

MERCADO EL MILAGRO PETERSON PROPERTIES

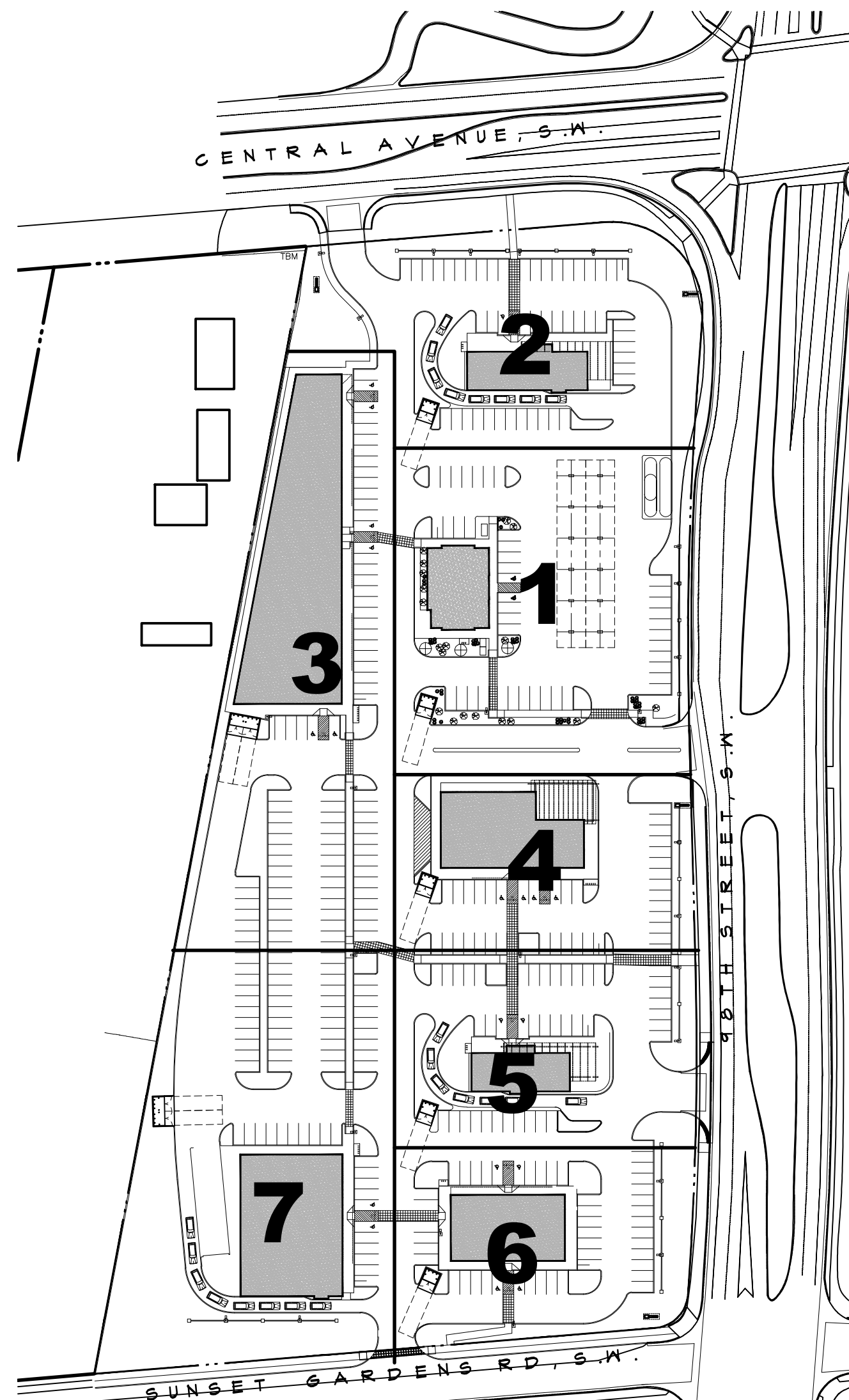
SITE PLAN

10000 CENTRAL AVENUE SW
ALBUQUERQUE, NEW MEXICO 87121

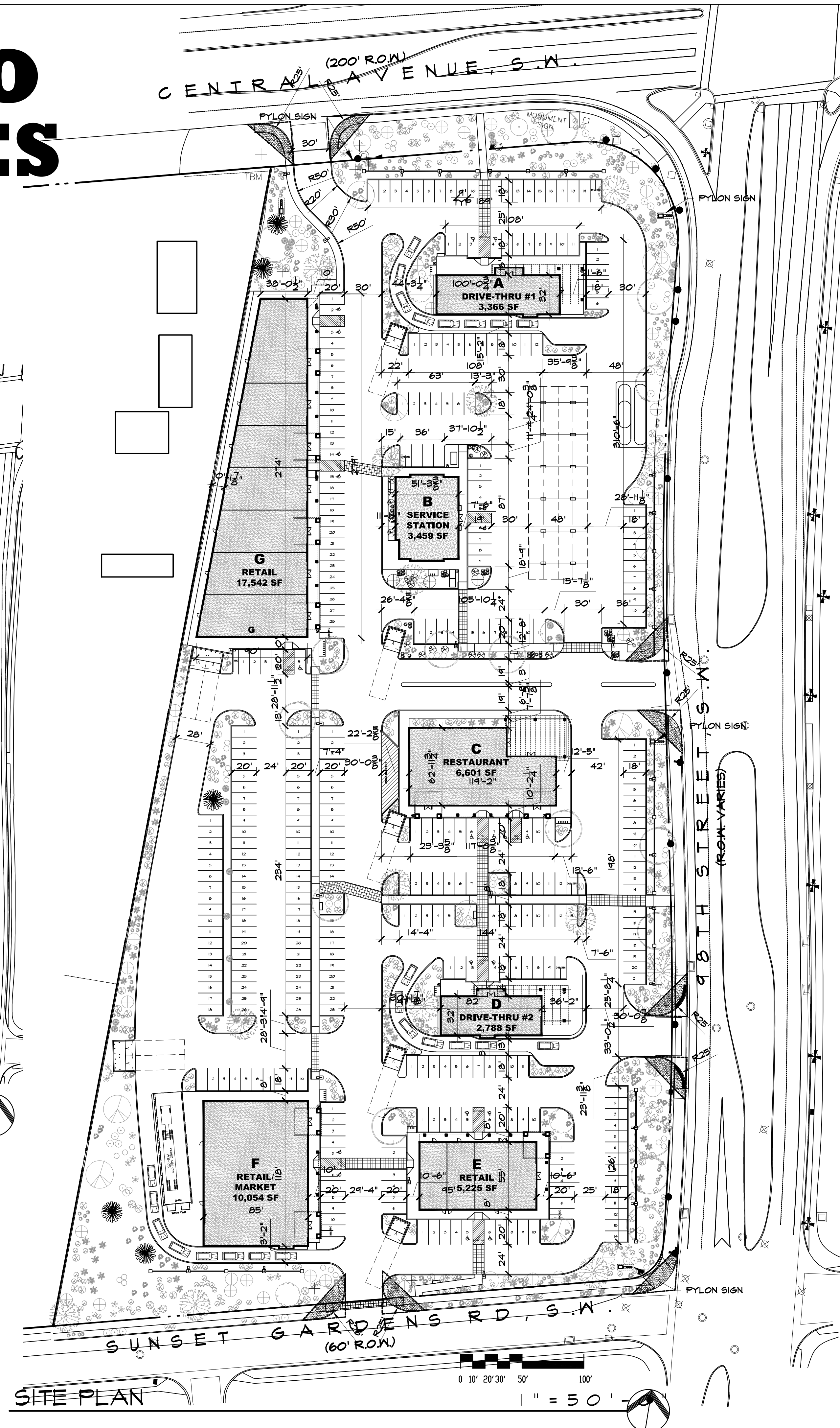


VICINITY MAP
NTS

L-09-Z



PHASING
NTS

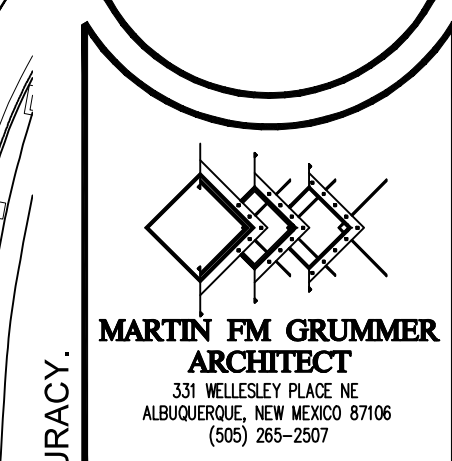


SITE PLAN

0 10' 20' 30' 50' 100'

1" = 50'

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NEW SITE PLAN
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DATE: 28 JUNE 2019
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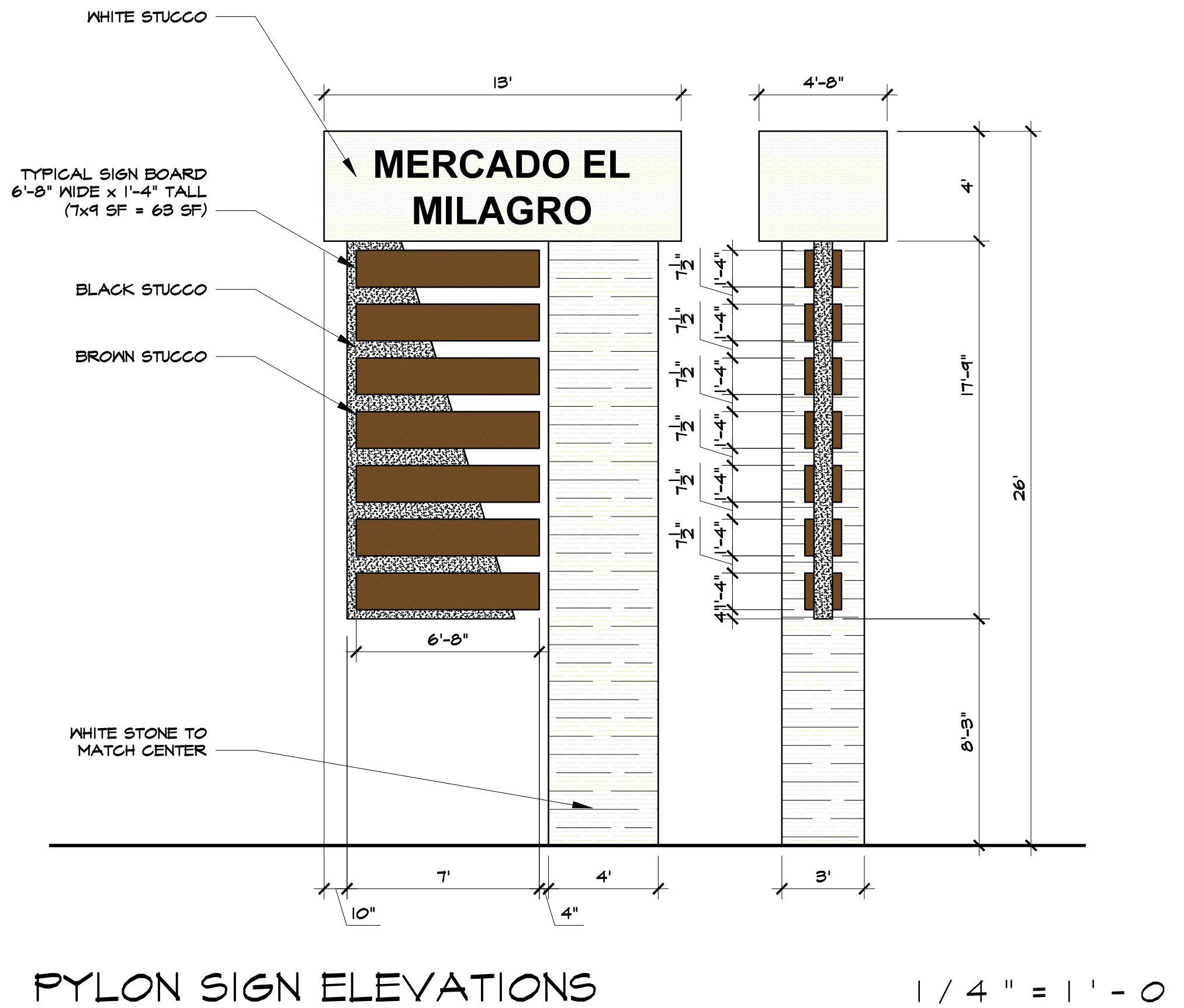
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SHEET NO:
A1.1
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LEGAL DESCRIPTION	VARIES; REFER TO DESCRIPTION BELOW						
TRACT NUMBER	BLDG - A	BLDG - B	BLDG - C	BLDG - D	BLDG - E	BLDG - F	BLDG - G
TOTAL ACREAGE:	AREA= 1.14 AC	AREA= 1.2093 AC	AREA= 1.6548 AC	AREA= .9174 AC	AREA= .82 AC	AREA= .3164 AC	AREA= 1.232 AC
EXISTING ZONING:	NR-C						
PROPOSED ZONING:	NR-C						
BLDG. SIZE/ REQ. DINING SEATING	3,366 SF / 100 SEATS	3,459 SF	6,601 SF / 100 SEATS	2,788 SF / 90 SEATS	5,225 SF	10,054 SF	17,542 SF
FAR:	XXX	XXX	XXX	XXX	XXX	XXX	XXX
PROPOSED # OF STRUCTURES:	1	1	1	1	1	1	1
PROPOSED USE:	RESTAURANT W/ DRIVE THRU	GAS STATION / RETAIL	RESTAURANT	RESTAURANT W/ DRIVE THRU	SHOPS/RETAIL-FOOD-OFFICE	SHOPS/RETAIL-FOOD-OFF.	SHOPS/RETAIL-FOOD-OFF.
TOTAL PARKING PROVIDED:	48 SPACES	14 SPACES	56 SPACES	24 SPACES	57 SPACES	65 SPACES	76 SPACES
TOTAL PARKING REQ. (INC. EMPLOYEE SPACES):	21/26 SPACES	14 SPACES	53 SPACES	22 SPACES	21 SPACES	41 SPACES	71 SPACES
HC PROVIDED:	2 HC (INC. 2 VAN ACCESSIBLE)	2 HC (INC. 2 VAN ACCESSIBLE)	4 HC (INC. 4 VAN ACCESSIBLE)	2 HC (INC. 2 VAN ACCESSIBLE)	4 HC (INC. 4 VAN ACCESSIBLE)	4 HC (INC. 4 VAN ACCESSIBLE)	6 HC (INC. 6 VAN ACCESSIBLE)
HC REQUIRED:	2 HC SPACE	1 HC SPACE	1 HC SPACE	1 HC SPACE	3 HC SPACE	4 HC SPACE	4 HC SPACE
BIKE SPACES PROVIDED:	3 BIKE SPACES	3 BIKE SPACES	6 BIKE SPACES	3 BIKE SPACES	3 BIKE SPACES	3 BIKE SPACES	3 BIKE SPACES
BIKE SPACES REQUIRED:	3 BIKE SPACES	3 BIKE SPACES	6 BIKE SPACES	3 BIKE SPACES	3 BIKE SPACES	3 BIKE SPACES	3 BIKE SPACES
MOTORCYCLE SPACES PROVIDED:	MOTORCYCLE SPACES	2 MOTORCYCLE SPACE	3 MOTORCYCLE SPACES	2 MOTORCYCLE SPACES	2 MOTORCYCLE SPACE	2 MOTORCYCLE SPACES	3 MOTORCYCLE SPACES
MOTORCYCLE SPACES REQUIRED:	MOTORCYCLE SPACES	1 MOTORCYCLE SPACE	3 MOTORCYCLE SPACES	1 MOTORCYCLE SPACE	1 MOTORCYCLE SPACE	2 MOTORCYCLE SPACES	3 MOTORCYCLE SPACES
MAX BUILDING HEIGHT:	35' TO TOP OF PARAPET	35' TO TOP OF PARAPET	35' TO TOP OF PARAPET	35' TO TOP OF PARAPET	35' TO TOP OF PARAPET	35' TO TOP OF PARAPET	35' TO TOP OF PARAPET

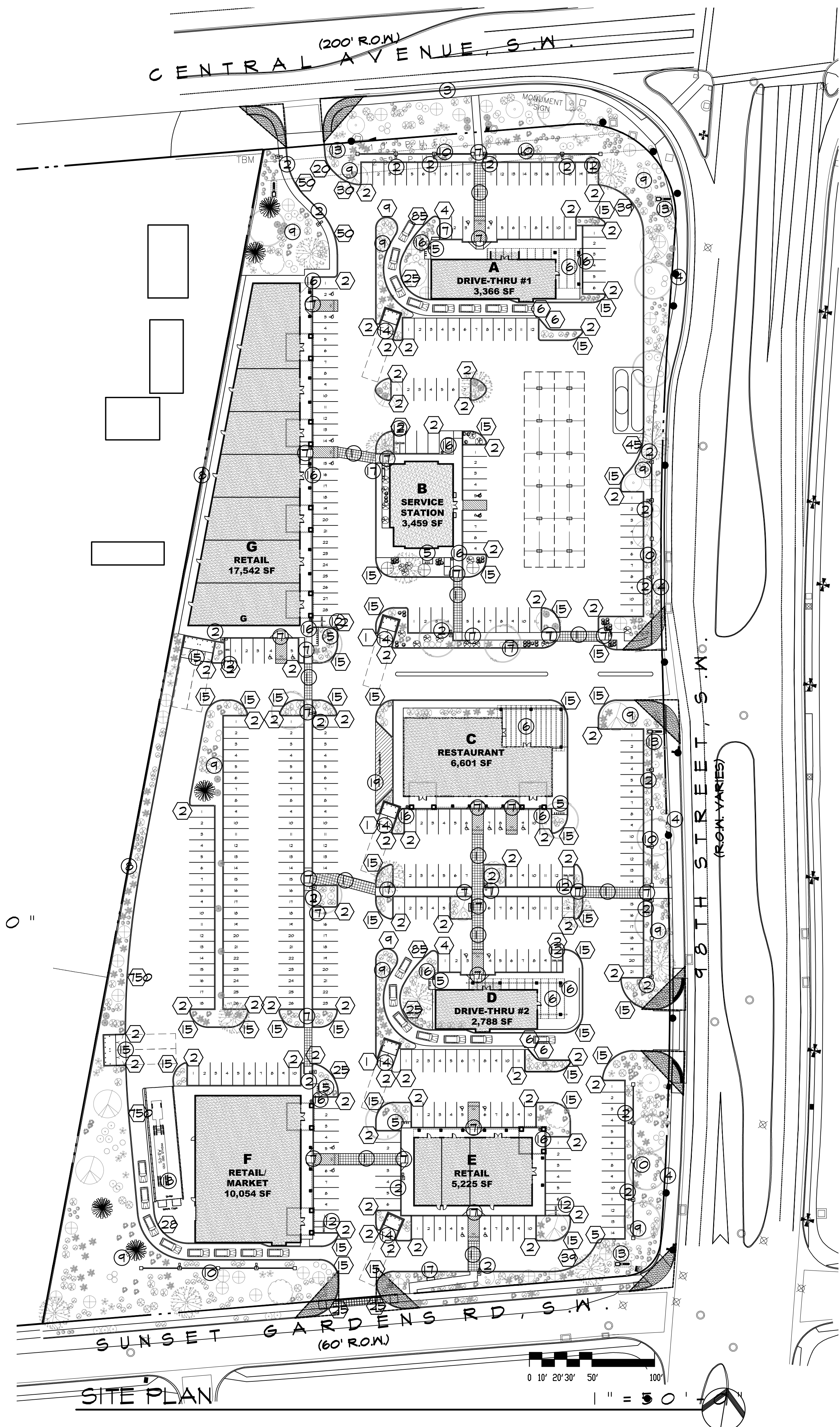
KEYED NOTES

- ① 8" INTEGRALLY COLORED, RAISED, AND TEXTURED CONCRETE PEDESTRIAN CROSSWALK (RAISED TO TWO INCHES WHERE ALLOWED BY GRADES)
- ② PROPOSED LIGHT POLE LOCATION RE: ②/A1.3 FOR POLE DETAIL
- ③ EXISTING 6' SIDEWALK
- ④ EXISTING ASPHALT BIKE PATH / SIDEWALK
- ⑤ INDICATES BIKE RACK LOCATION (SEE A2.1 FOR BIKE CAPACITY REQ)
- ⑥ OUTDOOR DINING/SEATING AREA (RE: LOCATION FOR SIZE)
- ⑦ HANDICAP RAMP PER COA DWG #2441
- ⑧ INDICATES NEW 6" HIGH (MIN) CMU (HEIGHT TO BE FIELD VERIFIED) SCREEN WALL FROM ADJACENT COMMERCIAL DEVELOPMENT SEE CIVIL DRAWINGS FOR RETAINING WALL. CONDITION SHALL BE SPLIT FACE CMU TO MATCH OTHER SCREEN WALLS
- ⑨ LANDSCAPE AREA
- ⑩ PROPOSED 3'-0" HIGH 8" INTEGRALLY COLORED SPLIT-FACED CMU BLOCK SCREEN WALL (TAN/RED COLOR) RE: ①/A1.3 FOR DETAIL
- ⑪ INDICATES PROPOSED FIRE HYDRANT LOCATION RE: UTILITY PLAN FOR INFO
- ⑫ INDICATES PROPOSED 4'-6" X 10' MOTORCYCLE PARKING STALL LOCATION - RE: SITE PLAN FOR LOCATIONS
- ⑬ INDICATES MONUMENT SIGN - SEE 1/A1.2
- ⑭ INDICATES DUMPSTER LOCATION RE: DETAIL 2#3/A1.3 -INCLUDING SANITARY DRAIN FOR FOOD SERVICES NOTE: ENCLOSURE SHALL MATCH SCREEN WALL SPLIT FACE CMU
- ⑮ INDICATES DUMPSTER LOCATION W/ RECYCLE - INCLUDING SANITARY DRAIN FOR FOOD SERVICES NOTE: ENCLOSURE SHALL MATCH SCREEN WALL SPLIT FACE CMU
- ⑯ INDICATES LOCATION OF TRASH RECEPTACLES
- ⑰ INDICATES LOCATION OF BENCH
- ⑱ LOADING DOCK
- ⑲ LOADING AREA



RADIUS INFORMATION

- ① RADIUS = 1'-0"
- ② RADIUS = 2'-0"
- ④ RADIUS = 4'-0"
- ⑤ RADIUS = 5'-0"
- ⑥ RADIUS = 6'-0"
- ⑨ RADIUS = 9'-0"
- ⑮ RADIUS = 15'-0"
- ⑳ RADIUS = 20'-0"
- ㉓ RADIUS = 25'-0"
- ㉔ RADIUS = 28'-0"
- ㉕ RADIUS = 30'-0"
- ㉖ RADIUS = 34'-0"
- ㉗ RADIUS = 45'-0"
- ㉘ RADIUS = 50'-0"
- ㉙ RADIUS = 85'-0"
- ㉚ RADIUS = 750'-0"



MARTIN FM GRUMMER ARCHITECT
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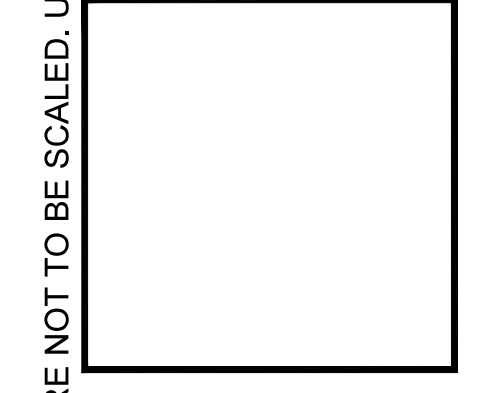
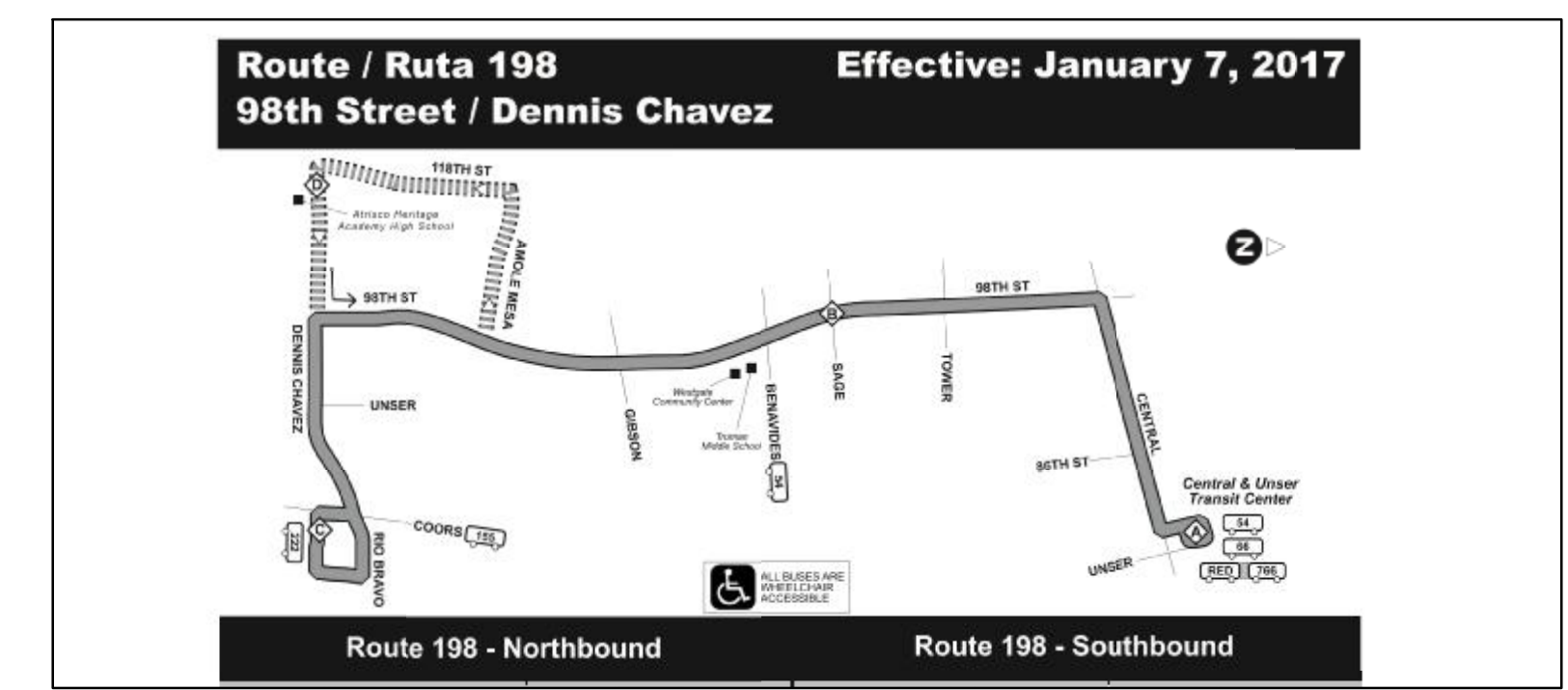
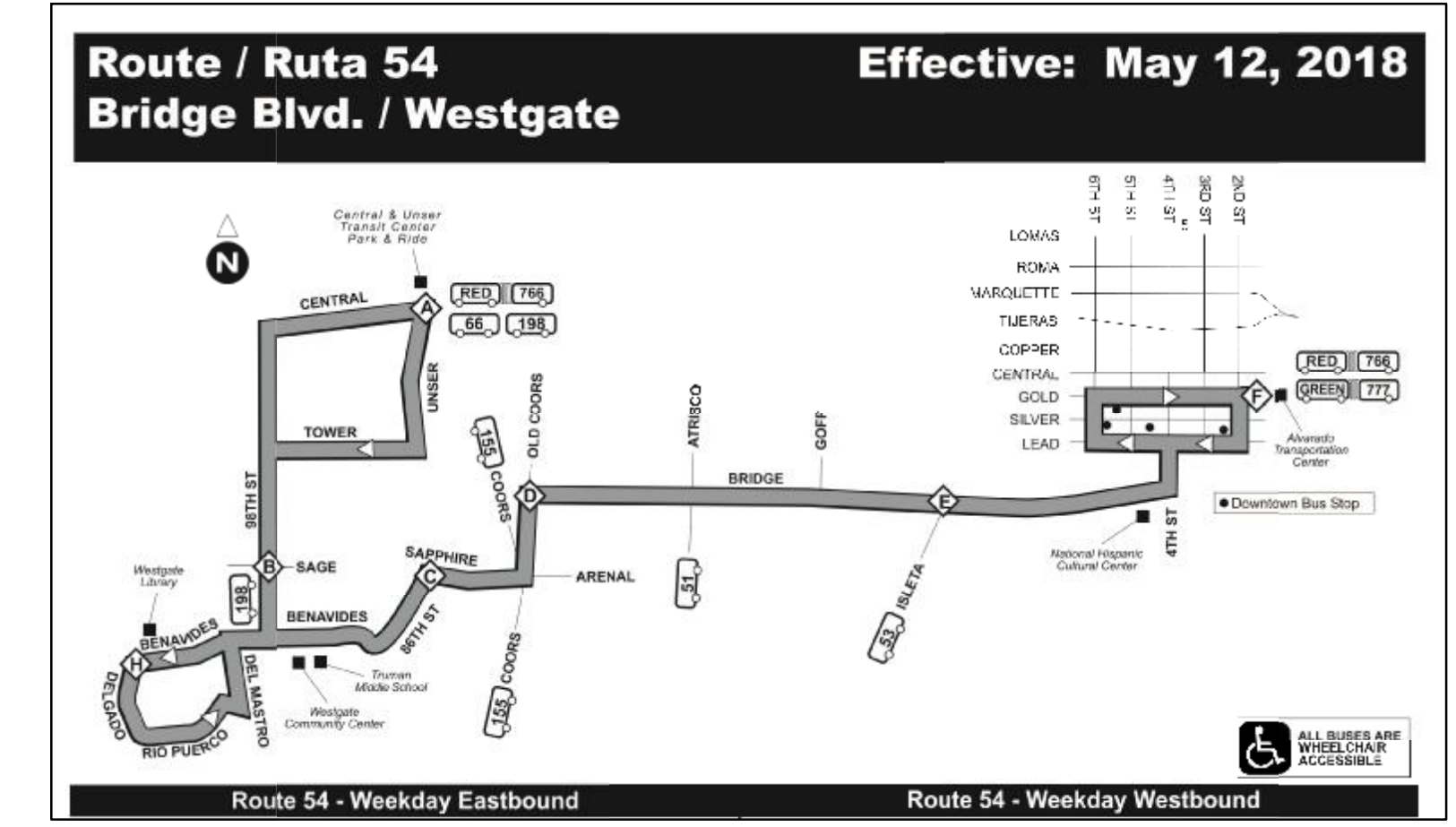
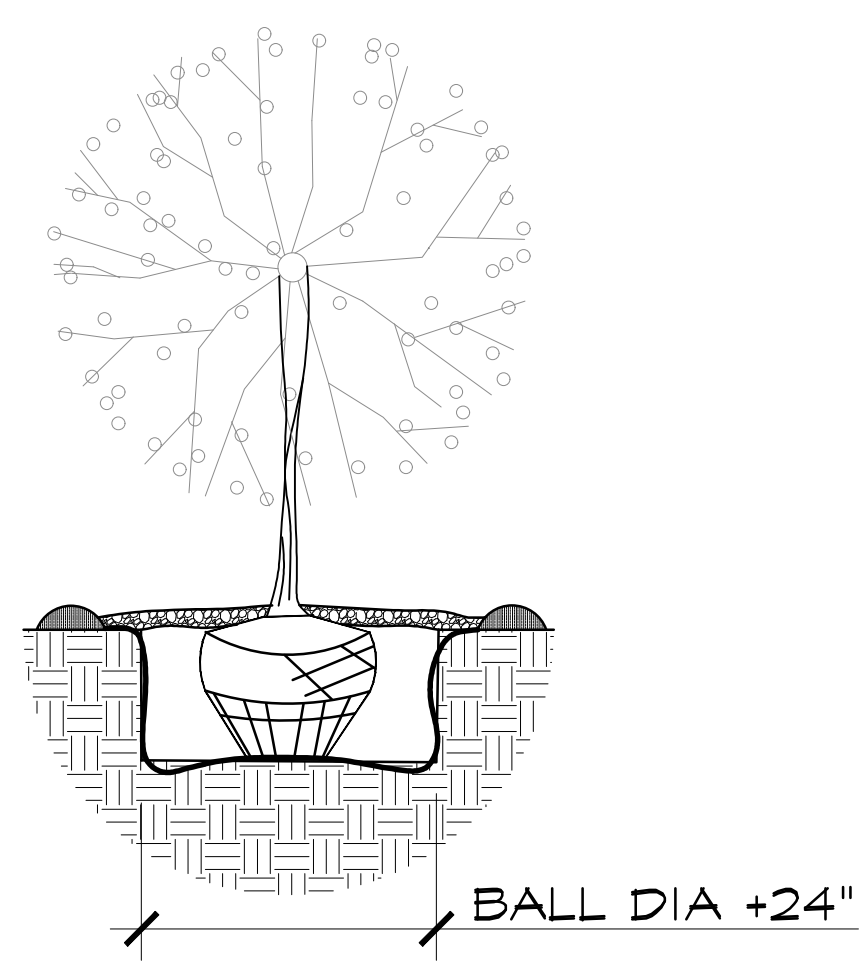
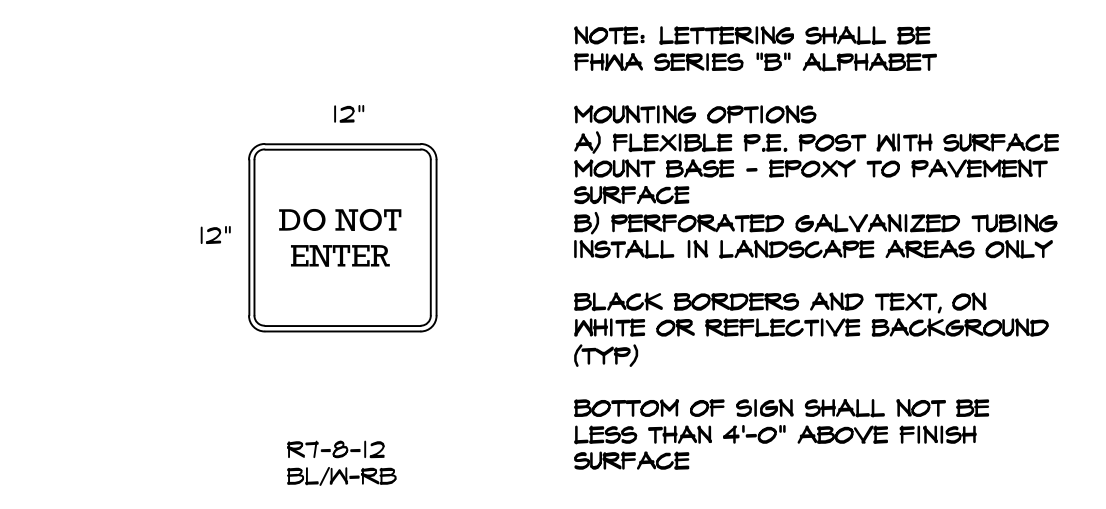
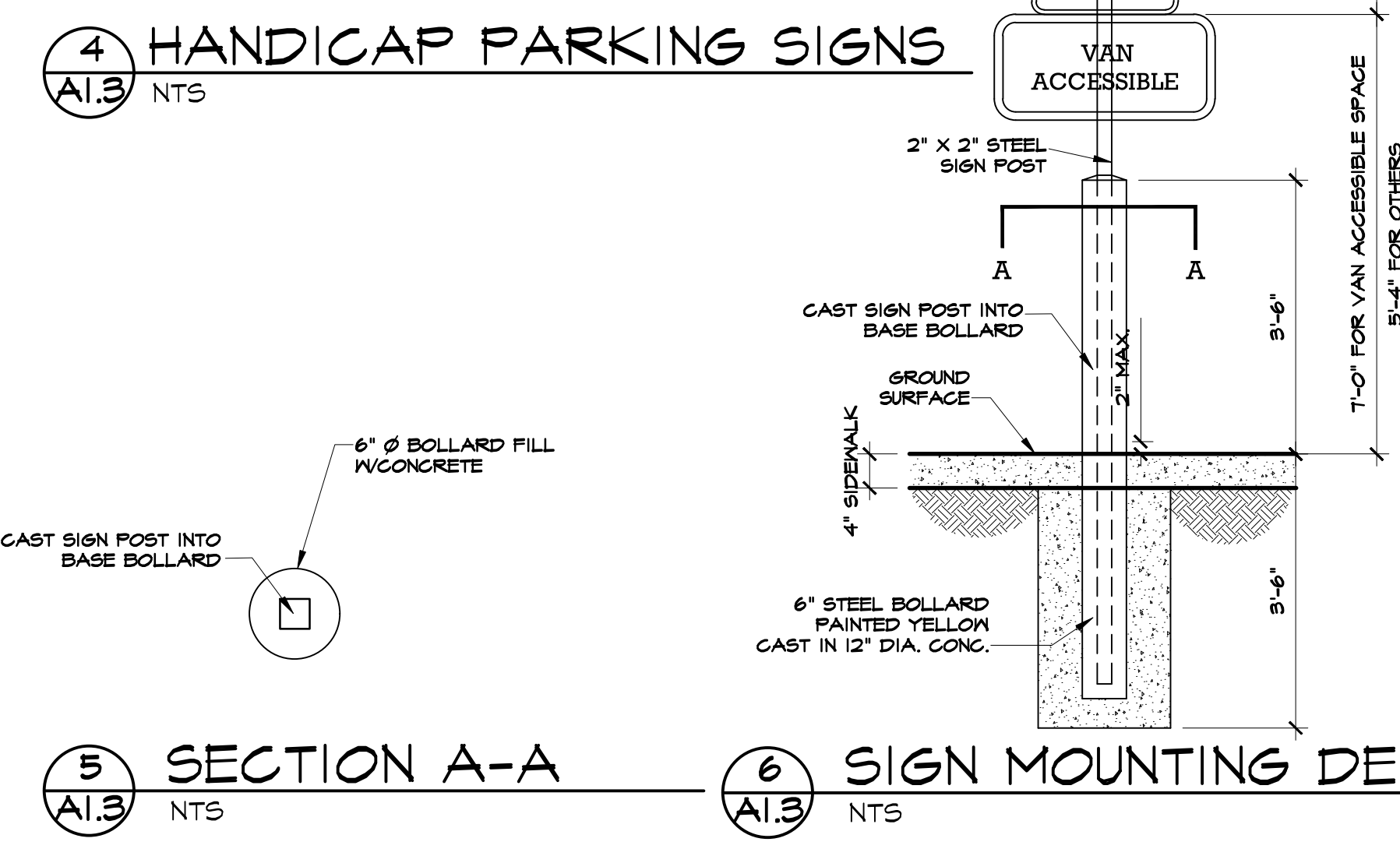
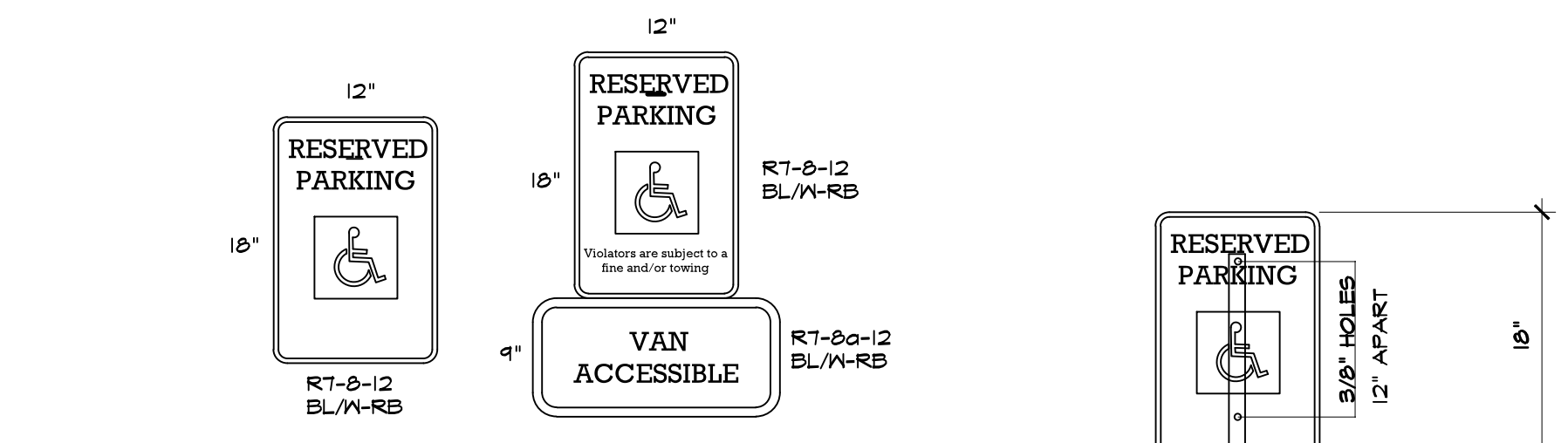
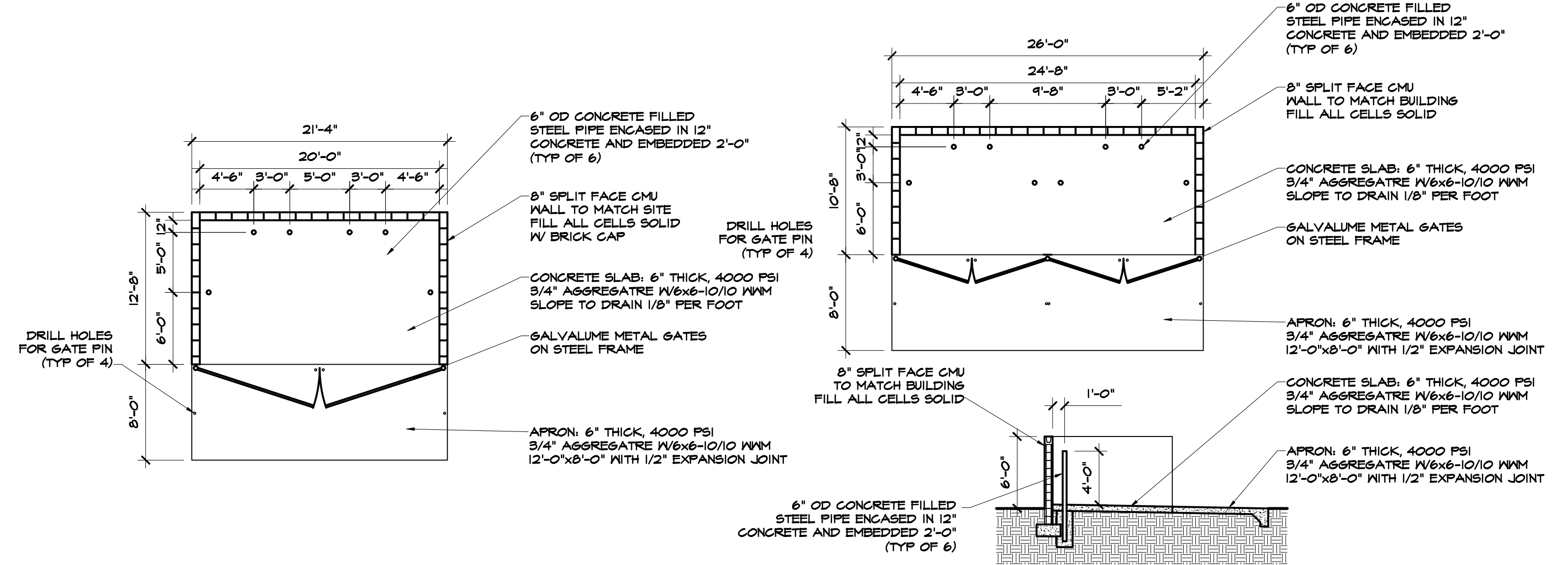
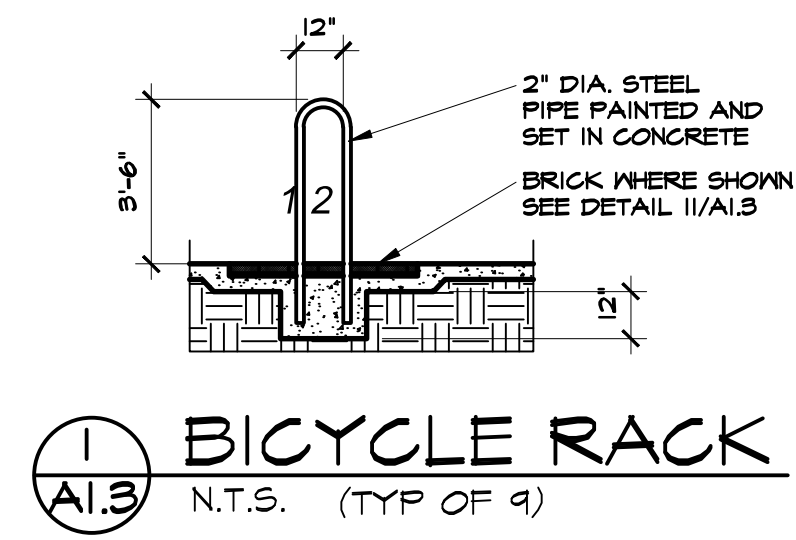
PARKING PLAN

DATE: 28 JUNE 2019
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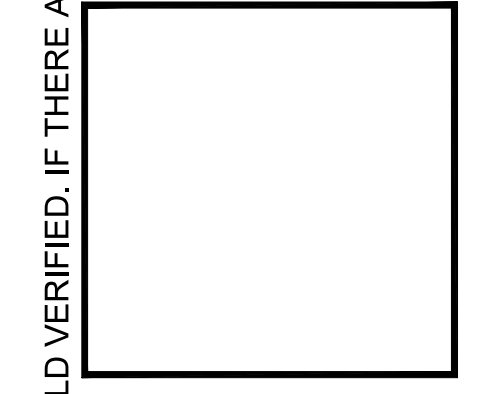
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MERCADO EL MILAGRO
NEW SITE PLAN
10000 CENTRAL AVENUE SW
ALBUQUERQUE, NEW MEXICO 87112



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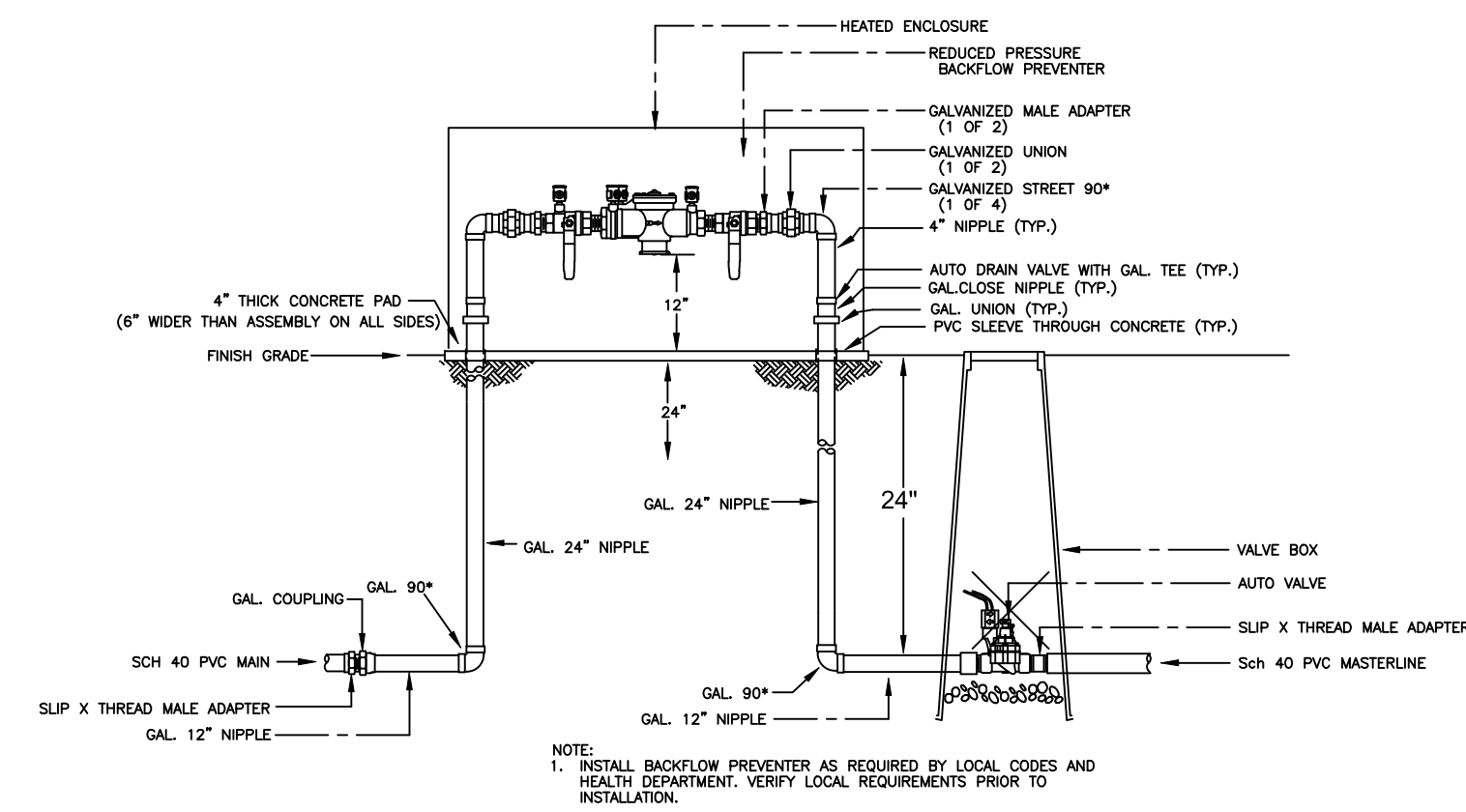
SITE DETAILS

PLANT LEGEND

- 9 SHUMARD OAK (M)
Quercus shumardii
2" Cal.
- 13 COMMON HACKBERRY (M)
Celtis occidentalis
2" Cal.
- 6 CHITALPA (M)
Chilopsis X Catalpa
2" Cal.
- 36 DESERT WILLOW (L)
Chilopsis Linearis
5 Gal. 225 sf
- 76 BUTTERFLY BUSH (M)
Buddleia Davidii
5 Gal. 100 sf
- 50 BIRD OF PARADISE (L)
Caesalpinia Gilliesii
5 Gal. 100 sf
- 20 RUSSIAN SAGE (M)
Perovskia Atriplicifolia
5 Gal. 36 sf
- 173 INDIAN HAWTHORN (M)
Raphiolepis Indica
5 Gal. 36 sf
- 15 PURPLE ROBE LOCUST (M)
Robinia Pseudoacacia
2" Cal.
- 5 AFGHAN PINE (M)
Pinus Eldarica
Min. 10' with Av. Caliper of 3"
- 6 NEW MEXICO OLIVE (L)
Forestiera Neomexicana
15 Gal. 225 sf
- 50 APACHE PLUME (L)
Fallugia Paradoxa
5 Gal. 25 sf
- 174 SANTOLINA (L)
Santolina Spp.
1 Gal. 25 sf
- 275 FERN BUSH (L+)
Chamaebatiaria Millefolium
5 Gal. 25 sf
- 24 AUTUMN SAGE (M)
Salvia Greggii
1 Gal. 4 sf
- 36 RED YUCCA (L)
Hesperaloe Parviflora
5 Gal. 4 sf

SANTA FE BROWN GRAVEL MULCH WITH FILTER FABRIC

BOULDER MONOLITH



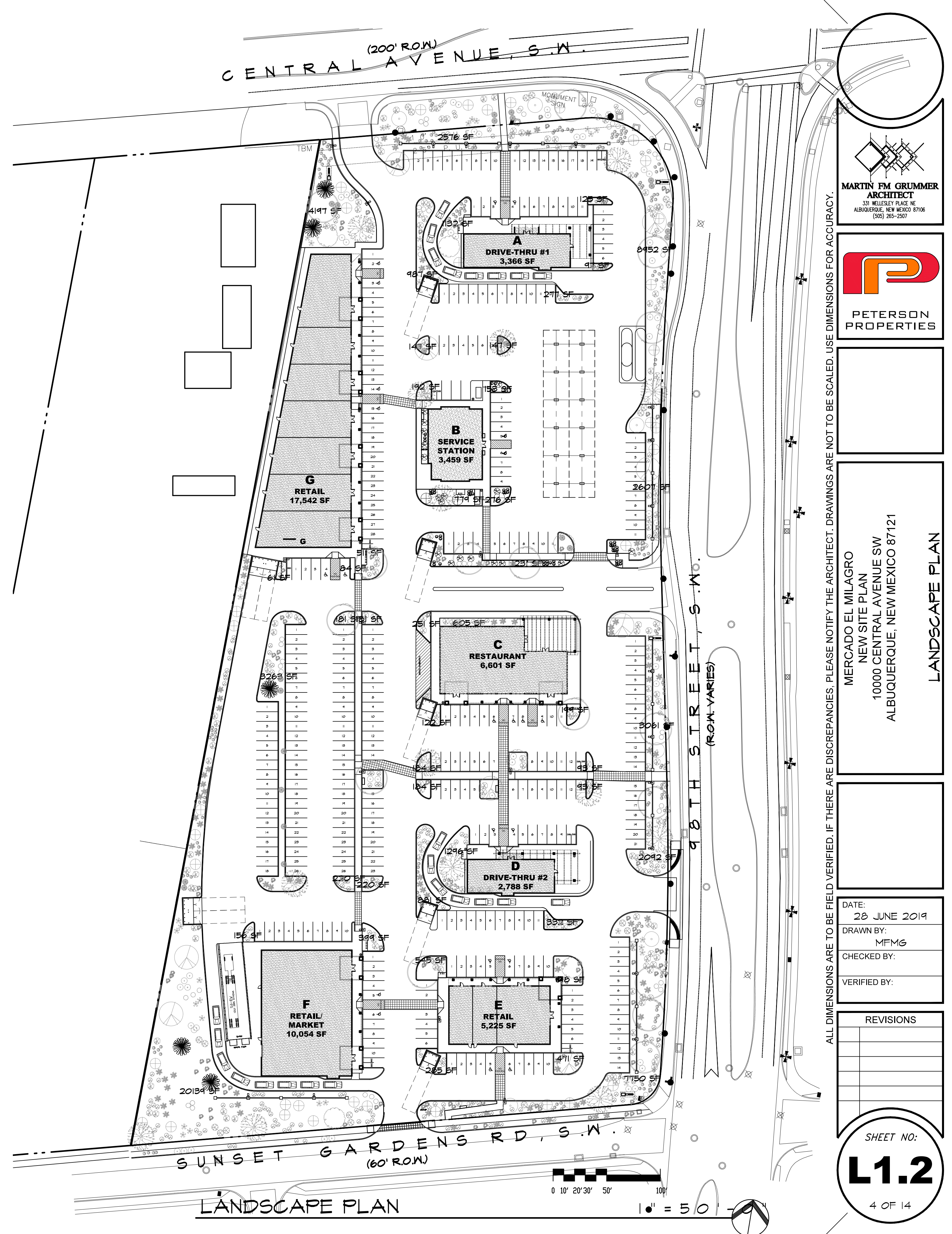
Mastervalue w/RPBA

NOTES

- MAINTENANCE OF LANDSCAPE PROVIDED BY OWNER
- PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION SYSTEM
- WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER
- THIS PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE PLANTING RESTRICTIONS APPROACH
- IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN. 80% LIVE GROUND COVER OF LANDSCAPE AREAS AT MATURITY
- LANDSCAPE AREAS TO BE MULCHED WITH SANTA FE BROWN GRAVEL AT 2"-3" DEPTH OVER FILTER FABRIC
- APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE OR IMPLY COMPLIANCE WITH, OR EXEMPTION FROM, THE C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE
- TREES ARE NOT TO BE PLACED IN PUBLIC UTILITY EASEMENTS
- NO PARKING SPACE SHALL BE MORE THEN 100' FROM A TREE.
- LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.

LANDSCAPE CALCULATIONS

TOTAL LOT AREA	911,593 SF	
TOTAL BUILDING AREA	49,035 SF	
NET LOT AREA	928,418 SF	
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	49,275 SF	
TOTAL BED PROVIDED	69,285 SF	
GROUND COVER REQUIRED	75% PER COMMENTS	
TOTAL GROUND COVER REQUIREMENT	36,956 SF	
TOTAL GROUND COVER PROVIDED	40,663 SF (82%)	
STREET TREES		
SUNSET GARDENS - 500 LF FRONTAGE	11 TREES PROVIDED	
98TH STREET - 430 LF FRONTAGE	24 TREES PROVIDED	
CENTRAL AVE. - 325 LF FRONTAGE	8 TREES PROVIDED	
PARKING TREES		
367 PARKING SPACES PROVIDED @ 1/2" = 37 TREES REQUIRED		
34 PROVIDED WITHIN 100 FT		



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PETERSON PROPERTIES

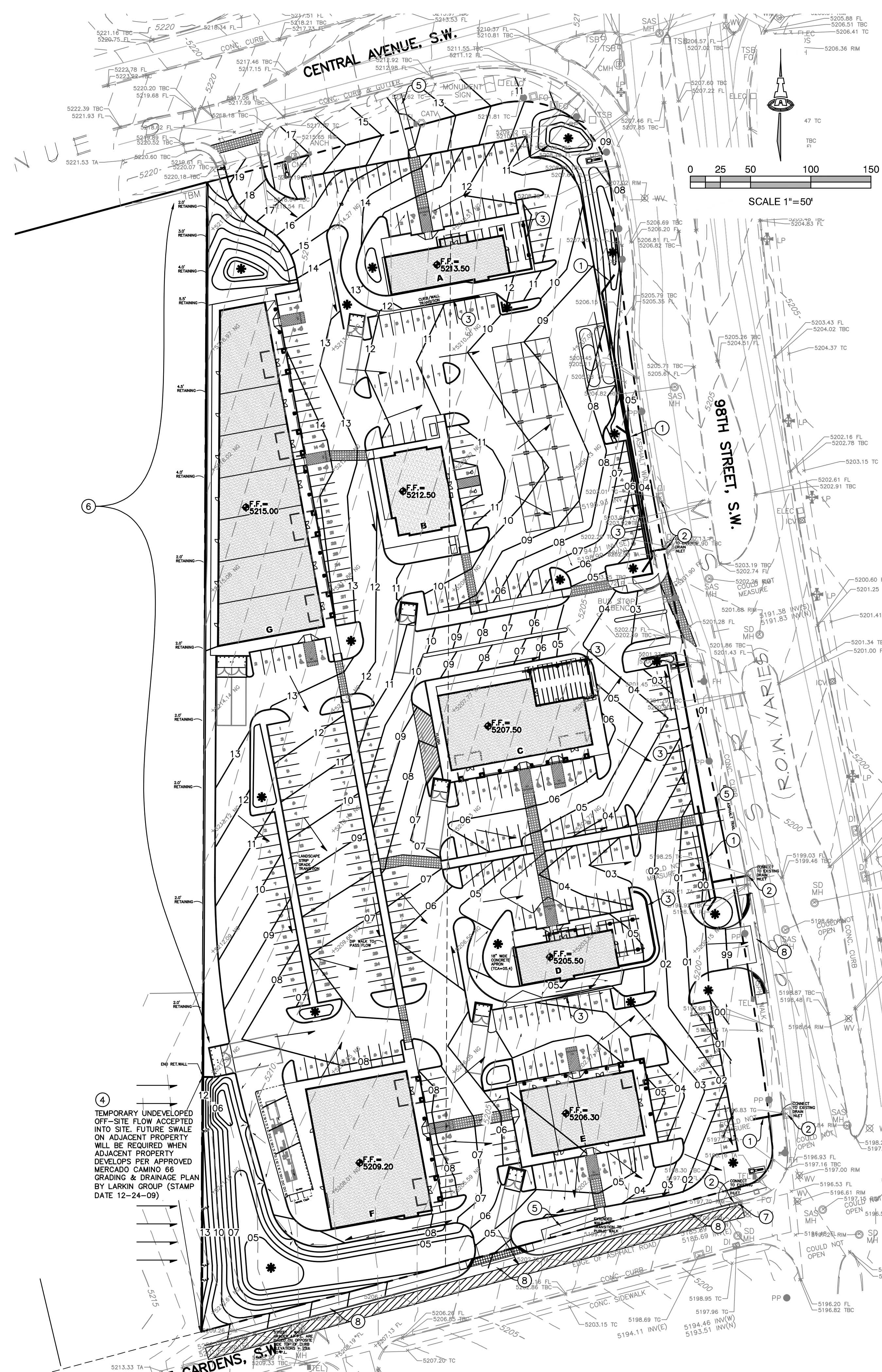
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4
 TEMPORARY UNDEVELOPED OFF-SITE FLOW ACCEPTED INTO SITE. FUTURE SWALE ON ADJACENT PROPERTY WILL BE REQUIRED WHEN ADJACENT PROPERTY DEVELOPS PER APPROVED MERCADO CAMINO 66 GRADING & DRAINAGE PLAN BY LARKIN GROUP (STAMP DATE 12-24-09)

DRAINAGE CONCEPT

A DRAINAGE STUDY FOR THIS PROPERTY WAS PREPARED BY THE LARKIN GROUP (EXISTING AND DEVELOPED CONDITIONS) DATED 12/24/2009. NOTE 2 ON THE DEVELOPED CONDITIONS GRADING AND DRAINAGE PLAN STATES: "STORM DRAINAGE FACILITIES CONSTRUCTED AND PAID FOR BY PROPERTY OWNER UNDER SAD-222 PROVIDED FOR FREE DISCHARGE OF STORM WATER FROM THIS PROPERTY".

OFF-SITE FLOW: PER THE APPROVED DRAINAGE STUDY, HISTORIC (UNDEVELOPED CONDITION) OFFSITE FLOWS OF 23.7 CFS PASS INTO THE SITE NEAR THE SOUTHWEST CORNER OF THE PROPERTY. THIS FLOW WILL BE ACCEPTED, ROUTED AND RELEASED TO SUNSET GARDENS ROAD. ONCE THE WEST PROPERTY DEVELOPS, NO FLOW WILL BE PERMITTED TO PASS INTO THIS PROPERTY.

A SMALL OFF-SITE BASIN (2 CFS) AT THE NORTHWEST CORNER OF THE PROPERTY WILL BE PASSED UNDER THE PROPOSED ACCESS DRIVE TO CONTINUE WITHIN THE CENTRAL R/W.

THE PROPERTY WILL BE DEVELOPED WITH SIX BUILDINGS IN PHASES. A DETAILED GRADING AND DRAINAGE PLAN, INCLUDING CALCULATIONS FOR STORM DRAIN AND STORMWATER QUALITY POND VOLUMES WILL BE PROVIDED AS EACH PHASE DEVELOPS. A RIGHT-IN/RIGHT-OUT ENTRANCE WILL BE CONSTRUCTED IN 98TH ST. AND AN ENTRANCE, CURB & GUTTER, SIDEWALK AND TWO PUBLIC STORM DRAIN INLETS WILL BE CONSTRUCTED ON THE NORTH SIDE OF SUNSET GARDENS RD.

THE ONSITE STORM WATERS, ALONG WITH THE OFFSITE UNDEVELOPED STORM WATERS SHALL FREE DISCHARGE TO THE ADJACENT 98TH ST. AND SUNSET GARDENS RD. VIA ACCESS DRIVES, COVERED SIDEWALK CULVERTS AND ONSITE INLETS CONNECTING TO THE BACK OF THE PUBLIC STORM DRAIN STREET INLETS. SEE THE STORMWATER QUALITY SECTION (CG-102) FOR ADDITIONAL INFORMATION.

VICINITY MAP L-09



PROJECT INFORMATION

PROPERTY: THE SITE IS AN UNDEVELOPED PROPERTY LOCATED WITHIN C.O.A. VICINITY MAP L-9. THE SITE IS BOUND TO THE EAST BY 98TH ST. SW, TO THE WEST BY PARTIALLY DEVELOPED COMMERCIAL PROPERTY, TO THE NORTH BY CENTRAL AVE. SW AND TO THE SOUTH BY SUNSET GARDENS RD SW.

PROPOSED IMPROVEMENTS: THE PROPOSED IMPROVEMENTS INCLUDE A MULTI-BUILDING COMMERCIAL CENTER WITH ASSOCIATED ASPHALT PAVED ACCESS, PARKING, AND LANDSCAPING.

LEGAL: LOT 1-A, BLK 1 EXCLUDING THE 'ELY POR' OF LOTS 1-A & 1-B, LANDS OF ATRISCO LAND GRANT (4.25 ACRE) AND LOT 2 BLK 1, PLAT OF LANDS OF THE ATRISCO GRANT (4.61 ACRE)

BENCHMARK: ACS MONUMENT 14-K9: A 3-1/4" ALUMINUM DISK SET IN CONCRETE AT THE NW CORNER OF THE INTERSECTION OF BRIDGE BLVD SW AND 86TH ST. SW. ELEVATION (NAVD 1988): 5117.017

TEMPORARY BENCHMARKS: A 1/2" REBAR W/PLASTIC CAP "PS 14269" SET AT THE NW PROPERTY CORNER OF LOT 2 OF THIS SURVEY. ELEVATION (NAVD 1988): 5218.38

FLOOD HAZARD: THIS PROPERTY LIES WITHIN FEMA FLOODZONE "X" (NO FLOOD HAZARD) AND IS NOT SUBJECT TO 100-YEAR FLOOD HAZARDS. REFERENCE: FLOOD INSURANCE RATE MAP, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO PANEL 350002 0328 H; EFFECTIVE DATE: AUGUST 16, 2012.

KEYED NOTES

1. PRIVATE ON-SITE STORM DRAIN SYSTEM AS NEEDED.
2. CONNECTION TO PUBLIC STORM DRAIN INLET.
3. RETAINING / GARDEN WALLS (WHERE NEEDED) TO ACHIEVE GRADE TRANSITIONS.
4. TEMPORARY HISTORIC (UNDEVELOPED CONDITION) OFF-SITE FLOW ACCEPTED INTO PROPERTY FOR ROUTING.
5. ADA COMPLIANT CONNECTION TO PUBLIC SIDEWALK.
6. PERIMETER WALL WITH RETAINING AS NEEDED TO ACHIEVE GRADE TRANSITION.
7. NEW PUBLIC STORM DRAIN INLETS TO BE CONSTRUCTED AS PART OF PUBLIC WORK ORDER (PWO).
8. NEW PAVING, CURB AND GUTTER, SIDEWALK, SITE ENTRANCE TO BE CONSTRUCTED AS PART OF PWO.

LEGEND

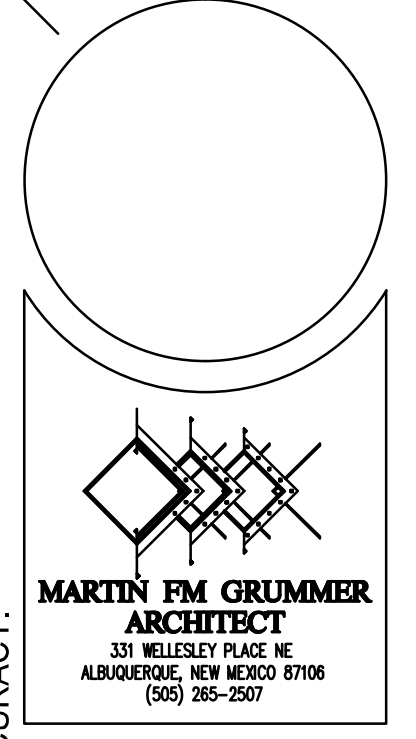
- EXISTING CONTOUR
- 02- PROPOSED CONTOUR
- 78.3 PROPOSED SPOT ELEVATION
- FLOW ARROW
- FF = 5207.00 FINISH FLOOR ELEVATION
- * STORMWATER QUALITY LOCATION

GENERAL NOTES

- A. GRADES SHOWN ON THE CONCEPTUAL GRADING AND DRAINAGE PLAN REFLECT THE OVERALL GRADING SCHEME. ADA COMPLIANT PARKING WILL BE COORDINATED WITH ARCHITECT TO ENSURE MAX. 2% SLOPE IN ANY DIRECTION.
- B. LANDSCAPING WILL BE DEPRESSED TO HARVEST STORMWATER EXCEPT WITHIN 10' OF A BUILDING OR STRUCTURE.
- C. ROCK EROSION PROTECTION WILL BE REQUIRED AT CURB OPENINGS, ON SLOPES > 4:1 AND WITHIN SWALES CARRYING CONCENTRATED FLOW.
- D. STEPS, RAMPS, AND TRANSITION GARDEN RETAINING WALLS AS REQUIRED TO ACHIEVE GRADE TRANSITIONS WILL BE DETERMINED AS EACH PROPERTY DEVELOPS.
- E. PERIMETER RETAINING WALLS: PER THE DPM, CHAPTER 22.5 B, CARE SHOULD BE TAKEN TO ENSURE THAT THE ADJACENT PROPERTY IS NOT DAMAGED OR ITS USE CONSTRAINED DUE TO GRADING AT OR NEAR THE PROPERTY LINE. ENCROACHING INTO THE ADJACENT PROPERTY WITH GRADING AND/OR WALL FOOTING WILL REQUIRE WRITTEN PERMISSION FROM THE AFFECTED PROPERTY OWNERS. LETTERS ARE TO BE PROVIDED TO COA HYDROLOGY FOR THEIR FILES PRIOR TO HYDROLOGY APPROVAL FOR BUILDING PERMIT.
- F. STORMWATER QUALITY RETENTION PONDS WILL BE LOCATED AND CONSTRUCTED AS EACH PROPERTY DEVELOPS. PRIOR TO BUILDING PERMIT APPROVAL, A "PAYMENT IN-LIEU FOR S.O. VOLUME REQUIREMENT" TREASURY DEPOSIT SLIP WILL BE PROVIDED BY C.O.A. HYDROLOGY BASED ON THE PORTION OF S.Q. VOLUME (@\$8.00 PER CF) THAT IS NOT RETAINED ON-SITE. A COPY OF THE PAID RECEIPT WILL BE REQUIRED PRIOR TO RECEIVING HYDROLOGY APPROVAL FOR BUILDING PERMIT.

CONCEPTUAL GRADING + DRAINAGE PLAN

ISACSON & ARFMAN, P.A.
 Consulting Engineering Associates
 128 Monroe Street N.E.
 Albuquerque, New Mexico 87108
 Ph. 505-268-8828 www.isacv.com
 2306 CG-101 CONCEPTUAL.dwg May 20, 2019



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CONCEPTUAL DRAINAGE BASINS

BASIN NO.	A	DESCRIPTION	2.4 Ac.
Area of basin flows = 103990 SF			
The following calculations are based on Treatment areas as shown in table to the right			
Sub-basin Weighted Excess Precipitation (see formula above)			
Weighted E = 1.74 in			
Sub-basin Volume of Runoff (see formula above)			
V ₆₀ = 15096 CF			
Sub-basin Peak Discharge Rate (see formula above)			
Q _p = 9.5 cfs			
FIRST FLUSH VOL = 2357 CF			
BASIN NO.	B	DESCRIPTION	4.0 Ac.
Area of basin flows = 175039 SF			
The following calculations are based on Treatment areas as shown in table to the right			
Sub-basin Weighted Excess Precipitation (see formula above)			
Weighted E = 1.86 in			
Sub-basin Volume of Runoff (see formula above)			
V ₆₀ = 27073 CF			
Sub-basin Peak Discharge Rate (see formula above)			
Q _p = 16.8 cfs			
FIRST FLUSH VOL = 4463 CF			
BASIN NO.	C	DESCRIPTION	2.3 Ac.
Area of basin flows = 98303 SF			
The following calculations are based on Treatment areas as shown in table to the right			
Sub-basin Weighted Excess Precipitation (see formula above)			
Weighted E = 1.64 in			
Sub-basin Volume of Runoff (see formula above)			
V ₆₀ = 13470 CF			
Sub-basin Peak Discharge Rate (see formula above)			
Q _p = 8.6 cfs			
FIRST FLUSH VOL = 1982 CF			

OVERALL CALCULATIONS

CALCULATIONS: MILAGRO :

Based on Drainage Design Criteria for City of Albuquerque Section 22.2, DPM, Vol 2, dated Jan., 1993

ON-SITE
AREA OF SITE: 377532 SF = 8.67 AC

100-year, 6-hour
PREVIOUS DEVELOPED FLOWS: DEVELOPED FLOWS: EXCESS PRECIP:

Treatment SF	%	Area A	Treatment SF	%	Area B	Area C	Area D	Excess Precip
0	0%	0	0	0%	0	0	0	E _A = 0.44
377532	100%	377532	33978	9%	33978	33978	309576	E _B = 0.67
0	0%	0	33978	9%	33978	309576	377532	E _C = 0.99
0	0%	0	0	0%	0	0	0	E _D = 1.97
377532	100%	377532	377532	100%	377532	377532	377532	

On-Site Weighted Excess Precipitation (100-Year, 6-Hour Storm)
Weighted E = $\frac{E_A A_A + E_B A_B + E_C A_C + E_D A_D}{A_A + A_B + A_C + A_D}$

Historic E = 0.67 in | Developed E = 1.76 in

On-Site Volume of Runoff: V₃₆₀ = E*A / 12
Historic V₃₆₀ = 21079 CF | Developed V₃₆₀ = 55522 CF

On-Site Peak Discharge Rate: Q_p = Q_{pA}A_A + Q_{pB}A_B + Q_{pC}A_C + Q_{pD}A_D / 43,560
For Precipitation Zone 1
Q_{pA} = 1.29 | Q_{pB} = 2.87
Q_{pB} = 2.03 | Q_{pD} = 4.37
Historic Q_p = 17.6 CFS | Developed Q_p = 34.9 CFS

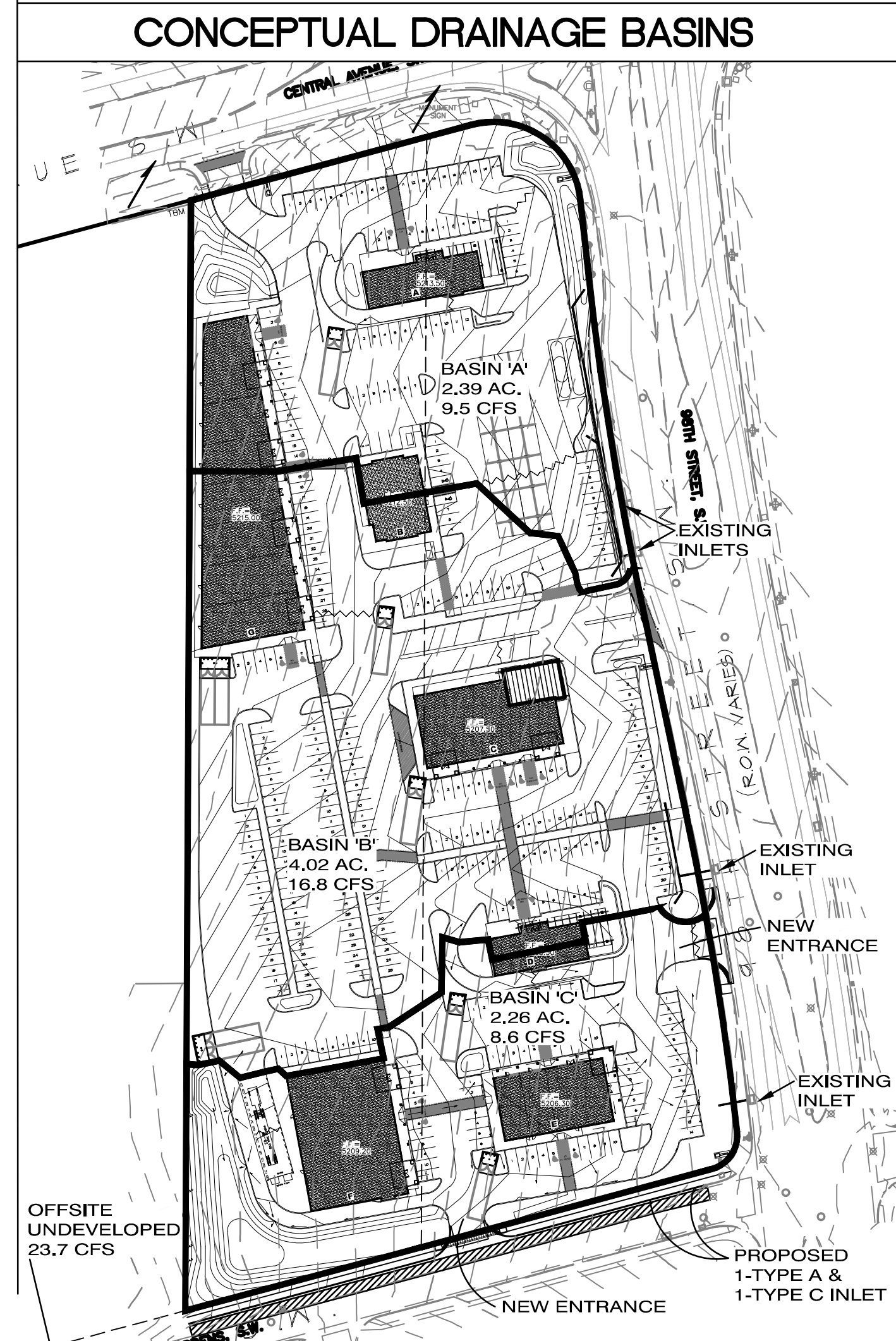
STORMWATER QUALITY

FOR NEW CONSTRUCTION, THE CABO STORMWATER QUALITY (S.Q.) VOLUME IS BASED ON THE 90TH PERCENTILE STORM EVENT OR 0.34" [0.44" LESS 0.1" FOR INITIAL ABSTRACTION] OF STORMWATER WHICH DISCHARGES DIRECTLY TO A PUBLIC STORM DRAINAGE SYSTEM).

THE ESTIMATED IMPERVIOUS AREA FOR THIS PROPERTY IS CALCULATED AS 82% OF TOTAL AREA: (0.82 * 8.67 AC) = 309,576 SF. THE TOTAL REQUIRED S.Q. RETENTION VOLUME = 0.34" * TYPE 'D' AREA: 0.34/12 * (309,576 SF) = 8,772 CF. THIS MAY VARY DEPENDING ON THE FINAL IMPERVIOUS AREA TO BE CONSTRUCTED WITH EACH PHASE.

S.Q. RETENTION PONDS WILL BE CONSTRUCTED THROUGHOUT THE PROPERTY AS THE SITE DEVELOPS. FINAL LOCATIONS AND DESIGN WILL BE PROVIDED AS PART OF THE INDIVIDUAL BUILDING PERMIT CONSTRUCTION DOCUMENTS. AREAS ARE SHOWN (LABELED WITH *) TO INDICATE POTENTIAL S.Q. POND LOCATIONS. PRIVATE FACILITY DRAINAGE COVENANT(S) WILL BE PROVIDED FOR THE S.Q. PONDS IF REQUIRED.

PRIOR TO EACH BUILDING PERMIT APPROVAL, A "PAYMENT IN-LIEU FOR S.Q. VOLUME REQUIREMENT" TREASURY DEPOSIT SLIP WILL BE PROVIDED BY C.O.A. HYDROLOGY BASED ON THE PORTION OF S.Q. VOLUME (@ \$8.00 PER CF) THAT IS NOT RETAINED ON-SITE. A COPY OF THE PAID RECEIPT WILL BE REQUIRED PRIOR TO RECEIVING HYDROLOGY APPROVAL FOR BUILDING PERMIT.



CONCEPTUAL DRAINAGE BASINS

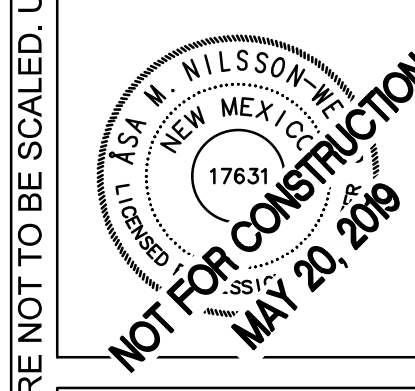
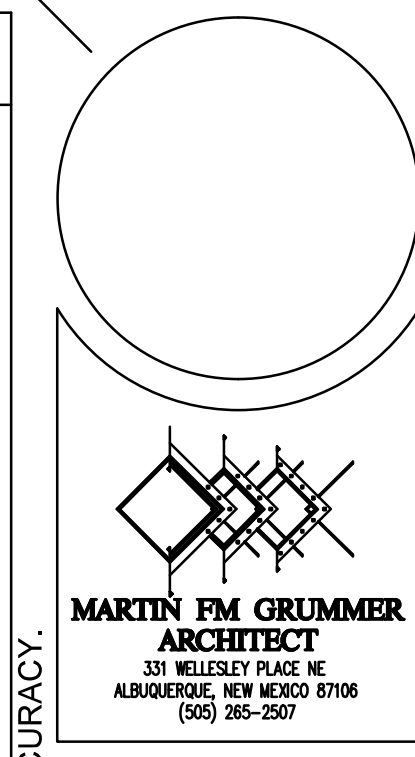
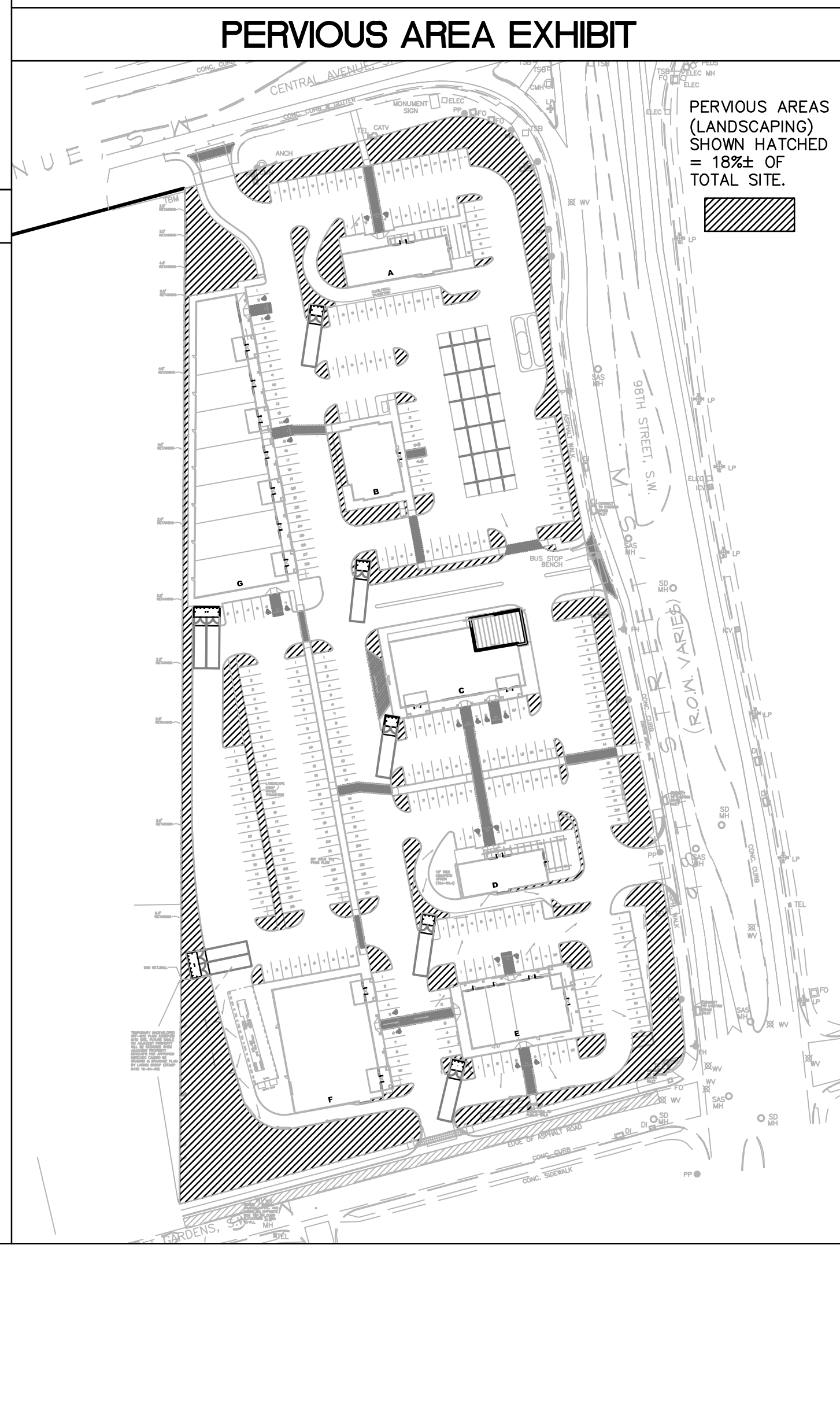
FINAL DRAINAGE BASINS MAY BE ADJUSTED BASED ON FINALIZED BUILDING FOOTPRINT DISCHARGE LOCATIONS AND FINAL GRADES.

THIS PROPERTY WAS PREVIOUSLY APPROVED (CURTIS A. CHERNE P.E. LETTER DATED JANUARY 25, 2010) FOR PLATTING AND SITE PLAN ACTION BY THE DRB.

THE SAD 222 PROJECT PUBLIC STORM DRAIN FACILITIES INCLUDED A MONETARY ASSESSMENT AGAINST THIS PROPERTY (PAID). FREE DISCHARGE OF DEVELOPED CONDITION STORM WATER IS PROVIDED. SURFACE DISCHARGE TO THE ADJACENT STREETS AS WELL AS DIRECT STORM DRAIN CONNECTIONS TO PUBLIC STORM DRAIN SYSTEM WILL BE DESIGNED AT EACH PHASE AS NEEDED.

FINAL DESIGN FOR PUBLIC STORM DRAIN IMPROVEMENTS WITHIN SUNSET GARDENS R/W WILL BE PROVIDED AS PART OF THE PUBLIC WORK ORDER SUBMITTAL.

18" DIA. STUBS FROM THE PROPERTY LINE TO THE BACK OF THE IDENTIFIED PUBLIC STORM DRAIN IMPROVEMENTS WITHIN THE PUBLIC R/W WILL BE CONSTRUCTED AS PART OF THE PUBLIC WORK ORDER CONSTRUCTION. THESE STUBS WILL BE CAPPED AT THE PROPERTY LINE FOR FUTURE PRIVATE CONNECTION.



MERCADO EL MILAGRO
NEW SITE PLAN
10000 CENTRAL AVENUE SW
ALBUQUERQUE, NEW MEXICO 87121

DATE: _____

DRAWN BY: _____

CHECKED BY: _____

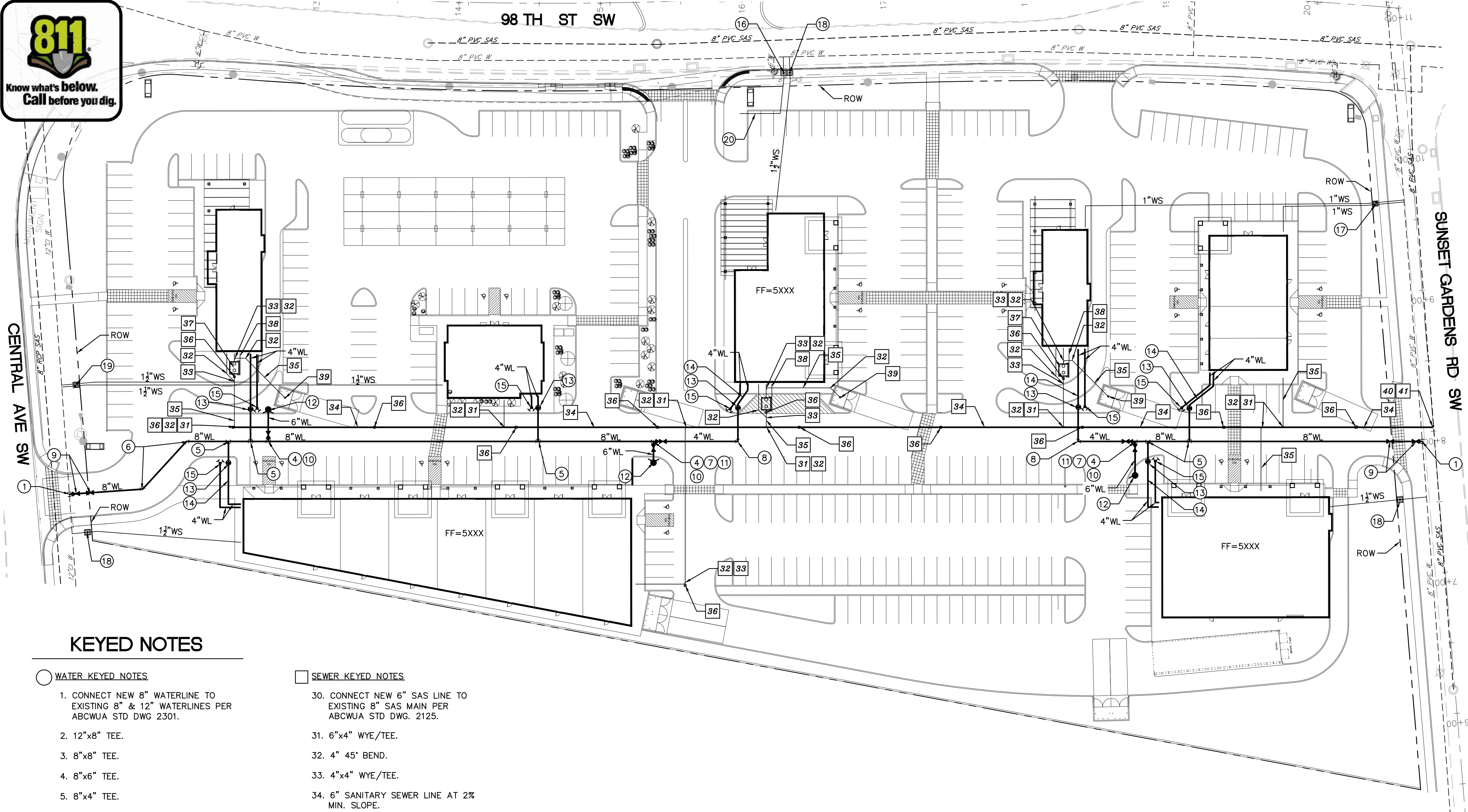
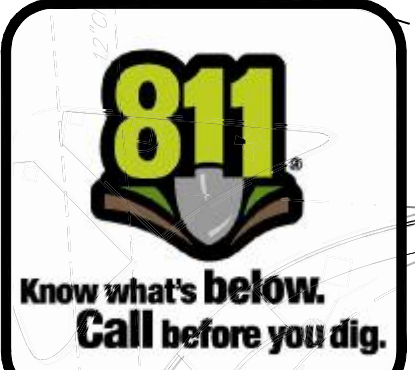
VERIFIED BY: _____

NO.	REVISIONS

CONCEPTUAL GRADING + DRAINAGE NOTES AND CALCULATIONS

ISACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph. 505-268-8828 www.isacivil.com
2306 CG-101 CONCEPTUAL.dwg May 20, 2019

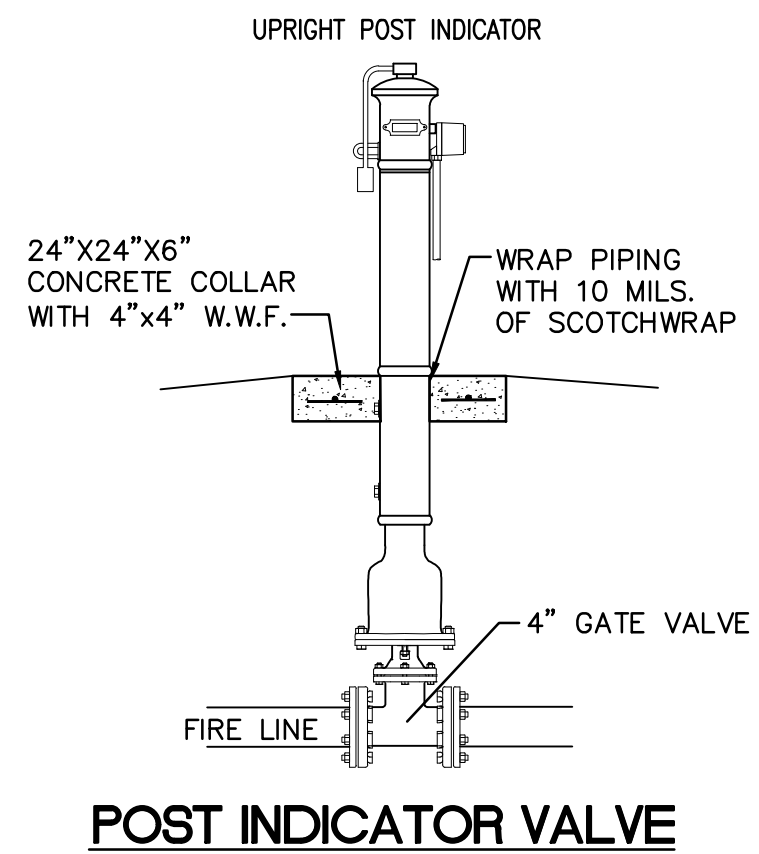
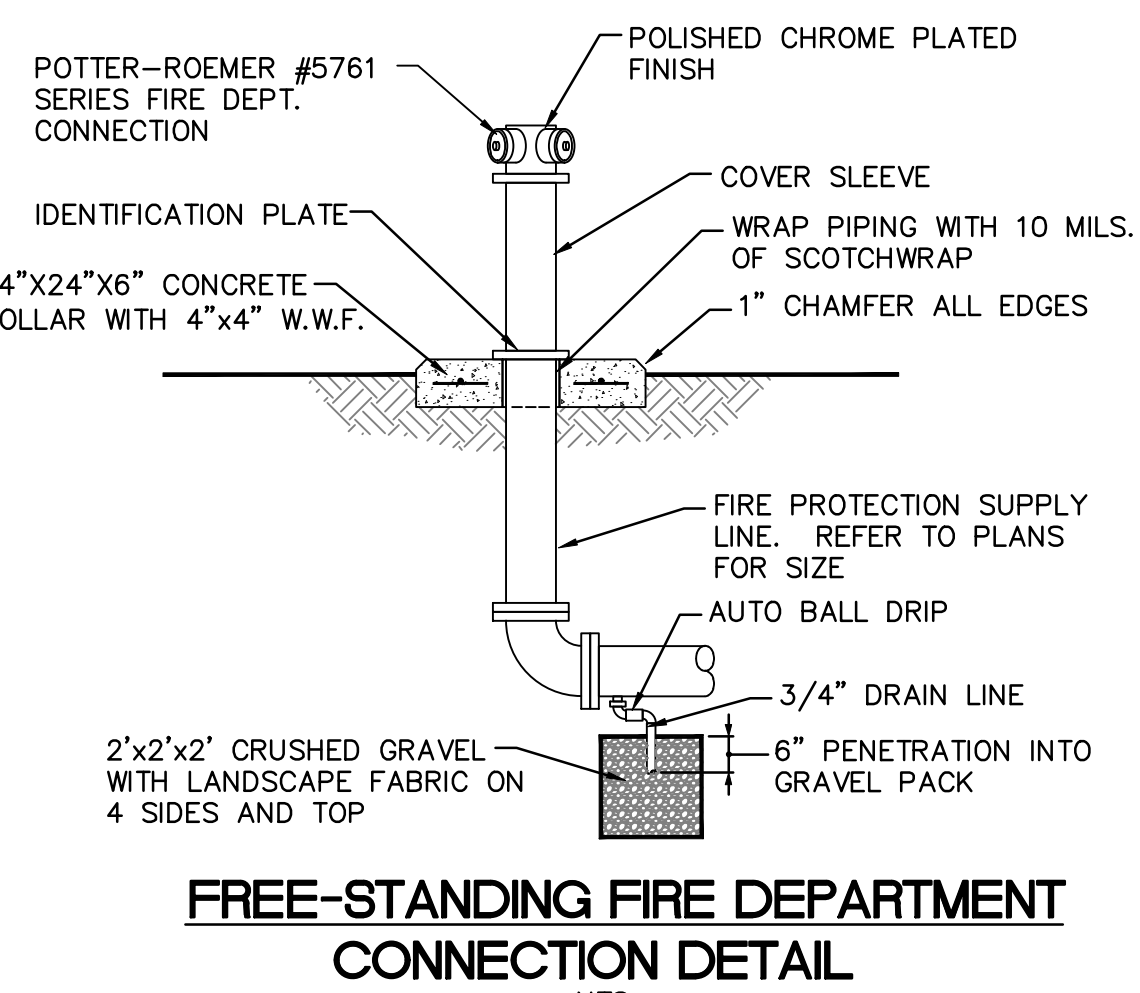
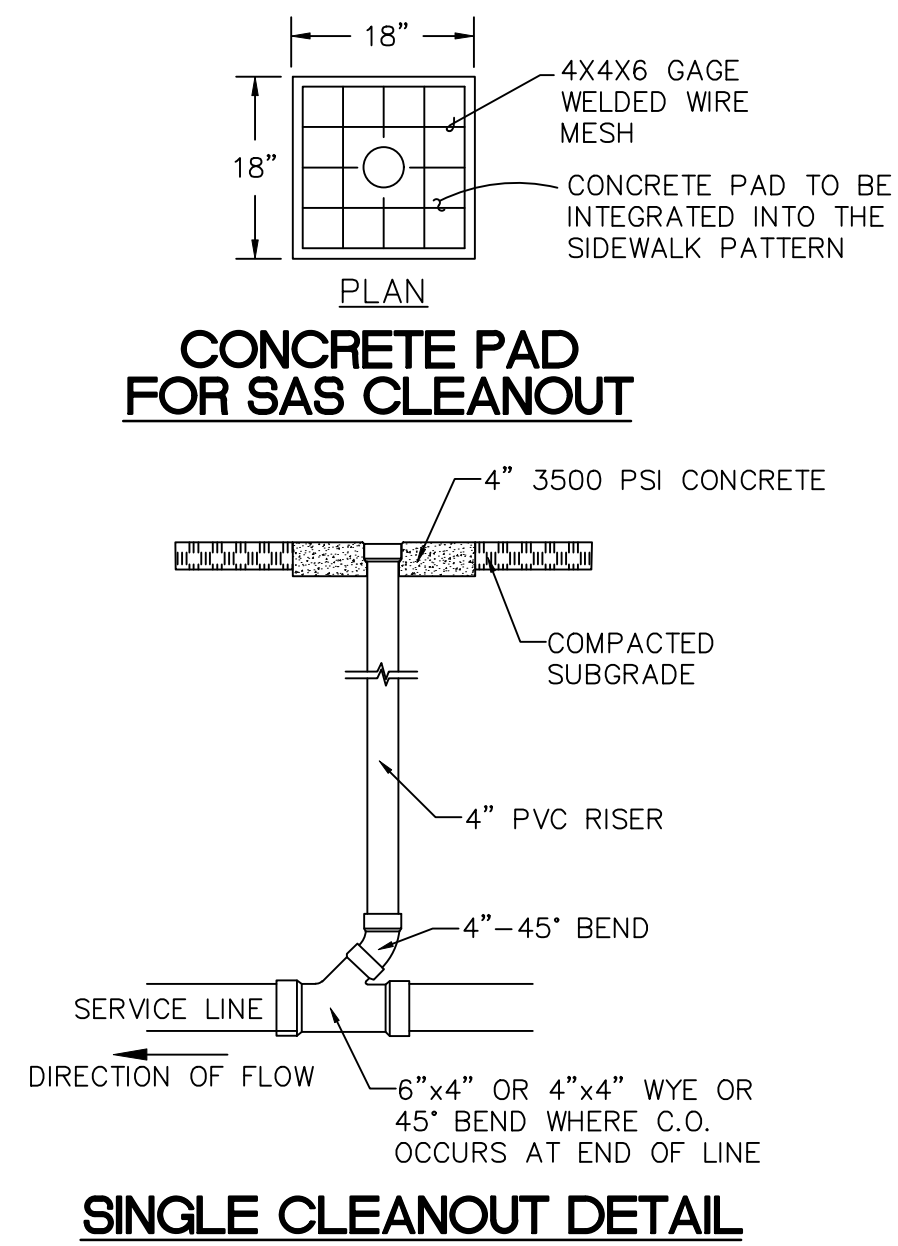
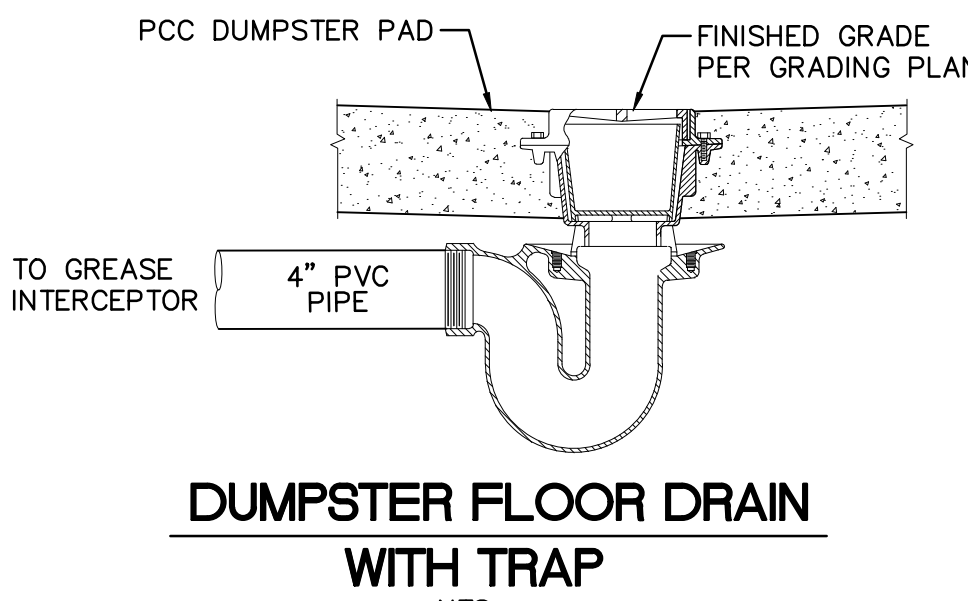
ALL DIMENSIONS ARE TO BE FIELD VERIFIED. IF THERE ARE DISCREPANCIES, PLEASE NOTIFY THE ARCHITECT. DRAWINGS ARE NOT TO BE SCALED. USE DIMENSIONS FOR ACCURACY.



KEYED NOTES

- WATER KEYED NOTES**
- CONNECT NEW 8" WATERLINE TO EXISTING 8" & 12" WATERLINES PER ABCWUA STD DWG 2301.
 - 12"x8" TEE.
 - 8"x8" TEE.
 - 8"x6" TEE.
 - 8"x4" TEE.
 - 8" 45' BEND. (LT=11')
 - 8"x4" REDUCER. (LT=52')
 - 4" 90' BEND. (LT=15')
 - 8" GATE VALVE W/ BOX. PER ABCWUA STD DWG 2326 & 2329. (LT=60')
 - 6" GATE VALVE W/ BOX. PER ABCWUA STD DWG 2326 & 2329. (LT=46')
 - 4" GATE VALVE W/ BOX. PER ABCWUA STD DWG 2326 & 2329. (LT=32')
 - FIRE HYDRANT PER ABCWUA STD DWG 2340. PAINTED SAFETY ORANGE.
 - PIV (POST INDICATOR VALVE).
 - 3" CONDUIT W/ PULL STRING FROM PIV TO FIRE ROOM.
 - FDC (FIRE DEPARTMENT CONNECTION).
 - 1" SINGLE METERED SERVICE LINE INSTALLATION PER ABCWUA STD. DWGS. 2362.
 - 1" DOUBLE METERED SERVICE LINE INSTALLATION PER ABCWUA STD. DWGS. 2362.
 - 1 1/2" SINGLE METERED SERVICE LINE INSTALLATION PER ABCWUA STD. DWG. 2362.
 - 1 1/2" DOUBLED METERED SERVICE LINE INSTALLATION PER ABCWUA STD. DWG. 2362.
 - 1" IRRIGATION STUB.

- SEWER KEYED NOTES**
- CONNECT NEW 6" SAS LINE TO EXISTING 8" SAS MAIN PER ABCWUA STD DWG. 2125.
 - 6"x4" WYE/TEE.
 - 4" 45' BEND.
 - 4"x4" WYE/TEE.
 - 6" SANITARY SEWER LINE AT 2% MIN. SLOPE.
 - 4" SANITARY SEWER LINE AT 2% MIN. SLOPE.
 - SANITARY SEWER CLEANOUT.
 - 1500 GALLON GREASE INTERCEPTOR.
 - 3" PVC VENT LINE TO BUILDING.
 - 4" FLOOR DRAIN WITH P TRAP.
 - 6" 45' BEND.
 - 8"x6" WYE/TEE.

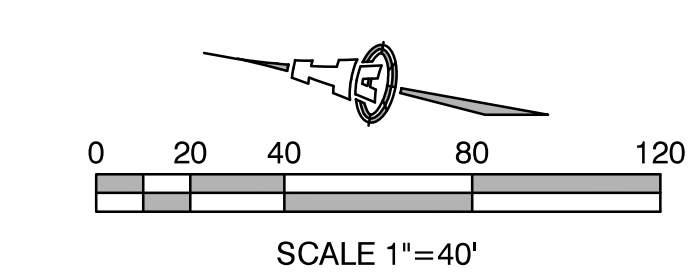


GENERAL NOTES

- EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. ALL UTILITIES SHOULD BE FIELD VERIFIED AND LOCATED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES.
- CONTRACTOR SHALL NOT USE VIBRATORY COMPACTION EQUIPMENT OR HEAVY VEHICLES OVER EXISTING UTILITIES.
- SITE STORM DRAIN, ELECTRIC LINES & TRANSFORMERS AND GAS LINES ARE SHOWN FOR GENERAL INFORMATION ONLY TO PROVIDE AN OVERVIEW OF SITE UTILITIES AND POTENTIAL CONFLICTS. SEE MECHANICAL PLANS FOR GAS LINE SIZING. SEE CG-101 FOR STORM DRAIN DESIGN.
- ALL WATER FITTINGS SHALL HAVE JOINT RESTRAINTS (LT). SEE RESTRAINED JOINT CRITERIA NOTES THIS SHEET. (LT) LENGTH SHOWN ON KEYED NOTES.
- ALL ABOVE GROUND UTILITY EQUIPMENT AND FITTINGS SHALL BE PAINTED IN COLORS TO MATCH BUILDING COLORS.

RESTRAINED JOINT CRITERIA FOR WATERLINE FITTINGS

- ALL MECHANICAL JOINTS SHALL BE RESTRAINED AT THE FITTINGS PER KEYED NOTES THIS SHEET.
 - THE CONTRACTOR SHALL PROVIDE A MINIMUM PIPE LENGTH OF 20 LF FROM ALL MECHANICAL JOINTS. ALL PIPE JOINTS WITHIN 20 LF OF A MECHANICAL JOINT SHALL BE RESTRAINED AT THE CONTRACTOR'S EXPENSE.
 - THE CONTRACTOR SHALL RESTRAIN ALL PIPE JOINTS IN THE SPECIFIED DISTANCE LISTED IN THE KEYED NOTES.
 - THE CONTRACTOR SHALL RESTRAIN ALL FIRE HYDRANT JOINTS FROM THE TEE ON THE MAIN TO THE FIRE HYDRANT FLANGE.
- DEPTH OF BURY: 3.0 FT. MINIMUM
 FACTOR OF SAFETY: 1.50
 MATERIAL: PVC
 SOIL TYPE: GM/SM - SILTY GRAVELS AND SILTY SANDS, GRAVEL-SAND-SILT MIXTURES.
- TEST PRESSURE: 150 PSI
- TRENCH TYPE 4: PIPE BEDDED IN SAND, GRAVEL, OR CRUSHED STONE TO DEPTH OF 1/8 PIPE DIAMETER, 4 INCH MINIMUM; BACKFILL COMPACTED TO TOP OF PIPE.
- DIFFERENT CRITERIA, E.G., GREATER DEPTH OF BURY, ETC., WILL REQUIRE DIFFERENT RESTRAINED LENGTHS. THESE MUST BE CALCULATED BY A QUALIFIED PROFESSIONAL ENGINEER AND APPROVED BY ABCWUA.



ISAACSON & ARFMAN, P.A.
 Consulting Engineering Associates
 128 Monroe Street N.E.
 Albuquerque, New Mexico 87108
 Ph. 505-268-8828 www.isaacson.com
 2306 CU-101.dwg Mar 25, 2019



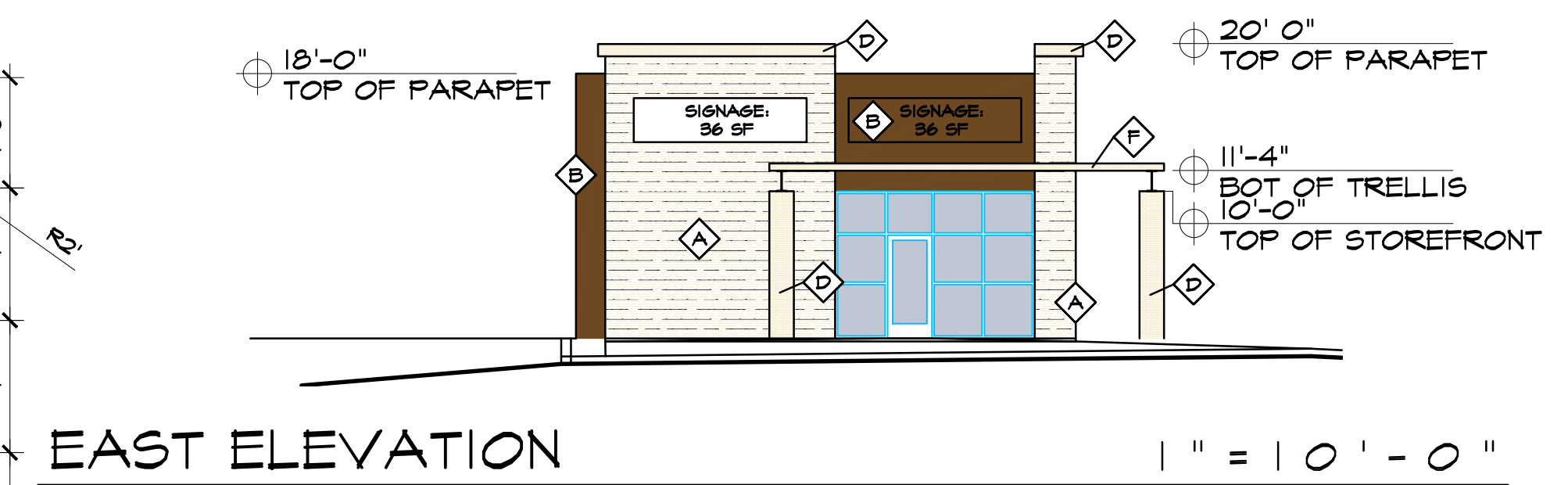
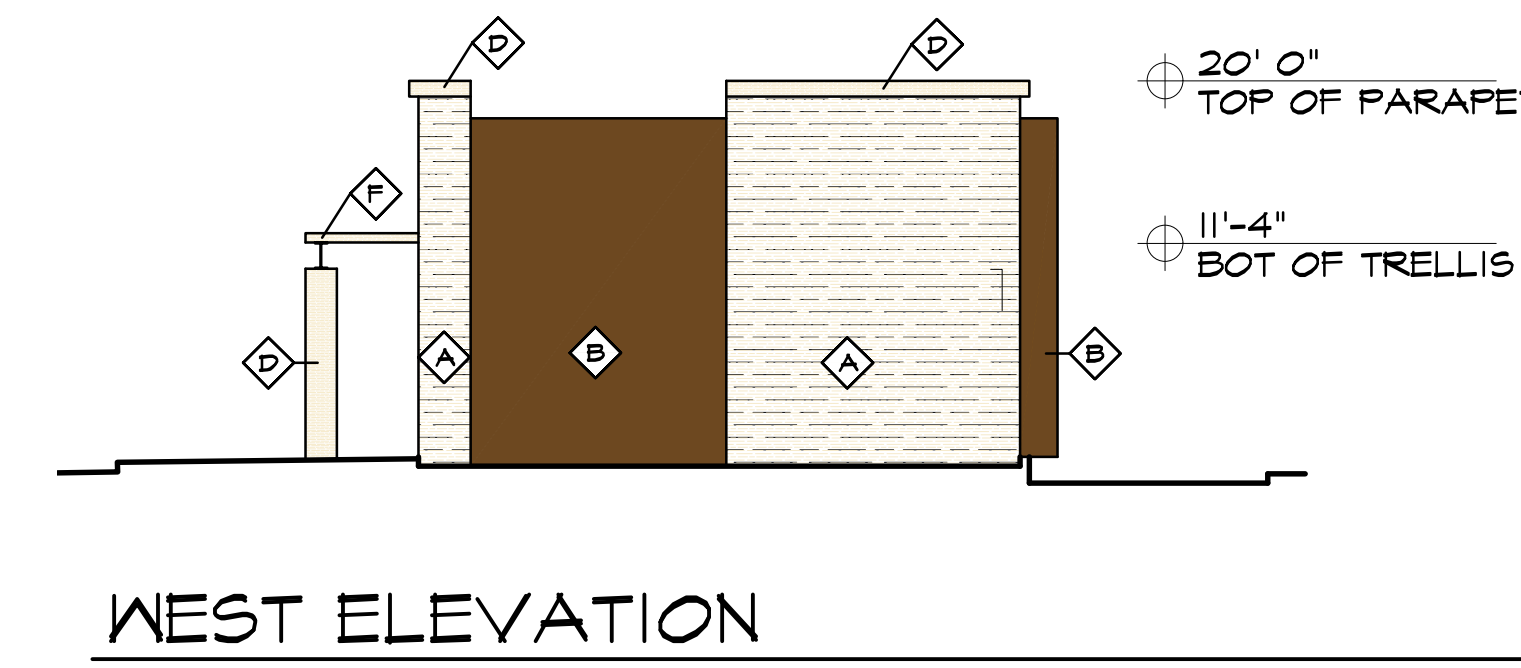
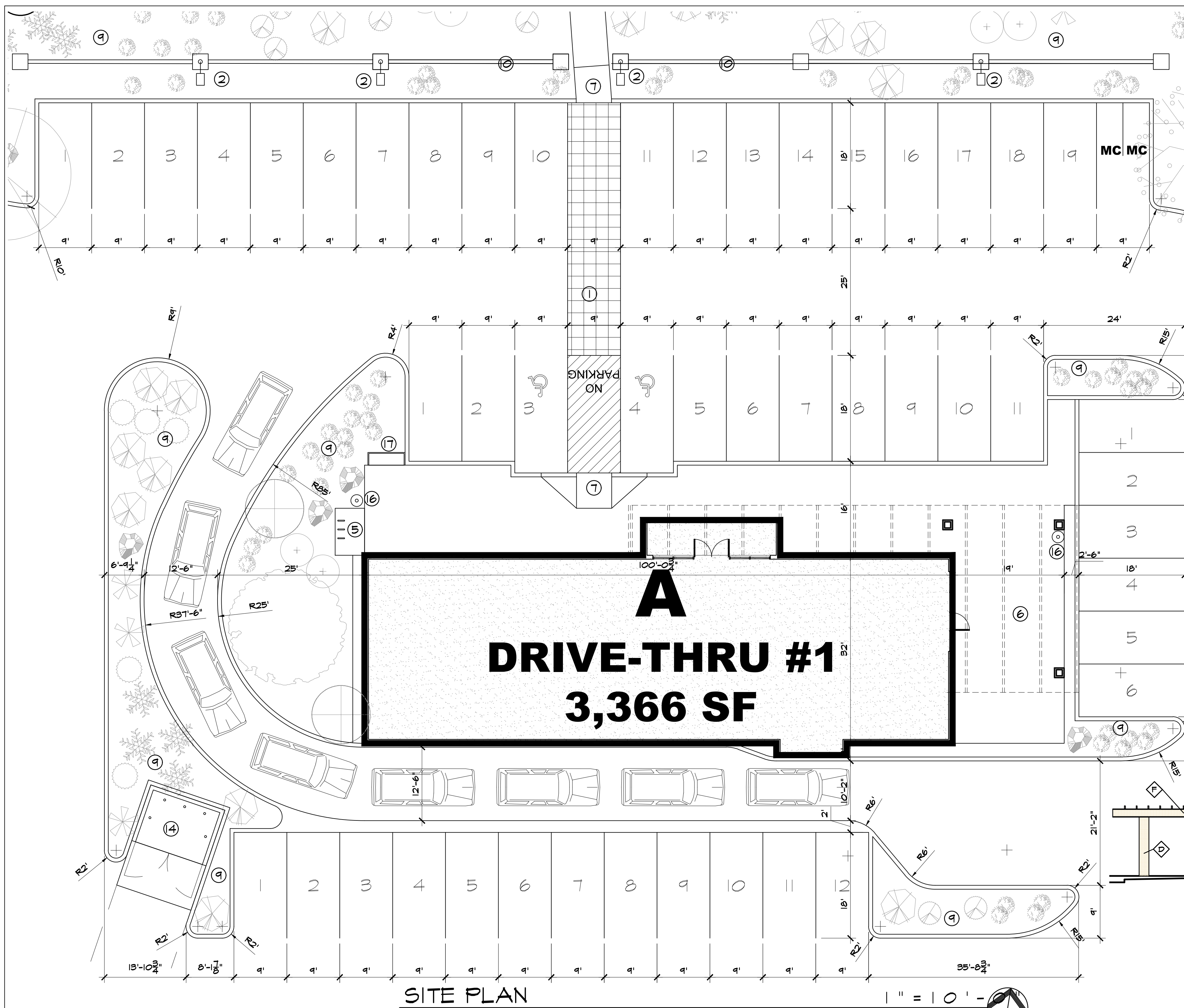
MERCADO EL MILAGRO
 NEW SITE PLAN
 10000 CENTRAL AVENUE SW
 ALBUQUERQUE, NEW MEXICO 87121

DATE:
 DRAWN BY:
 CHECKED BY:
 VERIFIED BY:

REVISIONS

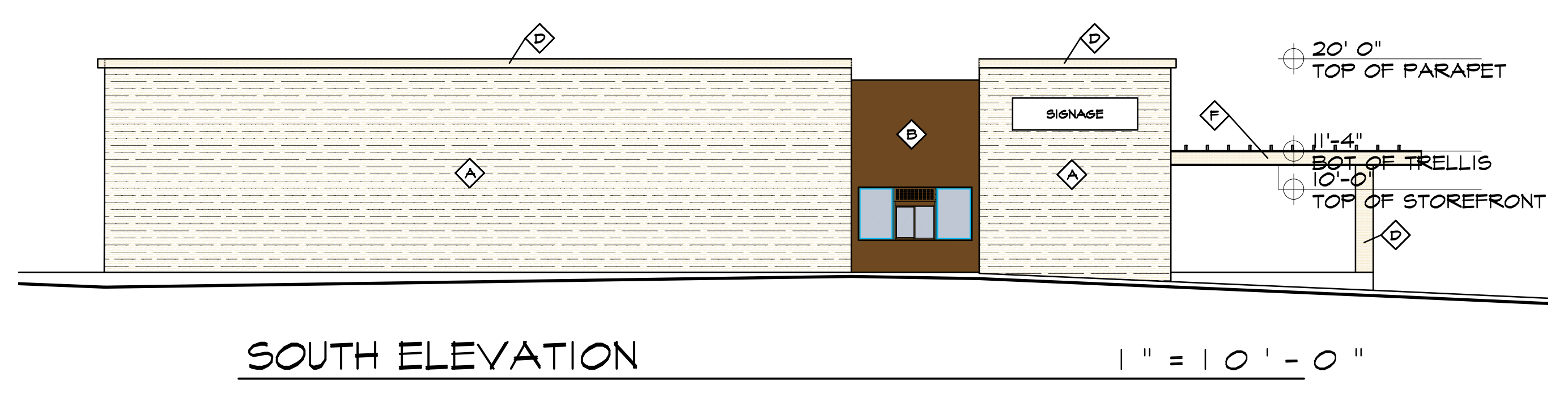
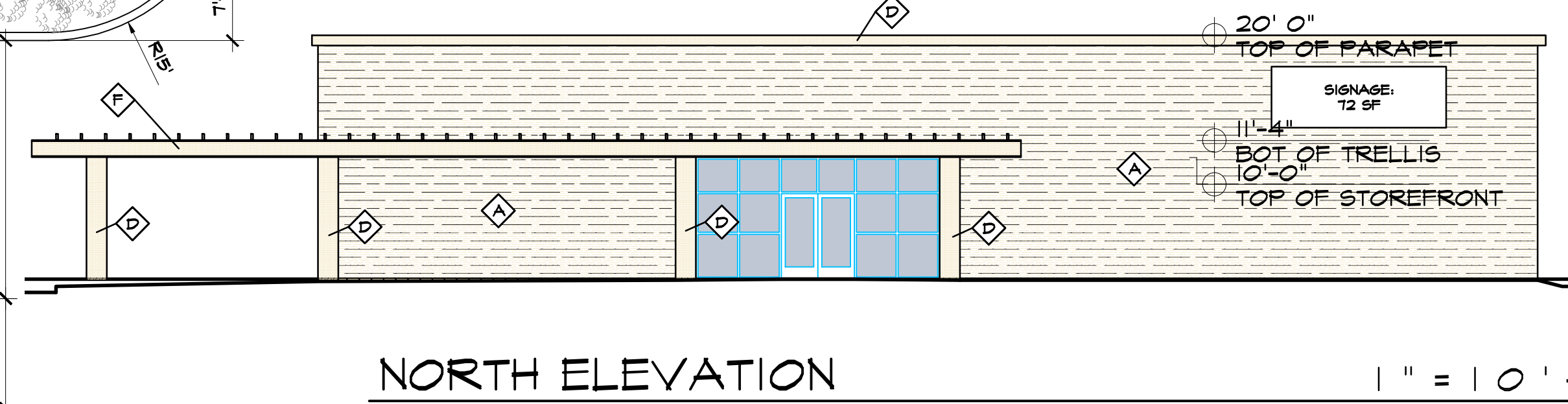
SHEET NO:
CU-101
 7 OF 14

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KEYED COLOR / MATERIAL SCHEDULE

Ⓐ	STONE	WHITE STONE
Ⓑ	STUCCO	BROWN
Ⓒ	STUCCO	DARK GREY
Ⓓ	STUCCO	WHITE
Ⓔ	STOREFRONT	CLEAR ANODIZED ALUMINUM (SILVER COLOR)
Ⓕ	METAL TRELLIS	WHITE



KEYED NOTES

- ① 8" INTEGRALLY COLORED, RAISED, AND TEXTURED CONCRETE PEDESTRIAN CROSSWALK (RAISED TO TWO INCHES WHERE ALLOWED BY GRADES)
- ② PROPOSED LIGHT POLE LOCATION RE: 8/A1.3 FOR POLE DETAIL
- ③ EXISTING 6' SIDEWALK
- ④ EXISTING ASPHALT BIKE PATH / SIDEWALK
- ⑤ INDICATES BIKE RACK LOCATION (SEE A2.1 FOR BIKE CAPACITY REQ)
- ⑥ OUTDOOR DINING/SEATING AREA (RE: LOCATION FOR SIZE)
- ⑦ HANDICAP RAMP PER COA DWG @2441
- ⑧ INDICATES NEW 6' HIGH (MIN) CMU (HEIGHT TO BE FIELD VERIFIED) SCREEN WALL FROM ADJACENT COMMERCIAL DEVELOPMENT SEE CIVIL DRAWINGS FOR RETAINING WALL CONDITION SHALL BE SPLIT FACE CMU TO MATCH OTHER SCREEN WALLS
- ⑨ LANDSCAPE AREA
- ⑩ PROPOSED 3'-0" HIGH 8" INTEGRALLY COLORED SPLIT-FACED CMU BLOCK SCREEN WALL (TAN/RED COLOR) RE: 9/A1.3 FOR DETAIL
- ⑪ INDICATES PROPOSED FIRE HYDRANT LOCATION RE: UTILITY PLAN FOR INFO
- ⑫ INDICATES PROPOSED 4'-6" X 10' MOTORCYCLE PARKING STALL LOCATION - RE: SITE PLAN FOR LOCATIONS
- ⑬ INDICATES MONUMENT SIGN - SEE 1/A1.2
- ⑭ INDICATES DUMPSTER LOCATION RE: DETAIL 2#3/A1.3 -INCLUDING SANITARY DRAIN FOR FOOD SERVICES NOTE: ENCLOSURE SHALL MATCH SCREEN WALL SPLIT FACE CMU
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MARTIN FM GRUMMER ARCHITECT
 331 WELLESLEY PLACE NE
 ALBUQUERQUE, NEW MEXICO 87106
 (505) 265-2207

PETERSON PROPERTIES

MERCADO EL MILAGRO
 NEW SITE PLAN
 10000 CENTRAL AVENUE SW
 ALBUQUERQUE, NEW MEXICO 87121

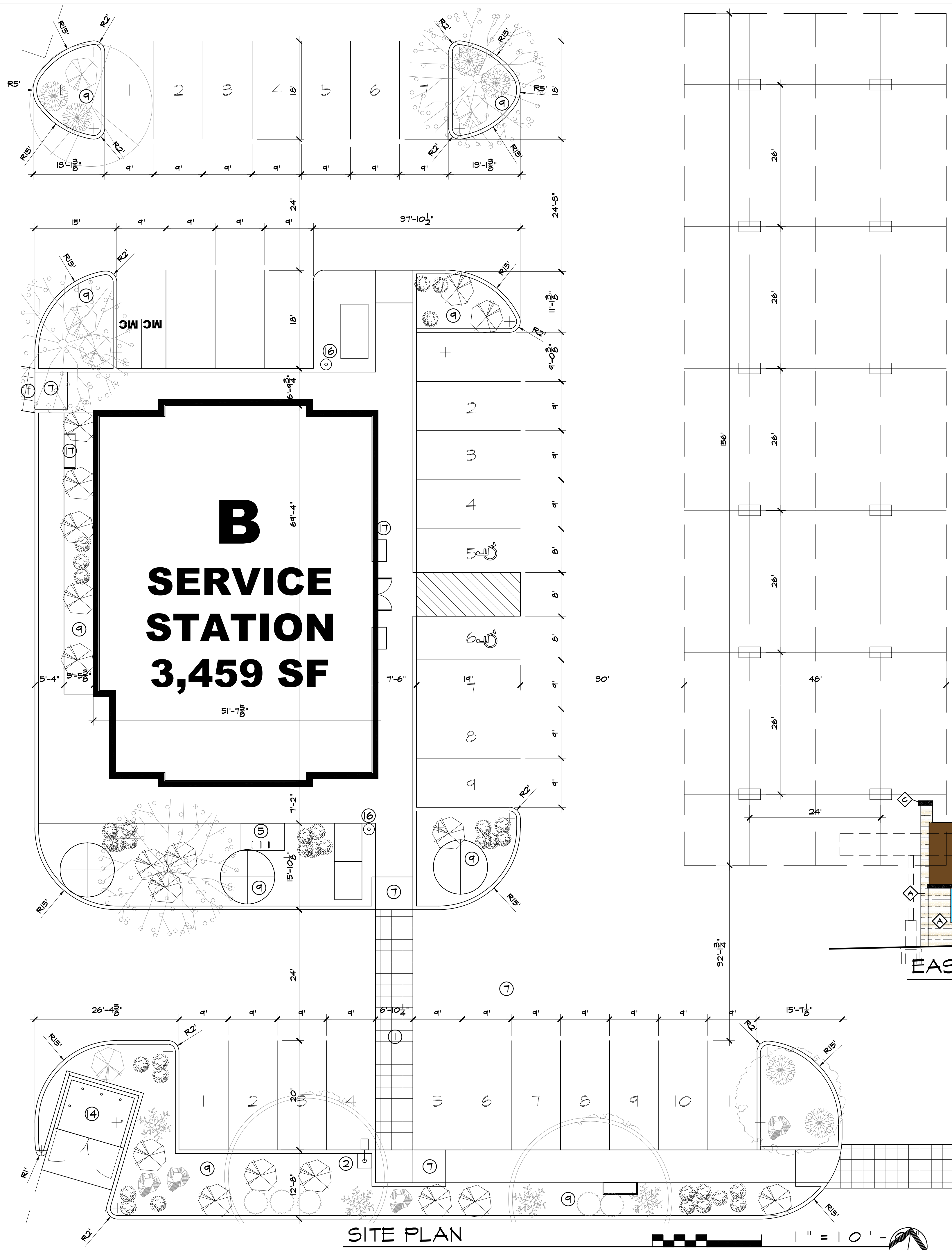
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DATE: 28 JUNE 2019
 DRAWN BY: MFMG
 CHECKED BY:
 VERIFIED BY:

REVISIONS

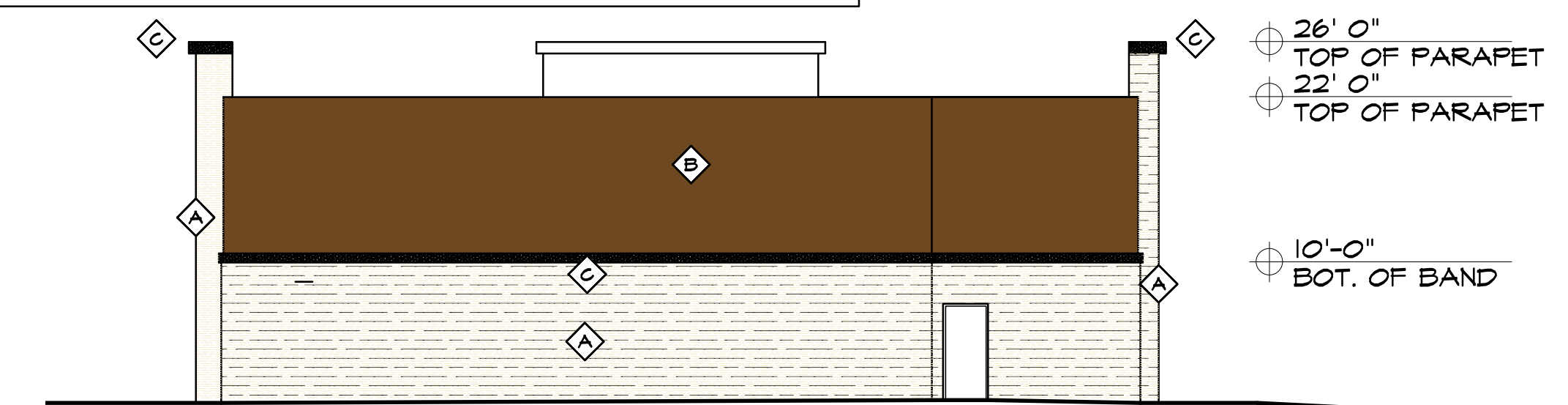
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A2.1
 8 OF 14

SIGNAGE NOT TO EXCEED 15% OF FACADE

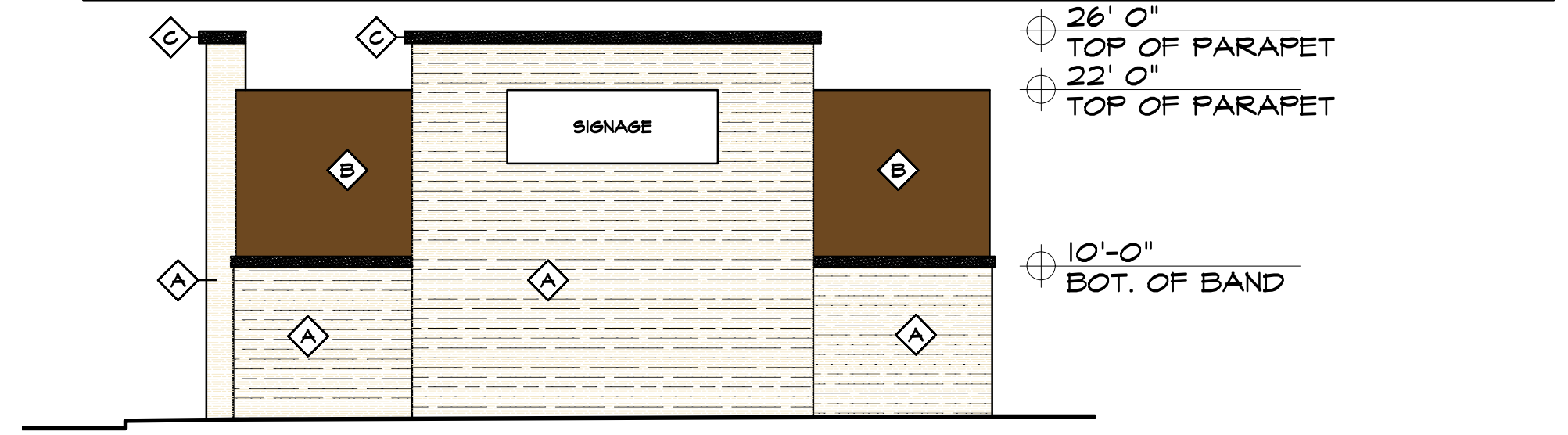


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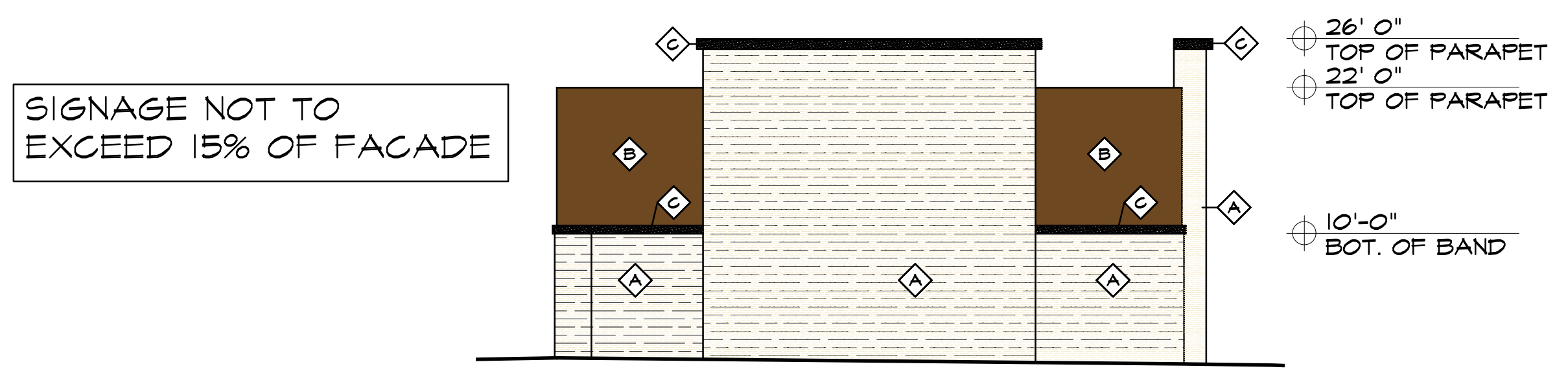
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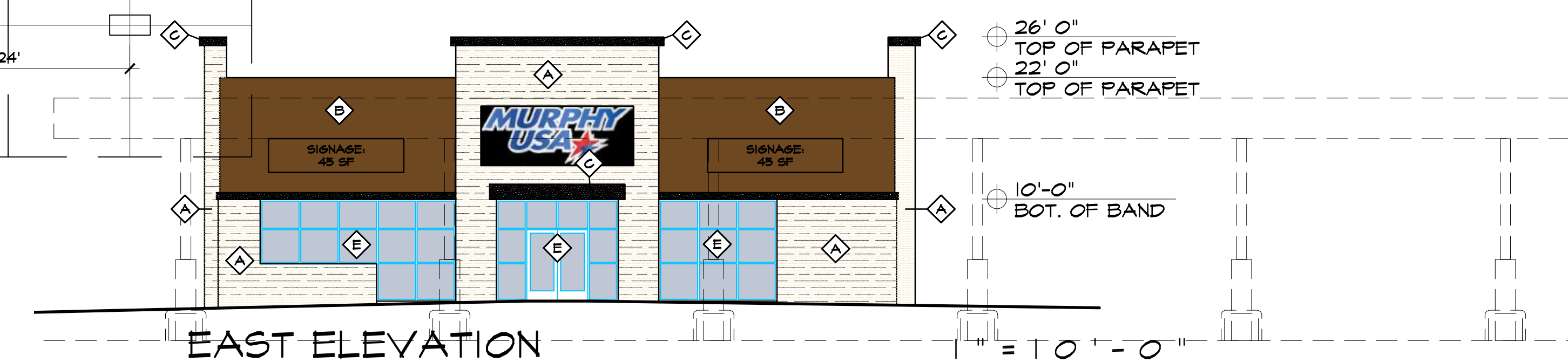
WEST ELEVATION 1" = 10' - 0"



NORTH ELEVATION 1" = 10' - 0"



SOUTH ELEVATION 1" = 10' - 0"

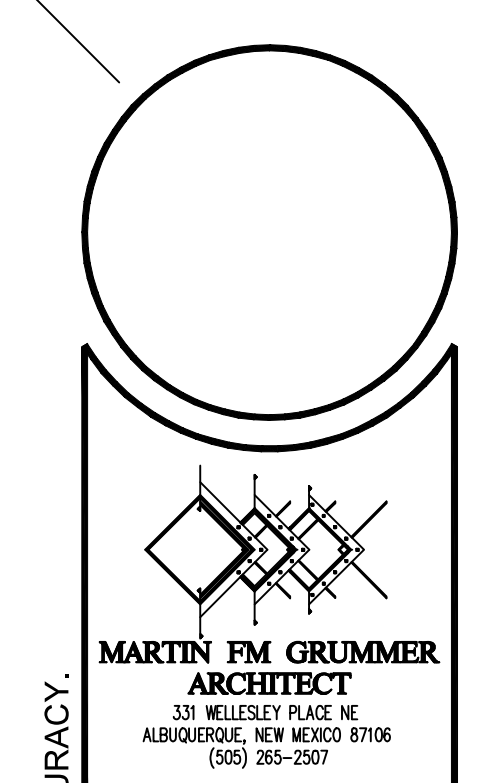


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MERCADO EL MILAGRO
NEW SITE PLAN
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ALBUQUERQUE, NEW MEXICO 87121

BLDG B

DATE: 28 JUNE 2019
DRAWN BY: MFMG
CHECKED BY:
VERIFIED BY:

REVISIONS

NO.	DESCRIPTION

SHEET NO:
A2.2
9 OF 14

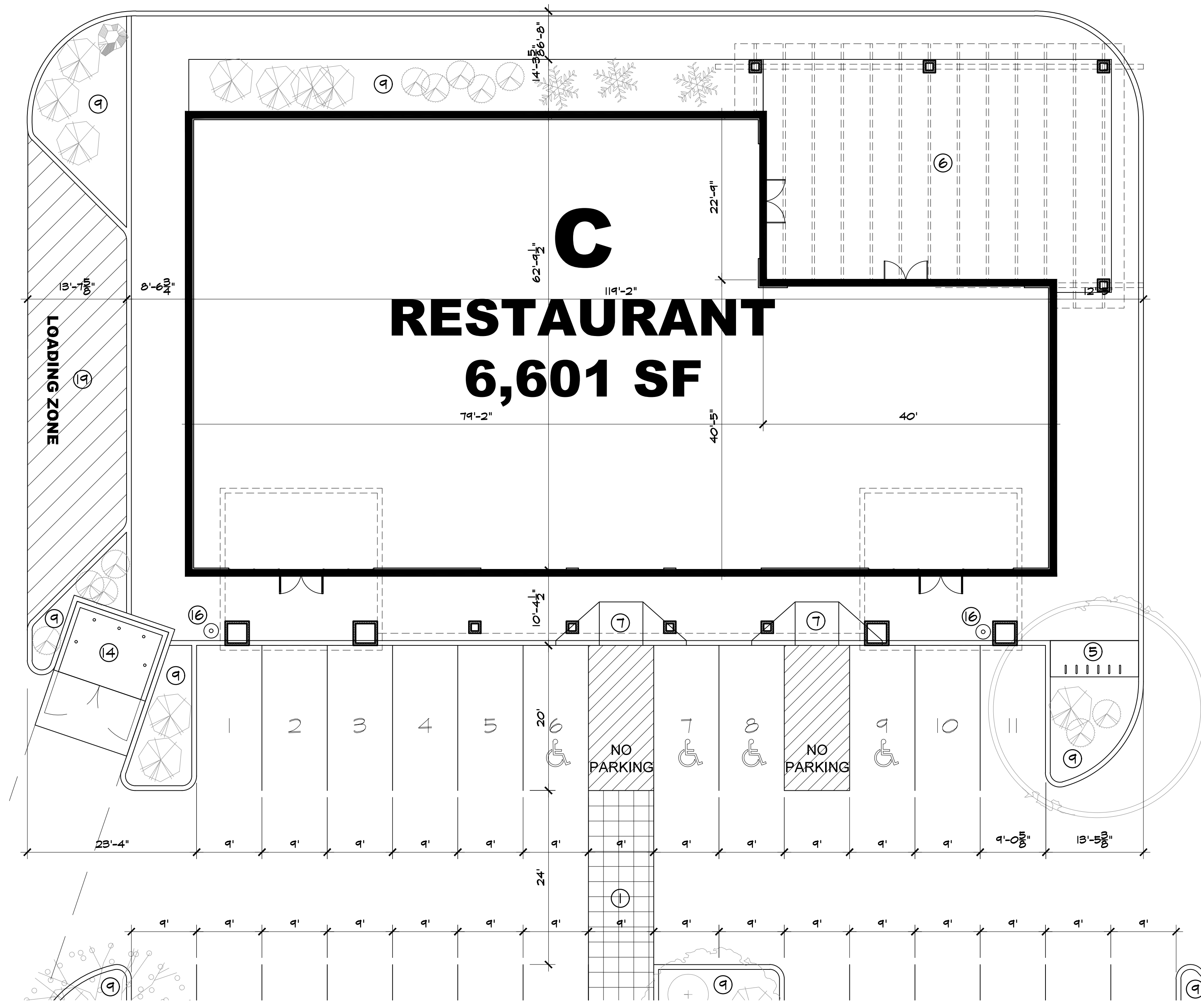
FLOOR PLAN & ELEVATIONS

KEYED NOTES

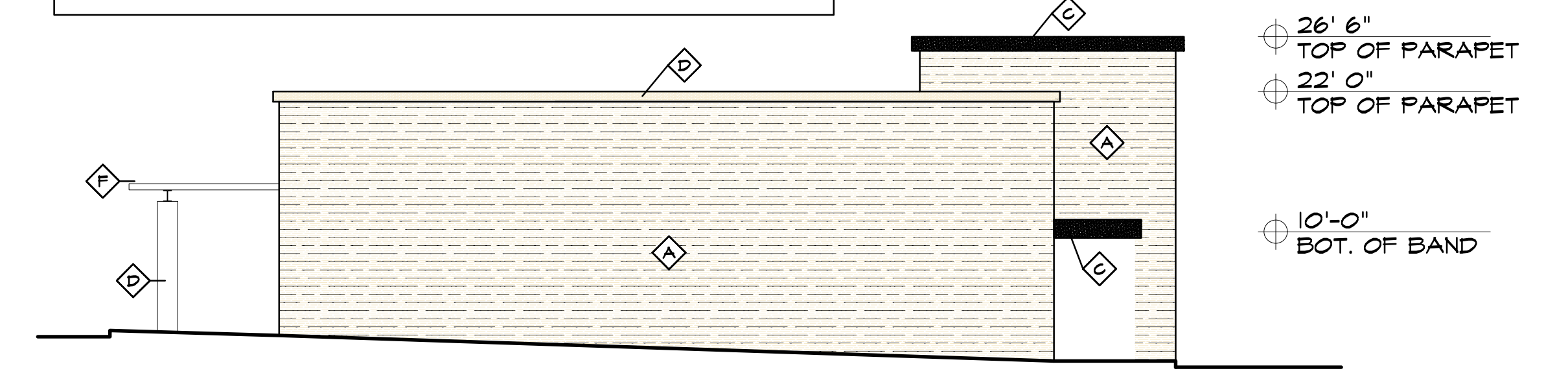
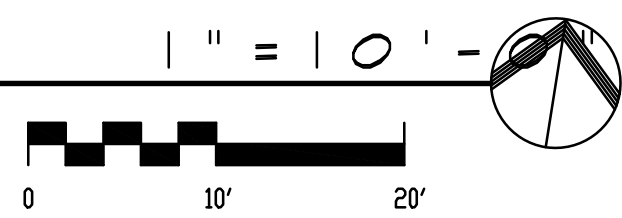
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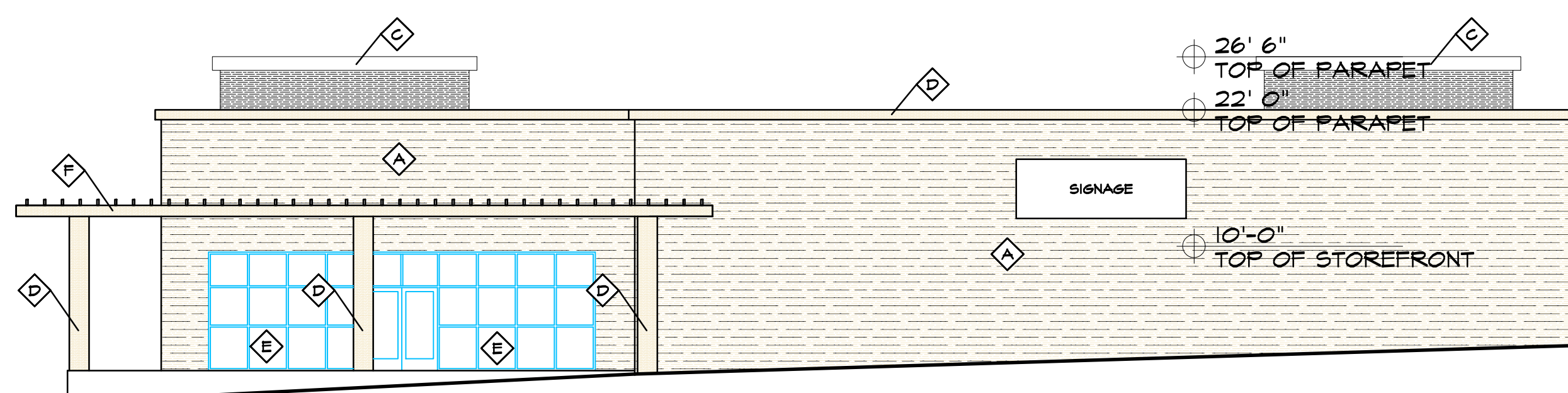


SITE PLAN



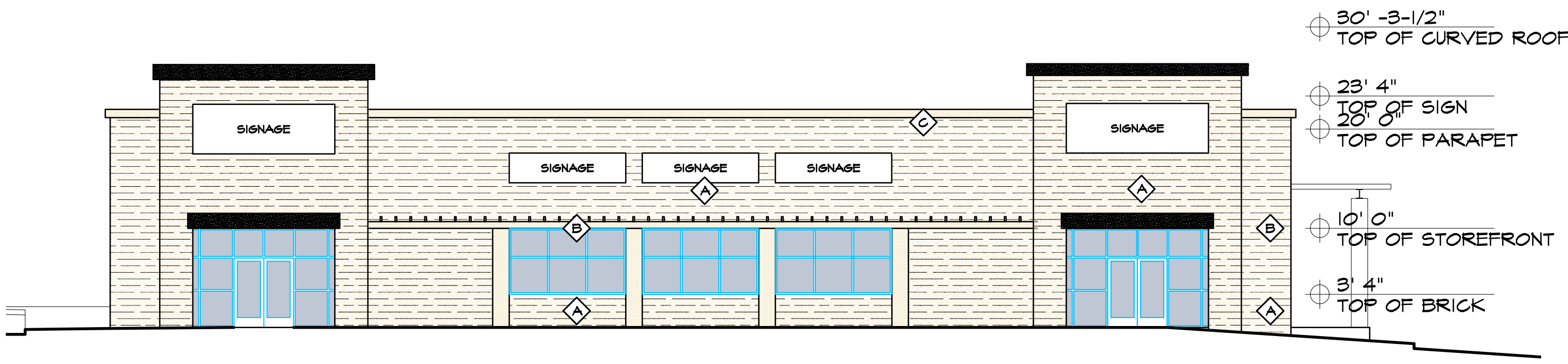
WEST ELEVATION

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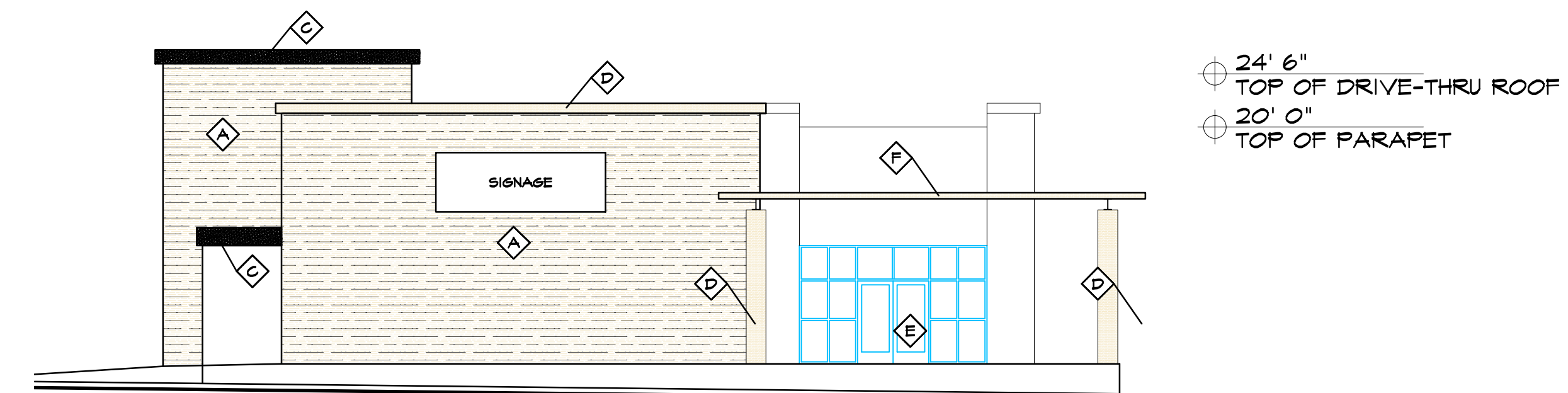
NORTH ELEVATION

1" = 10' - 0"



SOUTH ELEVATION

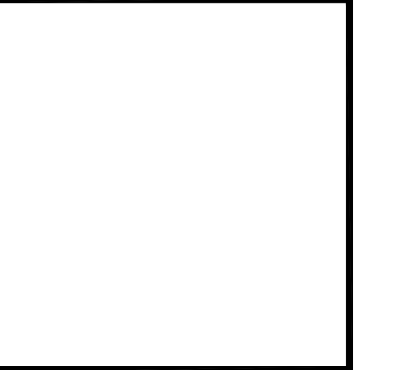
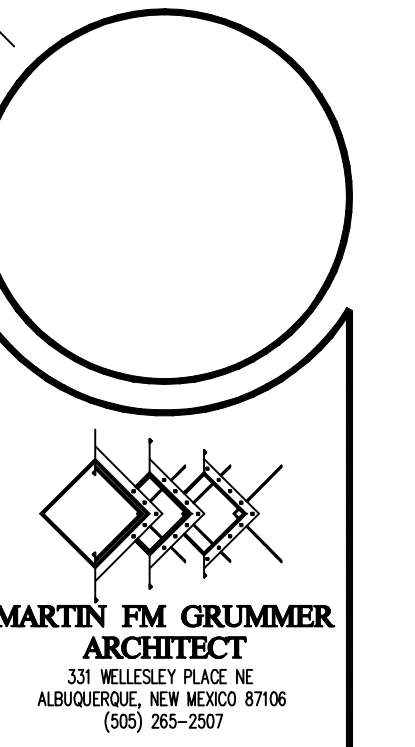
1" = 10' - 0"



EAST ELEVATION

1" = 10' - 0"

SIGNAGE NOT TO EXCEED 15% OF FACADE



MERCADO EL MILAGRO
NEW SITE PLAN
10000 CENTRAL AVENUE SW
ALBUQUERQUE, NEW MEXICO 87121

FLOOR PLAN & ELEVATIONS

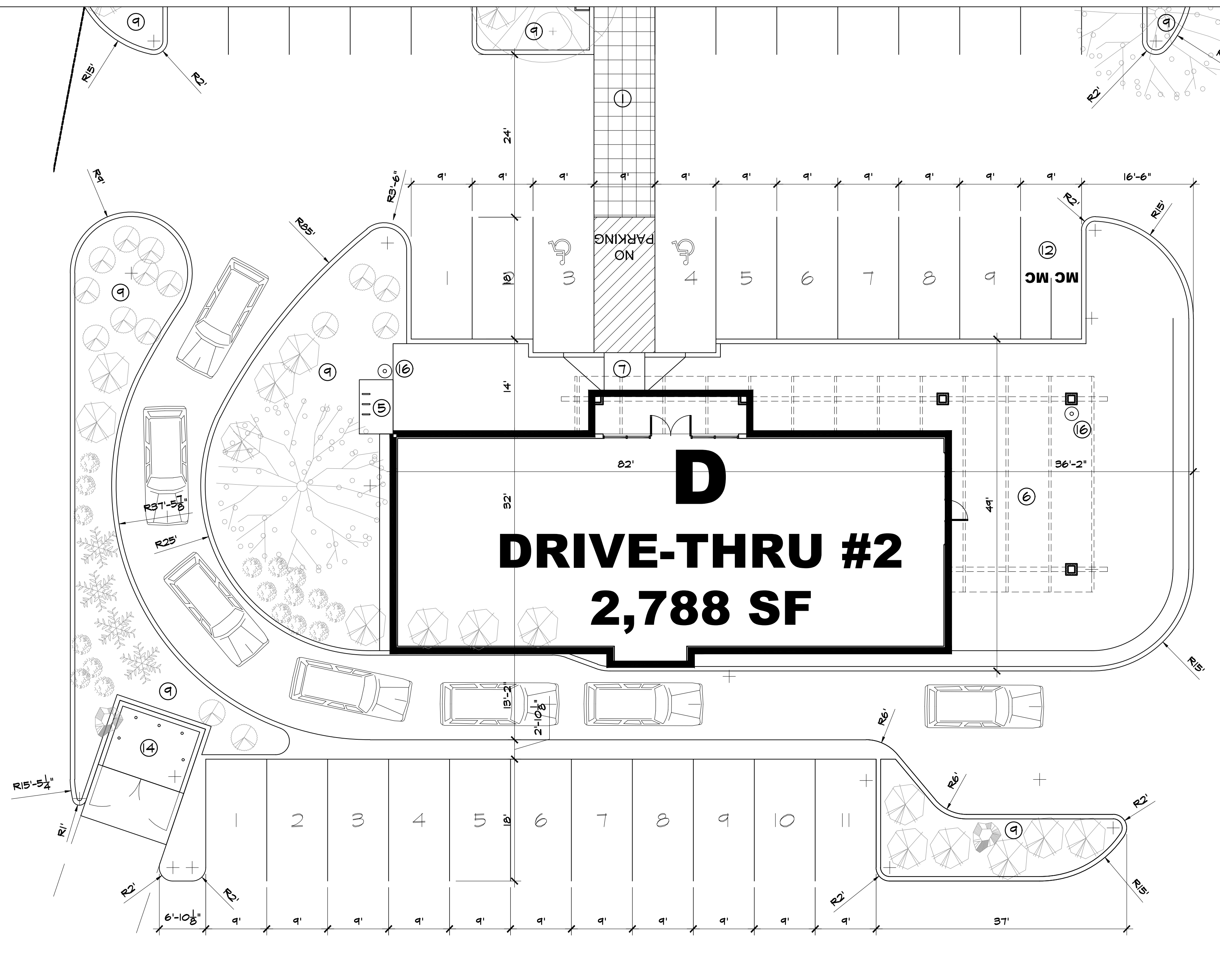
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A2.3
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ALL DIMENSIONS ARE TO BE FIELD VERIFIED. IF THERE ARE DISCREPANCIES, PLEASE NOTIFY THE ARCHITECT. DRAWINGS ARE NOT TO BE SCALED. USE DIMENSIONS FOR ACCURACY.



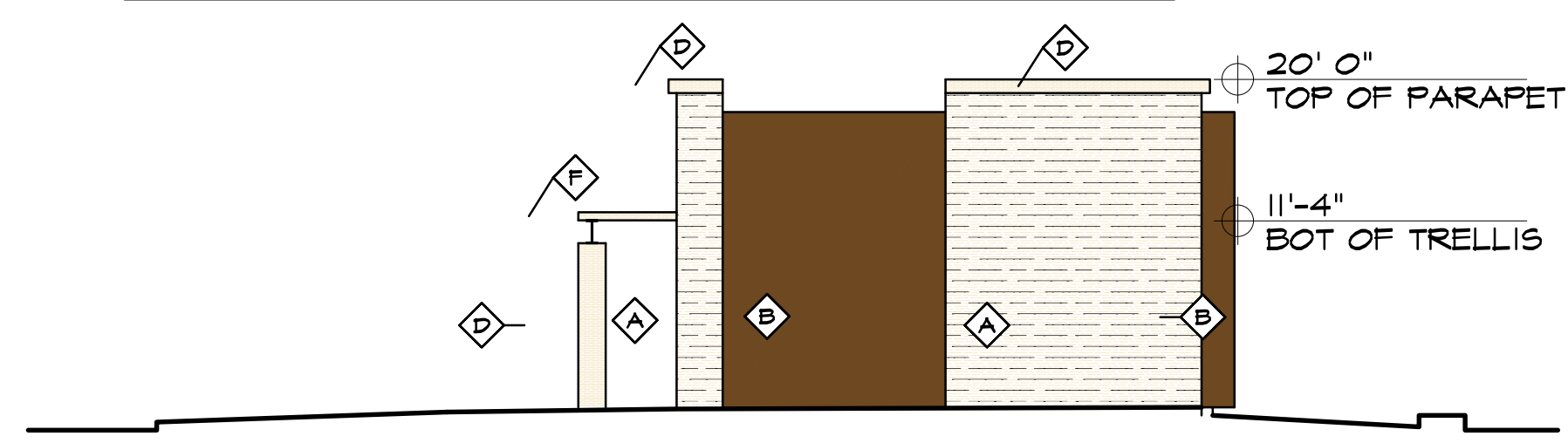
SITE PLAN
 1" = 10' - 0"
 0 10' 20'

KEYED NOTES

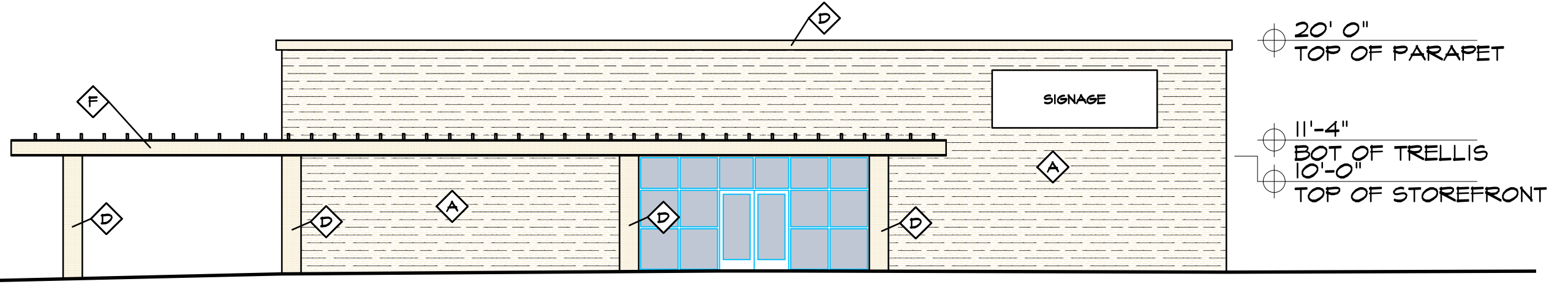
- ① 8" INTEGRALLY COLORED, RAISED, AND TEXTURED CONCRETE PEDESTRIAN CROSSWALK (RAISED TO TWO INCHES WHERE ALLOWED BY GRADES)
- ② PROPOSED LIGHT POLE LOCATION RE: 8/A1.3 FOR POLE DETAIL
- ③ EXISTING 6' SIDEWALK
- ④ EXISTING ASPHALT BIKE PATH / SIDEWALK
- ⑤ INDICATES BIKE RACK LOCATION (SEE A2.1 FOR BIKE CAPACITY REQ)
- ⑥ OUTDOOR DINING/SEATING AREA (RE: LOCATION FOR SIZE)
- ⑦ HANDICAP RAMP PER COA DWS @2441
- ⑧ INDICATES NEW 6' HIGH (MIN) CMU (HEIGHT TO BE FIELD VERIFIED) SCREEN WALL FROM ADJACENT COMMERCIAL DEVELOPMENT SEE CIVIL DRAWINGS FOR RETAINING WALL CONDITION SHALL BE SPLIT FACE CMU TO MATCH OTHER SCREEN WALLS
- ⑨ LANDSCAPE AREA
- ⑩ PROPOSED 3'-0" HIGH 8" INTEGRALLY COLORED SPLIT-FACED CMU BLOCK SCREEN WALL (TAN/RED COLOR) RE: 9/A1.3 FOR DETAIL
- ⑪ INDICATES PROPOSED FIRE HYDRANT LOCATION RE: UTILITY PLAN FOR INFO
- ⑫ INDICATES PROPOSED 4'-6" X 10' MOTORCYCLE PARKING STALL LOCATION - RE: SITE PLAN FOR LOCATIONS
- ⑬ INDICATES MONUMENT SIGN - SEE 1/A1.2
- ⑭ INDICATES DUMPSTER LOCATION RE: DETAIL 2#3/A1.3 -INCLUDING SANITARY DRAIN FOR FOOD SERVICES NOTE: ENCLOSURE SHALL MATCH SCREEN WALL SPLIT FACE CMU
- ⑮ INDICATES DUMPSTER LOCATION W/ RECYCLE - INCLUDING SANITARY DRAIN FOR FOOD SERVICES NOTE: ENCLOSURE SHALL MATCH SCREEN WALL SPLIT FACE CMU
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- ⑰ INDICATES LOCATION OF BENCH
- ⑱ LOADING DOCK
- ⑲ LOADING AREA

KEYED COLOR / MATERIAL SCHEDULE

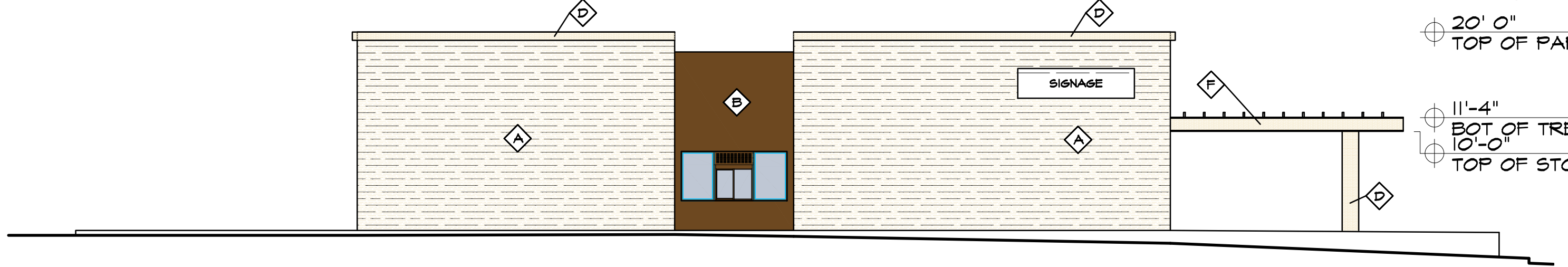
◆	STONE	WHITE STONE
◆	STUCCO	BROWN
◆	STUCCO	DARK GREY
◆	STUCCO	WHITE
◆	STOREFRONT	CLEAR ANODIZED ALUMINUM (SILVER COLOR)
◆	METAL TRELLIS	WHITE



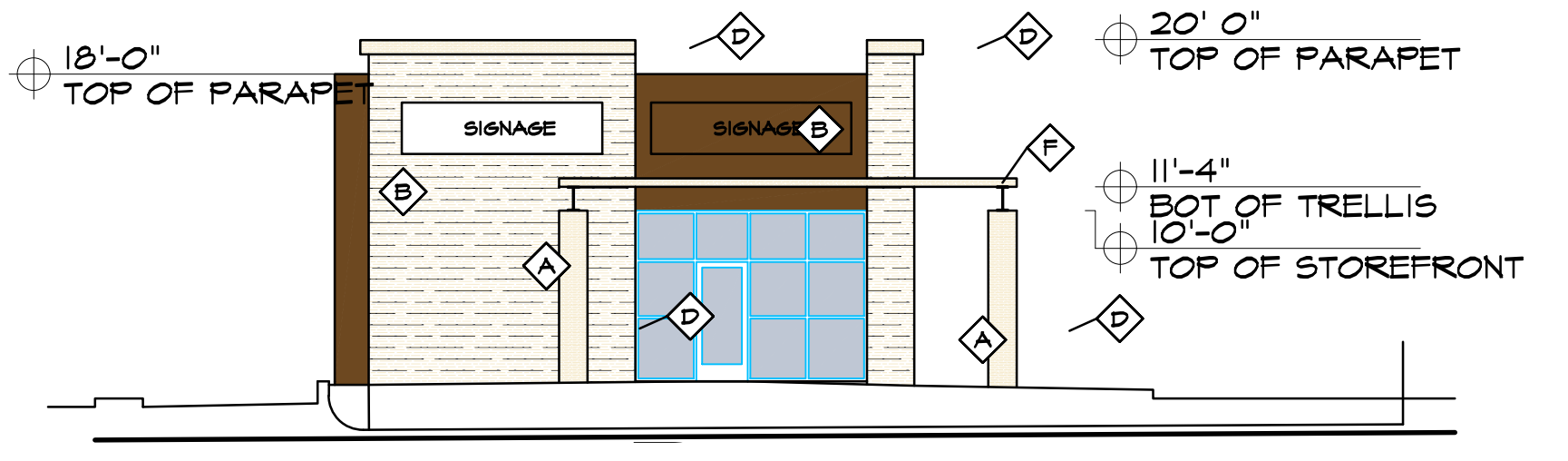
WEST ELEVATION
 1" = 10' - 0"



NORTH ELEVATION
 1" = 10' - 0"



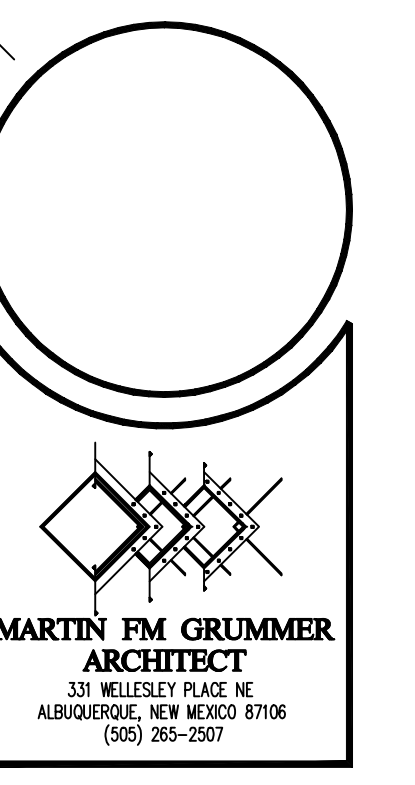
SOUTH ELEVATION
 1" = 10' - 0"



EAST ELEVATION
 1" = 10' - 0"

SIGNAGE NOT TO EXCEED 15% OF FACADE

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 NEW SITE PLAN
 10000 CENTRAL AVENUE SW
 ALBUQUERQUE, NEW MEXICO 87121

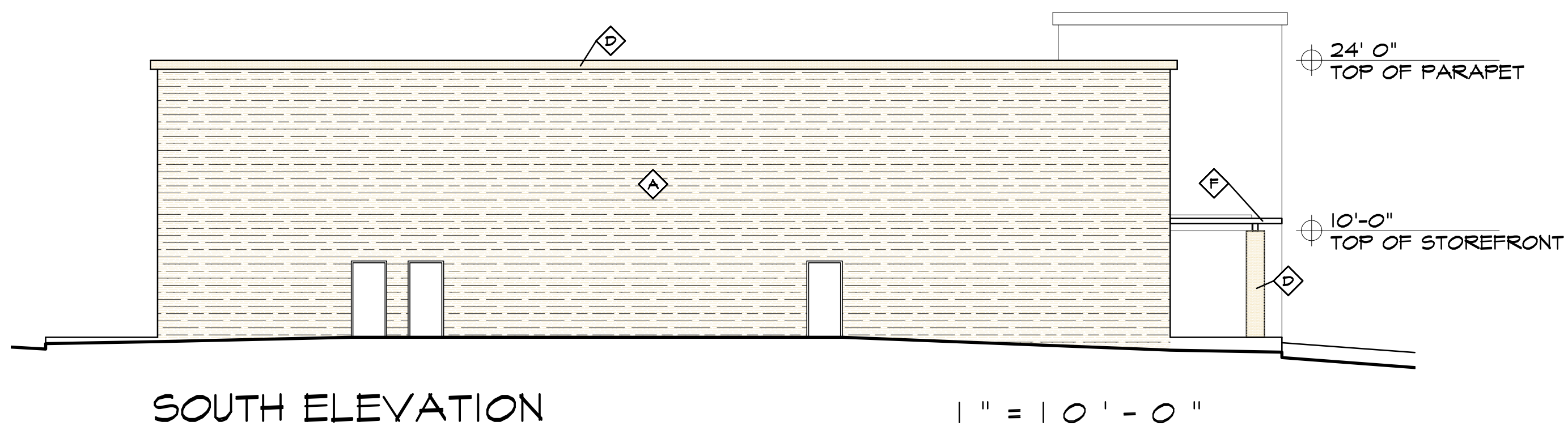
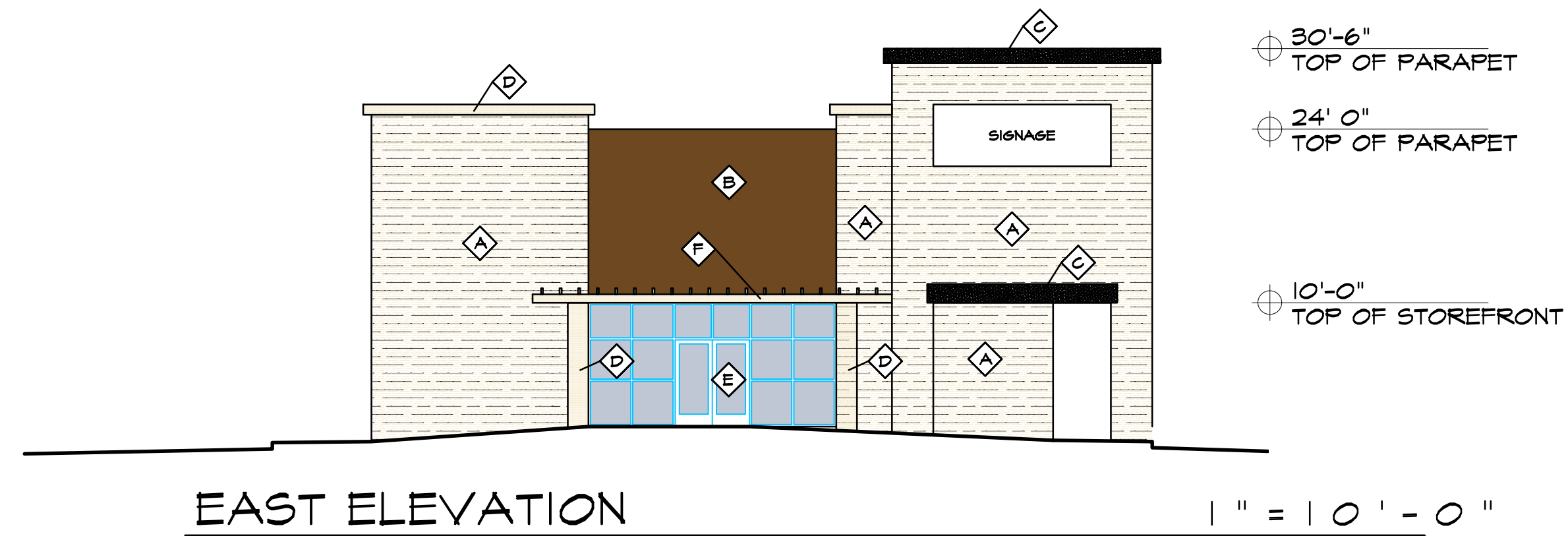
FLOOR PLAN & ELEVATIONS

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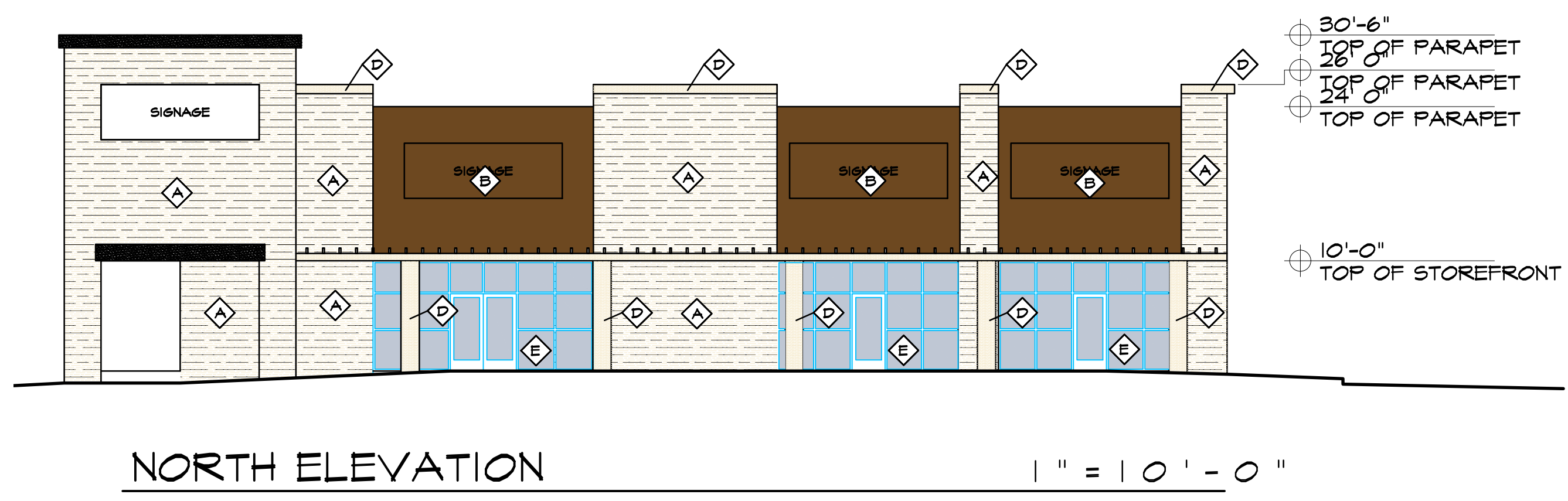
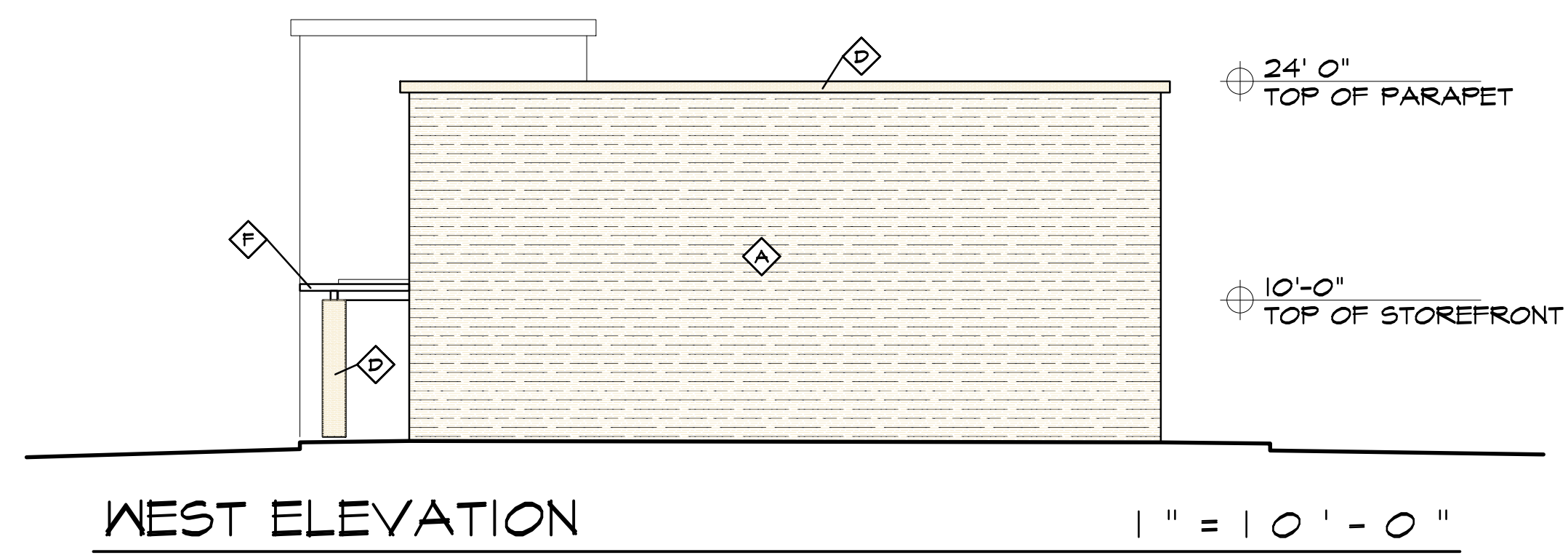
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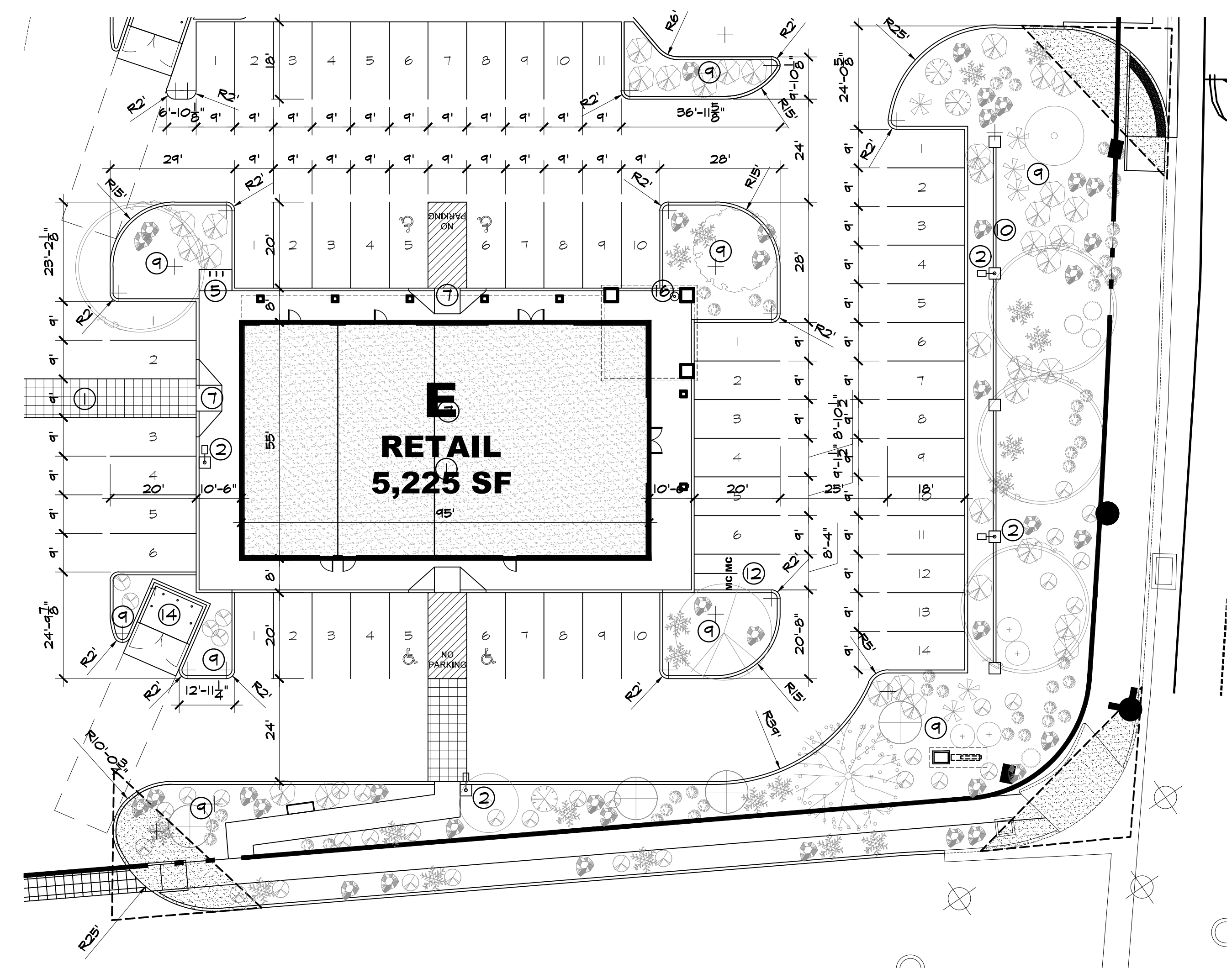
KEYED COLOR / MATERIAL SCHEDULE

◆	STONE	WHITE STONE
◆	STUCCO	BROWN
◆	STUCCO	DARK GREY
◆	STUCCO	WHITE
◆	STOREFRONT	CLEAR ANODIZED ALUMINUM (SILVER COLOR)
◆	METAL TRELLIS	WHITE



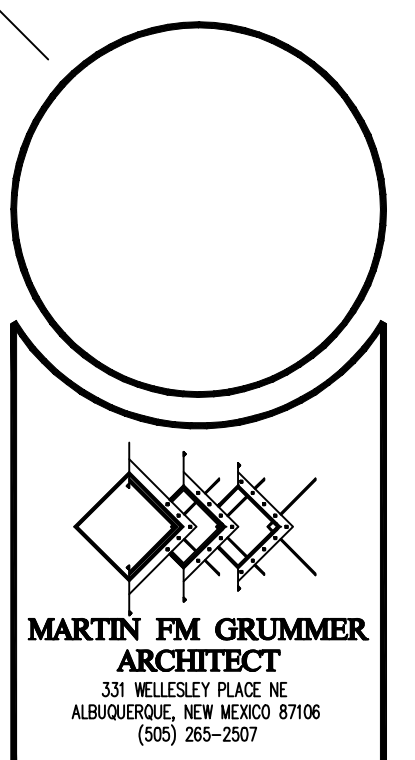
KEYED NOTES

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- ② PROPOSED LIGHT POLE LOCATION RE: 8/A1.3 FOR POLE DETAIL
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- ⑬ INDICATES MONUMENT SIGN - SEE I/A1.2
- ⑭ INDICATES DUMPSTER LOCATION RE: DETAIL 2#3/A1.3 -INCLUDING SANITARY DRAIN FOR FOOD SERVICES NOTE: ENCLOSURE SHALL MATCH SCREEN WALL SPLIT FACE CMU REQ
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- ⑰ INDICATES LOCATION OF BENCH
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- ⑲ LOADING AREA



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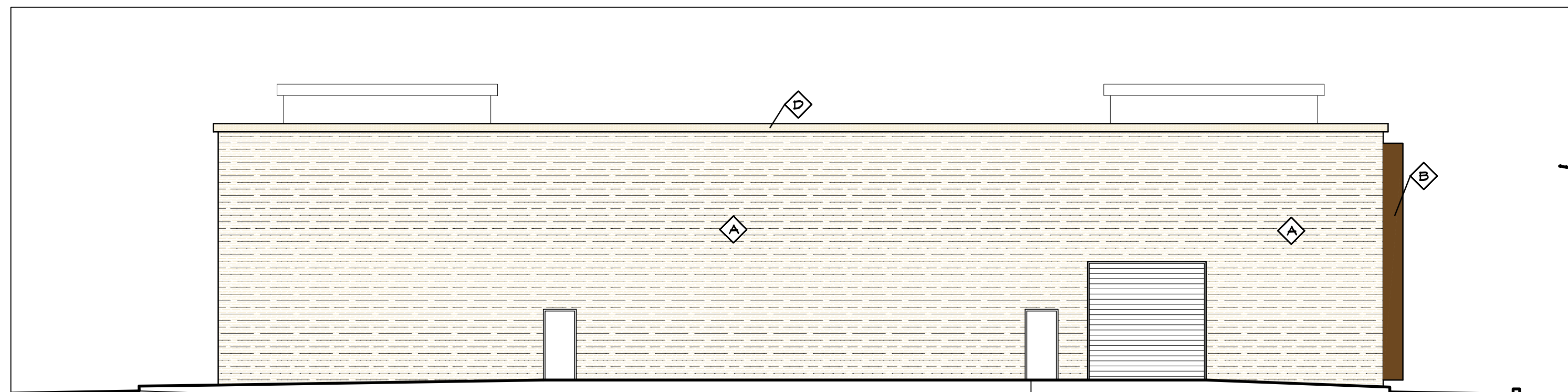
MERCADO EL MILAGRO
NEW SITE PLAN
10000 CENTRAL AVENUE SW
ALBUQUERQUE, NEW MEXICO 87121

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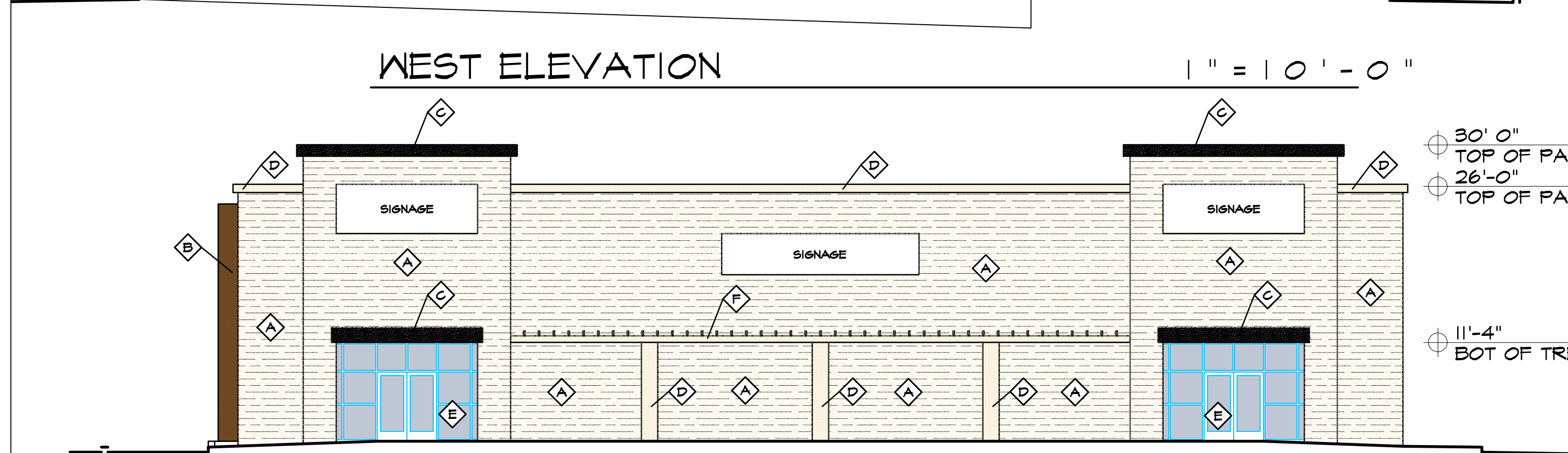
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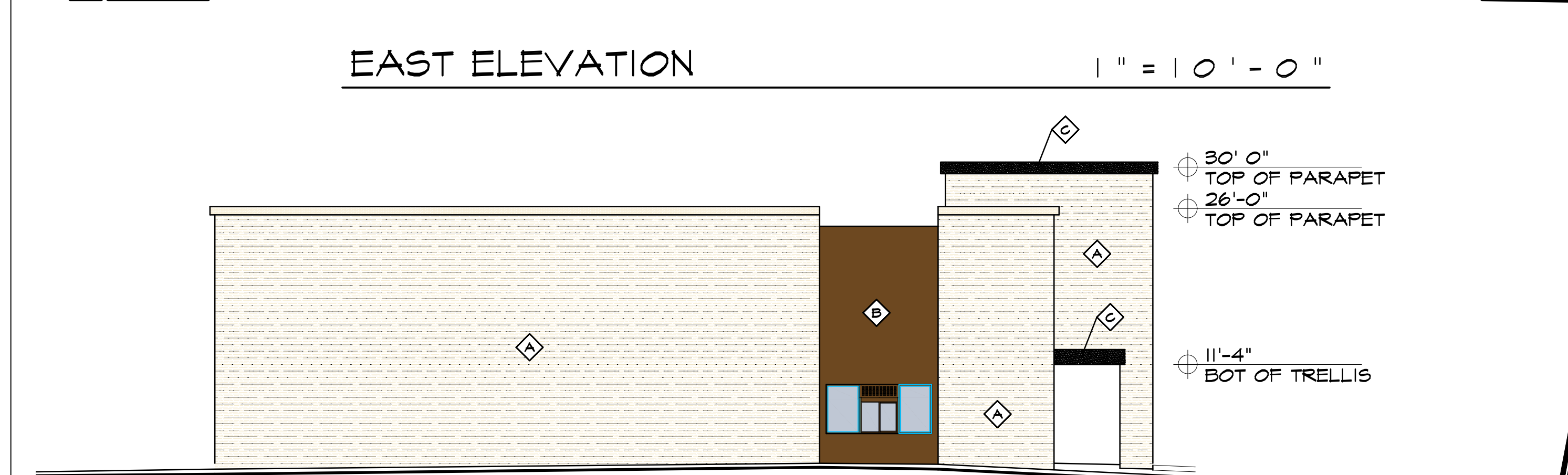
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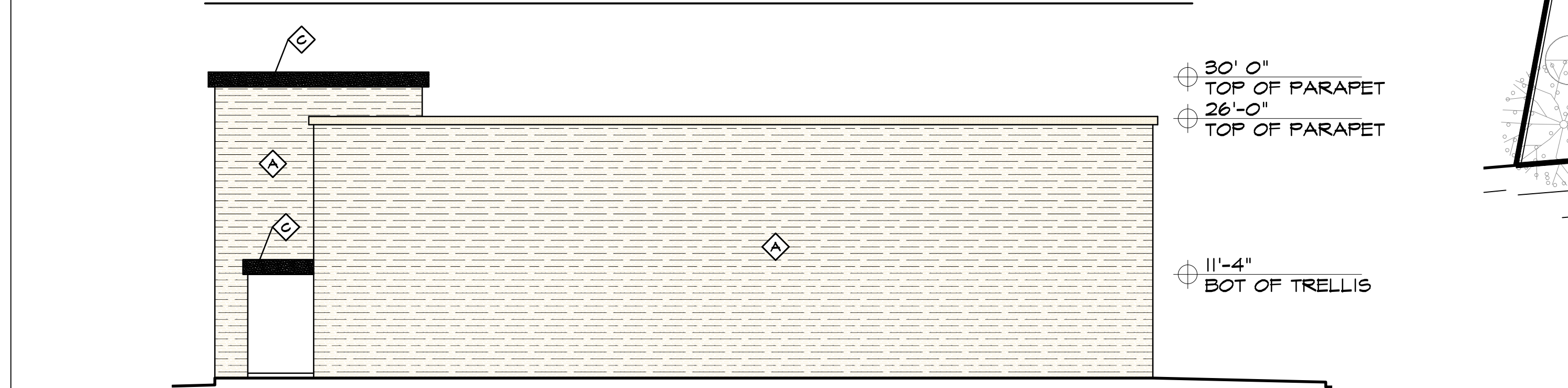
WEST ELEVATION 1" = 10'-0"



EAST ELEVATION 1" = 10'-0"



SOUTH ELEVATION 1" = 10'-0"

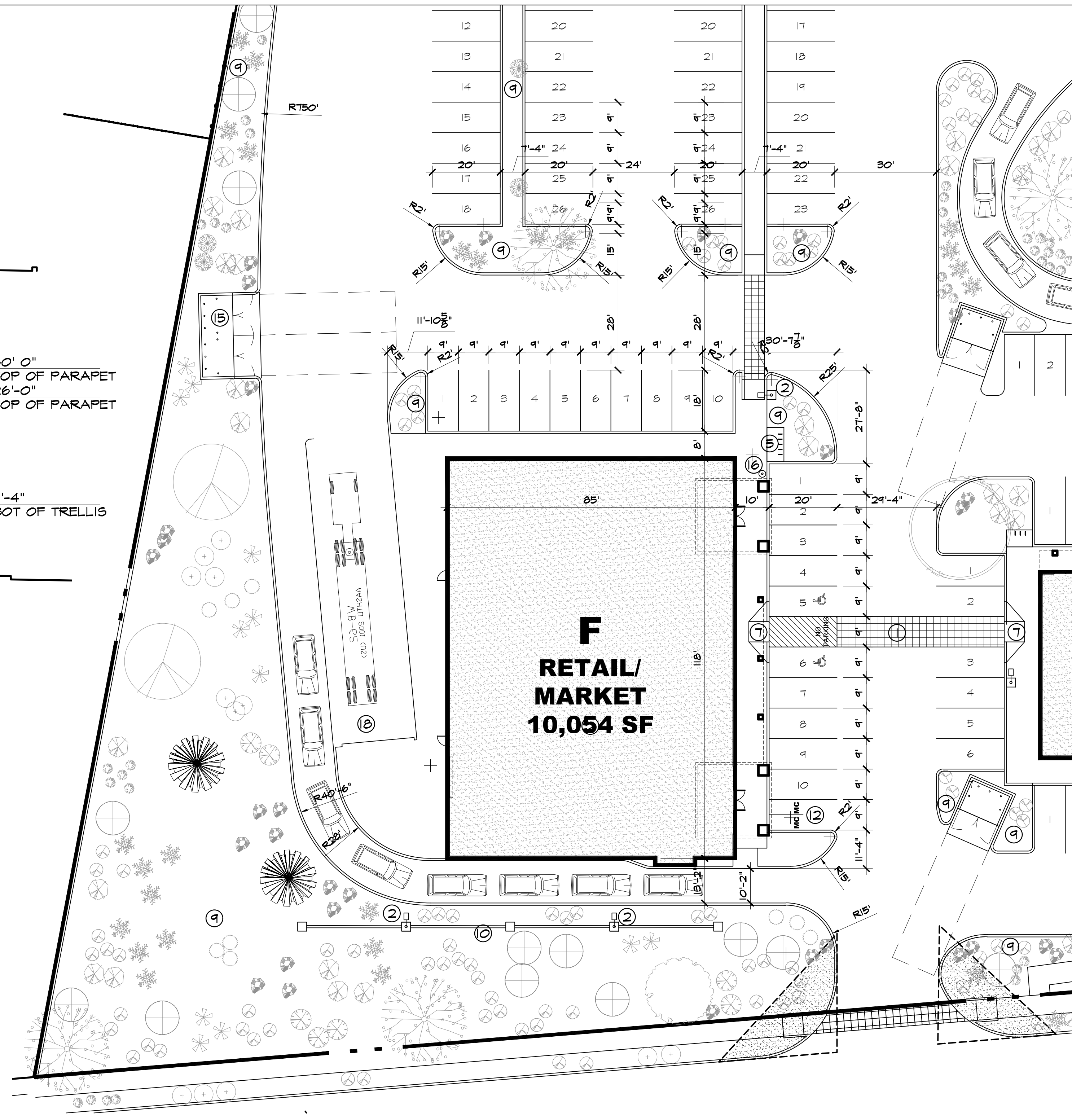


NORTH ELEVATION 1" = 10'-0"

KEYED COLOR / MATERIAL SCHEDULE

Ⓐ	STONE	WHITE STONE
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Ⓒ	STUCCO	DARK GREY
Ⓓ	STUCCO	WHITE
Ⓔ	STOREFRONT	CLEAR ANODIZED ALUMINUM (SILVER COLOR)
Ⓕ	METAL TRELLIS	WHITE

SIGNAGE NOT TO EXCEED 15% OF FACADE

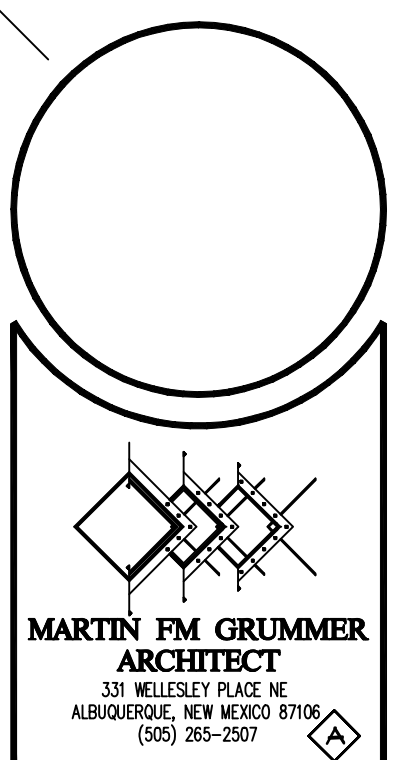


SITE PLAN 1" = 20'-0"

KEYED NOTES

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NEW SITE PLAN
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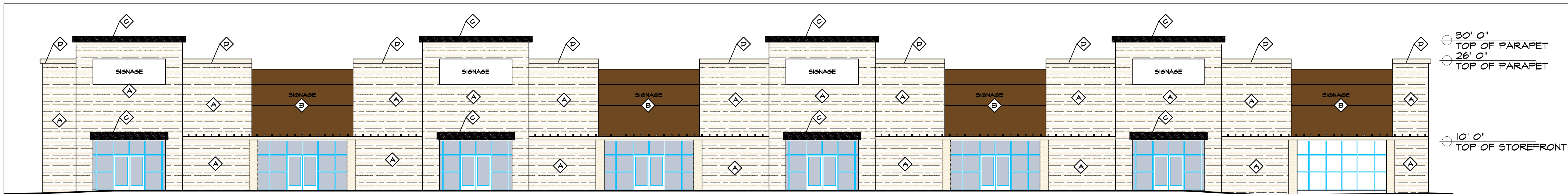
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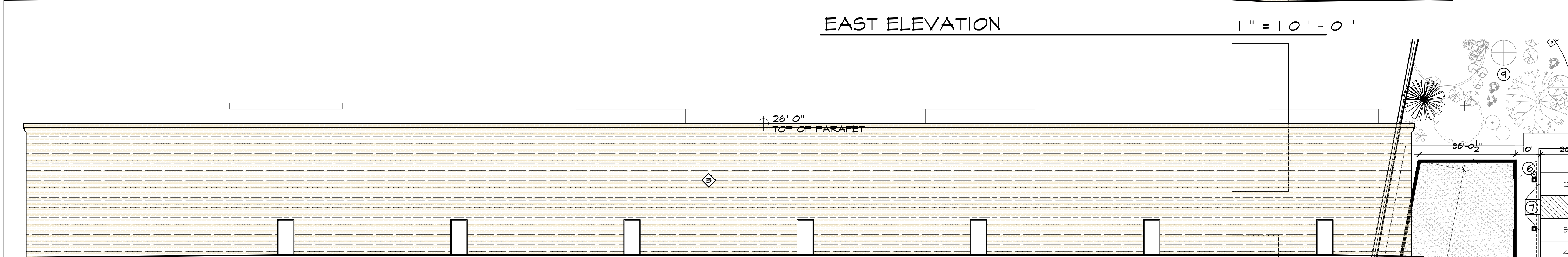
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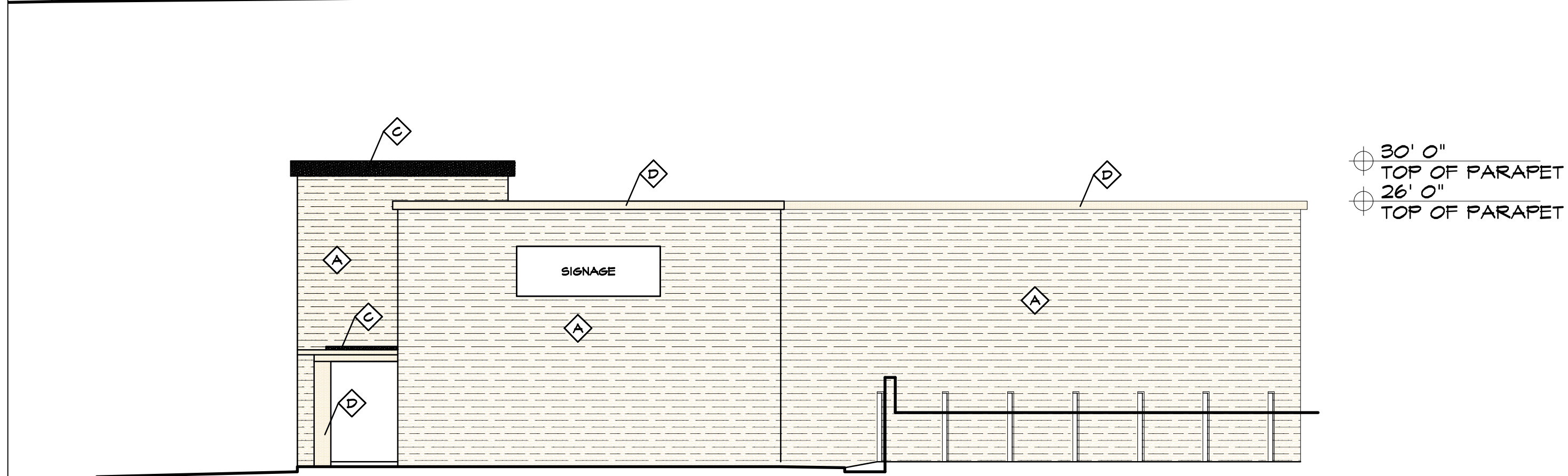
FLOOR PLAN & ELEVATIONS



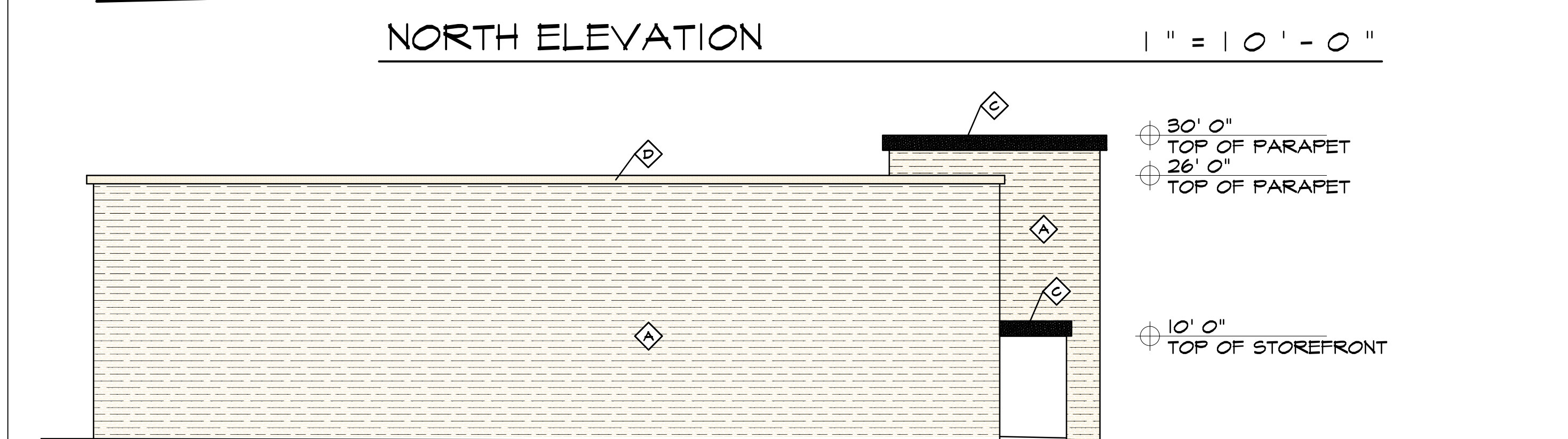
EAST ELEVATION



WEST ELEVATION



NORTH ELEVATION



SOUTH ELEVATION

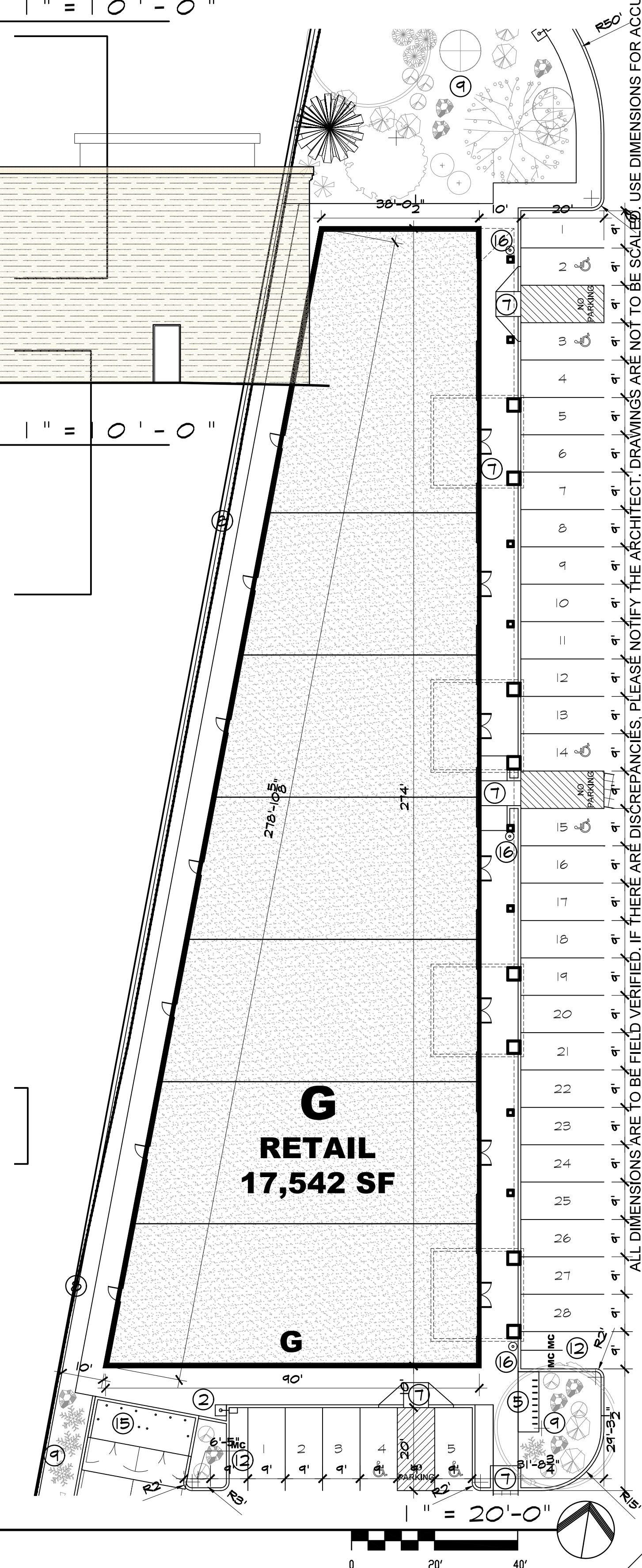
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◇	STUCCO	DARK GREY
◇	STUCCO	WHITE
◇	STOREFRONT	CLEAR ANODIZED ALUMINUM (SILVER COLOR)
◇	METAL TRELLIS	WHITE

SIGNAGE NOT TO EXCEED 15% OF FACADE



SITE PLAN

MARTIN FM GRUMMER ARCHITECT
331 WELLESLEY PLACE NE
ALBUQUERQUE, NEW MEXICO 87106
(505) 265-2207

PETERSON PROPERTIES

USE DIMENSIONS FOR ACCURACY. DRAWINGS ARE NOT TO BE SCALED.

MERCADO EL MILAGRO
NEW SITE PLAN
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