

August 26, 2019

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Doug Crewe
Isaacson & Arfman PA
128 Monroe St NE
Albuquerque, New Mexico 87108

**RE: Water and Sanitary Sewer Availability Statement #190701
Milagro Site Development
10000 Central Ave SW**

Dear Mr. Crewe:

Project Description: The subject site located on the southwest corner of Central avenue and 98th street, within the City of Albuquerque. The proposed development consists of approximately 8.86 acres and the property is currently zoned NR-C for commercial use. The property lies within the Pressure Zone 2W in the Atrisco trunk. The request for availability indicates plans to develop the vacant site.

Existing Conditions: Water infrastructure in the area consists of the following:

- 12 inch PVC transmission main (project #09-169-55) along Central Avenue
- Eight inch distribution main (project #03-28-60) along 98th Street
- 24 inch concrete cylinder transmission main (project #26-3377-89) 98th Street
- Six inch PVC distribution main (project #26-2856-87) along Sunset Gardens Street
- Eight inch PVC distribution main (project #26-6451.81-01) along Sunset Gardens Road

Sanitary sewer infrastructure in the area consists of the following:

- Eight inch concrete pipe collector line (project #07-003-60) along Central Avenue
- Eight inch PVC collector line (project # 26-4188.91-03) along 98th Street
- Eight inch PVC collector line (project #26-4188.91-03) along Sunset Gardens Road

Water Service: New metered water service to the property can be provided via routine connection to the existing line along Sunset Gardens. Per the preliminary building permit utility plan, Isaacson & Arfman designed a second line which connected to the transmission main along Central Avenue. However, Albuquerque Bernalillo County Water Utility Authority prohibits connections to transmission lines.

Existing metered service and fire lines that will not be utilized are to be removed by shutting the valve near the distribution main and capping the line near the valve. For fire lines, the valve access shall be grouted and collar removed. Service is also contingent upon compliance with the Fire Marshal's instantaneous fire flow requirements. Water service will not be sold without adequate fire protection. Water service will only be sold in conjunction with sanitary sewer service. It is our

understanding from the developer that the two parcels will be consolidated with a new plat.

Sanitary Sewer Service: Sanitary sewer service can be provided via routine connection to the existing sanitary sewer line along Sunset Gardens Road. All food service establishments must install a grease trap upstream of the domestic private sewer connection prior to discharge into the public sanitary sewer lines.

Fire Protection: From the request for availability the instantaneous fire flow requirements for the project are 1,375 gallons-per-minute and three required fire hydrant. As modeled using InfoWater™ computer software, the fire flow can be met. The flow was taken at two points where the required fire flow was split up. One point was at fire hydrant 00024 with a flow of 725 gallons-per-minute. The second point was at a node at an intersection at Sunset Gardens and Sunrise Ranch with the remaining flow of 650 gallons-per-minute. Although the points were tested outside the subject site, the requestor intends to install three new hydrants inside the new development. One fireline will connect to a line in Sunset Gardens. If a second fireline is desired, it can be built by connecting it to the distribution main in 98th street. Any changes to the proposed connection points shall be coordinated through Utility Development. All new required hydrants as well as their exact locations must be determined through the City of Albuquerque Fire Marshal's Office and verified through the Utility Development Office prior to sale of service.

Engineer is responsible for determining pressure losses and sizing of the private water line(s) downstream of the public water line to serve the proposed fire hydrants and/or fire suppression system.

Cross Connection Prevention: Per the Cross Connection Ordinance, all new non-residential premises must have a reduced pressure principle backflow prevention assembly approved by the Water Authority and installed at each domestic service connection at a location accessible to the Water Authority. All new fire line services to fire protection systems shall be equipped with a reduced pressure principle backflow prevention assembly approved by the Water Authority and Fire Marshal having jurisdiction at each service connection. A double check valve assembly approved by the Water Authority and Fire Marshal having jurisdiction may be installed instead of a reduced pressure backflow prevention assembly provided the fire protection system contains ANSI/NSF Standard 60 or 61 water piping throughout the entire fire protection system, the fire sprinkler drain discharges into atmosphere, and there are no reservoirs, fire department connections, connections from auxiliary water supplies, antifreeze nor other additives. The Water Authority requests that all backflow (containment) devices be located above ground just outside the easement or roadway right-of-way. Contact Cross Connection at 289-3439 for more information.

Pretreatment: If the development is for industrial use, and if either of the following apply, then contact the Industrial Pretreatment Engineer at (505) 289-3439 or pretreatment@abcwua.org:

- 1) The industry falls under one or more EPA categories found in Title 40 Code of Federal Regulations Parts 400-699, or
- 2) The industry plans to discharge more than 25,000 gallons of wastewater per day.

Easements: Exclusive public water and sanitary sewer easements are required for all public lines that are to be constructed outside of any dedicated rights-of-way. A minimum width easement of 20 feet is required for a single utility and 25 feet for water and sewer both within the same easement. Easements for standard sized water meters need to be five feet by five feet and include the length of the water service if located on private property. For larger meters that require a meter vault, a 35 feet by 35 feet easement is required. Actual easement widths may vary depending on the depth of the lines to be installed.

Pro Rata: Pro Rata is not owed and the property can utilize the services available upon completion of the requirements of this statement to connect to water and sanitary sewer.

Design and Construction of all required improvements will be at the developer / property owner's expense. Improvements must be coordinated through the City of Albuquerque via the Work Order process. Designs must be performed by a licensed, New Mexico registered, professional engineer. Construction must be performed by a licensed and bonded public utility contractor.

Costs and Fees: In addition to installation and construction costs, any new metered water services will be subject to both water and sanitary sewer Utility Expansion Charges (UEC) payable at the time of service application. All charges and rates collected will be based on the ordinances and policies in effect at the time service is actually requested and authorized.

Water Use: All new commercial developments shall be subject to the requirements for water usage and water conservation requirements as defined by the Water Authority, particularly the Water Waste Ordinance. Where available, outdoor water usage shall utilize reclaimed water.

Closure: This availability statement provides a commitment from the Water Authority to provide services to the development, as long as identified conditions are met. It will remain in effect for a period of one year from the date of issue and applies only to the development identified herein. Its validity is, in part, contingent upon the continuing accuracy of the information supplied by the developer. Changes in the proposed development may require reevaluation of availability and should be brought to the attention of the Utility Development Section of the Water Authority as soon as possible.

Please feel free to contact Mr. Kristopher Cadena in our Utility Development Section at (505) 289-3301 or email at kcadena@abcwua.org if you have questions regarding the information presented herein or need additional information.

Sincerely,



Mark S. Sanchez
Executive Director




Enclosures: Infrastructure Maps (2)
f/ Availability Statement 190701

- Valve
- Analysis Point
- Hydrant



○ --- Fire Flow Analysis Points
1. --- Analysis Point

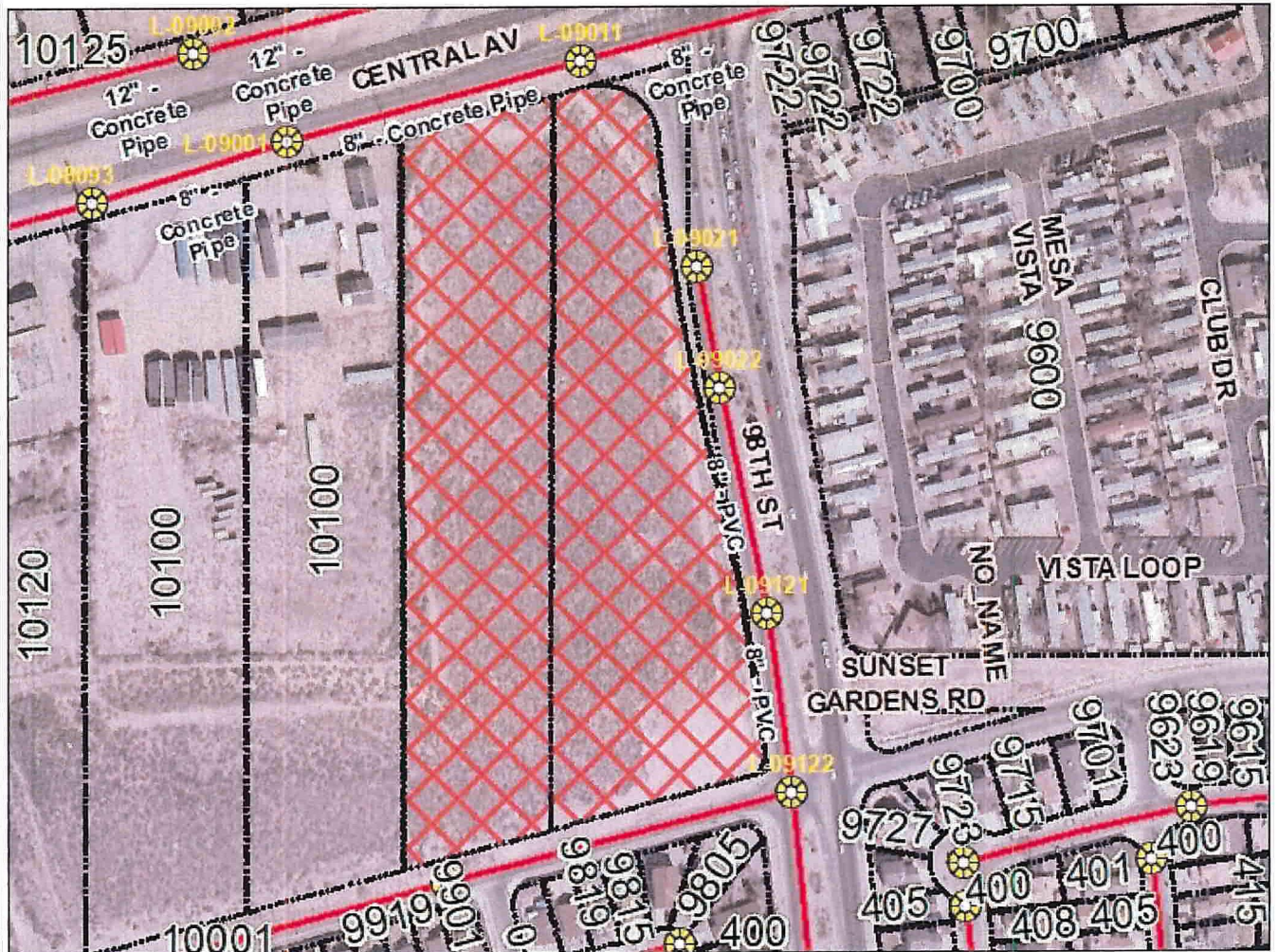
SUBTYPE

-  Distribution Line
-  Hydrant Leg
- In Zone Transmission
-  Project Location



**Water Utility
Authority**

190701 - Sanitary Sewer



Legend



Sewer Manhole

Sewer Pipe

SUBTYPE

COLLECTOR



Project Location

0 425 850 Feet



Water Utility
Authority