



DEVELOPMENT REVIEW BOARD
SUPPLEMENTAL SUBMITTAL

(Deadline is Friday at noon unless noted on DRB calendar – late submittals will not be accepted unless approved by the DRB)

PROJECT NO. PR-2019-002309
Application No. SI-2021-00370 (EPC) & SI-2021-01507

TO:

- Planning Department/Chair
- Hydrology
- Transportation Development
- ABCWUA
- Code Enforcement
- Parks & Rec

*(Please attach this sheet with each collated set for each board member)

NOTE: ELECTRONIC VERSION (ie disk, thumbdrive) is Required. Submittal will not be accepted without.

DRB SCHEDULED HEARING DATE: 9/29/21 HEARING DATE OF DEFERRAL: 9/22/21

SUBMITTAL

DESCRIPTION: Updated site plan set and proposed infrastructure list for project.

CONTACT NAME: Jackie Fishman, AICP and Michael Vos, AICP, Consensus Planning, Inc.

TELEPHONE: (505) 764-9801 EMAIL: fishman@consensusplanning.com
vos@consensusplanning.com

DEVELOPMENT DATA

Legal Description: Lot 1-A-1, La Mirada Subdivision containing 8.3236 acres
 Zoning: MX-M
 Land Use: Townhouses
 Pedestrian and Vehicular Access:
 • Primary vehicular access is from La Mirada Place NE, an existing urban local roadway. The subdivision shall be gated and the new roadway serving the subdivision shall be privately owned and maintained by a Homeowners' Association.
 • Pedestrian access will be private, gated access from La Mirada Place NE and in two locations from the adjacent MX-M properties, as shown on the Site Plan.
 • Transit access is provided on Montgomery Boulevard (Route 5) and Wyoming Boulevard (Route 31).

Lot Sizes: The MX-M zone does not have minimum lot size or width requirements. The typical lot size is 2,550 square feet and typical width is 30 feet.

Setbacks: Development shall comply with the minimum setbacks of the MX-M Zone District
 Front, minimum: 5 feet
 Side, minimum: 0 feet
 Street side, minimum: 5 feet
 Rear, minimum: 15 feet
 Density: 9.0 Dwelling Units per Acre
 Maximum Building Height allowed: 48 feet

Building Design: Townhouses shall comply with the building design requirements of IDO Section 14-16-5-11(C) Low-Density Residential Development

Usable Open Space: Per the Townhouse Use-specific Standards in IDO Section 14-16-4-3(B)(5)(a), usable open space is required in the amount of 200 square feet per 1 Bedroom, 250 square feet per 2 Bedroom, and 300 square feet per 3+ Bedroom dwelling unit. The total usable open space required, assuming 3 bedrooms per unit is 22,200 square feet, 27,975.42 square feet is provided.

Parking Requirements: 1 space per dwelling unit up to 2 bedroom and 2 spaces for each 3+ bedroom dwelling unit. Townhomes are proposed with 2 car garages and 20' driveways.
 Site Lighting: Site lighting shall be a maximum of 20 feet tall, fully shielded, and compliant with the Night Sky Protection Act in accordance with section 14-16-5-8

- GENERAL NOTES:**
- EASEMENTS FOR UTILITY ALIGNMENTS WILL BE DEDICATED BY FUTURE PLATTING ACTION TO MUTUALLY BENEFIT ADJUTING PROPERTIES.
 - TRACTS A, B, C AND D TO BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
 - PRIVATE ACCESS ROADS ARE TO BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
 - PERIMETER AND LOT FENCING SHALL BE 6'-0" SPLIT FACE CMU,
 - EXISTING STRUCTURES ON SITE TO BE DEMOLISHED FOLLOWING APPROVAL OF THIS REQUEST AND SUBSEQUENT SUBDIVISION PLAT REQUEST.
 - LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE AREA.
 - ALL INTERNAL SIDEWALKS WILL BE 5' IN WIDTH.
 - ALL DESIGN STANDARDS WILL BE MET IN ACCORDANCE WITH SECTION 14-16-5-11(C) LOW-DENSITY RESIDENTIAL DEVELOPMENT
 - PARKING CALCULATIONS COMPLY WITH IDO TABLE 5-5-1
 - PRIVATE ROADWAY IMPROVEMENTS SHALL BE BUILT BY CITY WORK ORDER
 - TRACT E IS A 46' WIDE PRIVATE ROADWAY EASEMENT.

- KEYED NOTES:**
- DIVIDED ENTRY WITH 22' INGRESS AND EGRESS LANES.
 - VEHICLE AND PEDESTRIAN GATE.
 - PEDESTRIAN ACCESS GATE TO BE PROVIDED FOR ACCESS TO COMMERCIAL AREA.
 - PROJECT MONUMENT SIGN WITHIN ENTRANCE MEDIAN, SEE LANDSCAPE PLAN FOR MONUMENT SIGN DIMENSIONS, COLORS AND DETAIL.
 - HANDICAP RAMP LOCATIONS
 - 6' TALL SPLIT FACE CMU PRIVACY WALL, SEE CONCEPTUAL GRADING AND DRAINAGE PLAN FOR WALL SECTIONS AND DETAILS
 - 6' TALL SPLIT FACE CMU PRIVACY WALL W/REAR ACCESS GATE
 - EXISTING SIDEWALK WIDTHS ON LA MIRADA PLACE
 - 20' CONCRETE PAD FOR EMERGENCY ACCESS

PROJECT NUMBER: PR-2019-002309

Application Number: SI-2021-00370

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated May 20, 2021 and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

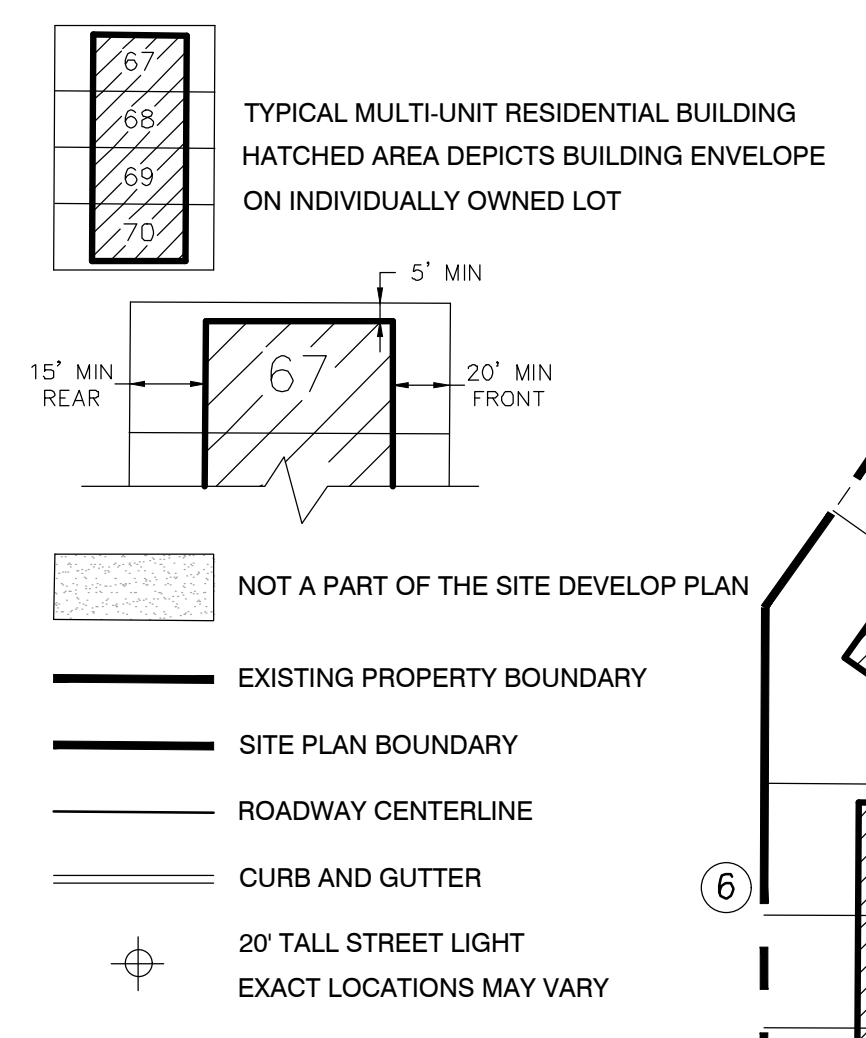
Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
City Engineer/Hydrology	Date
Code Enforcement	Date
Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

Site Vicinity



ZONE ATLAS PAGE G-19-Z

Legend



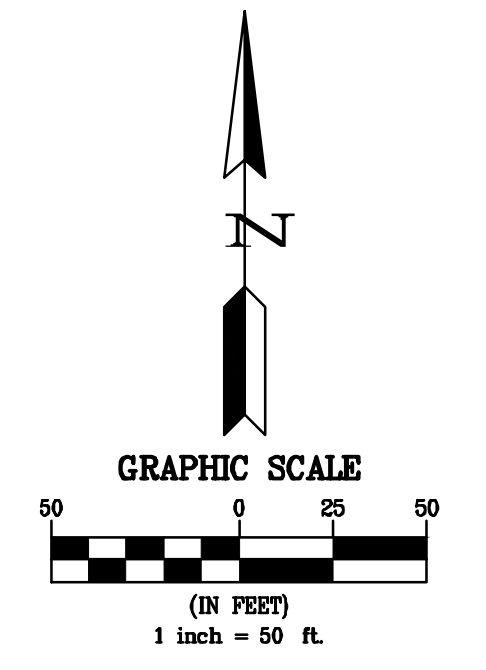
EXISTING MULTI-FAMILY R-MH ZONE LOTS 1 AND 2 LA MIRADA AND VA

PARKING
 PARKING REQUIRED 132 SPACES (66 LOTS x 2 SPACES PER UNIT)
 PARKING PROVIDED 264 SPACES (2 IN GARAGE, 2 IN DRIVEWAY)

MONTGOMERY BLVD.
 R/W VARIES; 106 MIN.

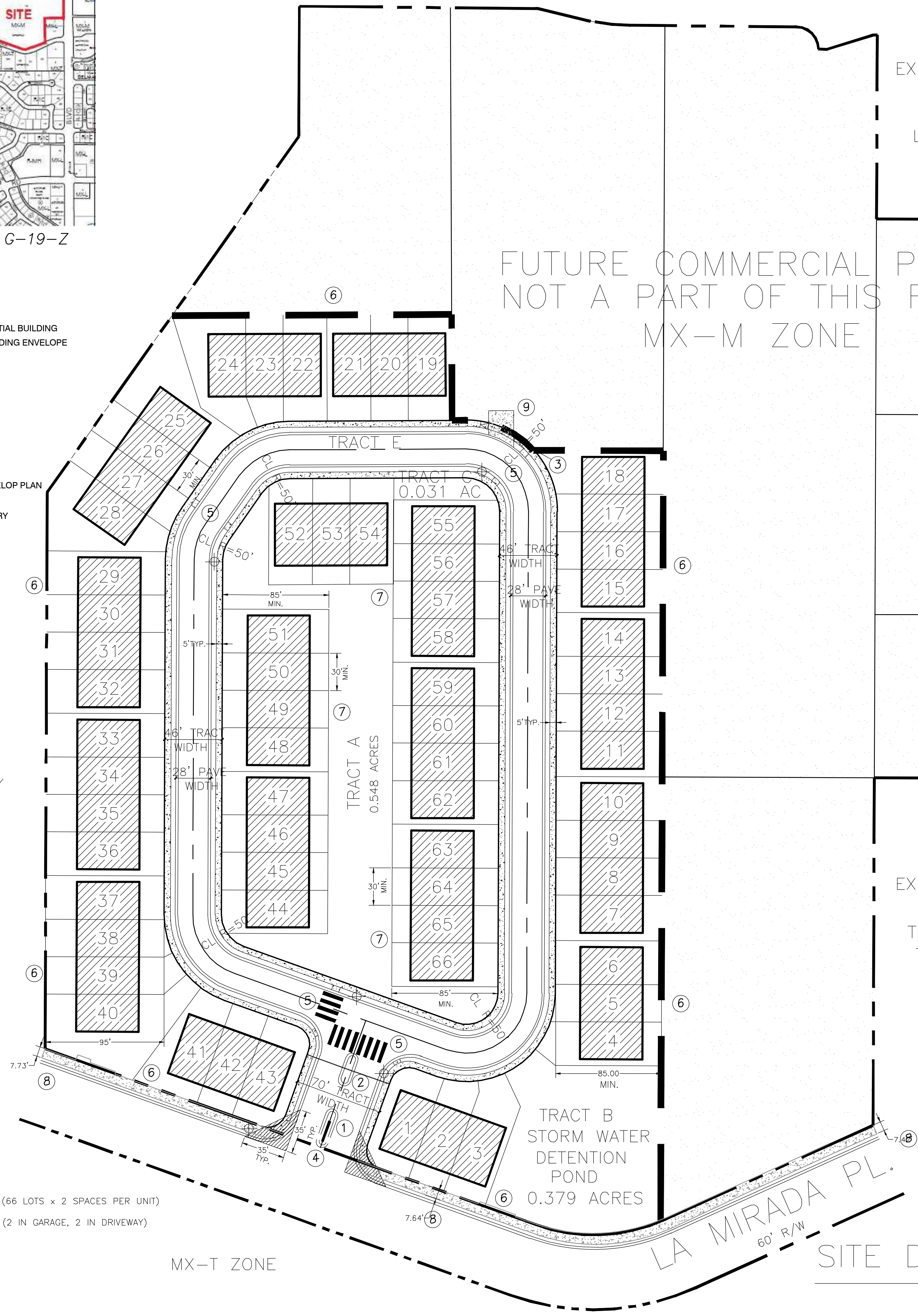
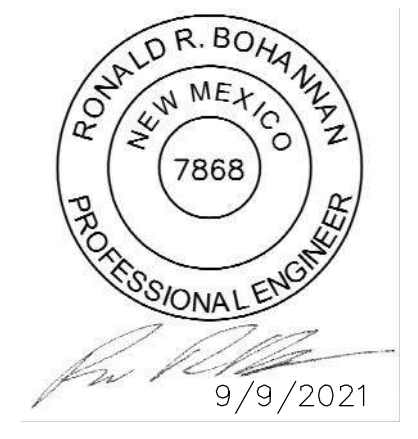
EXISTING TACO CABANA
 MX-M ZONE
 LOT 5A-1
 LA MIRADA SUBDIVISION

FUTURE COMMERCIAL PAD SITES
 NOT A PART OF THIS REQUEST
 MX-M ZONE



WYOMING BLVD.
 106' R/W

EXISTING BANK OF AMERICA
 MX-L ZONE
 TRACT A, REPLAT OF LOTS 7 AND 11 OF LA MIRADA SUBDIVISION



MX-T ZONE

SITE DEVELOPMENT PLAN

LA MIRADA SQUARE
 SITE DEVELOPMENT PLAN
 ENVIRONMENTAL PLANNING COMMISSION

DATE: 3/9/2021

SHEET: S-1

MONTGOMERY BLVD.

FUTURE COMMERCIAL PAD SITES
NOT A PART OF THIS REQUEST
MX-M ZONE

LANDSCAPE CALCULATIONS

TOTAL AREA OF PROJECT	308,366 SF
LESS BUILDING	98,961 SF
NET LOT AREA	209,405 SF
REQUIRED LANDSCAPE AREA MINIMUM 15% OF NET LOT AREA	31,411 SF
ACTUAL LANDSCAPE AREA	51,278 SF
LANDSCAPE AREA REQUIREMENT EXCEEDED	19,867 SF
LANDSCAPE COVERAGE REQUIRED - 75%	23,559 SF
COVERAGE PROVIDED	100,571 SF
REQUIREMENT EXCEEDED	77,012 SF
REQUIRED 25% COVERAGE BY GROUND-LEVEL PLANTS	7,853 SF
ACTUAL COVERAGE BY GROUND-LEVEL PLANTS	7,900 SF
REQUIREMENT EXCEEDED	47 SF
SOD ALLOWED (10%)	3,141 SF
SOD ACTUAL	3,038 SF
STREET TREES REQUIRED (1 TREE PER 25 LF)	21 TREES
STREET TREES PROVIDED	21 TREES
DWELLING UNIT TREES REQUIRED (1 TREE PER 1ST STORY UNIT + 1 TREE PER 2ND STORY UNIT. 66 UNITS TOTAL)	66 TREES
PROVIDED	86 TREES (IN COMMON AREA)
	69 TREES (AT RESIDENTIAL UNITS)

PLANT SCHEDULE

DECIDUOUS TREES	QTY	BOTANICAL / COMMON NAME	SIZE	H X W
2	ACER NEGUNDO 'SENSATION' / SENSATION BOX ELDER MAPLE	2"	B&B	40' X 30'
2	CHLOPSIS LINEARIS 'ART'S SEEDLESS' / ART'S SEEDLESS DESERT WILLOW	24"	BOX	20' X 25'
2	COTINUS COGGYGRIA / SMOKE TREE	15	GAL	15' X 15'
4	FORESTIERA NEOMEXICANA / NEW MEXICAN PRIVET	24"	BOX	15' X 15'
1	GLEDITSIA TRIACANTHOS INERMIS / THORNLESS COMMON HONEYLOCUST	2"	B&B	50' X 45'
4	LAGERSTROEMIA INDICA / CRAPE MYRTLE	15	GAL	15' X 15'
3	POPULUS X ACUMINATA / LANCELEAF POPLAR	2"	B&B	50' X 50'
38	PYRUS CALLERYANA 'CLEVELAND SELECT' / CLEVELAND SELECT PEAR	2"	B&B	25' X 15'
2	QUERCUS MUEHLENBERGII / CHINKAPIN OAK	2"	B&B	40' X 40'
79	ULMUS PARVIFOLIA 'ALLEE' / ALLEE LACEBARK ELM	2"	B&B	40' X 40'
3	WITEX AGNUS-CASTUS / CHASTE TREE	24"	BOX	20' X 20'
EVERGREEN TREES				
QTY	BOTANICAL / COMMON NAME	SIZE	H X W	
7	PINUS CEMBOIDES EDULIS / PINYON PINE	6"	B&B	30' X 20'
8	PINUS NIGRA / AUSTRIAN BLACK PINE	10"	B&B	20' X 10'
SHRUBS				
QTY	BOTANICAL / COMMON NAME	SIZE	H X W	
38	JUNPERUS SABINA 'BUFFALO' / BUFFALO JUNIPER	5	GAL	2' X 5'
36	POTENTILLA FRUTICOSA / BUSH CINQUEFOL	5	GAL	3' X 3'
DESERT ACCENTS				
QTY	BOTANICAL / COMMON NAME	SIZE	H X W	
6	DASYLIRION TEXANUM / TEXAS SOTOL	5	GAL	5' X 5'
3	HESPERALOE PARVIFLORA / RED YUCCA	5	GAL	3' X 4'
3	NOLINA MICROCARPA / BEARGRASS	5	GAL	5' X 6'
7	YUCCA BACCATA / BANANA YUCCA	5	GAL	4' X 5'
FLOWERING PLANTS				
QTY	BOTANICAL / COMMON NAME	SIZE	H X W	
15	NEPETA X FAASSENI 'SELECT BLUE' / CATMINT	1	GAL	1' X 2'
2	PENSTEMON PALMERI / PALMER'S PENSTEMON	5	GAL	4' X 2'
GRASSES				
QTY	BOTANICAL / COMMON NAME	SIZE	H X W	
34	BOUTELOUA GRACILIS 'BLONDE AMBITION' / BLONDE AMBITION BLUE GRAMA	1	GAL	3' X 3'
31	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS	1	GAL	30" X 2'
17	HELICTOTRICHON SEMPERVIRENS / BLUE OAT GRASS	1	GAL	2' X 2'
44	MUEHLENBERGIA CAPILLARIS 'REGAL MIST' TM / MUHLY	1	GAL	3' X 3'
DECIDUOUS SHRUBS				
QTY	BOTANICAL / COMMON NAME	SIZE	H X W	
8	BUTDLLEJA DAVIDI / BUTTERFLY BUSH	5	GAL	4' X 4'
36	CARYOPTERIS X CLANDONENSIS 'DARK KNIGHT' / BLUE MIST SPIREA	1	GAL	3' X 3'
9	EUONYMUS ALATUS 'COMPACTUS' / COMPACT BURNING BUSH	5	GAL	6' X 6'
11	LAVANDULA ANGUSTIFOLIA / ENGLISH LAVENDER	1	GAL	3' X 3'
30	RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC	5	GAL	4' X 4'
16	ROSA X 'NOCKOUT' TM / ROSE	5	GAL	6' X 5'
30	SALVIA GREGGII / AUTUMN SAGE CHERRY	1	GAL	2' X 3'
EVERGREEN SHRUBS				
QTY	BOTANICAL / COMMON NAME	SIZE	H X W	
22	CERCOCARPUS INTRICATUS / LITTLE LEAF MOUNTAIN MAHOGONY	5	GAL	6' X 6'
3	CERCOCARPUS LEDIFOLIUS / CURL-LEAF MOUNTAIN MAHOGONY	5	GAL	15' X 15'
11	COTONEASTER PARNEYI / COTONEASTER	5	GAL	10' X 15'
36	ERICAMERIA LARICIFOLIA / TURPENTINE BUSH	5	GAL	3' X 4'
12	FALLUGIA PARADOXA / APACHE PLUME	5	GAL	6' X 7'
17	RHAPHOLEPIS INDICA / INDIAN HAWTHORN	5	GAL	3' X 4'

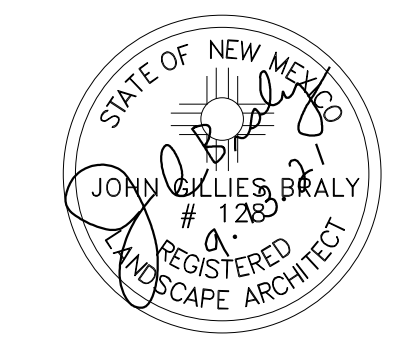
REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION	QTY
●	BOULDER	11
—	BENCH	4
SYMBOL	DESCRIPTION	QTY
■	MOUNTAINAIR BROWN 7/8" GRAVEL	20,305 SF
■	LUCY ROSE 1" GRAVEL	2,382 SF
■	2-4" WALLIN COBBLE	5,200 SF
■	TURF GRASS	3,038 SF
■	1" WALLIN	15,583 SF
■	NATIVE SEED	4,770 SF

GENERAL LANDSCAPE NOTES

- CONTRACTOR TO VERIFY EXISTING UTILITY LOCATIONS BEFORE EXCAVATION AND PLANTING.
- RESPONSIBILITY FOR MAINTENANCE: THE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTENANCE OF THE LANDSCAPE DURING CONSTRUCTION AND DURING A 90 DAY-MAINTENANCE PERIOD FOLLOWING SUBSTANTIAL COMPLETION. THE OWNER WILL BE RESPONSIBLE FOR MAINTENANCE FOLLOWING THE 90-DAY MAINTENANCE PERIOD.
- THE PROPERTY OWNER SHALL MAINTAIN RIGHT-OF-WAY (ROW) LANDSCAPING IN A NEAT AND HEALTHY CONDITION.
- STATEMENT OF COMPLIANCE WITH CITY OF ALBUQUERQUE: THE LANDSCAPING SHALL COMPLY WITH THE CITY OF ALBUQUERQUE INTEGRATED DEVELOPMENT ORDINANCE (IDO) INCLUDING, BUT NOT LIMITED TO, GENERAL LANDSCAPING REGULATIONS, WATER CONSERVATION LANDSCAPING AND WATER WASTE REGULATIONS, POLLEN-RELATED REGULATIONS, MINIMUM VEGETATIVE COVERAGE REQUIREMENTS AND STREET TREE REGULATIONS.
- TIMING OF LANDSCAPE INSTALLATION: INSTALLATION OF THE LANDSCAPING SHALL BE COMPLETE WITHIN 60 DAYS OF THE RELATED BUILDING'S OCCUPANCY.
- SURFACE TREATMENT: LANDSCAPE AREAS SHALL BE COVERED WITH MULCH.
- LANDSCAPE, FENCING, AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS, THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3' AND 8' (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.
- LANDSCAPING WILL BE WATERED WITH AN AUTOMATED IRRIGATION SYSTEM THAT INCLUDES DRIP ZONES FOR LANDSCAPING.
- MINIMUM PLANT SIZES ARE AS PER CITY OF ALBUQUERQUE STANDARDS.
- CALIPER TREES, 6" HEIGHT CONIFERS, AND 1 GALLON SHRUBS ARE DISTURBED DURING CONSTRUCTION, INCLUDING AREAS NOT WITHIN THE PROPERTY LINE, WILL BE STABILIZED.
- ROOF DRAINS: SURFACE DRAINAGE OFF DOWNSPOUTS SHALL BE DIRECTED AWAY FROM BUILDINGS INTO LANDSCAPE AREAS OR ENGINEERED DRAINAGE SYSTEMS, REFER TO CIVIL.
- VEGETATIVE SCREENING SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS SHALL ALLOW 10' OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5' OF CLEARANCE ON THE REMAINING SIDES FOR SAFE OPERATION AND MAINTENANCE.
- NEW PLANTINGS DO NOT INCLUDE HIGH WATER TURF.
- ORGANIC BARK MULCH IS PROVIDED AT EACH TREE FROM ROOT BALL EXTENDING OUT TO DRIPLINE PER CITY OF ALBUQUERQUE IDO 14-16-5-6(C)(5)(b).
- WHERE MULCH IS ADJACENT TO CONCRETE OR ASPHALT, FINISH GRADE OF MULCH SHALL 1/2" BELOW TOP OF CONCRETE, UNLESS OTHERWISE INDICATED.
- PLANT MATERIAL SHALL BE FREE OF DISEASE AND INSECTS AND SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI) OF THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
- ALL LANDSCAPING CONTIGUOUS TO INDIGENOUS AREAS TO BE PLANTED WITH INDIGENOUS TREES AND SHRUBS.
- BENCH TO BE INSTALLED ON CONCRETE PAD.

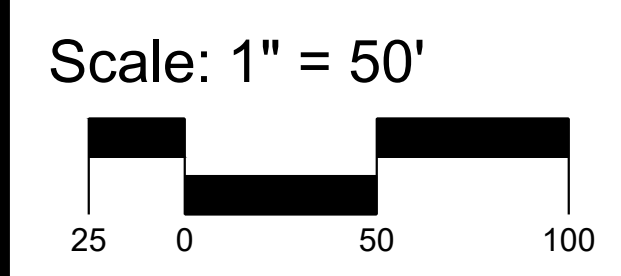
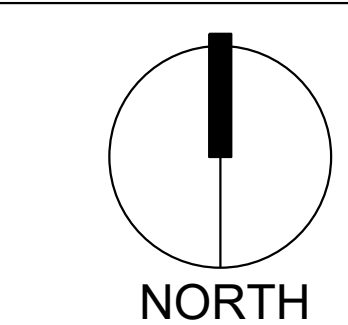
YELLOWSTONE LANDSCAPE
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Albuquerque, NM 87184
505.898.9615
design@yellowstonelandscape.com



Date: 3/4/2021
Revisions:
▲ 3/8/2021
▲ 3/9/2021
▲ 3/11/2021
▲ 9/13/2021

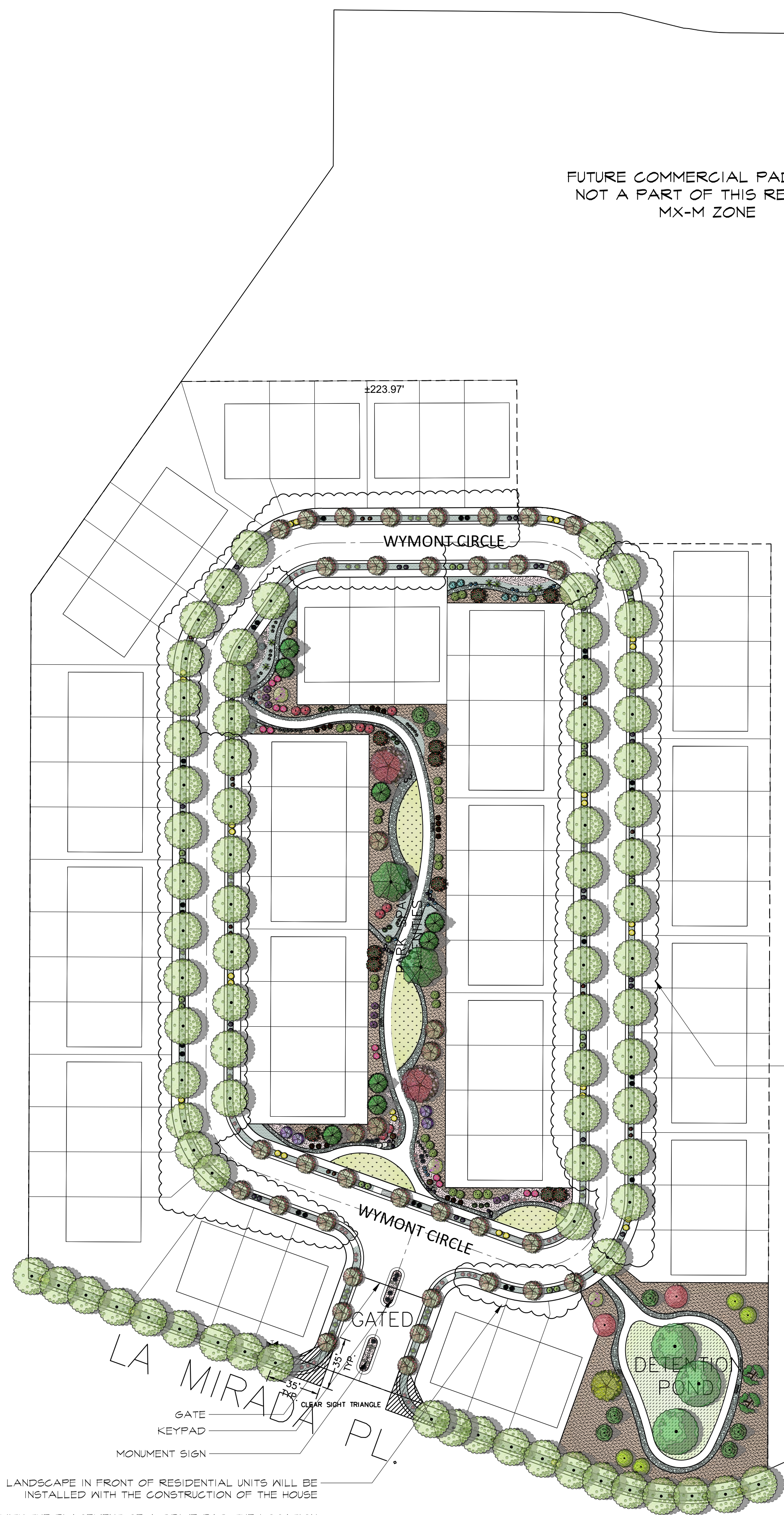
Drawn by: PL
Reviewed by: JB

Wymont Place
La Mirada PL.
Albuquerque, New Mexico



Sheet Title:
Landscape Plan

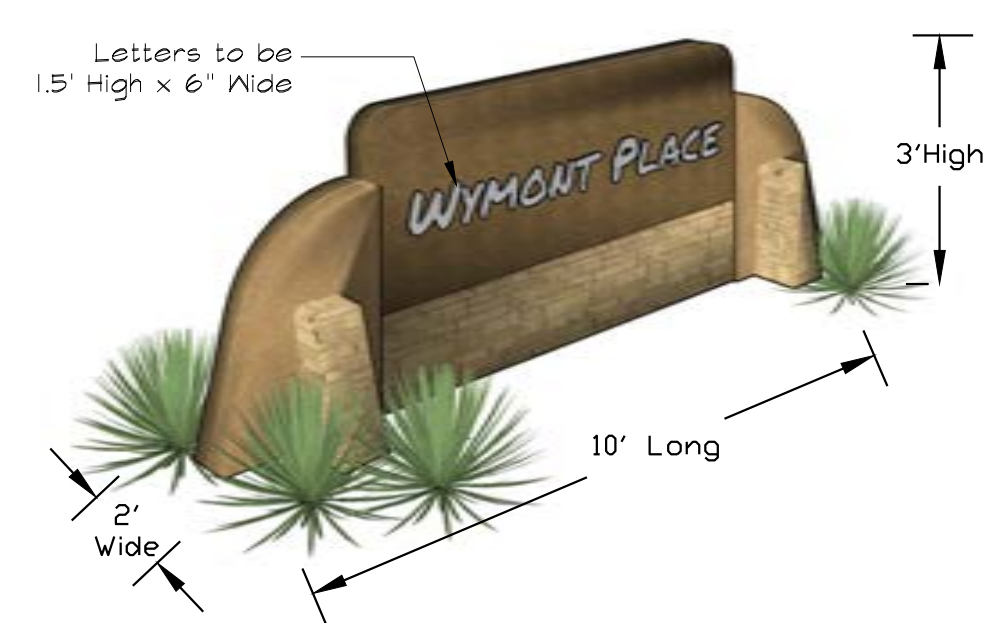
Sheet Number:
LS-01



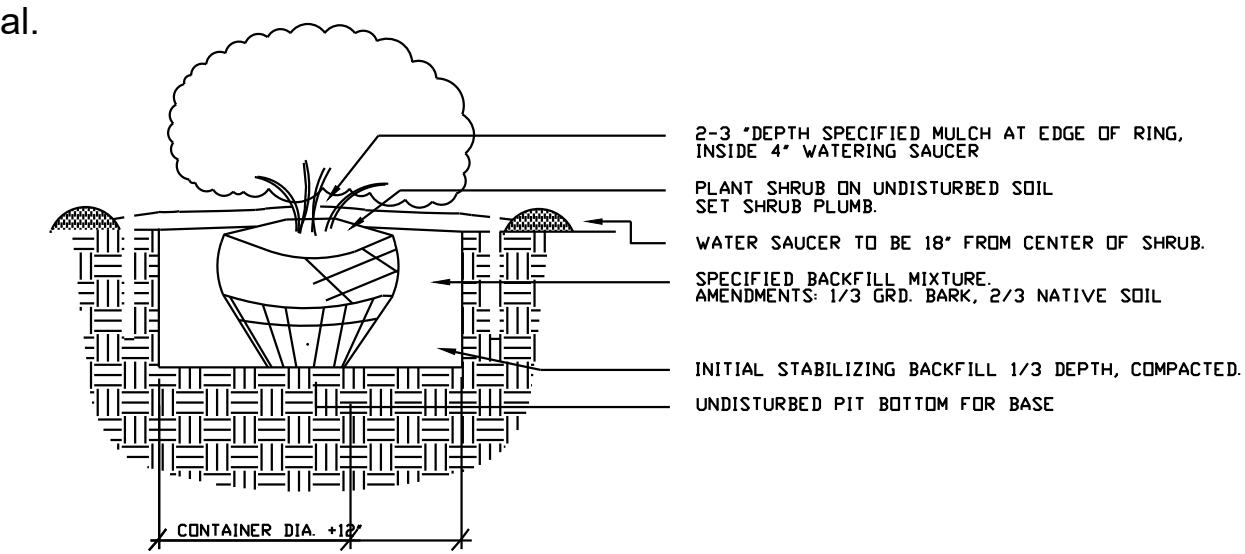
LANDSCAPE IN FRONT OF RESIDENTIAL UNITS WILL BE INSTALLED WITH THE CONSTRUCTION OF THE HOUSE

WITH THE PLACEMENT OF A DRIVE PAD, THE LOCATION AND NUMBER OF PLANTS IDENTIFIED MAY CHANGE

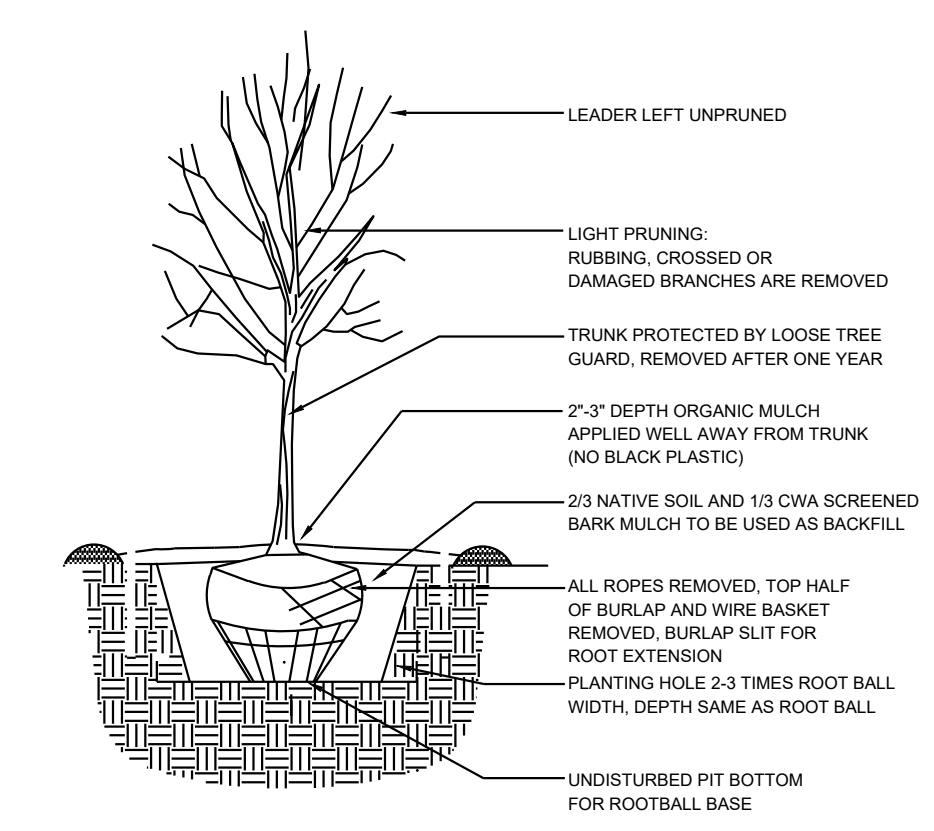
CLEAR SIGHT TRIANGLE NOTE: LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.



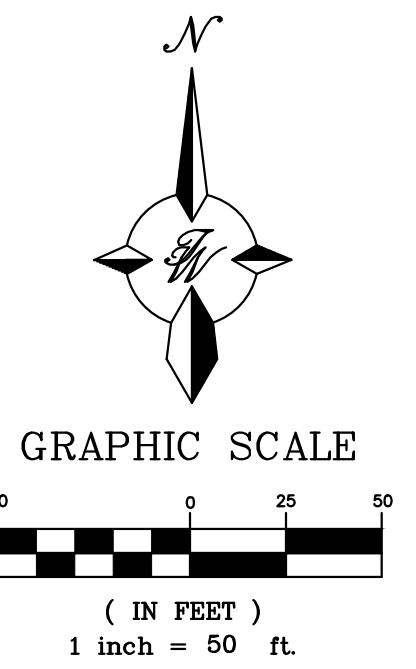
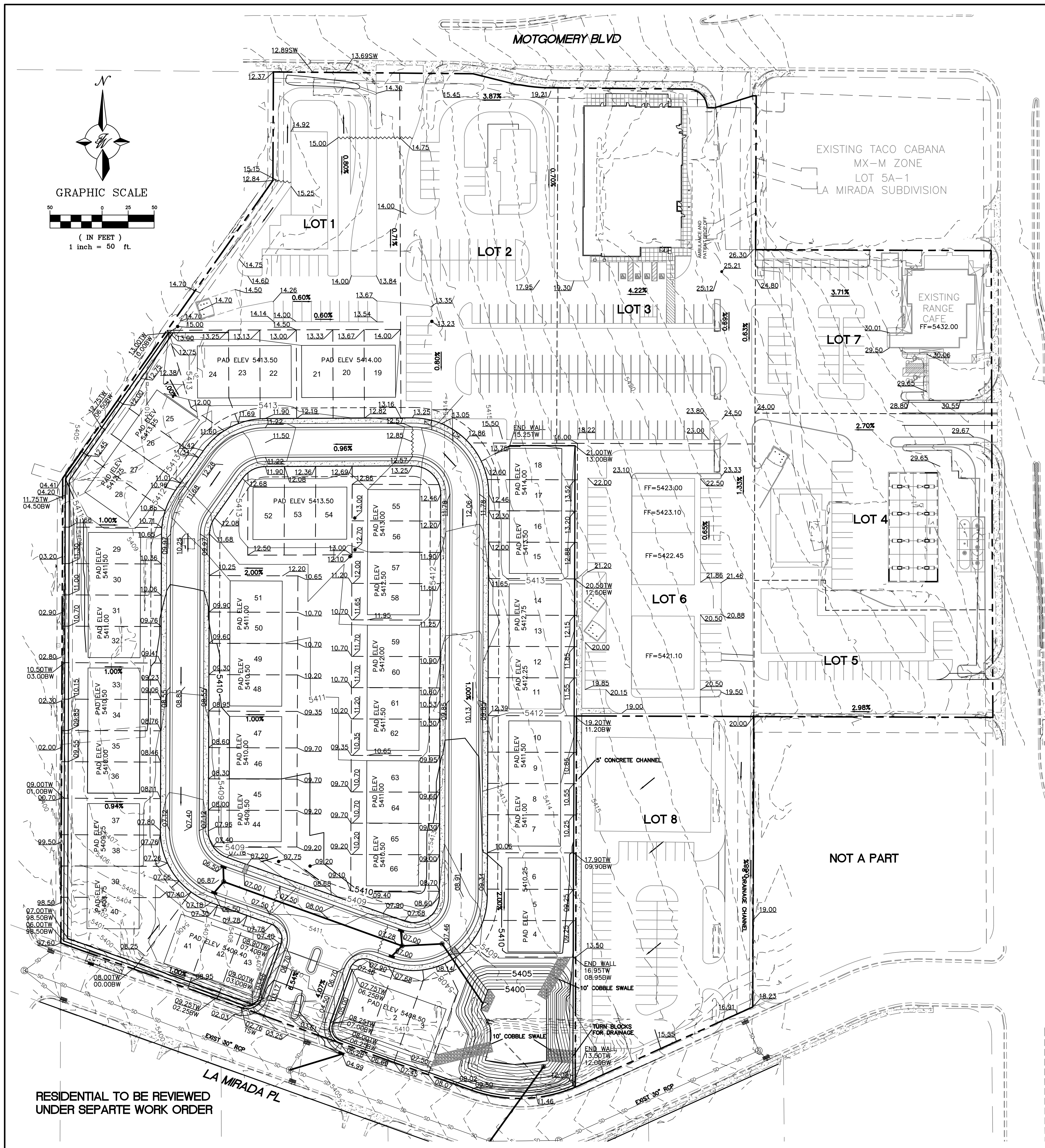
MONUMENT SIGN
The monument sign to be constructed of CMU block with a stucco finish. The stucco color to be a brown earth tone with a faux ledgestone accent. The letters to be constructed of metal.



SHRUB PLANTING DETAIL



TREE PLANTING DETAIL



- LEGEND**
- CURB & GUTTER
 - - - BOUNDARY LINE
 - ▭ BUILDING
 - - - PROPERTY LINE
 - - - EXISTING CURB & GUTTER
 - PROPOSED HYDRANT
 - NEW SD MH
 - ▭ NEW CUR INLET TYPE 'C'
 - EXISTING SAS MH
 - EXISTING GATE VALVE
 - - - EXISTING WATERLINE
 - - - EXISTING SAS
 - - - RETAINING WALL
 - - - WATER BLOCK

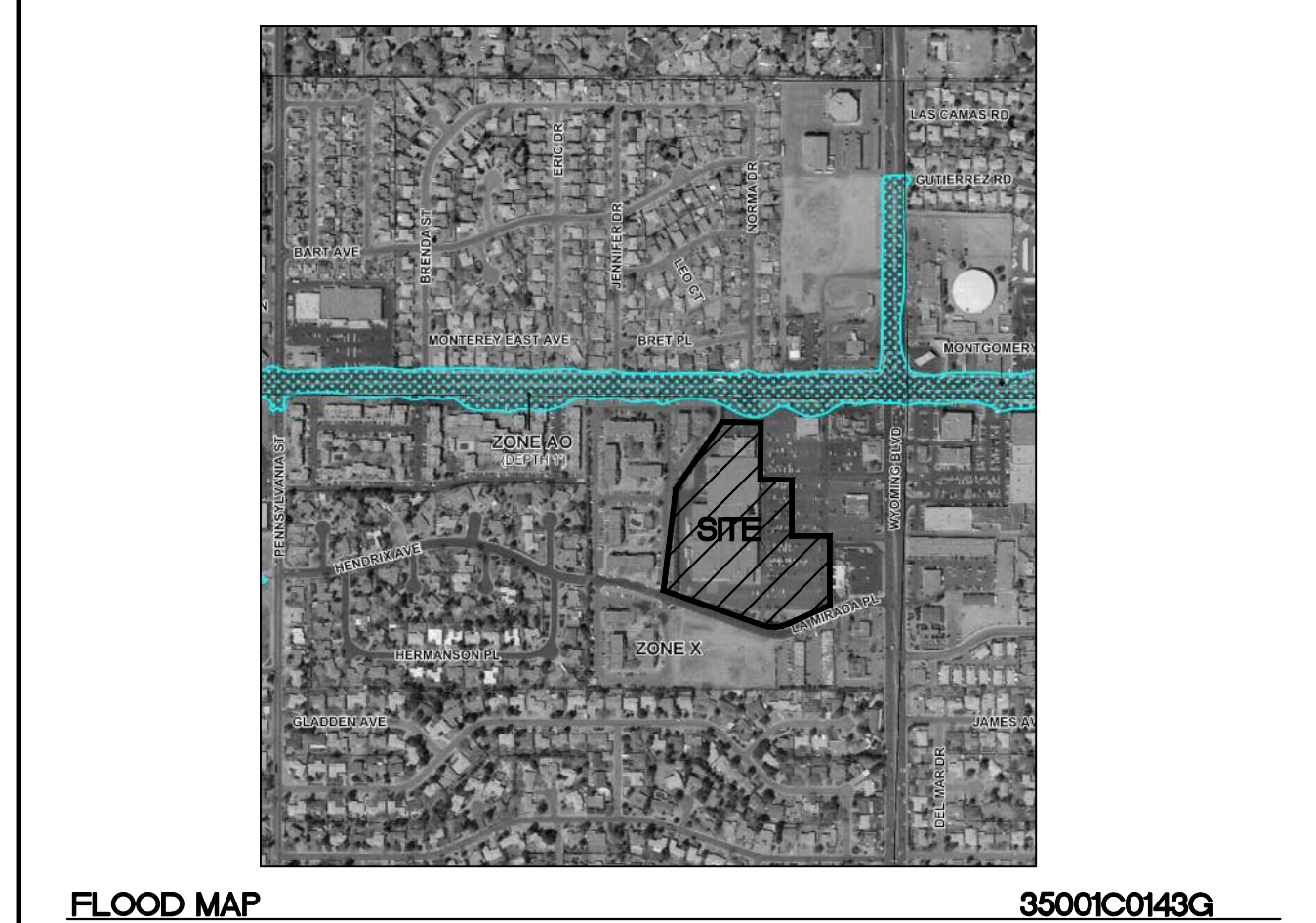
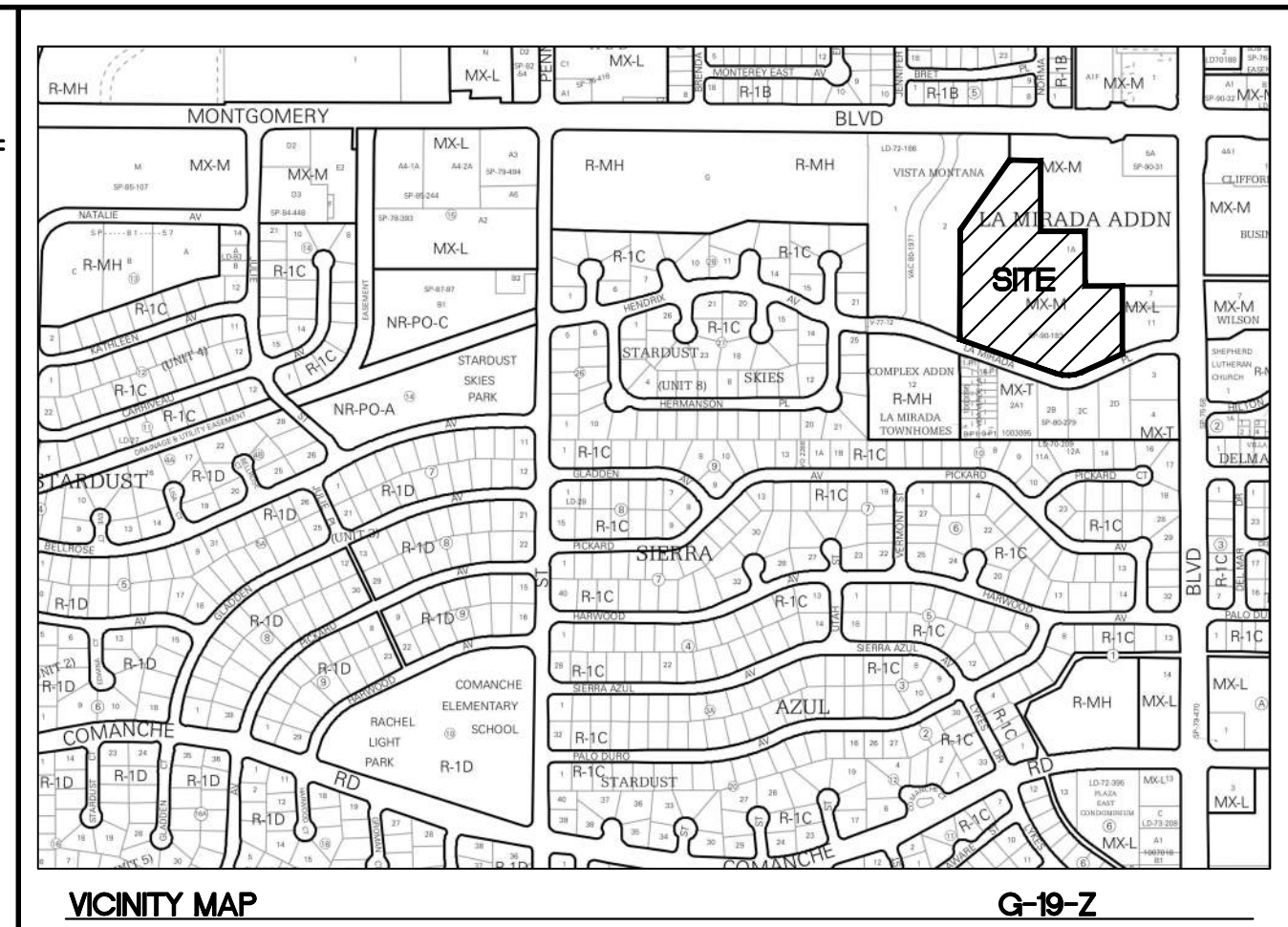
- NOTICE TO CONTRACTORS**
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
 2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HERON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
 3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 785-1234, FOR LOCATION OF EXISTING UTILITIES.
 4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
 5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
 6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
 7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

- EROSION CONTROL NOTES:**
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
 2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
 3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
 4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
 5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.
 6. ALL SLOPES NOT STABILIZED AT THE END OF THE PROJECT SHALL BE STABILIZED IN ACCORDANCE WITH COA SPECS OR 3" GRAVEL.

NOTE - ADD 5400 TO ALL ELEVATIONS

NOT FOR CONSTRUCTION

CAUTION
 ALL EXISTING UTILITIES WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS. PRIOR TO STARTING THE WORK, ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



Channel Capacity

Weir Equation:

$$Q = CLH^{3/2}$$

Q = Flow
 C = 2.95
 L = Length of weir
 H = Height of Weir

Off Site Curb Opening

$$Q = 2.95 * 20 * 0.50^{3/2}$$

$$Q = 20.86 \text{ cfs} < Q = 13.39 \text{ cfs}$$

Pond Concrete Channel

$$Q = 2.95 * 6 * 0.50^{3/2}$$

$$Q = 6.26 \text{ cfs}$$

Park Curb Opening

$$Q = 2.95 * 2 * 0.50^{3/2}$$

$$Q = 2.09 \text{ cfs} < Q = 1.55 \text{ cfs}$$

Detention Pond Opening

$$Q = 2.95 * 14 * 0.67^{3/2}$$

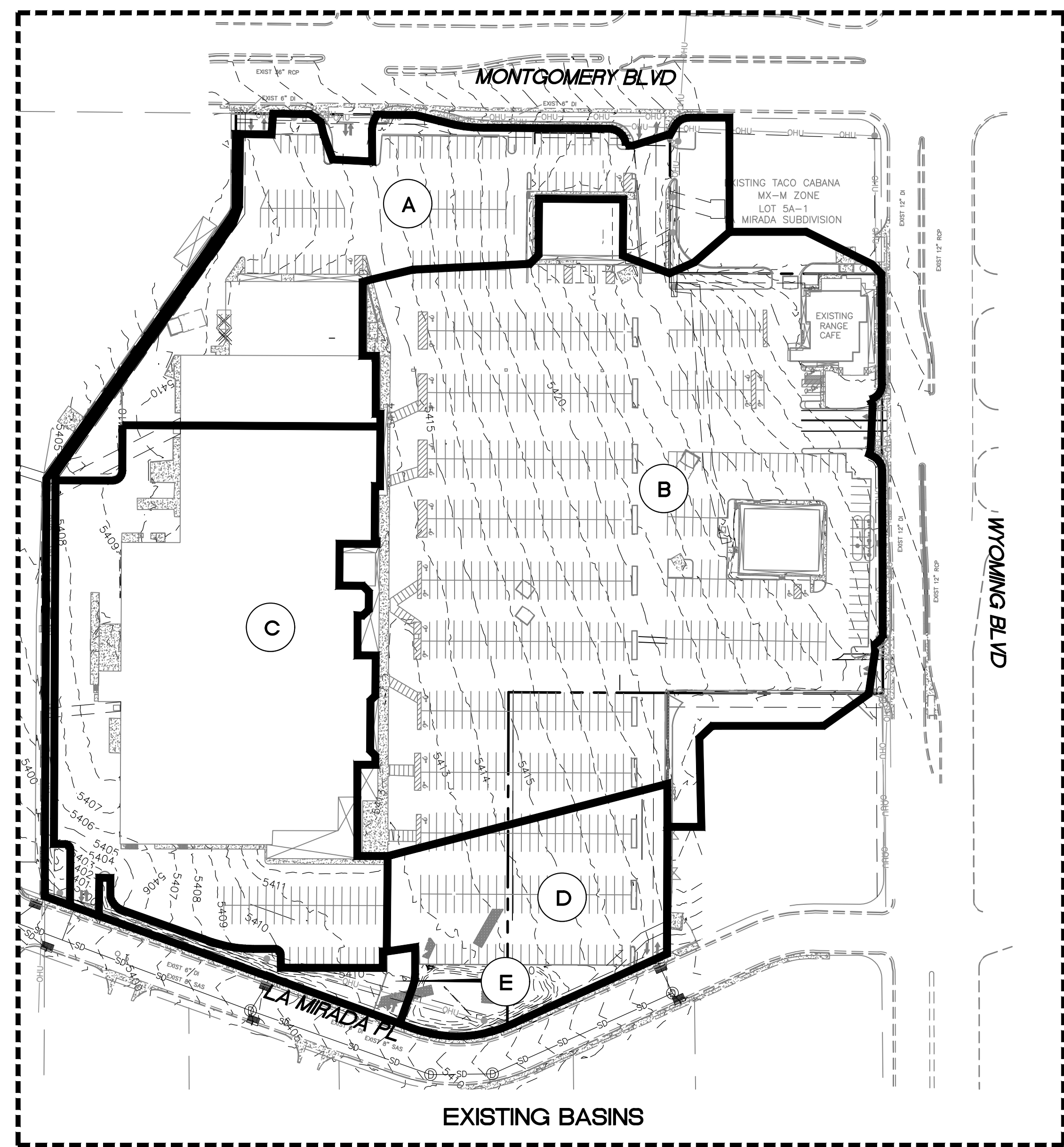
$$Q = 22.66 \text{ cfs} < Q = 22.66 \text{ cfs}$$

City of Albuquerque
 Planning Department
 Development Review Services
HYDROLOGY SECTION
PRELIMINARY APPROVED
 DATE: 08/04/21
 BY: *Renee C. Brantley*
 HydroTrans # G19D004

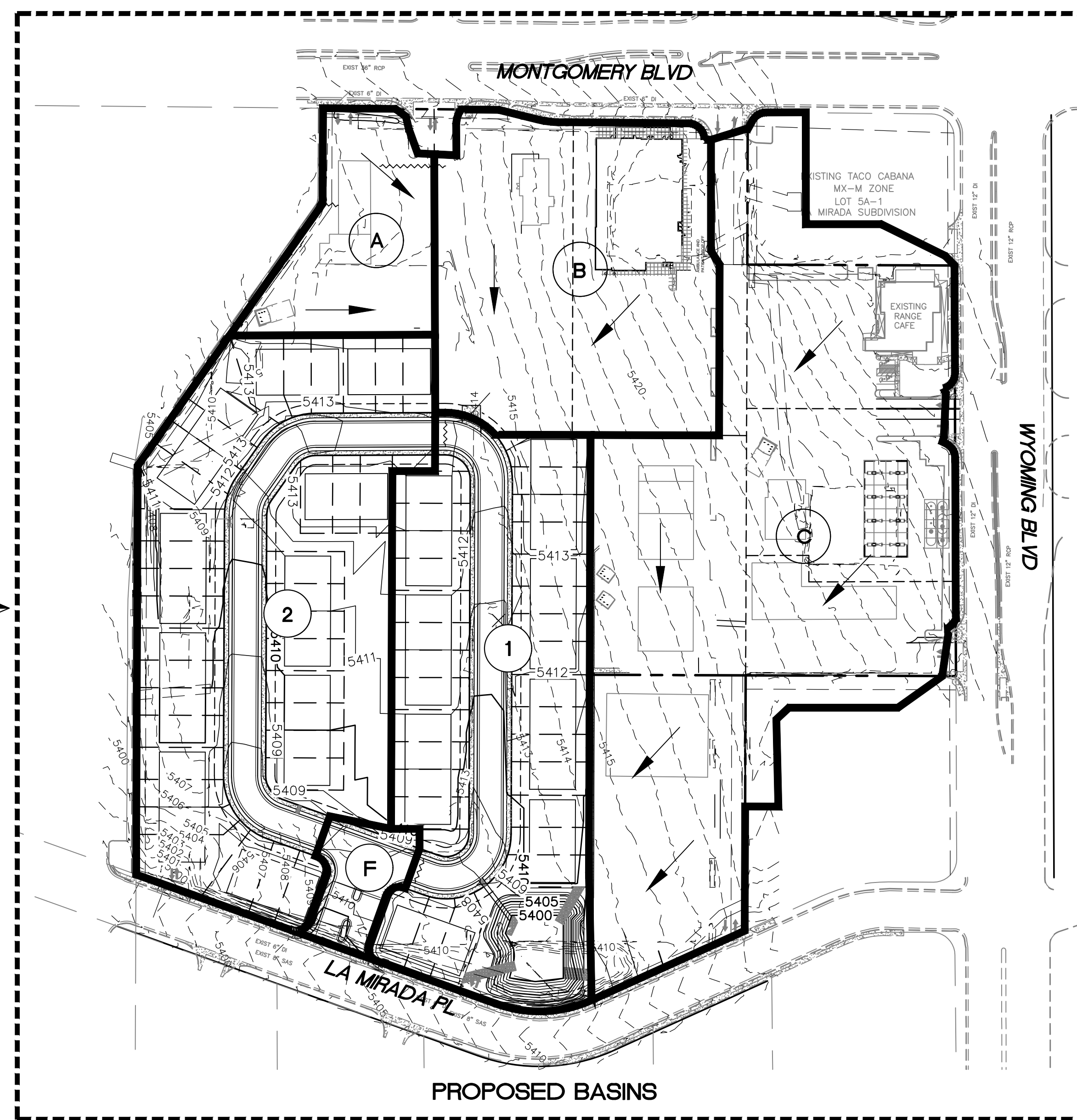
THESE PLANS AND/OR REPORT ARE CONFIDENTIAL. MORE INFORMATION MAY BE NEEDED IN THEM AND SUBMITTED TO HYDROLOGY FOR BUILDING PERMIT APPROVAL.

RESIDENTIAL TO BE REVIEWED UNDER SEPARTE WORK ORDER

ENGINEER'S SEAL NOT FOR CONSTRUCTION 8-4-21 RONALD R. BOHANNAN P.E. #7868	THE WYMONT ALBUQUERQUE, NM CONCEPTUAL GRADING AND DRAINAGE PLAN	DRAWN BY pm DATE 8-4-21 DRAWING
	TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # GR-1 JOB # 2021008



EXISTING BASINS



PROPOSED BASINS

EXISTING DRAINAGE:

THIS SITE IS CURRENTLY VACANT SHOPPING CENTER AND IS LOCATED ON THE SOUTHWEST CORNER OF WYOMING BOULEVARD AND MONTGOMERY BOULEVARD. THE SITE IS BOUNDED BY ROADS ON THE NORTH, SOUTH AND EAST SIDE AND A MULTIFAMILY DEVELOPMENT ON THE WEST SIDE AND CONTAINS APPROXIMATELY 15.69 ACRES. THE SITE DRAINS FROM EAST TO WEST WITH MOST OF IT DRAINING ONTO AN EXISTING DETENTION POND. THE REMAINDER OF THE SITE DRAINS INTO AN EXISTING DROP INLET LOCATED AT THE SOUTHWEST ENTRANCE. ACCORDING TO AN APPROVED GRADING AND DRAINAGE PLAN (G-19/D4) COMPLETED BY JEFF MORTENSEN AND ASSOCIATES THE EXISTING POND MAY BE ELIMINATED AND ALL FLOW DISCHARGED TO THE EXISTING STORM SEWER IN HENDRIX AVENUE. THOSE IMPROVEMENTS WERE NEVER COMPLETED AND THE POND HAS REMAINED IN PLACE. BASED ON THE REVISED DRAINAGE VALUES IN THE CURRENT DPM THE TOTAL FLOW DISCHARGED FROM THIS SITE IS 68.15 CFS. THE SITE IS NOT LOCATED WITHIN A FLOOD PLAIN AS SHOWN ON THE FIRM MAP. THERE ARE NOT OFFSITE FLOWS THAT ENTER THE SITE.

PROPOSED DRAINAGE:

THE SITE IS BEING SUBDIVIDED INTO A COMMERCIAL CENTER AND A RESIDENTIAL NEIGHBORHOOD. EACH AREA IS DIVIDED INTO THREE BASINS. BASINS "A" AND "B" WILL DRAIN THROUGH THE RESIDENTIAL SUBDIVISION THROUGH AN EMERGENCY ACCESS LOCATED AT THE NORTHEAST CORNER OF THE RESIDENTIAL AREA. BASIN "C" WILL DRAIN TO A PROPOSED DRAINAGE CHANNEL LOCATED ON THE WEST SIDE OF THE RESIDENTIAL AREA. ALL FLOWS FROM THE COMMERCIAL CENTER WILL BE CONVEYED TO A WATER QUALITY POND LOCATED AT THE SOUTHEAST CORNER OF THE RESIDENTIAL AREA. TOTAL OFF-SITE FLOWS PASSING THROUGH THE RESIDENTIAL AREA IS 30.88 CFS. EACH OF THE COMMERCIAL PARCELS WILL BE REQUIRED TO SUBMIT A GRADING PLAN FOR BUILDING PERMIT THAT FOLLOWS THIS OVERALL DRAINAGE SCHEME.

THE RESIDENTIAL SUBDIVISION WILL ALSO DRAIN TO THE WATER QUALITY POND VIA SURFACE FLOWS AND VIA A STORM SEWER. A SMALL AREA, SHOWN AS BASIN 3 WILL DRAIN DIRECTLY TO HENDRIX AVENUE. DUE TO THE GRADES BETWEEN HENDRIX AVENUE AND THE SUBDIVISION THERE IS NO WAY TO CAPTURE THIS FLOW AND IT BASICALLY FOLLOWS THE SAME DRAINAGE PATTERN AS IT CURRENTLY DOES. THIS FLOW (1.16 CFS) IS CAPTURED IN EXISTING DROP INLETS IN HENDRIX AVENUE.

THE WATER QUALITY POND IS SIZED TO CONTAIN THE REQUIRED VOLUME FROM THE COMMERCIAL BASINS AS WELL AS THE RESIDENTIAL BASINS. BASED ON CURRENT REQUIREMENTS THE POND WILL RETAIN A VOLUME OF 0.28 AC-FT. AN OUTLET WILL BE PROVIDED IN THE POND AND CONNECTED TO THE EXISTING STORM SEWER IN HENDRIX AVENUE.

THE TOTAL FLOW DISCHARGED TO THE HENDRIX AVENUE STORM SEWER WILL BE 58.75 CFS WHICH IS 9.40 CFS LESS THAN WHAT IS CURRENTLY DISCHARGED TO THAT SYSTEM.

Weighted E Method

Existing Basins																
Basin	Area (sf)	Area (acres)	Treatment A		Treatment B		Treatment C		Treatment D		100-Year			10-Year		
			%	(acres)	%	(acres)	%	(acres)	%	(acres)	Weighted E (in)	Volume (ac-ft)	Flow cfs	Weighted E (in)	Volume (ac-ft)	Flow cfs
A	114,831	2.64	0%	0	7%	0.18	0%	0.00	93%	2.45	2.460	0.540	11.47	1.549	0.340	7.09
B	314,923	7.23	0%	0	5%	0.36	0%	0.00	95%	6.87	2.494	1.503	31.74	1.575	0.949	19.69
C	178,480	4.10	0%	0	0%	0.00	0%	0.00	100%	4.10	2.580	0.881	18.40	1.640	0.560	11.51
D	57,852	1.33	0%	0	21%	0.28	0%	0.00	79%	1.05	2.219	0.246	5.41	1.367	0.151	3.25
E	9,747	0.22	0%	0	0%	0.00	100%	0.22	0%	0.00	1.090	0.020	0.71	0.520	0.010	0.38
F	7,497	0.17	0%	0	100%	0.17	0%	0.00	0%	0.00	0.860	0.012	0.43	0.340	0.005	0.18
		15.69									3.202	68.15				

Proposed Basins																
Basin	Area (sf)	Area (acres)	Treatment A		Treatment B		Treatment C		Treatment D		100-Year			10-Year		
			%	(acres)	%	(acres)	%	(acres)	%	(acres)	Weighted E (in)	Volume (ac-ft)	Flow cfs	Weighted E (in)	Volume (ac-ft)	Flow cfs
OF-1	36,043	0.83	0%	0	15%	0.12	0%	0.00	85%	0.70	2.322	0.160	3.47	1.445	0.100	2.11
OF-2	103,118	2.37	0%	0	15%	0.36	0%	0.00	85%	2.01	2.322	0.458	9.92	1.445	0.285	6.03
OF-3	235,576	5.41	0%	0	15%	0.81	0%	0.00	85%	4.60	2.322	1.046	22.66	1.445	0.651	13.79
1	124,083	2.85	0%	0	60%	1.71	0%	0.00	40%	1.14	1.548	0.367	9.37	0.860	0.204	5.03
2	172,427	3.96	0%	0	57%	2.26	0%	0.00	43%	1.70	1.600	0.528	13.26	0.899	0.297	7.20
Park	27,059	0.62	0%	0	100%	0.62	0%	0.00	0%	0.00	0.860	0.045	1.55	0.340	0.018	0.66
3	11,833	0.27	0%	0	10%	0.03	0%	0.00	90%	0.24	2.408	0.055	1.17	1.510	0.034	0.72
		15.68									10.40	2.614	59.84			

Equations:

Weighted E = $E_a \cdot A_a + E_b \cdot A_b + E_c \cdot A_c + E_d \cdot A_d$ / (Total Area)

Volume = Weighted E * Total Area

Flow = $Q_a \cdot A_a + Q_b \cdot A_b + Q_c \cdot A_c + Q_d \cdot A_d$

Water Quality Calculation: $0.26'' \times 10.40 \text{ ac} = 9,816 \text{ cubic feet (0.225 ac-ft)}$

Excess Precipitation, E (inches)			Peak Discharge (cfs/acre)		
Zone 3	100-Year	10-Year	Zone 3	100-Year	10-Year
E_a	0.67	0.18	Q_a	1.84	0.51
E_b	0.86	0.34	Q_b	2.49	1.07
E_c	1.09	0.52	Q_c	3.17	1.69
E_d	2.58	1.64	Q_d	4.49	2.81

Pipe Capacity

Pipe	D (in)	Slope (%)	Area (ft ²)	R	Q Provided (cfs)	Q Required (cfs)	Velocity (ft/s)
1	18	0.80	1.77	0.375	9.42	6.63	3.75
2	18	0.80	1.77	0.375	9.42	6.63	3.75
3	24	0.80	3.14	0.500	20.29	13.26	4.22
4	18	0.80	1.77	0.375	9.42	8.25	4.67
5	18	0.80	1.77	0.375	9.42	8.25	4.67
6	30	0.80	4.91	0.625	36.79	29.76	6.06
7	30	0.70	4.91	0.625	34.41	29.76	6.06
8	24	7.00	3.14	0.500	60.01	59.85	19.05

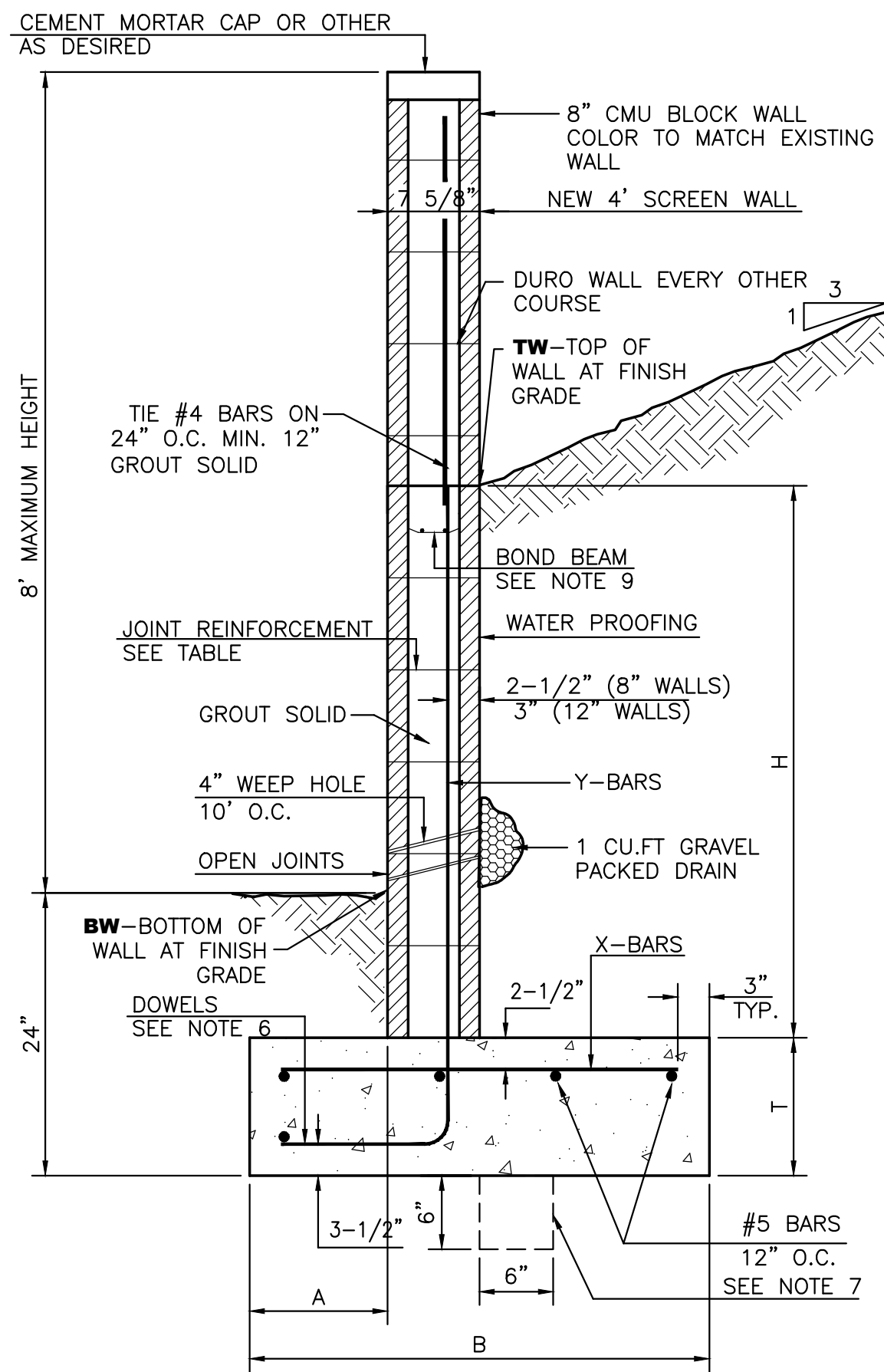
Manning's Equation:
 $Q = 1.49/n \cdot A \cdot R^{2/3} \cdot S^{1/2}$

- A = Area
- R = D/4
- S = Slope
- n = 0.013

NOT FOR CONSTRUCTION



ENGINEER'S SEAL NOT FOR CONSTRUCTION	THE WYMONT ALBUQUERQUE, NM	DRAWN BY pm
	CONCEPTUAL GRADING AND DRAINAGE PLAN	DATE 8-4-21
	TERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierawestllc.com	DRAWING
		SHEET # GR-3
RONALD R. BOHANNAN P.E. #7868		JOB # 2021008



RETAINING WALL DETAIL
NTS

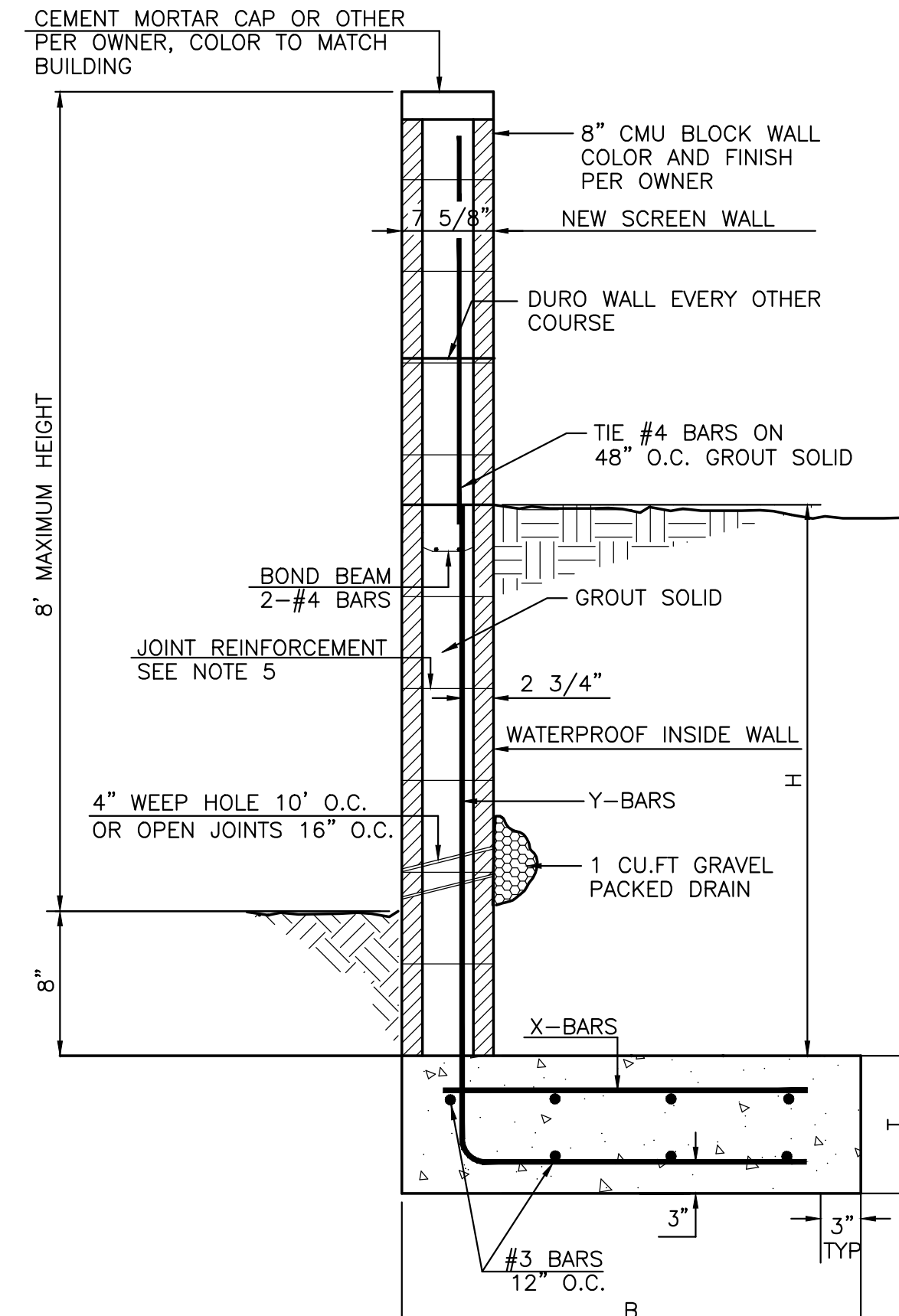
8 INCH REINFORCED CONCRETE MASONRY WALL

H	A	B	T	Y-BARS	X-BARS
ft.-in.	in.	ft.-in.	in.		
2'-0"	8"	2'-0"	9"	#4 @32" O.C.	#4 @24" O.C.
2'-8"	8"	2'-0"	9"	#4 @32" O.C.	#4 @24" O.C.
3'-4"	8"	2'-4"	9"	#4 @32" O.C.	#4 @24" O.C.
4'-0"	10"	2'-8"	9"	#4 @32" O.C.	#4 @24" O.C.
4'-8"	12"	3'-4"	10"	#5 @32" O.C.	#4 @18" O.C.
5'-4"	14"	3'-10"	10"	#6 @16" O.C.	#4 @18" O.C.
6'-0"	16"	4'-8"	12"	#6 @8" O.C.	#4 @12" O.C.

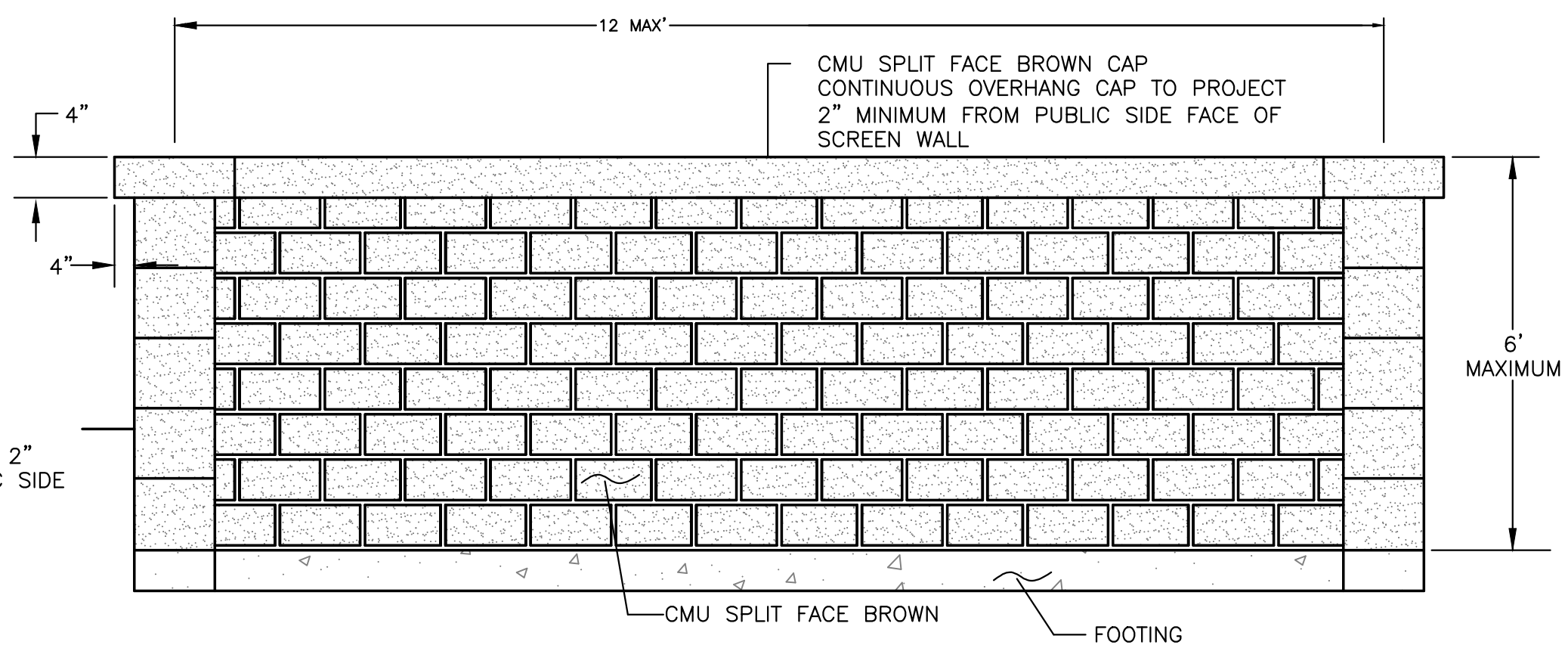
12 INCH REINFORCED CONCRETE MASONRY WALL

H	A	B	T	Y-BARS	X-BARS
ft.-in.	in.	ft.-in.	in.		
5'-4"	14"	3'-8"	10"	#6 @18" O.C.	#4 @24" O.C.
6'-0"	15"	4'-2"	12"	#4 @16" O.C.	#4 @18" O.C.
6'-8"	16"	4'-6"	12"	#6 @24" O.C.	#5 @18" O.C.
7'-4"	18"	4'-10"	12"	#6 @16" O.C.	#5 @18" O.C.
8'-0"	20"	5'-4"	12"	#7 @18" O.C.	#6 @12" O.C.
8'-8"	20"	5'-8"	12"	#7 @16" O.C.	#6 @12" O.C.

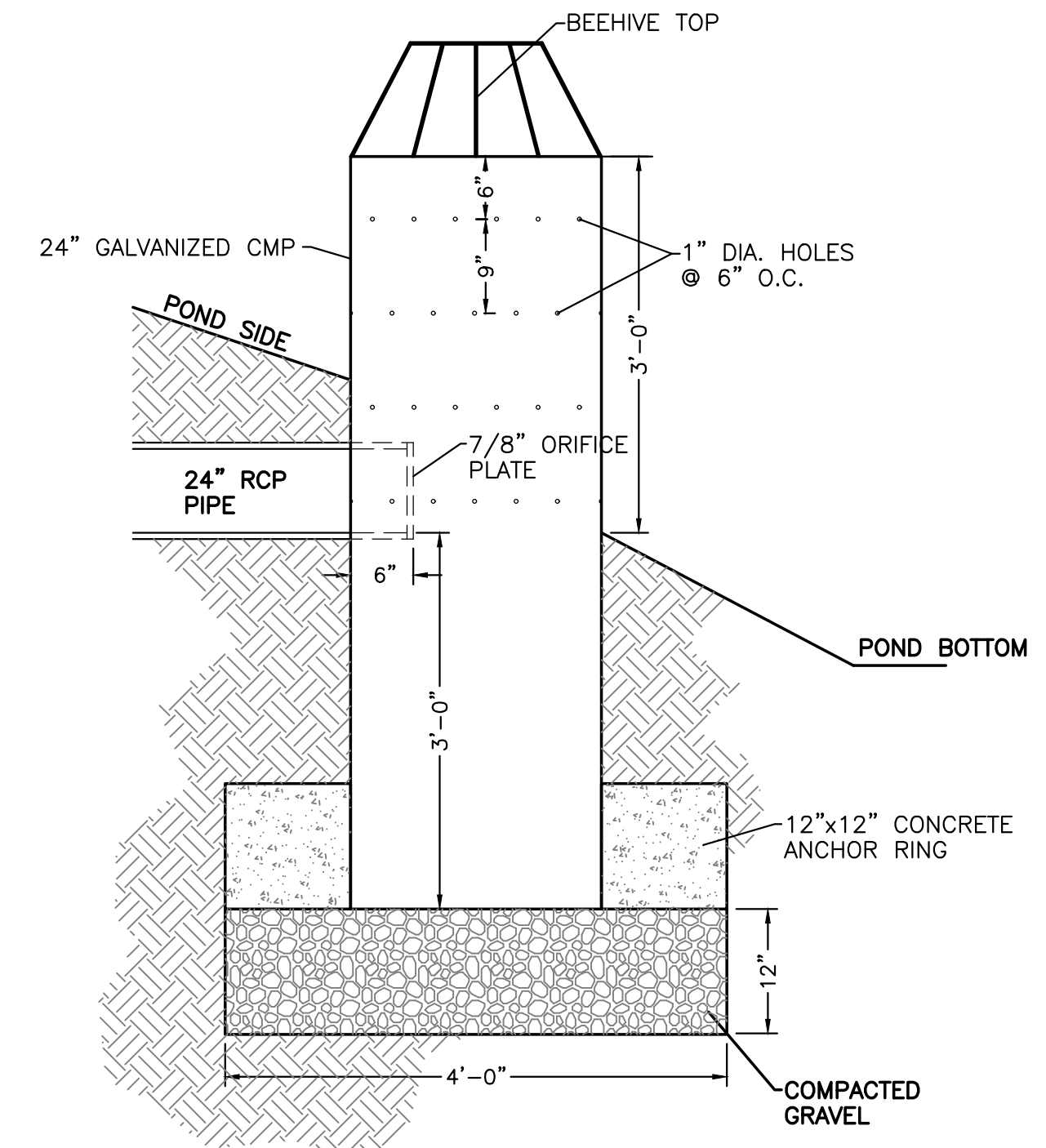
- GENERAL NOTES:**
- ALL CONCRETE IS TO BE 4000 PSI @ 28 DAYS.
 - MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
 - BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
 - ALL BARS ARE TO BE GRADE 60, ASTM 615.
 - TRUSS TYPE DURO-WALL EVERY OTHER COURSE.
 - DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO Y-BARS. SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
 - PROVIDE KEY FOR 8" AND 12" WALLS WHERE H EXCEEDS 6'-0"
 - USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 16'.
 - BOND BEAM, 1-#4 BARS FOR WALLS UNDER 3'-4", 2-#4 BARS FOR WALLS UNDER 5'-4", 2-#5 BARS FOR WALLS OVER 5'-4".



'L' FOOTING RETAINING WALL DETAIL
NTS



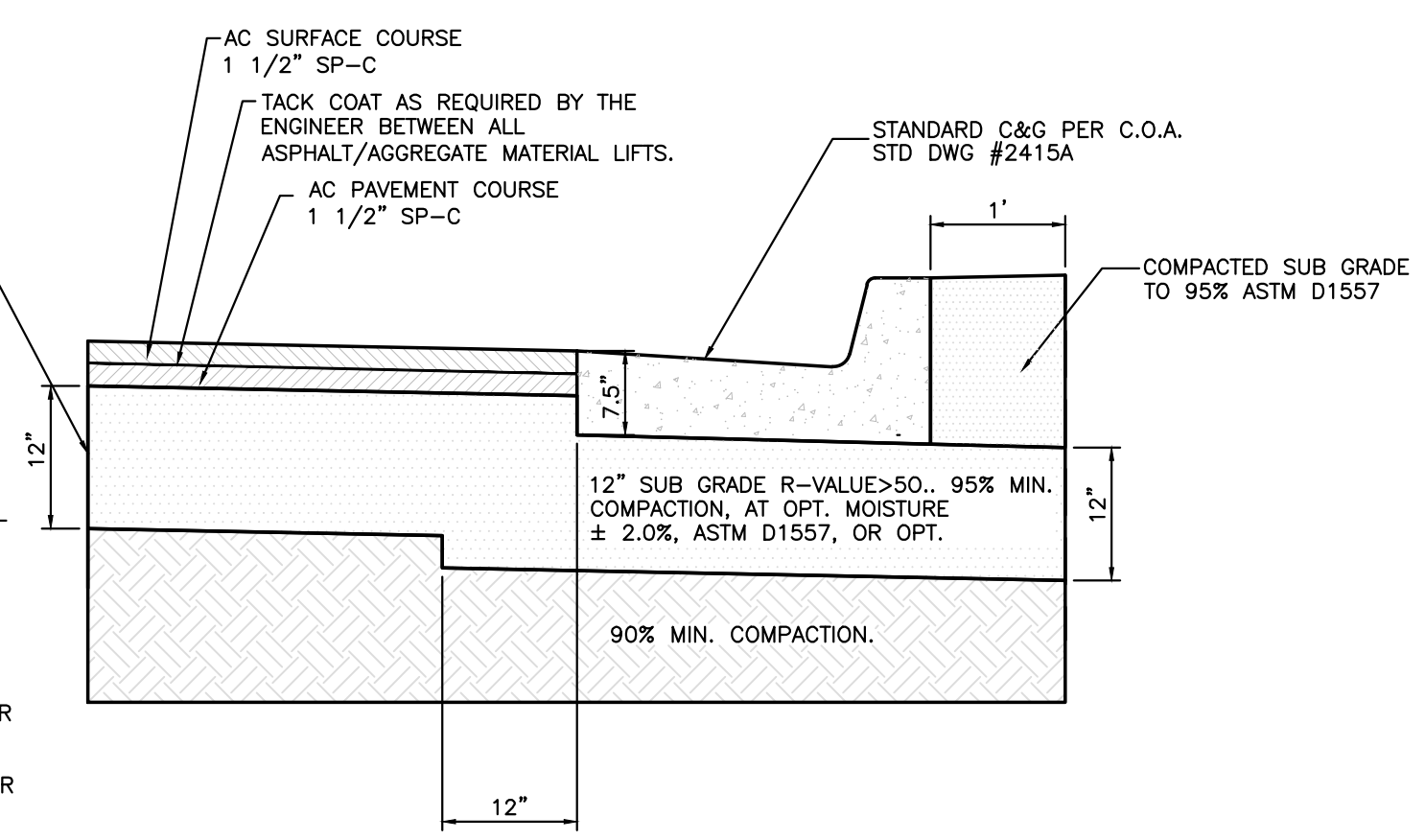
SCREENWALL/RETAINING WALL-ELEVATION FOR STREET FACING WALL
NTS



OUTFALL DETAIL
NTS

FINISH SURFACE OF SUB GRADE SHALL BE MOISTURE CONTROLLED AT COMPACTION MOISTURE RANGE, OR PRIME COAT APPLIED AS REQUIRED BY THE ENGINEER UNTIL NEXT/FINAL SURFACE IS COMPLETED. SUB GRADE PREPARATION SHALL BE PERFORMED AFTER ALL SUBSURFACE R/W UTILITIES CONSTRUCTION IS COMPLETED.

1' SURGED SOIL, R-VALUE>50. PLACED IN 2-6" COMPACTED LIFTS. 95% MIN. COMPACTION, AT OPT. MOISTURE ± 2.0%, ASTM D1557, OR OPT. MOISTURE, TO +4%, ASTM D698 FOR SOIL W/35% OR MORE MATERIAL PASSING THE NO. 200 SIEVE. SOIL NOT HAVING THE MIN. R-VALUE OF 50, SHALL BE REMOVED TO A DEPTH OF 2 FEET AND REPLACED BY THE CONTRACTOR WITH SUITABLE MATERIAL OR A PAVEMENT SHALL BE DESIGNED BY TIERRA WEST, LLC ACCOMMODATING THE EXISTING R-VALUE PER C.O.A. STANDARD SPECIFICATIONS.



TYPICAL PAVING SECTION (LOCAL RESIDENTIAL)
NTS

Street Capacity Calculations

28' F-F Street Section with 6" curb
Slope= 0.01

For water depths less than 0.125 feet
Y= Water depth
Area = 8*Y^2
P= SQRT(257*Y^2) + Y
n= 0.017

Depth (ft)	Area (ft^2)	P (ft)	R (A/P)	Q (cfs)	2Q (cfs)	Vel (ft/s)	D*V	Fr	D2 (ft)
0.01	0.00	0.17	0.00	0.00	0.00	0.25	0.00	0.43	0.00
0.02	0.00	0.34	0.01	0.00	0.00	0.39	0.01	0.48	0.01
0.04	0.01	0.68	0.02	0.01	0.02	0.62	0.02	0.54	0.02
0.06	0.03	1.02	0.03	0.02	0.05	0.81	0.05	0.58	0.03
0.08	0.05	1.36	0.04	0.05	0.10	0.98	0.08	0.61	0.04
0.10	0.08	1.70	0.05	0.09	0.18	1.14	0.11	0.63	0.05
0.12	0.12	2.04	0.06	0.15	0.30	1.29	0.15	0.65	0.07
0.13	0.13	2.13	0.06	0.17	0.33	1.32	0.17	0.66	0.07

For water depths greater than 0.125 ft but less than 0.280 ft
Y1= Y-0.125
A2= A1 + 2*Y1 + 25*Y1^2
P2= P1 + SQRT(2501*Y1^2)+Y1

Depth (ft)	Area (ft^2)	P (ft)	R (A/P)	Q (cfs)	2Q (cfs)	Vel (ft/s)	D*V	Fr	D2 (ft)
0.13	0.14	2.38	0.06	0.18	0.35	1.29	0.17	0.63	0.07
0.14	0.16	2.89	0.06	0.20	0.41	1.27	0.18	0.60	0.07
0.16	0.23	3.91	0.06	0.29	0.59	1.30	0.21	0.57	0.07
0.20	0.42	5.95	0.07	0.62	1.23	1.48	0.30	0.58	0.09
0.24	0.69	8.00	0.09	1.17	2.33	1.70	0.41	0.61	0.12
0.28	1.04	10.04	0.10	1.99	3.98	1.92	0.54	0.64	0.15

For water depths greater than 0.280 ft but less than 0.500 ft
Y2= Y - 0.280
A3= A2 + Y2*14
P3= P2 + Y2

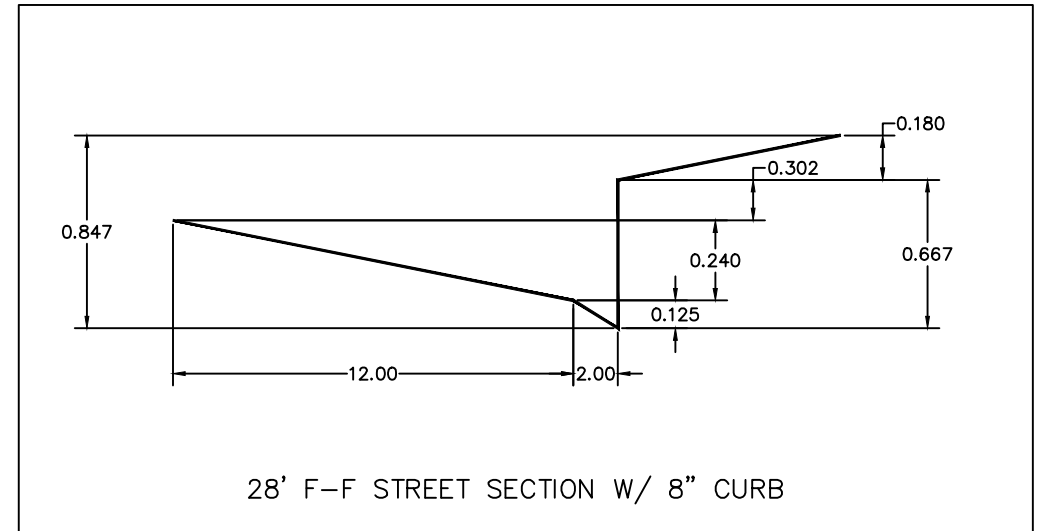
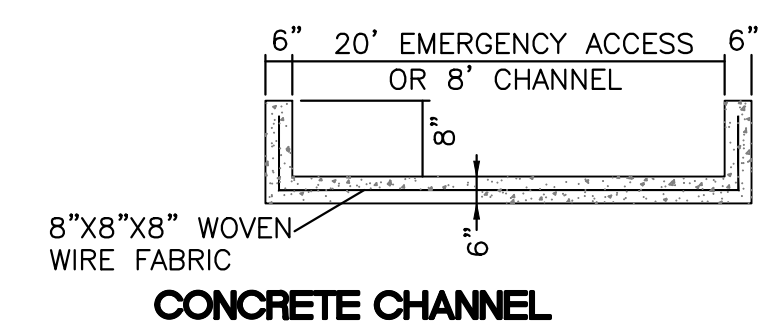
Depth (ft)	Area (ft^2)	P (ft)	R (A/P)	Q (cfs)	2Q (cfs)	Vel (ft/s)	D*V	Fr	D2 (ft)
0.300	1.32	10.06	0.13	2.96	5.93	2.25	0.68	0.72	0.19
0.330	1.74	10.09	0.17	4.69	9.39	2.70	0.89	0.83	0.26
0.359	2.14	10.11	0.21	6.63	13.26	3.10	1.11	0.91	0.32
0.360	2.15	10.12	0.21	6.69	13.39	3.11	1.12	0.91	0.32
0.370	2.30	10.13	0.23	7.46	14.92	3.25	1.20	0.94	0.34
0.418	2.96	10.17	0.29	11.38	22.76	3.84	1.60	1.05	0.44
0.455	3.49	10.21	0.34	14.90	29.80	4.27	1.94	1.12	0.53
0.485	3.90	10.24	0.38	17.93	35.87	4.59	2.23	1.16	0.59
0.500	4.12	10.26	0.40	19.57	39.15	4.76	2.38	1.19	0.62

For water depths greater than 0.500 ft but less than 0.68 ft
Y3= Y - 0.500
A4= A3 + 14 * Y3 + 25 * Y3^2
P4= P3 + SQRT(2501 * Y3^2)

Depth (ft)	Area (ft^2)	P (ft)	R (A/P)	Q (cfs)	2Q (cfs)	Vel (ft/s)	D*V	Fr	D2 (ft)
0.55	4.88	12.76	0.38	22.47	44.93	4.61	2.53	1.09	0.62
0.58	5.31	14.01	0.38	24.28	48.57	4.58	2.63	1.06	0.62
0.60	5.77	15.26	0.38	26.34	52.69	4.57	2.74	1.04	0.63
0.63	6.26	16.51	0.38	28.64	57.28	4.58	2.86	1.02	0.64
0.65	6.78	17.76	0.38	31.18	62.35	4.60	2.99	1.01	0.65
0.68	7.45	19.26	0.39	34.54	69.08	4.64	3.15	0.99	0.67



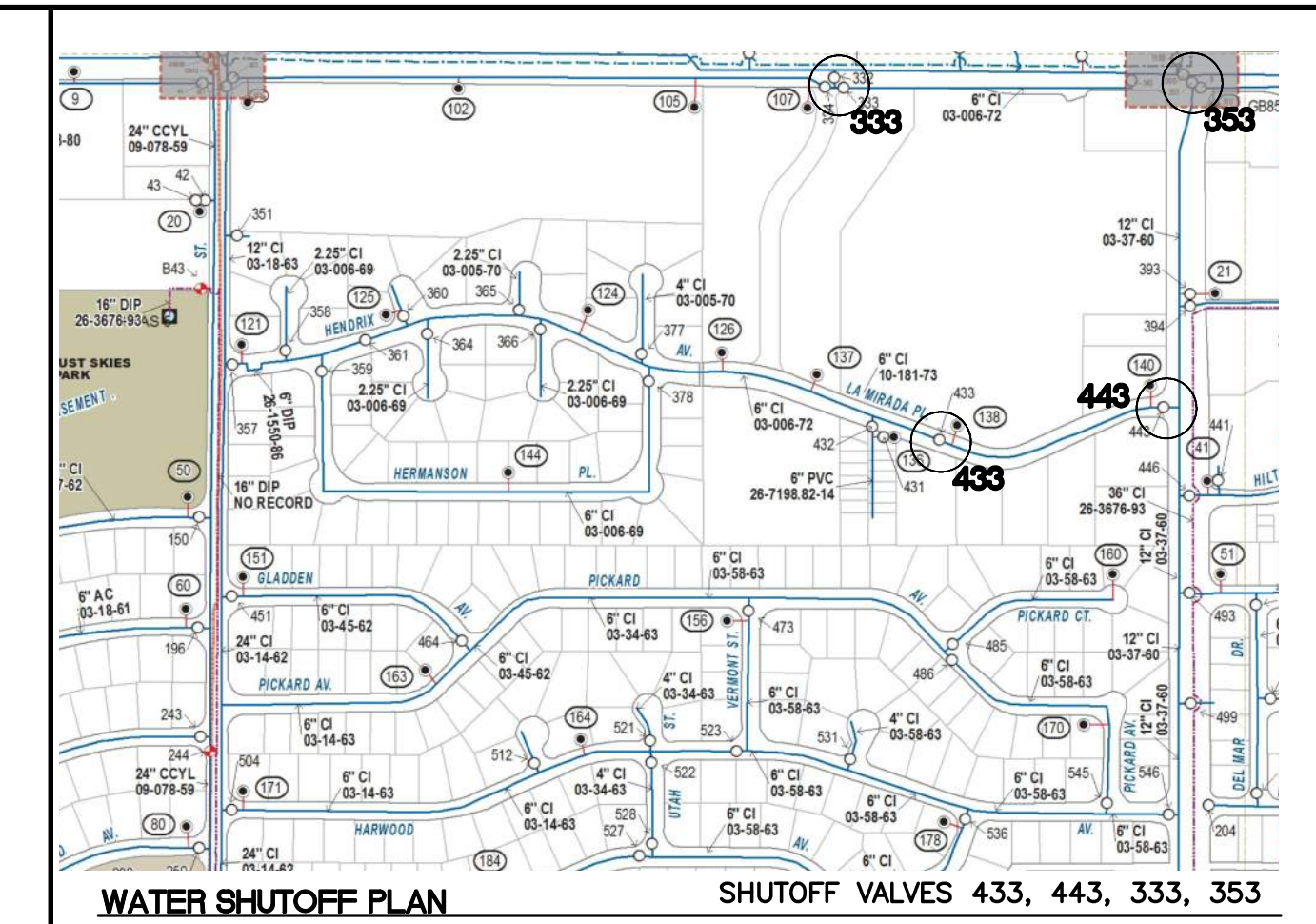
NOT FOR CONSTRUCTION



ENGINEER'S SEAL NOT FOR CONSTRUCTION 8-4-21 RONALD R. BOHANNAN P.E. #7868	THE WYMONT ALBUQUERQUE, NM GRADING DETAILS	DRAWN BY pm DATE 8-4-21 DRAWING
	TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # GR-4 JOB # 2021008

LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- BUILDING
- EXISTING CURB & GUTTER
- 8" SAS
- 8" WL
- PROPOSED HYDRANT
- NEW SAS MH
- NEW WATER METER
- EXISTING SAS MH
- EXISTING GATE VALVE
- EXISTING WATERLINE
- EXISTING SAS



THE CONTRACTOR SHALL COORDINATE WITH THE WATER AUTHORITY SEVEN (7) DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER INFRASTRUCTURE. WORK REQUIRING SHUTOFF OF FACILITIES DESIGNATED AS MASTER PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY 14 DAYS IN ADVANCE OF PERFORMING SUCH WORK. ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES. SHUTOFF REQUESTS MUST BE MADE ONLINE AT [HTTP://ABCWUA.ORG/CONTENT/VIEW/463/729/](http://abcwua.org/content/view/full/463/729/).

GENERAL UTILITY NOTES:

1. ALL WATER AND SEWER UTILITY WORK TO BE DONE IN ACCORDANCE WITH COA STANDARDS AND SPECIFICATIONS LATEST EDITION.
2. 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
3. REFERENCE PLUMBING PLANS FOR WATER LINE RISER LOCATIONS. BACKFLOW PREVENTOR LOCATED INSIDE BUILDING
4. CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS AT LOCATIONS INDICATED AND AT MID RUN IF LONGER THAN 100'
5. ALL PLUMBING PIPE MATERIAL TO BE USED PER UPC.
6. FIRE LINE AND DOMESTIC WATERLINE MUST HAVE BACKFLOW PREVENTORS PER UPC. TO BE PROVIDED IN THE BUILDING
7. ALL EX. SD INLETS AND MH'S SHALL HAVE CONCRETE COLLARS POURED AND BE ADJUSTED TO FINISHED GRADE.
8. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
9. ALL UTILITY DISTANCES SHOWN ARE FOR REFERENCE ONLY.
10. PNM HAS NUMEROUS ELECTRIC FACILITIES AT THIS SITE CURRENTLY SERVING EXISTING CUSTOMERS. THE APPLICANT SHALL COORDINATE WITH PNM REGARDING THESE EXISTING FACILITIES. ANY RELOCATION, CHANGES OR REALIGNMENT OF EXISTING ELECTRIC UTILITIES WILL BE THE DEVELOPER EXPENSE. IN SOME CASES, RELOCATION OR CHANGES TO EXISTING FACILITIES MAY NOT BE FEASIBLE DUE TO PHYSICAL, USE OR SAFETY CLEARANCE CONSTRAINTS.
11. PNM WILL REVIEW ALL TECHNICAL NEEDS, ISSUES AND SAFETY CLEARANCES FOR ITS ELECTRIC POWER SYSTEMS. ANY EXISTING AND PROPOSED PUBLIC UTILITY EASEMENTS SHALL BE INDICATED ON THE SITE PLAN UTILITY SHEET PRIOR TO DRB REVIEW. PNM'S STANDARD FOR PUBLIC UTILITY EASEMENTS IS 10 FEET IN WIDTH TO ENSURE ADEQUATE, SAFE CLEARANCES.
12. SCREENING SHALL BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET SURROUNDING ALL GROUND-MOUNTED UTILITIES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

INSPECTION NOTE

CONTRACTOR SHALL CONSULT THE LOCAL BUILDING DEPARTMENT OFFICIALS FOR ANY PLAN REVIEW, PERMITTING REQUIREMENTS OR BUILDING CODE INSPECTIONS THAT MAY BE REQUIRED TO ENFORCE LOCAL OR NATIONAL BUILDING CODES PRIOR TO CONSTRUCTING IMPROVEMENTS

KEYED NOTES

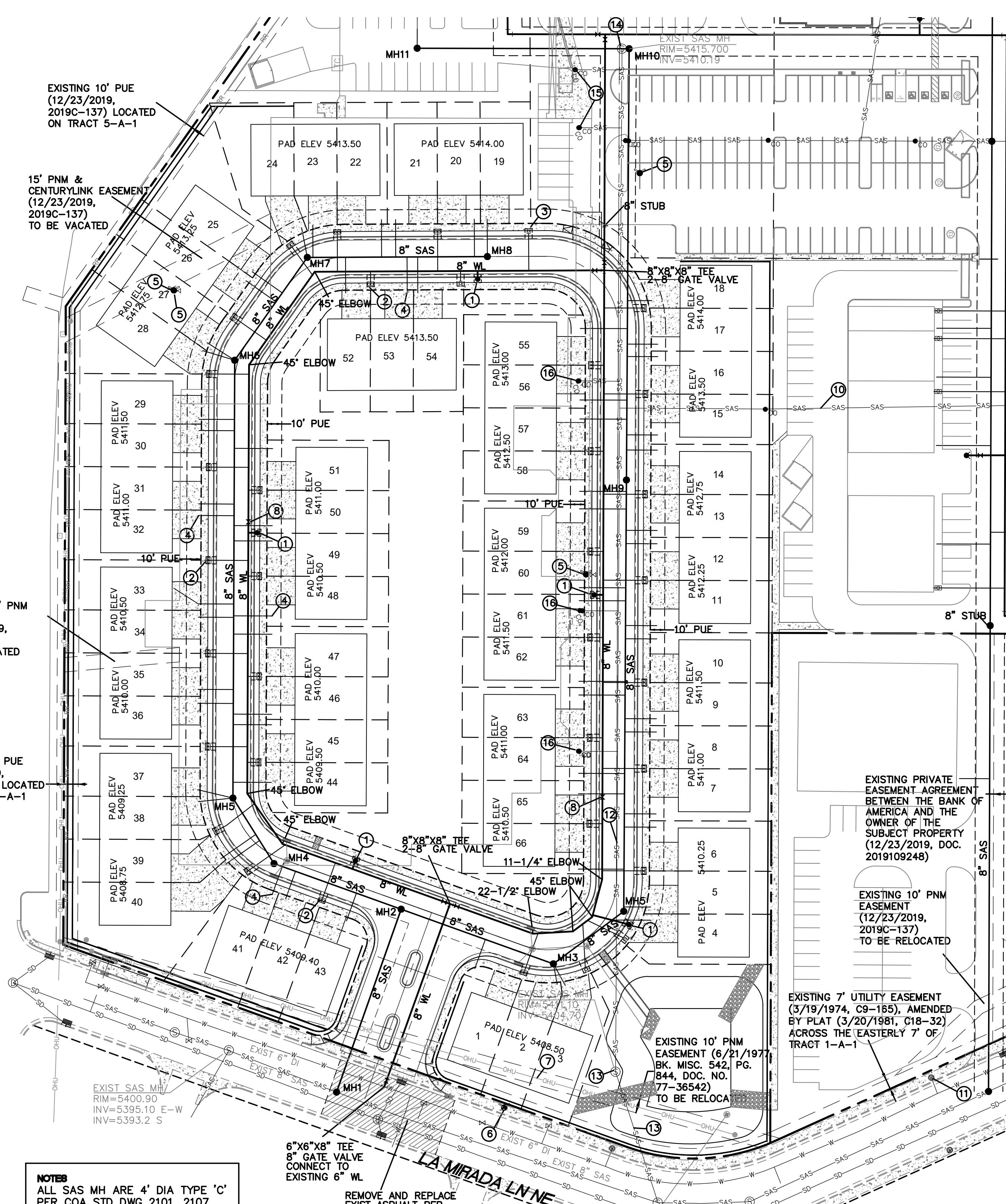
1. NEW FIRE HYDRANT PER COA STD DWG 2326, 2328, 2340 WITH 5' EASEMENT
2. DOUBLE 3/4" WATER METER (TYP) PER COA STD DWG 2366, 2368 WITH 5' EASEMENT
3. SINGLE 3/4" WATER METER (TYP) PER COA STD DWG 2366, 2368 WITH 5' EASEMENT
4. SAS SERVICE (TYP)
5. EXISTING FIRE HYDRANT TO BE REMOVED AND SALVAGED
6. EXISTING FIRE HYDRANT
7. EXISTING OVERHEAD POWER LINE TO BE RELOCATED
8. 8" GATE VALVE PER COA STD DWG 2326, 2329, 2461
9. EXISTING WATER METER
10. 354 LF OF EXISTING SAS LINE TO BE REMOVED
11. EXISTING WATER METER
12. EXISTING SAS LINE ABANDONED IN PLACE
13. EXISTING SAS LINE TO BE ABANDONED IN PLACE AFTER THE NEW SAS LINE IS INSTALLED. FILL WITH SOIL CEMENT
14. REMOVE AND DISPOSE EXISTING SAS MH
15. EXISTING CLEANOUT TO BE ABANDONED IN PLACE
16. REMOVE AND DISPOSE EXISTING CLEANOUT

SAS STRUCTURE TABLE

STRUCTURE	RIM	INV(IN)	INV(OUT)
MH1	5425.42	5395.70	5395.60
MH2	5408.00	5396.95	5396.85
MH3	5407.41	5398.38	5398.28
MH4	5407.05	5400.00	5399.90
MH5	5408.61	5398.89	5398.79
MH6	5411.43	5404.40	5404.30
MH7	5412.13	5405.44	5405.34
MH8	5412.71	---	5406.70
MH9	5411.26	5404.08	5403.98
MH10	5415.70	5408.72	5408.62
MH11	5414.30	---	5410.20

CAUTION

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



NOTES
ALL SAS MH ARE 4' DIA TYPE 'C' PER COA STD DWG 2101, 2107
ALL PRIVATE STREETS ARE UTILITY EASEMENTS

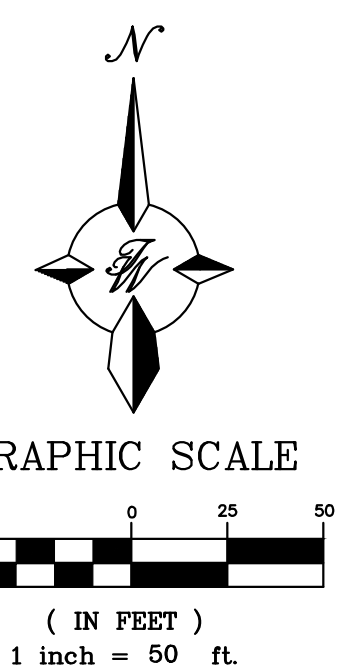
REMOVE AND REPLACE EXIST ASPHALT PER COA STD DWG 2465 ARTERIAL

EXISTING PRIVATE EASEMENT AGREEMENT BETWEEN THE BANK OF AMERICA AND THE OWNER OF THE SUBJECT PROPERTY (12/23/2019, DOC. 2019109248)

EXISTING 10' PNM EASEMENT (12/23/2019, 2019C-137) TO BE RELOCATED

EXISTING 7' UTILITY EASEMENT (3/19/1974, C9-165), AMENDED BY PLAT (3/20/1981, C18-32) ACROSS THE EASTERLY 7' OF TRACT 1-A-1

EXISTING 10' PNM EASEMENT (6/21/1977, BK. MISC. 542, PG. 844, DOC. NO. 77-36542) TO BE RELOCA



	WYMONT SUBDIVISION ALBUQUERQUE, NM	DRAWN BY pm
	MASTER UTILITY PLAN	DATE 9-22-21
	5571 MIDWAY PARK PL. NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # MU-1
		JOB # 2021008

INFRASTRUCTURE LIST

(Rev. 2-16-18)

EXHIBIT "A"

**TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

Date Site Plan Approved: _____
Date Preliminary Plat Approved: _____
Date Preliminary Plat Expires: _____
DRB Project No.: PR-2019-002309
DRB Application No.: SI-2021-00370

Wymont Place

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

Lots 1-A-1 and 5-A-1, La Mirada Subdivision (being composed of Lots 1-A and 5-A)

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed	Constructed Under	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
DRC #	DRC #								
TRANSPORTATION IMPROVEMENTS									
		28- F-F	Asphalt Pavement, Curb & Gutter (Private)	Wymont Circle	La Mirada Place NE	La Mirada Place NE	/	/	/
		5' Wide	Sidewalk (Private)	Wymont Circle	La Mirada Lane NE	La Mirada Place NE	/	/	/
		59' Wide	Access Driveway Plus ADA Ramps Full Access	La Mirada Place NE	203' East of Property Line	262' East of Property Line	/	/	/
			Street lights and appurtenances				/	/	/
WATER AND SANITARY SEWER IMPROVEMENTS									
		8"	Sanitary Sewer w/ necessary MH's & Services	Wymont Circle	Lot 19	La Mirada Place NE	/	/	/
		8"	Sanitary Sewer w/ necessary MH's & Services	Wymont Circle	Lot 18	Lot 4	/	/	/
		8"	Sanitary Sewer w/ necessary MH's & Services	Wymont Circle	Lot 4	Lot 43	/	/	/
		8"	Waterline w/ necessary valves, FH's MJ's, RJ's and Services	Wymont Circle	Lot 19	La Mirada Place NE	/	/	/
		8"	Waterline w/ necessary valves, FH's MJ's, RJ's and Services	Wymont Circle	Lot 18	Lot 1	/	/	/

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The Items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification				
							Private Inspector	P.E.	City Cnst Engineer		
<input type="text"/>	<input type="text"/>						/	/	/		
<input type="text"/>	<input type="text"/>						/	/	/		
Approval of Creditable Items:							Approval of Creditable Items:				
Impact Fee Administrator Signature							Date		City User Dept. Signature		Date

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.

Street lights per City requirements.

- 1 Native Grass Seed with Aggregate Mulch or equal (Must satisfy the "Final Stabilization Criteria" CGP 2.2.14.b)
- 2 The property owner/developer must continue self-inspections and BM maintenance until the EPA's Final Stabilization Criteria is satisfied and approved by the City Stormwater Quality Section (Code 14-5-2-1(C)(1))
- 3 _____

AGENT / OWNER

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

Ronald R. Bohannon
NAME (print)

Tierra West, LLC
FIRM


SIGNATURE - date

DRB CHAIR - date

PARKS & RECREATION - date

TRANSPORTATION DEVELOPMENT - date

AMAFCA - date

UTILITY DEVELOPMENT - date

CODE ENFORCEMENT - date

CITY ENGINEER - date

- date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER