IN THE BERNALILLO COUNTY CLERK'S OFFICE ON JULY 6, 1970, IN BOOK B5, PAGE 47.
7. WARRANTY DEED FOR SUBJECT PROPERTY, FROM M & M CO TO WYOMONT LLC, FILED IN THE BERNALILLO COUNTY CLERK'S OFFICE ON JUNE 24, 2021, AS DOCUMENT NO. 20210749Z.

Flood Notes

BASED UPON SCALING, PORTIONS OF THIS PROPERTY LIE WITHIN ZONE "AO", WHICH IS DEFINED AS A SPECIAL FLOOD HAZARD AREA, HAVING AN AVERAGE FLOOD DEPTH OF 1' (USUALLY SHEET FLOW ON SLOPING TERRAIN), AND ZONE "X", WHICH IS DEFINED AS AN AREA OF MINIMAL FLOOD HAZARD.

AS DETERMINED BY F.E.H.A. AND SHOWN ON THE FLOOD INSURANCE RATE MAP NO. 50010043G, DATED SEPTEMBER 26, 2008.

Legal Description

LOT NUMBERED ONE-A-ONE (1-A-1) OF LA MIRADA SUBDIVISION, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT ENTITLED "PLAT FOR LOTS 1-A-1 AND 5-A-1, LA MIRADA SUBDIVISION, BEING COMPRISED OF LOTS 1-A AND 5-A, LA MIRADA SUBDIVISION, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO," ON DECEMBER 23, 2019, IN PLAT BOOK 2019C, PAGE 137.

Subdivision Data

GROSS ACREAGE: 15.1868 ACRES
 ZONE ATLAS PAGE NO.: G-19-Z
 NUMBER OF EXISTING LOTS: 1
 NUMBER OF COMMERCIAL TRACTS CREATED IN COMMERCIAL AREA: 0
 NUMBER OF RESIDENTIAL TRACTS CREATED IN RESIDENTIAL AREA: 66
 NUMBER OF TRACTS CREATED WITHIN RESIDENTIAL AREA: 66
 MILES OF FULL-WIDTH STREETS: 0.0000 MILES
 MILES OF HALF-WIDTH STREETS: 0.0000 MILES
 RIGHT-OF-WAY DEDICATION TO THE CITY OF ALBUQUERQUE: AUGUST 2021
 DATE OF SURVEY: AUGUST 2021

General Notes

1. EXISTING ZONING: "MX-M" MIXED USE-MODERATE INTENSITY
2. PROPOSED ZONING: "MX-M" MIXED USE-MODERATE INTENSITY
3. TOTAL ACREAGE: 15.1868 ACRES
4. SETBACKS - REQUIRED
 FRONT: 0 FT. MINIMUM, 15 FT. MAXIMUM
 SIDE: 0 FT. INTERIOR, 15 FT. STREET SIDE
 REAR: 15 FT. MINIMUM, 0 FT. STREET OR ALLEY
5. MANHOLES SHALL BE OFFSET AT ALL POINTS OF CURVATURE.

Notes

1. FIELD SURVEY PERFORMED IN DECEMBER 2018 THROUGH AUGUST 2019, AND SUPPLEMENTAL DATA IN MARCH 2021.
2. ALL DISTANCES ARE GROUND DISTANCES: U.S. SURVEY FEET.
3. THE BASIS OF BEARINGS REFERENCES NM STATE PLANE COORDINATES AND BEARINGS.
4. UNDERGROUND UTILITY LOCATIONS, SOURCE INFORMATION FROM PLANS AND MARKINGS WERE COMBINED WITH OBSERVED EVIDENCE OF UTILITIES PURSUANT TO SECTION S.E.W. TO DEVELOP A VIEW OF THE UNDERGROUND UTILITIES. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY DETERMINED. THE LOCATION OF UNDERGROUND UTILITIES, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY DETERMINED. THE LOCATION OF UNDERGROUND UTILITIES, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY DETERMINED. THE LOCATION OF UNDERGROUND UTILITIES, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY DETERMINED.
5. UNLESS OTHERWISE NOTED, ALL BOUNDARY CORNERS SHALL BE MONUMENTED IN ACCORDANCE WITH LOCAL AND STATE REQUIREMENTS.

Legend

N 90°00'00" E

- MEASURED BEARINGS AND DISTANCES
- FOUND REBAR WITH CAP "15 4018"
- UNLESS OTHERWISE INDICATED
- SET BATTERY MARKER "15 14271"
- FOUND SPRINGING NUMBER
- INDICATED BY DIMENSIONED WINDOW AS
- COVERED AREA
- CONCRETE
- UTILITY REFEETAL
- GRAND PAVEMENT
- WIRE FENCE
- METAL FENCE
- RETAINING WALL
- BLOCK WALL
- CHANKING FENCE
- RAILROAD TIES
- HANDRAIL
- BEHALD
- OVERHEAD UTILITY LINE
- UTILITY POLE
- ANCHOR
- PULL BOX
- ELECTRIC METER
- TRANSFORMER
- ELECTRIC CABINET
- GAS METER
- CABLE MANHOLE
- WATER MANHOLE
- WATER METER
- FIRE HYDRANT
- ROOF DRAIN
- MANHOLE
- SAS CLEANOUT
- IRRIGATION BOX
- MANHOLE
- STONE DRAIN INLET
- IRRIGATION VALVE
- SIGN
- CURB CUT/INDICATION OF ACCESS TO ROADWAY
- FIRE DEPARTMENT CONNECTION
- RAUP

Preliminary Plat for
Wymont Subdivision
 Being Comprised of
Lot 1-A-1, La Mirada Subdivision
 City of Albuquerque
 Bernalillo County, New Mexico
 August 2021

PROJECT NO.: PR-2019-002309

Parcel Information
 Residential Area Only
 (See Sheet 4 of 5 for more details)

Parcel Name	Area (Acres)	Area (Sq Ft.)
Lot 1	0.0758	3,294
Lot 2	0.0607	2,646
Lot 3	0.0786	3,423
Lot 4	0.0732	3,278
Lot 5	0.0592	2,578
Lot 6	0.0883	3,875
Lot 7	0.0711	3,095
Lot 8	0.0585	2,550
Lot 9	0.0585	2,550
Lot 10	0.0683	2,975
Lot 11	0.0711	3,095
Lot 12	0.0585	2,550
Lot 13	0.0585	2,550
Lot 14	0.0683	2,975
Lot 15	0.0683	2,975
Lot 16	0.0585	2,550
Lot 17	0.0585	2,550
Lot 18	0.0749	3,262
Lot 19	0.0683	2,976
Lot 20	0.0585	2,546
Lot 21	0.0683	2,975
Lot 22	0.0683	2,975
Lot 23	0.0576	2,519
Lot 24	0.0945	4,117
Lot 25	0.1107	4,820
Lot 26	0.0654	2,850
Lot 27	0.0660	2,975
Lot 28	0.1060	4,619
Lot 29	0.0763	3,326
Lot 30	0.0654	2,850
Lot 31	0.0654	2,850
Lot 32	0.0763	3,326
Lot 33	0.0763	3,326
Lot 34	0.0654	2,850
Lot 35	0.0654	2,850
Lot 36	0.0763	3,326
Lot 37	0.0763	3,326
Lot 38	0.0713	3,191
Lot 39	0.0713	3,191
Lot 40	0.0825	3,595
Lot 41	0.0825	3,595
Lot 42	0.0758	3,319
Lot 43	0.0758	3,319
Lot 44	0.0758	3,319
Lot 45	0.0685	2,980
Lot 46	0.0685	2,980
Lot 47	0.0683	2,975
Lot 48	0.0683	2,975
Parcel A	0.3791	16,515
Parcel B	0.3791	16,515
Parcel C	0.3791	16,515
Parcel D	1.5660	68,214

APPROVED FOR MONUMENTATION AND STREET NAMES

Laurel Boudreau, P.S.
 CITY SURVEYOR
 DATE: 8/26/2021

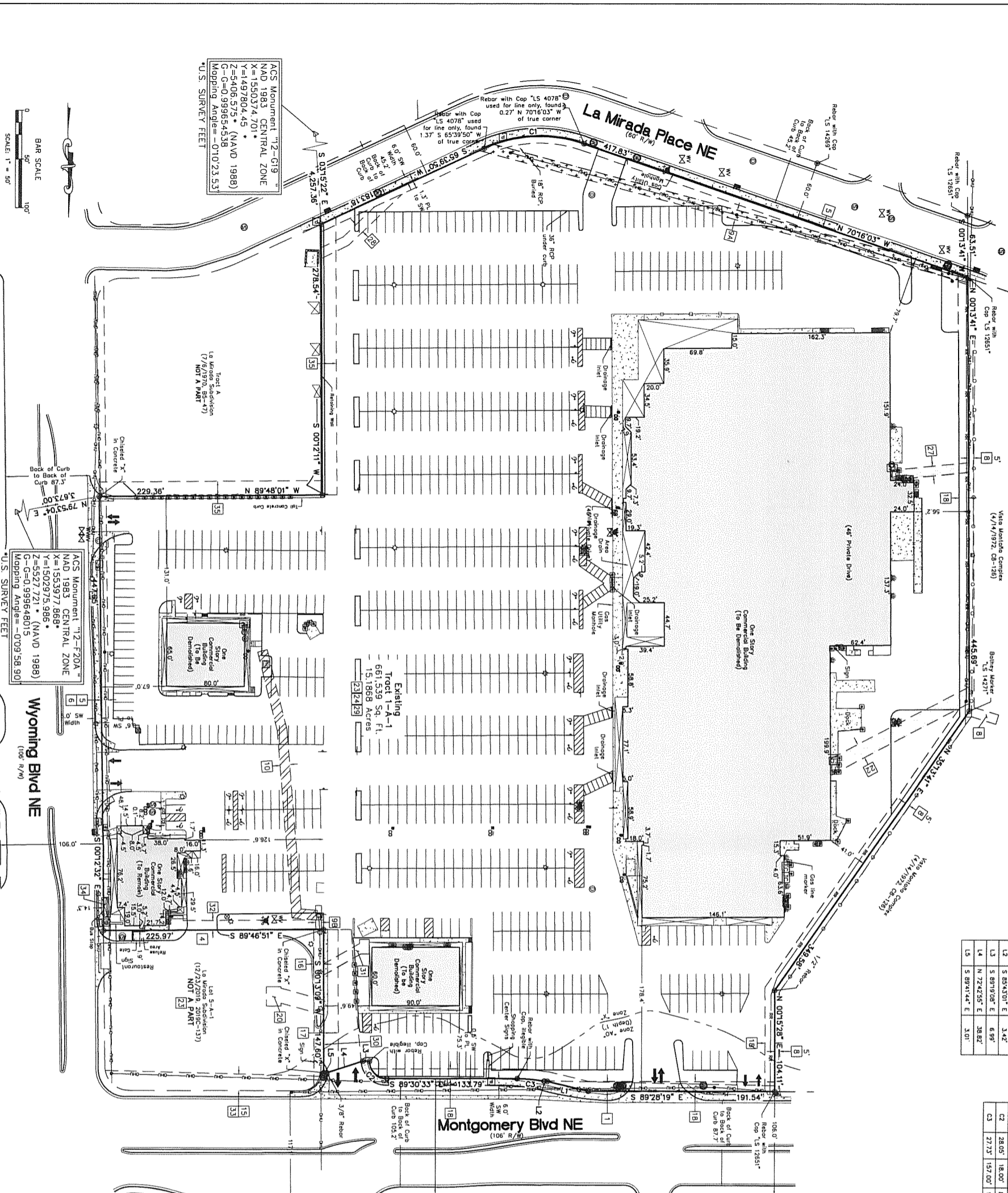
OWNER: WYMONT, LLC
 BY: CAREY PAINT
 ITS VICE PRESIDENT
Carey Paint
 CAREY PAINT, VICE PRESIDENT
 WYMONT, LLC
 DATE: 9/11/2021

CSI-CARTESIAN SURVEYS INC.
 P.O. BOX 4414 RIO RANCHO, N.M. 87174
 Phone (505) 896-3050 Fax (505) 891-0244
 wplament@gmail.com
 Sheet 1 of 5
 8/26/21

**This Sheet Shows Existing
Conditions, Existing Easements,
and Vacated Easements**

Line #	Direction	Length (ft)
L1	S 76°31'3" E	43.17'
L2	S 85°43'01" E	3.42'
L3	S 89°19'08" E	6.99'
L4	N 72°42'55" E	38.82'
L5	S 89°14'4" E	3.01'

Curve #	Length	Radius	Delta	Chord Length	Chord Direction
C1	106.14'	138.00'	44°43'07"	103.34'	S 87°41'53" W
C2	28.05'	18.00'	89°17'07"	23.30'	S 44°52'00" E
C3	27.73'	157.00'	107°06'	27.69'	S 64°04'11" E



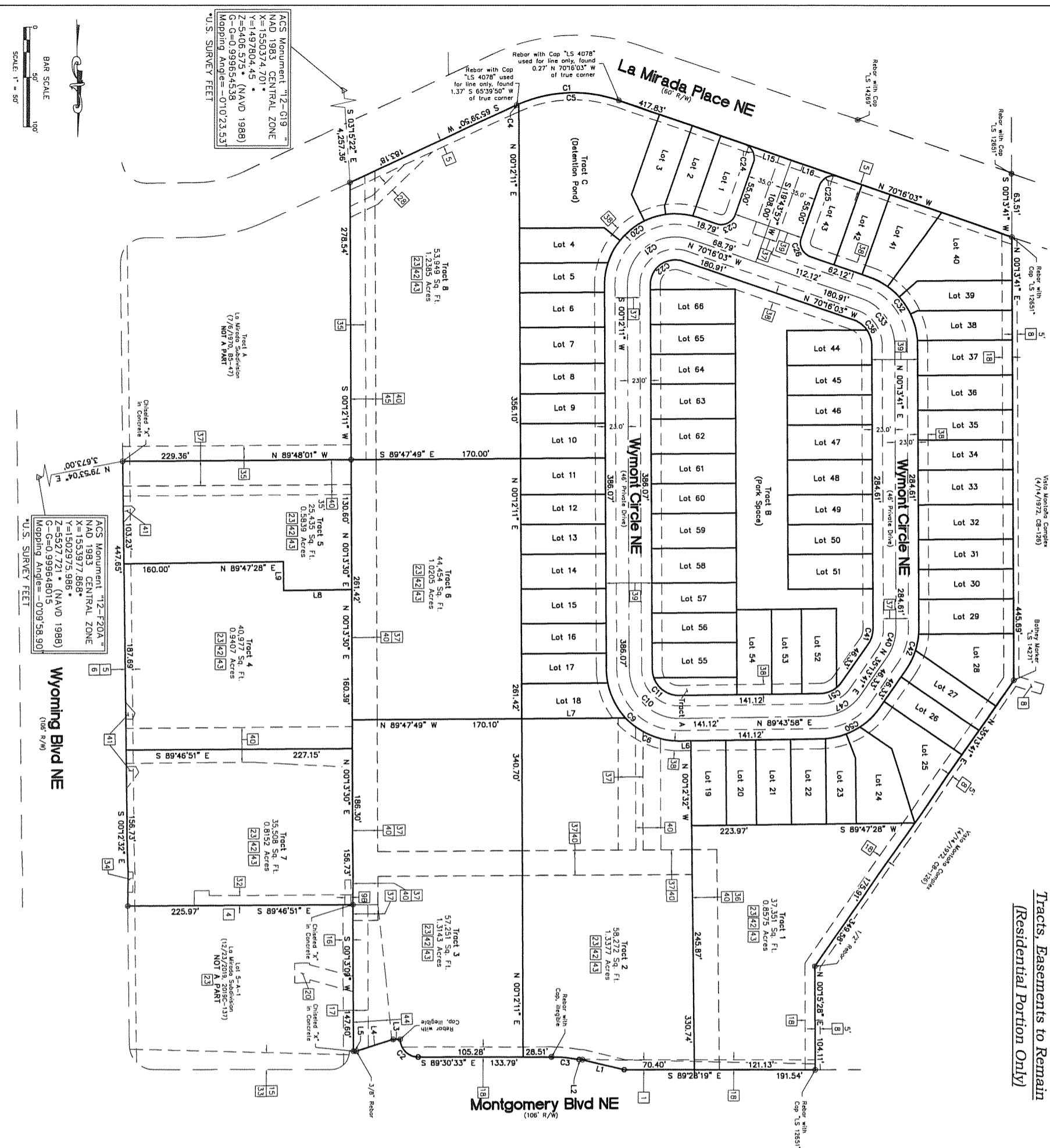
**Preliminary Plat for
Wymont Subdivision
Being Comprised of
Lot 1-A-1, La Mirada Subdivision
City of Albuquerque
Bernalillo County, New Mexico
August 2021**

Easement Notes

- 1 EXISTING PNM TRANSMISSION LINE EASEMENT (4/24/1973, BK. MSC. 309, FOL. 334, DOC. NO. 47734)
- 2 CENTERLINE OF 32.5 FOOT OPENING AT THE PROPERTY LINE BEING A PRIVATE RECIPROCAL DRIVEWAY OPENING EASEMENT BENEFITING LOT 1-A-1 AND 5-A-1 FOR ACCESS TO AND FROM LOT 1-A-1 AND LOT 5-A-1 INTO THE DRIVE ASLES ESTABLISHED AND/OR RELOCATED FROM THE SUCH DRIVE ASLES CREATED OWNERS OF LOT 1-A-1 AND LOT 5-A-1, EACH OWNER IS TO BE RESPONSIBLE TO MAINTAIN THAT PORTION OF THE RECIPROCAL DRIVEWAY OPENING AND THE DRIVE ASLES THAT ARE SITUATE UPON THAT OWNERS LOT (12/23/2019, 2019C-137)
- 3 EXISTING 7' UTILITY EASEMENT (3/19/1974, CG-165), AMENDED BY PLAT (3/20/1981, CG-52) ACROSS THE EASTERLY 7' OF LOT 1-A-1
- 4 EXISTING 7' EASEMENT FOR POWER TRANSMISSION LINES 63' ABOVE GROUND LEVEL (9/24/1988, BK. 116 PG. 158, DOC. NO. 8889) ACROSS THE EASTERLY 7' OF LOT 1-A-1 AND 5-A-1
- 5 EXISTING UTILITY EASEMENT (4/14/1972, CG-126) LOCATED ON VISTA MONTANA COMPLEX
- 6 EXISTING 10' PNM EASEMENT (6/21/1977, BK. MSC. 542, PG. 844, DOC. NO. 77-36542) VACATED WITH THIS PLAT, SHOWN HEREON AS [Symbol]
- 7 EXISTING 6' ANCHOR EASEMENT (6/21/1977, BK. MSC. 542, PG. 844, DOC. NO. 77-36542)
- 8 EXISTING 10' UNDERGROUND PNM & M&T EASEMENT (10/28/1986, BK. MSC. 4124, PG. 15, DOC. NO. 86105149) VACATED WITH THIS PLAT, SHOWN HEREON AS [Symbol]
- 9 EXISTING PNM EASEMENT (4/24/1973, BK. MSC. 309, PG. 333, DOC. NO. 47733) LOCATED ON LOT 5-A-1
- 10 EXISTING 10' PNM EASEMENT (6/21/1977, BK. MSC. 542, PG. 845, DOC. 7736543) LOCATED ON LOT 5-A-1
- 11 EXISTING 15' GAS EASEMENT (12/23/2019, 2019C-137)
- 12 EXISTING 10' PUE (12/23/2019, 2019C-137) LOCATED ON LOT 1-A-1
- 13 EXISTING PNM & US WEST EASEMENT (1/22/1986, BK. 96-2, PG. 6187-6188, DOC. NO. 96802364)
- 14 15' PNM & CENTURYLINK EASEMENT (12/23/2019, 2019C-137) VACATED WITH THIS PLAT, SHOWN HEREON AS [Symbol]
- 15 EXISTING PRIVATE GROSS LOT ACCESS EASEMENT BENEFITING LOTS 5-A-1 AND 5-A-1 TO OVER THE DRIVE ASLES WITHIN LOTS 5-A-1 AND 1-A-1 (NOW KNOWN AS TRACT 1-A-1) AS MAY BE STRIPPED AND MODIFIED OVER TIME AND MAINTAINED BY THE UNDERLYING OWNER OF LOT 5-A-1 AND LOT 1-A-1, EXCLUDING BUILDING ENVELOPES FOR BOTH FUTURE AND EXISTING BUILDINGS (12/23/2019, 2019C-137) MODIFIED BY DOCUMENT NO. [Symbol] AS DOC. NO. [Symbol] AND VACATE THAT PORTION LOCATED WITHIN THE RESIDENTIAL AREA BY THIS PLAT.
- 16 EXISTING PRIVATE GROSS LOT DRAINAGE EASEMENT BENEFITING LOT 5-A-1 OVER LOT 1-A-1 TO BE MAINTAINED BY THE UNDERLYING OWNER OF LOT 1-A-1 (12/23/2019, 2019C-137) VACATED WITH THIS PLAT.
- 17 EXISTING 10' PNM EASEMENT (12/23/2019, 2019C-137) VACATED WITH THIS PLAT SHOWN HEREON AS [Symbol]
- 18 EXISTING 10' PNM EASEMENT (12/23/2019, 2019C-137)
- 19 EXISTING PRIVATE GROSS LOT PARKING EASEMENTS WITHIN THE PARKING AREAS AS REGULATED, STRIPPED AND MODIFIED OVER TIME BY THE OWNER OF LOT 1-A-1, WITHIN LOT 1-A-1, BENEFITING LOT 5-A-1 AND LOT 1-A-1, EXCLUDING BUILDING ENVELOPES FOR BOTH EXISTING AND FUTURE BUILDINGS TO BE MAINTAINED BY THE UNDERLYING OWNER OF SAID LOT 1-A-1 (12/23/2019, 2019C-137) VACATED WITH THE EILING OF THIS PLAT.
- 20 EXISTING PRIVATE DRIVEWAY EASEMENT BENEFITING LOTS 5-A-1 AND 1-A-1 TO BE MAINTAINED BY THE OWNER OF LOT 1-A-1 FOR ACCESS TO AND FROM MONTGOMERY BOULEVARD FOR LOTS 5-A-1 AND 1-A-1 AND FOR ACCESS BETWEEN LOTS 5-A-1 AND 1-A-1 (12/23/2019, 2019C-137) VACATED WITH THIS PLAT.
- 21 EXISTING 10' PNM EASEMENT (12/23/2019, 2019C-137) VACATED WITH THIS PLAT
- 22 EXISTING 10' PNM EASEMENT (12/23/2019, 2019C-137)
- 23 EXISTING CENTURYLINK EASEMENT (12/23/2019, 2019C-137)
- 24 EXISTING PUBLIC SIDEWALK AND BUS STOP SHELTER EASEMENT (12/23/2019, 2019C-137)
- 25 EXISTING PRIVATE EASEMENT AGREEMENT BETWEEN THE BANK OF AMERICA AND THE OWNER OF THE SUBJECT PROPERTY FOR RETAINING WALL MAINTENANCE (12/23/2019, DOC. 2019109248)
- * EASEMENT LABELS [Symbol] [Symbol] [Symbol] [Symbol] [Symbol] [Symbol] NOT USED

This Sheet Shows Proposed Lots and Tracts, Easements to Remain (Residential Portion Only)

Preliminary Plat for Wymont Subdivision Being Comprised of Lot 1-A-1, La Mirada Subdivision City of Albuquerque Bernalillo County, New Mexico August 2021



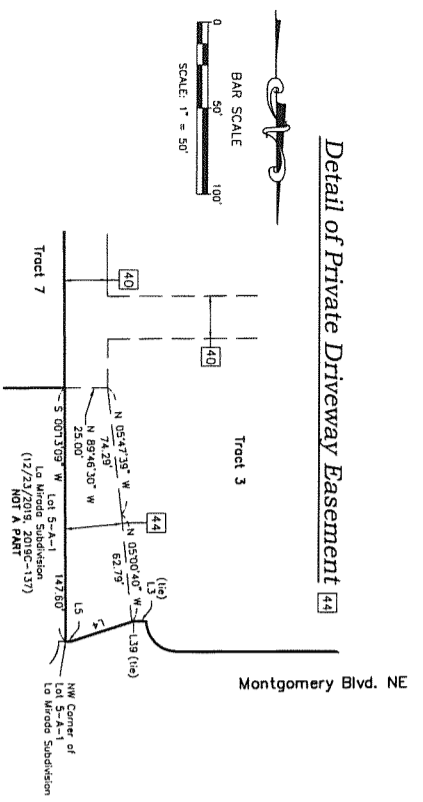
Easement Notes

- 1 EXISTING PNM TRANSMISSION LINE EASEMENT (4/24/1973, BK. MISC. 309, P.G. 334, DOC. NO. 47734)
- 2 CENTERLINE OF 32.5 FOOT OPENING AT THE PROPERTY LINE BEING A PRIVATE DRIVEWAY FOR THE WYMONT SUBDIVISION. THE DRIVEWAY SHALL BE MAINTAINED FOR USE WITHIN LOT 1-A-1 AND 5-A-1 AS SUCH DRIVEWAYS ARE ESTABLISHED AND/OR RELOCATED FROM TIME TO TIME BY THE RESPECTIVE OWNERS OF LOT 1-A-1 AND LOT 5-A-1. EACH OWNER IS TO BE RESPONSIBLE TO MAINTAIN THAT PORTION OF THE RECIPROCAL DRIVEWAY OPENING AND THE DRIVE ALLEYS THAT ARE SITUATE UPON THAT OWNER'S LOT (12/23/2019, 2019C-137)
- 3 EXISTING 7' UTILITY EASEMENT (3/19/1974, CG-165), AMENDED BY PLAT (3/20/1981, C18-32) ACROSS THE EASTSIDE 7' OF LOT 1-A-1
- 4 EXISTING 7' EASEMENT FOR POWER TRANSMISSION LINES 53' ABOVE GROUND LEVEL (9/24/1968, BK. 116, PG. 158, DOC. NO. 8889) ACROSS THE EASTSIDE 7' OF LOT 1-A-1 AND 5-A-1
- 5 EXISTING UTILITY EASEMENT (4/14/1972, CB-126) LOCATED ON VISTA MONTANA COMPLEX
- 6 EXISTING 6' ANCHOR EASEMENT (6/21/1977, BK. MISC. 542, PG. 844, DOC. NO. 77-36542)
- 7 EXISTING PNM EASEMENT (4/24/1973, BK. MISC. 309, PG. 333, DOC. NO. 47733) LOCATED ON LOT 5-A-1
- 8 EXISTING 10' PNM EASEMENT (6/21/1977, BK. MISC. 542, PG. 845, DOC. 7736543) LOCATED ON LOT 5-A-1
- 9 EXISTING 15' GAS EASEMENT (12/23/2019, 2019C-137)
- 10 EXISTING 10' PUE (12/23/2019, 2019C-137)
- 11 EXISTING PNM & US WEST EASEMENT (1/22/1996, BK. 96-2, PG. 6187-6188, DOC. NO. 96007364)
- 12 EXISTING PRIVATE GROSS LOT ACCESS EASEMENT BENEFITING LOTS 5-A-1 AND 5-A-1 WITHIN LOTS 5-A-1 AND 5-A-1, WYMONT SUBDIVISION. THE DRIVE ALLEYS WITHIN LOTS 5-A-1 AND 5-A-1, WYMONT SUBDIVISION, SHALL BE MAINTAINED AND LOT 1-A-1, EXCLUDING BUILDING ENVELOPES FOR BOTH FUTURE AND EXISTING BUILDINGS (12/23/2019, 2019C-137) MODIFIED BY DOCUMENT (AS DOC. NO. _____)
- 13 EXISTING PRIVATE GROSS LOT ACCESS EASEMENT BENEFITING LOTS 5-A-1 AND 5-A-1 WITHIN LOTS 5-A-1 AND 5-A-1, WYMONT SUBDIVISION. THE DRIVE ALLEYS WITHIN LOTS 5-A-1 AND 5-A-1, WYMONT SUBDIVISION, SHALL BE MAINTAINED AND LOT 1-A-1, EXCLUDING BUILDING ENVELOPES FOR BOTH FUTURE AND EXISTING BUILDINGS (12/23/2019, 2019C-137) MODIFIED BY DOCUMENT (AS DOC. NO. _____)
- 14 EXISTING 10' PNM EASEMENT (12/23/2019, 2019C-137)
- 15 EXISTING 10' PNM EASEMENT (12/23/2019, 2019C-137)
- 16 EXISTING CENTURYLINK EASEMENT (12/23/2019, 2019C-137)
- 17 EXISTING PUBLIC SIDEWALK AND BUS STOP SHELTER EASEMENT (12/23/2019, 2019C-137)
- 18 EXISTING PRIVATE EASEMENT AGREEMENT BETWEEN THE BANK OF AMERICA AND WYMONT SUBDIVISION FOR RETAINING WALL MAINTENANCE (12/23/2019, DOC. 201909249)
- 19 PUBLIC WATER EASEMENT BENEFITING TRACTS 1 THRU 8, THE WYMONT SUBDIVISION, GRANTED WITH THE FILING OF THIS PLAT, TO BE MAINTAINED BY THE OWNERS OF SAID TRACTS. SEE DETAIL ON SHEET 5 OF 5
- 20 PUBLIC WATER AND PUBLIC SANITARY SEWER EASEMENT GRANTED WITH THE FILING OF THIS PLAT, TO BE MAINTAINED BY THE OWNERS OF SAID TRACTS 1-68 AND TRACTS A-C, WYMONT PLACE. SEE DETAIL ON SHEET 5 OF 5
- 21 PUE GRANTED BY THE FILING OF THIS PLAT
- 22 PRIVATE VEHICLE AND PEDESTRIAN ACCESS EASEMENT GRANTED WITH THE FILING OF THIS PLAT BENEFITING LOTS 1-66 AND TRACTS A-D, OWNED AND MAINTAINED BY THE HOA.
- 23 PRIVATE ACCESS EASEMENT BENEFITING TRACTS 1-8, WYMONT SUBDIVISION AND LOT 5-A-1, LA MIRADA SUBDIVISION, GRANTED WITH THE FILING OF THIS PLAT, TO BE MAINTAINED BY THE OWNERS OF SAID TRACTS. SEE DETAIL ON SHEET 5 OF 5
- 24 PUBLIC SIDEWALK EASEMENT GRANTED WITH THE FILING OF THIS PLAT. SEE DETAIL ON SHEET 5 OF 5
- 25 PRIVATE GROSS LOT PARKING EASEMENTS WITHIN THE PARKING AREAS AS REGULATED, STRIPPED AND MODIFIED OVER TIME BY THE OWNER OF TRACTS 1-8, WYMONT SUBDIVISION, WITHIN TRACTS 1-8, WYMONT SUBDIVISION, BENEFITING LOT OWNERS OF TRACTS 1-8, WYMONT SUBDIVISION, INCLUDING BUILDING ENVELOPES FOR FUTURE AND EXISTING BUILDINGS TO BE MAINTAINED BY THE UNDERLYING OWNERS OF SAID TRACTS 1-8, WYMONT SUBDIVISION, GRANTED WITH THE FILING OF THIS PLAT.
- 26 PRIVATE GROSS LOT DRAINAGE EASEMENT OVER TRACTS 1-8, WYMONT SUBDIVISION, BENEFITING LOTS 1-8, WYMONT SUBDIVISION, INCLUDING BUILDING ENVELOPES MAINTAINED BY THE OWNERS OF TRACTS 1-8, WYMONT SUBDIVISION.
- 27 PRIVATE DRIVEWAY EASEMENT BENEFITING TRACTS 1-8, WYMONT SUBDIVISION, AND LOT 5-A-1, LA MIRADA, GRANTED WITH THIS PLAT FOR ACCESS TO AND FROM MONTGOMERY BOULEVARD FOR SAID TRACTS. TO BE MAINTAINED BY THE OWNERS OF TRACTS 1-8, WYMONT SUBDIVISION. SEE DETAIL ON SHEET 5 OF 5
- 28 PUBLIC SANITARY SEWER EASEMENT GRANTED WITH THIS PLAT BENEFITING, AND TO BE MAINTAINED BY THE OWNERS OF TRACTS 1-8, WYMONT SUBDIVISION, SEE DETAIL ON SHEET 5 OF 5
- 29 EASEMENT LABELS [23][24][25][26][27][28][29][30][31] NOT USED

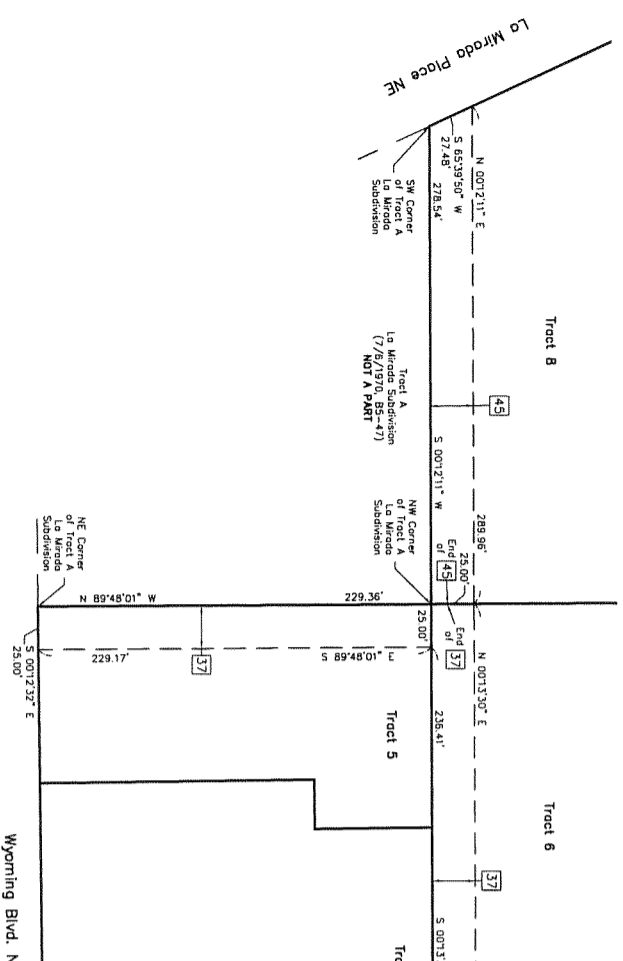
Line #	Direction	Length (ft)
L1	S 76D31.3° E	4.17
L2	S 89X3.0° E	3.42
L3	S 89X9.0° E	6.99
L4	N 72X42.5° E	18.82
L5	S 89X1.4° E	3.01
L6	S 89X4.3° W	10.91
L7	N 89X7.9° W	104.01
L8	N 89X7.2° E	88.86
L9	S 00X2.3° E	28.00
L10	S 70X6.0° E	50.00
L16	S 70X6.0° E	50.00

Curve #	Length	Radius	Delta	Chord Length	Chord Direction
C1	1081.14'	138.00'	44X04.07'	103.54'	S 87X41.5° W
C2	28.05'	18.00'	89X17.0° E	25.30'	S 44X52.0° E
C3	27.75'	157.00'	103X7.0° E	27.69'	S 84X04.1° E
C4	3.67'	138.00'	131X3.1° E	3.67'	N 66X25.5° E
C5	102.47'	138.00'	42X32.3° E	100.13'	N 88X27.2° E
C6	61.29'	73.00'	48X06.1° E	59.51'	N 66X09.2° W
C7	115.18'	73.00'	90X24.4° E	103.61'	N 45X00.1° W
C8	78.90'	50.00'	90X24.4° E	70.89'	N 45X00.1° W
C9	42.61'	27.00'	90X24.4° E	38.32'	N 45X00.1° W
C10	135.73'	71.00'	103X14.6° E	115.98'	N 54X58.0° E
C11	91.76'	48.00'	103X14.6° E	78.41'	N 54X58.0° E
C12	47.76'	25.00'	103X14.6° E	40.84'	N 54X58.0° E
C13	23.56'	15.00'	90X00.0° E	21.31'	S 64X43.9° E
C14	23.56'	15.00'	90X00.0° E	21.31'	S 29X16.0° E
C15	23.56'	15.00'	90X00.0° E	21.31'	N 64X43.9° E
C16	23.56'	15.00'	90X00.0° E	21.31'	N 29X16.0° W
C17	89.82'	73.00'	70X29.4° E	84.26'	S 35X01.1° E
C18	61.52'	50.00'	70X29.4° E	57.71'	S 35X01.1° E
C19	33.22'	27.00'	70X29.4° E	31.16'	S 35X01.1° E
C20	30.54'	50.00'	35X00.0° E	30.07'	S 17X43.4° W
C21	16.49'	27.00'	35X00.0° E	16.24'	S 17X43.4° W
C22	44.56'	23.00'	35X00.0° E	43.50'	S 17X43.4° W
C23	47.62'	50.00'	54X33.4° E	45.84'	S 62X30.5° W
C24	69.50'	73.00'	54X33.4° E	66.90'	S 62X30.5° W
C25	25.71'	27.00'	54X33.4° E	24.75'	S 62X30.5° W

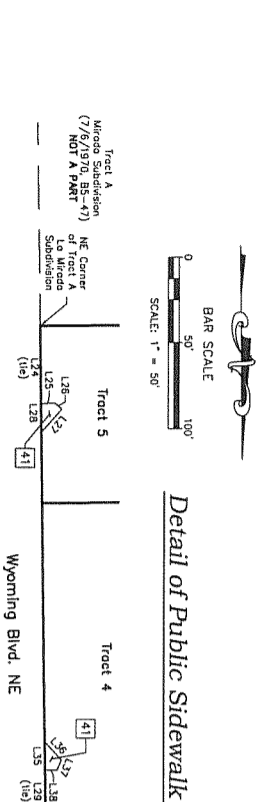
Detail of Private Driveway Easement [4]



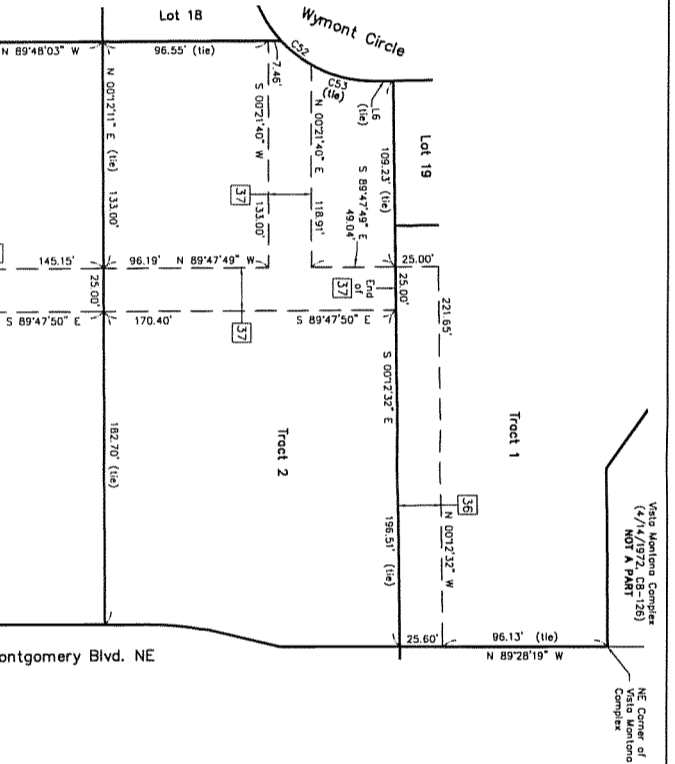
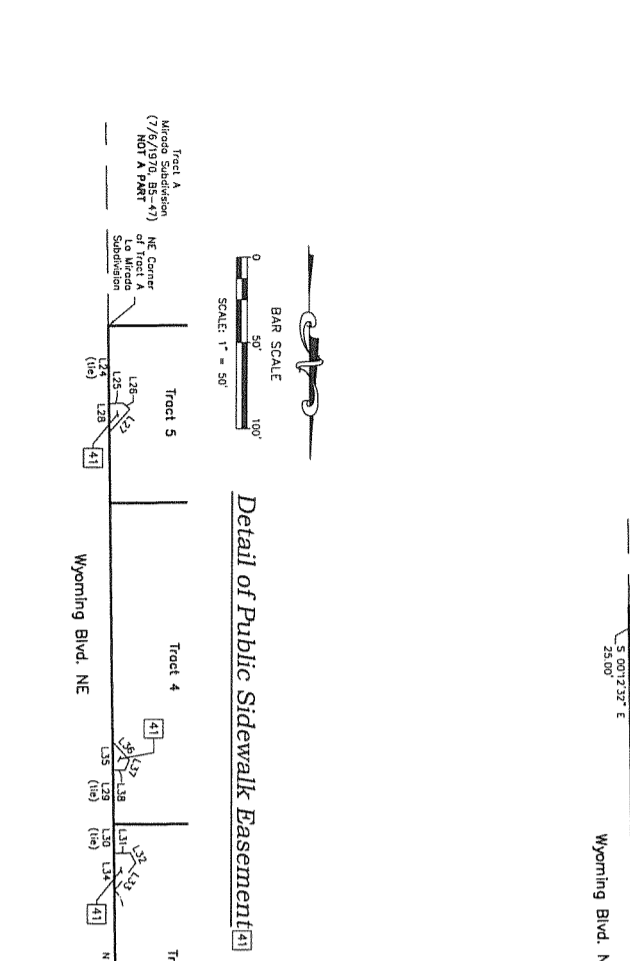
Detail of Utility Easements [5] [7] AND [9]



Detail of Public Sidewalk Easement [1]



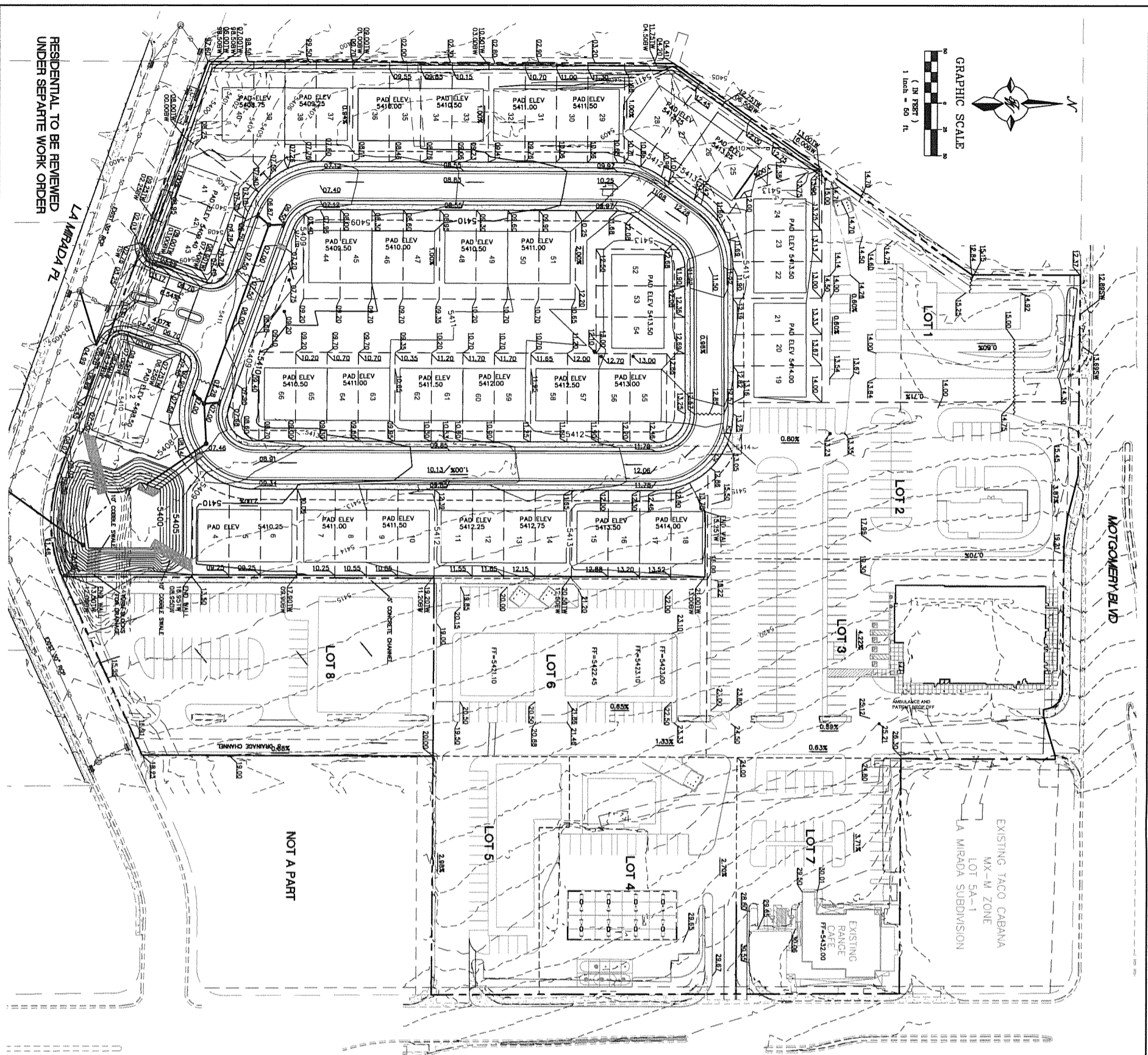
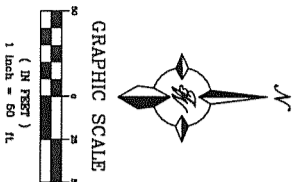
Detail of Access Easement [40]



Line #	Direction	Length (ft)
L1	S 89°19'08" E	6.99'
L4	N 72°42'55" E	38.82'
L5	S 89°41'44" E	3.01'
L6	S 89°43'59" W	45.24'
L24	N 00°13'40" W	10.91'
L26	N 89°47'28" E	8.30'
L28	S 47°40'48" E	5.07'
L27	S 42°19'12" W	17.80'
L28	N 00°12'32" W	16.54'
L29	S 00°12'32" E	31.73'
L30	S 00°12'32" E	16.85'
L31	N 89°47'28" E	9.56'
L32	S 28°44'28" E	6.71'
L33	S 30°24'31" W	20.12'
L34	N 00°12'32" W	21.73'
L35	N 00°12'32" W	16.25'
L36	S 41°20'27" E	14.41'
L37	S 23°33'58" W	6.44'
L38	S 89°47'28" W	6.88'
L39	S 72°42'55" W	1.60'

Curve #	Length	Radius	Delta	Chord Length	Chord Direction
C32	22.58'	21.00'	17°42'26"	22.47'	N 50°37'28" W
C33	38.71'	21.00'	30°23'50"	38.28'	N 75°00'38" W
C34	28.00'	21.00'	21°58'48"	27.83'	N 63°43'14" W
C35	13.54'	21.00'	10°37'35"	13.52'	S 47°25'03" E
C36	19.75'	21.00'	15°29'33"	19.69'	N 82°27'35" W

Preliminary Plat for Wymont Subdivision
 Being Comprised of Lot 1-A-1, La Mirada Subdivision
 City of Albuquerque
 Bernalillo County, New Mexico
 August 2021



RESIDENTIAL TO BE REVIEWED
UNDER SEPARATE WORK ORDER

NOT A PART

WYOMING BLVD

LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- BUILDING
- PROPERTY LINE
- EXISTING CURB & GUTTER
- PROPOSED HYDRANT
- NEW SD MH
- NEW CUR INLET TYPE 'C'
- EXISTING SAS MH
- EXISTING GATE VALVE
- EXISTING WATERLINE
- EXISTING SAS
- REMAINING WALL
- WATER BLOCK

NOTICE TO CONTRACTORS

1. AN EXAMINATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILLED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY STANDARDS AND SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT THE LOCATING SERVICE, 789-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL CONNECTIONS, SHOULD A CONFLICT NOT BE IDENTIFIED, THE CONTRACTOR SHALL BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPLETION SHALL BE ACCORDING TO TYPICAL/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

EROSION CONTROL NOTES

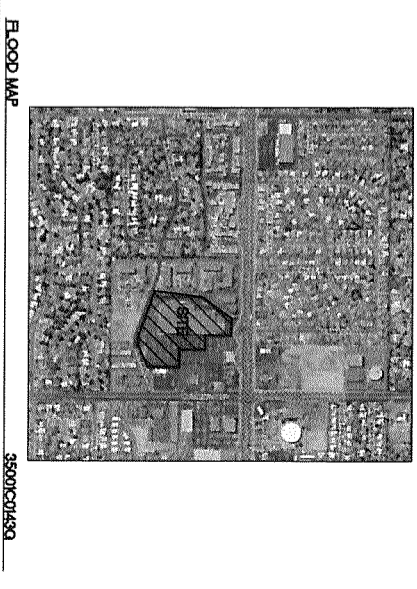
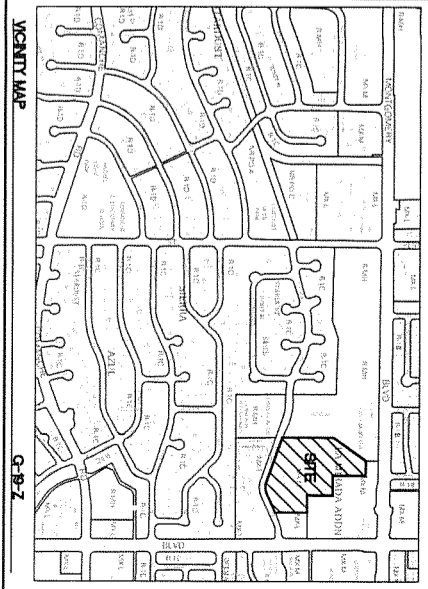
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PRODUCT.
6. ALL SLOPES NOT STABILIZED AT THE END OF THE PROJECT SHALL BE STABILIZED IN ACCORDANCE WITH COA SPECS OR # GRAVEL.

NOTE - ADD \$400 TO ALL ELEVATIONS

NOT FOR CONSTRUCTION

CAUTION

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



Channel Capacity

Weir Equation:
 $Q = C L H^{3/2}$

- Q= Flow
- C= 2.95
- L= Length of weir
- H= Height of Weir
- Onsite Curb Opening**
- $Q = 2.95 * 20 * 0.50^2$
- $Q = 20.86 cfs < Q = 13.59 cfs$
- Pond Concrete Channel**
- $Q = 2.95 * 6 * 0.50^2$
- $Q = 6.26 cfs$
- Park Curb Opening**
- $Q = 2.95 * 2 * 0.50^2$
- $Q = 2.99 cfs < Q = 1.55 cfs$
- Detention Pond Opening**
- $Q = 2.95 * 14 * 0.67^2$
- $Q = 22.66 cfs < Q = 22.66 cfs$

City of Albuquerque
Professional Project Services
HYDROLOGY SECTION
PRELIMINARY APPROVED
DATE: 08/04/21
BY: [Signature]
G190004

NOT FOR CONSTRUCTION

ENGINEER'S SEAL

THE WYMONT ALBUQUERQUE, NM

CONCEPTUAL GRADING AND DRAINAGE PLAN

DATE: 8-4-21

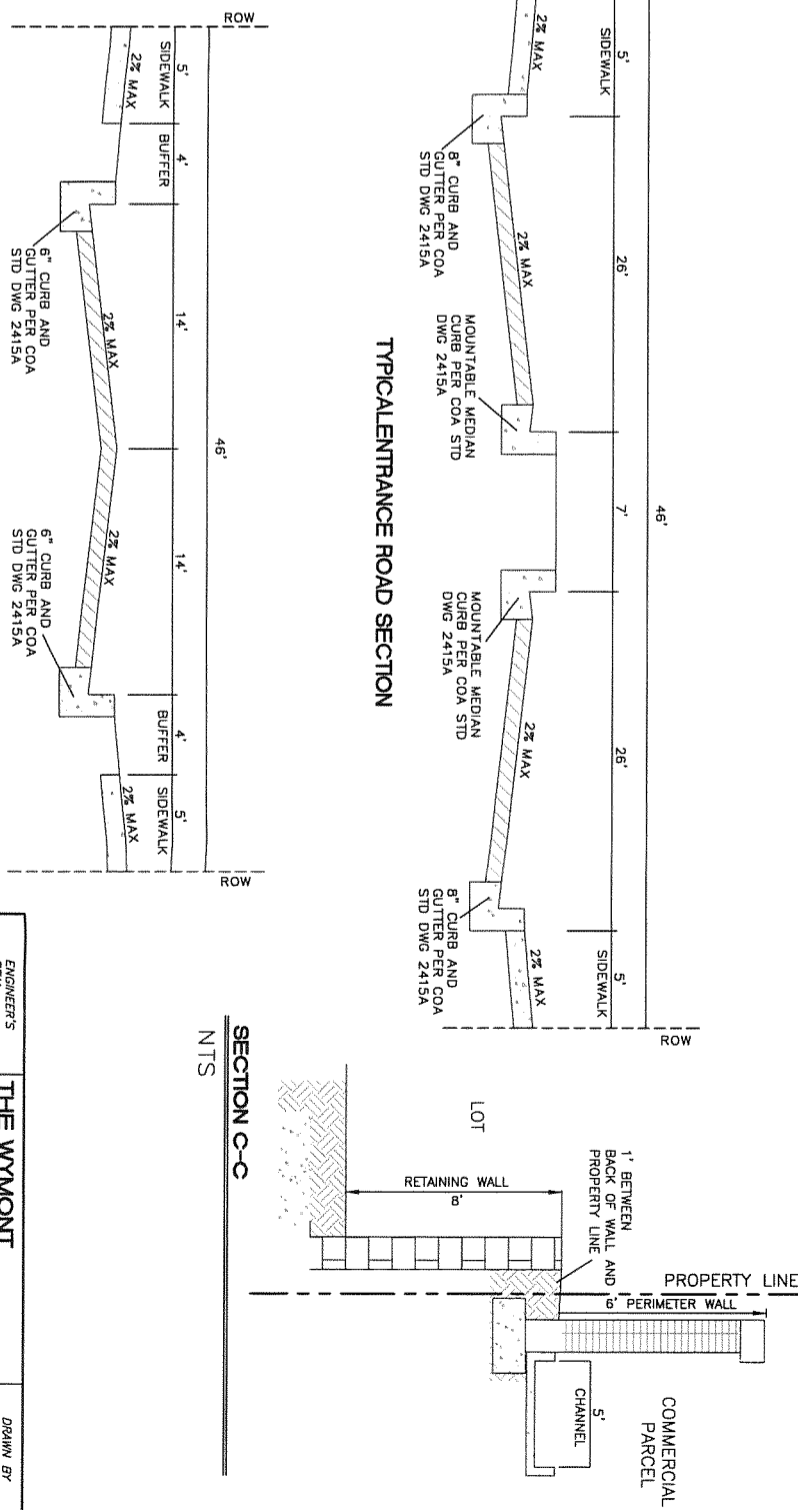
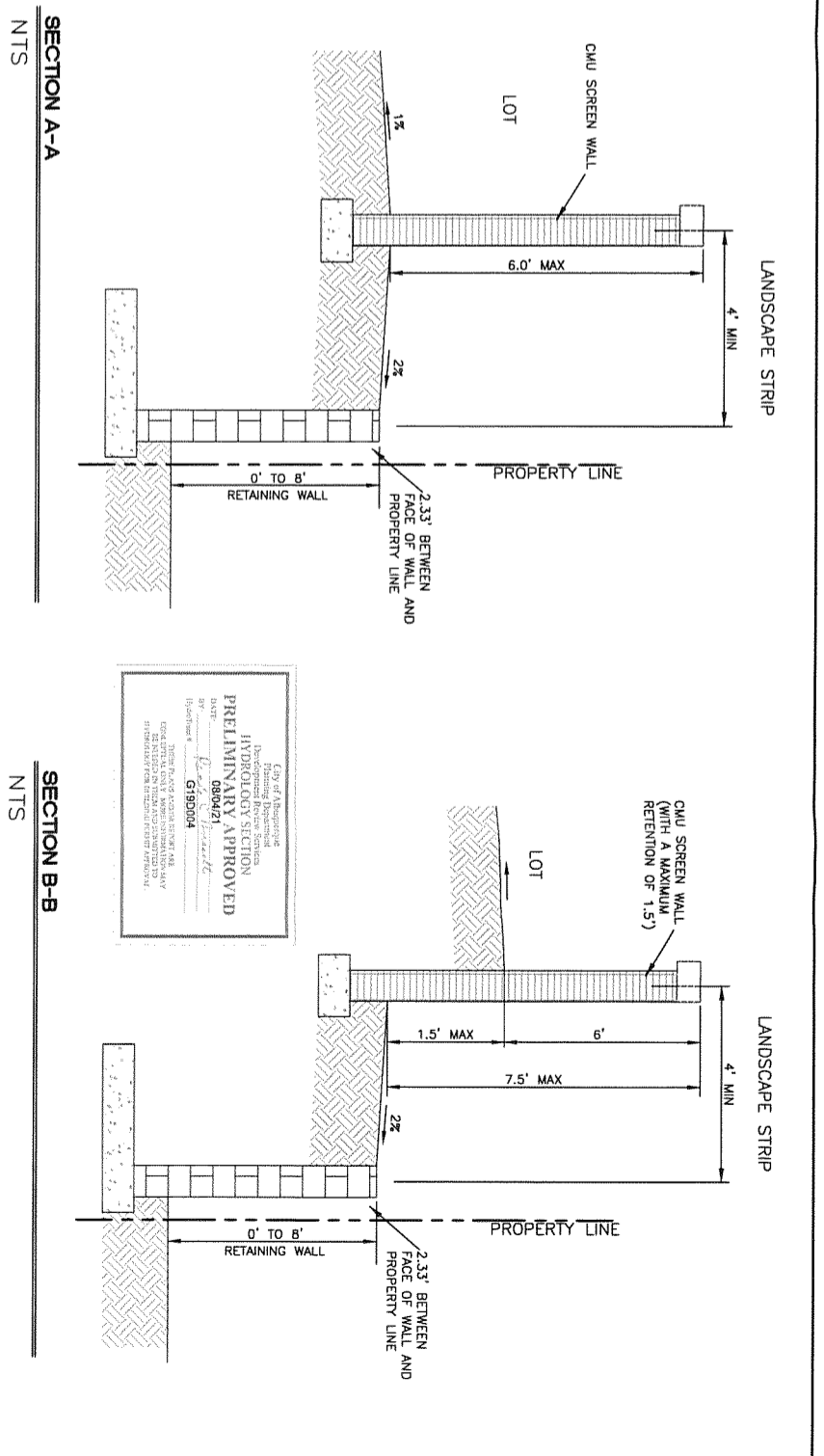
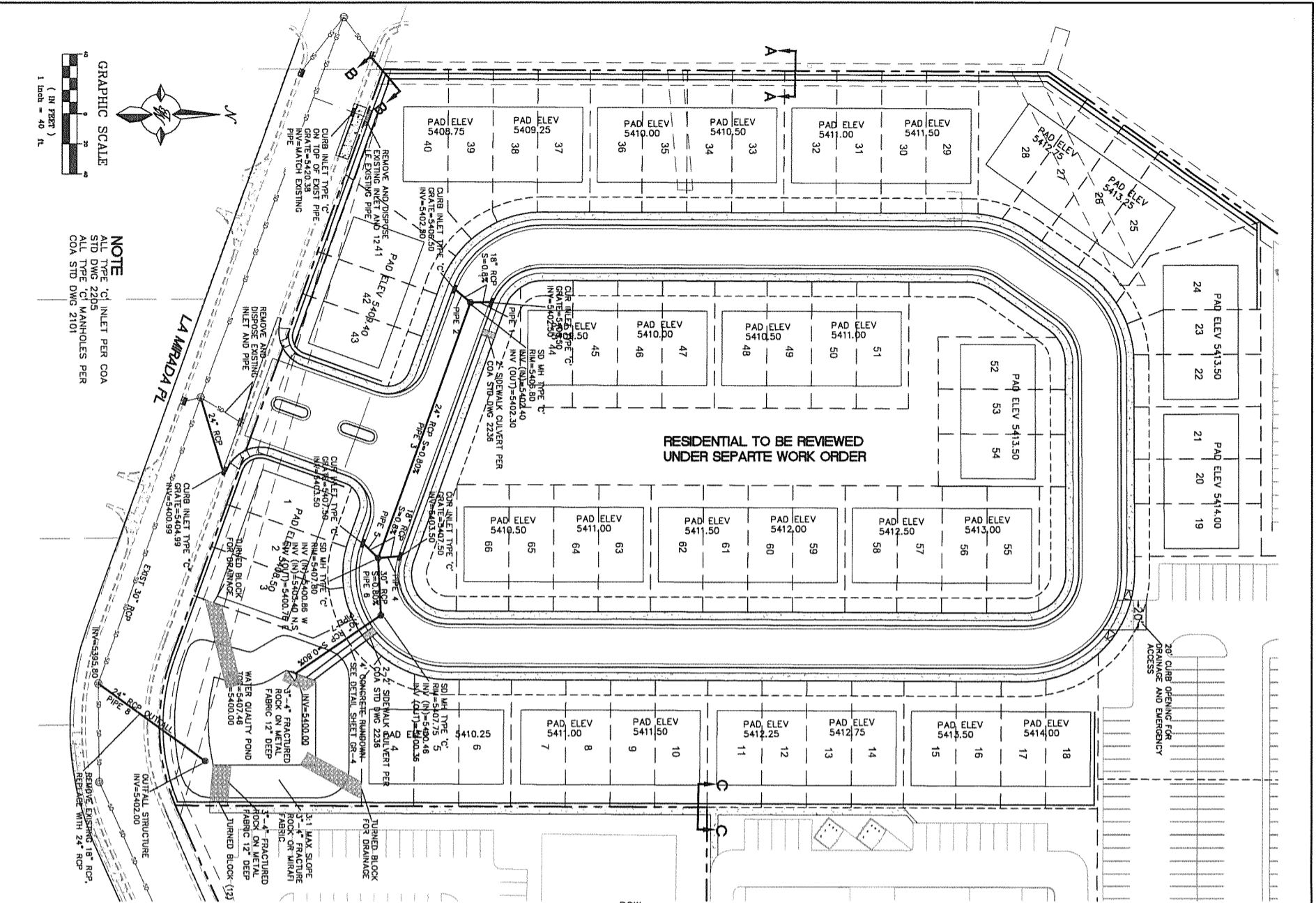
DRAWN BY: [Signature]

SHEET # GR-1

JOB # 2021008

TERESA WEST, LLC
5570 KIDWAY PARK PL NE
ALBUQUERQUE, NM 87109
www.terewestllc.com

RONALD R. BOHANNAN
P.E. #7868



NOT FOR CONSTRUCTION

THE WYOMONT ALBUQUERQUE, NM

TERRA WEST, LLC
 5301 UNIVERSITY BLVD. N.W.
 ALBUQUERQUE, NM 87109
 (505) 858-3100
 www.terrawestllc.com

ENGINEER'S SEAL
 ROWLAND R. BOYANNAN
 P.E. #7888

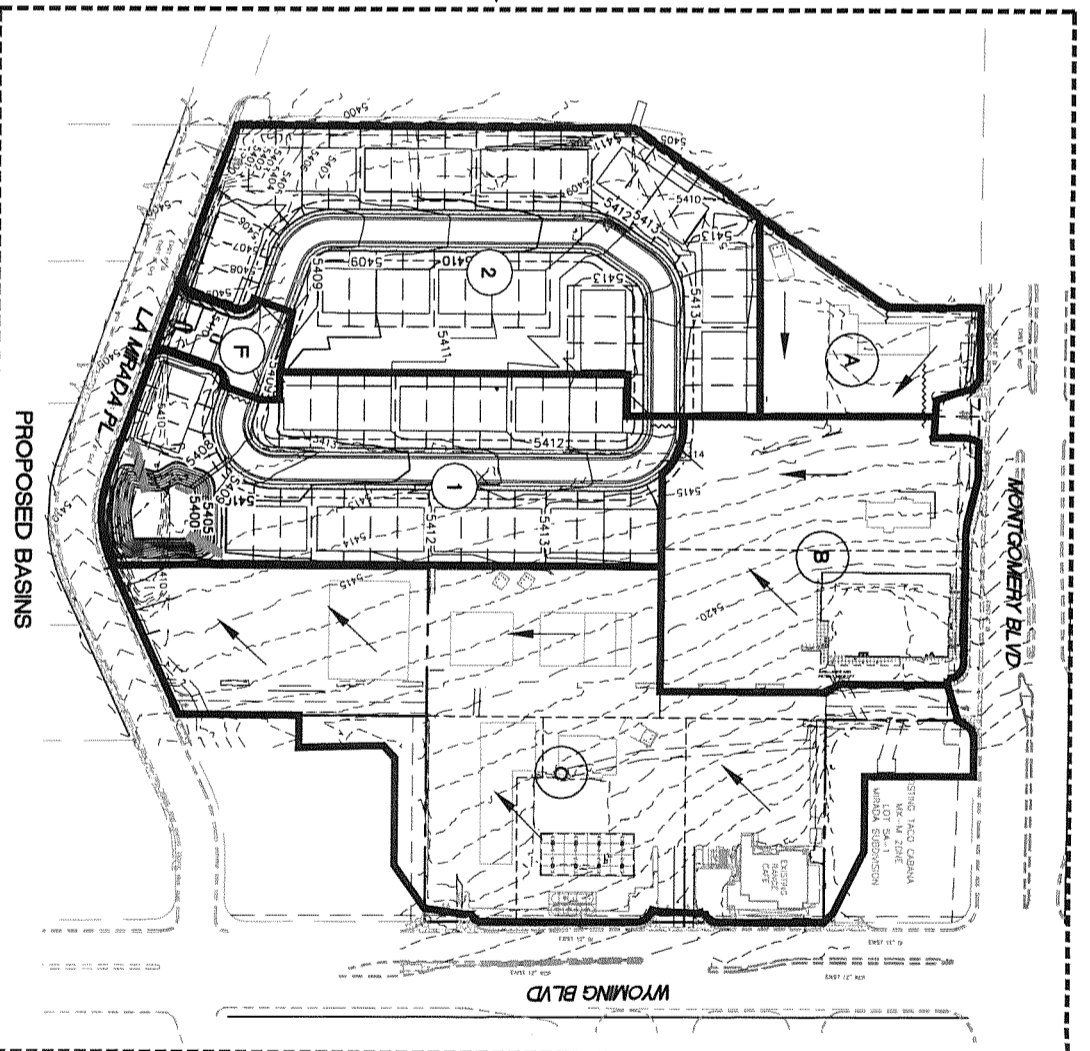
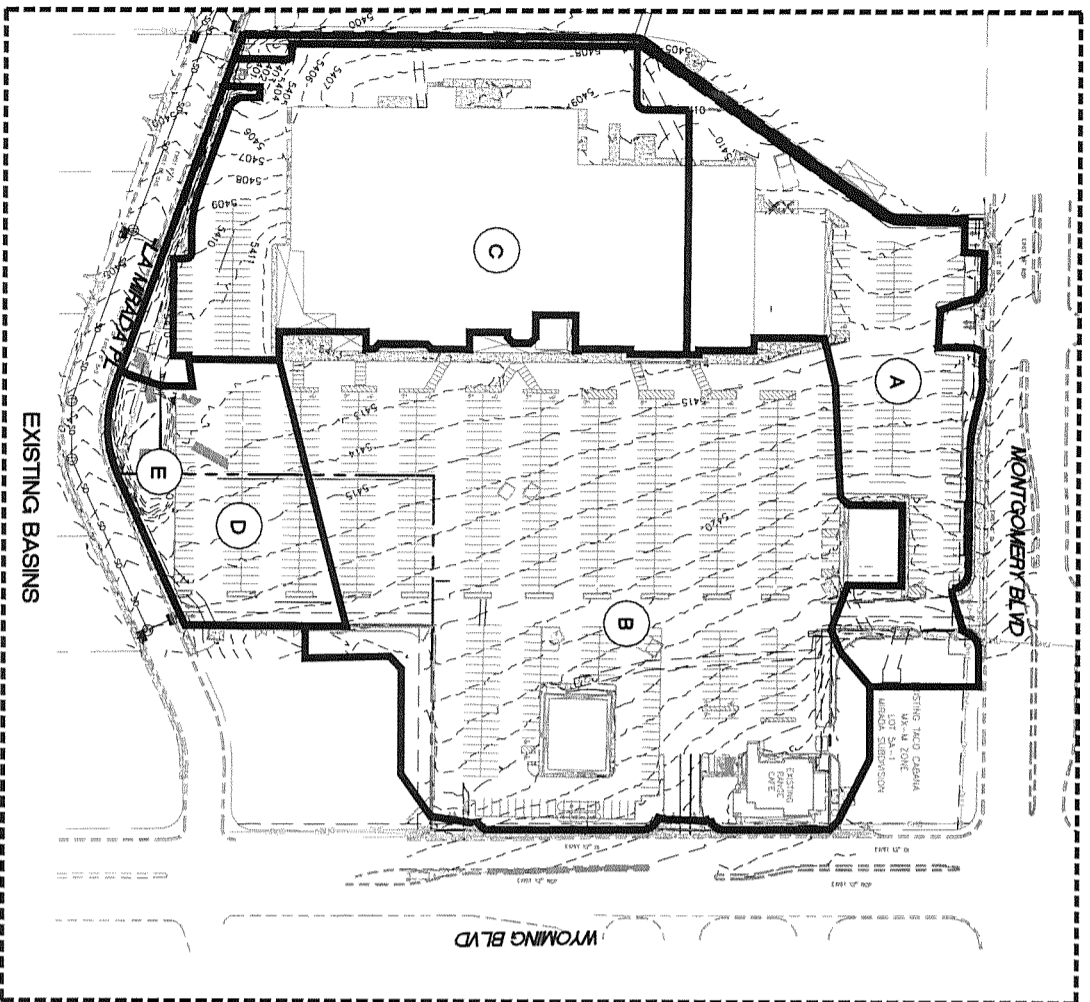
DATE
 8-4-21

DRAWING
 CONCEPTUAL GRADING AND DRAINAGE PLAN

SHEET #
 GR-2

DRAWN BY
 pm

JOB #
 2021008



Weighted E Method

Pipe Capacity

Basin	Area (sq)	Treatment				100-Year		10-Year	
		Area (acres)	%	Area (acres)	%	Weighted E (in)	Volume (ac-ft)	Weighted E (in)	Volume (ac-ft)
A	114.831	2.64	0%	0	0%	2.460	0.540	1.549	0.340
B	314.923	7.23	0%	0	5%	2.464	1.503	1.575	0.948
C	178.480	4.10	0%	0	0%	2.560	0.881	1.670	1.959
D	57.852	1.33	0%	0	21%	2.219	0.246	1.387	0.151
E	9.747	0.22	0%	0	0%	1.990	0.020	0.520	0.010
F	7.497	0.17	0%	0	100%	0.680	0.012	0.340	0.005
Total	15.88	15.88	0%	0	0%	3.202	0.733	6.875	0.18

Pipe	D (in)	Slope (%)	Area (sq ft)	R	Q Provided (cfs)	Q Required (cfs)	Velocity (ft/s)
1	18	0.80	1.77	0.375	9.42	6.63	3.75
2	18	0.80	1.77	0.375	9.42	6.63	3.75
3	24	0.80	3.14	0.500	20.29	13.26	4.22
4	18	0.80	1.77	0.375	9.42	8.25	4.67
5	18	0.80	1.77	0.375	9.42	8.25	4.67
6	30	0.80	4.91	0.625	36.79	29.76	6.06
7	30	0.70	4.91	0.625	34.41	29.76	6.06
8	24	7.00	3.14	0.500	60.01	59.85	19.05

Manning's Equation:
 $Q = 1.49n \cdot A \cdot R^{2/3} \cdot S^{1/2}$

A = Area
 R = D/4
 S = Slope
 n = 0.013

Basin	Area (sq)	Treatment				100-Year		10-Year	
		Area (acres)	%	Area (acres)	%	Weighted E (in)	Volume (ac-ft)	Weighted E (in)	Volume (ac-ft)
OF-1	36.043	0.83	0%	0	15%	2.322	0.160	1.445	0.100
OF-2	103.118	2.37	0%	0	15%	2.322	0.458	1.445	0.285
OF-3	235.576	5.41	0%	0	60%	2.322	1.046	1.445	0.651
1	124.033	2.85	0%	0	57%	1.71	0.907	0.850	0.204
2	172.427	3.96	0%	0	57%	2.26	0.907	0.850	0.297
Park	27.059	0.62	0%	0	100%	0.62	0.340	0.340	0.018
Total	11.833	11.833	0%	0	10%	10.40	2.408	1.510	0.034

Equalities:

Weighted E = Ea*Pa + Eb*Pb + Ec*Pc + Ed*Pd / (Total Area)

Volume = Weighted D * Total Area

Flow = Qa * Pa + Qb * Pb + Qc * Pc + Qd * Pd

Water Quality Calculation: $0.28'' \times 10.40 \text{ ac} = 9.816 \text{ cubic feet (0.225 ac-ft)}$

Zone	Excess Precipitation, E (inches)		Peak Discharge (cfs/acre)	
	100-Year	10-Year	100-Year	10-Year
Ea	0.67	0.18	1.64	0.51
Eb	0.86	0.34	2.49	1.07
Ec	1.09	0.52	3.17	1.69
Ed	2.58	1.64	4.48	2.81

NOT FOR CONSTRUCTION

EXISTING DRAINAGE:

THIS SITE IS CURRENTLY VACANT SHOPPING CENTER AND IS LOCATED ON THE SOUTHWEST CORNER OF WYOMING BOULEVARD AND MONTGOMERY BOULEVARD. THE SITE IS BOUNDED BY ROADS ON THE NORTH, SOUTH AND EAST SIDE AND A MULTIFAMILY DEVELOPMENT ON THE WEST SIDE AND CONTAINS APPROXIMATELY 1.58 ACRES. THE SITE DRAINS FROM EAST TO WEST WITH MOST OF IT DRAINING ON THE WEST SIDE OF THE RESIDENTIAL SUBDIVISION THROUGH AN EMERGENCY ACCESS LOCATED AT THE NORTHEAST CORNER OF THE WEST SIDE OF THE RESIDENTIAL SUBDIVISION. ACCORDING TO THE EXISTING PROPOSED DRAINAGE PLAN (S-18) DRAINAGE FROM THE WEST SIDE OF THE RESIDENTIAL SUBDIVISION MAY BE ELIMINATED AND ALL FLOWS DISCHARGED TO THE EXISTING STORM SEWER IN HENDRIX AVENUE. THOSE IMPROVEMENTS WERE NEVER COMPLETED AND THE POND HAS REMAINED IN PLACE BASED ON THE REVERSED DRAINAGE VALUES IN THE CURRENT DPM AND THE TOTAL FLOW DISCHARGED FROM THIS SITE IS 88.25 CFS. THE SITE IS NOT LOCATED WITHIN A FLOOD PLAIN AS SHOWN ON THE FIRM MAP. THERE ARE NO OTHER TOWNSHIPS ENTER THE SITE.

PROPOSED DRAINAGE:

THE SITE IS BEING SUBDIVIDED INTO A COMMERCIAL CENTER AND A RESIDENTIAL NEIGHBORHOOD. EACH AREA IS DIVIDED INTO THREE BASINS. BASINS 'A' AND 'B' WILL DRAIN THROUGH THE RESIDENTIAL SUBDIVISION THROUGH AN EMERGENCY ACCESS LOCATED AT THE NORTHEAST CORNER OF THE WEST SIDE OF THE RESIDENTIAL SUBDIVISION. BASIN 'C' WILL DRAIN TO A PROPOSED DRAINAGE CHANNEL LOCATED ON THE WEST SIDE OF THE RESIDENTIAL SUBDIVISION. THE DRAINAGE CHANNEL WILL BE CONVERTED TO A WATER QUALITY POND LOCATED AT THE SOUTHWEST CORNER OF THE RESIDENTIAL AREA. TOTAL OFF-SITE FLOWS PASSING THROUGH THE RESIDENTIAL AREA IS 30.8 CFS. EACH OF THE COMMERCIAL PARCELS WILL BE REQUIRED TO SUBMIT A GRADING PLAN FOR BUILDING PERMIT THAT FOLLOWS THIS OVERALL DRAINAGE SCHEME.

THE RESIDENTIAL SUBDIVISION WILL ALSO DRAIN TO THE WATER QUALITY POND VIA SURFACE FLOWS AND VIA A STORM SEWER. A SMALL AREA SHOWN AS BASIN 'A' WILL DRAIN TO THE WATER QUALITY POND. DUE TO THE GRADES BETWEEN HENDRIX AVENUE AND THE SUBDIVISION THERE IS NO WAY TO CAPTURE THIS FLOW AND IT BASICALLY FOLLOWS THE SAME DRAINAGE PATTERN AS IT CURRENTLY DOES. THIS FLOW (1.16 CFS) IS CAPTURED IN EXISTING DIMP INLETS IN HENDRIX AVENUE.

THE WATER QUALITY POND IS SIZED TO GOVERN THE REQUIRED VOLUME FROM THE COMMERCIAL BASINS AS WELL AS THE RESIDENTIAL SUBDIVISION. THE POND WILL REMAIN A VOLUME OF 0.28 ACFT. AN OUTLET WILL BE PROVIDED IN THE POND AND CONNECTED TO THE EXISTING STORM SEWER IN HENDRIX AVENUE.

THE TOTAL FLOW DISCHARGED TO THE HENDRIX AVENUE STORM SEWER WILL BE 58.75 CFS WHICH IS 9.40 CFS LESS THAN WHAT IS CURRENTLY DISCHARGED TO THAT SYSTEM.

By: *[Signature]*
 Title: *[Title]*
 PRELIMINARY APPROVED
 HYDROLOGICAL SECTION
 06/04/21
 6190004

ENGINEER'S SEAL
THE WYOMONT ALBUQUERQUE, NM
 CONCEPTUAL GRADING AND DRAINAGE PLAN
 DRAWN BY: DM
 DATE: 8-4-21
 SHEET: 1 OF 3
CR-3
 JOB / 2021008

NOT FOR CONSTRUCTION
 8-4-21
 TIERNA WEST LLC
 5571 MIDWAY PARK PL. NE
 ALBUQUERQUE, NEW MEXICO 87109
 (505) 558-3100
 www.tiernawest.com
 HOWARD R. BOYKIN
 P.E. #7569

Street Capacity Calculations

28' F-F Street Section with 6" curb
Slope = 0.01

For water depths greater than 0.125 feet

Y = Water depth
Area = $8 \cdot Y^2$
P = $\text{SORT}(257 \cdot Y^2) + Y$
n = 0.017

Depth (ft)	Area (ft ²)	P (ft)	R (A/P)	Q (cfs)	2Q (cfs)	Vel (ft/s)	Vel (ft/s)	D·V	Ft	D2 (ft)
0.01	0.00	0.17	0.00	0.00	0.00	0.25	0.00	0.00	0.43	0.00
0.02	0.00	0.34	0.01	0.00	0.00	0.50	0.01	0.48	0.81	0.01
0.04	0.01	0.68	0.02	0.01	0.02	0.82	0.02	0.84	1.64	0.02
0.06	0.03	1.02	0.03	0.02	0.02	1.14	0.03	1.26	2.52	0.03
0.10	0.08	1.70	0.04	0.05	0.09	1.50	0.05	1.80	3.60	0.05
0.12	0.12	2.04	0.05	0.09	0.18	1.74	0.06	2.08	4.32	0.06
0.13	0.13	2.13	0.06	0.15	0.30	1.92	0.08	2.30	4.62	0.07

For water depths greater than 0.125 ft but less than 0.280 ft

Y1 = Y < 0.125
Y0 = $2 \cdot Y^2 + 25 \cdot Y^{1.42}$
A2 = $A1 + 2 \cdot Y^2 + 25 \cdot Y^{1.42}$
P2 = $P1 + \text{SORT}(2501 \cdot Y^{1.42}) + Y1$

Depth (ft)	Area (ft ²)	P (ft)	R (A/P)	Q (cfs)	2Q (cfs)	Vel (ft/s)	Vel (ft/s)	D·V	Ft	D2 (ft)
0.13	0.14	2.38	0.06	0.18	0.35	1.32	0.17	0.63	0.81	0.07
0.14	0.16	2.89	0.06	0.20	0.41	1.37	0.18	0.60	0.77	0.07
0.16	0.23	3.91	0.09	0.29	0.59	1.50	0.21	0.57	0.67	0.07
0.20	0.42	5.95	0.07	0.62	1.23	1.46	0.30	0.55	0.69	0.09
0.24	0.69	8.00	0.09	1.17	2.33	1.70	0.41	0.51	0.72	0.12
0.28	1.04	10.04	0.10	1.99	3.99	1.92	0.54	0.64	0.84	0.15

For water depths greater than 0.280 ft but less than 0.500 ft

Y2 = Y < 0.280
Y3 = $A3 + 14 \cdot Y^3 + 25 \cdot Y^{1.42}$
A3 = $A2 + Y^2 \cdot 14$
P3 = $P2 + Y2$

Depth (ft)	Area (ft ²)	P (ft)	R (A/P)	Q (cfs)	2Q (cfs)	Vel (ft/s)	Vel (ft/s)	D·V	Ft	D2 (ft)
0.30	1.32	10.06	0.13	2.96	5.93	2.25	0.68	0.72	0.79	0.19
0.33	1.74	10.09	0.17	4.69	9.38	2.70	0.89	0.83	0.76	0.28
0.35	2.14	10.11	0.21	6.63	13.26	3.10	1.11	0.91	0.72	0.32
0.36	2.15	10.12	0.21	6.69	13.39	3.11	1.12	0.91	0.72	0.32
0.37	2.30	10.13	0.23	7.46	14.92	3.25	1.20	0.94	0.74	0.34
0.41	2.99	10.17	0.29	11.38	22.76	3.94	1.60	1.05	0.44	0.44
0.43	3.49	10.21	0.34	14.90	29.80	4.27	1.94	1.12	0.53	0.53
0.45	3.90	10.24	0.38	17.93	35.87	4.59	2.23	1.16	0.59	0.59
0.50	4.12	10.26	0.40	19.57	39.15	4.76	2.38	1.19	0.62	0.62

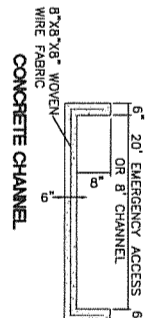
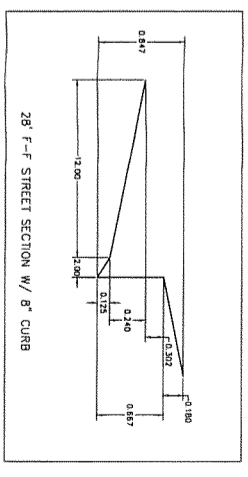
For water depths greater than 0.500 ft but less than 0.618 ft

Y3 = Y < 0.500
Y4 = $A4 + 14 \cdot Y^3 + 25 \cdot Y^{1.42}$
A4 = $A3 + \text{SORT}(2501 \cdot Y^{1.42})$
P4 = $P3 + \text{SORT}(2501 \cdot Y^{1.42})$

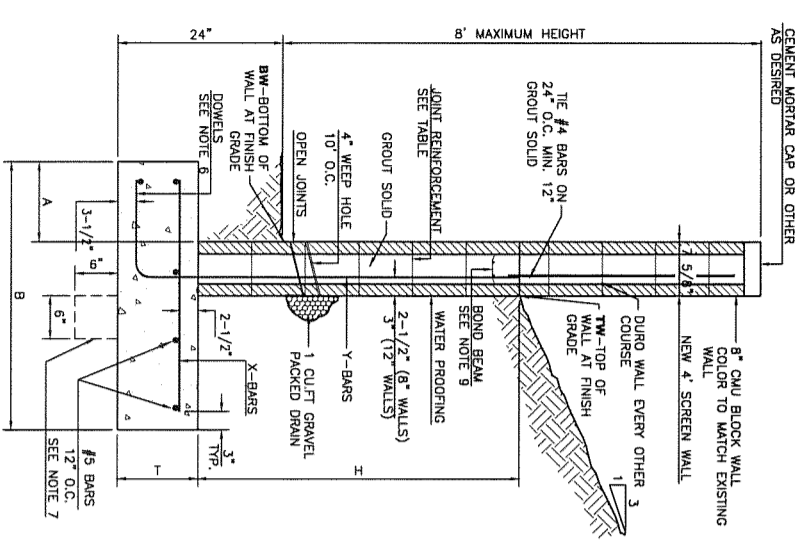
Depth (ft)	Area (ft ²)	P (ft)	R (A/P)	Q (cfs)	2Q (cfs)	Vel (ft/s)	Vel (ft/s)	D·V	Ft	D2 (ft)
0.55	4.88	12.76	0.38	22.47	44.93	4.61	2.53	1.08	0.62	0.62
0.58	5.31	14.01	0.38	24.28	48.57	4.58	2.63	1.08	0.62	0.62
0.60	5.77	15.26	0.38	26.54	53.09	4.57	2.74	1.04	0.63	0.63
0.63	6.26	16.51	0.38	28.64	57.28	4.58	2.86	1.02	0.64	0.64
0.65	6.78	17.76	0.38	31.78	62.35	4.60	2.99	1.01	0.65	0.65
0.68	7.45	19.28	0.39	34.54	69.08	4.64	3.15	0.99	0.67	0.67

City of Albuquerque
Professional Hydrologist
PRELIMINARY APPROVED
Hydrology Section
NO. 0884421
BY: [Signature]
DATE: 8/18/2018
PROJECT: [Project Name]

NOT FOR CONSTRUCTION



ENGINEER'S SEAL
THE WYOMONT ALBUQUERQUE, NM
GRADING DETAILS
DATE: 8-4-21
DRAWING
SHEET 4 OF 4
JOB # 2021008

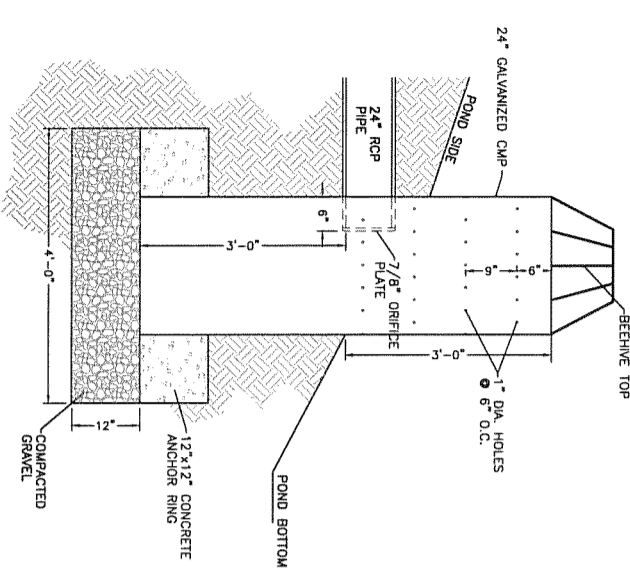


12 INCH REINFORCED CONCRETE MASONRY WALL

H	A	B	T	Y-BARS	X-BARS
8'-0"	15"	3'-8"	10"	#5 @ 18" O.C.	#4 @ 24" O.C.
6'-0"	15"	4'-2"	12"	#4 @ 18" O.C.	#4 @ 18" O.C.
4'-0"	15"	4'-6"	12"	#6 @ 24" O.C.	#5 @ 18" O.C.
3'-4"	15"	4'-10"	12"	#6 @ 18" O.C.	#5 @ 18" O.C.
2'-8"	15"	5'-4"	12"	#7 @ 18" O.C.	#6 @ 12" O.C.
2'-0"	15"	5'-8"	12"	#7 @ 18" O.C.	#6 @ 12" O.C.
1'-0"	15"	6'-2"	12"	#8 @ 18" O.C.	#6 @ 12" O.C.
8'-0"	15"	6'-6"	12"	#8 @ 18" O.C.	#6 @ 12" O.C.

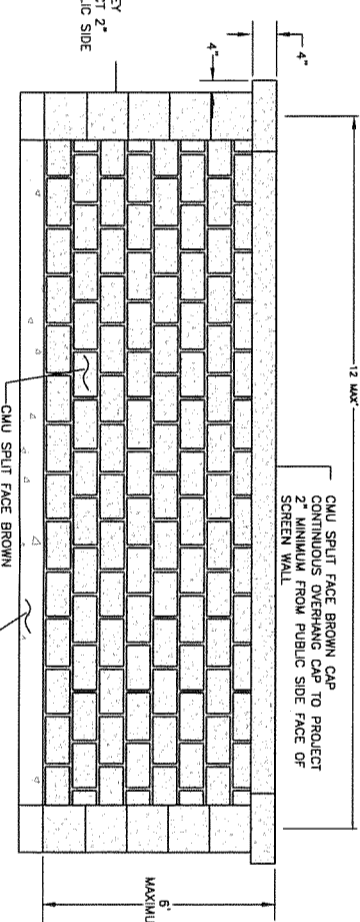
- GENERAL NOTES:
- ALL CONCRETE IS TO BE 4000 PSI @ 28 DAYS.
 - MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
 - ALL BARS ARE TO BE GRADE 60, ASTM A615.
 - TRUSS TYPE DUE TO WALL OTHER COURSE
 - TO WEAPONS SHALE PROJECT FOUNDATION SIZE SHALL BE INTO THE FILED BLOCK CORERS AND SHALL EXTEND TO THE TOP OF THE FOOTING.
 - PROVIDE KEY FOR 8" AND 12" WALLS WHERE H EXCEEDS 6'-0"
 - USE EITHER EXPANSION JOINTS ON 20 CENTERS OR PLASTERS BOND BEAM. 1-#4 BARS FOR WALLS UNDER 3'-4" 2-#4 BARS FOR WALLS UNDER 5'-4" 2-#5 BARS FOR WALLS OVER 5'-4"

RETAINING WALL DETAIL

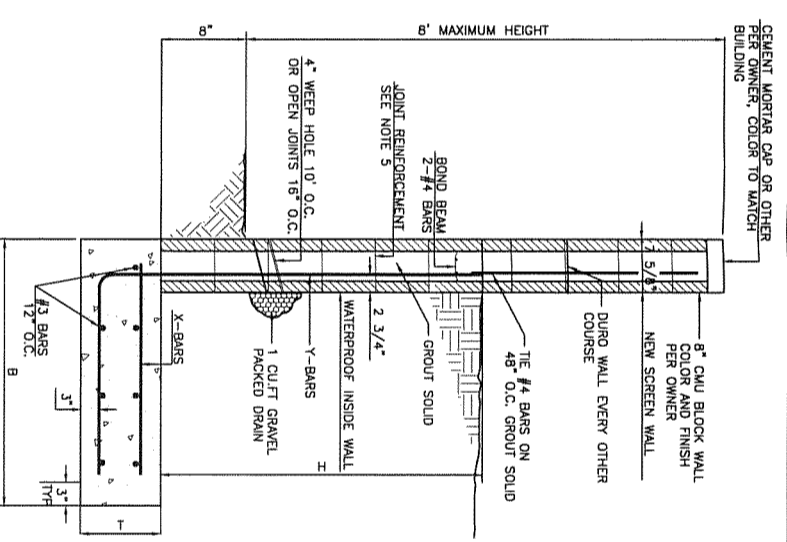


OUTFALL DETAIL

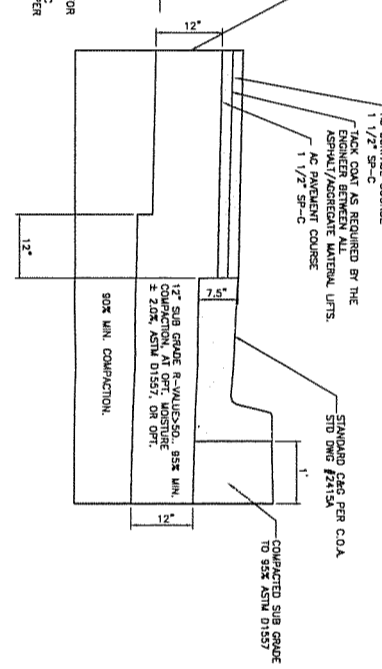
SCREEN WALL / RETAINING WALL - ELEVATION FOR STREET FACING WALL

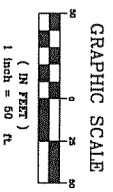
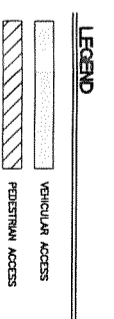
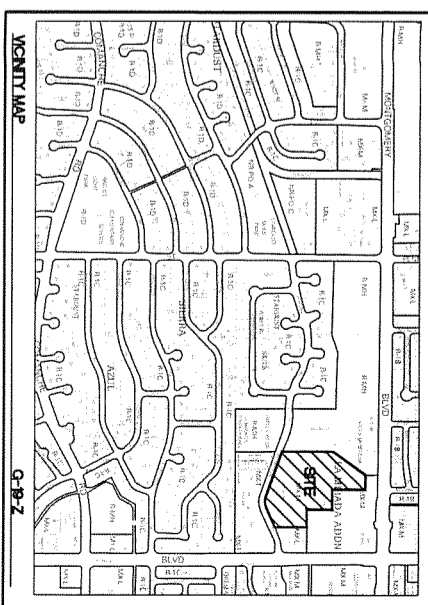
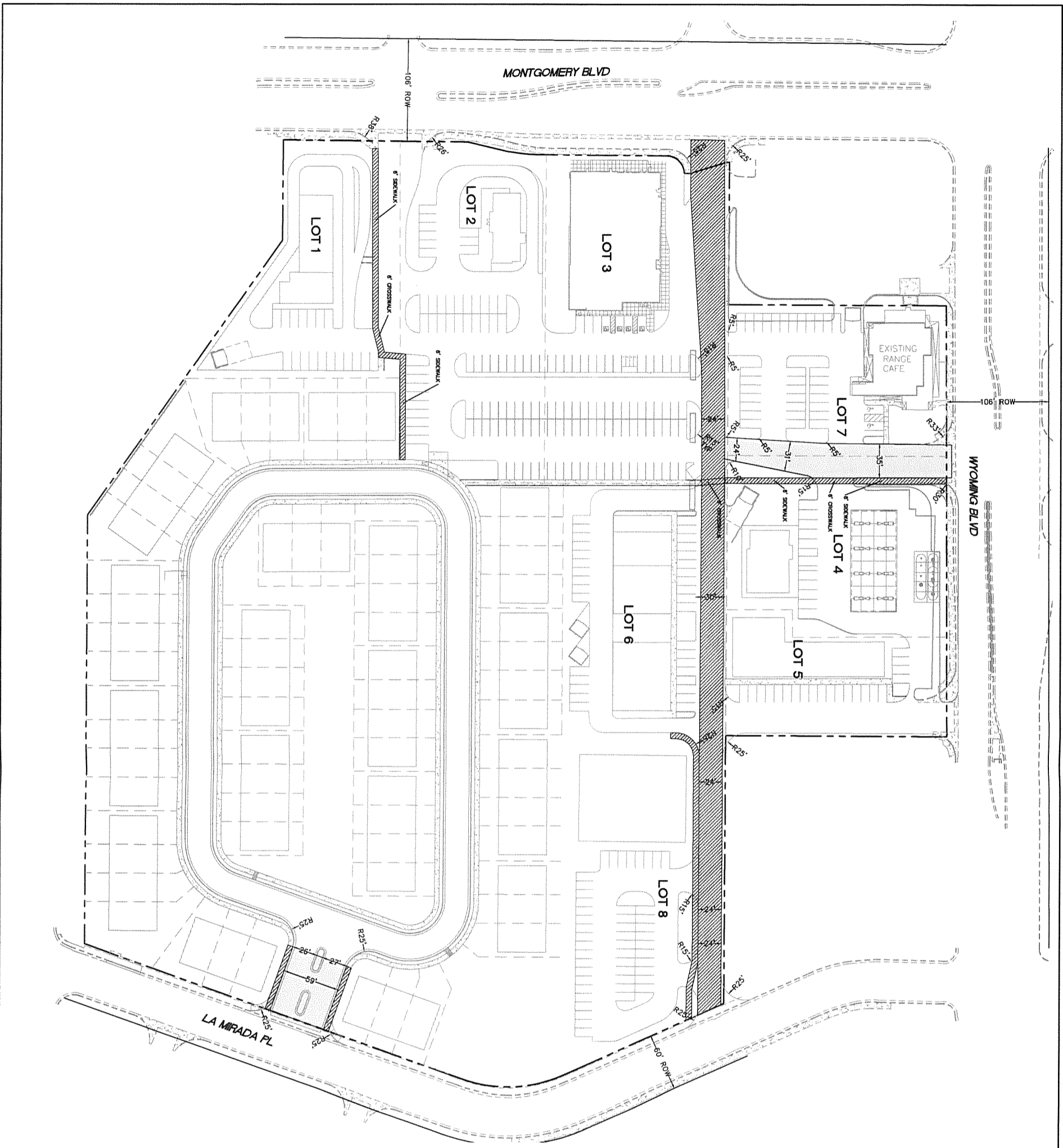


1' FOOTING RETAINING WALL DETAIL

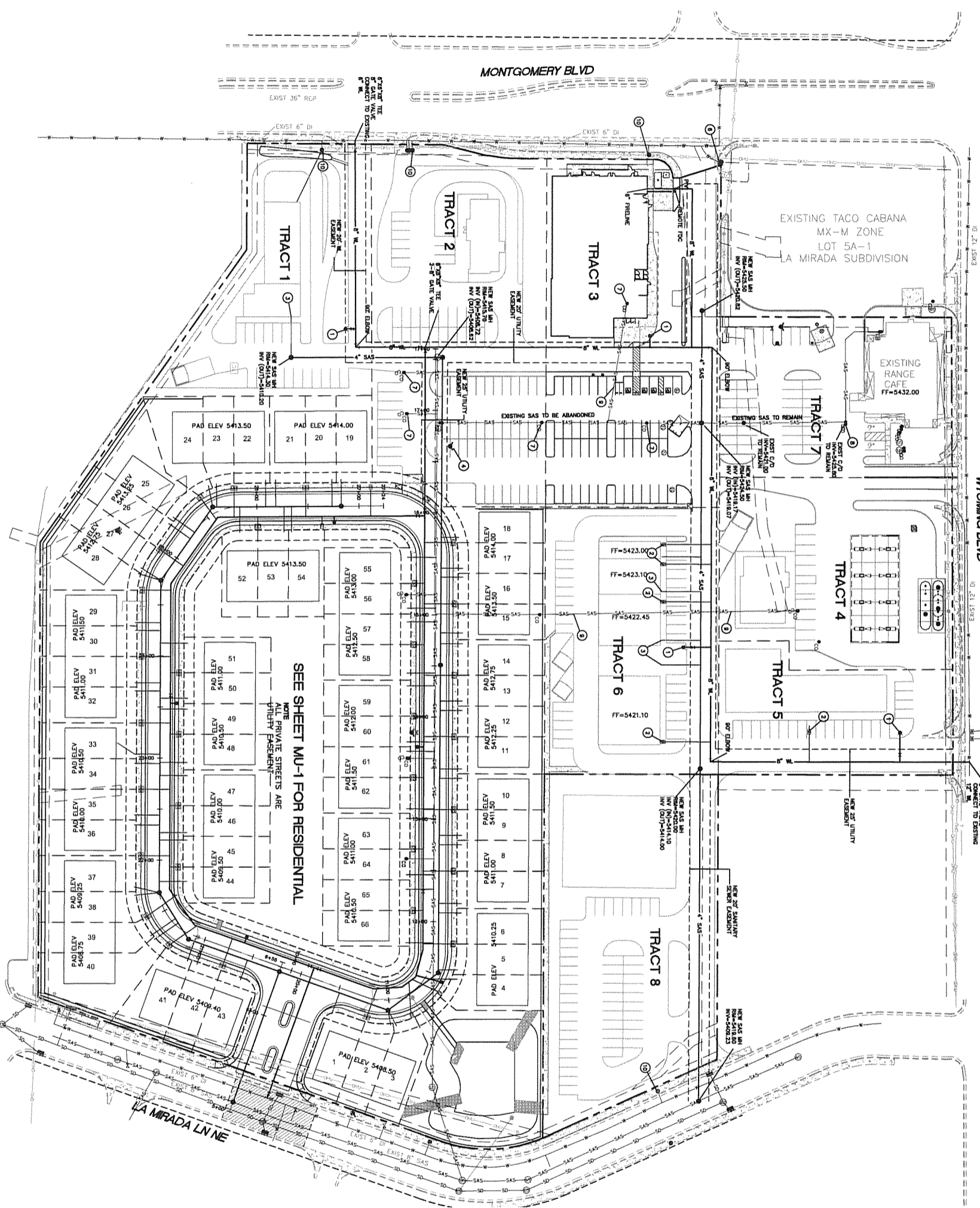


TYPICAL PAVING SECTION (LOCAL RESIDENTIAL)





ENGINEER'S SEAL		DRAWN BY R.M.	
THE WYOMONT ALBUQUERQUE, NM		DATE 8-16-21	
VEHICLE AND PEDESTRIAN CONNECTIVITY EXHIBIT		DRAWING	
TERRA WEST, LLC 5571 MIDWAY PARK PL, NE ALBUQUERQUE, NM 87109 www.tterrawest.com		JOB # 2021008	
ROVALD R. BOHANNAN P.E. #7868		SHEET # 1	



NOTE
 ALL SAS MH ARE 4' DIA. TYPE 'C'
 PER COA STD DWG 2101, 2107

SEE SHEET MU-1 FOR RESIDENTIAL

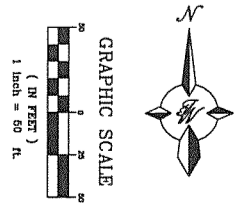
NOTE
 ALL PRIVATE STREETS ARE
 SLIGHTLY EASEMENT

CAUTION
 ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND TO MAKE ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

LEGEND

—	CURB & GUTTER
—	BOUNDARY LINE
—	BUILDING
—	EXISTING CURB & GUTTER
—	SANITARY SEWER LINE
—	WATERLINE
—	PROPOSED HYDRANT
—	NEW SAS MH
—	NEW WATER METER
—	EXISTING SAS MH
—	EXISTING GATE VALVE
—	EXISTING WATERLINE
—	EXISTING SAS

- KEYED NOTES**
- 1 NEW FIRE HYDRANT PER COA STD DWG 2326, 2328, 2340
 - 2 SINGLE 3" WATER METER AND FIT (TYP) PER COA STD DWG 2370
 - 3 SAS SERVICE (TYP)
 - 4 EXISTING FIRE HYDRANT TO BE REMOVED AND SALVAGED
 - 5 EXISTING FIRE HYDRANT
 - 6 EXISTING WATER METER
 - 7 EXISTING CLEANOUT TO BE ABANDONED IN PLACE
 - 8 EXISTING CLEANOUT TO REMAIN
 - 9 EXISTING SEWER LINE AND CLEANOUTS TO BE REMOVED
 - 10 REMOVE EXISTING WATER METER, REPLACE WITH 3" WATER METER AND FIT PER COA STD DWG 2370



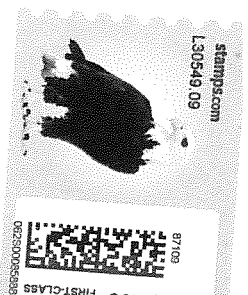
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	THE WYOMONT ALBUQUERQUE, NM CONCEPTUAL UTILITY PLAN	DRAWING BY	DATE
	TERRA WEST LLC 5571 MIDWAY PARK PL. NE ALBUQUERQUE, NEW MEXICO 87109 www.terrawestllc.com	SHEET #	MU-2
P.E. #17869 RONALD R. BOHMAN	B-25-21 ALBUQUERQUE, NM	JOB #	2021008

100FT BUFFER PROOF OF MAIL

Zone atlas page, preliminary plat, sidewalk exhibit
site sketch sent to buffer neighbors

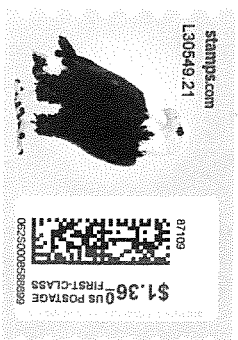
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5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

MCDONALDS CORPORATION C/O
CONQUISTADORES INC
PO BOX 92500
ALBUQUERQUE NM 87199-2500



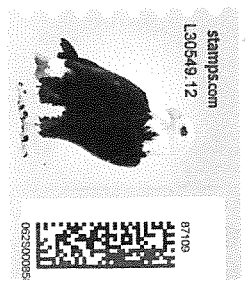
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ALBUQUERQUE NM 87109

SELIGMAN JAMES A & ANA CARRILLO
1525 32ND CIR SE
RIO RANCHO NM 87124-1913



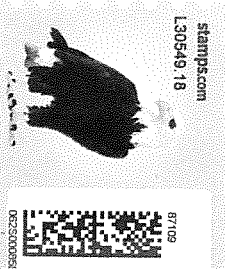
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ALBUQUERQUE NM 87109

G & L INVESTMENTS CO INC
317 6TH ST NW
ALBUQUERQUE NM 87102



TERRA *West*, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

M & M CO
8220 LA MIRADA RD NE SUITE 700
ALBUQUERQUE NM 87109-1659



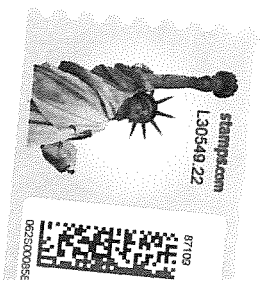
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ALBUQUERQUE NM 87109

M & M CO WAL MART 01-0824 #8013
C/O WAL-MART PROP TAX DEPT MS
0555
8220 LA MIRADA RD NE SUITE #300
ALBUQUERQUE NM 87109-1657



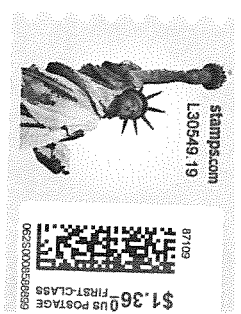
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IDAHO FALLS ID 83401-4242



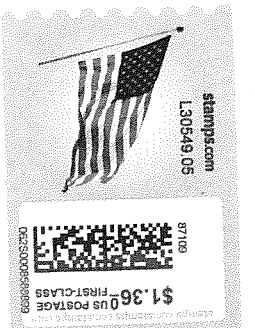
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ALBUQUERQUE NM 87109

RADCLIFF JASON W
8208 BRET PL NE
ALBUQUERQUE NM 87109-1716



TIERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

LOS ALTOS CENTER LLC
6121 INDIAN SCHOOL RD NE SUITE 218
ALBUQUERQUE NM 87110





55/1 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

SAUVEGEAU OMER HENRY ETUX
8224 BRET PL NE
ALBUQUERQUE NM 87109-1716

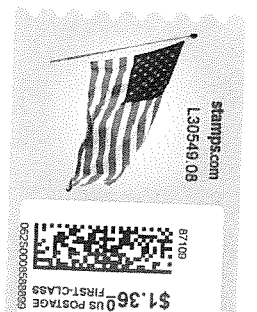
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WG ALBUQUERQUE NM
MONTGOMERY LANDLORD LLC C/O
WALGREEN CO RE PROPERTY TAX DEPT
PO BOX 1159
DEERFIELD IL 60015-6002

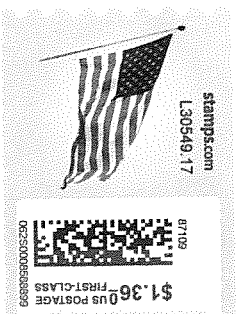
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SALAZAR ARMANDO & CHRISTINE
945 S EUCLID AVE
PASADENA CA 91106-4259



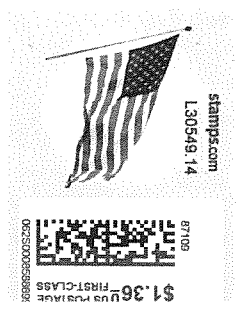
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BEGGIO SEAN
8220 BRET PL NE
ALBUQUERQUE NM 87109-1716



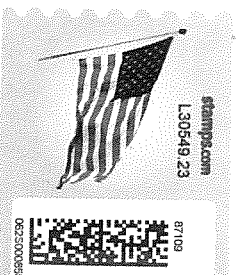
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ALBUQUERQUE NM 87109

SPECIAL "K" INVESTMENTS INC
11741 SKY VALLEY WAY NE
ALBUQUERQUE NM 87111



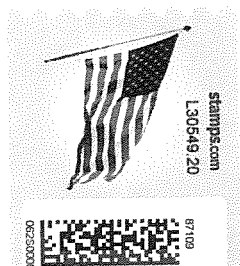
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ALBUQUERQUE NM 87109

CULBERTSON DUSTIN A & CHRISTA M
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ALBUQUERQUE NM 87110-1556



TIERRA *West*, LLC
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ALBUQUERQUE NM 87109

WI EVANGELICAL LUTHERAN SYNOD
3900 WYOMING BLVD NE
ALBUQUERQUE NM 87111



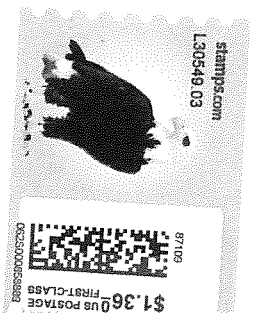
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ALBUQUERQUE NM 87109

STEADMAN RICHARD EARL &
JOSEPHINE ELEANOR
4504 NORMA DR NE
ALBUQUERQUE NM 87109-1736



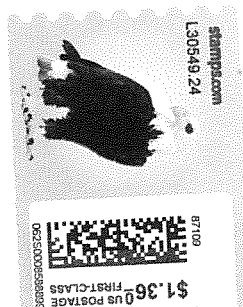
TERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

MATTEUCCI PAUL J ETUX ETAL C/O
THOMSON PROPERTY TAX SERVICES
PO BOX 2609
CARLSBAD CA 92018



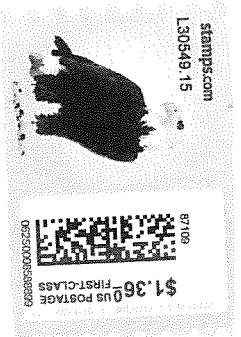
TIERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

MAUNEY INVESTMENTS LLC & ETAL
C/O RYAN LLC
PO BOX 2609
CARLSBAD CA 92018-2609



TIERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

W & M CO
317 6TH ST NW
ALBUQUERQUE NM 87102

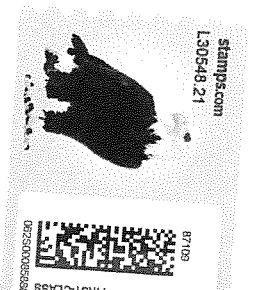


stamps.com
L30549.15

87109
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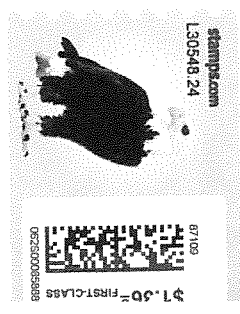
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ALBUQUERQUE NM 87109

LAND HOLDING - 4201 WYOMING LLC
4416 WYOMING BLVD NE
ALBUQUERQUE NM 87111-3146



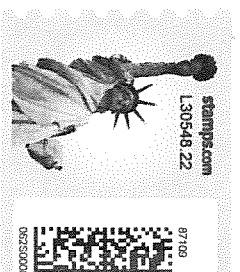
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DRISCOLL JOHN & CATHLEEN
3005 CASA DEL NORTE DR NE
ALBUQUERQUE NM 87111-5614



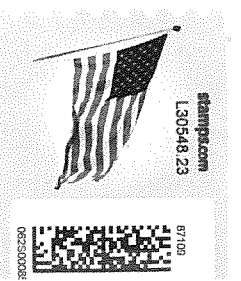
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ALBUQUERQUE NM 87109

VUKOTA LA ENTRADA APARTMENT
HOMES LP
5251 DTC PKWY SUITE 1001
GREENWOOD VILLAGE CO 80111-2799



TIERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

G & L INVESTMENT CO INC
317 6TH ST NW
ALBUQUERQUE NM 87102



TIERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

BANK OF AMERICA ATTN: CORP REAL
ESTATE ASSESSMENTS
101 N TYRON ST
CHARLOTTE NC 28246-0100



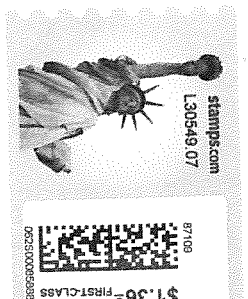
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ALBUQUERQUE NM 87109

ADAMS FERRELL & JANET
12309 LOS ARBOLES AVE NE
ALBUQUERQUE NM 87111-2071



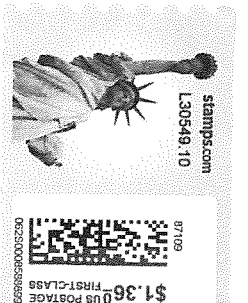
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5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

DURANGO PABLO E & DURANGO JANE
C & DURANGO-COHEN PABLO LUIS
ETAL
3944 SELMI GROVE
RICHMOND CA 94806-1864



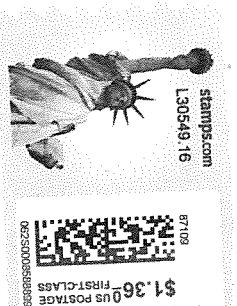
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ALBUQUERQUE NM 87109

SCHRODER SALLY A
4505 NORMA DR NE
ALBUQUERQUE NM 87109-1735



TERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

MONTGOMERY CROSSING LLC &
WYOMING CROSSING LLC
8950 W OLYMPIC BLVD SUITE 372
BEVERLY HILLS CA 90211-3565



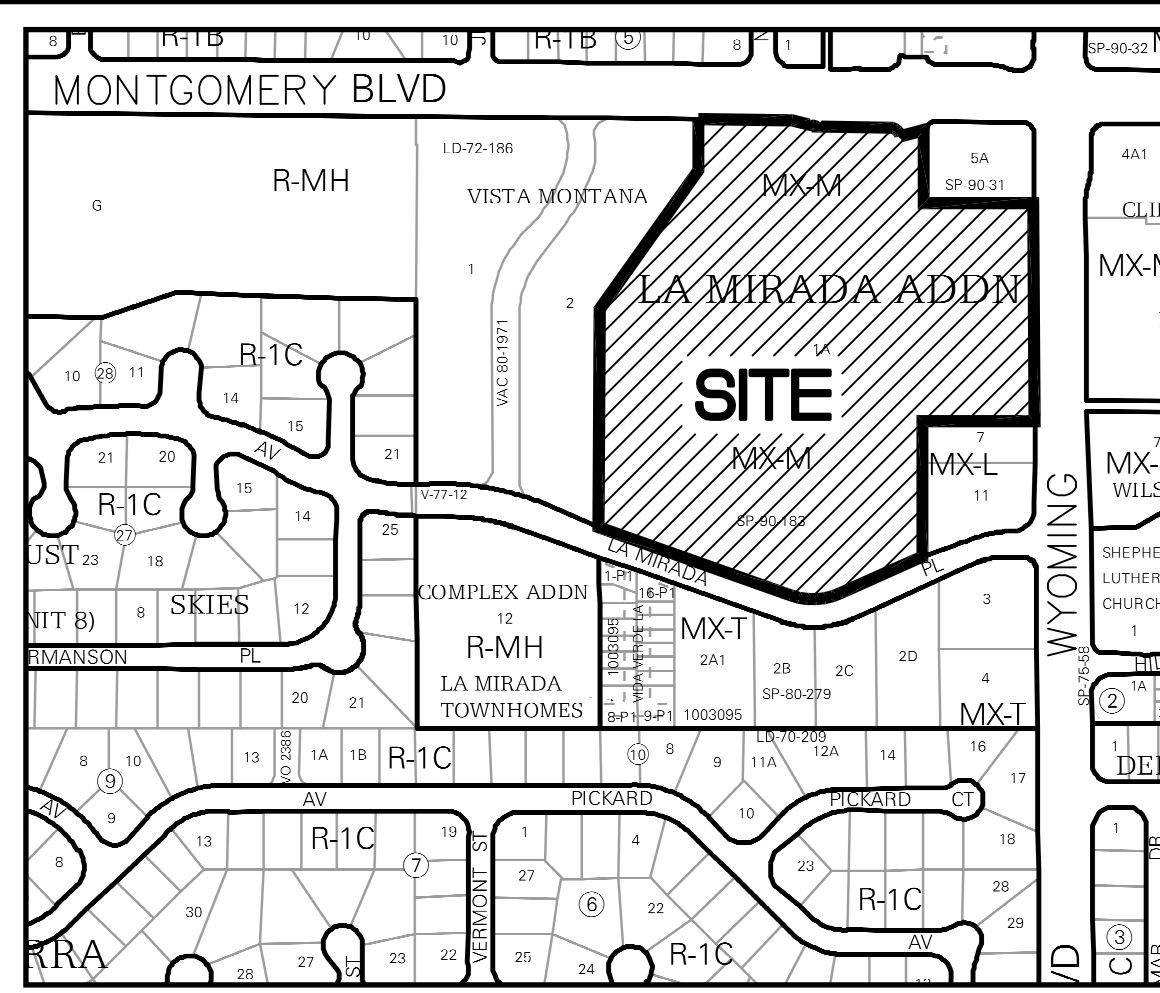
TIERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

AVILA ISIDRO V
8216 BRET PL NE
ALBUQUERQUE NM 87109



**Preliminary Plat for
Wymont Subdivision
Being Comprised of
Lot 1-A-1, La Mirada Subdivision
City of Albuquerque
Bernalillo County, New Mexico
August 2021**

PROJECT NO.: PR-2019-002309



Vicinity Map - Zone Atlas G-19-Z

Indexing Information

Section 6, Township 10 North, Range 4 East, N.M.P.M.
Subdivision: La Mirada Subdivision
Owner: Wymont, LLC
UPC #: 101906048047020404L1

Legal Description

LOT NUMBERED ONE-A-ONE (1-A-1) OF LA MIRADA SUBDIVISION, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT ENTITLED "PLAT FOR LOTS 1-A-1 AND 5-A-1, LA MIRADA SUBDIVISION, BEING COMPRISED OF LOTS 1-A AND 5-A, LA MIRADA SUBDIVISION, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON DECEMBER 23, 2019, IN PLAT BOOK 2019C, PAGE 137.

Subdivision Data

GROSS ACREAGE: 15.1868 ACRES
ZONE ATLAS PAGE NO.: G-19-Z
NUMBER OF EXISTING LOTS: 1
NUMBER OF COMMERCIAL TRACTS CREATED IN COMMERCIAL AREA: 66
NUMBER OF RESIDENTIAL LOTS CREATED: 66
NUMBER OF TRACTS CREATED WITHIN RESIDENTIAL AREA: 4
MILES OF FULL-WIDTH STREETS: 0.000 MILES
MILES OF HALF-WIDTH STREETS: 0.000 MILES
RIGHT-OF-WAY DEDICATION TO THE CITY OF ALBUQUERQUE: 0.000 ACRES
DATE OF SURVEY: AUGUST 2021

General Notes

- EXISTING ZONING: "MX-M" MIXED USE-MODERATE INTENSITY
- PROPOSED ZONING: "MX-M" MIXED USE-MODERATE INTENSITY
- TOTAL ACREAGE: 15.1868 ACRES
- SETBACKS: REQUIRED
FRONT: 0 FT. MINIMUM, 15 FT. MAXIMUM
SIDE: 0 FT. INTERIOR; 15 FT. STREET SIDE
REAR: 15 FT. MINIMUM, 0 FT. STREET OR ALLEY
- MANHOLES SHALL BE OFFSET AT ALL POINTS OF CURVATURE.

Drainage Facilities Note

AREAS DESIGNATED ON THE ACCOMPANYING PLAT AS "DRAINAGE EASEMENTS" ARE HEREBY DEDICATED BY THE OWNER AS A PERPETUAL EASEMENT FOR THE COMMON USE AND BENEFIT OF THE VARIOUS LOTS WITHIN THE SUBDIVISIONS FOR THE PURPOSE OF PERMITTING THE CONVEYANCE OF STORM WATER RUNOFF AND THE CONSTRUCTING AND MAINTAINING OF DRAINAGE FACILITIES GRANTOR SHALL CONSTRUCT DRAINAGE FACILITIES IN THE EASEMENT IN ACCORDANCE WITH STANDARDS PRESCRIBED BY THE CITY AND PLANS AND SPECIFICATIONS APPROVED BY THE CITY ENGINEER IN ACCORDANCE WITH THE DRAINAGE REPORT ENTITLED WYMONT PLACE GRADING AND DRAINAGE PLAN SUBMITTED BY TIERRA WEST, LLC ON JUNE 23, 2021, AND APPROVED BY THE ALBUQUERQUE CITY ENGINEER ON _____ NO FENCE, WALL, PLANTING, BUILDING OR OTHER OBSTRUCTION MAY BE PLACED OR MAINTAINED IN EASEMENT AREA WITHOUT APPROVAL OF THE CITY ENGINEER OF THE CITY OF ALBUQUERQUE. THERE ALSO SHALL BE NO ALTERATION OF THE GRADES OR CONTOURS IN SAID EASEMENT AREA WITHOUT THE APPROVAL OF THE CITY ENGINEER. IT SHALL BE THE DUTY OF THE LOT OWNERS OF THIS SUBDIVISION TO MAINTAIN SAID DRAINAGE EASEMENT AND FACILITIES AT THEIR COST IN ACCORDANCE WITH STANDARDS PRESCRIBED BY THE CITY OF ALBUQUERQUE. THE CITY SHALL HAVE THE RIGHT TO ENTER PERIODICALLY TO INSPECT THE FACILITIES. IN THE EVENT SAID LOT OWNERS FAIL TO ADEQUATELY AND PROPERLY MAINTAIN DRAINAGE EASEMENT AND FACILITIES, AT ANY TIME FOLLOWING FIFTEEN (15) DAYS WRITTEN NOTICE TO SAID LOT OWNERS, THE CITY MAY ENTER UPON SAID AREA, PERFORM SAID MAINTENANCE, AND THE COST OF PERFORMING SAID MAINTENANCE SHALL BE PAID BY APPLICABLE LOT OWNERS PROPORTIONATELY ON THE BASIS OF LOT OWNERSHIP. IN THE EVENT LOT OWNERS FAIL TO PAY THE COST OF MAINTENANCE WITHIN THIRTY (30) DAYS AFTER DEMAND FOR PAYMENT MADE BY THE CITY, THE CITY MAY FILE A LIEN AGAINST ALL LOTS IN THE SUBDIVISION FOR WHICH PROPORTIONATE PAYMENT HAS NOT BEEN MADE. THE OBLIGATIONS IMPOSED HEREIN SHALL BE BINDING UPON THE OWNER, HIS HEIRS, AND ASSIGNS AND SHALL RUN WITH ALL LOTS WITHIN THIS SUBDIVISION. THE GRANTOR AGREES TO DEFEND, INDEMNIFY, AND HOLD HARMLESS, THE CITY, ITS OFFICIALS, AGENTS AND EMPLOYEES FROM AND AGAINST ANY AND ALL CLAIMS, ACTIONS, SUITS, OR PROCEEDINGS OF ANY KIND BROUGHT AGAINST SAID PARTIES FOR OR ON ACCOUNT OF ANY MATTER ARISING FROM THE DRAINAGE FACILITY PROVIDED FOR HEREIN OR THE GRANTOR'S FAILURE TO CONSTRUCT, MAINTAIN, OR MODIFY SAID DRAINAGE FACILITY.

Notes

- FIELD SURVEY PERFORMED IN DECEMBER 2018 THROUGH AUGUST 2019, AND SUPPLEMENTAL DATA IN MARCH 2021.
- ALL DISTANCES ARE GROUND DISTANCES: U.S. SURVEY FOOT.
- THE BASIS OF BEARINGS REFERENCES NM STATE PLANE COORDINATES (NAD 83-CENTRAL ZONE).
- WITH REGARD TO UNDERGROUND UTILITY LOCATIONS, SOURCE INFORMATION FROM PLANS AND MARKINGS WERE COMBINED WITH OBSERVED EVIDENCE OF UTILITIES PURSUANT TO SECTION 5.E.I.V. TO DEVELOP A VIEW OF THE UNDERGROUND UTILITIES. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED. IN ADDITION, IN SOME JURISDICTIONS, 811 OR OTHER SIMILAR UTILITY LOCATE REQUESTS FROM SURVEYORS MAY BE IGNORED OR RESULT IN AN INCOMPLETE RESPONSE, WHICH MAY AFFECT THIS SURVEYOR'S ASSESSMENT OF THE LOCATION OF THE UTILITIES. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT THAT EXCAVATION AND/OR A PRIVATE UTILITY LOCATE REQUEST MAY BE NECESSARY. INVERT DATA SHOWN WITH A ± SHOULD BE CONSIDERED TAKEN FROM AS-BUILTS. (NM811 TICKET NO. 21FE240615)
- UNLESS OTHERWISE NOTED, ALL BOUNDARY CORNERS SHALL BE MONUMENTED IN ACCORDANCE WITH LOCAL AND STATE REQUIREMENTS.

**Parcel Information
Residential Area Only
(See Sheet 4 of 5 for more details)**

Parcel Table		
Parcel Name	Area (Acres)	Area (Sq. Ft.)
Lot 1	0.0758	3,304
Lot 2	0.0607	2,646
Lot 3	0.0786	3,423
Lot 4	0.0752	3,275
Lot 5	0.0592	2,578
Lot 6	0.0683	2,975
Lot 7	0.0711	3,095
Lot 8	0.0585	2,550
Lot 9	0.0585	2,550
Lot 10	0.0683	2,975
Lot 11	0.0711	3,095
Lot 12	0.0585	2,550
Lot 13	0.0585	2,550
Lot 14	0.0683	2,975
Lot 15	0.0683	2,975
Lot 16	0.0585	2,550
Lot 17	0.0587	2,556
Lot 18	0.0749	3,262
Lot 19	0.0683	2,976
Lot 20	0.0585	2,548
Lot 21	0.0683	2,973
Lot 22	0.0683	2,975
Lot 23	0.0578	2,519
Lot 24	0.0945	4,117

Parcel Table		
Parcel Name	Area (Acres)	Area (Sq. Ft.)
Lot 25	0.1107	4,820
Lot 26	0.0654	2,850
Lot 27	0.0660	2,873
Lot 28	0.1060	4,619
Lot 29	0.0763	3,326
Lot 30	0.0654	2,850
Lot 31	0.0654	2,850
Lot 32	0.0763	3,325
Lot 33	0.0763	3,325
Lot 34	0.0654	2,850
Lot 35	0.0654	2,850
Lot 36	0.0763	3,325
Lot 37	0.0763	3,325
Lot 38	0.0673	2,931
Lot 39	0.0733	3,191
Lot 40	0.1364	5,940
Lot 41	0.0825	3,595
Lot 42	0.0585	2,550
Lot 43	0.0758	3,303
Lot 44	0.0678	2,952
Lot 45	0.0585	2,550
Lot 46	0.0585	2,550
Lot 47	0.0683	2,975
Lot 48	0.0683	2,975

Parcel Table		
Parcel Name	Area (Acres)	Area (Sq. Ft.)
Lot 49	0.0585	2,550
Lot 50	0.0585	2,550
Lot 51	0.0683	2,975
Lot 52	0.0676	2,943
Lot 53	0.0585	2,550
Lot 54	0.0683	2,976
Lot 55	0.0682	2,970
Lot 56	0.0585	2,550
Lot 57	0.0585	2,550
Lot 58	0.0683	2,975
Lot 59	0.0683	2,975
Lot 60	0.0585	2,550
Lot 61	0.0585	2,550
Lot 62	0.0683	2,975
Lot 63	0.0683	2,975
Lot 64	0.0585	2,550
Lot 65	0.0585	2,550
Lot 66	0.0683	2,975
Tract A	0.0312	1,357
Tract B (Park Space)	0.5481	23,874
Tract C (Detention Pond)	0.3791	16,515
Tract D	1.5660	68,214

Legend

Symbol	Description
⊙	MEASURED BEARINGS AND DISTANCES
⊙	FOUND REBAR WITH CAP "1.5 4078" UNLESS OTHERWISE INDICATED
○	SET BATHEY MARKER "1.5 14271" UNLESS OTHERWISE NOTED
▲	FOUND CENTERLINE MONUMENT AS INDICATED
⊠	COVERED AREA
▭	CONCRETE
□	UTILITY PEDESTAL
—○—	GUARD RAIL
—x—	WIRE FENCE
—○—	METAL FENCE
— —	RETAINING WALL
▨	BLOCK WALL
—○—	CHAINLINK FENCE
—RR—	RAILROAD TIES
—H—	HANDRAIL
⊠	BOLLARD
—OH—	OVERHEAD UTILITY LINE
•	UTILITY POLE
→	ANCHOR
⊠	PULL BOX
⊙	LIGHT POLE
⊠	ELECTRIC METER
⊠	TRANSFORMER
⊠	ELECTRIC CABINET
⊙	GAS METER
⊙	CABLE MANHOLE
⊠	WATER VALVE
⊙	WATER METER
⊠	FIRE HYDRANT
⊠	ROOF DRAIN
⊙	MANHOLE
⊙	SAS CLEANOUT
⊠	IRRIGATION BOX
⊙	MANHOLE
⊠	STORM DRAIN INLET
⊙	IRRIGATION VALVE
—○—	SIGN
↕	CURB CUT/INDICATION OF ACCESS TO ROADWAY
↕	F.D.C. FIRE DEPARTMENT CONNECTION
R	RAMP

Purpose of Plat

- Subdivide existing tract into 66 Residential lots, 4 HOA tracts and 8 non-residential tracts.
- Vacate Easements.
- Grant Easements.

Solar Collection Note

NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BUILDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERECTED ON THE LOTS OR PARCELS WITHIN THE AREA OF PROPOSED PLAT. THE FOREGOING REQUIREMENT SHALL BE A CONDITION TO APPROVAL OF THIS PLAT.

Documents

- TITLE COMMITMENT PROVIDED BY OLD REPUBLIC NATIONAL TITLE, HAVING FILE NO. 2011162 AND AN EFFECTIVE DATE OF DECEMBER 16, 2020 AND UPDATED APRIL 8, 2021.
- PLAT FOR LA MIRADA, FILED IN THE BERNALILLO COUNTY CLERK'S OFFICE ON NOVEMBER 6, 1990 IN BOOK 90C, PAGE 274.
- PLAT FOR LA MIRADA SUBDIVISION, FILED IN THE BERNALILLO COUNTY CLERK'S OFFICE ON MARCH 19, 1974 IN BOOK C9, PAGE 165 AND CORRECTION PLAT, FILED IN THE BERNALILLO COUNTY CLERK'S OFFICE ON MARCH 20, 1981 IN BOOK C18, PAGE 32.
- PLAT FOR VISTA MONTAÑA COMPLEX, FILED IN THE BERNALILLO COUNTY CLERK'S OFFICE ON APRIL 14, 1972 IN BOOK C8, PAGE 126.
- PLAT OF RECORD FOR LOTS 1-A-1 AND 5-A-1, LA MIRADA SUBDIVISION, FILED IN THE BERNALILLO COUNTY CLERK'S OFFICE ON DECEMBER 23, 2019, IN PLAT BOOK 2019C, PAGE 137.
- PLAT FOR TRACTS A AND B, BEING A REPLAT OF LOTS 7 & 11, OF LA MIRADA SUBDIVISION, FILED IN THE BERNALILLO COUNTY CLERK'S OFFICE ON JULY 6, 1970, IN BOOK B5, PAGE 47.
- WARRANTY DEED FOR SUBJECT PROPERTY, FROM M & M CO. TO WYMONT LLC, FILED IN THE BERNALILLO COUNTY CLERK'S OFFICE ON JUNE 24, 2021, AS DOCUMENT NO. 2021074872.

Flood Notes

BASED UPON SCALING, PORTIONS OF THIS PROPERTY LIE WITHIN ZONE "AO", WHICH IS DEFINED AS A SPECIAL FLOOD HAZARD AREA, HAVING AN AVERAGE FLOOD DEPTH OF 1' (USUALLY SHEET FLOW ON SLOPING TERRAIN), AND ZONE "X", WHICH IS DEFINED AS AN AREA OF MINIMAL FLOOD HAZARD.

AS DETERMINED BY F.E.M.A. AND SHOWN ON THE FLOOD INSURANCE RATE MAP NO. 35001C0143G, DATED SEPTEMBER 26, 2008.

APPROVED FOR MONUMENTATION AND STREET NAMES

Loren N. Ransover P.S. 12/5/2021
CITY SURVEYOR DATE

OWNER: WYMONT, LLC

BY: CAREY PANT

ITS: VICE PRESIDENT

Carey Plant 9/1/2021
CAREY PANT, VICE PRESIDENT DATE
WYMONT, LLC

CSI-CARTESIAN SURVEYS INC.

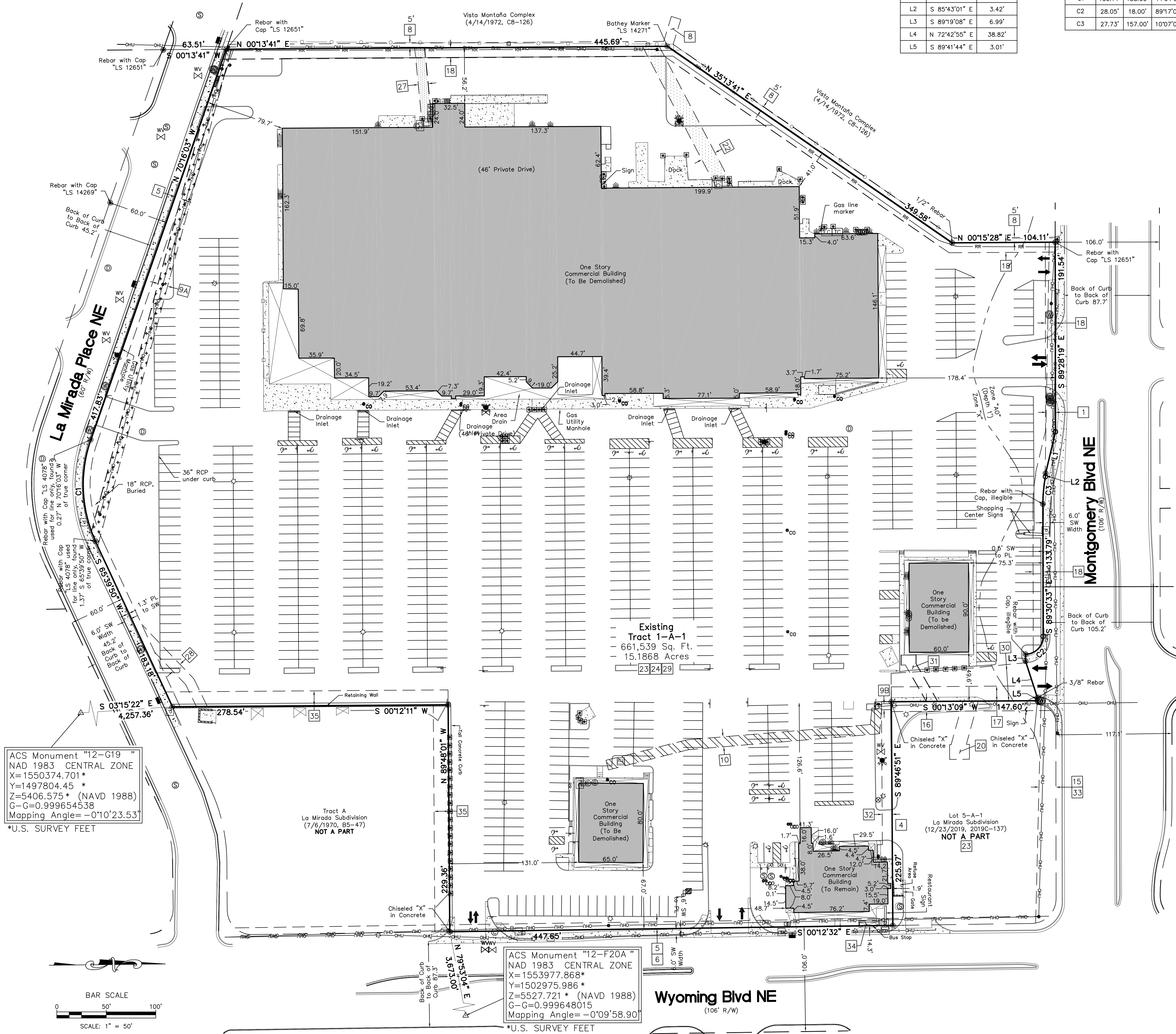
P.O. BOX 44414 RIO RANCHO, N.M. 87174
Phone (505) 896 - 3050 Fax (505) 891 - 0244
wplotnerjr@gmail.com

**This Sheet Shows Existing
Conditions, Existing Easements,
and Vacated Easements**

**Preliminary Plat for
Wymont Subdivision
Being Comprised of
Lot 1-A-1, La Mirada Subdivision
City of Albuquerque
Bernalillo County, New Mexico
August 2021**

Line #	Direction	Length (ft)
L1	S 76°03'13" E	43.17'
L2	S 85°43'01" E	3.42'
L3	S 89°19'08" E	6.99'
L4	N 72°42'55" E	38.82'
L5	S 89°41'44" E	3.01'

Curve #	Length	Radius	Delta	Chord Length	Chord Direction
C1	106.14'	138.00'	44°04'07"	103.54'	S 87°41'53" W
C2	28.05'	18.00'	89°17'07"	25.30'	S 44°52'00" E
C3	27.73'	157.00'	10°07'06"	27.69'	S 84°04'11" E



Easement Notes

- 1 EXISTING PNM TRANSMISSION LINE EASEMENT (4/24/1973, BK. MISC. 309, FOL. 334, DOC. NO. 47734)
- 4 CENTERLINE OF 32.5 FOOT OPENING AT THE PROPERTY LINE BEING A PRIVATE RECIPROCAL DRIVEWAY OPENING EASEMENT BENEFITING LOT 1-A-1 AND 5-A-1 FOR ACCESS TO AND FROM LOT 1-A-1 AND LOT 5-A-1 INTO THE DRIVE AISLES FOR USE WITHIN LOT 1-A-1 AND 5-A-1 AS SUCH DRIVE AISLES ARE ESTABLISHED AND/OR RELOCATED FROM TIME TO TIME BY THE RESPECTIVE OWNERS OF LOT 1-A-1 AND LOT 5-A-1. EACH OWNER IS TO BE RESPONSIBLE TO MAINTAIN THAT PORTION OF THE RECIPROCAL DRIVEWAY OPENING AND THE DRIVE AISLES THAT ARE SITUATE UPON THAT OWNER'S LOT (12/23/2019, 2019C-137)
- 5 EXISTING 7' UTILITY EASEMENT (3/19/1974, C9-165), AMENDED BY PLAT (3/20/1981, C18-32) ACROSS THE EASTERLY 7' OF LOT 1-A-1
- 6 EXISTING 7' EASEMENT FOR POWER TRANSMISSION LINES 53' ABOVE GROUND LEVEL (9/24/1968, BK. 116, PG. 158, DOC. NO. 8889) ACROSS THE EASTERLY 7' OF LOT 1-A-1 AND 5-A-1
- 8 EXISTING UTILITY EASEMENT (4/14/1972, C8-126) LOCATED ON VISTA MONTANA COMPLEX
- 9A EXISTING 10' PNM EASEMENT (6/21/1977, BK. MISC. 542, PG. 844, DOC. NO. 77-36542) VACATED WITH THIS PLAT. SHOWN HEREON AS [Symbol]
- 9B EXISTING 6' ANCHOR EASEMENT (6/21/1977, BK. MISC. 542, PG. 844, DOC. NO. 77-36542)
- 10 EXISTING 10' UNDERGROUND PNM & MST&T EASEMENT (10/28/1986, BK. MISC. 412A, PG. 15, DOC. NO. 86105149) VACATED WITH THIS PLAT. SHOWN HEREON AS [Symbol]
- 15 EXISTING PNM EASEMENT (4/24/1973, BK. MISC. 309, PG. 333, DOC. NO. 47733) LOCATED ON LOT 5-A-1
- 16 EXISTING 10' PNM EASEMENT (6/21/1977, BK. MISC. 542, PG. 845, DOC. 7736543) LOCATED ON LOT 5-A-1
- 17 EXISTING 15' GAS EASEMENT (12/23/2019, 2019C-137)
- 18 EXISTING 10' PUE (12/23/2019, 2019C-137) LOCATED ON LOT 1-A-1
- 20 EXISTING PNM & US WEST EASEMENT (1/22/1996, BK. 96-2, PG. 6187-6188, DOC. NO. 96007364)
- 22 15' PNM & CENTURYLINK EASEMENT (12/23/2019, 2019C-137) VACATED WITH THIS PLAT. SHOWN HEREON AS [Symbol]
- 23 EXISTING PRIVATE CROSS LOT ACCESS EASEMENT BENEFITING LOTS 5-A-1 AND 1-A-1 OVER THE DRIVE AISLES WITHIN LOTS 5-A-1 AND 1-A-1 (NOW KNOWN AS TRACTS 1-8, WYMONT SUBDIVISION) AS MAY BE STRIPED AND MODIFIED OVER TIME AND MAINTAINED BY THE RESPECTIVE UNDERLYING OWNERS OF LOT 5-A-1 AND LOT 1-A-1, EXCLUDING BUILDING ENVELOPES FOR BOTH FUTURE AND EXISTING BUILDINGS (12/23/2019, 2019C-137) MODIFIED BY DOCUMENT [Symbol] AS DOC. NO. [Symbol] AND VACATE THAT PORTION LOCATED WITHIN THE RESIDENTIAL AREA BY THIS PLAT.
- 24 EXISTING PRIVATE CROSS LOT DRAINAGE EASEMENT, BENEFITING LOT 5-A-1, OVER LOT 1-A-1 EXCLUDING BUILDING ENVELOPES FOR BOTH EXISTING AND FUTURE BUILDINGS, TO BE MAINTAINED BY THE UNDERLYING OWNER OF LOT 1-A-1 (12/23/2019, 2019C-137) VACATED WITH THIS PLAT
- 27 EXISTING 10' PNM EASEMENT (12/23/2019, 2019C-137) VACATED WITH THIS PLAT SHOWN HEREON AS [Symbol]
- 28 EXISTING 10' PNM EASEMENT (12/23/2019, 2019C-137)
- 29 EXISTING PRIVATE CROSS LOT PARKING EASEMENTS WITHIN THE PARKING AREAS AS REGULATED, STRIPED AND MODIFIED OVER TIME BY THE OWNER OF LOT 1-A-1, WITHIN LOT 1-A-1, BENEFITING LOT 5-A-1 AND LOT 1-A-1, EXCLUDING BUILDING ENVELOPES FOR BOTH EXISTING AND FUTURE BUILDINGS, TO BE MAINTAINED BY THE UNDERLYING OWNER OF SAID LOT 1-A-1 (12/23/2019, 2019C-137) VACATED WITH THE FILING OF THIS PLAT
- 30 EXISTING PRIVATE DRIVEWAY EASEMENT BENEFITING LOTS 5-A-1 AND 1-A-1 TO BE MAINTAINED BY THE OWNER OF LOT 1-A-1 FOR ACCESS TO AND FROM MONTGOMERY BOULEVARD FOR LOTS 5-A-1 AND 1-A-1 AND FOR ACCESS BETWEEN LOTS 5-A-1 AND 1-A-1 (12/23/2019, 2019C-137) VACATED WITH THIS PLAT
- 31 EXISTING 10' PNM EASEMENT (12/23/2019, 2019C-137) VACATED WITH THIS PLAT
- 32 EXISTING 10' PNM EASEMENT (12/23/2019, 2019C-137)
- 33 EXISTING CENTURYLINK EASEMENT (12/23/2019, 2019C-137)
- 34 EXISTING PUBLIC SIDEWALK AND BUS STOP SHELTER EASEMENT (12/23/2019, 2019C-137)
- 35 EXISTING PRIVATE EASEMENT AGREEMENT BETWEEN THE BANK OF AMERICA AND THE OWNER OF THE SUBJECT PROPERTY FOR RETAINING WALL MAINTENANCE (12/23/2019, DOC. 2019109248)

* EASEMENT LABELS [2] [3] [7] [11] [21] [31] [41] [9] [21] [25] & [26] NOT USED

ACS Monument "12-G19"
NAD 1983 CENTRAL ZONE
X=1550374.701 *
Y=1497804.45 *
Z=5406.575 * (NAVD 1988)
G-G=0.999654538
Mapping Angle=-0°10'23.53"
*U.S. SURVEY FEET

ACS Monument "12-F20A"
NAD 1983 CENTRAL ZONE
X=1553977.868 *
Y=1502975.986 *
Z=5527.721 * (NAVD 1988)
G-G=0.999648015
Mapping Angle=-0°09'58.90"
*U.S. SURVEY FEET

**Preliminary Plat for
Wymont Subdivision
Being Comprised of
Lot 1-A-1, La Mirada Subdivision
City of Albuquerque
Bernalillo County, New Mexico
August 2021**

**This Sheet Shows Proposed Lots and
Tracts, Easements to Remain
(Residential Portion Only)**

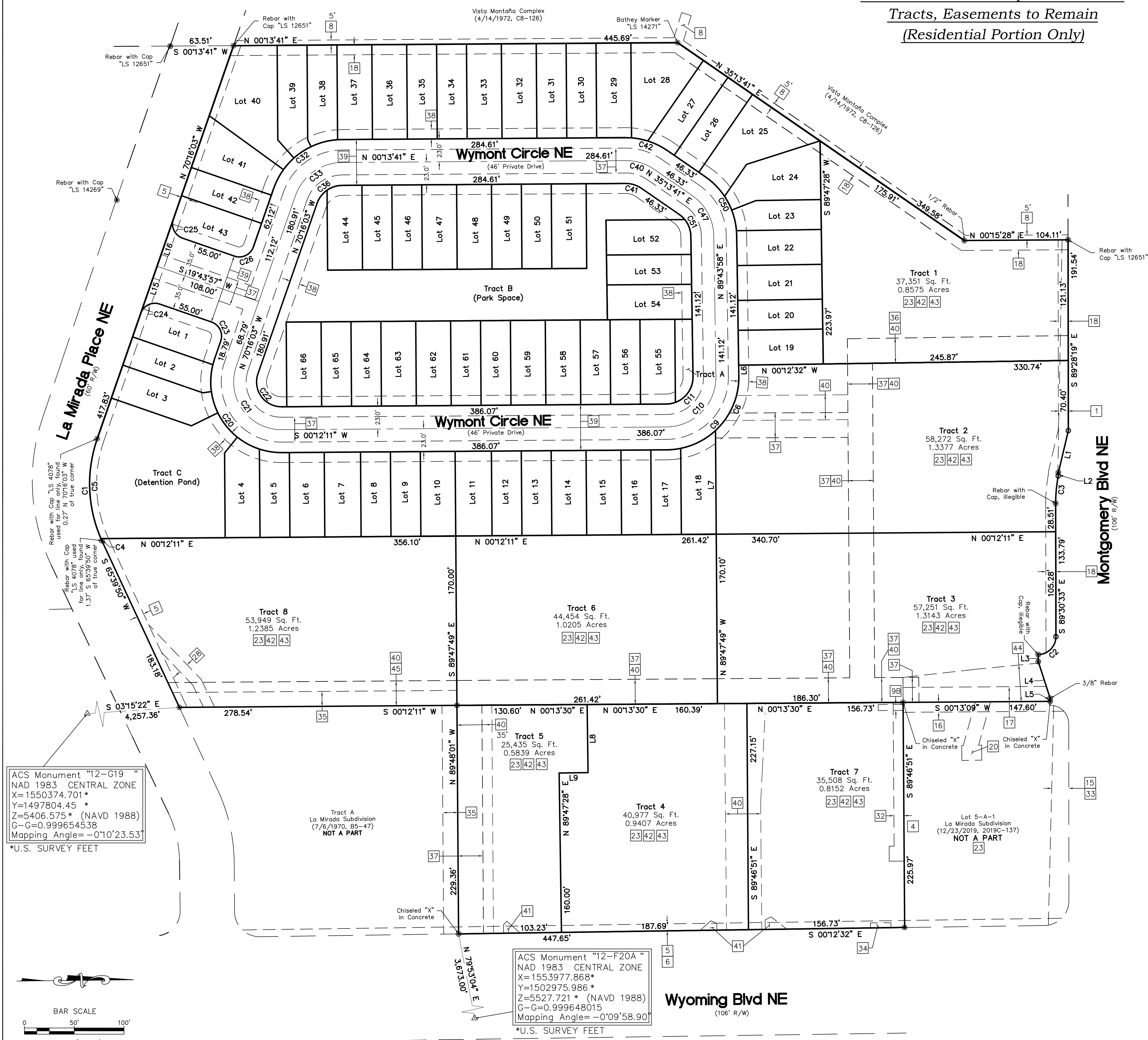
Easement Notes

- 1 EXISTING PNM TRANSMISSION LINE EASEMENT (4/24/1973, BK. MISC. 309, FOL. 334, DOC. NO. 47734)
- 4 CENTERLINE OF 32.5 FOOT OPENING AT THE PROPERTY LINE BEING A PRIVATE RECIPROCAL DRIVEWAY OPENING EASEMENT BENEFITING LOT 1-A-1 AND 5-A-1 FOR ACCESS TO AND FROM LOT 1-A-1 AND LOT 5-A-1 INTO THE DRIVE AISLES FOR USE WITHIN LOT 1-A-1 AND 5-A-1 AS SUCH DRIVE AISLES ARE ESTABLISHED AND/OR RELOCATED FROM TIME TO TIME BY THE RESPECTIVE OWNERS OF LOT 1-A-1 AND LOT 5-A-1. EACH OWNER IS TO BE RESPONSIBLE TO MAINTAIN THAT PORTION OF THE RECIPROCAL DRIVEWAY OPENING AND THE DRIVE AISLES THAT ARE SITUATE UPON THAT OWNER'S LOT (12/23/2019, 2019C-137)
- 5 EXISTING 7' UTILITY EASEMENT (3/19/1974, C9-165), AMENDED BY PLAT (3/20/1981, C18-32) ACROSS THE EASTERLY 7' OF LOT 1-A-1
- 6 EXISTING 7' EASEMENT FOR POWER TRANSMISSION LINES 53' ABOVE GROUND LEVEL (9/24/1968, BK. 116, PG. 158, DOC. NO. 8889) ACROSS THE EASTERLY 7' OF LOT 1-A-1 AND 5-A-1
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- 16 EXISTING 10' PNM EASEMENT (6/21/1977, BK. MISC. 542, PG. 845, DOC. 7736543) LOCATED ON LOT 5-A-1
- 17 EXISTING 15' GAS EASEMENT (12/23/2019, 2019C-137)
- 18 EXISTING 10' PUE (12/23/2019, 2019C-137)
- 20 EXISTING PNM & US WEST EASEMENT (1/22/1996, BK. 96-2, PG. 6187-6188, DOC. NO. 96007364)
- 23 EXISTING PRIVATE CROSS LOT ACCESS EASEMENT BENEFITING LOTS 5-A-1 AND 1-A-1 (NOW KNOWN AS TRACTS 1-8, WYMONT SUBDIVISION) OVER THE DRIVE AISLES WITHIN LOTS 5-A-1 AND 1-A-1 AS MAY BE STRIPED AND MODIFIED OVER TIME AND MAINTAINED BY THE RESPECTIVE UNDERLYING OWNERS OF LOT 5-A-1 AND LOT 1-A-1, EXCLUDING BUILDING ENVELOPES FOR BOTH FUTURE AND EXISTING BUILDINGS (12/23/2019, 2019C-137) MODIFIED BY DOCUMENT (_____/_____/_____) AS DOC. NO. _____)
- 28 EXISTING 10' PNM EASEMENT (12/23/2019, 2019C-137)
- 32 EXISTING 10' PNM EASEMENT (12/23/2019, 2019C-137)
- 33 EXISTING CENTURYLINK EASEMENT (12/23/2019, 2019C-137)
- 34 EXISTING PUBLIC SIDEWALK AND BUS STOP SHELTER EASEMENT (12/23/2019, 2019C-137)
- 35 EXISTING PRIVATE EASEMENT AGREEMENT BETWEEN THE BANK OF AMERICA AND THE OWNER OF THE SUBJECT PROPERTY FOR RETAINING WALL MAINTENANCE (12/23/2019, DOC. 2019109248)
- 36 25' PUBLIC WATER EASEMENT BENEFITING TRACTS 1 THRU 8, THE WYMONT GRANTED WITH THE FILING OF THIS PLAT, TO BE MAINTAINED BY THE OWNERS OF SAID TRACTS. SEE DETAIL ON SHEET 5 OF 5
- 37 25' PUBLIC WATER AND PUBLIC SANITARY SEWER EASEMENT GRANTED WITH THE FILING OF THIS PLAT, BENEFITING TRACTS 1-8, THE WYMONT AND LOTS 1-66 AND TRACTS A-C, WYMONT PLACE. SEE DETAIL ON SHEET 5 OF 5
- 38 10' PUE GRANTED BY THE FILING OF THIS PLAT
- 39 46' PRIVATE VEHICLE AND PEDESTRIAN ACCESS EASEMENT GRANTED WITH THE FILING OF THIS PLAT BENEFITING LOTS 1-66 AND TRACTS A-D. OWNED AND MAINTAINED BY THE HOA.
- 40 25' PRIVATE ACCESS EASEMENT BENEFITING TRACTS 1-8, WYMONT SUBDIVISION AND LOT 5-A-1, LA MIRADA SUBDIVISION, GRANTED WITH THE FILING OF THIS PLAT, TO BE MAINTAINED BY THE OWNERS OF SAID TRACTS. SEE DETAIL ON SHEET 5 OF 5
- 41 PUBLIC SIDEWALK EASEMENT GRANTED WITH THE FILING OF THIS PLAT. SEE DETAIL ON SHEET 5 OF 5
- 42 PRIVATE CROSS LOT PARKING EASEMENTS WITHIN THE PARKING AREAS AS REGULATED, STRIPED AND MODIFIED OVER TIME BY THE OWNER OF TRACTS 1-8, WYMONT SUBDIVISION, WITHIN TRACTS 1-8, WYMONT SUBDIVISION, BENEFITING LOT 5-A-1, LA MIRADA SUBDIVISION, AND TRACTS 1-8, WYMONT SUBDIVISION, EXCLUDING BUILDING ENVELOPES FOR BOTH EXISTING AND FUTURE BUILDINGS, TO BE MAINTAINED BY THE UNDERLYING OWNERS OF SAID TRACTS 1-8, WYMONT SUBDIVISION, GRANTED WITH THIS PLAT.
- 43 PRIVATE CROSS LOT DRAINAGE EASEMENT OVER TRACTS 1-8, WYMONT SUBDIVISION BENEFITING LOT 5-A-1, LA MIRADA, EXCLUDING BUILDING ENVELOPES FOR BOTH EXISTING AND FUTURE BUILDINGS GRANTED WITH THIS PLAT, TO BE MAINTAINED BY THE OWNERS OF TRACTS 1-8, WYMONT SUBDIVISION.
- 44 PRIVATE DRIVEWAY EASEMENT BENEFITING TRACTS 1-8, WYMONT SUBDIVISION, AND LOT 5-A-1, LA MIRADA, GRANTED WITH THIS PLAT FOR ACCESS TO AND FROM MONTGOMERY BOULEVARD FOR SAID TRACTS. TO BE MAINTAINED BY THE OWNERS OF TRACTS 1-8, WYMONT. SEE DETAIL ON SHEET 5 OF 5
- 45 25' PUBLIC SANITARY SEWER EASEMENT GRANTED WITH THIS PLAT BENEFITING AND TO BE MAINTAINED BY THE OWNERS OF TRACTS 1-8, WYMONT SUBDIVISION. SEE DETAIL ON SHEET 5 OF 5

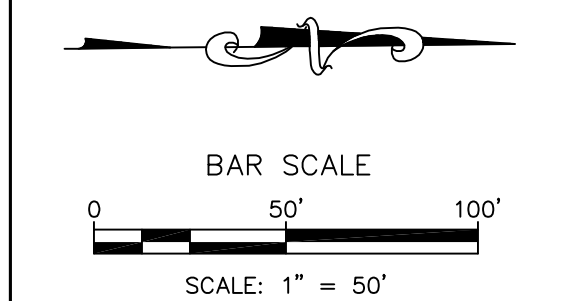
* EASEMENT LABELS [2][3][7][9A][10][11][12][13][14][19][21][22][24][25][26][27][29][30] & [31] NOT USED

Line #	Direction	Length (ft)
L1	S 76°03'13" E	43.17'
L2	S 85°43'01" E	3.42'
L3	S 89°19'08" E	6.99'
L4	N 72°42'55" E	38.82'
L5	S 89°41'44" E	3.01'
L6	S 89°43'59" W	10.91'
L7	N 89°47'49" W	104.01'
L8	N 89°47'28" E	68.36'
L9	S 00°12'32" E	29.00'
L15	S 70°16'03" E	50.00'
L16	S 70°16'03" E	50.00'

Curve #	Length	Radius	Delta	Chord Length	Chord Direction
C1	106.14'	138.00'	44°04'07"	103.54'	S 87°41'53" W
C2	28.05'	18.00'	89°17'07"	25.30'	S 44°52'00" E
C3	27.73'	157.00'	10°07'06"	27.69'	S 84°04'11" E
C4	3.67'	138.00'	1°31'31"	3.67'	N 66°25'35" E
C5	102.47'	138.00'	42°32'36"	100.13'	N 88°27'39" E
C6	61.29'	73.00'	48°06'17"	59.51'	N 66°09'23" W
C9	115.19'	73.00'	90°24'42"	103.61'	N 45°00'10" W
C10	78.90'	50.00'	90°24'42"	70.96'	N 45°00'10" W
C11	42.61'	27.00'	90°24'42"	38.32'	N 45°00'10" W
C20	135.73'	71.00'	109°31'46"	115.98'	N 54°58'04" E
C21	91.76'	48.00'	109°31'46"	78.41'	N 54°58'04" E
C22	47.79'	25.00'	109°31'46"	40.84'	N 54°58'04" E
C23	23.56'	15.00'	90°00'00"	21.21'	S 64°43'57" W
C24	23.56'	15.00'	90°00'00"	21.21'	S 25°16'03" E
C25	23.56'	15.00'	90°00'00"	21.21'	N 64°43'57" E
C26	23.56'	15.00'	90°00'00"	21.21'	N 25°16'03" W
C32	89.82'	73.00'	70°29'44"	84.26'	S 35°01'11" E
C33	61.52'	50.00'	70°29'44"	57.71'	S 35°01'11" E
C36	33.22'	27.00'	70°29'44"	31.16'	S 35°01'11" E
C40	30.54'	50.00'	35°00'00"	30.07'	S 17°43'41" W
C41	16.49'	27.00'	35°00'00"	16.24'	S 17°43'41" W
C42	44.59'	73.00'	35°00'00"	43.90'	S 17°43'41" W
C47	47.62'	50.00'	54°33'48"	45.84'	S 62°30'35" W
C50	69.50'	73.00'	54°32'41"	66.90'	S 62°30'02" W
C51	25.71'	27.00'	54°33'48"	24.75'	S 62°30'35" W



ACS Monument "12-G19"
NAD 1983 CENTRAL ZONE
X=1550374.701 *
Y=1497804.45 *
Z=5406.575 * (NAVD 1988)
G-G=0.999654538
Mapping Angle=-0°10'23.53"
*U.S. SURVEY FEET



ACS Monument "12-F20A"
NAD 1983 CENTRAL ZONE
X=1553977.868 *
Y=1502975.986 *
Z=5527.721 * (NAVD 1988)
G-G=0.999648015
Mapping Angle=-0°09'58.90"
*U.S. SURVEY FEET

Preliminary Plat for
Wymont Subdivision
Being Comprised of
Lot 1-A-1, La Mirada Subdivision
City of Albuquerque
Bernalillo County, New Mexico
August 2021

Line #	Direction	Length (ft)
L1	S 76°03'13" E	43.17'
L2	S 85°43'01" E	3.42'
L3	S 89°19'08" E	6.99'
L4	N 72°42'55" E	38.82'
L5	S 89°41'44" E	3.01'
L6	S 89°43'59" W	10.91'
L7	N 89°47'49" W	104.01'
L8	N 89°47'28" E	68.36'
L9	S 00°12'32" E	29.00'
L10	N 00°12'11" E	7.37'
L11	N 00°12'11" E	5.16'
L12	S 50°43'59" E	20.44'

Line #	Direction	Length (ft)
L13	S 25°21'10" E	29.56'
L14	S 07°17'24" E	8.70'
L15	S 70°16'03" E	50.00'
L16	S 70°16'03" E	50.00'
L17	S 70°16'03" E	7.12'
L18	S 48°51'09" W	24.28'
L19	S 65°03'32" W	7.66'
L20	S 35°13'41" W	8.41'
L21	S 35°13'41" W	7.92'
L22	S 54°46'19" E	38.92'
L23	S 20°45'57" E	26.24'

This Sheet Shows Proposed Lots and
Tracts for Residential Portion Only

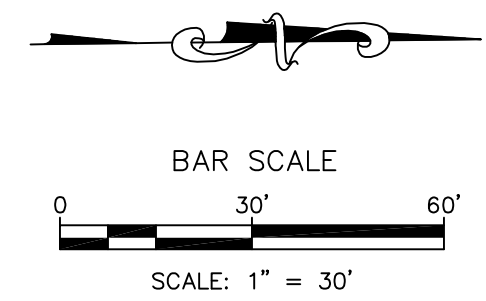
NOTE:
TRACTS A, B, AND D WILL BE OWNED AND MAINTAINED BY THE
HOA AND BENEFIT THE OWNERS OF LOTS 1-66 ONLY.

TRACT C IS OWNED BY THE HOA, BENEFITING AND MAINTAINED BY
THE OWNERS LOTS 1-66, TRACTS A-D AND TRACTS 1-8

THE RESIDENTIAL AREA IS CONSIDERED THAT AREA EXCLUDING
TRACTS 1-8

Legend

- N 90°00'00" E MEASURED BEARINGS AND DISTANCES
- FOUND REBAR WITH CAP "LS 4078" UNLESS OTHERWISE INDICATED
- SET BATHEY MARKER "LS 14271" UNLESS OTHERWISE NOTED
- ▲ FOUND CENTERLINE MONUMENT AS INDICATED



Curve #	Length	Radius	Delta	Chord Length	Chord Direction
C1	106.14'	138.00'	44°04'07"	103.54'	S 87°41'53" W
C2	28.05'	18.00'	89°17'07"	25.30'	S 44°52'00" E
C3	27.73'	157.00'	10°07'06"	27.69'	S 84°04'11" E
C4	3.67'	138.00'	1°31'31"	3.67'	N 66°25'35" E
C5	102.47'	138.00'	42°32'36"	100.13'	N 88°27'39" E
C6	61.29'	73.00'	48°06'17"	59.51'	N 66°09'23" W
C7	39.68'	73.00'	31°08'28"	39.19'	N 26°32'01" W
C8	14.23'	73.00'	11°09'58"	14.20'	N 05°22'48" W
C9	115.19'	73.00'	90°24'42"	103.61'	N 45°00'10" W
C10	78.90'	50.00'	90°24'42"	70.96'	N 45°00'10" W
C11	42.61'	27.00'	90°24'42"	38.32'	N 45°00'10" W
C12	9.27'	27.00'	19°40'17"	9.22'	N 09°37'57" W
C13	33.34'	27.00'	70°44'26"	31.26'	N 54°50'19" W
C14	23.03'	71.00'	18°34'59"	22.93'	N 09°29'40" E
C15	25.38'	71.00'	20°28'52"	25.24'	N 29°01'36" E
C16	31.45'	71.00'	25°22'49"	31.19'	N 51°57'26" E
C17	22.38'	71.00'	18°03'46"	22.29'	N 73°40'43" E
C18	27.27'	71.00'	22°00'13"	27.10'	S 86°17'18" E
C19	6.22'	71.00'	5°01'08"	6.22'	S 72°46'37" E
C20	135.73'	71.00'	109°31'46"	115.98'	N 54°58'04" E
C21	91.76'	48.00'	109°31'46"	78.41'	N 54°58'04" E
C22	47.79'	25.00'	109°31'46"	40.84'	N 54°58'04" E
C23	23.56'	15.00'	90°00'00"	21.21'	S 64°43'57" W
C24	23.56'	15.00'	90°00'00"	21.21'	S 25°16'03" E
C25	23.56'	15.00'	90°00'00"	21.21'	N 64°43'57" W
C26	23.56'	15.00'	90°00'00"	21.21'	N 25°16'03" W
C27	21.43'	73.00'	16°48'58"	21.35'	S 61°51'34" E
C28	15.68'	73.00'	12°18'14"	15.65'	S 47°17'58" E
C29	20.65'	73.00'	16°12'24"	20.58'	S 33°02'40" E
C30	27.76'	73.00'	21°47'23"	27.60'	S 14°02'46" E
C31	4.31'	73.00'	3°22'46"	4.30'	S 01°27'42" E
C32	89.82'	73.00'	70°29'44"	84.26'	S 35°01'11" E
C33	61.52'	50.00'	70°29'44"	57.71'	S 35°01'11" E
C34	17.07'	27.00'	36°13'57"	16.79'	S 52°09'05" E
C35	16.15'	27.00'	34°15'47"	15.91'	S 16°54'13" E
C36	33.22'	27.00'	70°29'44"	31.16'	S 35°01'11" E
C37	6.09'	73.00'	4°46'52"	6.09'	S 02°37'07" W
C38	16.59'	73.00'	13°01'05"	16.55'	S 11°31'05" W
C39	21.92'	73.00'	17°12'03"	21.83'	S 26°37'39" W
C40	30.54'	50.00'	35°00'00"	30.07'	S 17°43'41" W
C41	16.49'	27.00'	35°00'00"	16.24'	S 17°43'41" W
C42	44.59'	73.00'	35°00'00"	43.90'	S 17°43'41" W
C43	27.75'	73.00'	21°46'43"	27.58'	S 46°07'03" W
C44	15.58'	73.00'	12°13'38"	15.55'	S 63°07'13" W
C45	21.34'	73.00'	16°44'55"	21.26'	S 77°36'30" W
C46	4.83'	73.00'	3°47'25"	4.83'	S 87°52'40" W
C47	47.62'	50.00'	54°33'48"	45.84'	S 62°30'35" W
C48	7.67'	27.00'	16°16'04"	7.64'	S 43°21'43" W
C49	18.05'	27.00'	38°17'43"	17.71'	S 70°38'37" W
C50	69.50'	73.00'	54°32'41"	66.90'	S 62°30'02" W
C51	25.71'	27.00'	54°33'48"	24.75'	S 62°30'35" W

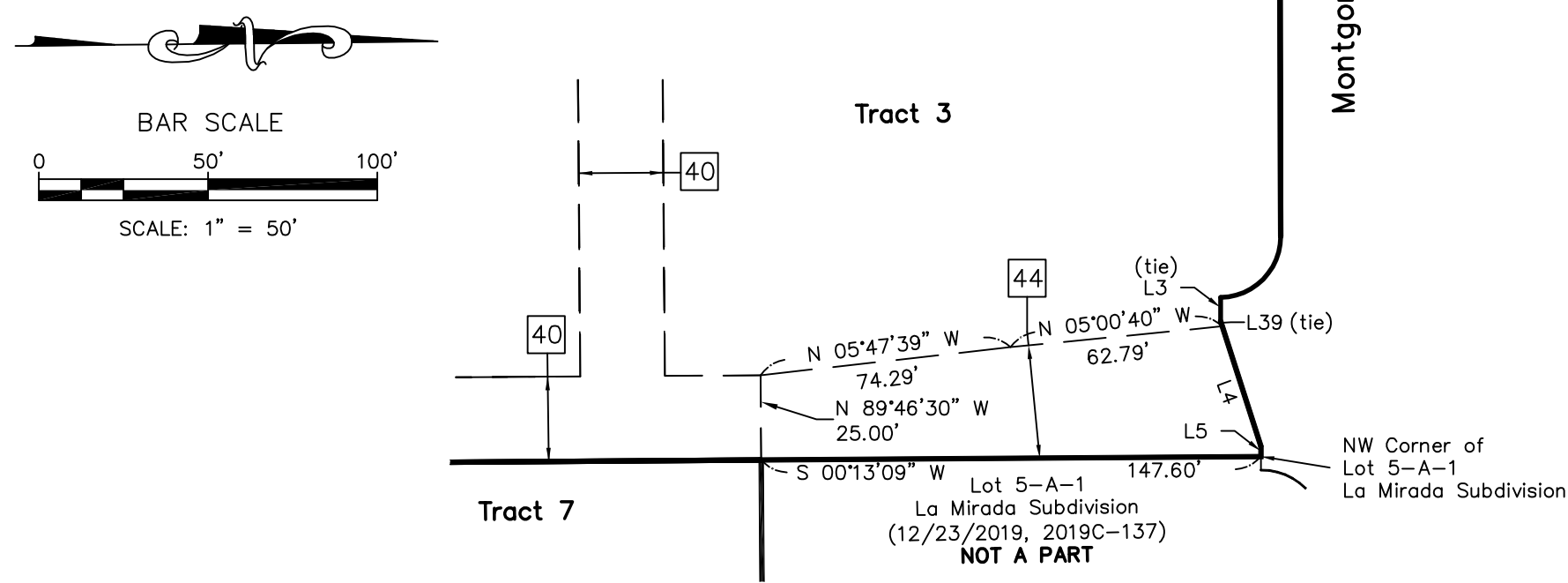
SEE SHEET 3

SEE SHEET 3

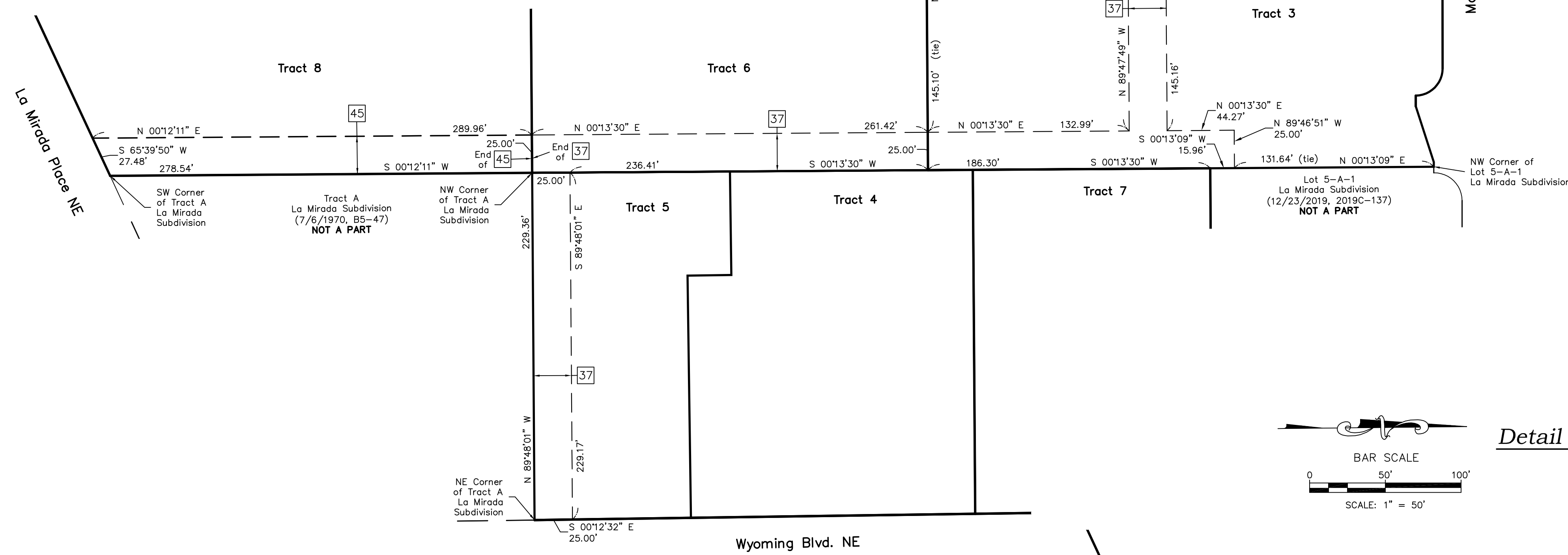
SEE SHEET 3

**Preliminary Plat for
Wymont Subdivision
Being Comprised of
Lot 1-A-1, La Mirada Subdivision
City of Albuquerque
Bernalillo County, New Mexico
August 2021**

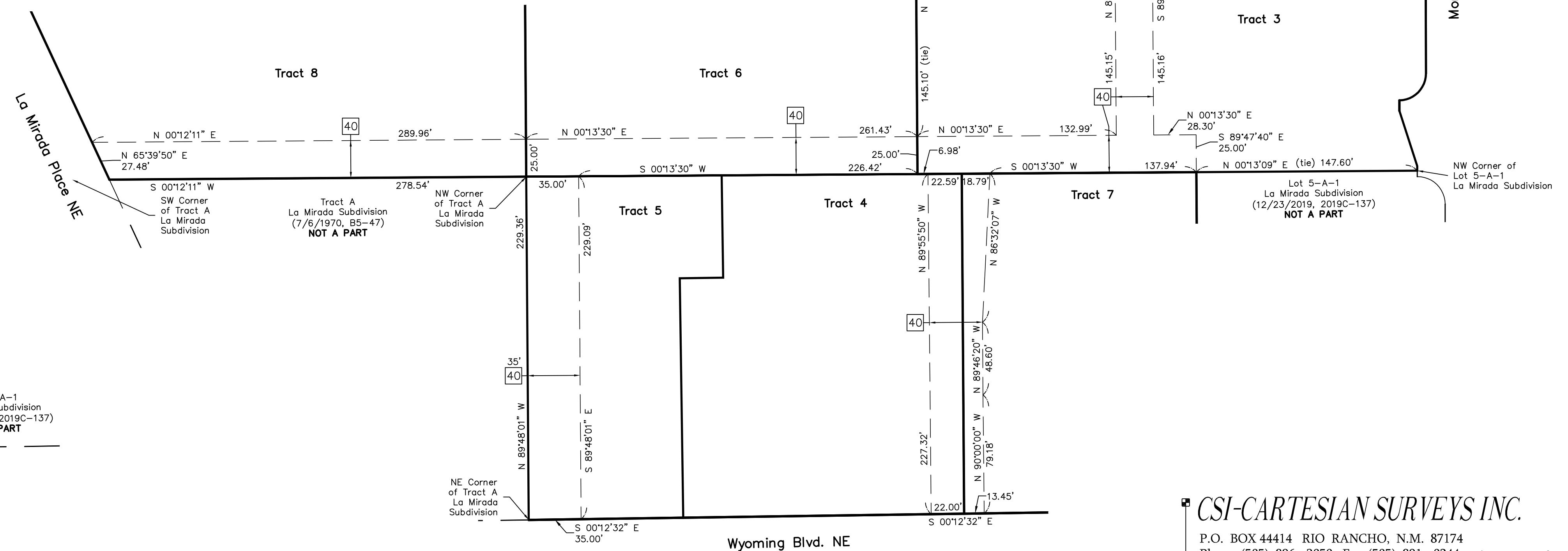
Detail of Private Driveway Easement [44]



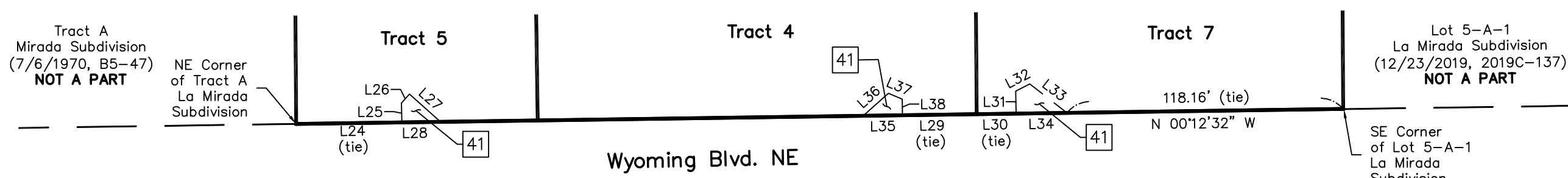
Detail of Utility Easements [36][37] AND [45]



Detail of Access Easement [40]

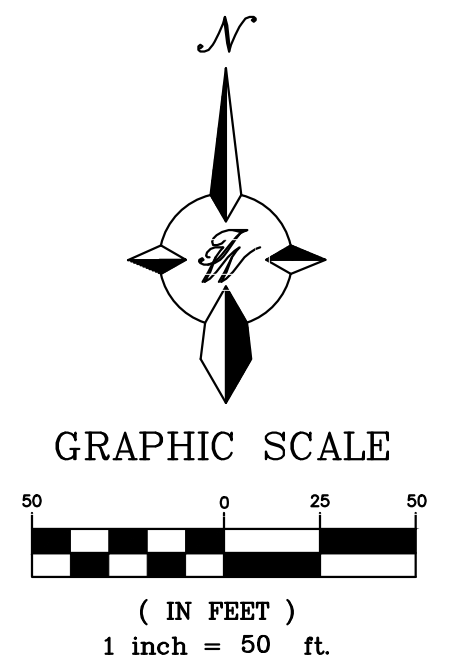
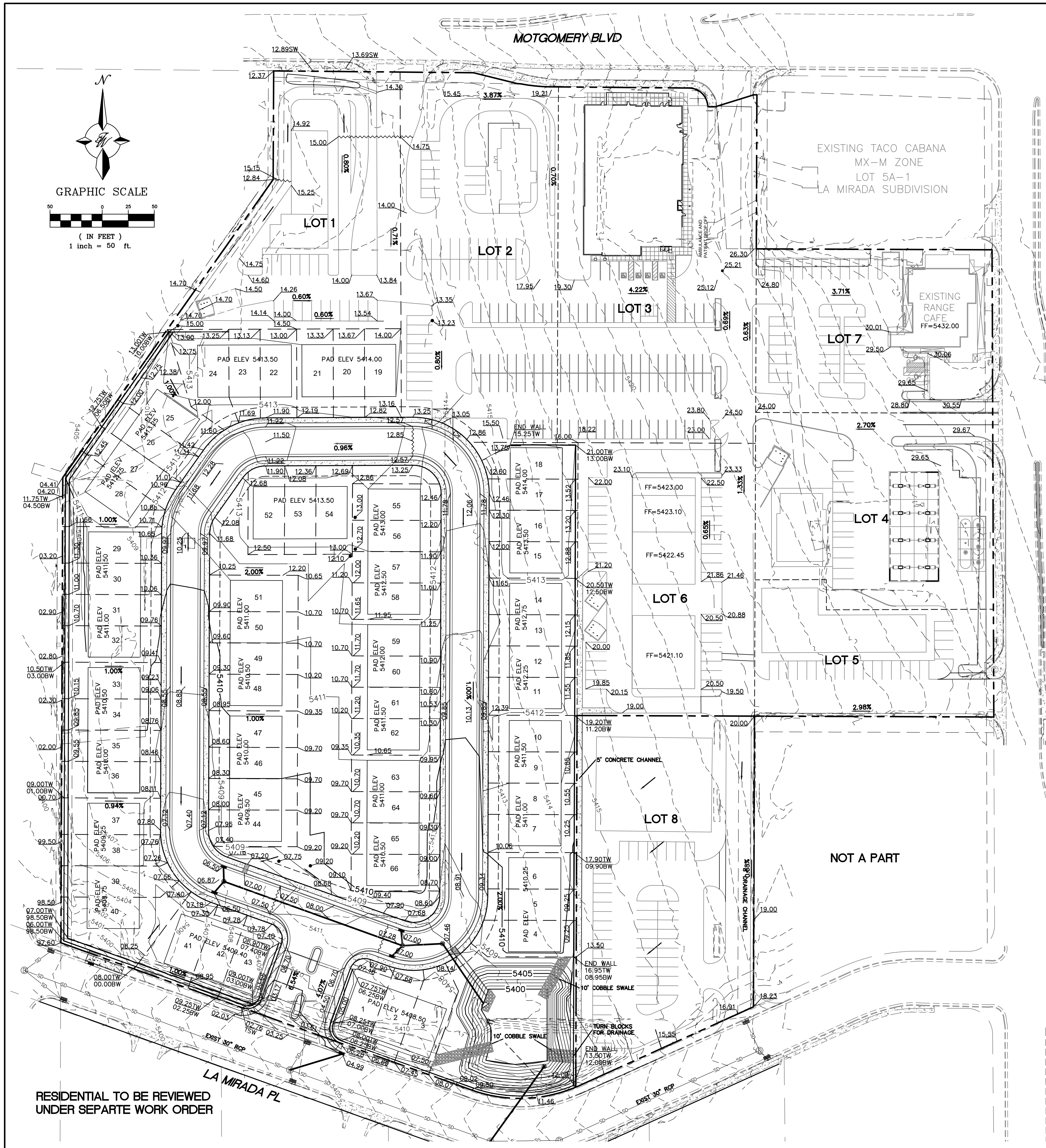


Detail of Public Sidewalk Easement [41]



Line #	Direction	Length (ft)
L3	S 89°19'08" E	6.99'
L4	N 72°42'55" E	38.82'
L5	S 89°41'44" E	3.01'
L6	S 89°43'59" W	10.91'
L24	N 00°13'40" W	45.24'
L25	N 89°47'28" E	8.30'
L26	S 47°40'48" E	5.07'
L27	S 42°19'12" W	17.80'
L28	N 00°12'32" W	16.54'
L29	S 00°12'32" E	31.73'
L30	S 00°12'32" E	16.85'
L31	N 89°47'28" E	9.56'
L32	S 26°44'28" E	6.71'
L33	S 38°24'31" W	20.12'
L34	N 00°12'32" W	21.73'
L35	N 00°12'32" W	16.75'
L36	S 41°20'27" E	14.41'
L37	S 23°33'58" W	6.44'
L38	S 89°47'28" W	6.88'
L39	S 72°42'55" W	1.60'

Curve #	Length	Radius	Delta	Chord Length	Chord Direction
C52	22.56'	73.00'	17°42'26"	22.47'	N 50°57'28" W
C53	38.73'	73.00'	30°23'50"	38.28'	N 75°00'36" W
C54	28.00'	73.00'	21°58'48"	27.83'	N 63°43'14" W
C55	13.54'	73.00'	10°37'35"	13.52'	S 47°25'03" E
C56	19.75'	73.00'	15°29'53"	19.69'	N 82°27'35" W



- LEGEND**
- CURB & GUTTER
 - - - BOUNDARY LINE
 - ▭ BUILDING
 - - - PROPERTY LINE
 - - - EXISTING CURB & GUTTER
 - PROPOSED HYDRANT
 - NEW SD MH
 - ▭ NEW CUR INLET TYPE 'C'
 - EXISTING SAS MH
 - EXISTING GATE VALVE
 - - - EXISTING WATERLINE
 - - - EXISTING SAS
 - ▭ RETAINING WALL
 - ▭ WATER BLOCK

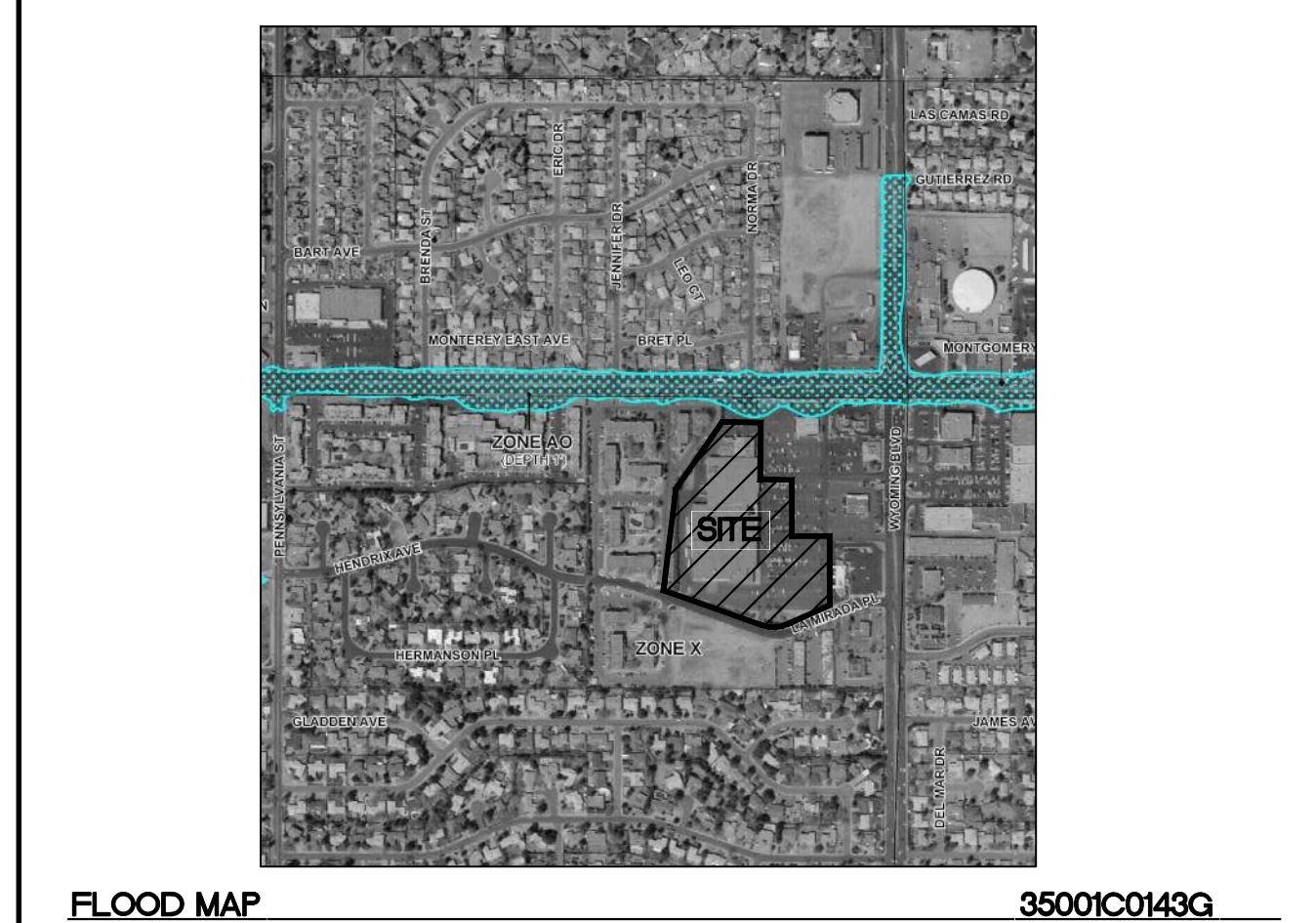
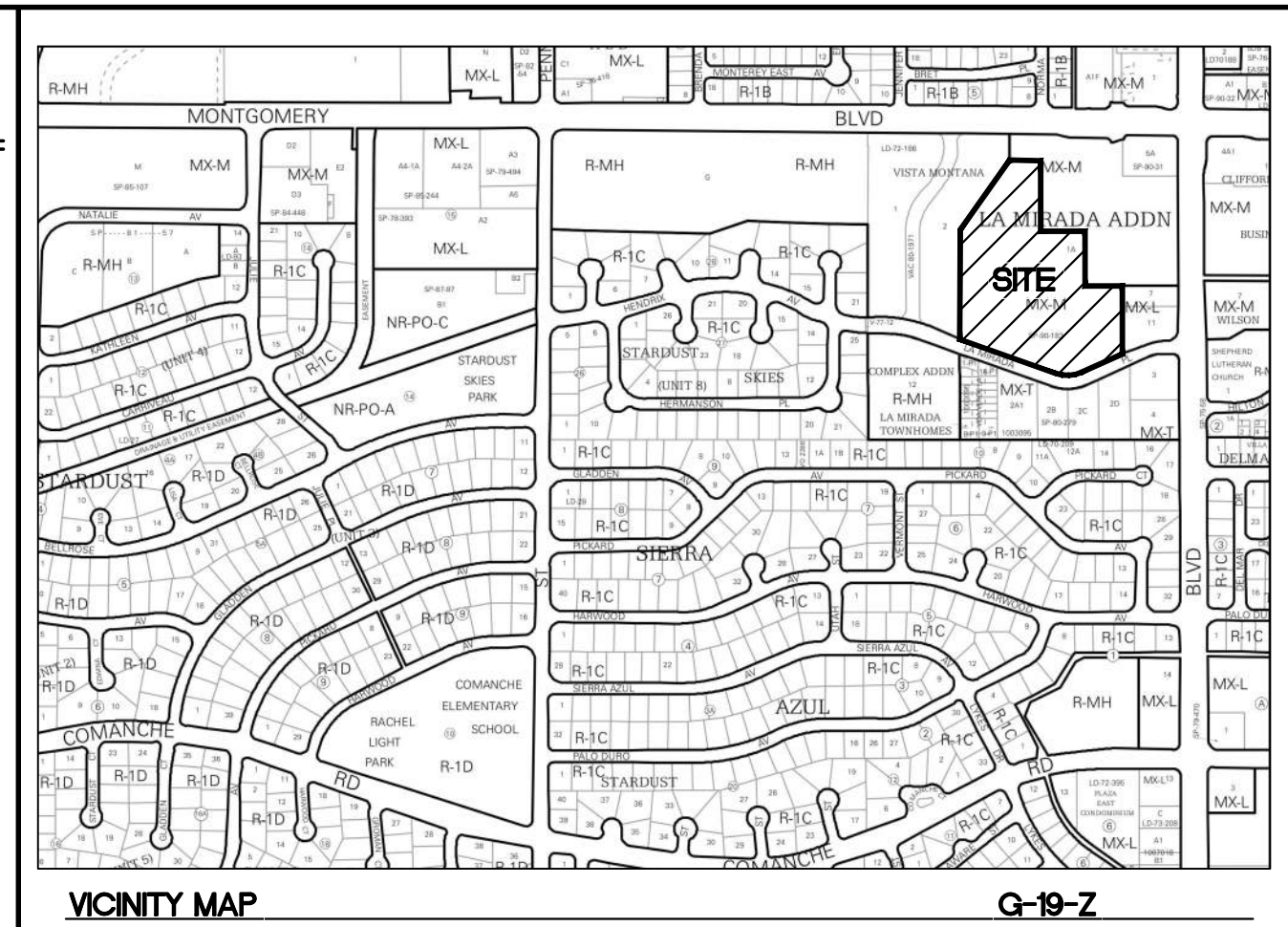
- NOTICE TO CONTRACTORS**
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
 2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HERON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
 3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 785-1234, FOR LOCATION OF EXISTING UTILITIES.
 4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
 5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
 6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
 7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

- EROSION CONTROL NOTES:**
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
 2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
 3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
 4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
 5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.
 6. ALL SLOPES NOT STABILIZED AT THE END OF THE PROJECT SHALL BE STABILIZED IN ACCORDANCE WITH COA SPECS OR 3" GRAVEL.

NOTE - ADD 5400 TO ALL ELEVATIONS

NOT FOR CONSTRUCTION

CAUTION
ALL EXISTING UTILITIES WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS. PRIOR TO STARTING THE WORK, ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



Channel Capacity

Weir Equation:
 $Q = CLH^{3/2}$

Q = Flow
C = 2.95
L = Length of weir
H = Height of Weir

Off Site Curb Opening
 $Q = 2.95 * 20 * 0.50^{3/2}$
 $Q = 20.86 \text{ cfs} < Q = 13.39 \text{ cfs}$

Pond Concrete Channel
 $Q = 2.95 * 6 * 0.50^{3/2}$
 $Q = 6.26 \text{ cfs}$

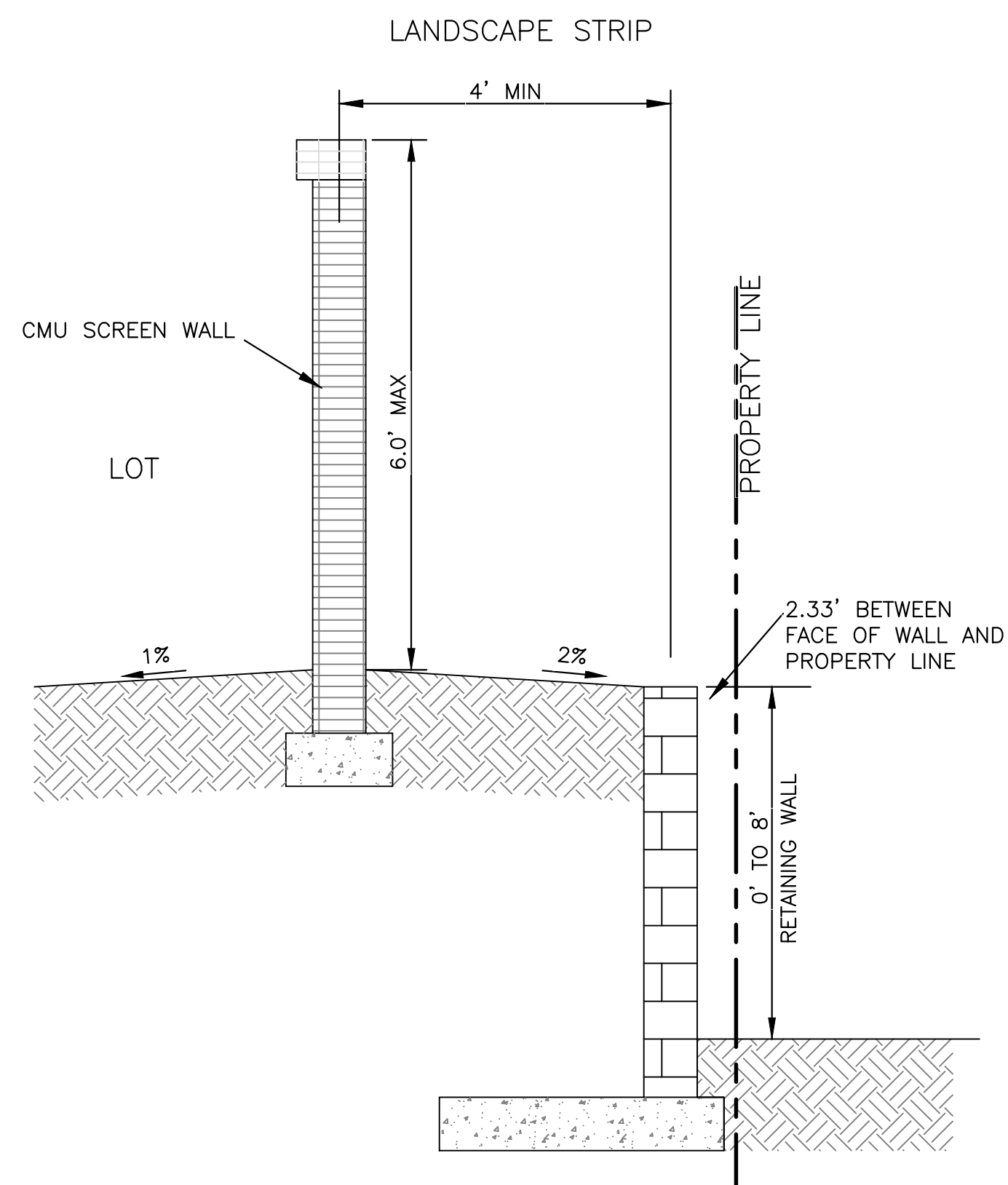
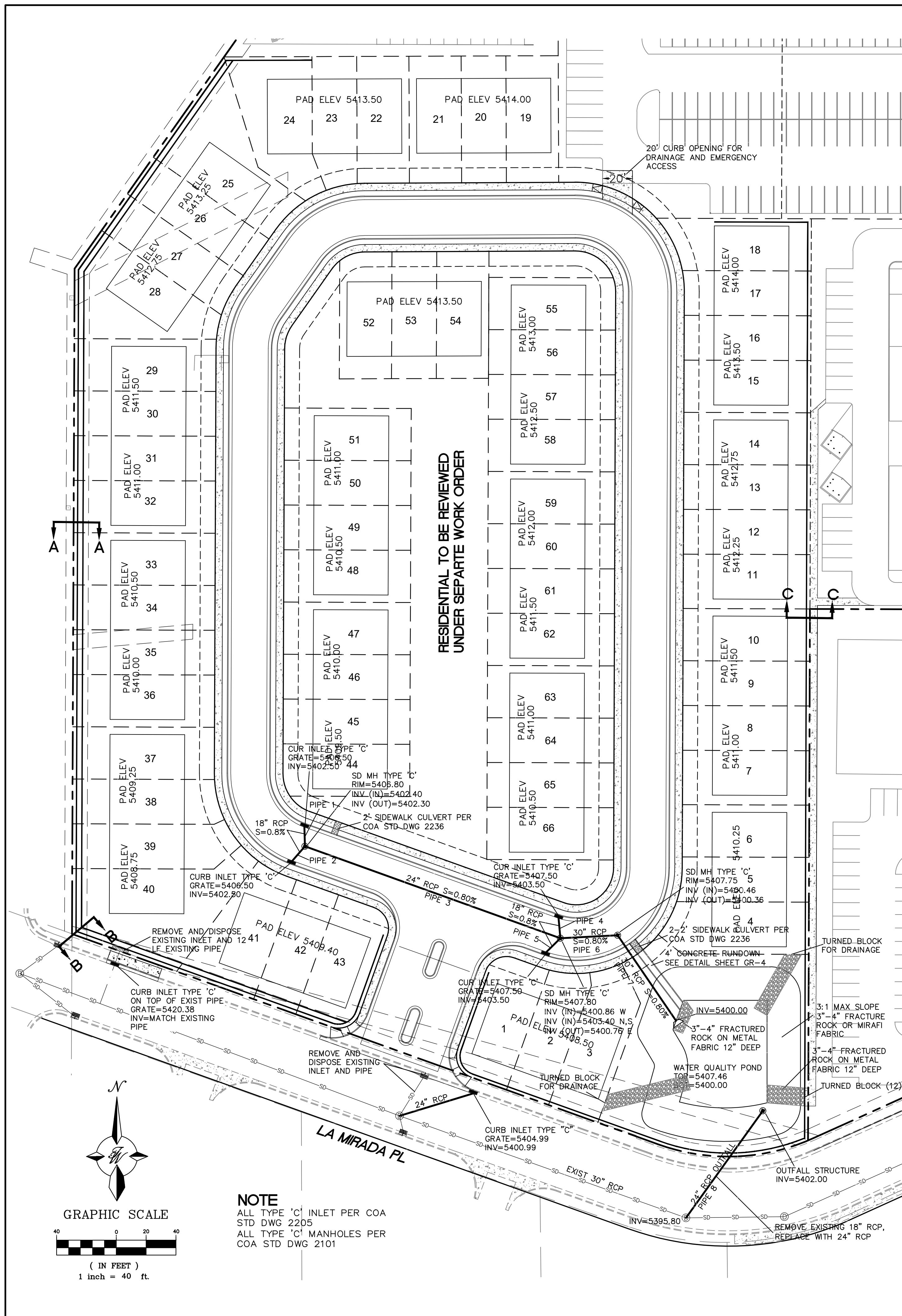
Park Curb Opening
 $Q = 2.95 * 2 * 0.50^{3/2}$
 $Q = 2.09 \text{ cfs} < Q = 1.55 \text{ cfs}$

Detention Pond Opening
 $Q = 2.95 * 14 * 0.67^{3/2}$
 $Q = 22.66 \text{ cfs} < Q = 22.66 \text{ cfs}$

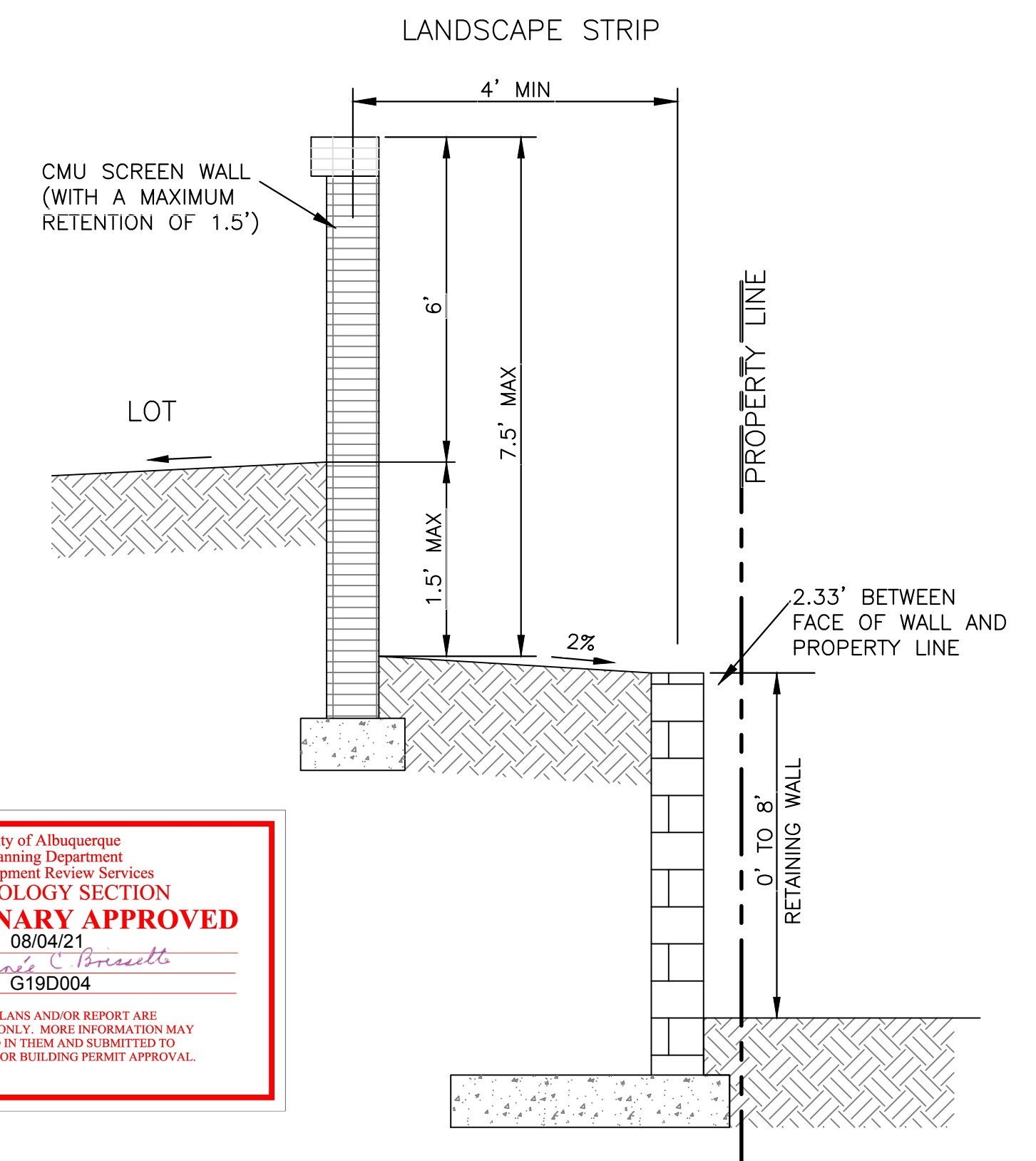
City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
PRELIMINARY APPROVED
DATE: 08/04/21
BY: *Renee C. Brantley*
HydroTrans # G19D004

THESE PLANS AND/OR REPORT ARE CONFIDENTIAL. NO REPRODUCTION OR DISSEMINATION OF THESE PLANS SHALL BE MADE WITHOUT THE WRITTEN CONSENT OF TIERRA WEST, LLC.

NOT FOR CONSTRUCTION	ENGINEER'S SEAL	THE WYMONT ALBUQUERQUE, NM	DRAWN BY pm
	RONALD R. BOHANNAN P.E. #7868	CONCEPTUAL GRADING AND DRAINAGE PLAN	DATE 8-4-21
		TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	DRAWING
			SHEET # GR-1
			JOB # 2021008



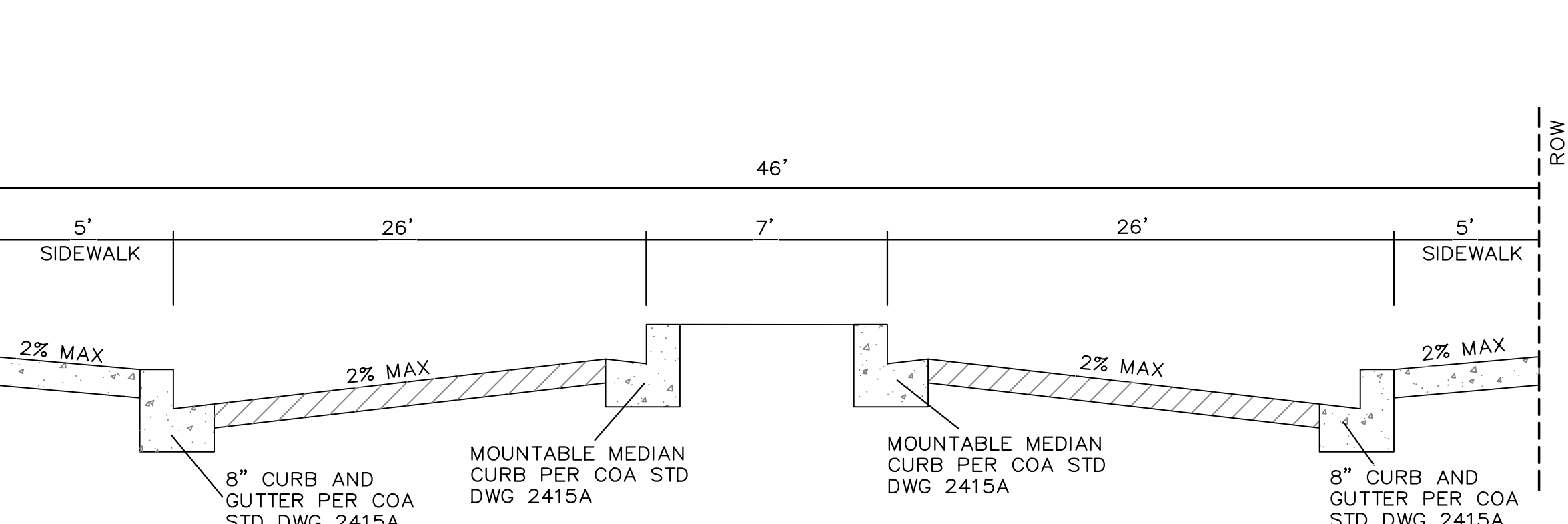
SECTION A-A
NTS



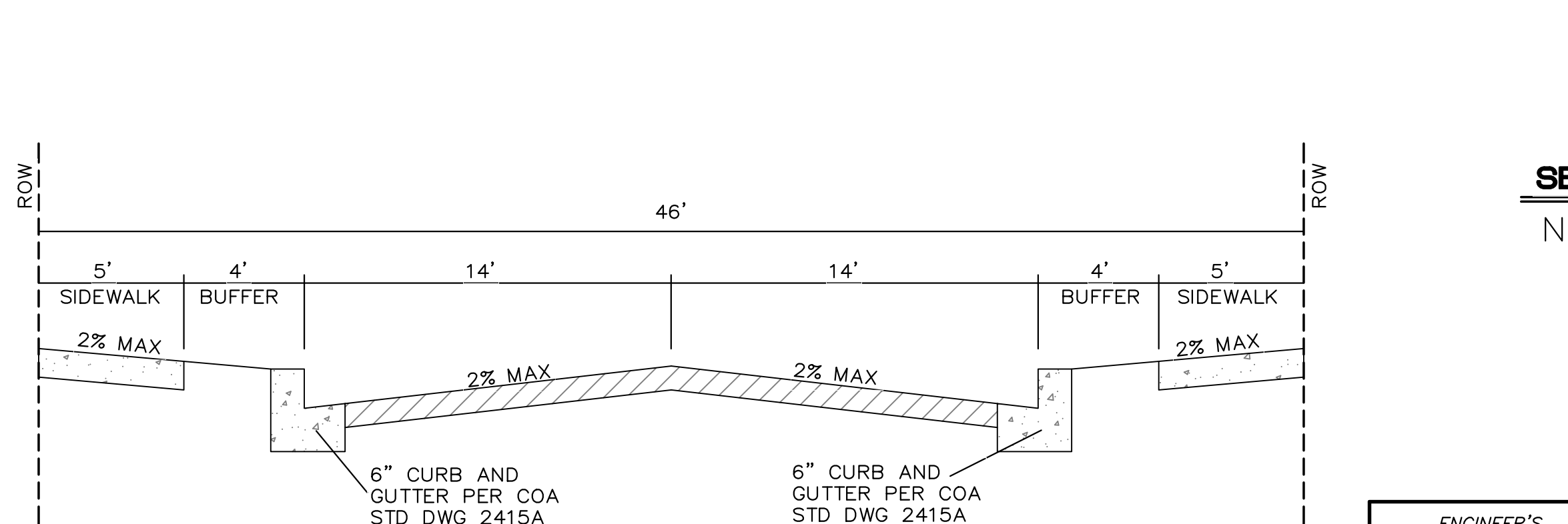
SECTION B-B
NTS

City of Albuquerque
 Planning Department
 Development Review Services
HYDROLOGY SECTION
PRELIMINARY APPROVED
 DATE: 08/04/21
 BY: *Ronald R. Bohannan*
 HydroTrans # G19D004

THESE PLANS AND/OR REPORT ARE CONCEPTUAL ONLY. MORE INFORMATION MAY BE NEEDED IN THEM AND SUBMITTED TO HYDROLOGY FOR BUILDING PERMIT APPROVAL.

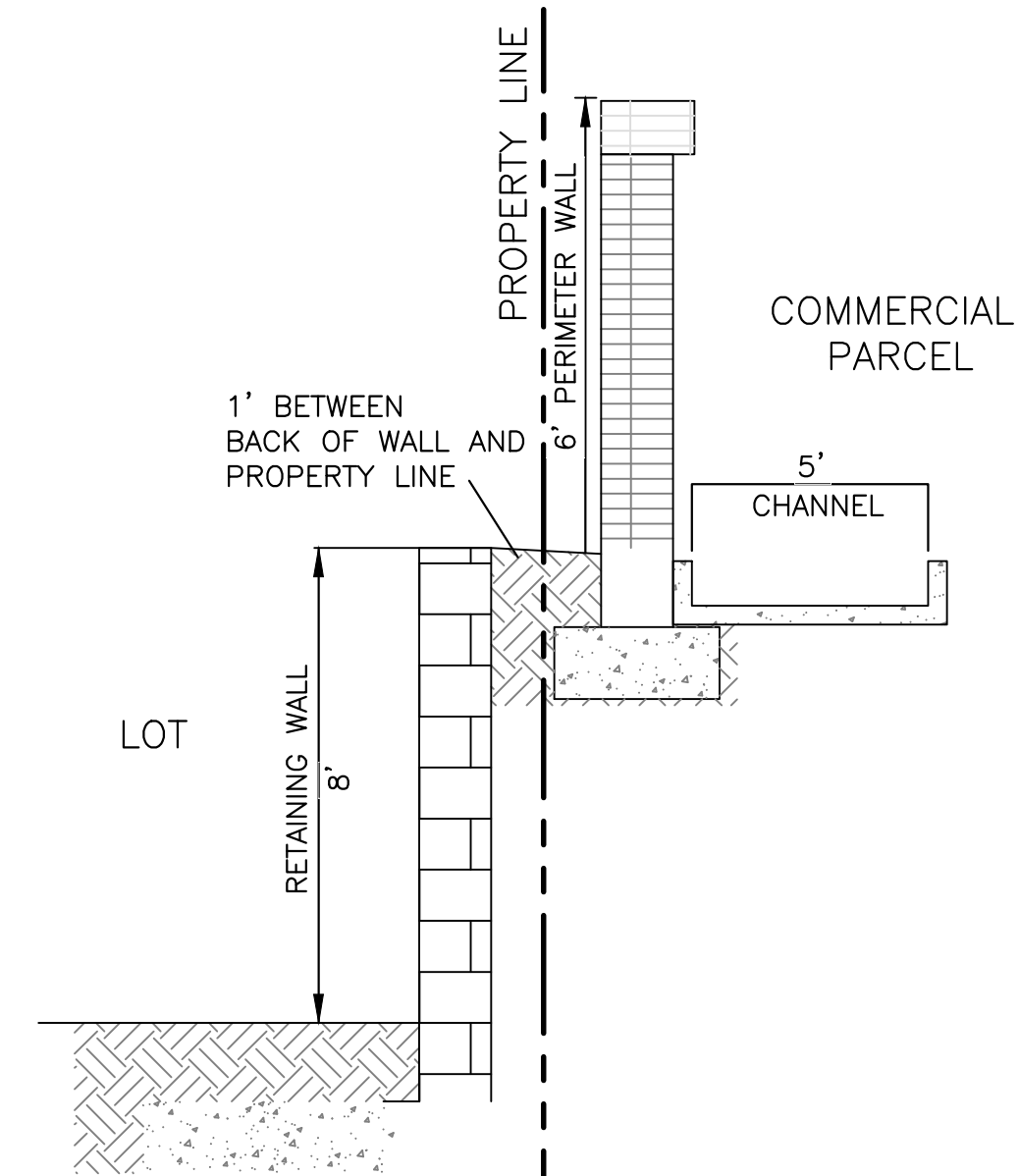


TYPICAL ENTRANCE ROAD SECTION



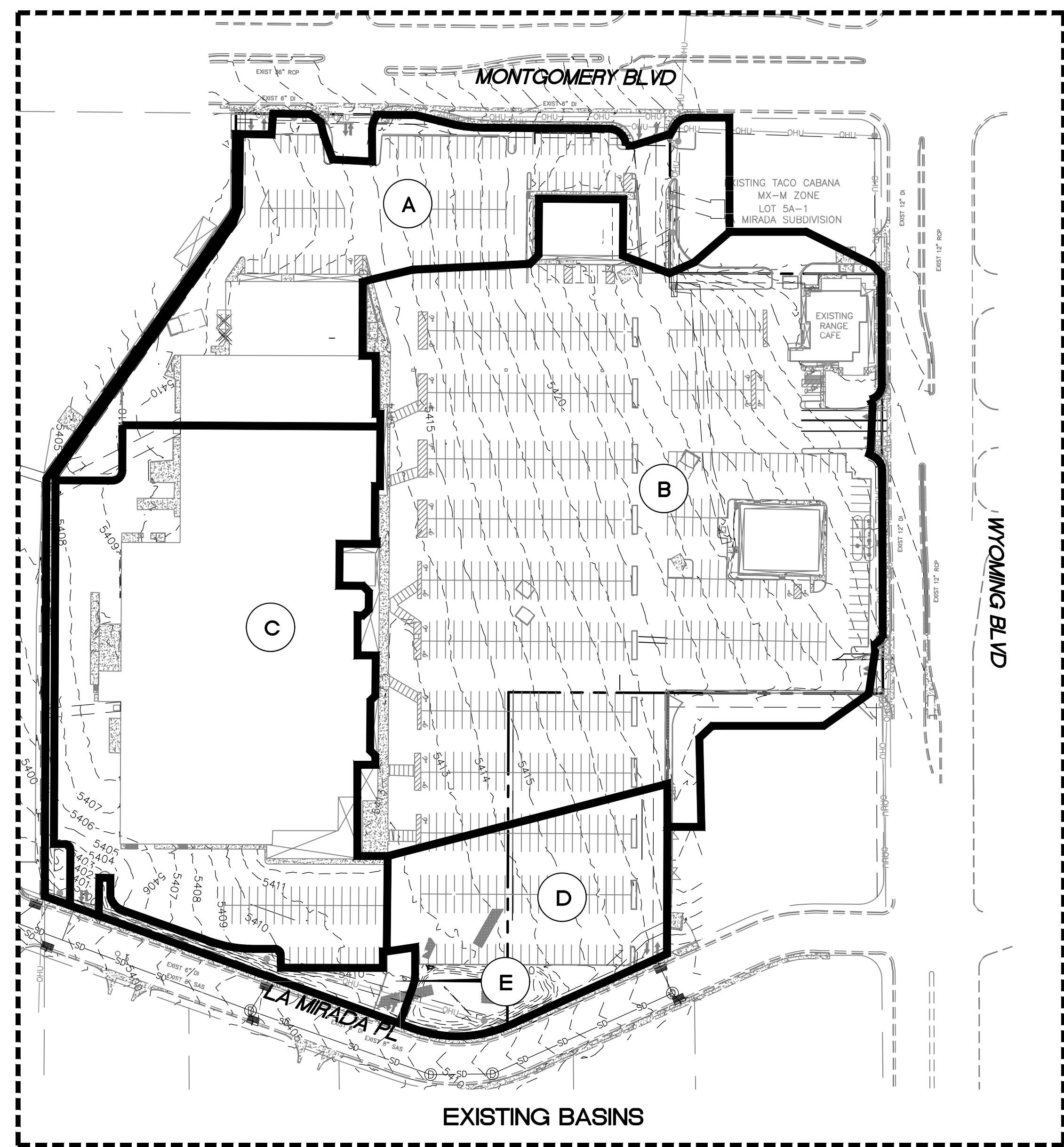
TYPICAL INTERIOR ROAD SECTION

NOT FOR CONSTRUCTION

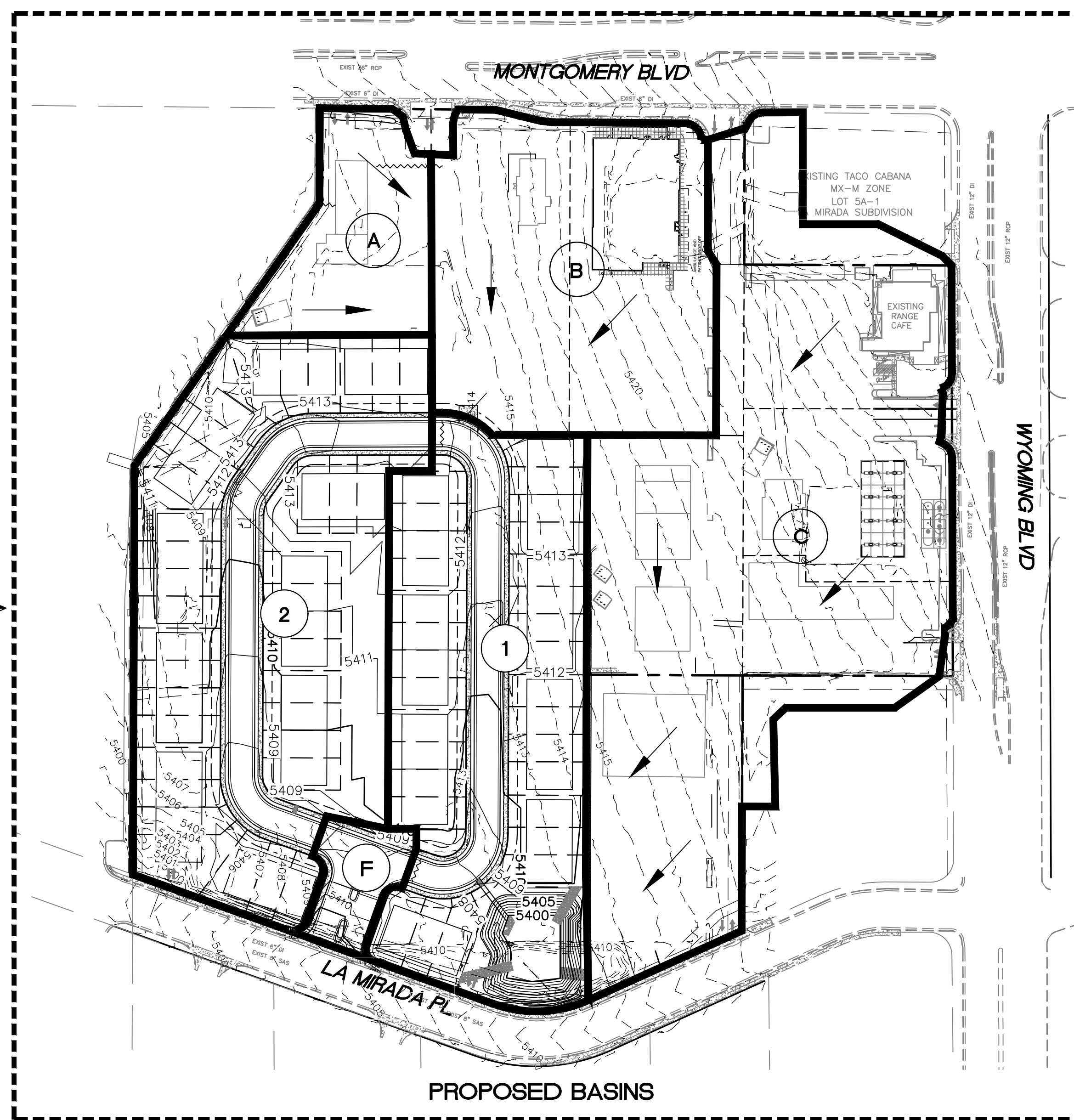


SECTION C-C
NTS

NOT FOR CONSTRUCTION	ENGINEER'S SEAL RONALD R. BOHANNAN P.E. #7868	THE WYMONT ALBUQUERQUE, NM CONCEPTUAL GRADING AND DRAINAGE PLAN	DRAWN BY pm DATE 8-4-21 DRAWING
	8-4-21	TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # GR-2
	JOB # 2021008		



EXISTING BASINS



PROPOSED BASINS

EXISTING DRAINAGE:

THIS SITE IS CURRENTLY VACANT SHOPPING CENTER AND IS LOCATED ON THE SOUTHWEST CORNER OF WYOMING BOULEVARD AND MONTGOMERY BOULEVARD. THE SITE IS BOUNDED BY ROADS ON THE NORTH, SOUTH AND EAST SIDE AND A MULTIFAMILY DEVELOPMENT ON THE WEST SIDE AND CONTAINS APPROXIMATELY 15.69 ACRES. THE SITE DRAINS FROM EAST TO WEST WITH MOST OF IT DRAINING ONTO AN EXISTING DETENTION POND. THE REMAINDER OF THE SITE DRAINS INTO AN EXISTING DROP INLET LOCATED AT THE SOUTHWEST ENTRANCE. ACCORDING TO AN APPROVED GRADING AND DRAINAGE PLAN (G-19/D4) COMPLETED BY JEFF MORTENSEN AND ASSOCIATES THE EXISTING POND MAY BE ELIMINATED AND ALL FLOW DISCHARGED TO THE EXISTING STORM SEWER IN HENDRIX AVENUE. THOSE IMPROVEMENTS WERE NEVER COMPLETED AND THE POND HAS REMAINED IN PLACE. BASED ON THE REVISED DRAINAGE VALUES IN THE CURRENT DPM THE TOTAL FLOW DISCHARGED FROM THIS SITE IS 68.15 CFS. THE SITE IS NOT LOCATED WITHIN A FLOOD PLAIN AS SHOWN ON THE FIRM MAP. THERE ARE NOT OFFSITE FLOWS THAT ENTER THE SITE.

PROPOSED DRAINAGE:

THE SITE IS BEING SUBDIVIDED INTO A COMMERCIAL CENTER AND A RESIDENTIAL NEIGHBORHOOD. EACH AREA IS DIVIDED INTO THREE BASINS. BASINS "A" AND "B" WILL DRAIN THROUGH THE RESIDENTIAL SUBDIVISION THROUGH AN EMERGENCY ACCESS LOCATED AT THE NORTHEAST CORNER OF THE RESIDENTIAL AREA. BASIN "C" WILL DRAIN TO A PROPOSED DRAINAGE CHANNEL LOCATED ON THE WEST SIDE OF THE RESIDENTIAL AREA. ALL FLOWS FROM THE COMMERCIAL CENTER WILL BE CONVEYED TO A WATER QUALITY POND LOCATED AT THE SOUTHEAST CORNER OF THE RESIDENTIAL AREA. TOTAL OFF-SITE FLOWS PASSING THROUGH THE RESIDENTIAL AREA IS 30.88 CFS. EACH OF THE COMMERCIAL PARCELS WILL BE REQUIRED TO SUBMIT A GRADING PLAN FOR BUILDING PERMIT THAT FOLLOWS THIS OVERALL DRAINAGE SCHEME.

THE RESIDENTIAL SUBDIVISION WILL ALSO DRAIN TO THE WATER QUALITY POND VIA SURFACE FLOWS AND VIA A STORM SEWER. A SMALL AREA, SHOWN AS BASIN 3 WILL DRAIN DIRECTLY TO HENDRIX AVENUE. DUE TO THE GRADES BETWEEN HENDRIX AVENUE AND THE SUBDIVISION THERE IS NO WAY TO CAPTURE THIS FLOW AND IT BASICALLY FOLLOWS THE SAME DRAINAGE PATTERN AS IT CURRENTLY DOES. THIS FLOW (1.16 CFS) IS CAPTURED IN EXISTING DROP INLETS IN HENDRIX AVENUE.

THE WATER QUALITY POND IS SIZED TO CONTAIN THE REQUIRED VOLUME FROM THE COMMERCIAL BASINS AS WELL AS THE RESIDENTIAL BASINS. BASED ON CURRENT REQUIREMENTS THE POND WILL RETAIN A VOLUME OF 0.28 AC-FT. AN OUTLET WILL BE PROVIDED IN THE POND AND CONNECTED TO THE EXISTING STORM SEWER IN HENDRIX AVENUE.

THE TOTAL FLOW DISCHARGED TO THE HENDRIX AVENUE STORM SEWER WILL BE 58.75 CFS WHICH IS 9.40 CFS LESS THAN WHAT IS CURRENTLY DISCHARGED TO THAT SYSTEM.

Weighted E Method

Existing Basins																
Basin	Area (sf)	Area (acres)	Treatment A		Treatment B		Treatment C		Treatment D		100-Year			10-Year		
			%	(acres)	%	(acres)	%	(acres)	%	(acres)	Weighted E (in)	Volume (ac-ft)	Flow cfs	Weighted E (in)	Volume (ac-ft)	Flow cfs
A	114,831	2.64	0%	0	7%	0.18	0%	0.00	93%	2.45	2.460	0.540	11.47	1.549	0.340	7.09
B	314,923	7.23	0%	0	5%	0.36	0%	0.00	95%	6.87	2.494	1.503	31.74	1.575	0.949	19.69
C	178,480	4.10	0%	0	0%	0.00	0%	0.00	100%	4.10	2.580	0.881	18.40	1.640	0.560	11.51
D	57,852	1.33	0%	0	21%	0.28	0%	0.00	79%	1.05	2.219	0.246	5.41	1.367	0.151	3.25
E	9,747	0.22	0%	0	0%	0.00	100%	0.22	0%	0.00	1.090	0.020	0.71	0.520	0.010	0.38
F	7,497	0.17	0%	0	100%	0.17	0%	0.00	0%	0.00	0.860	0.012	0.43	0.340	0.005	0.18
		15.69									3.202	68.15				

Proposed Basins																
Basin	Area (sf)	Area (acres)	Treatment A		Treatment B		Treatment C		Treatment D		100-Year			10-Year		
			%	(acres)	%	(acres)	%	(acres)	%	(acres)	Weighted E (in)	Volume (ac-ft)	Flow cfs	Weighted E (in)	Volume (ac-ft)	Flow cfs
OF-1	36,043	0.83	0%	0	15%	0.12	0%	0.00	85%	0.70	2.322	0.160	3.47	1.445	0.100	2.11
OF-2	103,118	2.37	0%	0	15%	0.36	0%	0.00	85%	2.01	2.322	0.458	9.92	1.445	0.285	6.03
OF-3	235,576	5.41	0%	0	15%	0.81	0%	0.00	85%	4.60	2.322	1.046	22.66	1.445	0.651	13.79
1	124,083	2.85	0%	0	60%	1.71	0%	0.00	40%	1.14	1.548	0.367	9.37	0.860	0.204	5.03
2	172,427	3.96	0%	0	57%	2.26	0%	0.00	43%	1.70	1.600	0.528	13.26	0.899	0.297	7.20
Park	27,059	0.62	0%	0	100%	0.62	0%	0.00	0%	0.00	0.860	0.045	1.55	0.340	0.018	0.66
3	11,833	0.27	0%	0	10%	0.03	0%	0.00	90%	0.24	2.408	0.055	1.17	1.510	0.034	0.72
		15.68									10.40	2.614	59.84			

Equations:

Weighted E = $E_a \cdot A_a + E_b \cdot A_b + E_c \cdot A_c + E_d \cdot A_d$ / (Total Area)

Volume = Weighted E * Total Area

Flow = $Q_a \cdot A_a + Q_b \cdot A_b + Q_c \cdot A_c + Q_d \cdot A_d$

Water Quality Calculation: $0.26'' \times 10.40 \text{ ac} = 9,816 \text{ cubic feet (0.225 ac-ft)}$

Excess Precipitation, E (inches)			Peak Discharge (cfs/acre)		
Zone 3	100-Year	10-Year	Zone 3	100-Year	10-Year
E_a	0.67	0.18	Q_a	1.84	0.51
E_b	0.86	0.34	Q_b	2.49	1.07
E_c	1.09	0.52	Q_c	3.17	1.69
E_d	2.58	1.64	Q_d	4.49	2.81

Pipe Capacity

Pipe	D (in)	Slope (%)	Area (ft ²)	R	Q Provided (cfs)	Q Required (cfs)	Velocity (ft/s)
1	18	0.80	1.77	0.375	9.42	6.63	3.75
2	18	0.80	1.77	0.375	9.42	6.63	3.75
3	24	0.80	3.14	0.500	20.29	13.26	4.22
4	18	0.80	1.77	0.375	9.42	8.25	4.67
5	18	0.80	1.77	0.375	9.42	8.25	4.67
6	30	0.80	4.91	0.625	36.79	29.76	6.06
7	30	0.70	4.91	0.625	34.41	29.76	6.06
8	24	7.00	3.14	0.500	60.01	59.85	19.05

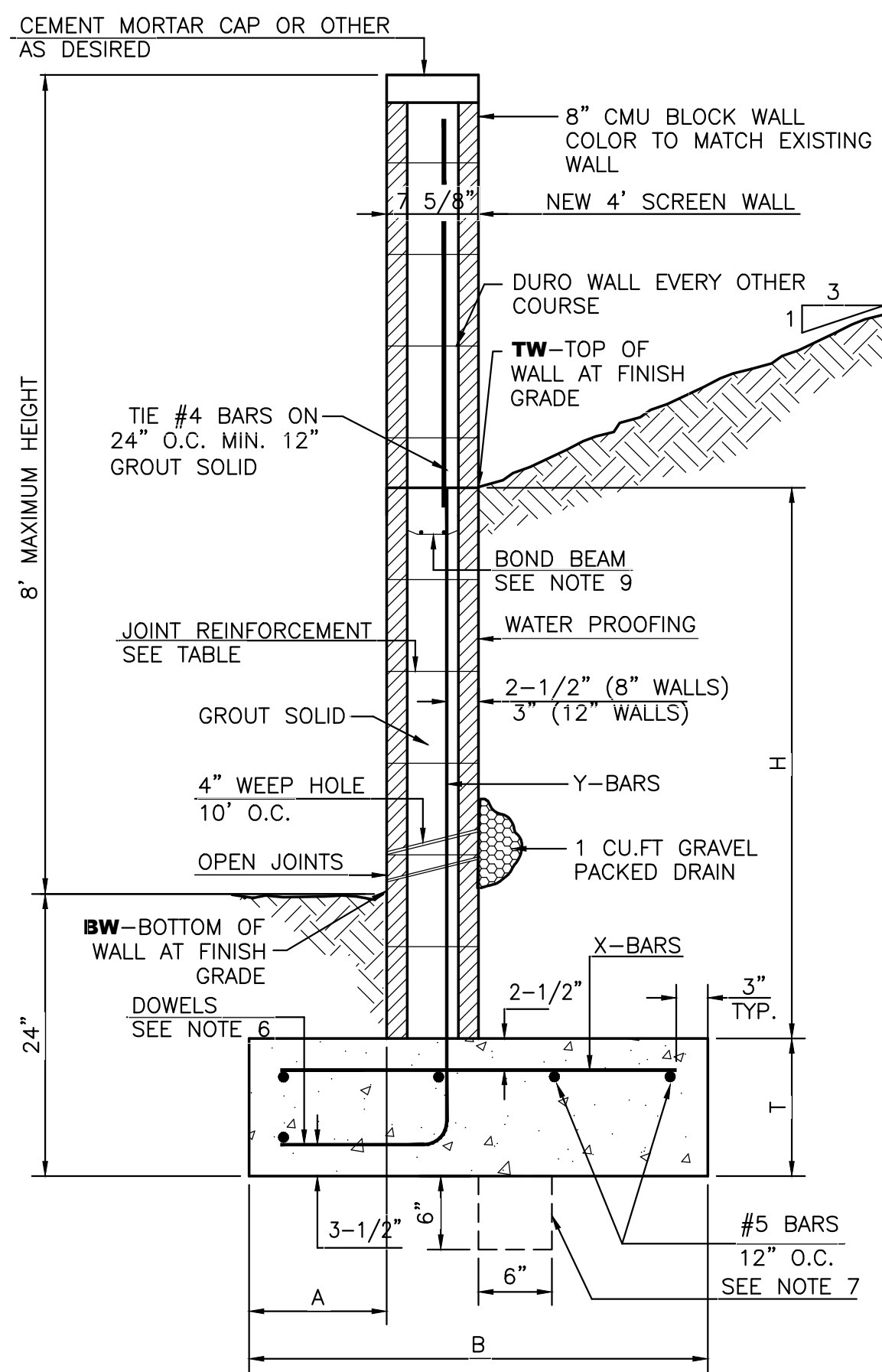
Manning's Equation:
 $Q = 1.49/n \cdot A \cdot R^{2/3} \cdot S^{1/2}$

- A = Area
- R = D/4
- S = Slope
- n = 0.013



NOT FOR CONSTRUCTION

ENGINEER'S SEAL NOT FOR CONSTRUCTION RONALD R. BOHANNAN P.E. #7868	THE WYMONT ALBUQUERQUE, NM CONCEPTUAL GRADING AND DRAINAGE PLAN	DRAWN BY pm DATE 8-4-21 DRAWING
	SHEET # GR-3	JOB # 2021008



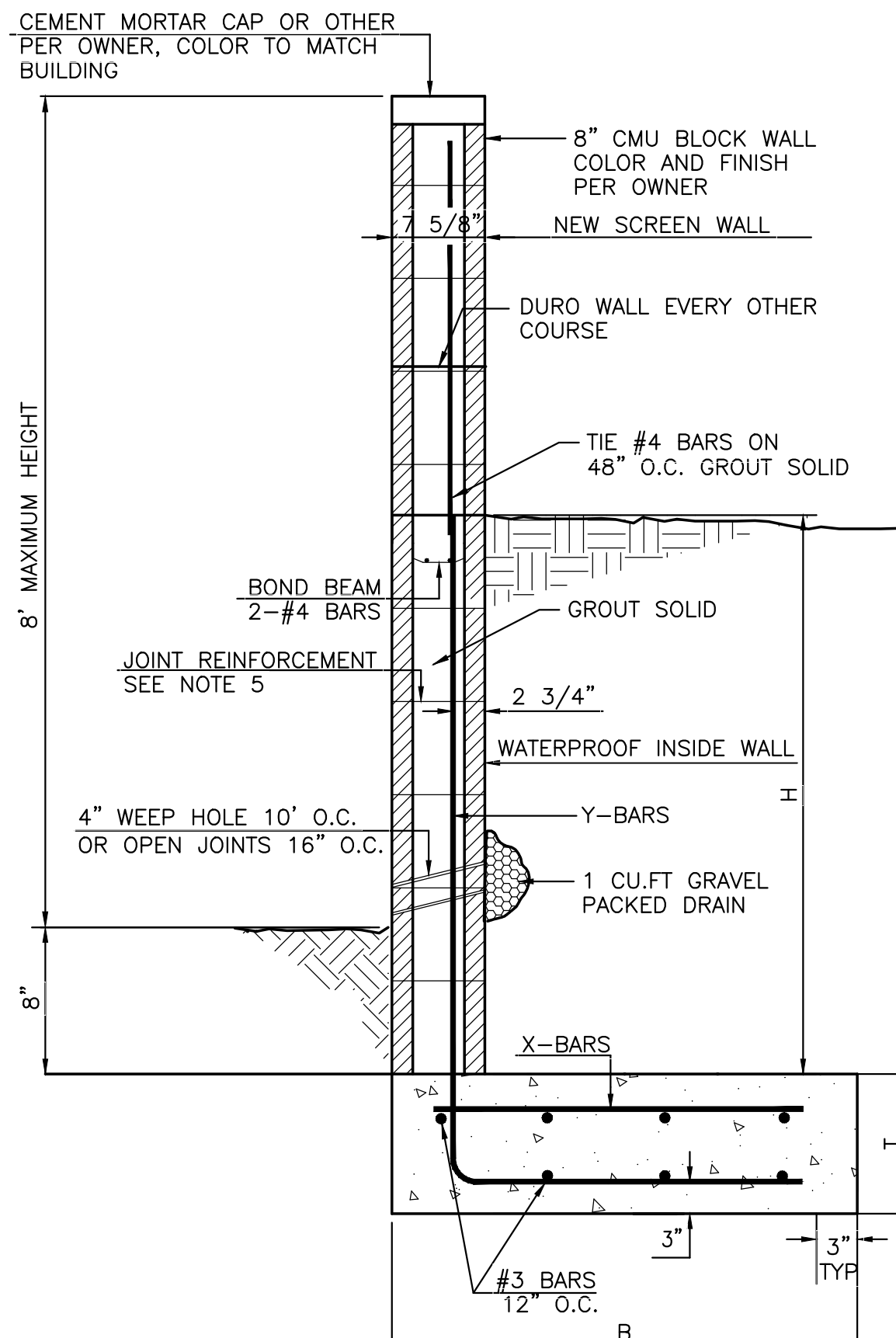
8 INCH REINFORCED CONCRETE MASONRY WALL

H	A	B	T	Y-BARS	X-BARS
ft.-in.	in.	ft.-in.	in.		
2'-0"	8"	2'-0"	9"	#4 @32" O.C.	#4 @24" O.C.
2'-8"	8"	2'-0"	9"	#4 @32" O.C.	#4 @24" O.C.
3'-4"	8"	2'-4"	9"	#4 @32" O.C.	#4 @24" O.C.
4'-0"	10"	2'-8"	9"	#4 @32" O.C.	#4 @24" O.C.
4'-8"	12"	3'-4"	10"	#5 @32" O.C.	#4 @18" O.C.
5'-4"	14"	3'-10"	10"	#6 @16" O.C.	#4 @18" O.C.
6'-0"	16"	4'-8"	12"	#6 @8" O.C.	#4 @12" O.C.

12 INCH REINFORCED CONCRETE MASONRY WALL

H	A	B	T	Y-BARS	X-BARS
ft.-in.	in.	ft.-in.	in.		
5'-4"	14"	3'-8"	10"	#6 @18" O.C.	#4 @24" O.C.
6'-0"	15"	4'-2"	12"	#4 @16" O.C.	#4 @18" O.C.
6'-8"	16"	4'-6"	12"	#6 @24" O.C.	#5 @18" O.C.
7'-4"	18"	4'-10"	12"	#6 @16" O.C.	#5 @18" O.C.
8'-0"	20"	5'-4"	12"	#7 @18" O.C.	#6 @12" O.C.
8'-8"	20"	5'-8"	12"	#7 @16" O.C.	#6 @12" O.C.

- GENERAL NOTES:**
- ALL CONCRETE IS TO BE 4000 PSI @ 28 DAYS.
 - MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
 - BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
 - ALL BARS ARE TO BE GRADE 60, ASTM 615.
 - TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
 - DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO Y-BARS, SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
 - PROVIDE KEY FOR 8" AND 12" WALLS WHERE H EXCEEDS 6'-0"
 - USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 16'.
 - BOND BEAM, 1-#4 BARS FOR WALLS UNDER 3'-4", 2-#4 BARS FOR WALLS UNDER 5'-4", 2-#5 BARS FOR WALLS OVER 5'-4".



'L' FOOTING RETAINING WALL DETAIL
NTS

Street Capacity Calculations

28' F-F Street Section with 6" curb
Slope= 0.01

For water depths less than 0.125 feet
 $Y =$ Water depth
 $Area = 8 \cdot Y^2$
 $P = \sqrt{257 \cdot Y^2} + Y$
 $n = 0.017$

Depth (ft)	Area (ft ²)	P (ft)	R (A/P)	Q (cfs)	2Q (cfs)	Vel (ft/s)	D ^v	Fr	D2 (ft)
0.01	0.00	0.17	0.00	0.00	0.00	0.25	0.00	0.43	0.00
0.02	0.00	0.34	0.01	0.00	0.00	0.39	0.01	0.48	0.01
0.04	0.01	0.68	0.02	0.01	0.02	0.62	0.02	0.54	0.02
0.06	0.03	1.02	0.03	0.02	0.05	0.81	0.05	0.58	0.03
0.08	0.05	1.36	0.04	0.05	0.10	0.98	0.08	0.61	0.04
0.10	0.08	1.70	0.05	0.09	0.18	1.14	0.11	0.63	0.05
0.12	0.12	2.04	0.06	0.15	0.30	1.29	0.15	0.65	0.07
0.13	0.13	2.13	0.06	0.17	0.33	1.32	0.17	0.66	0.07

For water depths greater than 0.125 ft but less than 0.280 ft
 $Y1 = Y - 0.125$
 $A2 = A1 + 2 \cdot Y1 + 25 \cdot Y1^2$
 $P2 = P1 + \sqrt{2501 \cdot Y1^2} + Y1$

Depth (ft)	Area (ft ²)	P (ft)	R (A/P)	Q (cfs)	2Q (cfs)	Vel (ft/s)	D ^v	Fr	D2 (ft)
0.13	0.14	2.38	0.06	0.18	0.35	1.29	0.17	0.63	0.07
0.14	0.16	2.89	0.06	0.20	0.41	1.27	0.18	0.60	0.07
0.16	0.23	3.91	0.06	0.29	0.59	1.30	0.21	0.57	0.07
0.20	0.42	5.95	0.07	0.62	1.23	1.48	0.30	0.58	0.09
0.24	0.69	8.00	0.09	1.17	2.33	1.70	0.41	0.61	0.12
0.28	1.04	10.04	0.10	1.99	3.98	1.92	0.54	0.64	0.15

For water depths greater than 0.280 ft but less than 0.500 ft
 $Y2 = Y - 0.280$
 $A3 = A2 + Y2 \cdot 14$
 $P3 = P2 + Y2$

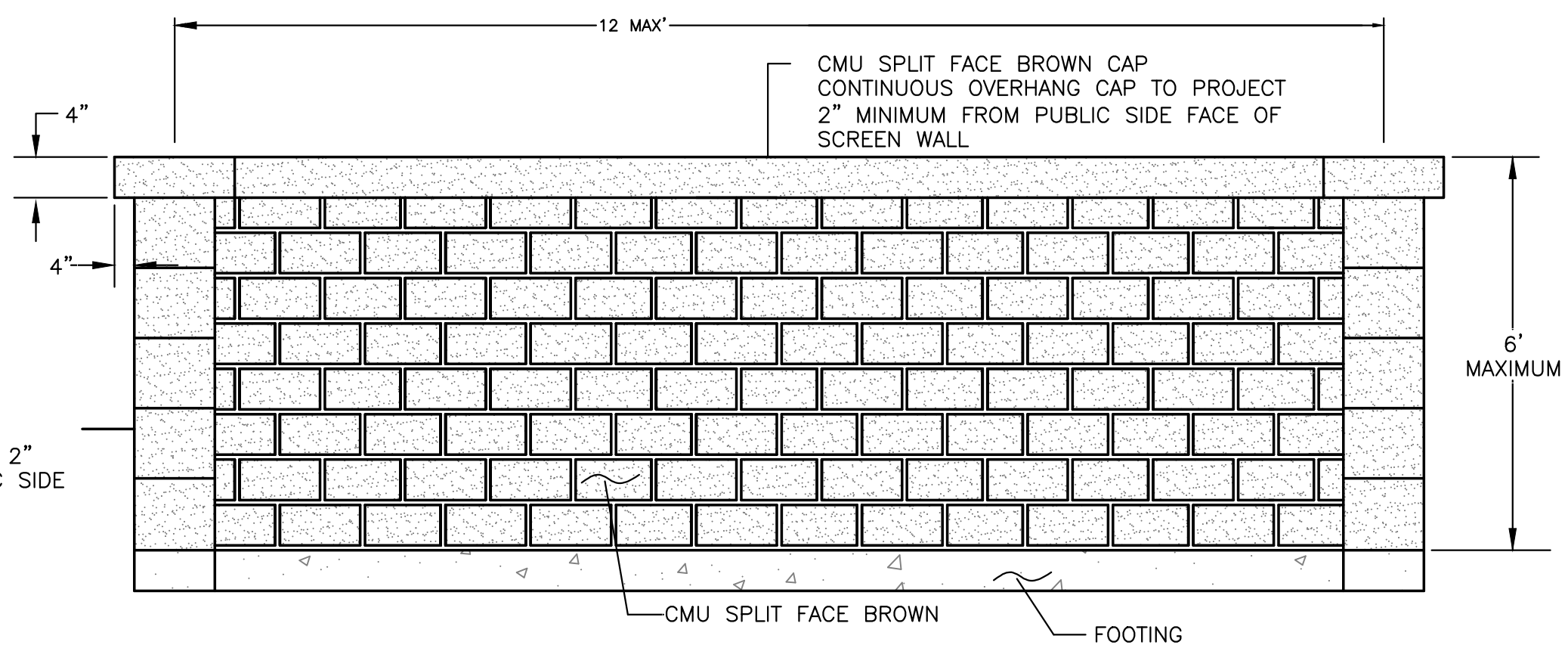
Depth (ft)	Area (ft ²)	P (ft)	R (A/P)	Q (cfs)	2Q (cfs)	Vel (ft/s)	D ^v	Fr	D2 (ft)
0.300	1.32	10.06	0.13	2.96	5.93	2.25	0.68	0.72	0.19
0.330	1.74	10.09	0.17	4.69	9.39	2.70	0.89	0.83	0.26
0.359	2.14	10.11	0.21	6.63	13.26	3.10	1.11	0.91	0.32
0.360	2.15	10.12	0.21	6.69	13.39	3.11	1.12	0.91	0.32
0.370	2.30	10.13	0.23	7.46	14.92	3.25	1.20	0.94	0.34
0.418	2.96	10.17	0.29	11.38	22.76	3.84	1.60	1.05	0.44
0.455	3.49	10.21	0.34	14.90	29.80	4.27	1.94	1.12	0.53
0.485	3.90	10.24	0.38	17.93	35.87	4.59	2.23	1.16	0.59
0.500	4.12	10.26	0.40	19.57	39.15	4.76	2.38	1.19	0.62

For water depths greater than 0.500 ft but less than 0.68 ft
 $Y3 = Y - 0.500$
 $A4 = A3 + 14 \cdot Y3 + 25 \cdot Y3^2$
 $P4 = P3 + \sqrt{2501 \cdot Y3^2}$

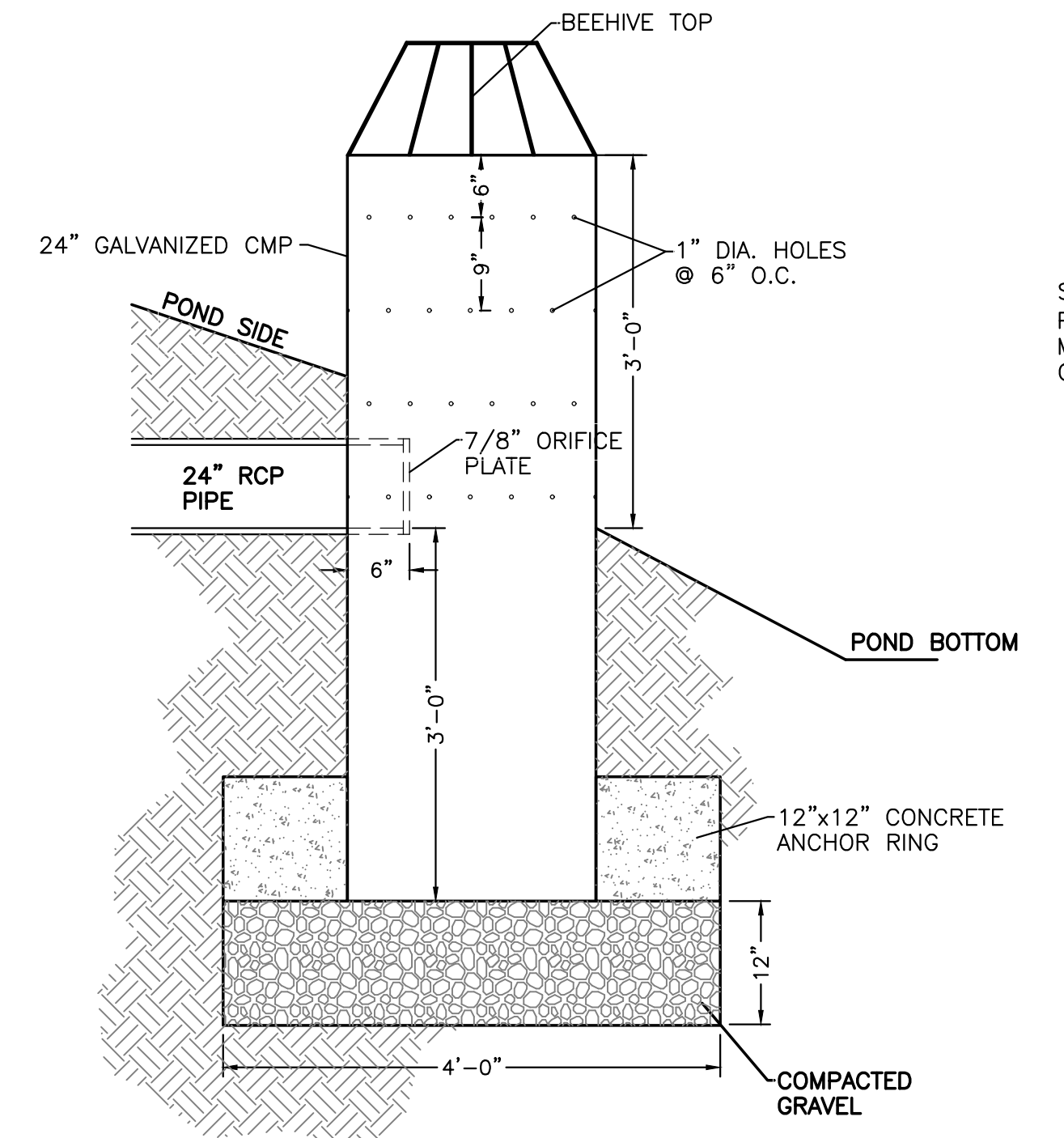
Depth (ft)	Area (ft ²)	P (ft)	R (A/P)	Q (cfs)	2Q (cfs)	Vel (ft/s)	D ^v	Fr	D2 (ft)
0.55	4.88	12.76	0.38	22.47	44.93	4.61	2.53	1.09	0.62
0.58	5.31	14.01	0.38	24.28	48.57	4.58	2.63	1.06	0.62
0.60	5.77	15.26	0.38	26.34	52.69	4.57	2.74	1.04	0.63
0.63	6.26	16.51	0.38	28.64	57.28	4.58	2.86	1.02	0.64
0.65	6.78	17.76	0.38	31.18	62.35	4.60	2.99	1.01	0.65
0.68	7.45	19.26	0.39	34.54	69.08	4.64	3.15	0.99	0.67

Basin 2
Off-Site
Basin 1 + Off-site

RETAINING WALL DETAIL
NTS



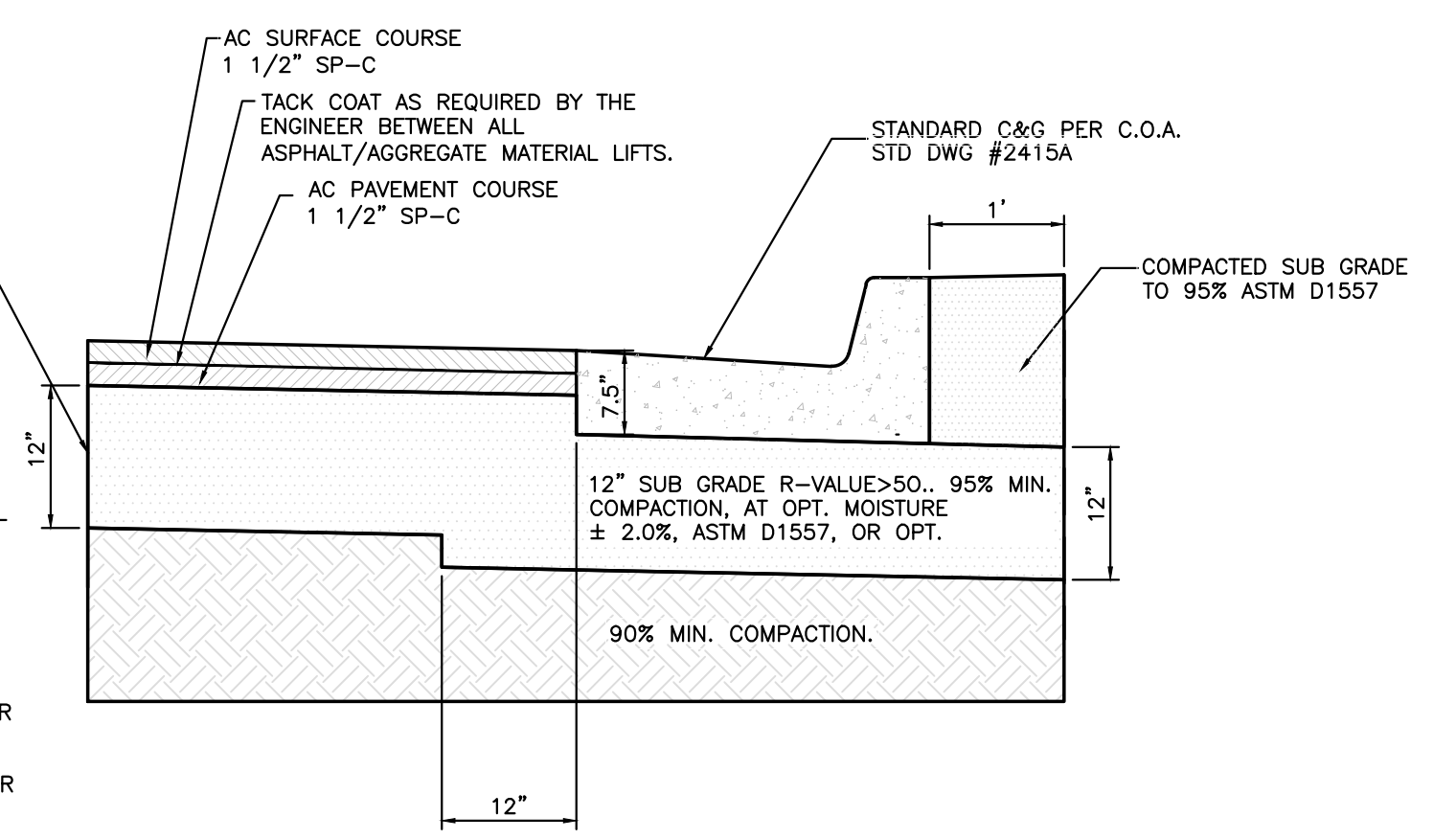
SCREENWALL/RETAINING WALL - ELEVATION FOR STREET FACING WALL
NTS



OUTFALL DETAIL
NTS

FINISH SURFACE OF SUB GRADE SHALL BE MOISTURE CONTROLLED AT COMPACTION MOISTURE RANGE, OR PRIME COAT APPLIED AS REQUIRED BY THE ENGINEER UNTIL NEXT/FINAL SURFACE IS COMPLETED. SUB GRADE PREPARATION SHALL BE PERFORMED AFTER ALL SUBSURFACE R/W UTILITIES CONSTRUCTION IS COMPLETED.

1' SURGED SOIL, R-VALUE>50. PLACED IN 2-6" COMPACTED LIFTS. 95% MIN. COMPACTION, AT OPT. MOISTURE ± 2.0%, ASTM D1557, OR OPT. MOISTURE, TO +4%, ASTM D698 FOR SOIL W/35% OR MORE MATERIAL PASSING THE NO. 200 SIEVE. SOIL NOT HAVING THE MIN. R-VALUE OF 50, SHALL BE REMOVED TO A DEPTH OF 2 FEET AND REPLACED BY THE CONTRACTOR WITH SUITABLE MATERIAL OR A PAVEMENT SHALL BE DESIGNED BY TIERRA WEST, LLC ACCOMMODATING THE EXISTING R-VALUE PER C.O.A. STANDARD SPECIFICATIONS.

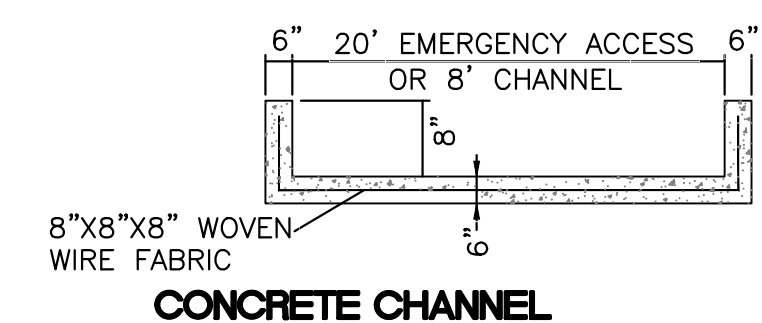


TYPICAL PAVING SECTION (LOCAL RESIDENTIAL)
NTS

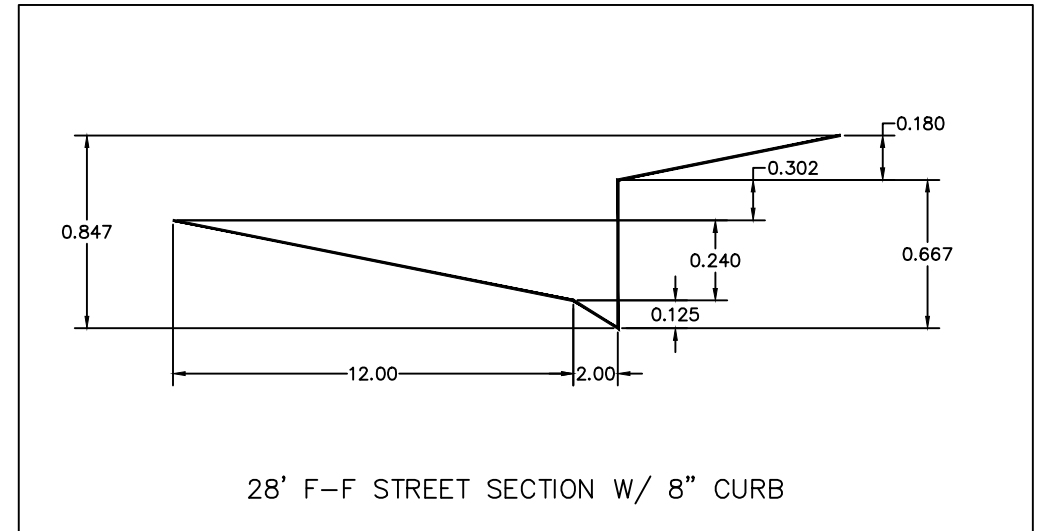
City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
PRELIMINARY APPROVED
DATE: 08/04/21
BY: *Ronald R. Bohannan*
HydroTruss # G19D004

THESE PLANS AND/OR REPORT ARE CONCEPTUAL ONLY. MORE INFORMATION MAY BE NEEDED IN THEM AND SUBMITTED TO HYDROLOGY FOR BUILDING PERMIT APPROVAL.

NOT FOR CONSTRUCTION

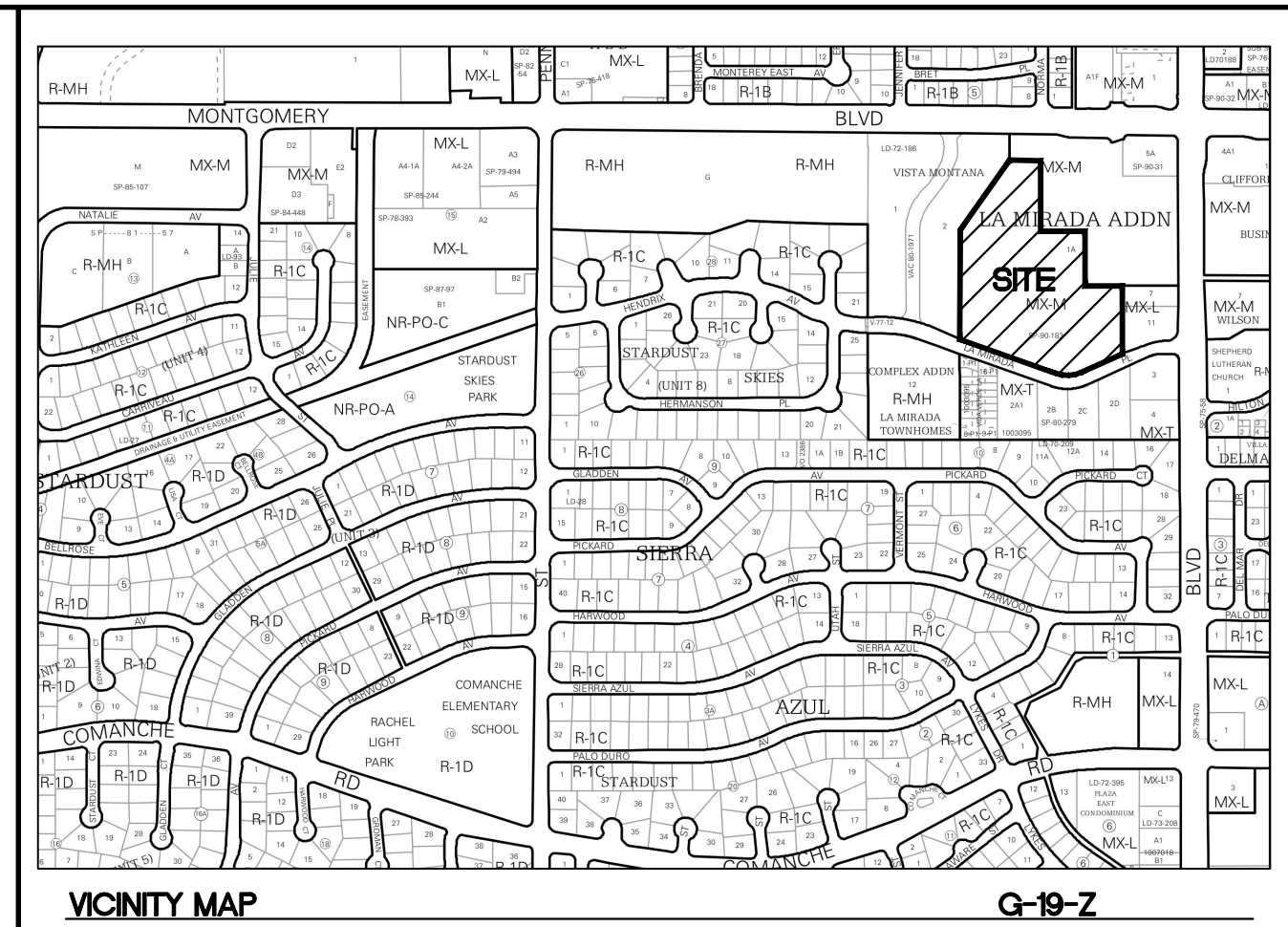


CONCRETE CHANNEL



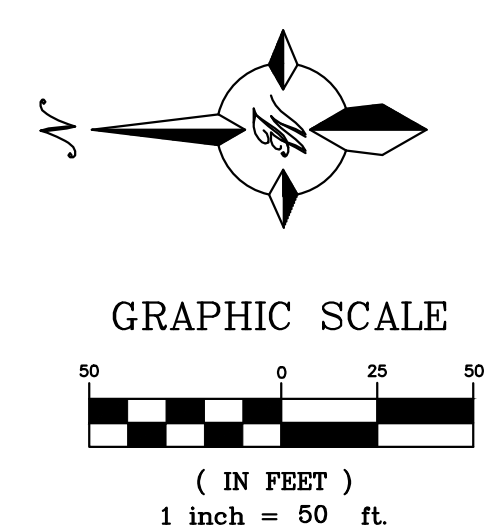
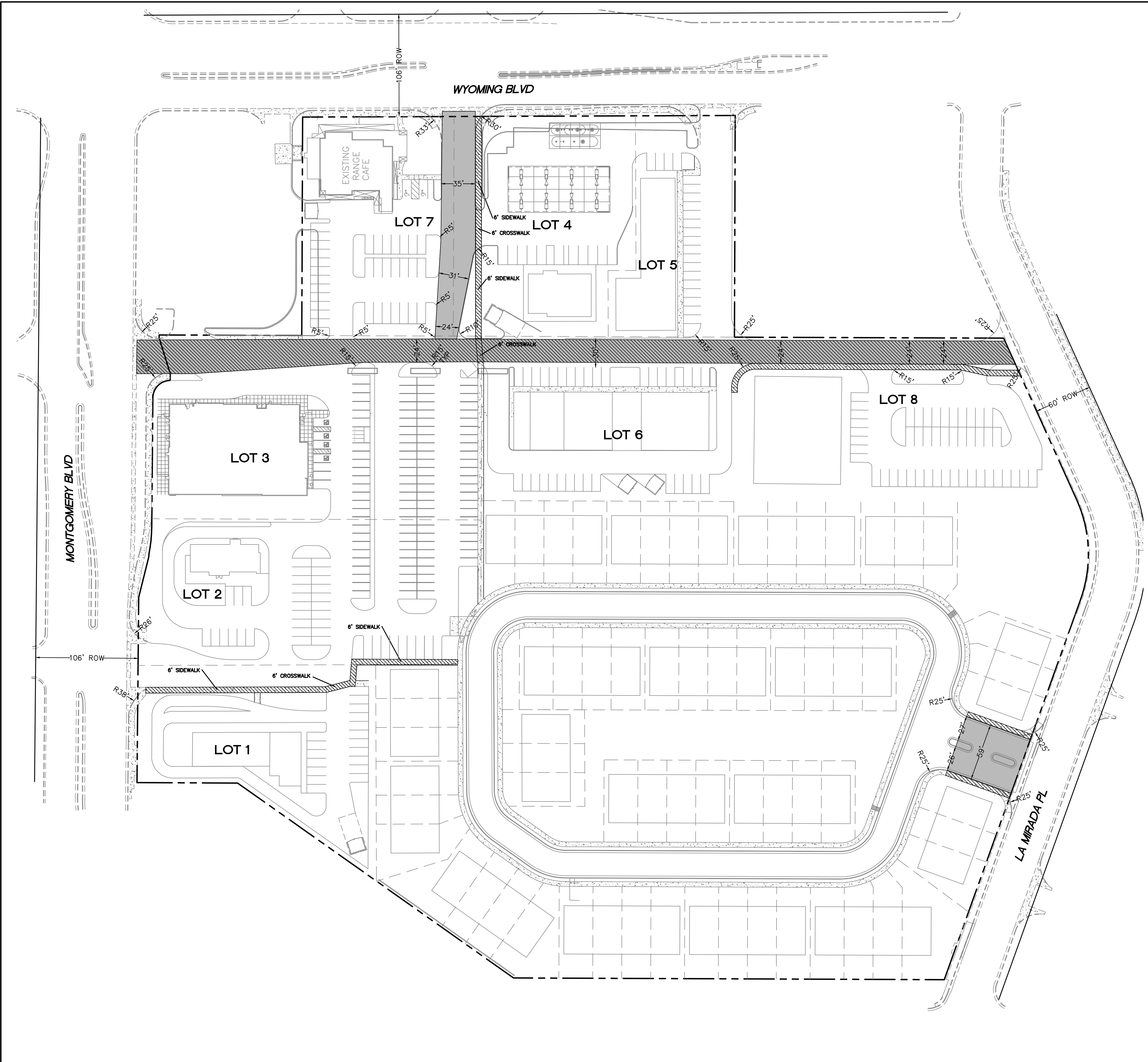
28' F-F STREET SECTION W/ 8" CURB

ENGINEER'S SEAL NOT FOR CONSTRUCTION 8-4-21 RONALD R. BOHANNAN P.E. #7868	THE WYMONT ALBUQUERQUE, NM GRADING DETAILS	DRAWN BY pm DATE 8-4-21 DRAWING
	TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # GR-4 JOB # 2021008

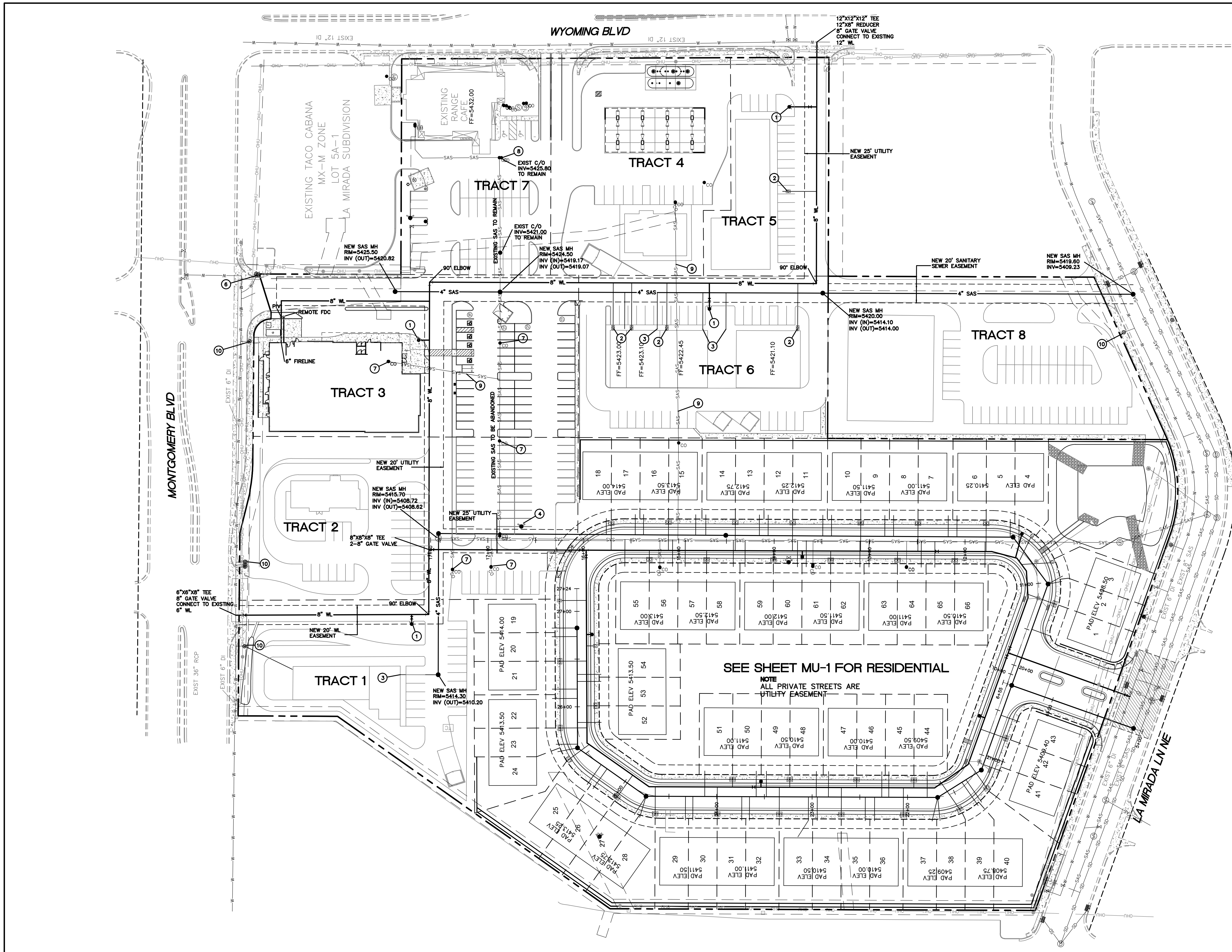


LEGEND

	VEHICULAR ACCESS
	PEDESTRIAN ACCESS



ENGINEER'S SEAL	THE WYMONT ALBUQUERQUE, NM	DRAWN BY pm
	VEHICLE AND PEDESTRIAN CONNECTIVITY EXHIBIT	DATE 8-16-21
RONALD R. BOHANNAN P.E. #7868	TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	DRAWING
		SHEET # 1
		JOB # 2021008



LEGEND

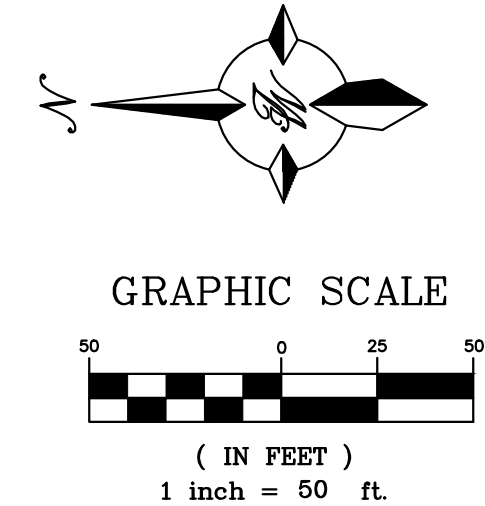
	CURB & GUTTER
	BOUNDARY LINE
	BUILDING
	EXISTING CURB & GUTTER
	4" SAS
	8" WL
	SANITARY SEWER LINE
	WATERLINE
	PROPOSED HYDRANT
	NEW SAS MH
	NEW WATER METER
	EXISTING SAS MH
	EXISTING GATE VALVE
	EXISTING WATERLINE
	EXISTING SAS

- KEYED NOTES**
- NEW FIRE HYDRANT PER COA STD DWG 2326, 2328, 2340
 - SINGLE 3" WATER METER AND PIT (TYP) PER COA STD DWG 2370
 - SAS SERVICE (TYP)
 - EXISTING FIRE HYDRANT TO BE REMOVED AND SALVAGED
 - EXISTING FIRE HYDRANT
 - EXISTING WATER METER
 - EXISTING CLEANOUT TO BE ABANDONED IN PLACE
 - EXISTING CLEANOUT TO REMAIN
 - EXISTING SEWER LINE AND CLEANOUTS TO BE REMOVED
 - REMOVE EXISTING WATER METER, REPLACE WITH 3" WATER METER AND PIT PER COA STD DWG 2370

NOTE
ALL SAS MH ARE 4' DIA TYPE 'C'
PER COA STD DWG 2101, 2107

SEE SHEET MU-1 FOR RESIDENTIAL
NOTE
ALL PRIVATE STREETS ARE
UTILITY EASEMENT

CAUTION
ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



	THE WYMONT ALBUQUERQUE, NM	DRAWN BY pm
	CONCEPTUAL UTILITY PLAN	DATE 8-25-21
	5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	DRAWING
8-25-21 RONALD R. BOHANNAN P.E. #7868	SHEET # MU-2	JOB # 2021008

Date Site Plan Approved: _____
 Date Preliminary Plat Approved: _____
 Date Preliminary Plat Expires: _____
 DRB Project No.: PR-2021-005316
 DRB Application No.: SI-2021-

INFRASTRUCTURE LIST

(Rev. 2-16-18)

EXHIBIT "A"

**TO SUBDIVISION IMPROVEMENTS AGREEMENT
 DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

The Wymont

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

**Lots 1-A-1 and 5-A-1, La Mirada Subdivision (being composed of Lots 1-A and 5-A)
 EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION**

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Inspector	P.E.	City Cnst Engineer
		24 F-F	Asphalt Pavement, Curb & Gutter (Private)	Access Drive Aisle	Montgomery Blvd.	La Mirada Place NE	/	/	/
		24 F-F	Asphalt Pavement, Curb & Gutter (Private)	Access Drive Aisle	Tract 3	Wyoming Blvd.	/	/	/
		5' Wide	Sidewalk (Private)	Tract 1	La Mirada Lane NE	Wymont Circle	/	/	/
		5' Wide	Sidewalk (Private)	Tract 4	Tract 3	Wyoming Blvd.	/	/	/
		5' Wide	Sidewalk (Private)	Tract 8	Tract 6	La Mirada Place NE	/	/	/
			Street lights and appurtenances				/	/	/
							/	/	/
							/	/	/
							/	/	/

Financially Guaranteed DRC #		Constructed Under DRC #		WATER AND SANITARY SEWER IMPROVEMENTS			Construction Certification		
Size	Type of Improvement	Location	From	To	Inspector	Private	P.E.	City Cnst	Engineer
8"	Sanitary Sewer w/ necessary MH's & Services	Access Drive Aisle	Tract 3	La Mirada Place NE	/	/	/	/	/
8"	Sanitary Sewer w/ necessary MH's & Services	Access Drive Aisle	Tract 1	Tract 2	/	/	/	/	/
8"	Sanitary Sewer w/ necessary MH's & Services	Access Drive Aisle	Tract 2	Wymont Circle	/	/	/	/	/
8"	Waterline w/ necessary valves, FH's MJ's, RJ's and Services	Access Drive Aisle	Montgomery Blvd.	Tract 2	/	/	/	/	/
8"	Waterline w/ necessary valves, FH's MJ's, RJ's and Services	Access Drive Aisle	Tract 2	Tract 3	/	/	/	/	/
8"	Waterline w/ necessary valves, FH's MJ's, RJ's and Services	Access Drive Aisle	Tract 2	Wymont Circle	/	/	/	/	/
8"	Waterline w/ necessary valves, FH's MJ's, RJ's and Services	Access Drive Aisle	Tract 3	Tract 5	/	/	/	/	/
8"	Waterline w/ necessary valves, FH's MJ's, RJ's and Services	Access Drive Aisle	Tract 6	Wyoming Blvd.	/	/	/	/	/

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification	
							Inspector	City Crst Engineer
							/	/
							/	/

Approval of Creditable Items: _____

Impact Fee Administrator Signature _____ Date _____

Approval of Creditable Items: _____

City User Dept. Signature _____ Date _____

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.
Street lights per City requirements.

1 Native Grass Seed with Aggregate Mulch or equal (Must satisfy the "Final Stabilization Criteria" CGP 2.2.14.b)

2 The property owner/developer must continue self-inspections and BM maintenance until the EPA's Final Stabilization Criteria is satisfied and approved by the City Stormwater Quality Section (Code 14-5-2-1(C)(1))

3

AGENT / OWNER DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

Ronald R. Bohannon
NAME (print)

_____ PARKS & RECREATION - date

Tierra West, LLC
FIRM

_____ AMAFCA - date

TRANSPORTATION DEVELOPMENT - date

[Signature]
9/2/2021

_____ CODE ENFORCEMENT - date

UTILITY DEVELOPMENT - date

SIGNATURE - date

_____ - date

CITY ENGINEER - date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT /OWNER