

MERCADO EL MILAGRO PETERSON PROPERTIES

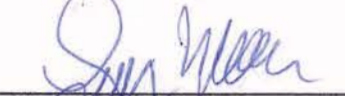
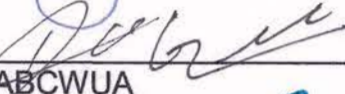

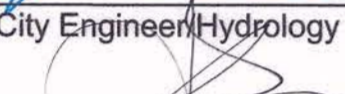

SITE PLAN

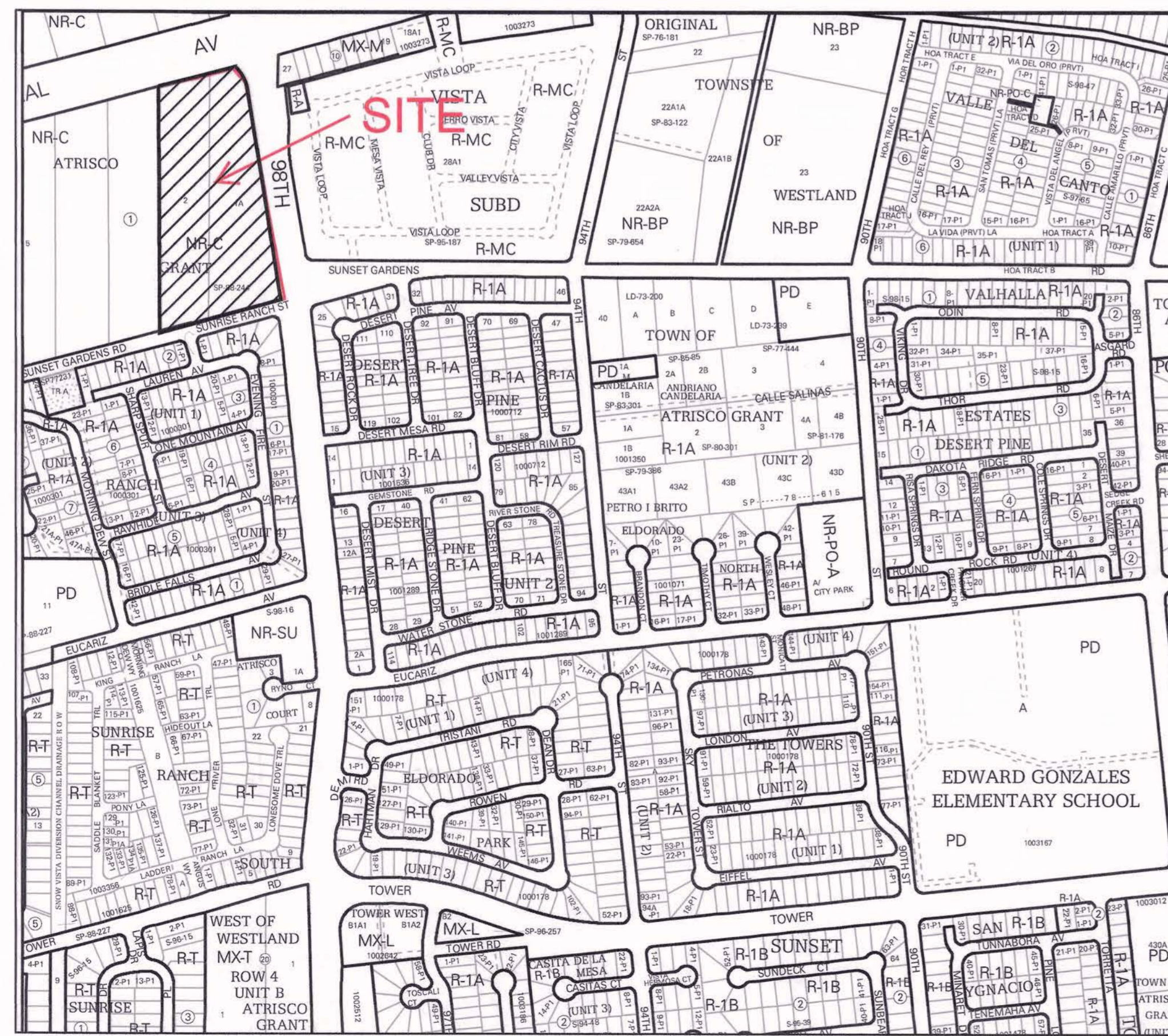
10000 CENTRAL AVENUE SW
ALBUQUERQUE, NEW MEXICO 87121

PROJECT NUMBER: PR-2019-002380
 Application Number: SI-2019-00219 - SITE PLAN

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

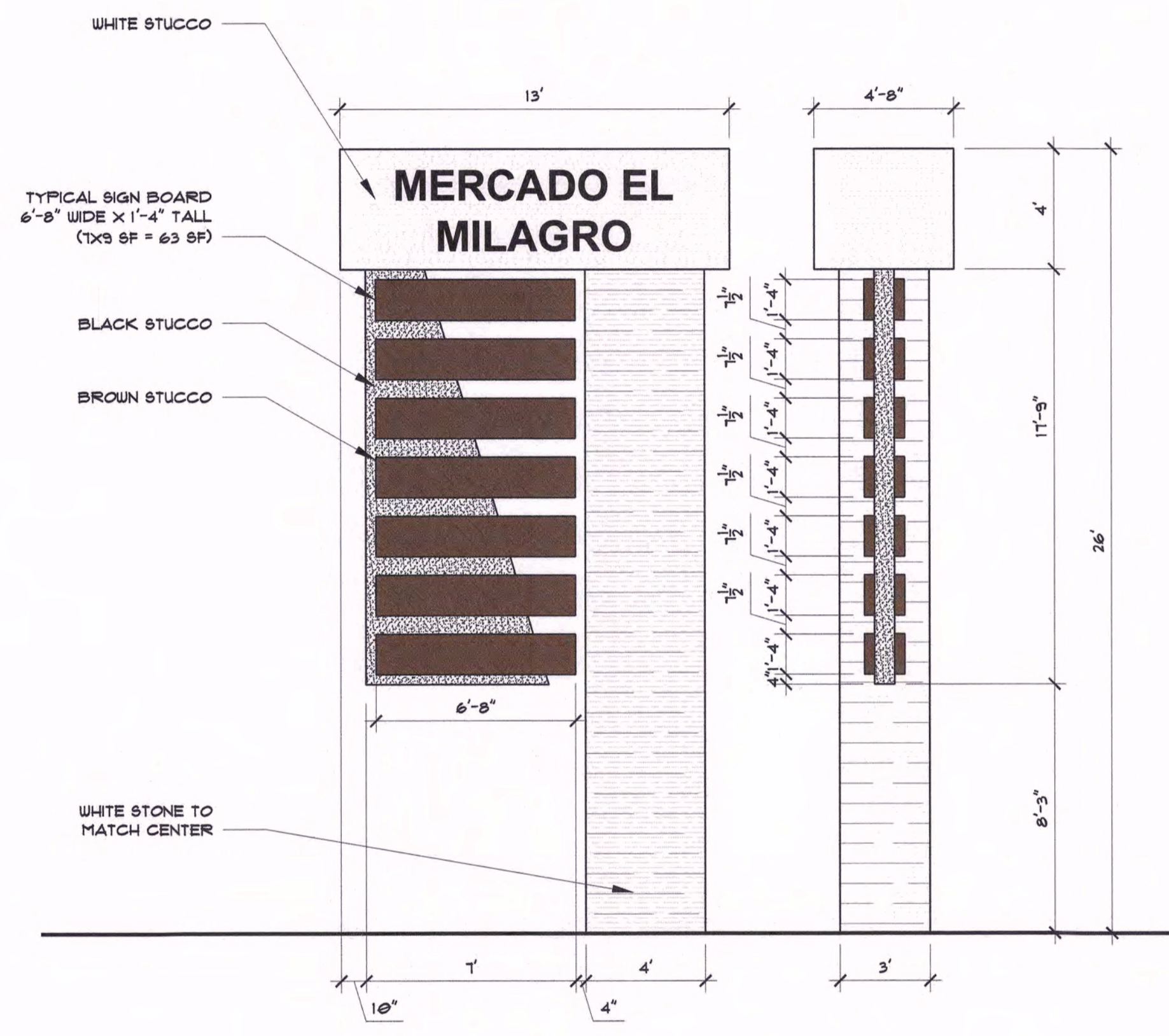
	12-09-19
Traffic Engineering, Transportation Division	Date
	12/4/19
ABCWUA	Date
	12-4-19
Parks and Recreation Department	Date
	12/4/19
City Engineer/Hydrology	Date
Code Enforcement	12.4.19
N/A	Date
* Environmental Health Department (conditional)	Date
	12-05-19
Solid Waste Management	Date
DRB Chairperson, Planning Department	Jul 20, 2020
	Date



LEGAL DESCRIPTION	VARIES: REFER TO DESCRIPTION BELOW						
TRACT NUMBER	BLDG - A	BLDG - B	BLDG - C	BLDG - D	BLDG - E	BLDG - F	BLDG - G
TOTAL ACRES	AREA 1.14 AC	AREA 1.293 AC	AREA 1.6598 AC	AREA .9179 AC	AREA .82 AC	AREA 3.169 AC	AREA 1.232 AC
EXISTING ZONING	NR-C						
PROPOSED ZONING	NR-C						
BLDG. SIZE/ REG. DINING SEATS	3,366 SF / 100 SEATS	3,459 SF	6,601 SF / 100 SEATS	2,788 SF / 90 SEATS	5,225 SF	10,054 SF	17,942 SF
FAR	XXX	XXX	XXX	XXX	XXX	XXX	XXX
PROPOSED # OF STRUCTURES	1	1	1	1	1	1	1
PROPOSED USE	RESTAURANT W/ DRIVE THRU	GAS STATION / RETAIL	RESTAURANT	RESTAURANT W/ DRIVE THRU	SHOPS/RETAIL-FOOD-OFFICE	SHOPS/RETAIL-FOOD-OFF.	SHOPS/RETAIL-FOOD-OFF.
TOTAL PARKING PROVIDED	48 SPACES	41 SPACES	93 SPACES	24 SPACES	40 SPACES	81 SPACES	81 SPACES
TOTAL PARKING REQ (INC. ENPL.)	27 SPACES	14 SPACES	93 SPACES	22 SPACES	21 SPACES	41 SPACES	71 SPACES
HC PROVIDED	2 HC (INC. 2 VAN ACCESSIBLE)	2 HC (INC. 2 VAN ACCESSIBLE)	4 HC (INC. 4 VAN ACCESSIBLE)	2 HC (INC. 2 VAN ACCESSIBLE)	2 HC (INC. 4 VAN ACCESSIBLE)	4 HC (INC. 4 VAN ACCESSIBLE)	6 HC (INC. 6 VAN ACCESSIBLE)
HC REQUIRED	2 HC SPACES	1 HC SPACE	4 HC SPACES	1 HC SPACE	1 HC SPACE	3 HC SPACES	4 HC SPACES
BIKE SPACES PROVIDED	3 BIKE SPACES	3 BIKE SPACES	6 BIKE SPACES	3 BIKE SPACES	3 BIKE SPACES	5 BIKE SPACES	8 BIKE SPACES
BIKE SPACES REQUIRED	3 BIKE SPACES	3 BIKE SPACES	6 BIKE SPACES	3 BIKE SPACES	3 BIKE SPACES	5 BIKE SPACES	8 BIKE SPACES
MOTORCYCLE SPACES PROVIDED	2 MOTORCYCLE SPACES	2 MOTORCYCLE SPACES	2 MOTORCYCLE SPACES	2 MOTORCYCLE SPACES	2 MOTORCYCLE SPACES	2 MOTORCYCLE SPACES	3 MOTORCYCLE SPACES
MOTORCYCLE SPACES REQUIRED	2 MOTORCYCLE SPACES	1 MOTORCYCLE SPACE	2 MOTORCYCLE SPACES	1 MOTORCYCLE SPACE	2 MOTORCYCLE SPACES	2 MOTORCYCLE SPACES	3 MOTORCYCLE SPACES
MAX BUILDING HEIGHT	35' TO TOP OF PARAPET	35' TO TOP OF PARAPET	35' TO TOP OF PARAPET	35' TO TOP OF PARAPET	35' TO TOP OF PARAPET	35' TO TOP OF PARAPET	35' TO TOP OF PARAPET
TOTAL PARKING REQUIRED	249 SPACES X 2% = 5 (4.98) ELECTRIC VEHICLE CHARGING STATIONS REQUIRED, 5 PROVIDED						

KEYED NOTES

- 1 8' INTEGRALLY COLORED, RAISED, AND TEXTURED CONCRETE PEDESTRIAN CROSSWALK (RAISED TO TWO INCHES WHERE ALLOWED BY GRADES)
- 2 PROPOSED LIGHT POLE LOCATION RE: 8/A1.3 FOR POLE DETAIL
- 3 EXISTING 6' SIDEWALK
- 4 EXISTING ASPHALT BIKE PATH / SIDEWALK
- 5 INDICATES BIKE RACK LOCATION (SEE A2.1 FOR BIKE CAPACITY REQ) SEE DETAIL 1/A1.3
- 6 OUTDOOR DINING/SEATING AREA (RE: LOCATION FOR 9/2)
- 7 HANDICAP RAMP PER COA DWG #2441
- 8 INDICATES NEW 6' HIGH (MIN) CMU (HEIGHT TO BE FIELD VERIFIED) SCREEN WALL FROM ADJACENT COMMERCIAL DEVELOPMENT (SEE CIVIL DRAWINGS FOR RETAINING WALL CONDITION SHALL BE SPLIT FACE CMU TO MATCH OTHER SCREEN WALLS)
- 9 LANDSCAPE AREA
- 10 PROPOSED 3'-0" HIGH 8' INTEGRALLY COLORED SPLIT-FACED CMU BLOCK SCREEN WALL (TAN/RED COLOR) RE: 9/A1.3 FOR DETAIL
- 11 INDICATES PROPOSED FIRE HYDRANT LOCATION RE: UTILITY PLAN FOR INFO
- 12 INDICATES PROPOSED 4'-6" X 10' MOTORCYCLE PARKING STALL LOCATION - RE: SITE PLAN FOR LOCATIONS WITH MOTORCYCLE SIGNAGE, SEE DETAIL 1/A1.3
- 13 INDICATES MONUMENT SIGN - SEE 1/A1.2
- 14 INDICATES DUMPSTER LOCATION RE: DETAIL 2/3/A1.3 INCLUDING SANITARY DRAIN FOR FOOD SERVICES NOTE: ENCLOSURE SHALL MATCH SCREEN WALL SPLIT FACE CMU
- 15 INDICATES DUMPSTER LOCATION W/ RECYCLE - INCLUDING SANITARY DRAIN FOR FOOD SERVICES NOTE: ENCLOSURE SHALL MATCH SCREEN WALL SPLIT FACE CMU
- 16 INDICATES LOCATION OF TRASH RECEPTACLES
- 17 INDICATES LOCATION OF BENCH
- 18 LOADING DOCK
- 19 LOADING AREA
- 20 CLEAR SITE TRIANGLE LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE
- 21 "DO NOT ENTER" SIGN. SEE DETAIL 1/A1.3
- 22 6" CONCRETE CURB
- 23 ASPHALT DRIVE AND PARKING
- 24 NEW CURB AND GUTTER
- 25 RIGHT IN / RIGHT OUT ONLY DRIVEWAY
- 26 ELECTRIC VEHICLE CHARGING STATION (TYP OF 5)
- 27 UNDER-CANOPY LIGHTING SHALL BE RECESSED SO THAT NO LIGHT LENS PROJECTS BELOW THE CANOPY CEILING. THE CANOPY FASCIA SHALL NOT BE INTERNALLY ILLUMINATED

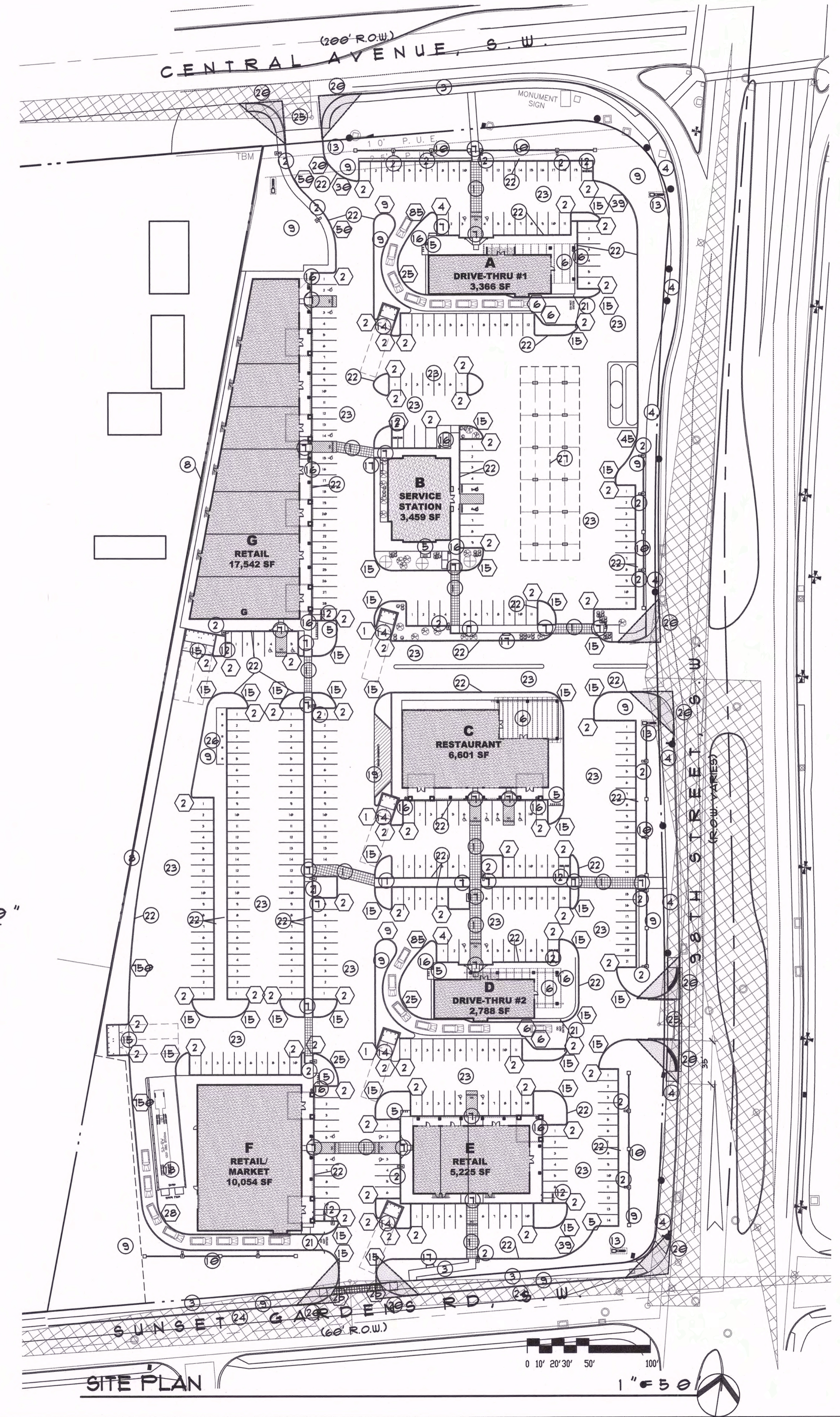


PYLON SIGN ELEVATIONS 1/4" = 1' - 0"

RADIUS INFORMATION

- 1 RADIUS = 1'-0"
- 2 RADIUS = 2'-0"
- 4 RADIUS = 4'-0"
- 5 RADIUS = 5'-0"
- 6 RADIUS = 6'-0"
- 9 RADIUS = 9'-0"
- 15 RADIUS = 15'-0"
- 20 RADIUS = 20'-0"
- 25 RADIUS = 25'-0"
- 28 RADIUS = 28'-0"
- 30 RADIUS = 30'-0"
- 35 RADIUS = 35'-0"
- 45 RADIUS = 45'-0"
- 50 RADIUS = 50'-0"
- 85 RADIUS = 85'-0"
- 150 RADIUS = 150'-0"

ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON A PUBLIC WORK ORDER



SITE PLAN



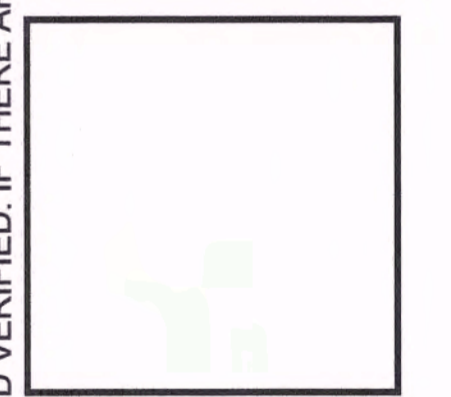
MARTIN FM GRUMMER ARCHITECT
311 BELLEVUE PLACE, NE
ALBUQUERQUE, NEW MEXICO 87109
(505) 265-2507



PETERSON PROPERTIES



MERCADO EL MILAGRO
NEW SITE PLAN
10000 CENTRAL AVENUE SW
ALBUQUERQUE, NEW MEXICO 87121
PARKING PLAN

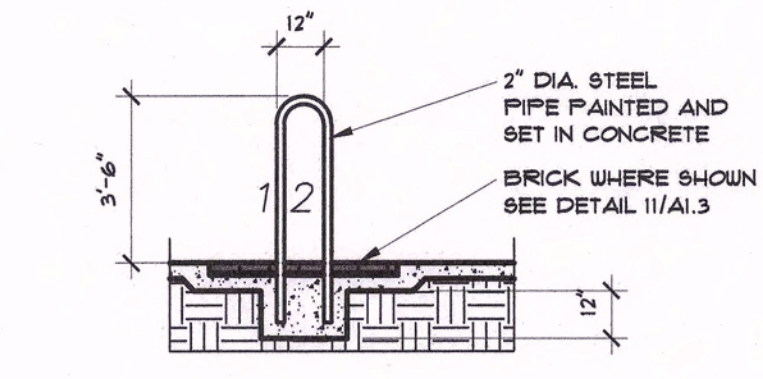


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CHECKED BY:
VERIFIED BY:

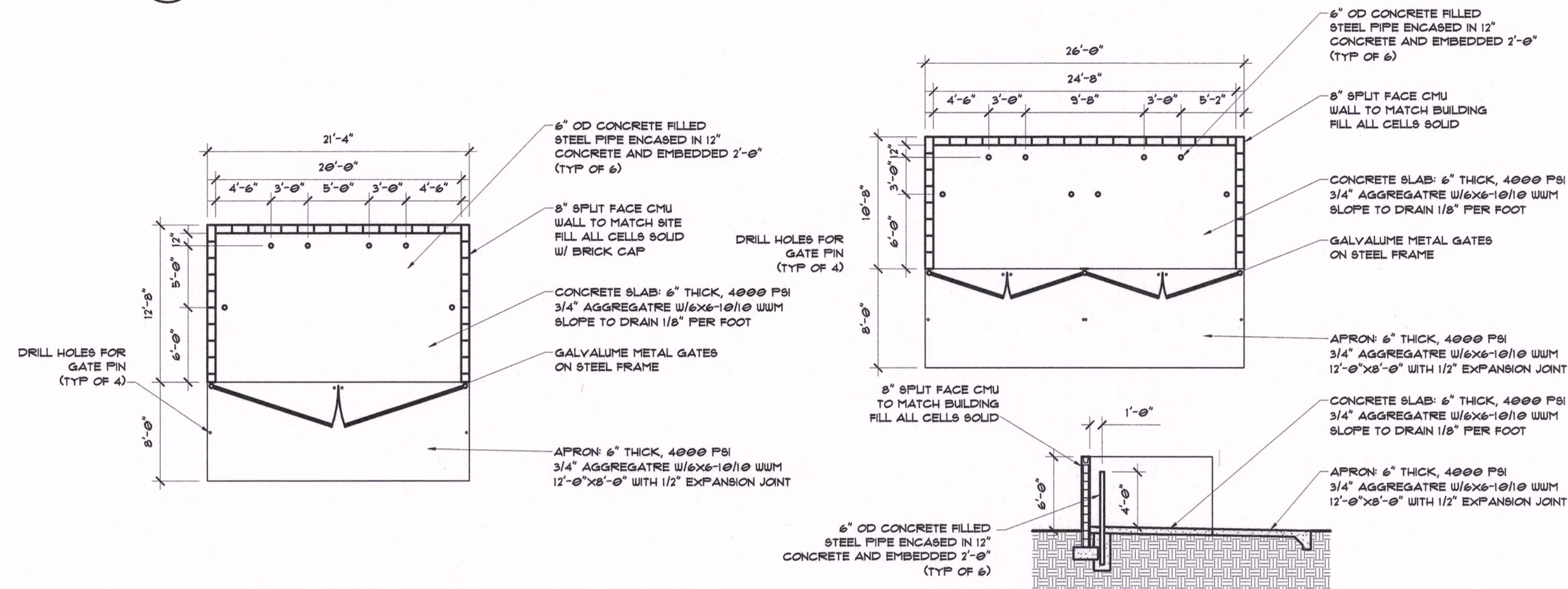
REVISIONS

SHEET NO:
A1.2
2 OF 14

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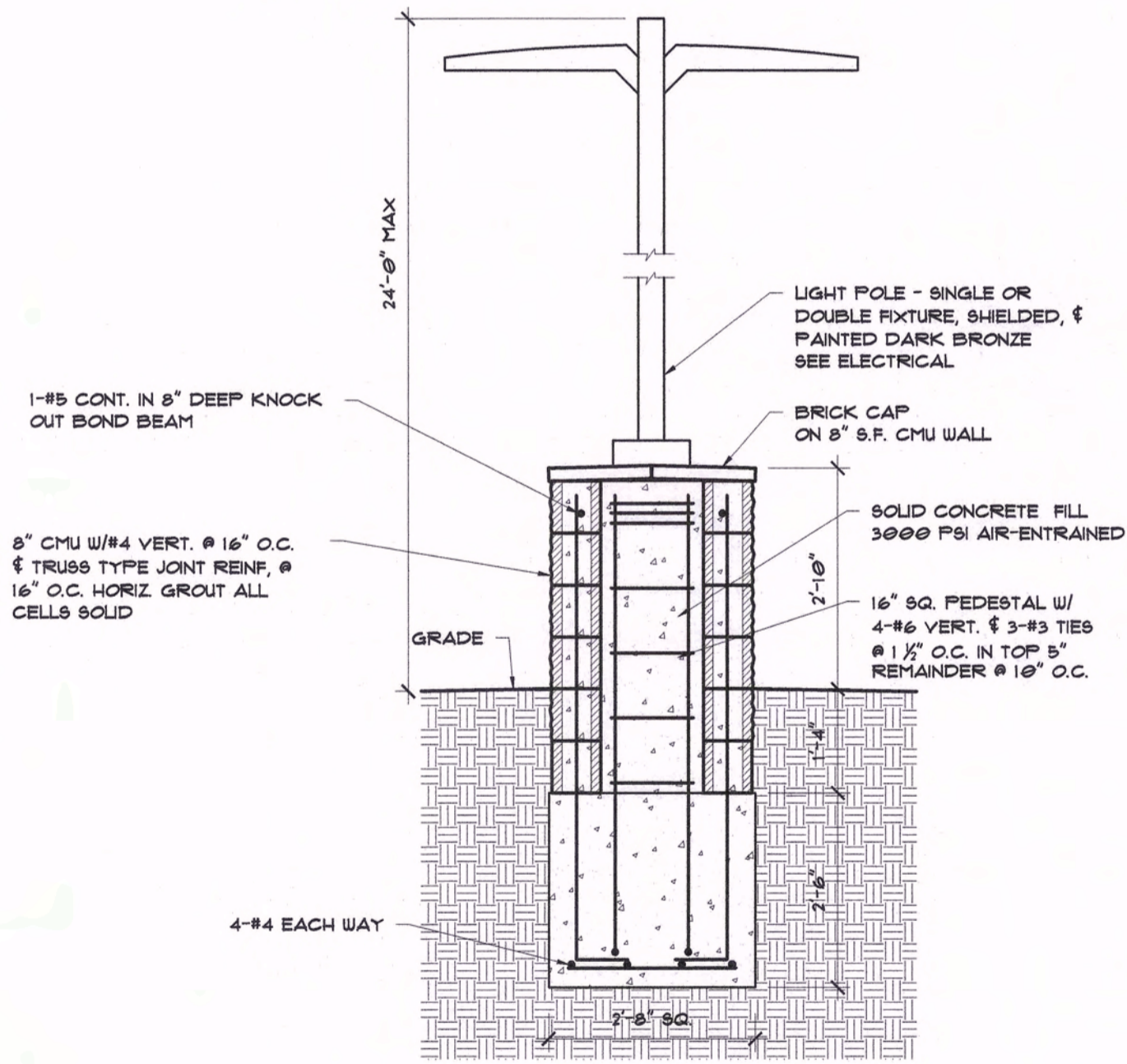


1 BICYCLE RACK
 A1.3 N.T.S. (TYP OF 9)

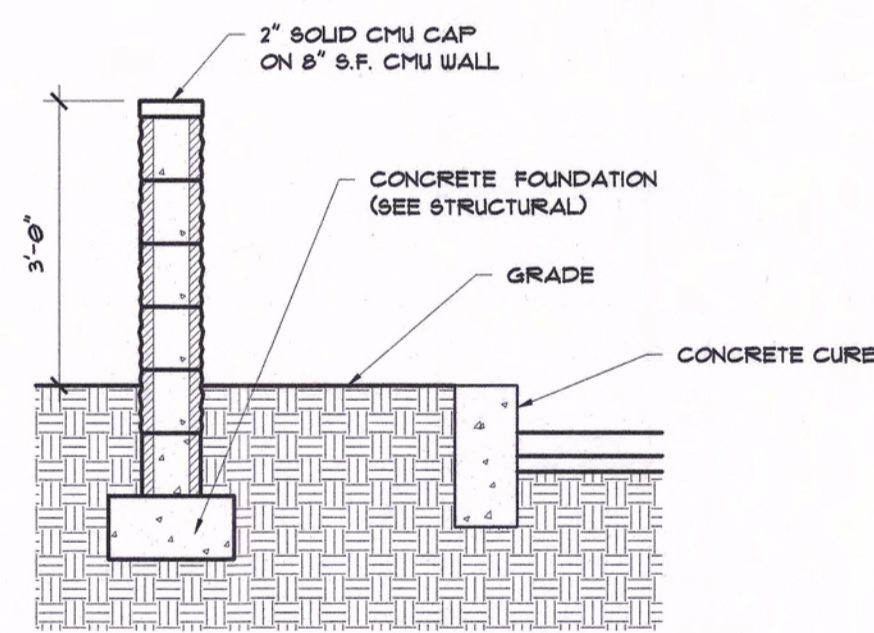


2 REFUSE ENCLOSURE
 A1.3 N.T.S.

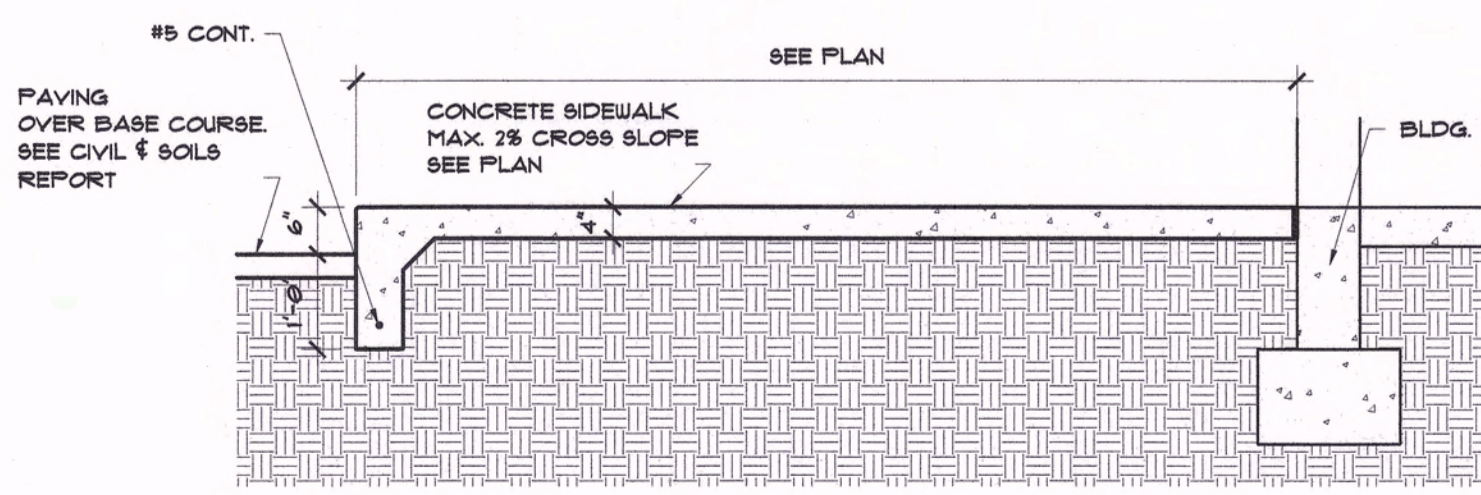
3 REFUSE ENCLOSURE/ RECYCLING
 A1.3 N.T.S.



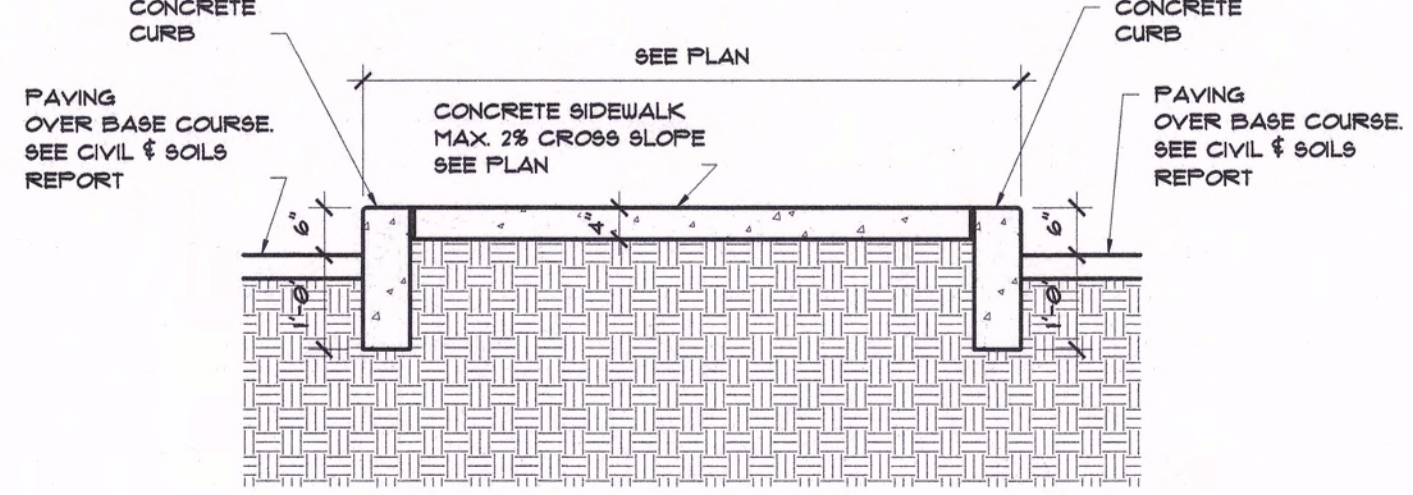
3 LIGHT POLE BASE
 A1.3 1/2"=1'-0"



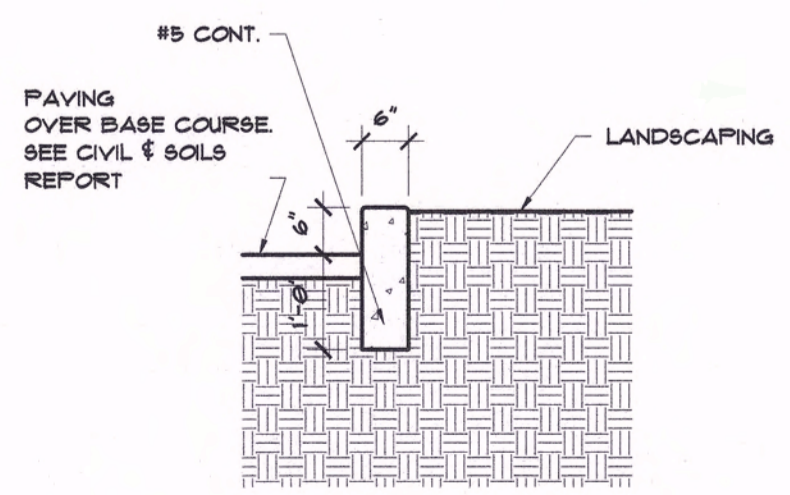
4 SCREEN WALL DETAIL
 A1.3 1/2"=1'-0"



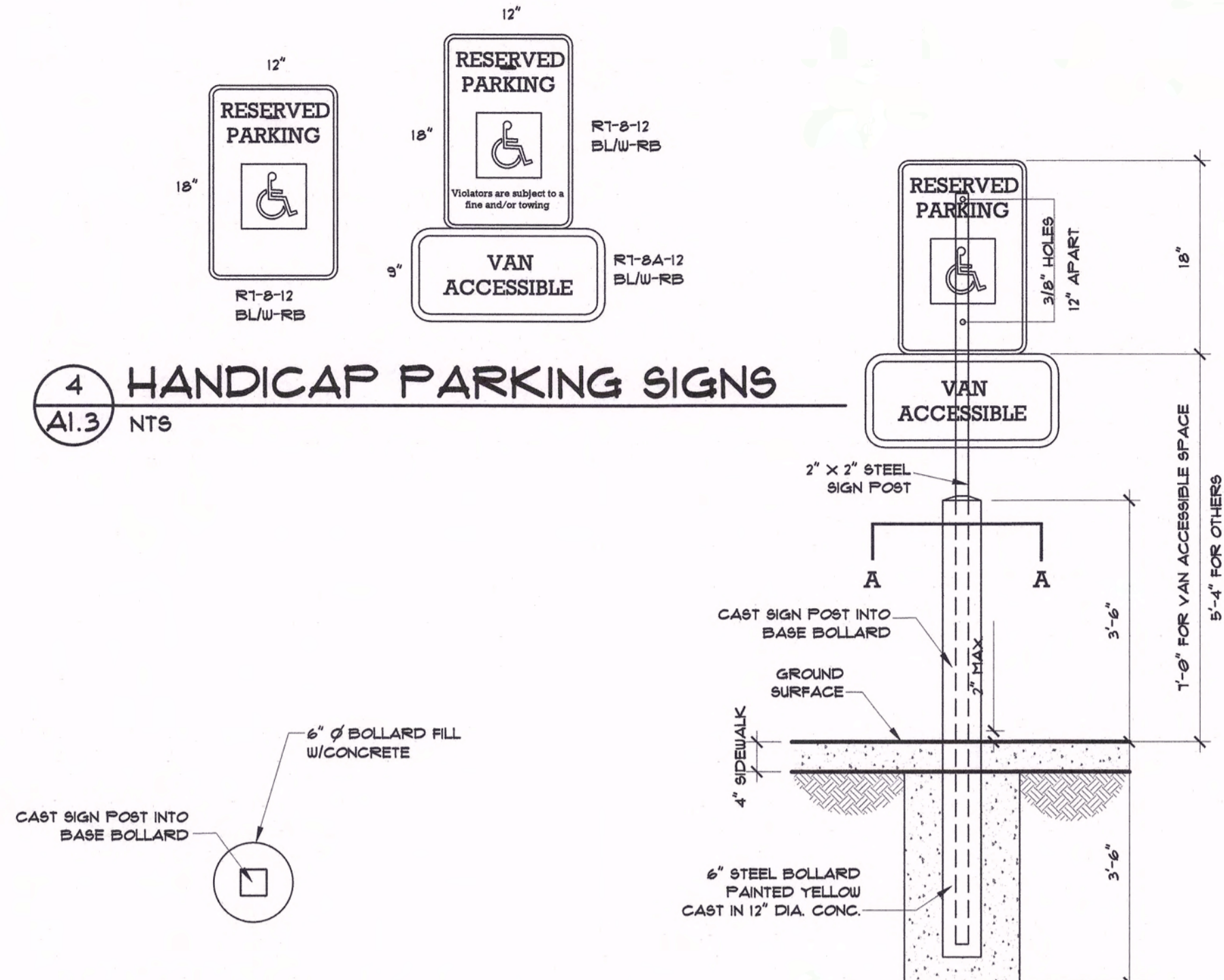
5 SIDEWALK DETAIL
 A1.3 1/2"=1'-0"



6 SIDEWALK DETAIL
 A1.3 1/2"=1'-0"



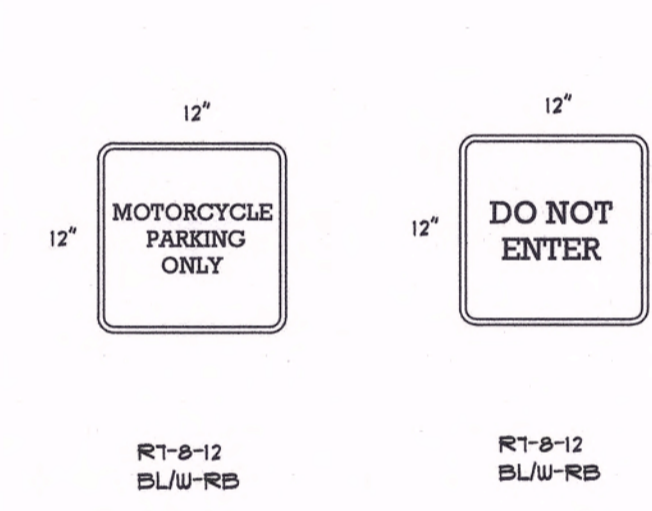
7 CURB DETAIL
 A1.3 1/2"=1'-0"



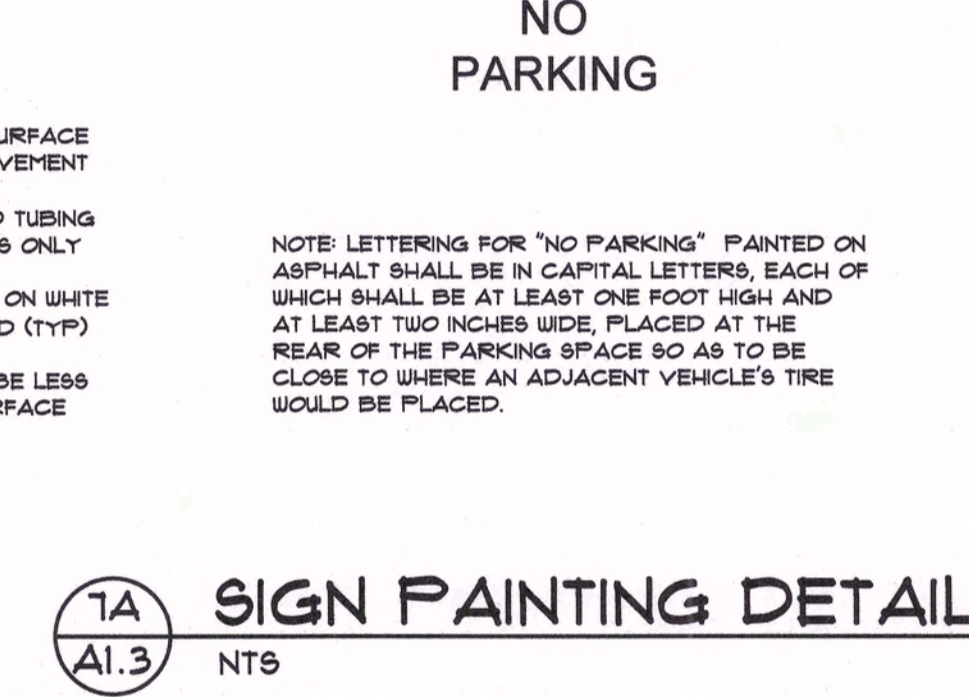
8 HANDICAP PARKING SIGNS
 A1.3 N.T.S.

5 SECTION A-A
 A1.3 N.T.S.

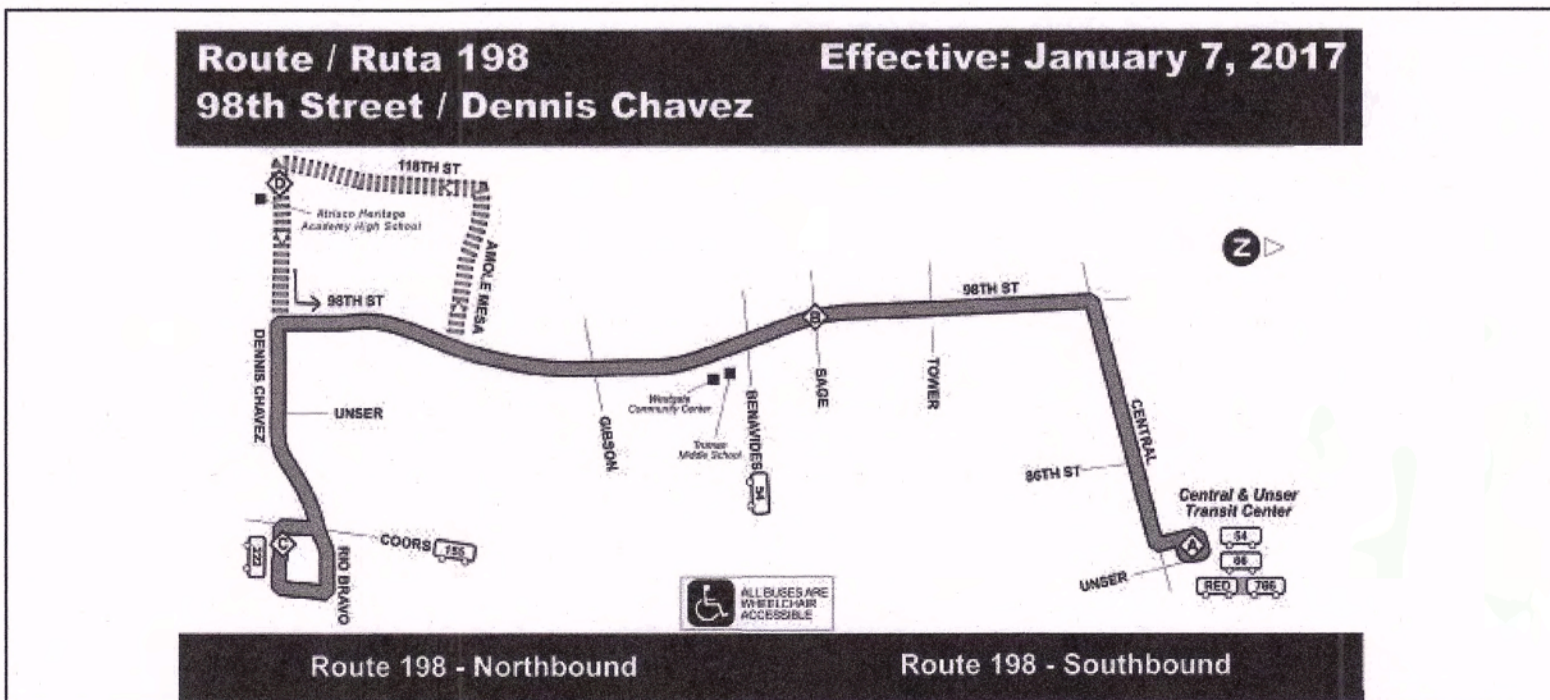
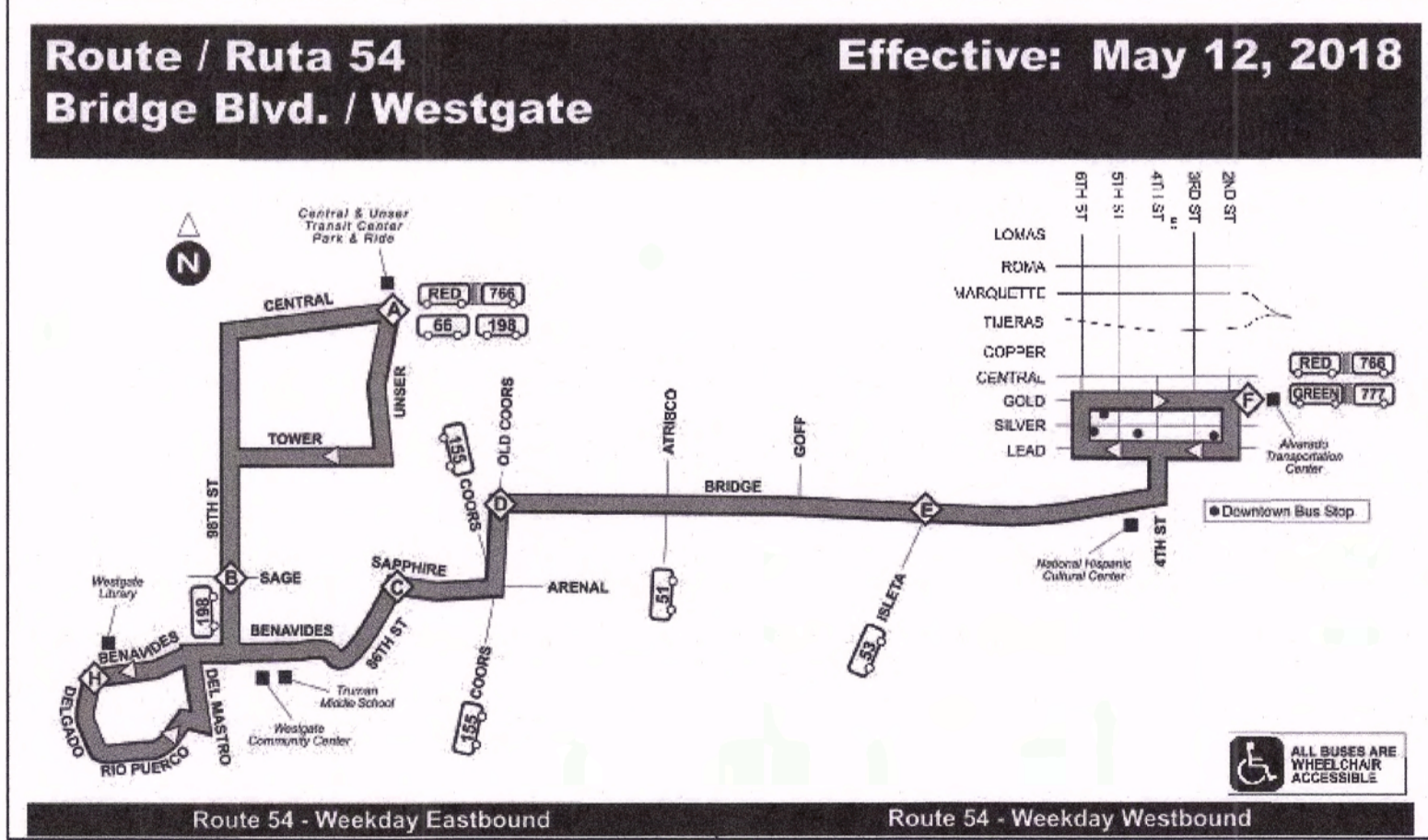
6 SIGN MOUNTING DETAIL
 A1.3 N.T.S.



9 SIGN MOUNTING DETAIL
 A1.3 N.T.S.



10 SIGN PAINTING DETAIL
 A1.3 N.T.S.



MARTIN F.M. GRUMMER
 ARCHITECT
 331 WELLESLEY PLACE NE
 ALBUQUERQUE, NEW MEXICO 87106
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PETERSON
 PROPERTIES

MERCADO EL MILAGRO
 NEW SITE PLAN
 10000 CENTRAL AVENUE SW
 ALBUQUERQUE, NEW MEXICO 87121

REVISIONS

DATE: 18 NOV 2013
 DRAWN BY: MFMG
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SHEET NO:
A1.3
 3 OF 14

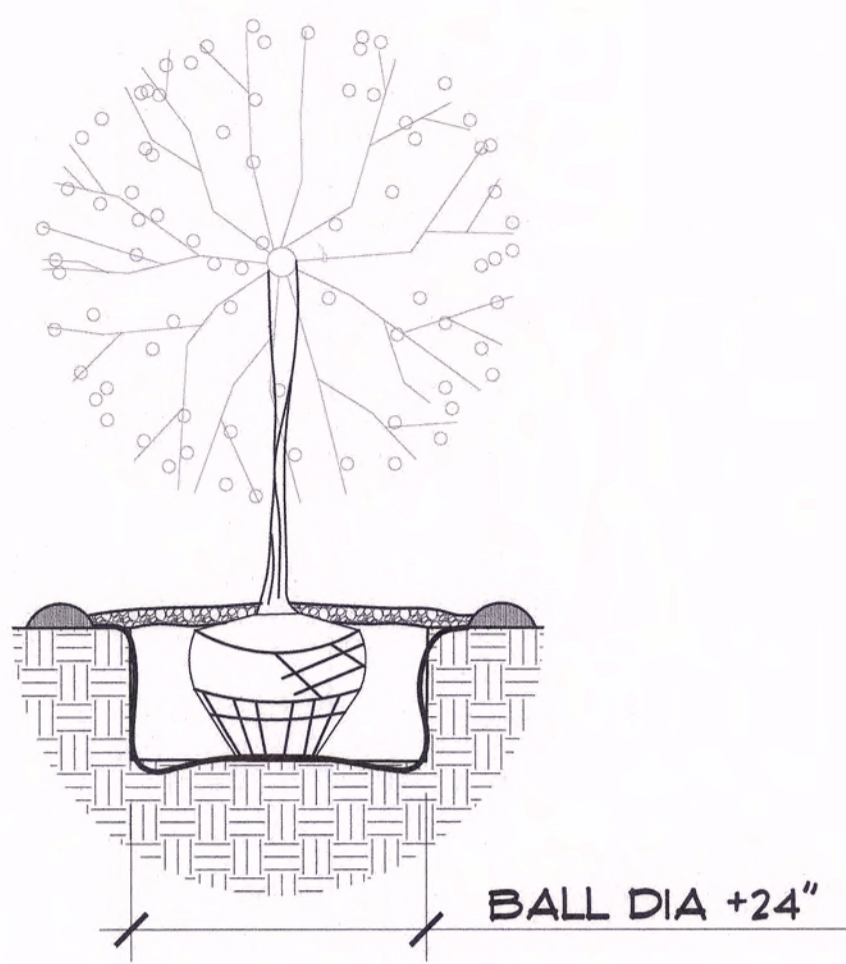
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PLANT LEGEND

- 9 SHUMARD OAK (M)
QUERCUS SHUMARDII
2" CAL
- 13 COMMON HACKBERRY (M)
CELTIS OCCIDENTALIS
2" CAL
- 6 CHITALPA (M)
CHILOPSIS X CATALPA
2" CAL
- 36 DESERT WILLOW (L)
CHILOPSIS LINEARIS
5 GAL 225 SF
- 76 BUTTERFLY BUSH (M)
BUDDLEIA DAVIDII
5 GAL 100 SF
- 50 BIRD OF PARADISE (L)
CAESALPINIA GILLIESII
5 GAL 100 SF
- 20 RUSSIAN SAGE (M)
PEROVSKIA ATRIPUICIFOLIA
5 GAL 36 SF
- 173 INDIAN HAWTHORN (M)
RAFHIOLEPIS INDICA
5 GAL 36 SF
- 15 PURPLE ROBE LOCUST (M)
ROBINIA PSEUDOACIA
2" CAL
- 5 AFGHAN PINE (M)
PINUS ELДАРICA
MIN. 10' WITH AV. CALIPER OF 3"
- 6 NEW MEXICO OLIVE (L)
FORESTIERA NEOMEXICANO
15 GAL 225 SF
- 50 APACHE PLUME (L)
FALLUGIA PARADOXA
5 GAL 25 SF
- 174 SANTOLINA (L)
SANTOLINA SPP.
1 GAL 25 SF
- 275 FERN BUSH (L-)
CHAMAEBATIARIA MILLEFOLIUM
5 GAL 25 SF
- 24 AUTUMN SAGE (M)
SALVIA GREGGII
1 GAL 9 SF
- 36 RED YUCCA (L)
HESPERALOE PARVIFLORA
5 GAL 9 SF

SANTA FE BROWN GRAVEL MULCH WITH FILTER FABRIC

BOULDER MONOLITH



1 TREE PLANTING DETAIL
LI.2 NTS

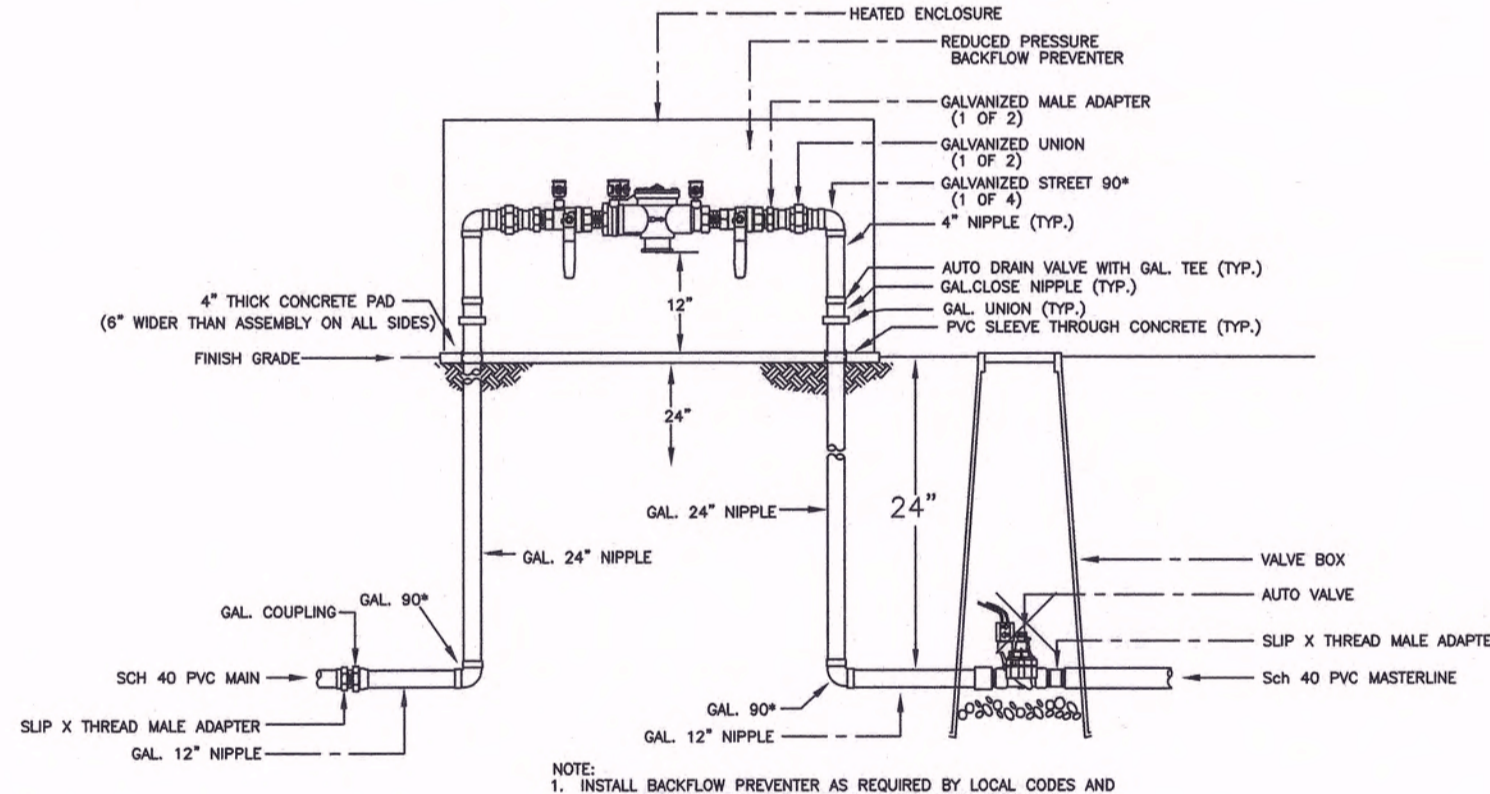
NOTE-LANDSCAPING IN ROW

ALL PLANTING OF VEGETATED MATERIAL OR INSTALLATION OF ANY LANDSCAPING, BUFFERING, OR SCREENING MATERIAL IN THE PUBLIC RIGHT-OF-WAY SHALL REQUIRE THE PRIOR APPROVAL OF THE CITY AND MAY REQUIRE AN AGREEMENT WITH THE CITY SPECIFYING MAINTENANCE, REPAIRS, OR LIABILITY RESPONSIBILITIES. ANY TREES THAT OVERHANG A PUBLIC SIDEWALK SHALL BE TRIMMED TO MAINTAIN AN 8 FOOT CLEARANCE OVER THE SIDEWALK. ANY TREES THAT OVERHANG A PUBLIC STREET SHALL BE TRIMMED TO MAINTAIN A 9 FOOT CLEARANCE OVER THE STREET SURFACE. WHERE LANDSCAPING IS INSTALLED IN THE PUBLIC RIGHT-OF-WAY, AN ADEQUATE IRRIGATION SYSTEM THAT MEETS THE MINIMUM TECHNICAL REQUIREMENTS OF THE ROA 1994 AND THE DFM SHALL BE INSTALLED, WITH A SEPARATE METER FOR THE LANDSCAPE AREA IN THE PUBLIC RIGHT-OF-WAY, OR A SEPARATE VALVE(S) AT THE PROPERTY LINE ALLOWING ISOLATION OF THE IRRIGATION TO THE LANDSCAPE WITHIN THE PUBLIC RIGHT-OF-WAY. DRIP IRRIGATION SYSTEMS AND ARTIFICIAL TURF SHALL NOT BE ALLOWED WITHIN THE PUBLIC RIGHT-OF-WAY.

NOTES

- MAINTENANCE OF LANDSCAPE PROVIDED BY OWNER
- PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION SYSTEM
- WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER
- THIS PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE AND WASTE WASTE ORDINANCE PLANTING RESTRICTIONS APPROACH
- IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN. 80% LIVE GROUNDCOVER OF LANDSCAPE AREAS AT MATURITY
- LANDSCAPE AREAS TO BE MULCHED WITH SANTA FE BROWN GRAVEL AT 2"-3" DEPTH OVER FILTER FABRIC EXCEPT ORGANIC MULCH, SUCH AS WOOD CHIPS OR PECAN SHELLS, OVER FILTER FABRIC TO BE USED AS GROUND COVER FOR THE PORTION OF ANY LANDSCAPED AREA SURROUNDING THE VEGETATION ROOT BALL, AS WELL AS BENEATH THE ENTIRE TREE CANOPY OR DRIPLINE, IN EACH REQUIRED LANDSCAPE AREA. THE USE OF GRAVEL OR CRUSHER FINES AS GROUND COVER IS LIMITED TO A MAXIMUM OF 15% OF ANY OUTDOOR SPACE.
- APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE OR IMPLY COMPLIANCE WITH, OR EXEMPTION FROM, THE C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE
- TREES ARE NOT TO BE PLACED IN PUBLIC UTILITY EASEMENTS
- NO PARKING SPACE SHALL BE MORE THEN 100' FROM A TREE

LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.



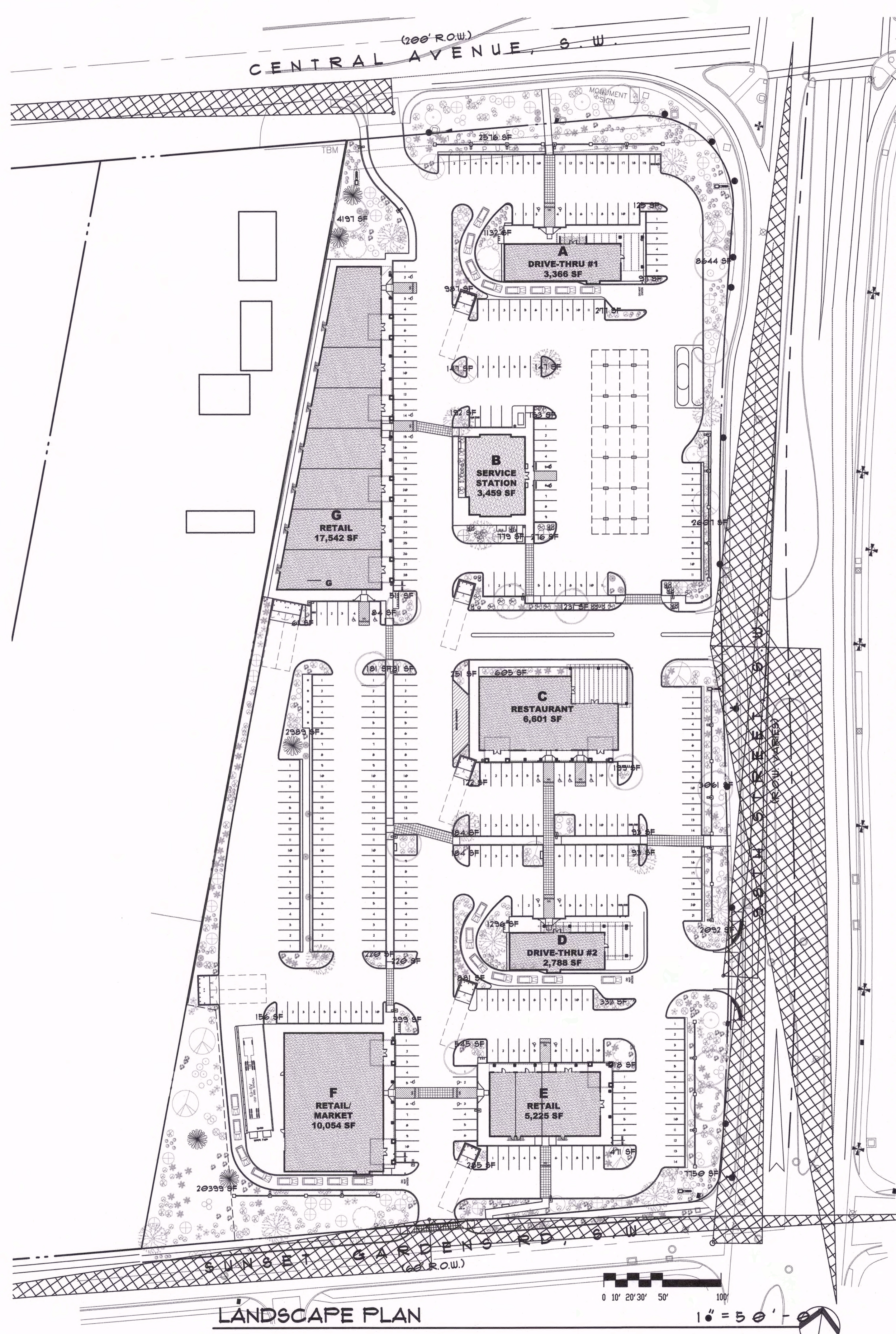
Mastervalue w/RPBA

LANDSCAPE CALCULATIONS

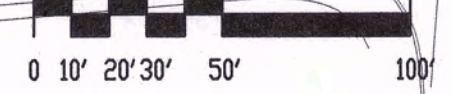
TOTAL LOT AREA	371,533 SF
TOTAL BUILDING AREA	49,035 SF
NET LOT AREA	328,498 SF
LANDSCAPE REQUIREMENT	15%
TOTAL LANDSCAPE REQUIREMENT	49,275 SF
TOTAL BED PROVIDED	69,285 SF
GROUND COVER REQUIRED	15% PER COMMENTS
TOTAL GROUNDCOVER REQUIREMENT	36,956 SF
TOTAL GROUNDCOVER PROVIDED	40,663 SF (82%)

STREET TREES
SUNSET GARDENS - 500 LF FRONTAGE 11 TREES PROVIDED
98TH STREET - 930 LF FRONTAGE 24 TREES PROVIDED
CENTRAL AVE - 325 LF FRONTAGE 8 TREES PROVIDED

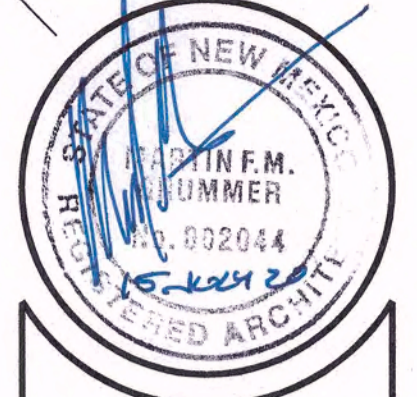
PARKING TREES
367 PARKING SPACES PROVIDED @ 1/10 = 37 TREES REQUIRED
39 PROVIDED WITHIN 100 FT



LANDSCAPE PLAN



1" = 50'



MARTIN FM GRUMMER
ARCHITECT
331 WELLESLEY PLACE NE
ALBUQUERQUE, NEW MEXICO 87108
(505) 265-2507



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10000 CENTRAL AVENUE SW
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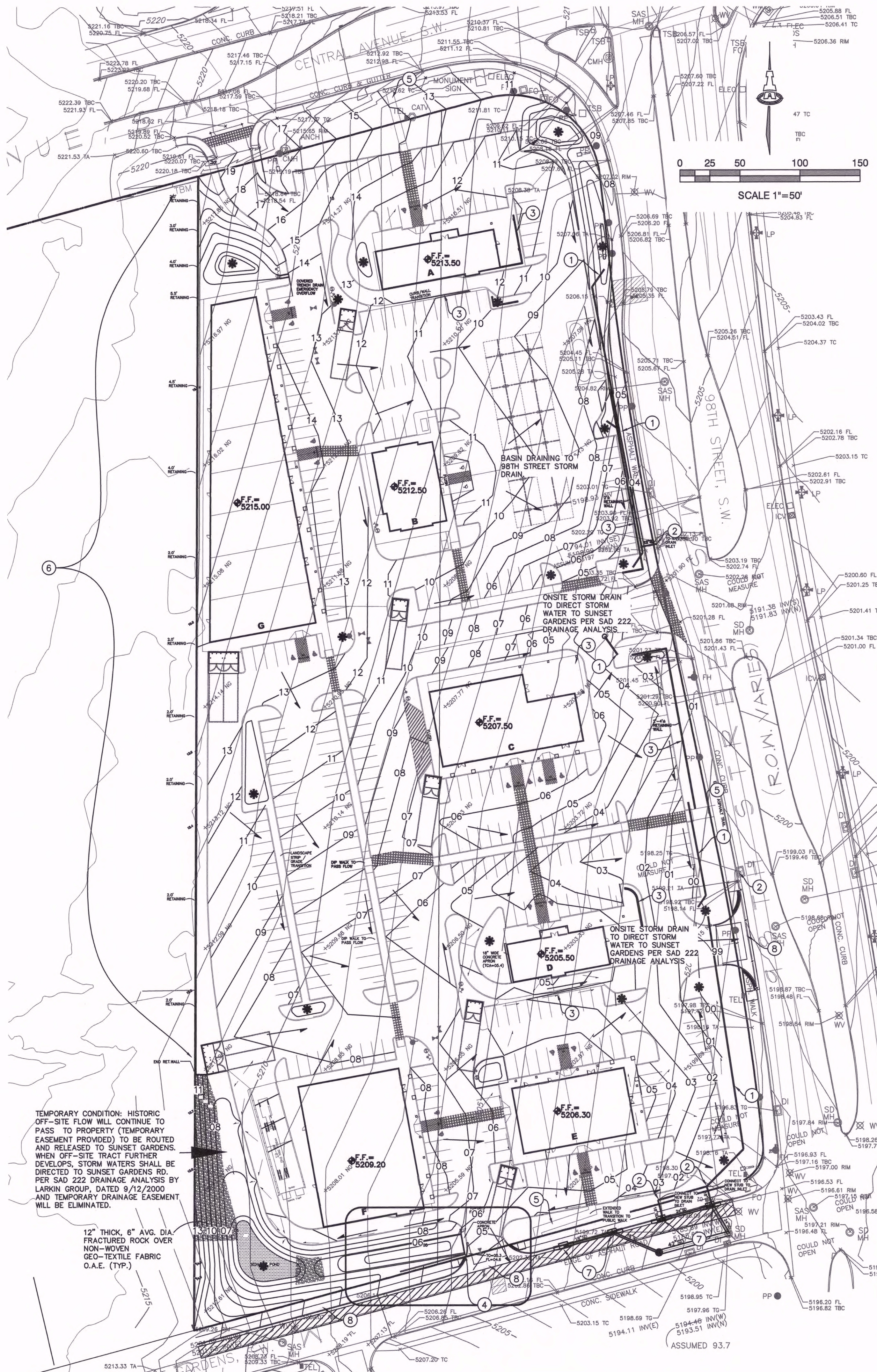
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DATE:	18 NOV 2019
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VERIFIED BY:	

REVISIONS

NO.	DESCRIPTION

SHEET NO:
L1.2
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TEMPORARY CONDITION: HISTORIC OFF-SITE FLOW WILL CONTINUE TO PASS TO PROPERTY (TEMPORARY EASEMENT PROVIDED) TO BE ROUTED AND RELEASED TO SUNSET GARDENS. WHEN OFF-SITE TRACT FURTHER DEVELOPS, STORM WATERS SHALL BE DIRECTED TO SUNSET GARDENS RD. PER SAD 222 DRAINAGE ANALYSIS BY LARKIN GROUP, DATED 9/12/2000 AND TEMPORARY DRAINAGE EASEMENT WILL BE ELIMINATED.

12" THICK, 6" AVG. DIA. FRACTURED ROCK OVER NON-WOVEN GEO-TEXTILE FABRIC O.A.E. (TYP.)

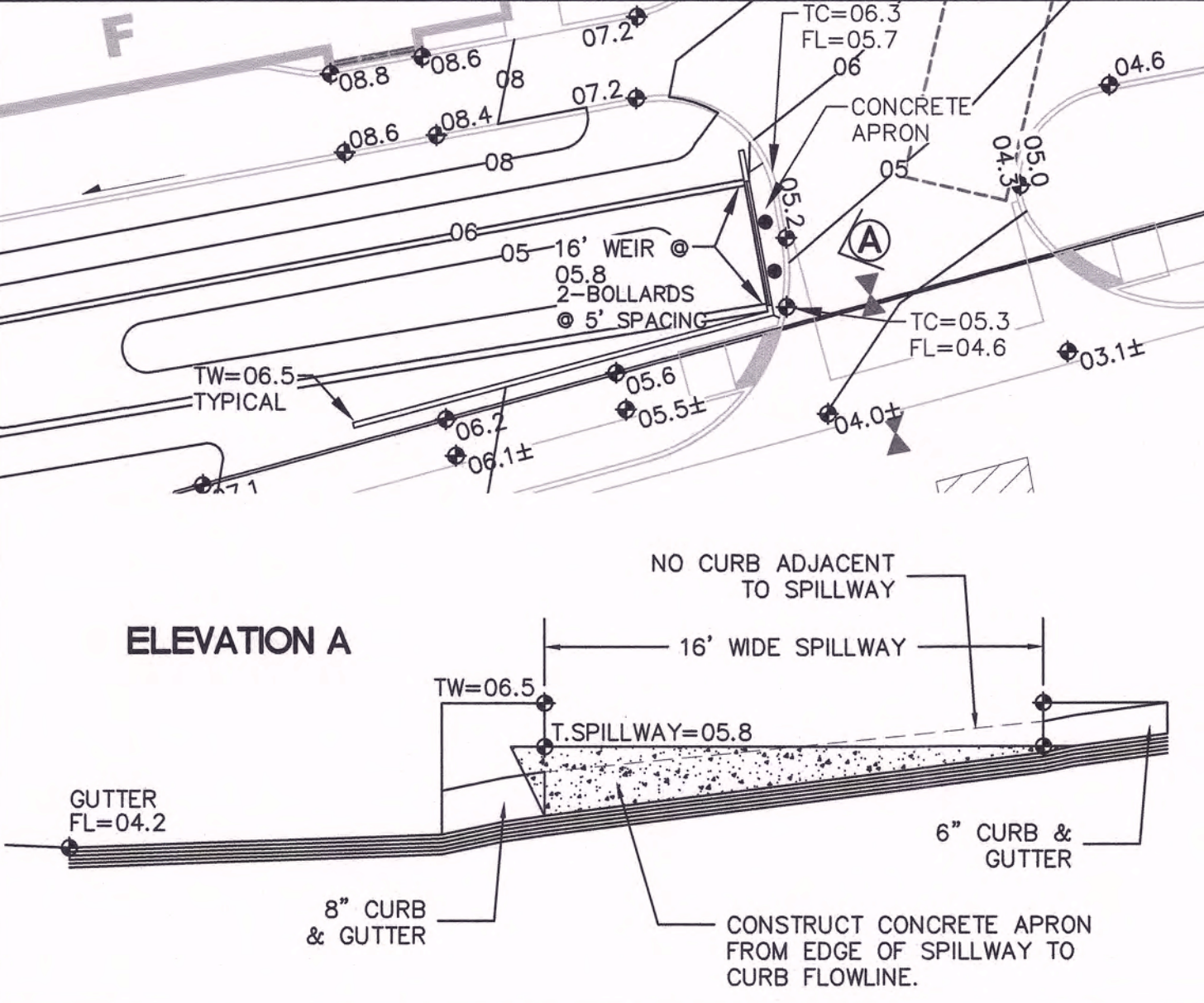
STORMWATER QUALITY

FOR NEW CONSTRUCTION, THE CABQ STORMWATER QUALITY (S.Q.) VOLUME IS BASED ON THE 90TH PERCENTILE STORM EVENT OR 0.34" [0.44" LESS 0.1" FOR INITIAL ABSTRACTION] OF STORMWATER WHICH DISCHARGES DIRECTLY TO A PUBLIC STORM DRAINAGE SYSTEM).
 THE ESTIMATED IMPERVIOUS AREA FOR THIS PROPERTY IS CALCULATED AS 82% OF TOTAL AREA: (0.82 * 8.67 AC) = 309,576 SF. THE TOTAL REQUIRED S.Q. RETENTION VOLUME = 0.34" * TYPE 'D' AREA: 0.34/12 * (309,576 SF) = 8,772 CF. THIS MAY VARY DEPENDING ON THE FINAL IMPERVIOUS AREA TO BE CONSTRUCTED WITH EACH PHASE.

S.Q. RETENTION PONDS WILL BE CONSTRUCTED THROUGHOUT THE PROPERTY AS THE SITE DEVELOPS. FINAL LOCATIONS AND DESIGN WILL BE PROVIDED AS PART OF THE INDIVIDUAL BUILDING PERMIT CONSTRUCTION DOCUMENTS. AREAS ARE SHOWN (LABELED WITH *) TO INDICATE POTENTIAL S.Q. POND LOCATIONS. PRIVATE FACILITY DRAINAGE COVENANT(S) WILL BE PROVIDED FOR THE S.Q. PONDS IF REQUIRED.

PRIOR TO EACH BUILDING PERMIT APPROVAL, A "PAYMENT-IN-LIEU FOR S.Q. VOLUME REQUIREMENT" TREASURY DEPOSIT SLIP WILL BE PROVIDED BY C.O.A. HYDROLOGY BASED ON THE PORTION OF S.Q. VOLUME (@ \$8.00 PER CF) THAT IS NOT RETAINED ON-SITE. A COPY OF THE PAID RECEIPT WILL BE REQUIRED PRIOR TO RECEIVING HYDROLOGY APPROVAL FOR BUILDING PERMIT.

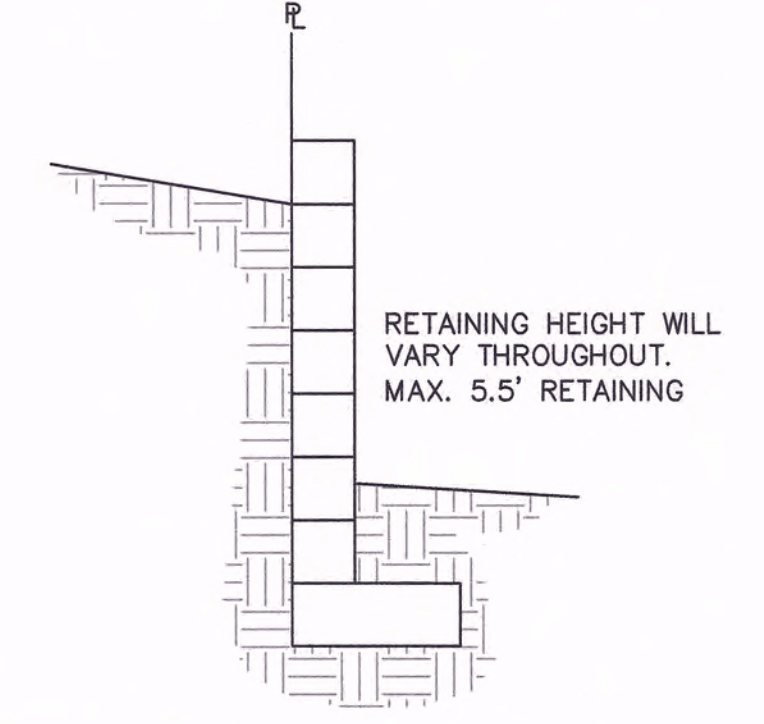
OUTFLOW STRUCTURE DETAIL



PERIMETER WALLS

IN ACCORDANCE WITH CABQ DPM CH. 22, SECTION 5, PART B, GRADING AND WALL CONSTRUCTION NEAR THE PROPERTY LINE MAY NOT ENDANGER ADJACENT PROPERTY OR CONSTRAIN ITS USE.

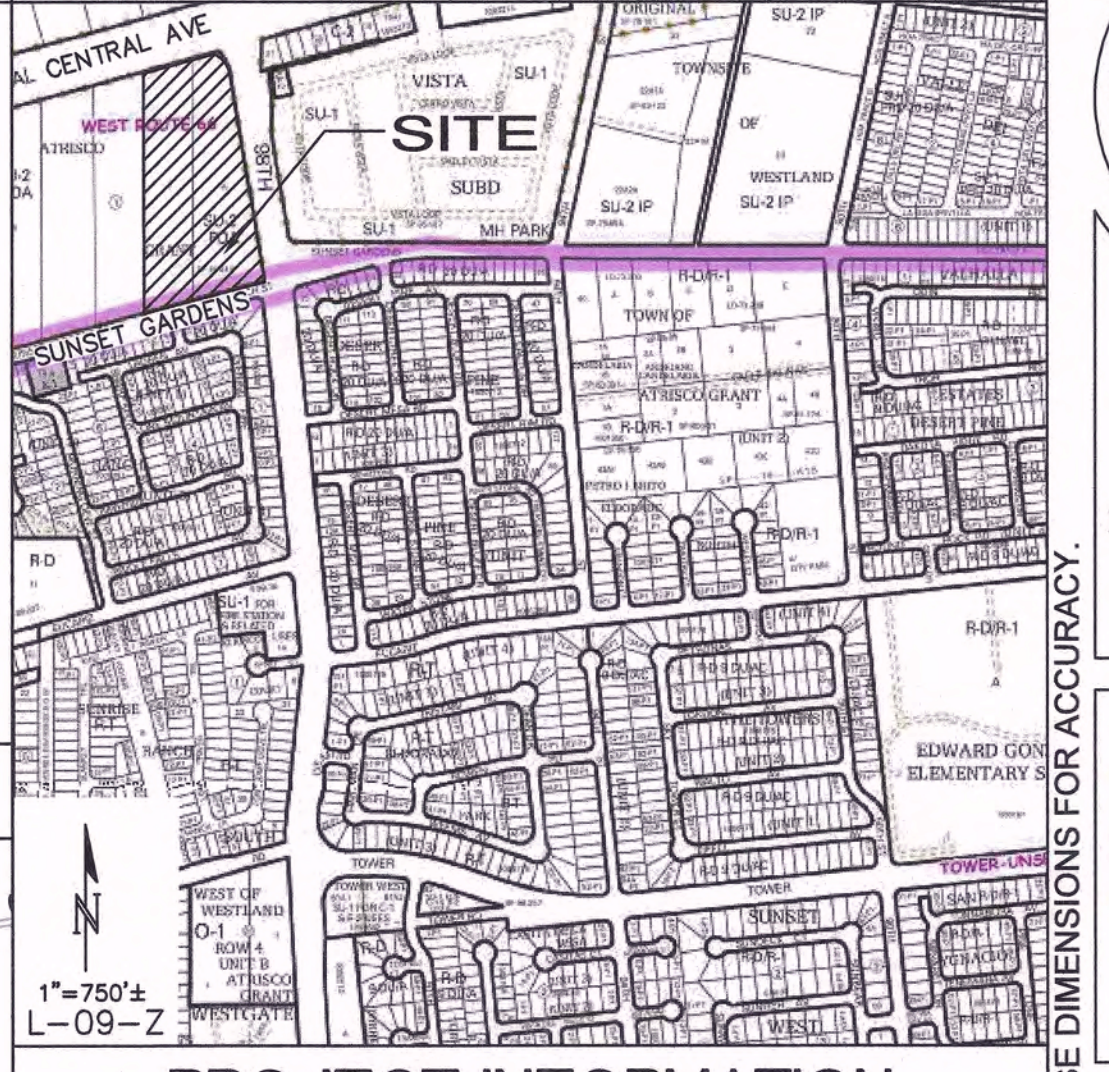
NO PERIMETER WALLS (RETAINING AND/OR PRIVACY) MAY BE CONSTRUCTED ON ADJACENT PROPERTY (INCLUDING WALL FOOTING) WITHOUT ADJACENT PROPERTY OWNER'S PERMISSION. STRUCTURAL DETAILS, INCLUDING FOOTINGS, GUARDRAILS, WATERPROOFING, REINFORCING, ETC. WILL BE DESIGNED AS PART OF BUILDING PERMIT PLANS.



GENERAL NOTES

- GRADES SHOWN ON THE CONCEPTUAL GRADING AND DRAINAGE PLAN REFLECT THE OVERALL GRADING SCHEME. ADA COMPLIANT PARKING WILL BE COORDINATED WITH ARCHITECT TO ENSURE MAX. 2% SLOPE IN ANY DIRECTION.
- LANDSCAPING WILL BE DEPRESSED TO HARVEST STORMWATER EXCEPT WITHIN 10' OF A BUILDING OR STRUCTURE.
- ROCK EROSION PROTECTION WILL BE REQUIRED AT CURB OPENINGS, ON SLOPES > 4:1 AND WITHIN SWALES CARRYING CONCENTRATED FLOW.
- STEPS, RAMPS, AND TRANSITION GARDEN RETAINING WALLS AS REQUIRED TO ACHIEVE GRADE TRANSITIONS WILL BE DETERMINED AS EACH PROPERTY DEVELOPS.
- PERIMETER RETAINING WALLS: PER THE DPM, CHAPTER 22.5 B, CARE SHOULD BE TAKEN TO ENSURE THAT THE ADJACENT PROPERTY IS NOT DAMAGED OR ITS USE CONSTRAINED DUE TO GRADING AT OR NEAR THE PROPERTY LINE. ENCRoACHING INTO THE ADJACENT PROPERTY WITH GRADING AND/OR WALL FOOTING WILL REQUIRE WRITTEN PERMISSION FROM THE AFFECTED PROPERTY OWNERS. LETTERS ARE TO BE PROVIDED TO COA HYDROLOGY FOR THEIR FILES PRIOR TO HYDROLOGY APPROVAL FOR BUILDING PERMIT.
- STORMWATER QUALITY RETENTION PONDS WILL BE LOCATED AND CONSTRUCTED AS EACH PROPERTY DEVELOPS. PRIOR TO BUILDING PERMIT APPROVAL, A "PAYMENT-IN-LIEU FOR S.Q. VOLUME REQUIREMENT" TREASURY DEPOSIT SLIP WILL BE PROVIDED BY C.O.A. HYDROLOGY BASED ON THE PORTION OF S.Q. VOLUME (@ \$8.00 PER CF) THAT IS NOT RETAINED ON-SITE. A COPY OF THE PAID RECEIPT WILL BE REQUIRED PRIOR TO RECEIVING HYDROLOGY APPROVAL FOR BUILDING PERMIT.

VICINITY MAP L-09



PROJECT INFORMATION

PROPERTY: THE SITE IS AN UNDEVELOPED PROPERTY LOCATED WITHIN C.O.A. VICINITY MAP L-09. THE SITE IS BOUND TO THE EAST BY 98TH ST. SW, TO THE WEST BY A PARTIALLY DEVELOPED COMMERCIAL PROPERTY, TO THE NORTH BY CENTRAL AVE. SW AND TO THE SOUTH BY SUNSET GARDENS RD SW.

PROPOSED IMPROVEMENTS: THE PROPOSED IMPROVEMENTS INCLUDE A MULTI-BUILDING COMMERCIAL CENTER WITH ASSOCIATED ASPHALT PAVED ACCESS, PARKING, AND LANDSCAPING.

LEGAL: LOT 1-A, BLK 1 EXCLUDING THE 'ELY POR' OF LOTS 1-A & 1-B, LANDS OF ATRISCO LAND GRANT (4.25 ACRE) AND LOT 2 BLK 1, PLAT OF LANDS OF THE ATRISCO GRANT (4.61 ACRE)

BENCHMARK: ACS MONUMENT 14-K9: A 3-1/4" ALUMINUM DISK SET IN CONCRETE AT THE NW CORNER OF THE INTERSECTION OF BRIDGE BLVD SW AND 86TH ST. SW. ELEVATION (NAVD 1988): 5117.017

TEMPORARY BENCHMARKS: A 1/2" REBAR W/PLASTIC CAP "PS 14269" SET AT THE NW PROPERTY CORNER OF LOT 2 OF THIS SURVEY. ELEVATION (NAVD 1988): 5218.38

FLOOD HAZARD: THIS PROPERTY LIES WITHIN FEMA FLOODZONE "X" (NO FLOOD HAZARD) AND IS NOT SUBJECT TO 100-YEAR FLOOD HAZARDS. REFERENCE: FLOOD INSURANCE RATE MAP, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO PANEL 350002 0328 H; EFFECTIVE DATE: AUGUST 16, 2012.

OFFSITE FLOWS

OFFSITE TRACTS WEST OF THE PROPERTY HISTORICALLY DRAIN 26.9 CFS OF STORMWATER ACROSS THIS PROPERTY TOWARD 98TH STREET.

AS EACH PHASE OF THIS PROPERTY IS DEVELOPED, THE OFFSITE DRAINAGE IMPACTING THE SPECIFIC PHASE SHALL BE ASSESSED AND ADDRESSED AS PART OF THE HYDROLOGY SUBMITTAL FOR BUILDING PERMIT. THIS GRADING PLAN SHOWS HOW THE FULLY DEVELOPED TRACT WILL ROUTE THE OFFSITE FLOWS THROUGH THE SITE.

KEYED NOTES

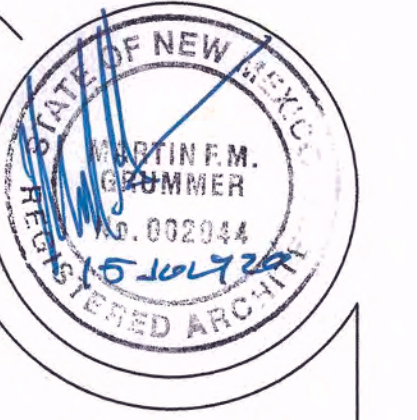
- PRIVATE ON-SITE STORM DRAIN SYSTEM AS NEEDED.
- CONNECTION TO PUBLIC STORM DRAIN INLET.
- RETAINING / GARDEN WALLS (WHERE NEEDED) TO ACHIEVE GRADE TRANSITIONS.
- SEE OUTFLOW STRUCTURE DETAIL THIS SHEET.
- ADA COMPLIANT CONNECTION TO PUBLIC SIDEWALK.
- PERIMETER WALL WITH RETAINING AS NEEDED TO ACHIEVE GRADE TRANSITION.
- NEW PUBLIC STORM DRAIN INLETS TO BE CONSTRUCTED AS PART OF PUBLIC WORK ORDER (PWO).
- NEW PAVING, CURB AND GUTTER, SIDEWALK, SITE ENTRANCE TO BE CONSTRUCTED AS PART OF PWO.

LEGEND

- - - EXISTING CONTOUR
- - - PROPOSED CONTOUR
- ◆ 78.3 PROPOSED SPOT ELEVATION
- FLOW ARROW
- FF = 5207.00 FINISH FLOOR ELEVATION
- * STORMWATER QUALITY LOCATION

CONCEPTUAL GRADING + DRAINAGE PLAN

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 2306 CG-101 CONCEPTUAL.dwg Sep 24, 2019



MARTIN FM GRUMMER
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 331 WHELEYS PLACE NE
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NOT FOR CONSTRUCTION
 SEPTEMBER 06, 2019

MERCADO EL MILAGRO
 NEW SITE PLAN
 10000 CENTRAL AVENUE SW
 ALBUQUERQUE, NEW MEXICO 87141

DATE:

DRAWN BY:

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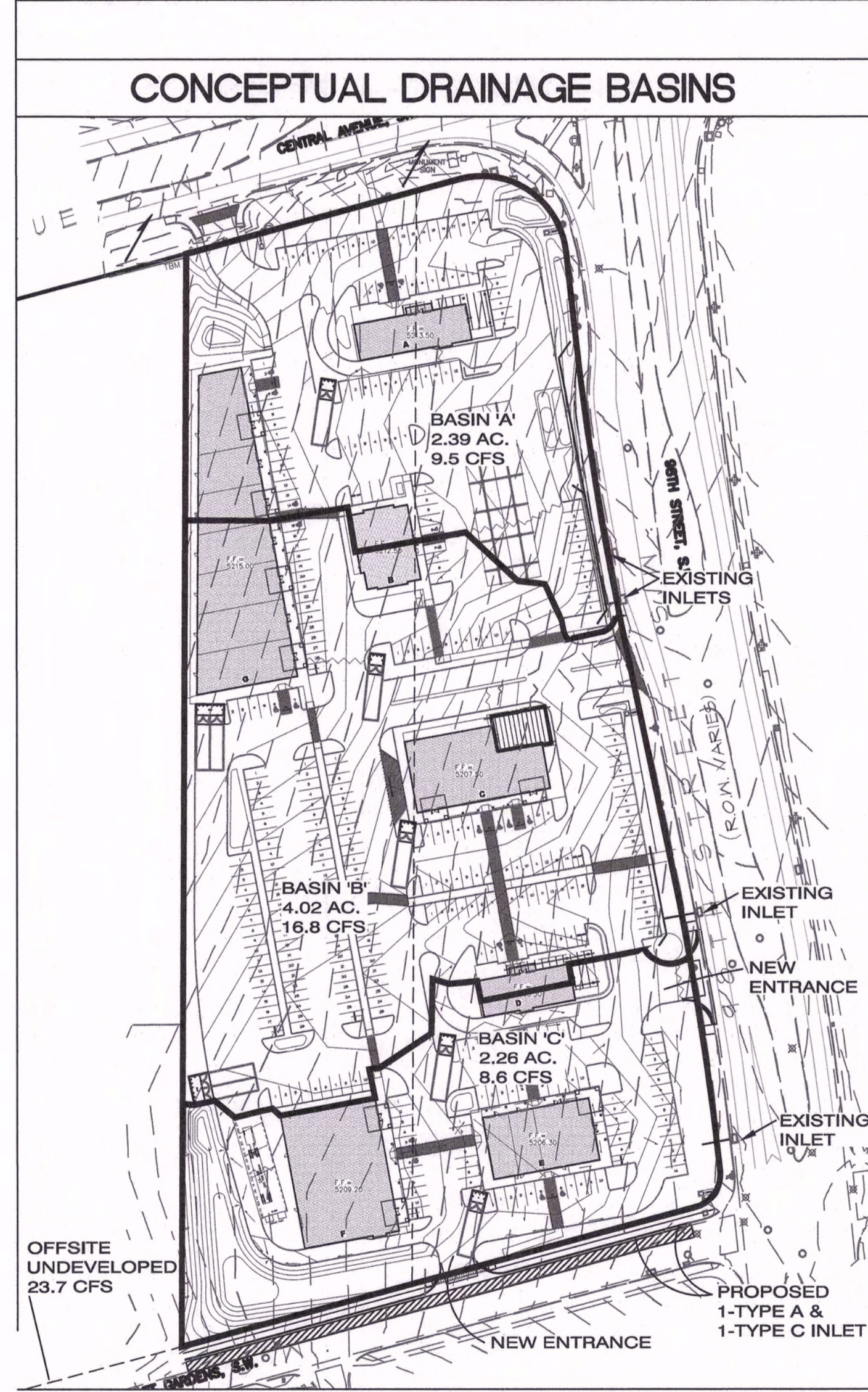
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CG-101
 5 OF 14

ALL DIMENSIONS ARE TO BE FIELD VERIFIED. IF THERE ARE DISCREPANCIES, PLEASE NOTIFY THE ARCHITECT. DRAWINGS ARE NOT TO BE SCALED. USE DIMENSIONS FOR ACCURACY.

CONCEPTUAL DRAINAGE BASINS	
BASIN NO. A	DESCRIPTION
Area of basin flows = 10390 SF	2.4 Ac.
The following calculations are based on Treatment areas as shown in table to the right	
Sub-basin Weighted Excess Precipitation (see formula above)	LAND TREATMENT
Weighted E = 1.74 in.	A = 0%
Sub-basin Volume of Runoff (see formula above)	B = 10%
V ₆₀ = 15096 CF	C = 10%
Sub-basin Peak Discharge Rate: (see formula above)	D = 80%
Q _p = 9.5 cfs	FIRST FLUSH VOL.
	2357 CF
BASIN NO. B	DESCRIPTION
Area of basin flows = 17509 SF	4.0 Ac.
The following calculations are based on Treatment areas as shown in table to the right	
Sub-basin Weighted Excess Precipitation (see formula above)	LAND TREATMENT
Weighted E = 1.86 in.	A = 0%
Sub-basin Volume of Runoff (see formula above)	B = 5%
V ₆₀ = 27073 CF	C = 5%
Sub-basin Peak Discharge Rate: (see formula above)	D = 90%
Q _p = 16.8 cfs	FIRST FLUSH VOL.
	4463 CF
BASIN NO. C	DESCRIPTION
Area of basin flows = 9830 SF	2.3 Ac.
The following calculations are based on Treatment areas as shown in table to the right	
Sub-basin Weighted Excess Precipitation (see formula above)	LAND TREATMENT
Weighted E = 1.64 in.	A = 0%
Sub-basin Volume of Runoff (see formula above)	B = 14%
V ₆₀ = 13470 CF	C = 15%
Sub-basin Peak Discharge Rate: (see formula above)	D = 71%
Q _p = 8.6 cfs	FIRST FLUSH VOL.
	1982 CF



OVERALL CALCULATIONS	
CALCULATIONS: MILAGRO :	
Based on Drainage Design Criteria for City of Albuquerque Section 22.2, DPM, Vol 2, dated Jan., 1993	
ON-SITE	
AREA OF SITE:	377532 SF = 8.67 AC
100-year, 6-hour	
PREVIOUS DEVELOPED FLOWS:	DEVELOPED FLOWS:
Area A = 0 0%	Area A = 0 0%
Area B = 377532 100%	Area B = 33978 9%
Area C = 0 0%	Area C = 33978 9%
Area D = 0 0%	Area D = 309576 82%
Total Area = 377532 100%	Total Area = 377532 100%
EXCESS PRECIP:	
EA = 0.44	EB = 0.67
EC = 0.99	ED = 1.97
On-Site Weighted Excess Precipitation (100-Year, 6-Hour Storm)	
Weighted E = $\frac{EA \cdot A + EB \cdot B + EC \cdot C + ED \cdot D}{A + B + C + D}$	
Historic E = 0.67 in.	Developed E = 1.76 in.
On-Site Volume of Runoff: V ₃₆₀ = E ² A / 12	
Historic V ₃₆₀ = 21079 CF	Developed V ₃₆₀ = 55522 CF
On-Site Peak Discharge Rate: Q _p = Q _{BA} A + Q _{BB} B + Q _{BC} C + Q _{BD} D / 43,560	
For Precipitation Zone 1	
Q _{BA} = 1.29	Q _{BC} = 2.87
Q _{BB} = 2.03	Q _{BD} = 4.37
Historic Q _p = 17.6 CFS	Developed Q _p = 34.9 CFS

CONCEPTUAL DRAINAGE BASINS

FINAL DRAINAGE BASINS MAY BE ADJUSTED BASED ON FINALIZED BUILDING ROOF DISCHARGE LOCATIONS AND FINAL GRADES.

THIS PROPERTY WAS PREVIOUSLY APPROVED (CURTIS A. CHERNE P.E. LETTER DATED JANUARY 25, 2010) FOR PLATTING AND SITE PLAN ACTION BY THE DRB.

THE SAD 222 PROJECT PUBLIC STORM DRAIN FACILITIES INCLUDED A MONETARY ASSESSMENT AGAINST THIS PROPERTY (PAID). FREE DISCHARGE OF DEVELOPED CONDITION STORM WATER IS PROVIDED. SURFACE DISCHARGE TO THE ADJACENT STREETS AS WELL AS DIRECT STORM DRAIN CONNECTIONS TO PUBLIC STORM DRAIN SYSTEM WILL BE DESIGNED AT EACH PHASE AS NEEDED.

FINAL DESIGN FOR PUBLIC STORM DRAIN IMPROVEMENTS WITHIN SUNSET GARDENS R/W WILL BE PROVIDED AS PART OF THE PUBLIC WORK ORDER SUBMITTAL.

18" DIA. STUBS FROM THE PROPERTY LINE TO THE BACK OF THE IDENTIFIED PUBLIC STORM DRAIN IMPROVEMENTS WITHIN THE PUBLIC R/W WILL BE CONSTRUCTED AS PART OF THE PUBLIC WORK ORDER CONSTRUCTION. THESE STUBS WILL BE CAPPED AT THE PROPERTY LINE FOR FUTURE PRIVATE CONNECTION.

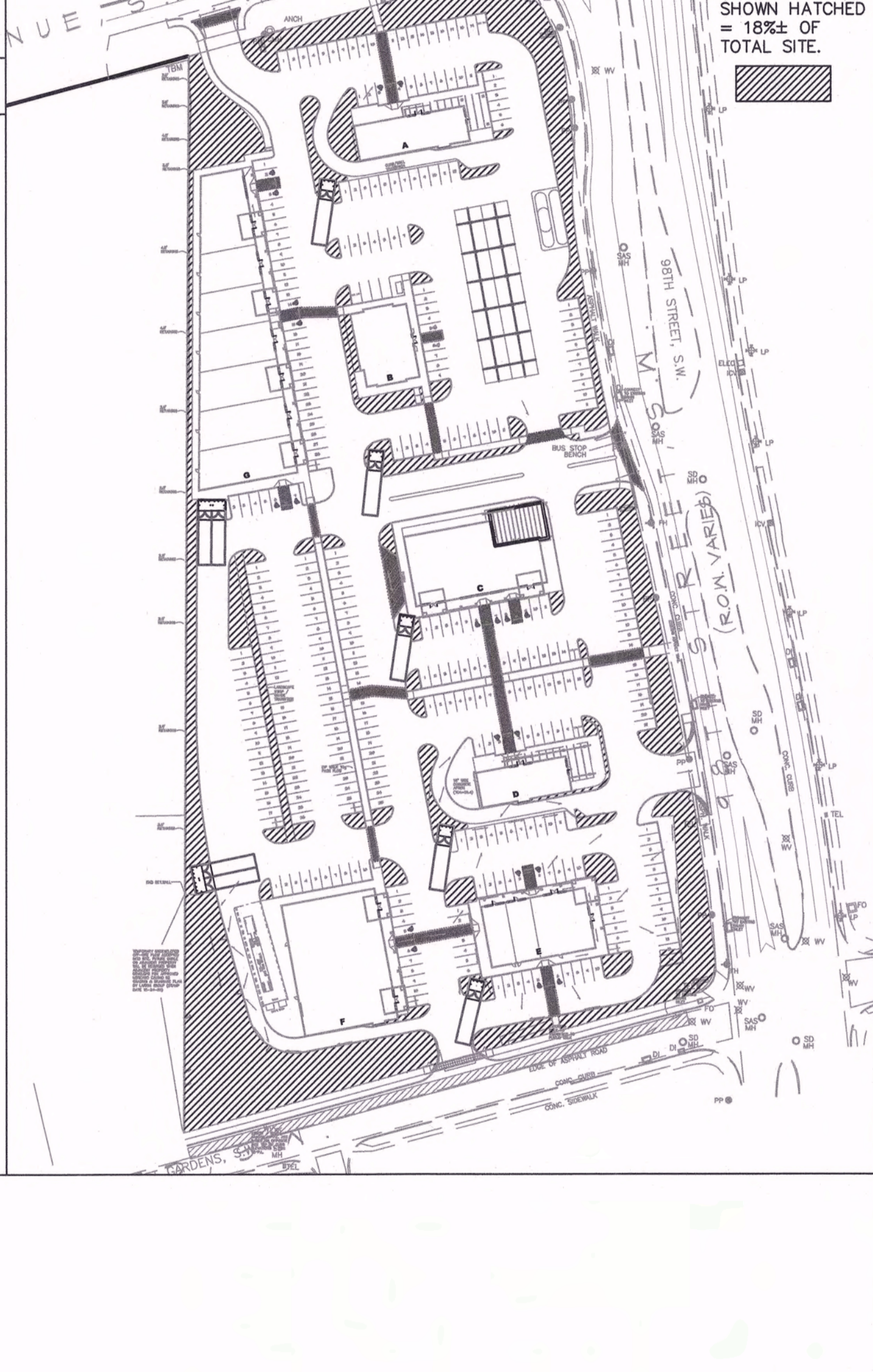
STORMWATER QUALITY

FOR NEW CONSTRUCTION, THE CABQ STORMWATER QUALITY (S.Q.) VOLUME IS BASED ON THE 90TH PERCENTILE STORM EVENT OR 0.34" [0.44" LESS 0.1" FOR INITIAL ABSTRACTION] OF STORMWATER WHICH DISCHARGES DIRECTLY TO A PUBLIC STORM DRAINAGE SYSTEM.

THE ESTIMATED IMPERVIOUS AREA FOR THIS PROPERTY IS CALCULATED AS 82% OF TOTAL AREA: (0.82 * 8.67 AC) = 309,576 SF. THE TOTAL REQUIRED S.Q. RETENTION VOLUME = 0.34" * TYPE 'D' AREA: 0.34/12 * (309,576 SF) = 8,772 CF. THIS MAY VARY DEPENDING ON THE FINAL IMPERVIOUS AREA TO BE CONSTRUCTED WITH EACH PHASE.

S.Q. RETENTION PONDS WILL BE CONSTRUCTED THROUGHOUT THE PROPERTY AS THE SITE DEVELOPS. FINAL LOCATIONS AND DESIGN WILL BE PROVIDED AS PART OF THE INDIVIDUAL BUILDING PERMIT CONSTRUCTION DOCUMENTS. AREAS ARE SHOWN (LABELED WITH *) TO INDICATE POTENTIAL S.Q. POND LOCATIONS. PRIVATE FACILITY DRAINAGE COVENANT(S) WILL BE PROVIDED FOR THE S.Q. PONDS IF REQUIRED.

PRIOR TO EACH BUILDING PERMIT APPROVAL, A "PAYMENT IN-LIEU FOR S.Q. VOLUME REQUIREMENT" TREASURY DEPOSIT SLIP WILL BE PROVIDED BY C.O.A. HYDROLOGY BASED ON THE PORTION OF S.Q. VOLUME @ \$8.00 PER CF THAT IS NOT RETAINED ON-SITE. A COPY OF THE PAID RECEIPT WILL BE REQUIRED PRIOR TO RECEIVING HYDROLOGY APPROVAL FOR BUILDING PERMIT.



CONCEPTUAL GRADING + DRAINAGE NOTES AND CALCULATIONS

ISAACSON & ARFMAN, P.A.
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 2306 CG-101 CONCEPTUAL.dwg May 20, 2019



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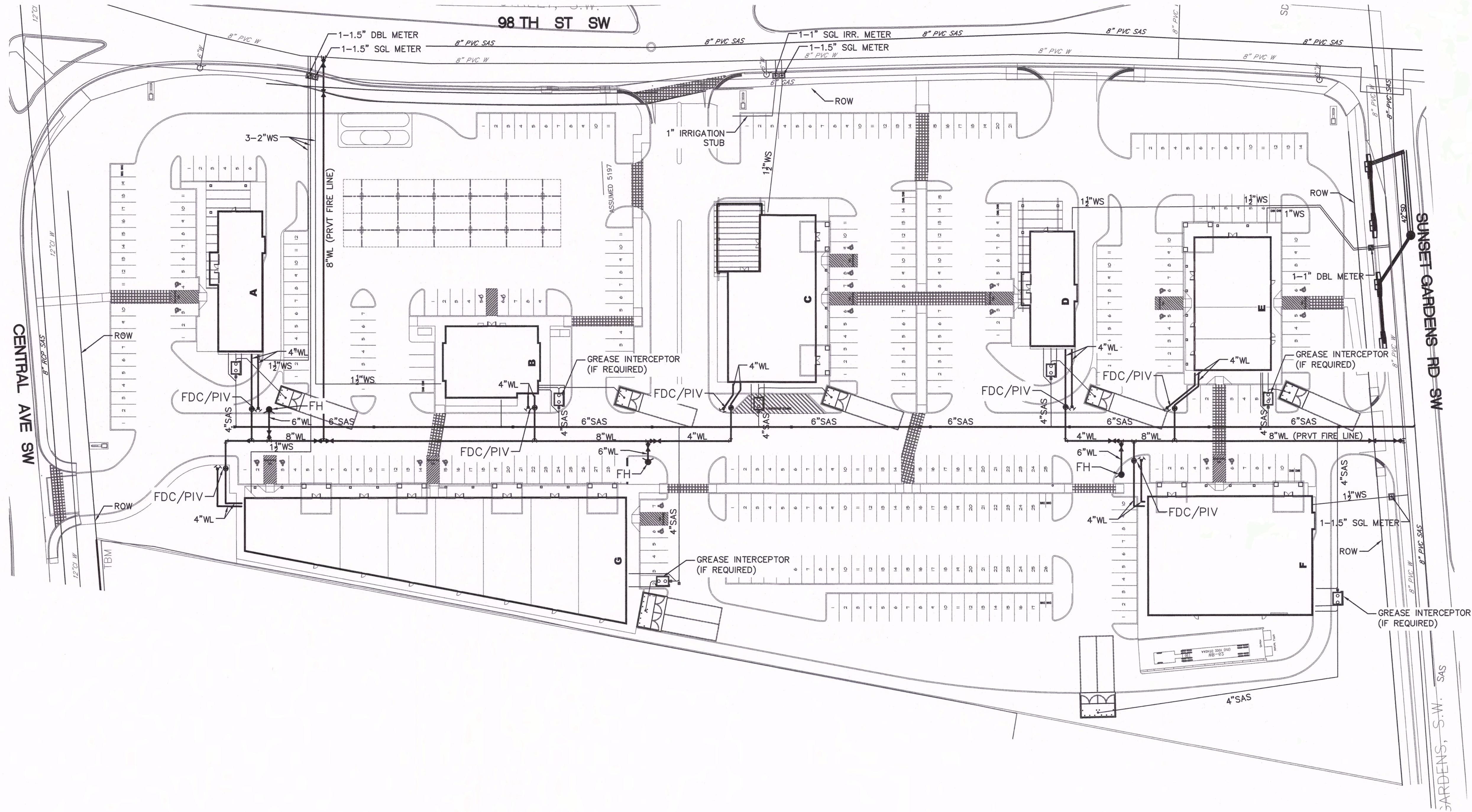


MERCADO EL MILAGRO
 NEW SITE PLAN
 10000 CENTRAL AVENUE SW
 ALBUQUERQUE, NEW MEXICO 87121

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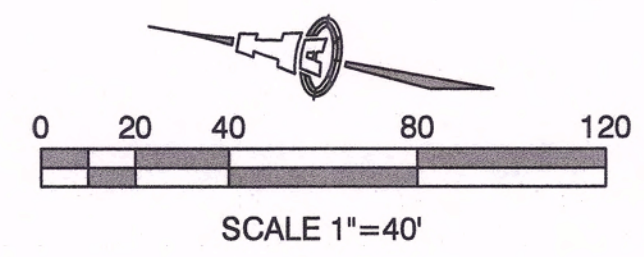
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 6 OF 14



GENERAL NOTES

- EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. ALL UTILITIES SHOULD BE FIELD VERIFIED AND LOCATED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES.
- CONTRACTOR SHALL NOT USE VIBRATORY COMPACTION EQUIPMENT OR HEAVY VEHICLES OVER EXISTING UTILITIES.
- SITE STORM DRAIN, ELECTRIC LINES & TRANSFORMERS AND GAS LINES ARE SHOWN FOR GENERAL INFORMATION ONLY TO PROVIDE AN OVERVIEW OF SITE UTILITIES AND POTENTIAL CONFLICTS. SEE MECHANICAL PLANS FOR GAS LINE SIZING. SEE CG-101 FOR STORM DRAIN DESIGN.
- ALL WATER FITTINGS SHALL HAVE JOINT RESTRAINTS (LT). SEE RESTRAINED JOINT CRITERIA NOTES THIS SHEET. (LT) LENGTH SHOWN ON KEYED NOTES.
- ALL ABOVE GROUND UTILITY EQUIPMENT AND FITTINGS SHALL BE PAINTED IN COLORS TO MATCH BUILDING COLORS.



CONCEPTUAL UTILITY PLAN

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 2306 CU-101-CONCEPT.dwg Sep 12, 2019

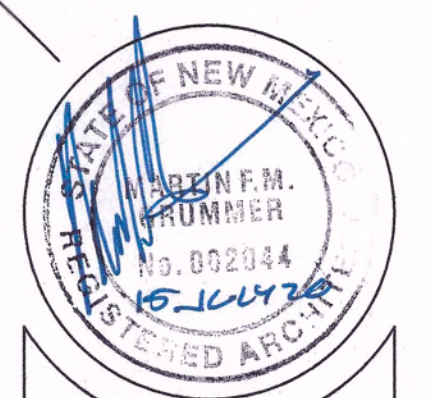
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 NEW SITE PLAN
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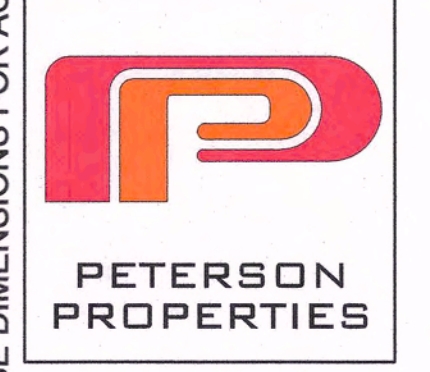
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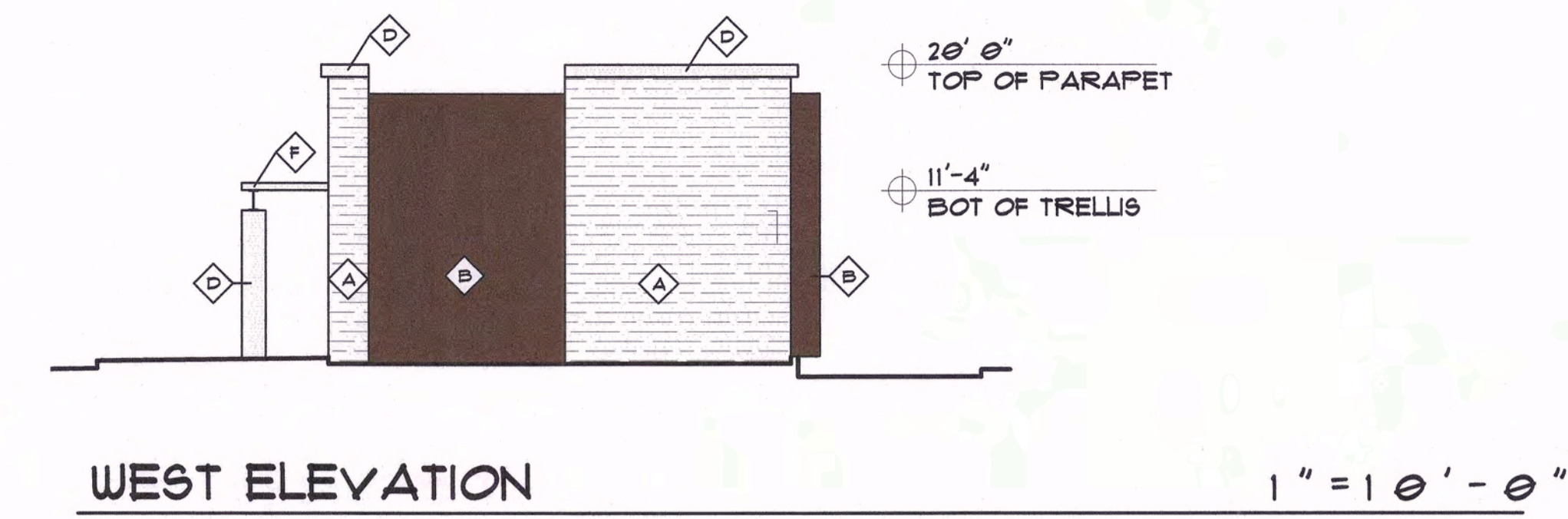
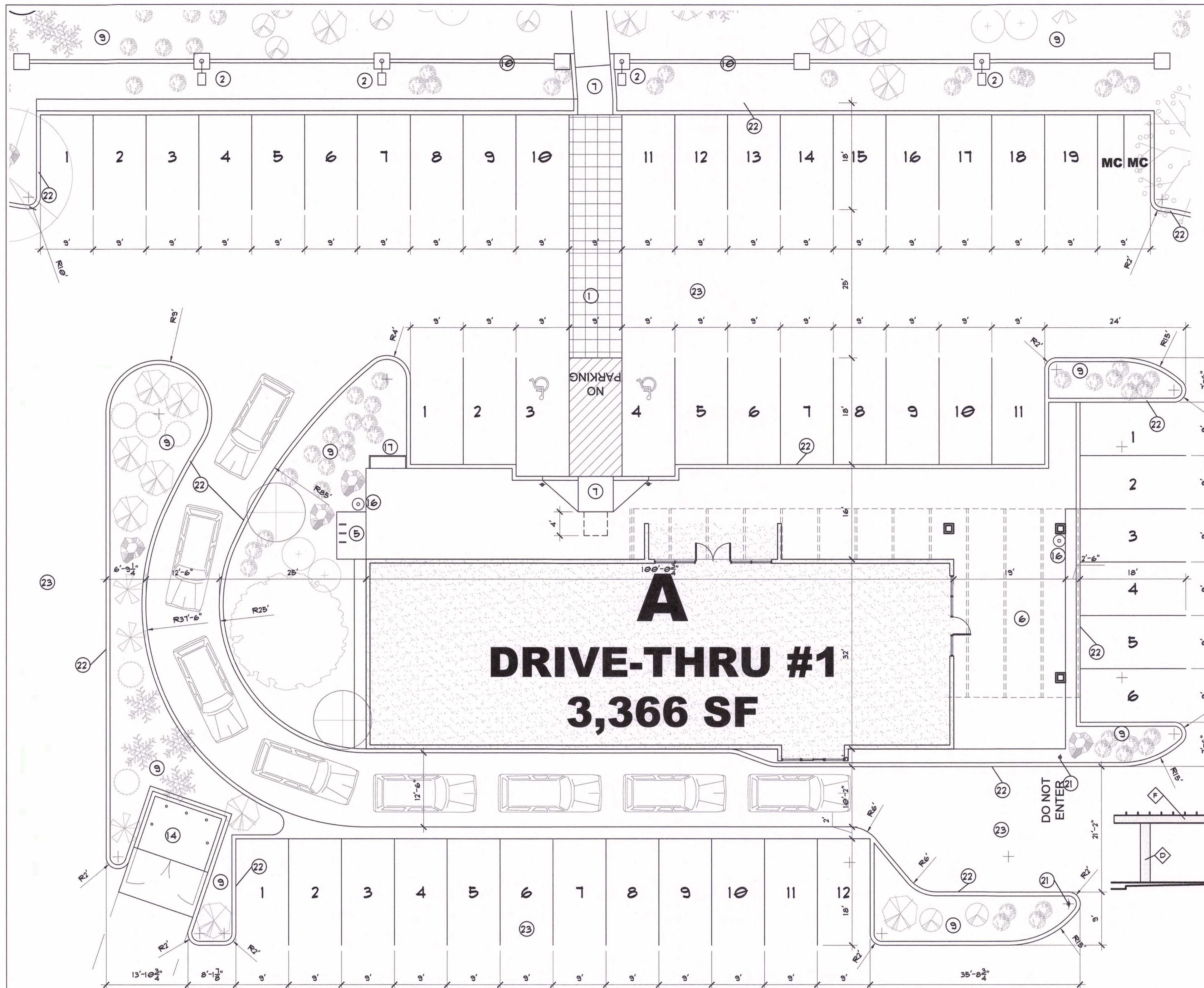
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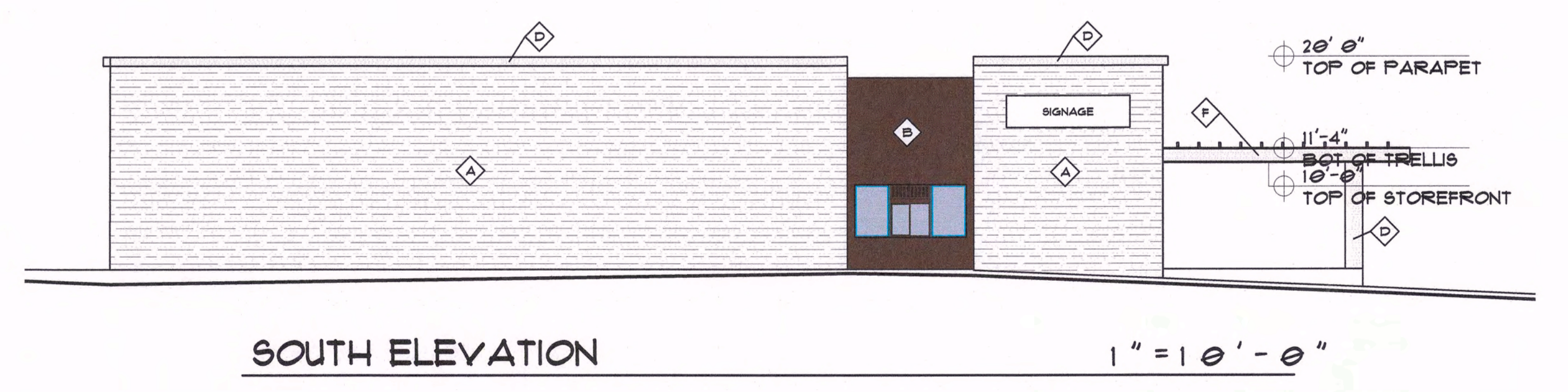
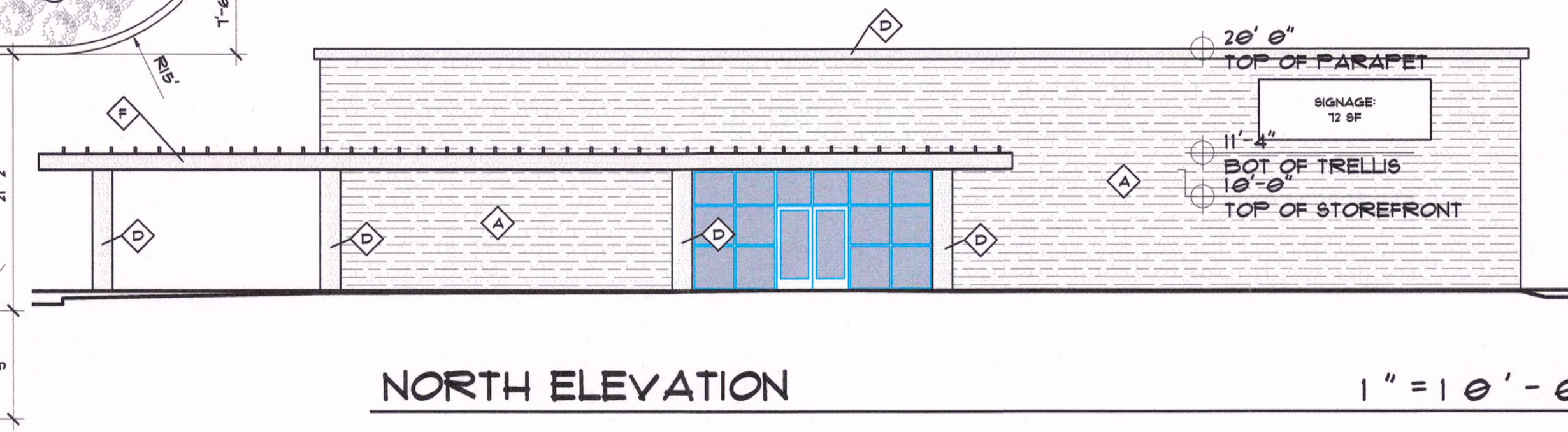
MARTIN F.M. GRUMMER
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 (505) 265-2507





KEYED COLOR / MATERIAL SCHEDULE

◆	STONE	WHITE STONE
◆	STUCCO	BROWN
◆	STUCCO	DARK GREY
◆	STUCCO	WHITE
◆	STOREFRONT	CLEAR ANODIZED ALUMINUM (SILVER COLOR)
◆	METAL TRELLIS	WHITE

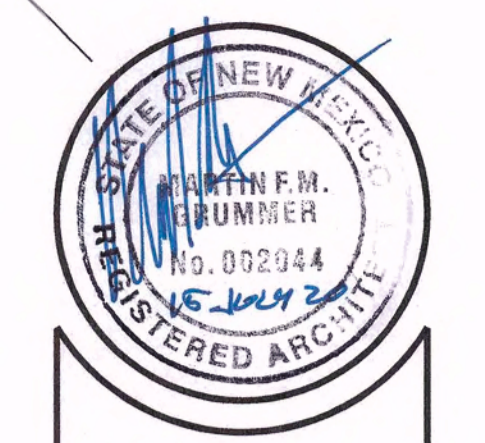
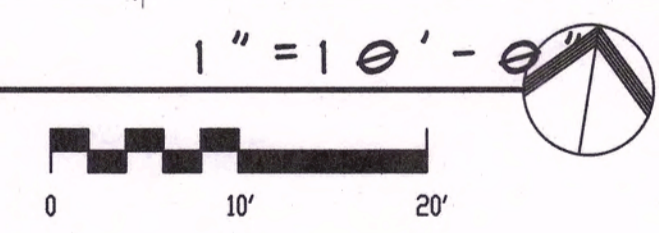


KEYED NOTES

- 1 8" INTEGRALLY COLORED, RAISED, AND TEXTURED CONCRETE PEDESTRIAN CROSSWALK (RAISED TO TWO INCHES WHERE ALLOWED BY GRADES)
- 2 PROPOSED LIGHT POLE LOCATION RE: 0/A1.3 FOR POLE DETAIL
- 3 EXISTING 6" SIDEWALK
- 4 EXISTING ASPHALT BIKE PATH / SIDEWALK
- 5 INDICATES BIKE RACK LOCATION (SEE A2.1 FOR BIKE CAPACITY REQ) SEE DETAIL 1/A1.3
- 6 OUTDOOR DINING/SEATING AREA (RE: LOCATION FOR SIZE)
- 7 HANDICAP RAMP PER COA DWG #2441
- 8 INDICATES NEW 6' HIGH (MIN) CMU (HEIGHT TO BE FIELD VERIFIED) SCREEN WALL FROM ADJACENT COMMERCIAL DEVELOPMENT SEE CIVIL DRAWINGS FOR RETAINING WALL CONDITION SHALL BE SPLIT FACE CMU TO MATCH OTHER SCREEN WALLS
- 9 LANDSCAPE AREA
- 10 PROPOSED 3'-0" HIGH 8" INTEGRALLY COLORED SPLIT-FACED CMU BLOCK SCREEN WALL (TAN/RED COLOR) RE: 0/A1.3 FOR DETAIL
- 11 INDICATES PROPOSED FIRE HYDRANT LOCATION RE: UTILITY PLAN FOR INFO
- 12 INDICATES PROPOSED 4'-6" X 10' MOTORCYCLE PARKING STALL LOCATION - RE: SITE PLAN FOR LOCATIONS WITH MOTORCYCLE SIGNAGE, SEE DETAIL 1/A1.3

SITE PLAN

- 13 INDICATES MONUMENT SIGN - SEE 1/A1.2
- 14 INDICATES DUMPSTER LOCATION RE: DETAIL 2/3/A1.3 -INCLUDING SANITARY DRAIN FOR FOOD SERVICES NOTE: ENCLOSURE SHALL MATCH SCREEN WALL SPLIT FACE CMU
- 15 INDICATES DUMPSTER LOCATION W/ RECYCLE - INCLUDING SANITARY DRAIN FOR FOOD SERVICES NOTE: ENCLOSURE SHALL MATCH SCREEN WALL SPLIT FACE CMU
- 16 INDICATES LOCATION OF TRASH RECEPTACLES
- 17 INDICATES LOCATION OF BENCH
- 18 LOADING DOCK
- 19 LOADING AREA
- 20 CLEAR SITE TRIANGLE LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- 21 "DO NOT ENTER" SIGN. SEE DETAIL 1/A1.3
- 22 6" CONCRETE CURB
- 23 ASPHALT DRIVE AND PARKING
- 24 NEW CURB AND GUTTER
- 25 RIGHT IN / RIGHT OUT ONLY DRIVEWAY



MARTIN FM GRUMMER ARCHITECT
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PETERSON PROPERTIES

MERCADO EL MILAGRO
NEW SITE PLAN
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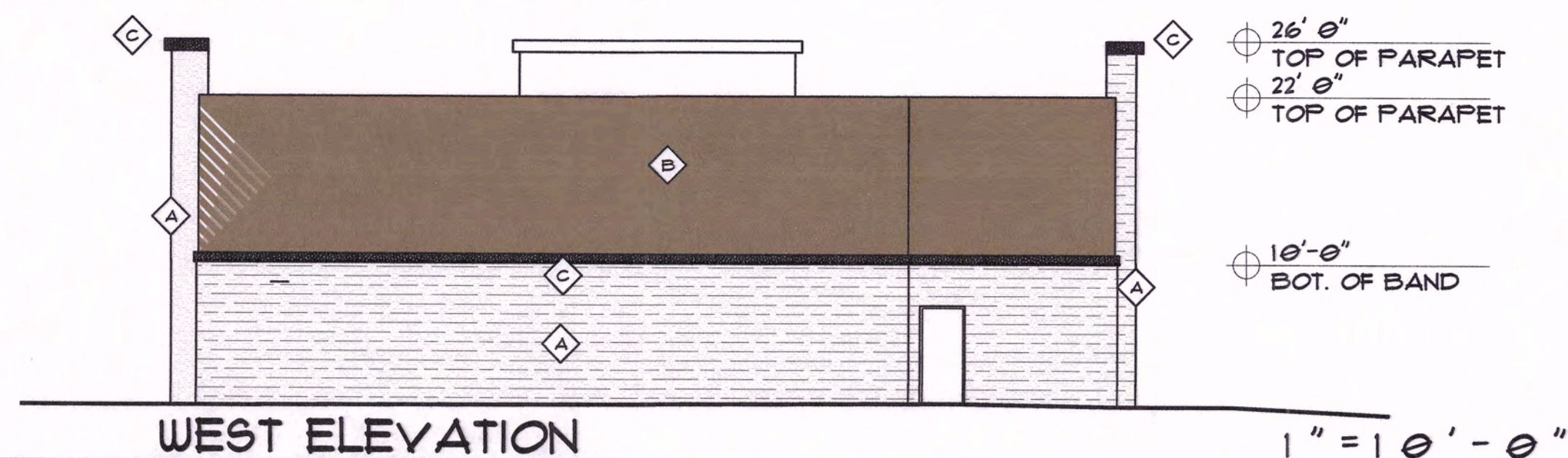
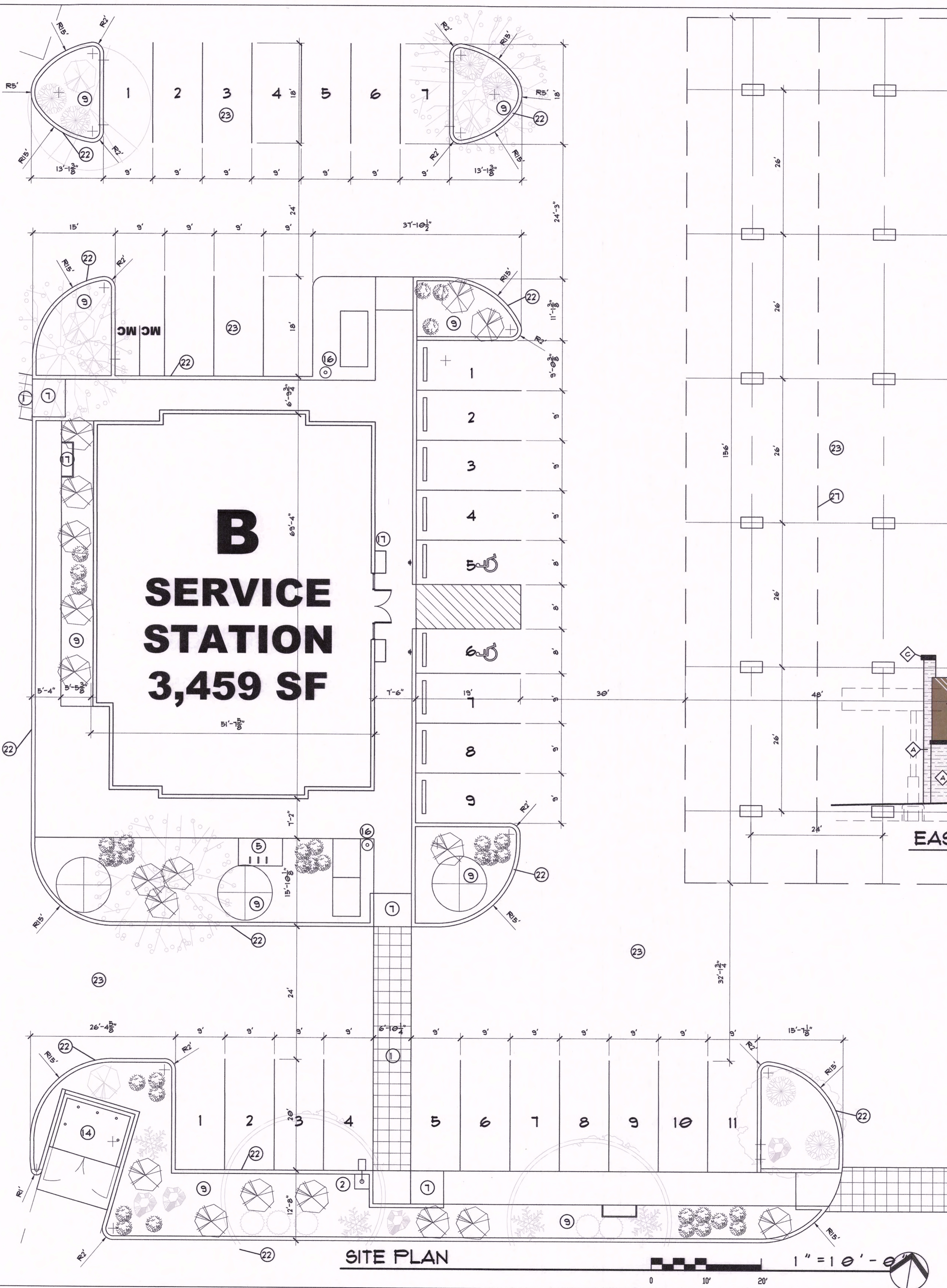
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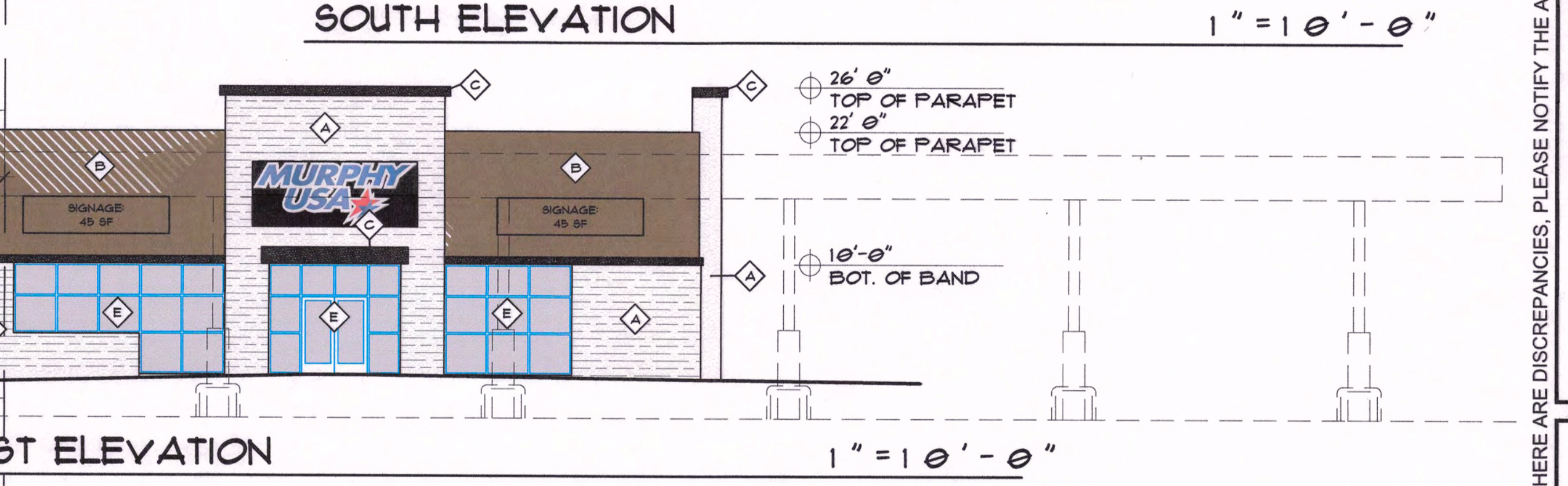
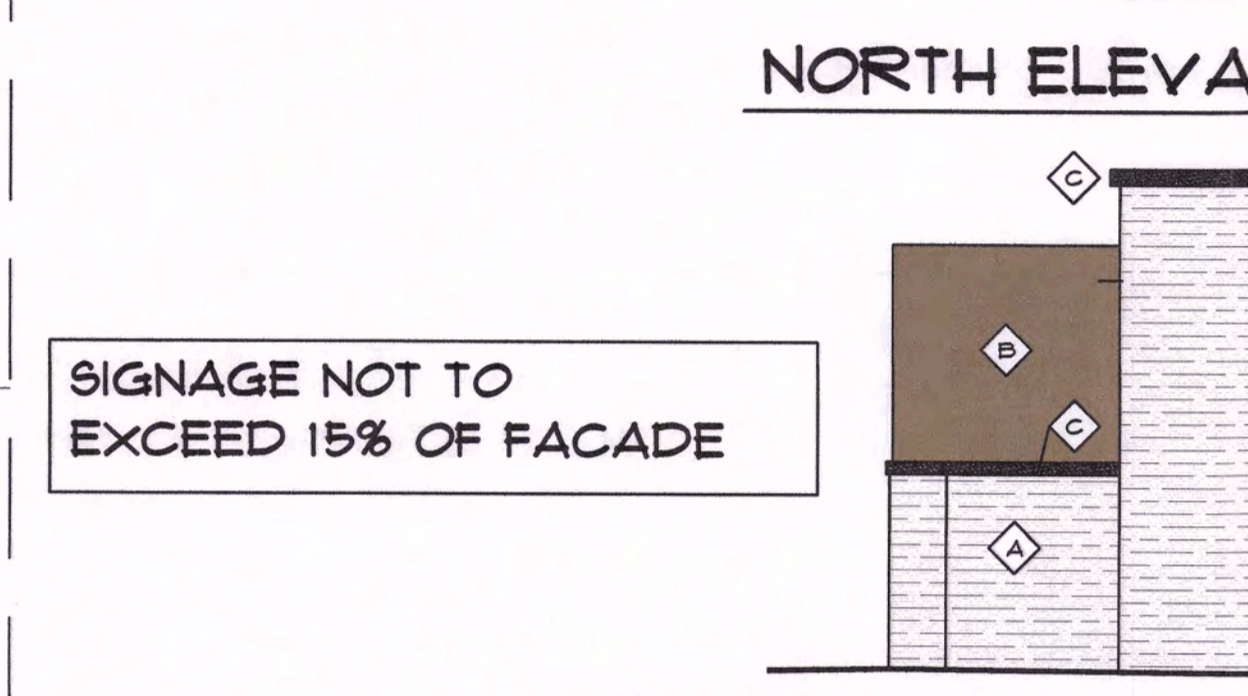
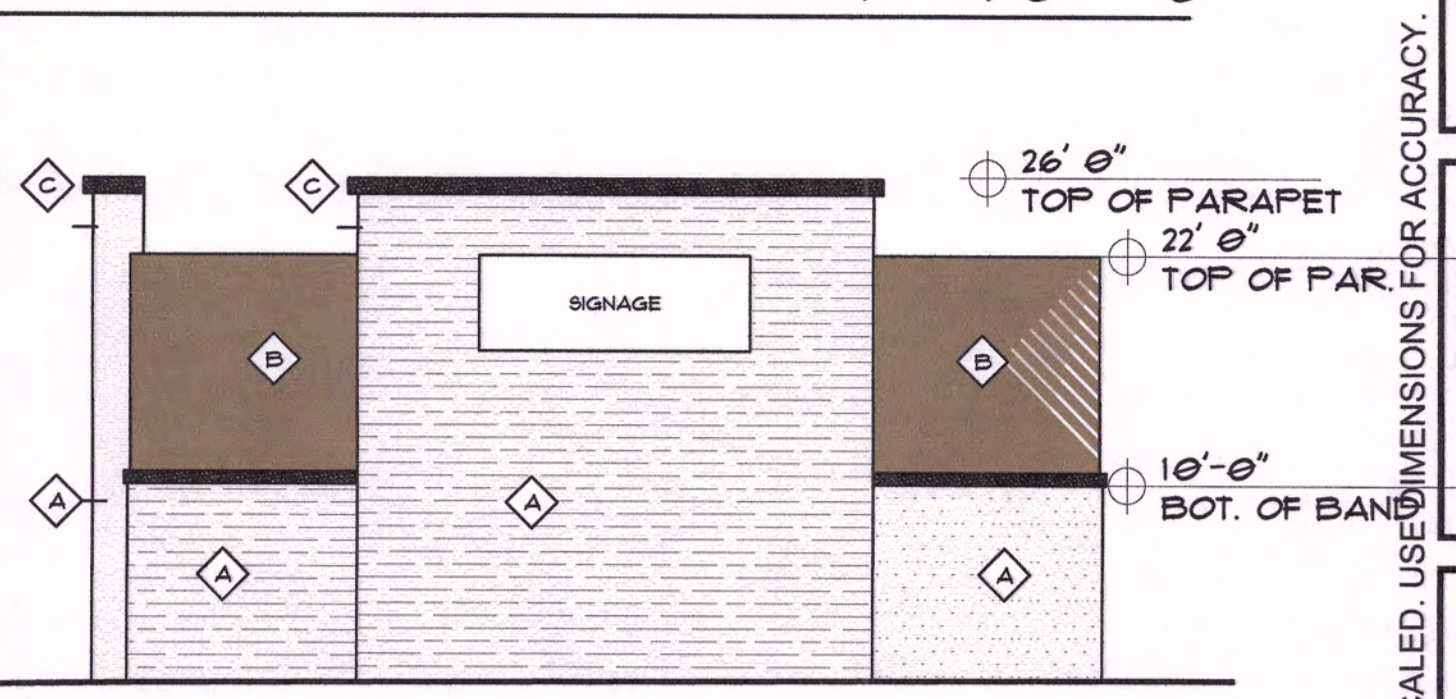
SIGNAGE NOT TO EXCEED 15% OF FACADE

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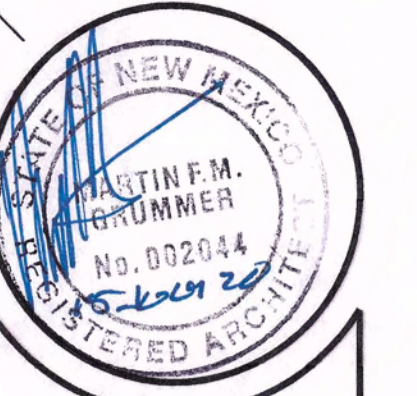
KEYED COLOR / MATERIAL SCHEDULE

◆ A	STONE	WHITE STONE
◆ B	STUCCO	BROWN
◆ C	STUCCO	DARK GREY
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◆ F	METAL TRELLIS	WHITE



KEYED NOTES

- ① 8" INTEGRALLY COLORED, RAISED, AND TEXTURED CONCRETE PEDESTRIAN CROSSWALK (RAISED TO TWO INCHES WHERE ALLOWED BY GRADES)
- ② PROPOSED LIGHT POLE LOCATION RE: 9/A1.3 FOR POLE DETAIL
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- ⑤ INDICATES BIKE RACK LOCATION (SEE A2.1 FOR BIKE CAPACITY REQ) SEE DETAIL 1/A1.3
- ⑥ OUTDOOR DINING/SEATING AREA (RE: LOCATION FOR SIZE)
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- ⑫ INDICATES PROPOSED 4'-6" X 10' MOTORCYCLE PARKING STALL LOCATION - RE: SITE PLAN FOR LOCATIONS WITH MOTORCYCLE SIGNAGE, SEE DETAIL 1/A1.3
- ⑬ INDICATES MONUMENT SIGN - SEE 1/A1.2
- ⑭ INDICATES DUMPSTER LOCATION RE: DETAIL 2/F3/A1.3 INCLUDING SANITARY DRAIN FOR FOOD SERVICES NOTE: ENCLOSURE SHALL MATCH SCREEN WALL SPLIT FACE CMU
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- ㉒ 6" CONCRETE CURB
- ㉓ ASPHALT DRIVE AND PARKING
- ㉔ NEW CURB AND GUTTER
- ㉕ RIGHT IN / RIGHT OUT ONLY DRIVEWAY
- ㉖ ELECTRIC VEHICLE CHARGING STATION (TYP OF 5)
- ㉗ UNDER-CANOPY LIGHTING SHALL BE RECESSED SO THAT NO LIGHT LENS PROJECTS BELOW THE CANOPY CEILING. THE CANOPY FASCIA SHALL NOT BE INTERNALLY ILLUMINATED



MARTIN F.M. GRUMMER
ARCHITECT
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ALBUQUERQUE, NEW MEXICO 87108
(505) 265-2507



MERCADO EL MILAGRO
NEW SITE PLAN
10000 CENTRAL AVENUE SW
ALBUQUERQUE, NEW MEXICO 87121

BLDG B

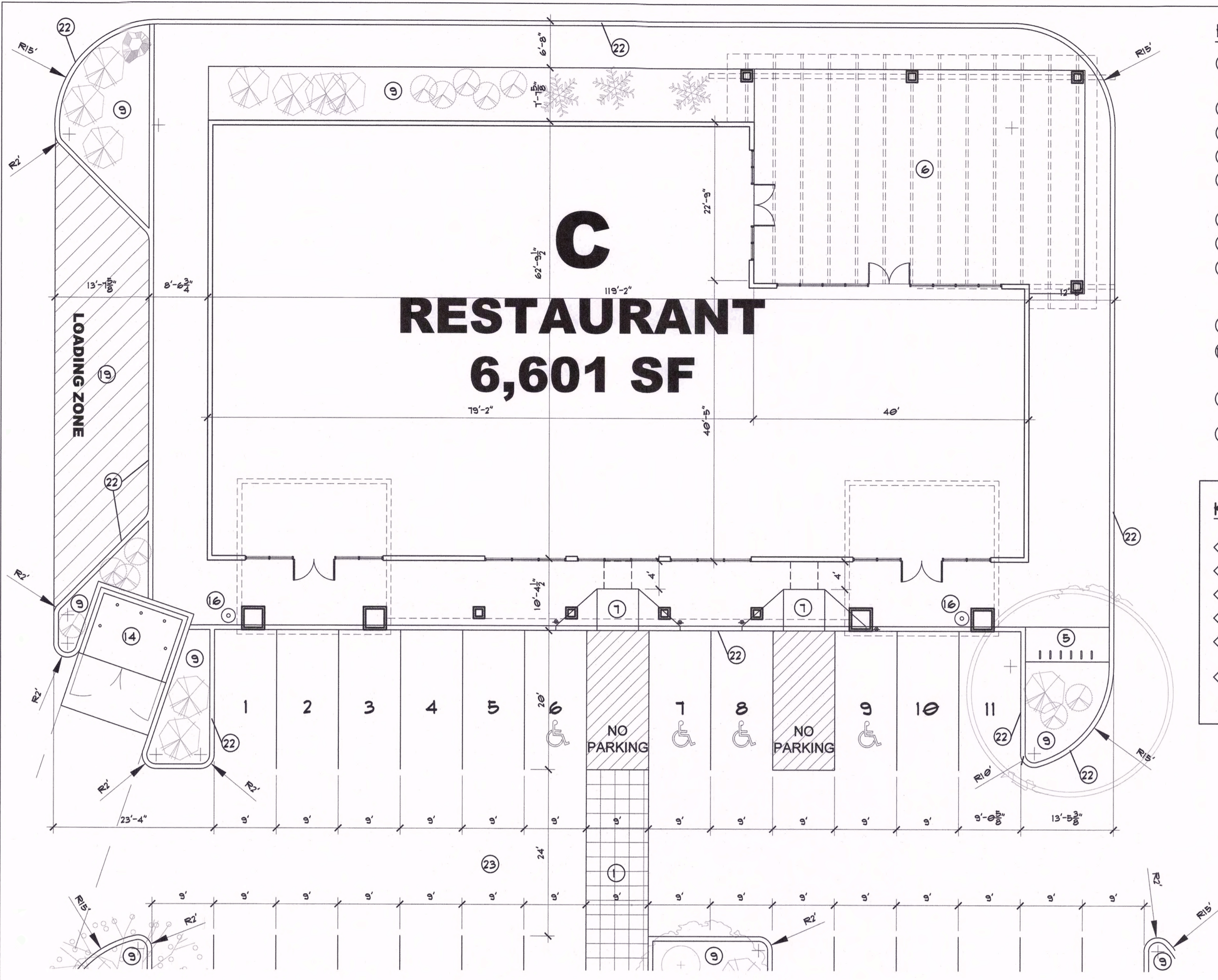
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DATE: 3 DEC 2019
DRAWN BY: MFMG
CHECKED BY:
VERIFIED BY:

REVISIONS

SHEET NO:
A2.2
9 OF 14

ALL DIMENSIONS ARE TO BE FIELD VERIFIED. IF THERE ARE DISCREPANCIES, PLEASE NOTIFY THE ARCHITECT. DRAWINGS ARE NOT TO BE SCALED. USE DIMENSIONS FOR ACCURACY.



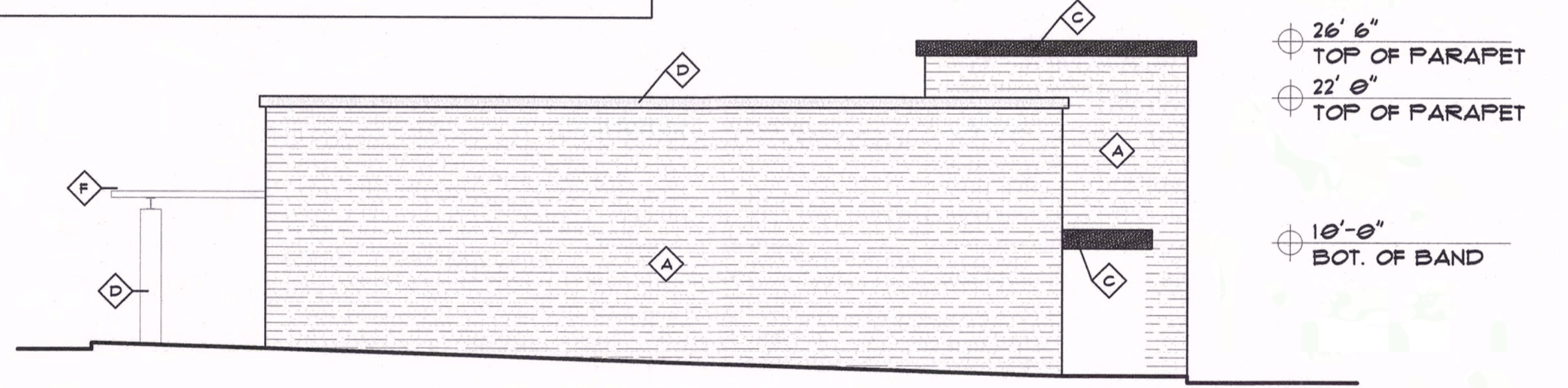
SITE PLAN
1" = 10' - 0"

KEYED NOTES

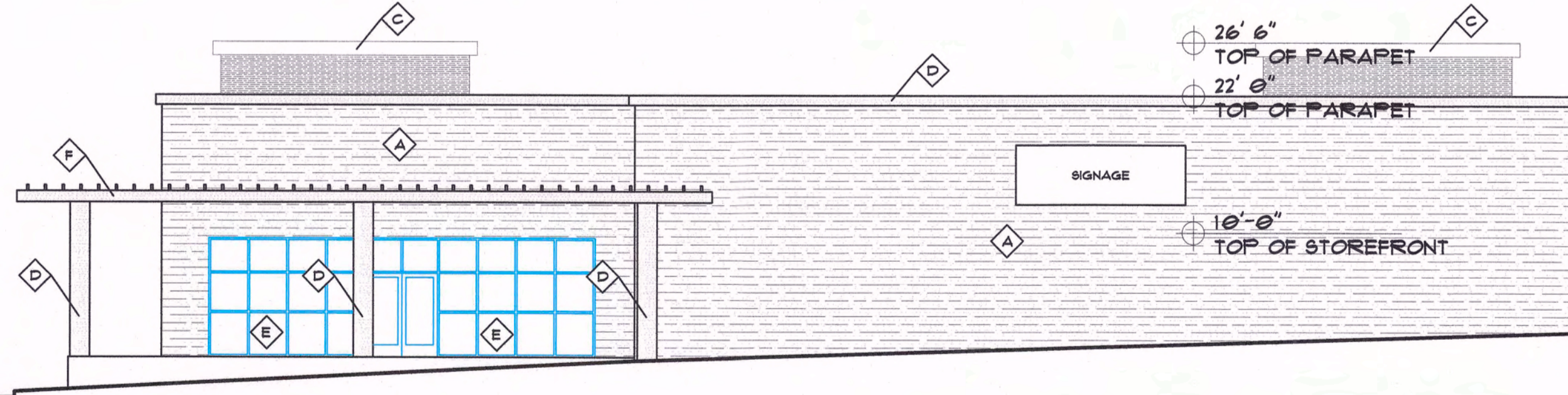
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- 6 OUTDOOR DINING/SEATING AREA (RE: LOCATION FOR SIZE)
- 7 HANDICAP RAMP PER COA DWG #2441
- 8 INDICATES NEW 6' HIGH (MIN) CMU (HEIGHT TO BE FIELD VERIFIED) SCREEN WALL FROM ADJACENT COMMERCIAL DEVELOPMENT SEE CIVIL DRAWINGS FOR RETAINING WALL CONDITION SHALL BE SPLIT FACE CMU TO MATCH OTHER SCREEN WALLS
- 9 LANDSCAPE AREA
- 10 PROPOSED 3'-0" HIGH 8" INTEGRALLY COLORED SPLIT-FACED CMU BLOCK SCREEN WALL (TAN/RED COLOR) RE: 9/AI.3 FOR DETAIL
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- 12 INDICATES PROPOSED 4'-6" X 10' MOTORCYCLE PARKING STALL LOCATION - RE: SITE PLAN FOR LOCATIONS WITH MOTORCYCLE SIGNAGE, SEE DETAIL 1/AI.3
- 13 INDICATES MONUMENT SIGN - SEE 1/AI.2
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KEYED COLOR / MATERIAL SCHEDULE

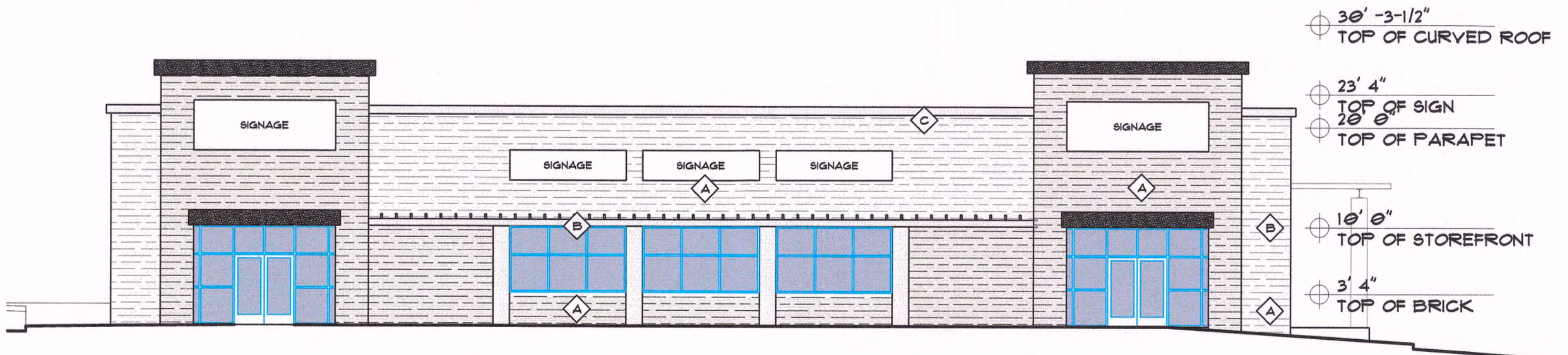
◆ A	STONE	WHITE STONE
◆ B	STUCCO	BROWN
◆ C	STUCCO	DARK GREY
◆ D	STUCCO	WHITE
◆ E	STOREFRONT	CLEAR ANODIZED ALUMINUM (SILVER COLOR)
◆ F	METAL TRELLIS	WHITE



WEST ELEVATION
1" = 10' - 0"

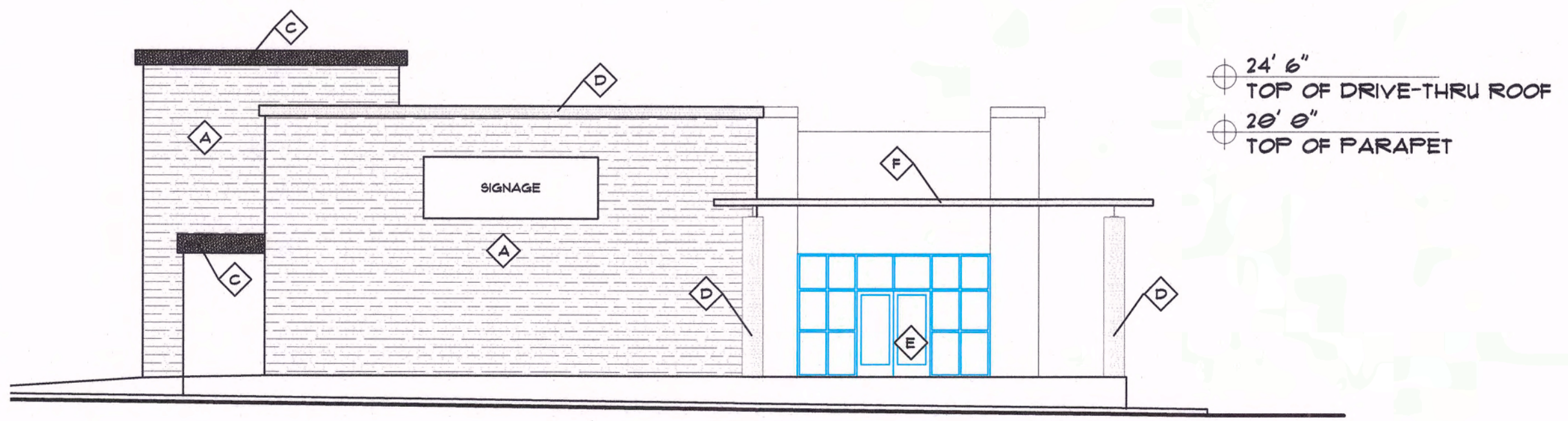


NORTH ELEVATION
1" = 10' - 0"



SOUTH ELEVATION
1" = 10' - 0"

SIGNAGE NOT TO EXCEED 15% OF FACADE



EAST ELEVATION
1" = 10' - 0"



MARTIN FM GRUMMER ARCHITECT
331 WELLESLEY PLACE NE
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(505) 265-2207



PETERSON PROPERTIES

MERCADO EL MILAGRO
NEW SITE PLAN
10000 CENTRAL AVENUE SW
ALBUQUERQUE, NEW MEXICO 87121

BLDG C

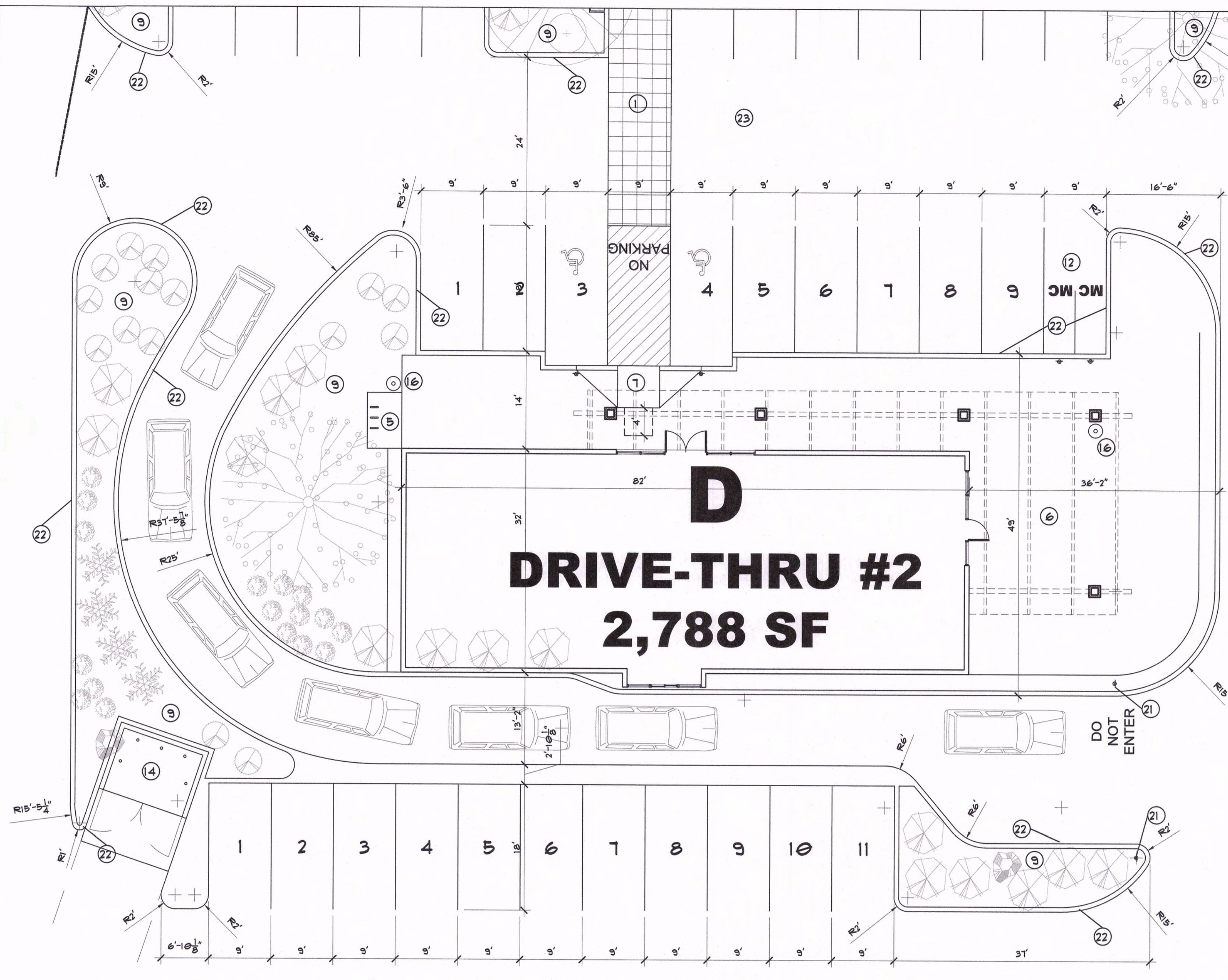
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VERIFIED BY:

REVISIONS

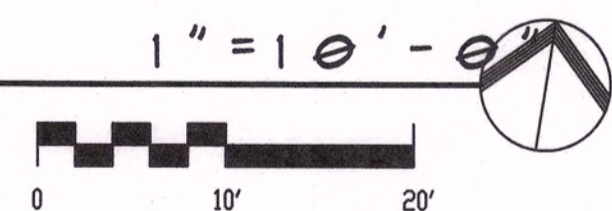
SHEET NO:
A2.3
10 OF 14

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FLOOR PLAN & ELEVATIONS



SITE PLAN

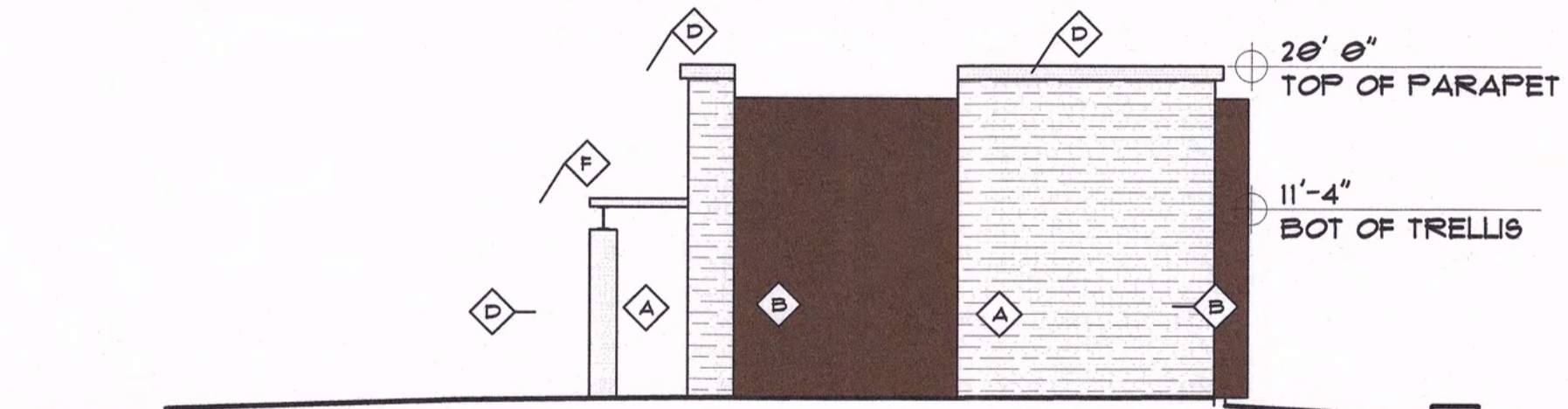


KEYED NOTES

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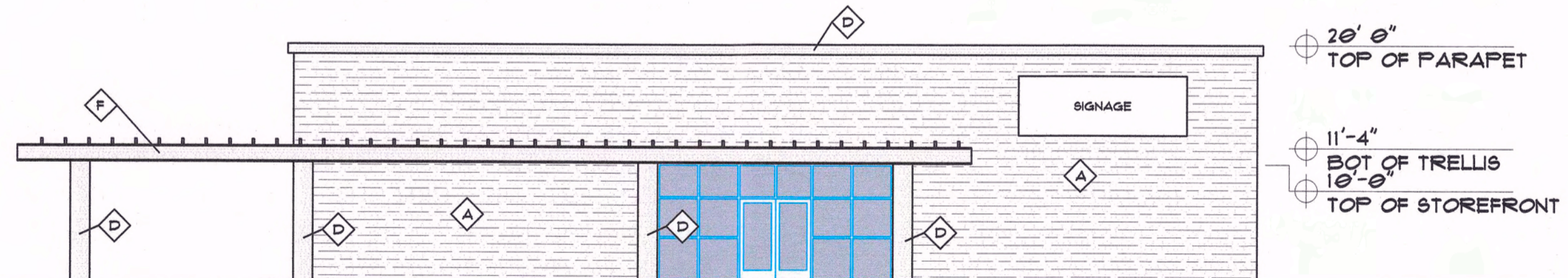
KEYED COLOR / MATERIAL SCHEDULE

A	STONE	WHITE STONE
B	STUCCO	BROWN
C	STUCCO	DARK GREY
D	STUCCO	WHITE
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F	METAL TRELLIS	WHITE



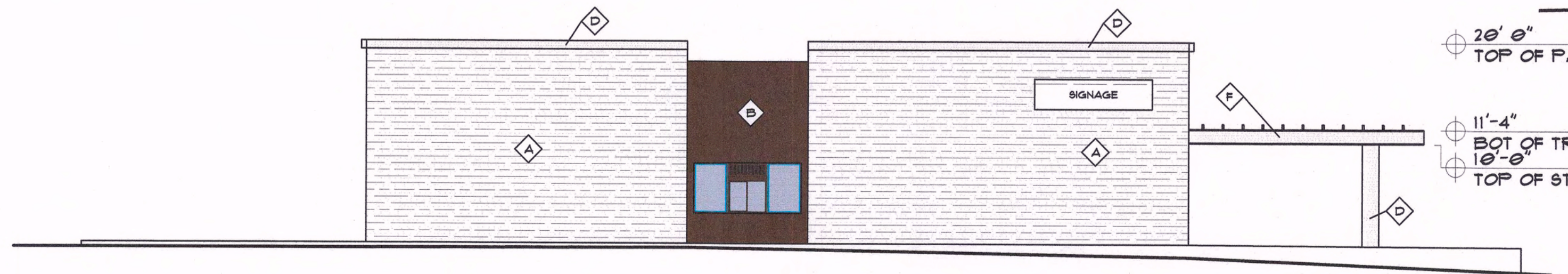
WEST ELEVATION

1" = 10' - 0"



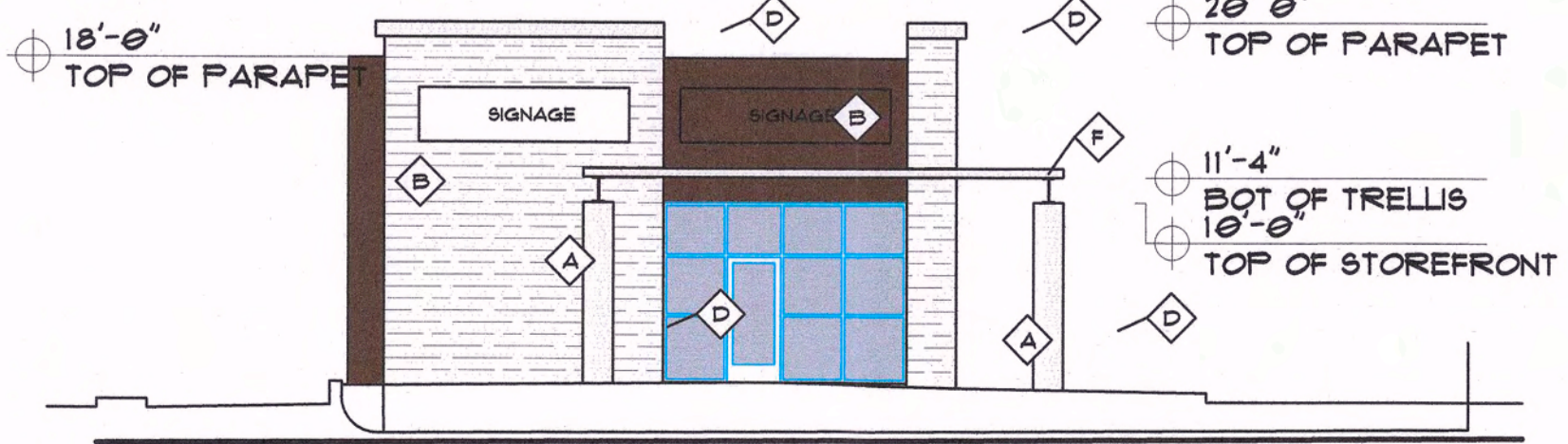
NORTH ELEVATION

1" = 10' - 0"



SOUTH ELEVATION

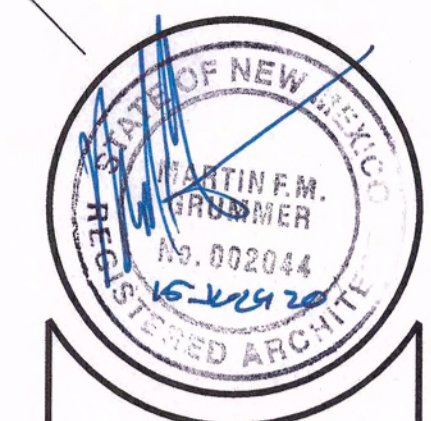
1" = 10' - 0"



EAST ELEVATION

1" = 10' - 0"

SIGNAGE NOT TO EXCEED 15% OF FACADE



MARTIN F.M. GRUMMER ARCHITECT
331 WILSON BLVD NE
ALBUQUERQUE, NM 87102
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PETERSON PROPERTIES

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MERCADO EL MILAGRO
NEW SITE PLAN
10000 CENTRAL AVENUE SW
ALBUQUERQUE, NEW MEXICO 87121

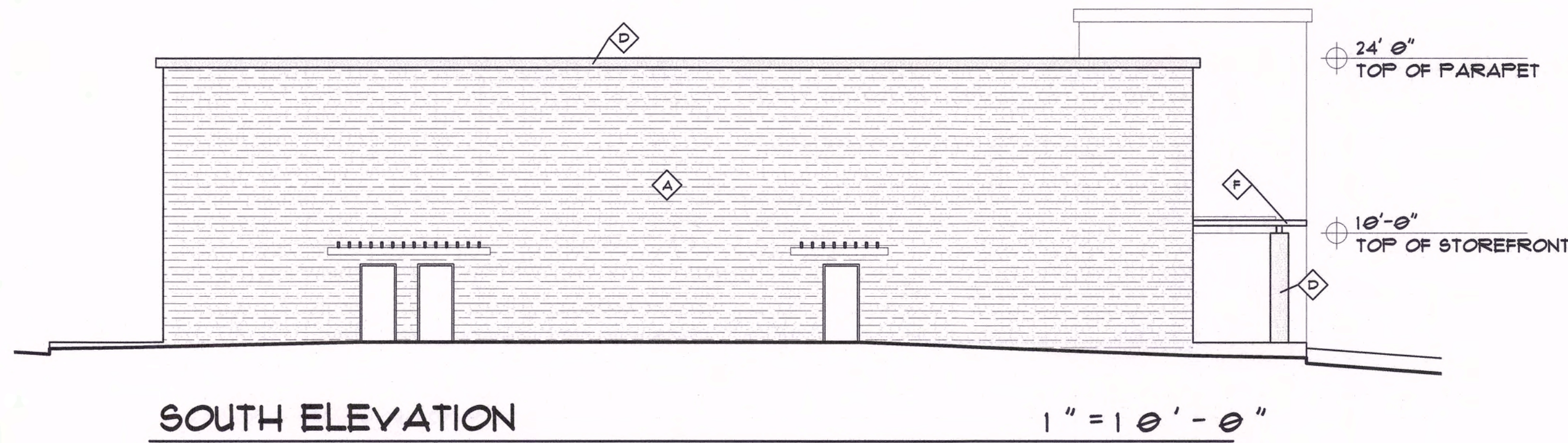
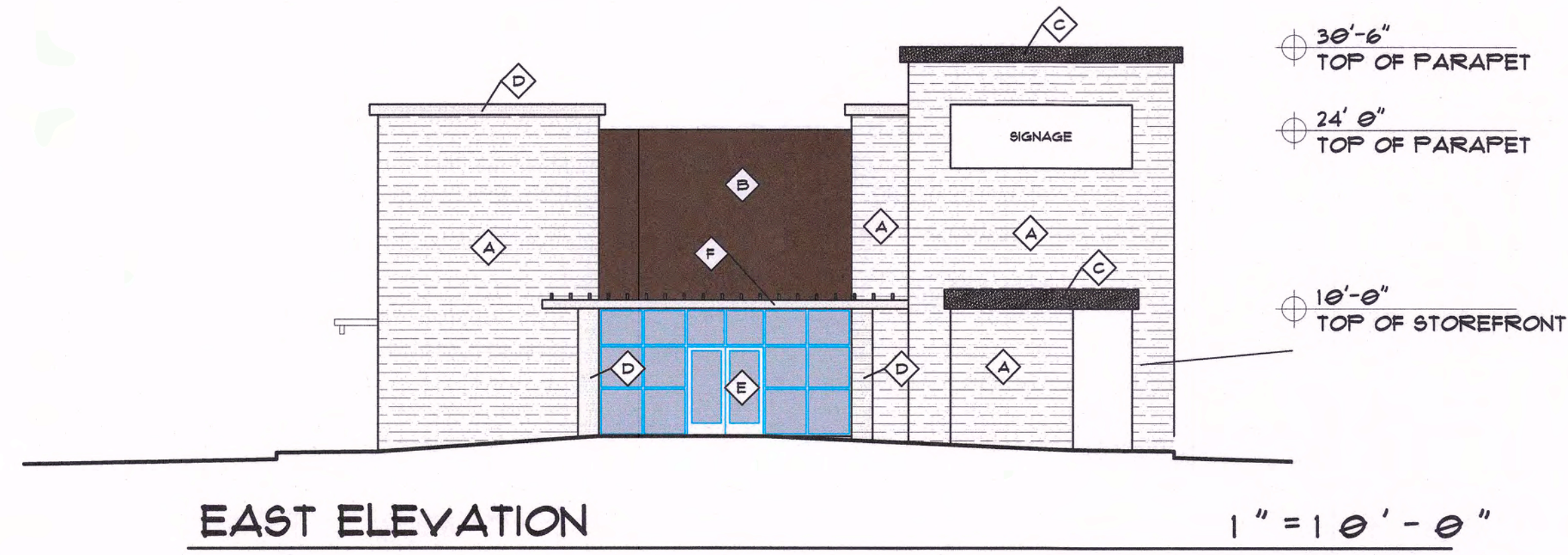
FLOOR PLAN & ELEVATIONS

BLDG D

DATE: 18 NOV 2019
DRAWN BY: MFMG
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VERIFIED BY:

REVISIONS

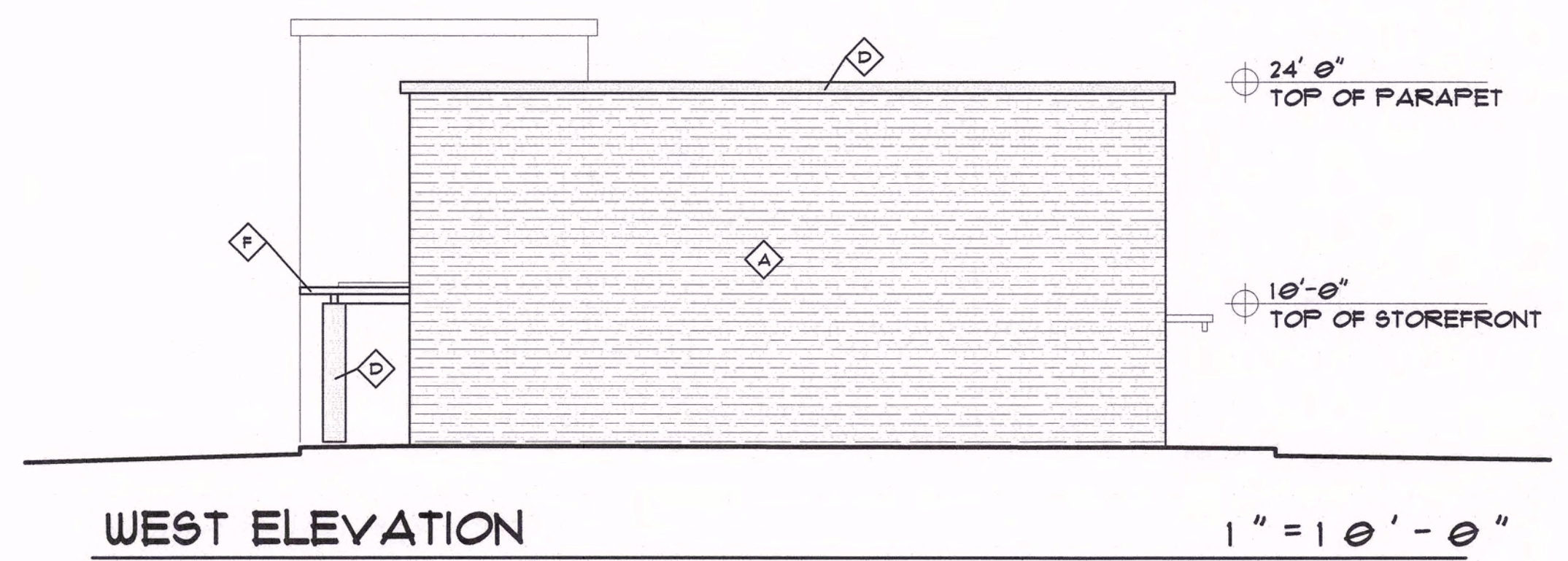
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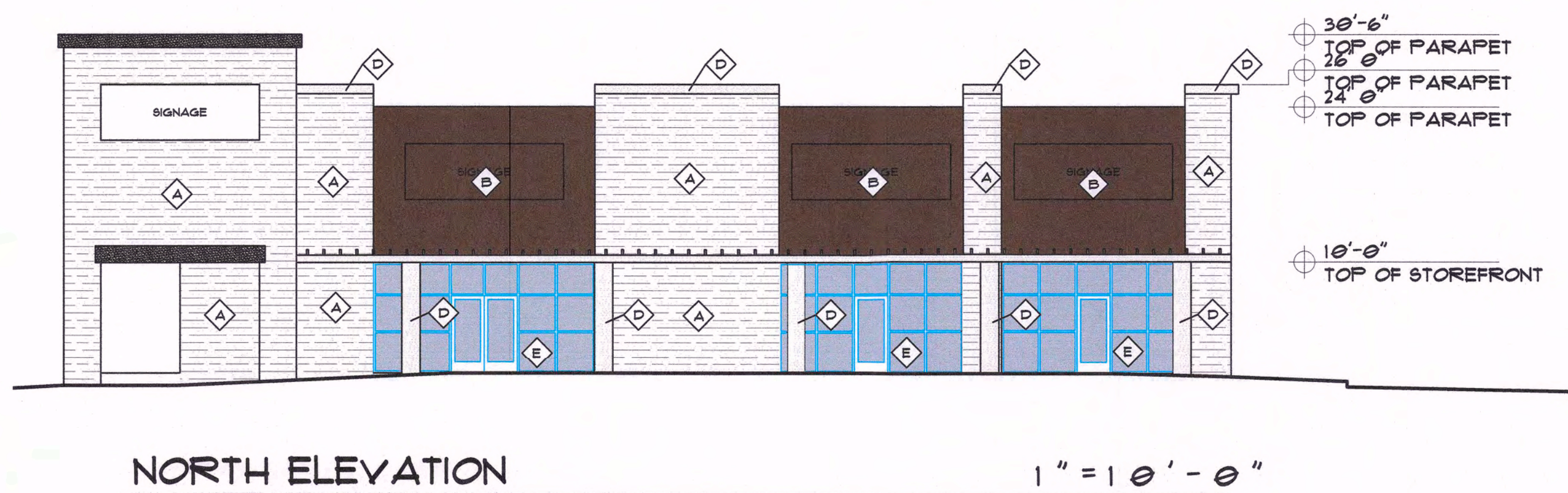
SOUTH ELEVATION 1" = 10'-0"

KEYED COLOR / MATERIAL SCHEDULE

A	STONE	WHITE STONE
B	STUCCO	BROWN
C	STUCCO	DARK GREY
D	STUCCO	WHITE
E	STOREFRONT	CLEAR ANODIZED ALUMINUM (SILVER COLOR)
F	METAL TRELLIS	WHITE



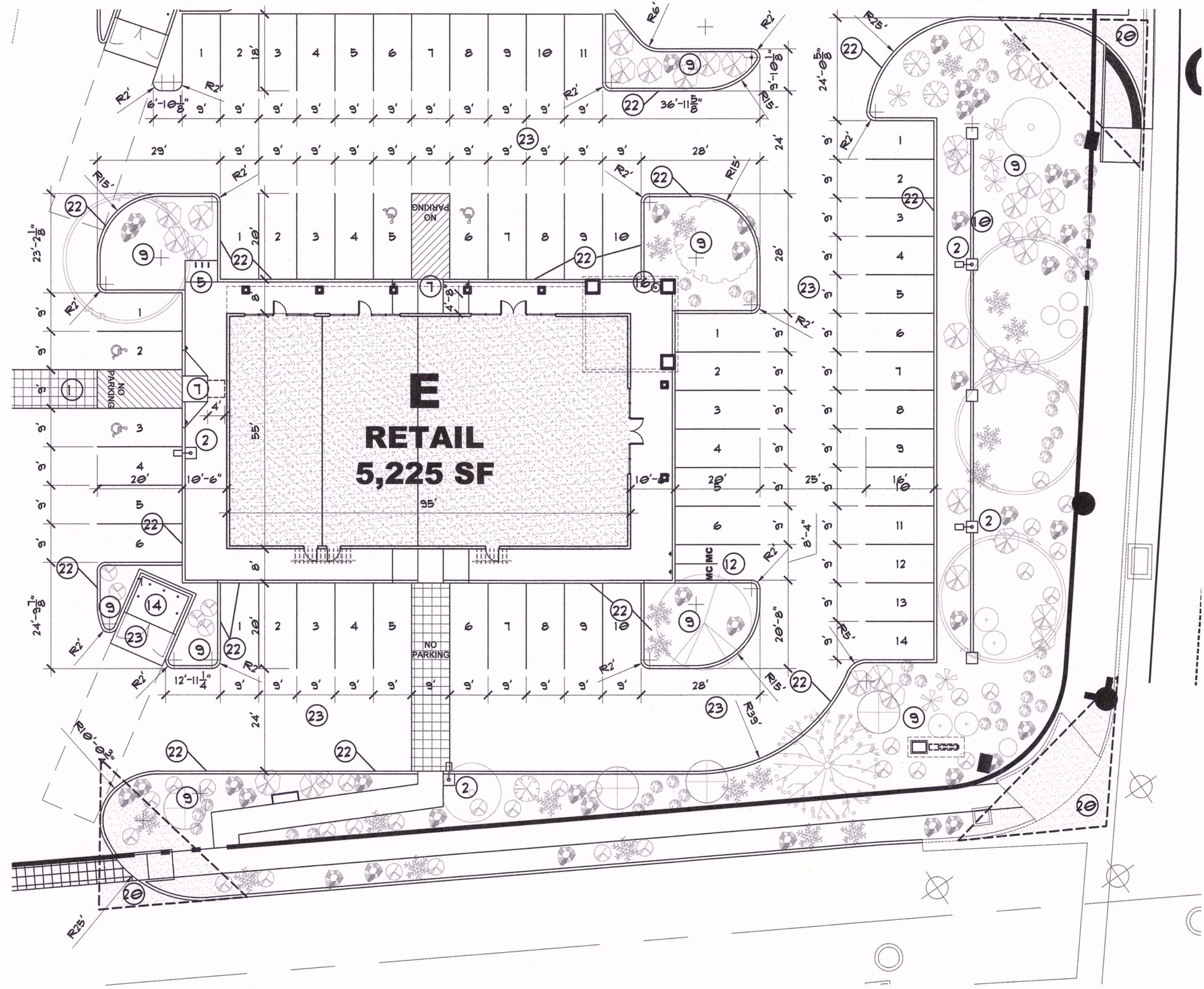
WEST ELEVATION 1" = 10'-0"



NORTH ELEVATION 1" = 10'-0"

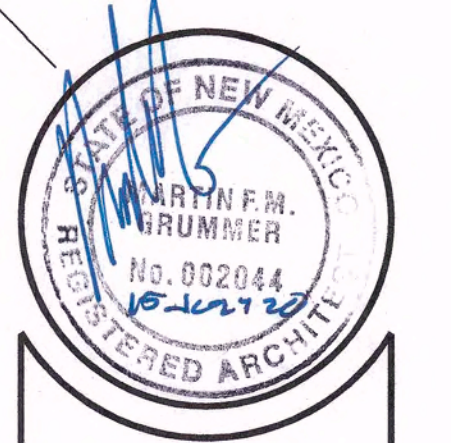
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SITE PLAN 1" = 20'-0"

SIGNAGE NOT TO EXCEED 15% OF FACADE



MARTIN FM GRUMMER ARCHITECT
331 WELLESLEY PLACE NE
ALBUQUERQUE, NEW MEXICO 87106
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MERCADO EL MILAGRO
NEW SITE PLAN
10000 CENTRAL AVENUE SW
ALBUQUERQUE, NEW MEXICO 87121

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A2.5
12 OF 14



MARTIN F.M. GRUMMER
ARCHITECT
331 WELLESLEY PLACE NE
ALBUQUERQUE, NEW MEXICO 87105
(505) 265-2507



PETERSON PROPERTIES

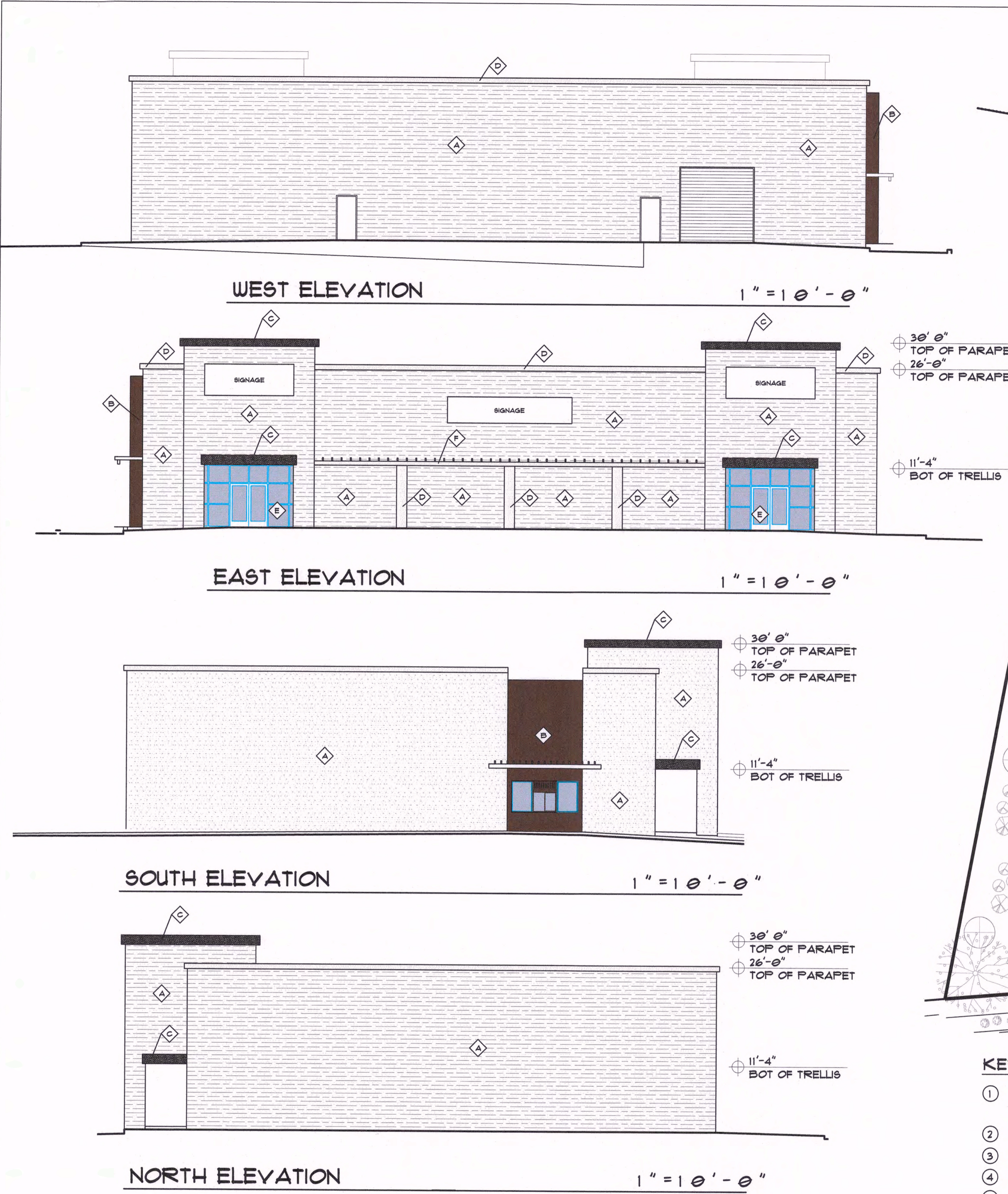
MERCADO EL MILAGRO
NEW SITE PLAN
10000 CENTRAL AVENUE SW
ALBUQUERQUE, NEW MEXICO 87121

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DATE: 18 NOV 2019
DRAWN BY: MFMG
CHECKED BY:
VERIFIED BY:

REVISIONS

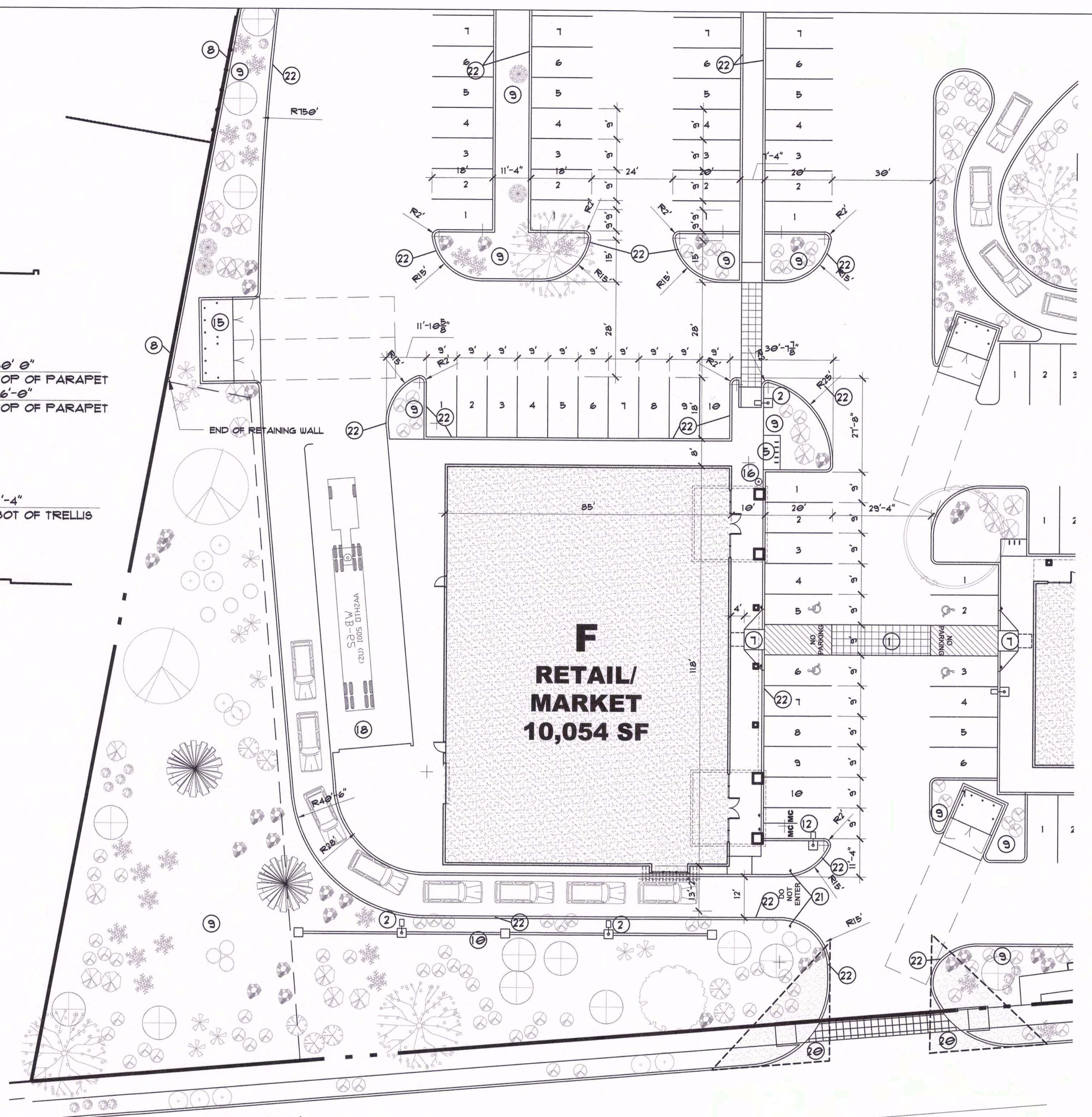
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KEYED COLOR / MATERIAL SCHEDULE

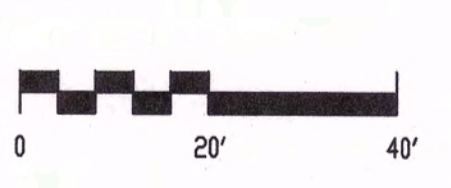
A	STONE	WHITE STONE
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SIGNAGE NOT TO EXCEED 15% OF FACADE

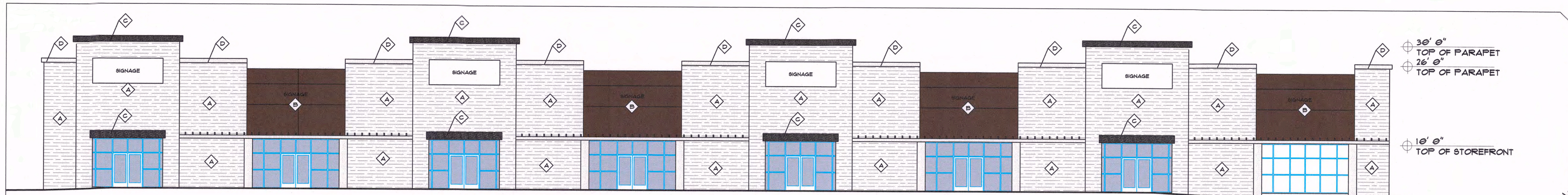


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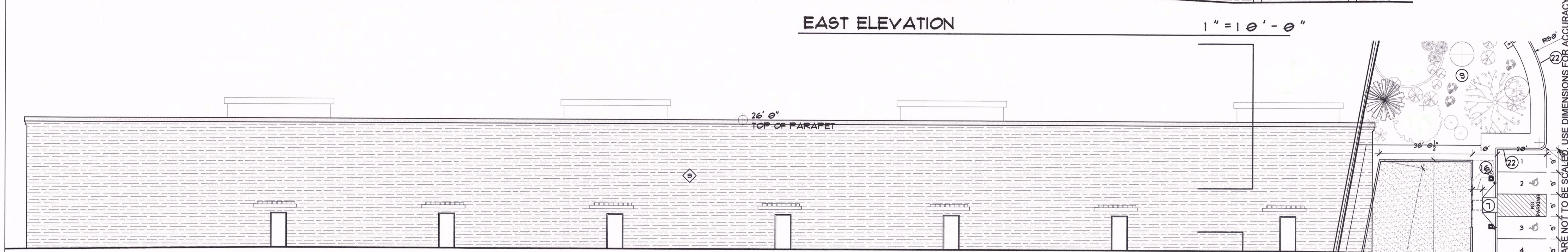


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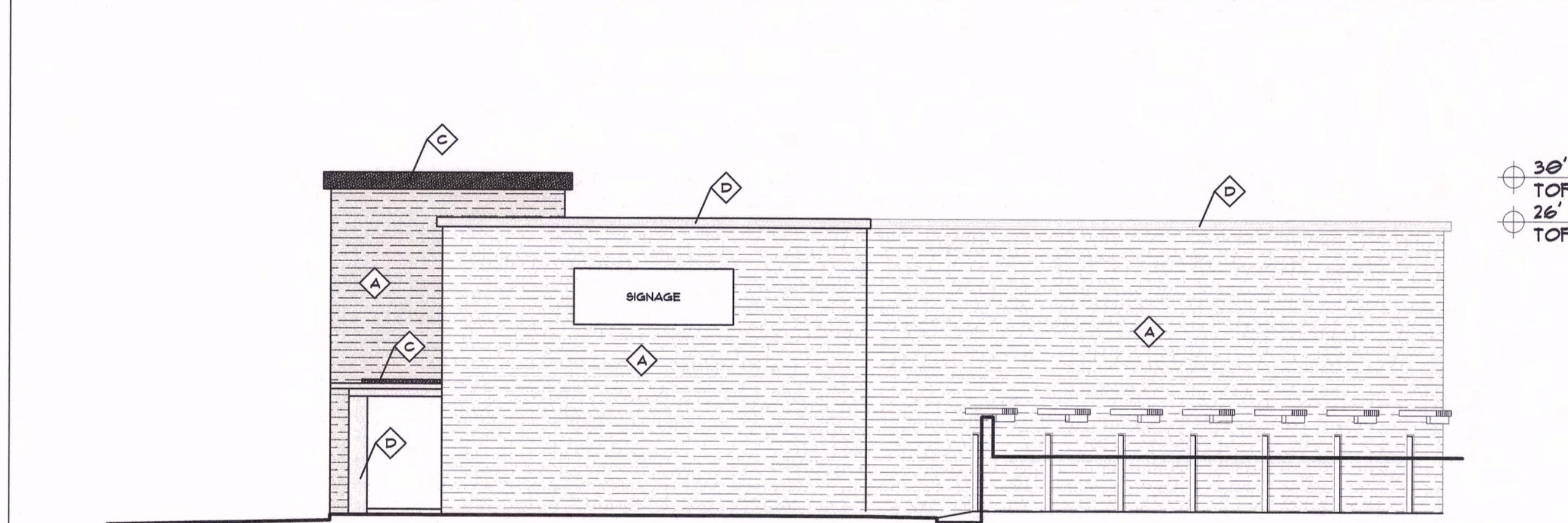
EAST ELEVATION

1" = 10' - 0"



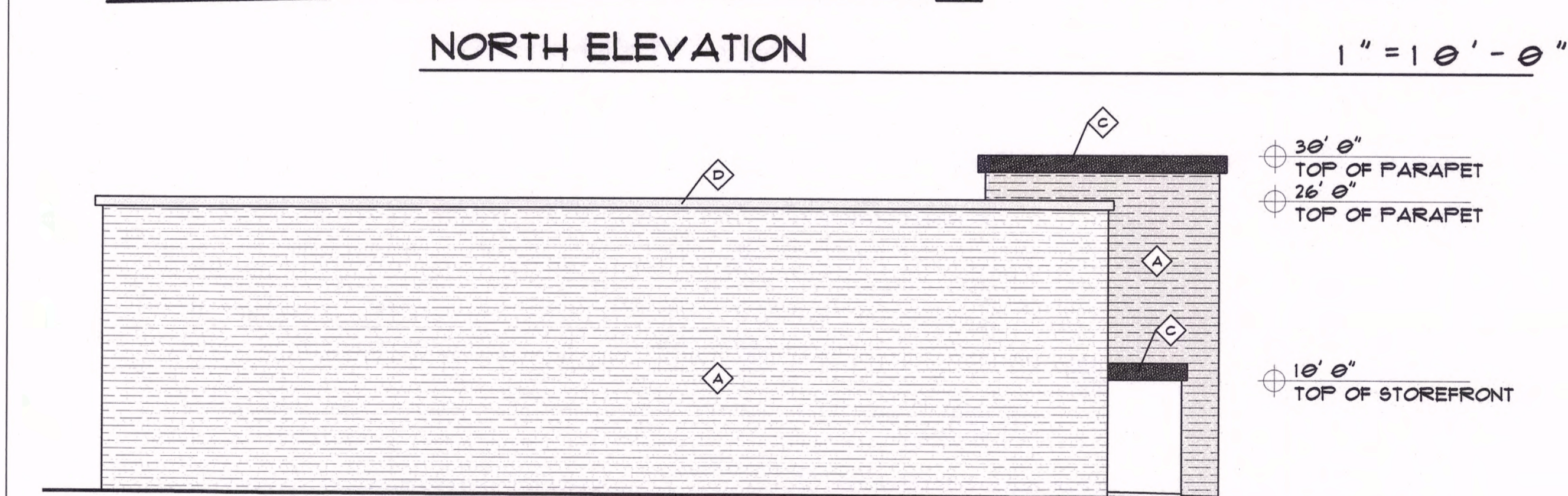
WEST ELEVATION

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NORTH ELEVATION

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SOUTH ELEVATION

1" = 10' - 0"

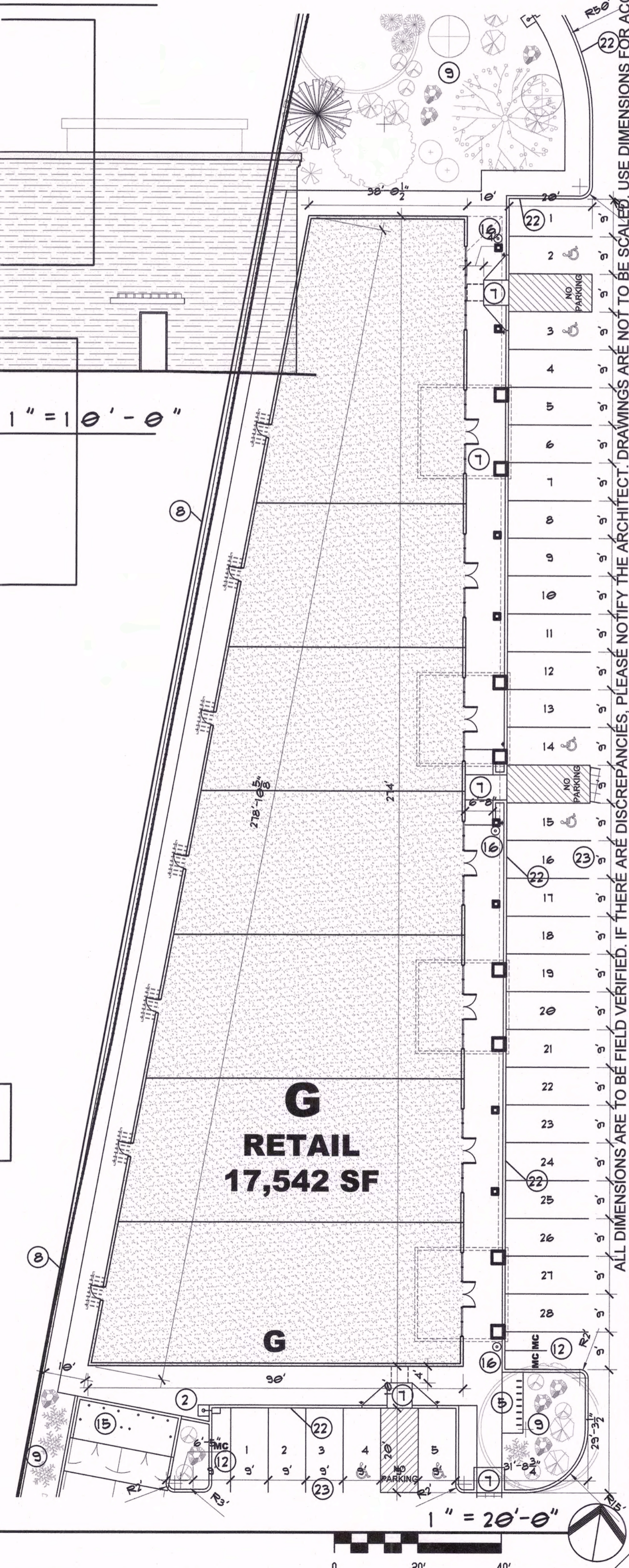
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- ⑲ LOADING AREA
- ⑳ CLEAR SITE TRIANGLE LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- ㉑ "DO NOT ENTER" SIGN. SEE DETAIL 1/A1.3
- ㉒ 6" CONCRETE CURB
- ㉓ ASPHALT DRIVE AND PARKING
- ㉔ NEW CURB AND GUTTER
- ㉕ RIGHT IN / RIGHT OUT ONLY DRIVEWAY
- ㉖ ELECTRIC VEHICLE CHARGING STATION (TYP OF 5)
- ㉗ UNDER-CANOPY LIGHTING SHALL BE RECESSED SO THAT NO LIGHT LENS PROJECTS BELOW THE CANOPY CEILING. THE CANOPY FASCIA SHALL NOT BE INTERNALLY ILLUMINATED

KEYED COLOR / MATERIAL SCHEDULE

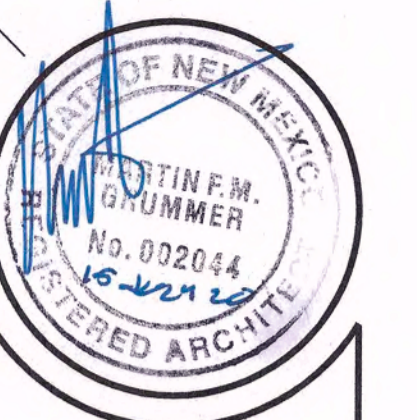
A	STONE	WHITE STONE
B	STUCCO	BROWN
C	STUCCO	DARK GREY
D	STUCCO	WHITE
E	STOREFRONT	CLEAR ANODIZED ALUMINUM (SILVER COLOR)
F	METAL TRELLIS	WHITE

SIGNAGE NOT TO EXCEED 15% OF FACADE



SITE PLAN

1" = 20' - 0"



MARTIN F.M. GRUMMER ARCHITECT
331 WELLESLEY PLACE NE
ALBUQUERQUE, NEW MEXICO 87105
(505) 265-2507



PETERSON PROPERTIES

MERCADO EL MILAGRO
NEW SITE PLAN
10000 CENTRAL AVENUE SW
ALBUQUERQUE, NEW MEXICO 87121

BLDG
G

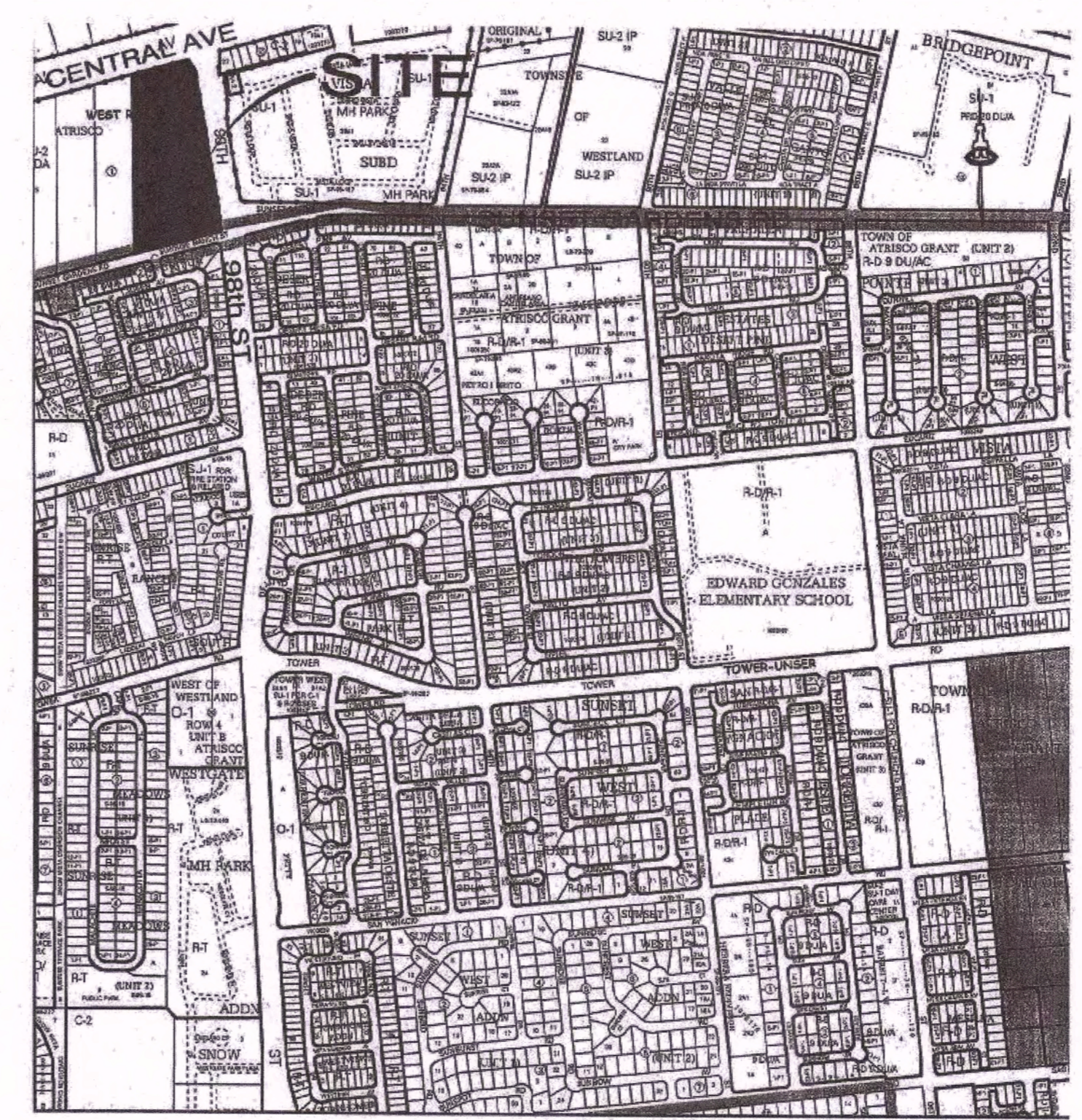
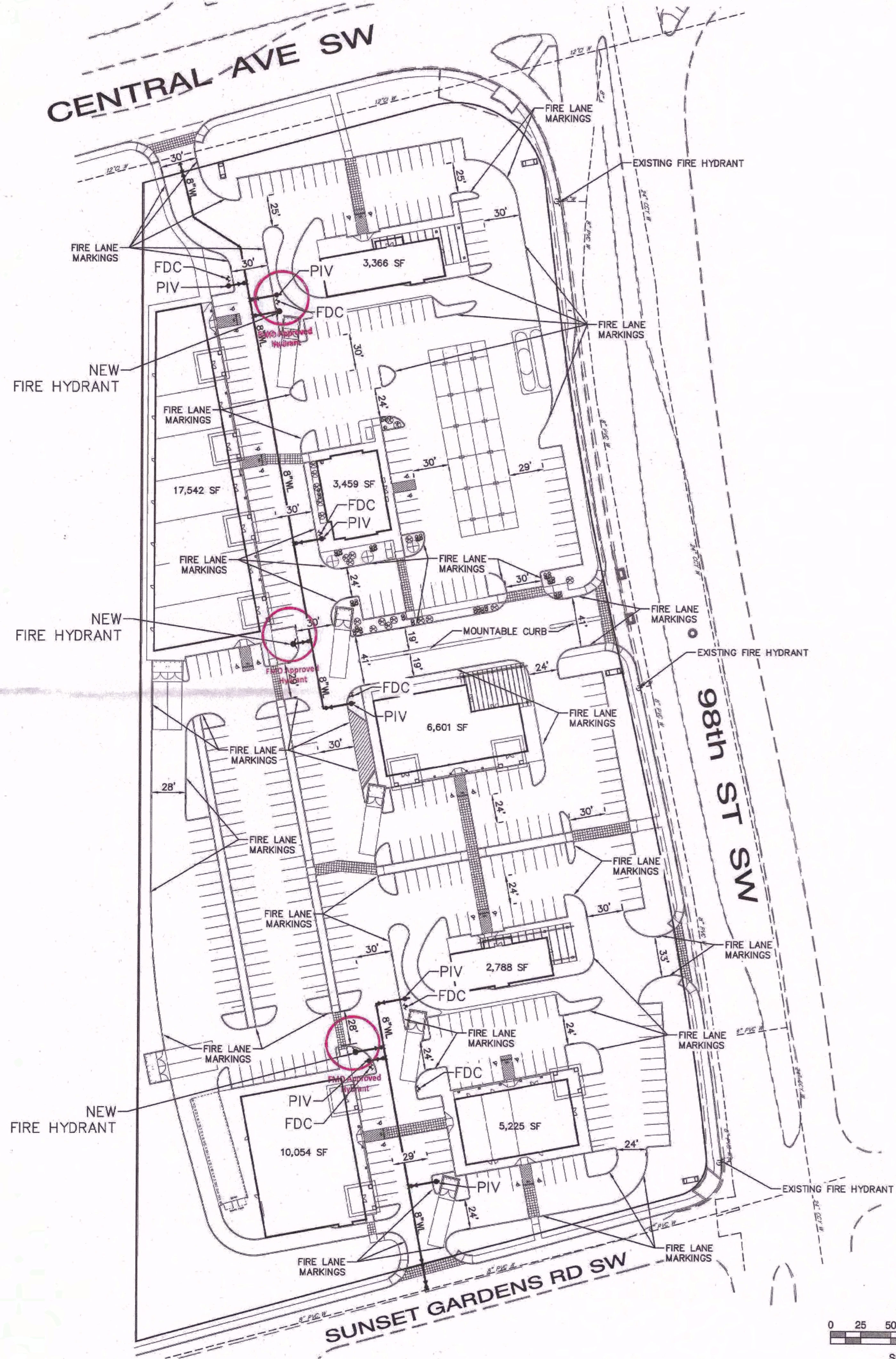
DATE: 18 NOV 2019
DRAWN BY: MFMG
CHECKED BY:
VERIFIED BY:

REVISIONS

NO.	DESCRIPTION

SHEET NO:
A2.7
14 OF 14

ALL DIMENSIONS ARE TO BE FIELD VERIFIED. IF THERE ARE DISCREPANCIES, PLEASE NOTIFY THE ARCHITECT. DRAWINGS ARE NOT TO BE SCALED. USE DIMENSIONS FOR ACCURACY.



10000 CENTRAL AVE S.W.,
ALBUQUERQUE, NM 87121

PREVIOUS APPROVED FIRE 1
CASE # 2927-17

2788 SQ. FT TO 17,542 SQ. FT
BUILDING SIZE RANGE

OCCUPANCY GROUPS A-2 & M

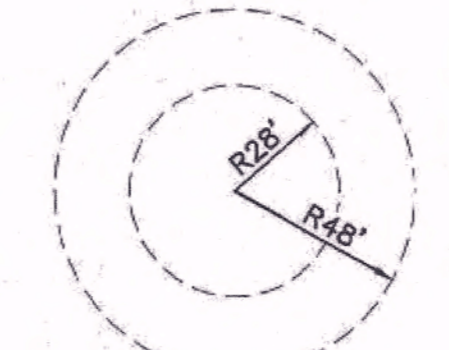
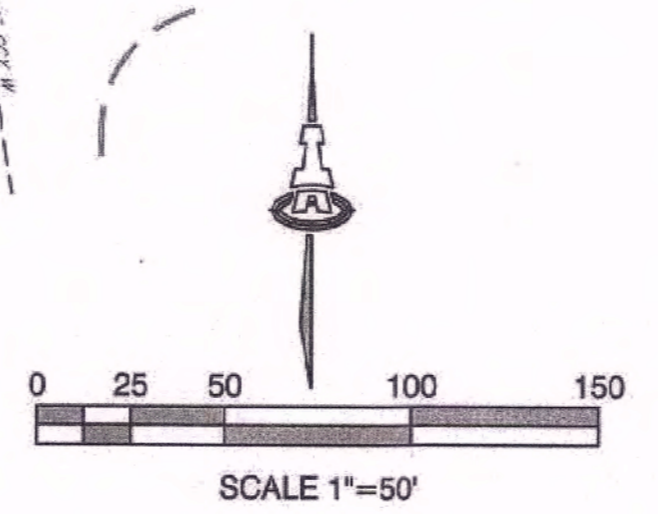
TYPE 2B CONSTRUCTION
SPRINKLED
26'-0" MAXIMUM BUILDING HEIGHTS

PREMISE ID SHALL BE LOCATED ON
ALL BUILDINGS VISIBLE FROM 98th ST

KNOX BOXES SHALL BE LOCATED AT
BUILDINGS MAIN ENTRANCE.

3 EXISTING FIRE HYDRANT NEAR SITE

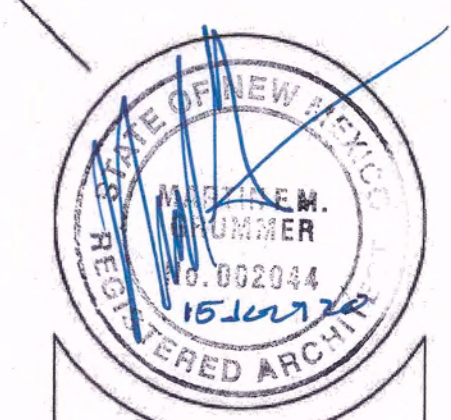
ALL ACCESS ROADS AND FIRE LANES
HAVE GRADES LESS THAN 10% AND A
LOAD CAPACITY OF 75,000 POUNDS.



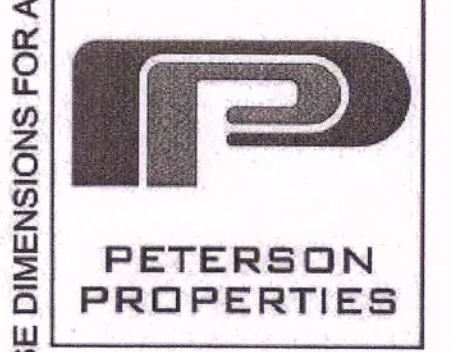
FIRE APPARATUS TURNING RADIUS
1"=50'

Case # 2927-17 Revised
HYDRANT AND FIRE ACCESS
ALBUQUERQUE FIRE MARSHAL'S OFFICE
PLANS CHECKING DIVISION
SOFT 17542 CONSTRUCTION TYPE II-B
GPM 1575 NUMBER OF HYDRANTS 3
APPROVED / DISAPPROVED
3/29/19

ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph. 505-268-8828 www.inacivil.com
2306 FIRE 1.dwg Mar 21, 2019



MARTIN M GRUMMER
ARCHITECT
30 WILKEY PLACE NE
ALBUQUERQUE, NEW MEXICO 87106
(505) 265-2507



PETERSON
PROPERTIES

MERCADO EL MILAGRO
NEW SITE PLAN
10000 CENTRAL AVENUE SW
ALBUQUERQUE, NEW MEXICO 87121

ALL DIMENSIONS ARE TO BE FIELD VERIFIED. IF THERE ARE DISCREPANCIES, PLEASE NOTIFY THE ARCHITECT. DRAWINGS ARE NOT TO BE SCALED. USE DIMENSIONS FOR ACCURACY.

DATE:
DRAWN BY:
CHECKED BY:
VERIFIED BY:

REVISIONS

SHEET NO:
FIRE
1






PR-2019-002380_SD-2020-00219_Site_Plan_A pproved_12-4-19_Sheet_1

Final Audit Report

2020-07-20

Created:	2020-07-20
By:	Jay Rodenbeck (jrodenbeck@cabq.gov)
Status:	Signed
Transaction ID:	CBJCHBCAABAAM6o4RR23m5pUHuQVCwwfpGyki0rx9HXK

"PR-2019-002380_SD-2020-00219_Site_Plan_Approved_12-4-19_Sheet_1" History

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