



DEVELOPMENT REVIEW BOARD
SUPPLEMENTAL SUBMITTAL

(Deadline is Friday at noon unless noted on DRB calendar – late submittals will not be accepted unless approved by the DRB)

PROJECT NO. _____

Application No. _____

TO:

___ Planning Department/Chair

___ Hydrology

___ Transportation Development

___ ABCWUA

___ Code Enforcement

___ Parks & Rec

*(Please attach this sheet with each collated set for each board member)

NOTE: ELECTRONIC VERSION (ie disk, thumbdrive) is Required. Submittal will not be accepted without.

DRB SCHEDULED HEARING DATE: _____ HEARING DATE OF DEFERRAL: _____

SUBMITTAL

DESCRIPTION: _____

CONTACT NAME: _____

TELEPHONE: _____ EMAIL: _____

March 11, 2022

Jay Rodenbeck
Planning Department
City of Albuquerque
rrodenbeck@cabq.gov

Project Location: Whataburger – Volcano Rd. & 98th St.
DRB Project Number: PR-2019-002402

Bowman Consulting is in receipt of the comments dated January 12, 2022, issued by City of Albuquerque for the Whataburger restaurant at NEC of Volcano Rd. & 98th St, Albuquerque, NM 87121. Please see below for the responses to the comments:

Planning Department

Comment 3: The Solid Waste signature must be obtained on the Site Plans prior to final sign-off from Planning.

Response: Included in this resubmittal is the approved site plan from the solid waste department.

Comment 8: Per 5-2(D) of the IDO regarding design considerations to meet the requirements of site design to respond to climate and geographic features, trees placement is recommended to be in combinations of two-thirds deciduous to one-third evergreen, and trees selection should have three or more tree types to avoid loss of species due to disease. On the Landscape Plan, there is a lack of variation of tree species along the boundaries of the subject property/site fronting 98th Street NW and Volcano Road NW in conflict with the noted design considerations. In addition, the landscaping plan shows one shrub being used all along 98th Street and/or Volcano Road. Please recheck these areas on the landscape plan to verify that the landscaping plan is workable and aesthetically pleasing.

Response: Comment noted. Landscape plan has been revised to be workable and aesthetically pleasing per recommendations.

Comment 9: There appears to be a drainage pond in the northeast portion of the site. How will this be landscaped? Some new standards near completion could be applicable.

Response: The two drainage ponds along the eastern drive entrance have been landscaped per City requirements set in the IDO and DPM.

Comment 10: The Landscape Plan must be sealed and signed by a Landscape Architect registered in the State of New Mexico.

Response: Landscape plan is signed and sealed by Landscape architect registered in the state of New Mexico.

Comment 11: These are preliminary Planning comments, and there could be additional and/or revised Planning comments on this application.

Response: Comment noted. Thank you

If you have any questions or require additional information, please call me at (972) 497-2992, or send an email to kaddo@bowman.com.

Thank you,

A handwritten signature in blue ink that reads "Kofi Addo". The signature is written in a cursive style with a large initial "K".

Kofi Addo
Team Lead
Bowman

March 10, 2022

Jeanne Wolfenbarger, P.E.
City of Albuquerque
jwolfenbarger@cabq.gov
(505) 924-3991

Project Location: Whataburger – Volcano Rd. & 98th St.
DRB Project Number: PR-2019-002402

Bowman Consulting is in receipt of the comments dated January 11, 2022, issued by City of Albuquerque for the Whataburger restaurant at NEC of Volcano Rd. & 98th St, Albuquerque, NM 87121. Please see below for the responses to the comments:

Transportation Development - Engineering Comments

- Comment 1:** Reference work order number for the accessway on the site plan. The accessway shall be in place prior to Certificate of Occupancy.
Response: Comment noted. The accessway is under design by others and once a work order number is available it will be referenced on the site plan.
- Comment 2:** Reflect dimensioning of private roadways surrounding the site and adjacent proposed trail.
Response: All off-site improvements will be designed and constructed by others. The proposed accessways and roadways have been dimensioned accordingly.
- Comment 3:** Reflect traffic queue accurately at pick-up window. Wouldn't the cars be expected to merge at the queuing window? If there is an area where cars are not expected wait in the queue, provide striping for clarification. In addition to meeting IDO requirements for drive-thrus, provide a queuing analysis for a typical Whataburger.
Response: Both drive-thru lanes are intended to be used by customers to receive orders at the window. Outside lane orders will be fulfilled by a Whataburger employee. Queuing analysis has been included with this resubmittal.
- Comment 4:** The order window should allow more queuing to ensure that vehicles do not back up into parking aisle or adjacent accessway. Propose adjustment based upon expected operations as result of the queuing analysis.
Response: The queuing analysis provided is based upon a similar layout Whataburger store #1096 location 20314 TX-46 W, Spring Branch, TX 78070. According to the analysis the queuing provided will be sufficient to accommodate customers during peak time.

- Comment 5:** For the one-way aisle within the drive-thru, provide an additional “Do Not Enter” sign at the egress and directional arrows on the pavement. Also, add a One-way sign.
Response: One way signage and directional arrows on pavement have been added to the site plan.
- Comment 6:** A sufficient throat length shall be provided to the public right-of-way per DPM requirements based on proposed building square footage. (There is also concern about the proximity of the drive off the private roadway to 98th Street and the conflicting movements between vehicles exiting the site versus cars entering the subdivision from 98th Street.)
Response: The drive entrance off the private roadway to 98th street has been revised to increase the throat length depth to allow for additional vehicle queuing see updated site plan.
- Comment 7:** For the handicapped ramp at the accessible aisle, ensure that there is a minimum 4-foot dimension between the wing of the ramp and the corner of the building.
Response: A dimension label has been added showing the
- Comment 8:** Show motorcycle parking signage in the details.
Response: Accompanying the site plan resubmittal is a construction detail sheet showing motorcycle parking signage.
- Comment 9:** Provide a civil details sheet that includes details for sidewalk and ramps that match the type of ramp that is graphically displayed on the plan; on the site plan itself, reference exact curb ramp detail. Indicate a maximum 2% cross-slope on the sidewalk detail. Also, on the site plan, indicate which type of curb shall be used.
Response: Accompanying the site plan resubmittal is a construction detail sheet showing sidewalk, ADA ramp and curb details. Site plan has also been labeled to show maximum 2% slopes.
- Comment 10:** On 98th Street, use a clear sight triangle for intersection sight distance to be sure that there are no conflicts with the proposed landscaping. For the other sight triangles, show these outside of the pavement area per the DPM graphics.
Response: Sight triangles have been revised to show no conflict with proposed landscaping.
- Comment 11:** Place the text, “No Parking” on the back of the accessible aisles.
Response: “No Parking” text have been added to accessible aisles.

If you have any questions or require additional information, please call me at (972) 497-2992, or send an email to kaddo@bowman.com.

Thank you,

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Kofi Addo
Team Lead
Bowman

March 10, 2022

Renee C. Brissette, P.E. CFM
City of Albuquerque, Planning department
Senior Engineer, Hydrology
rbrissette@cabq.gov
(505)924-3995

Project Location: Whataburger – Volcano Rd. & 98th St.
DRB Project Number: PR-2019-002402, Hydrology File: K09D048A

Bowman Consulting is in receipt of the comments dated March 7, 2022, issued by City of Albuquerque for the Whataburger restaurant at NEC of Volcano Rd. & 98th St, Albuquerque, NM 87121. Please see below for the responses to the comments:

Transportation Development - Engineering Comments

Comment 1: Sheet C3.0 Site Plan is not needed for review and approval. There is information on this sheet that needs to be on the Grading & Drainage Plan. See Below.

Response: Comment noted. Thank you.

Comment 2: Sheet C6.0 Utility Plan is not needed for review and approval.

Response: Comment noted. Thank you.

Comment 3: Sheet C4.0

The Per the Development Process Manual (DPM), the following must be on the Grading & Drainage Plan. These are items missing or on other another sheet but must be placed on the G&D.

A. Please provide an engineer's stamp with a signature and date.

Response: An Engineer's stamp and dated signature have been added to the grading and drainage plan.

B. Please use 1" = 20' for the scale.

Response: The plan has been revised to use a 1" = 20' scale.

C. Please provide a Vicinity Map. Typically, this is the Zone Atlas. This can be downloaded in pdf format from the City of Albuquerque's website.

Response: A vicinity map has been included in with this resubmittal.

D. Please provide the FIRM Map and flood plain note with effective date.

Response: A FIRM map has been included with this resubmittal. A flood plain note has also been added on the grading and drainage plan.

Comment 4: Please use the procedure for 40 acre and smaller basins as outlined in Development Process Manual (DPM) Article 6-2(a). Please provide both the existing conditions and proposed conditions for the 100 year-6-hour storm event.

Response: Drainage calculations have been included in the existing and proposed drainage area map plan sheets as part of this resubmittal.

Comment 5: For trash enclosures serving food service developments, demonstrate control of liquids from dumpster areas per DPM by containing runoff from the dumpster area, preventing outside drainage from entering the dumpster area, and discharging to the sanitary sewer. I see the discharge into the sanitary sewer, but it does appear that there is some outside drainage going into the enclosure. Also, please show the inlet and label "See Utility Plan for connection to sanitary sewer."

Response: The grading plan has been revised to contain the discharge within the trash enclosure. Required utility connection note has been added in the grading and drainage plan

Comment 6: This site only needs 1,677 CF of Stormwater quality ponds. You have provided 2,641 CF but one of the ponds has sanitary sewer and water lines which typically avoided when possible and Albuquerque Bernalillo County Water Utility Authority does not as well. I suggest that this get smaller to avoid the lines or coordinate with the overall development engineer to see if the connection can be relocated out of the SWQ pond area to provide the required SWQ ponds and still meet the conditions for parking.

Response: The pond volumes have been revised to contain 1,870 CF. Additionally, utilities have been revised and are now outside the pond area.

Comment 7: Please number the ponds and provide the volume provided for each pond. Also, please provide a 2 ft curb cut showing how the sheet flow gets into each pond and provide a 2 ft curb cut on the side that shows how the pond is discharged into the access drive (typically on the downhill side of the pond) and ultimately draining to the future inlet on Volcano Rd.

Response: Pond labels have been added showing pond number and volume. A 2ft curb cut has been added to both ends of the ponds.

Comment 8: Please provide the weir calculations, per DPM Article 6-16(A), for the curb cuts. A coefficient of 2.7 is typically used for the weir equation $Q = CLH^{2/3}$.

Response: Weir calculations for the curb cuts have been added to the grading and drainage plan.

Comment 9: As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

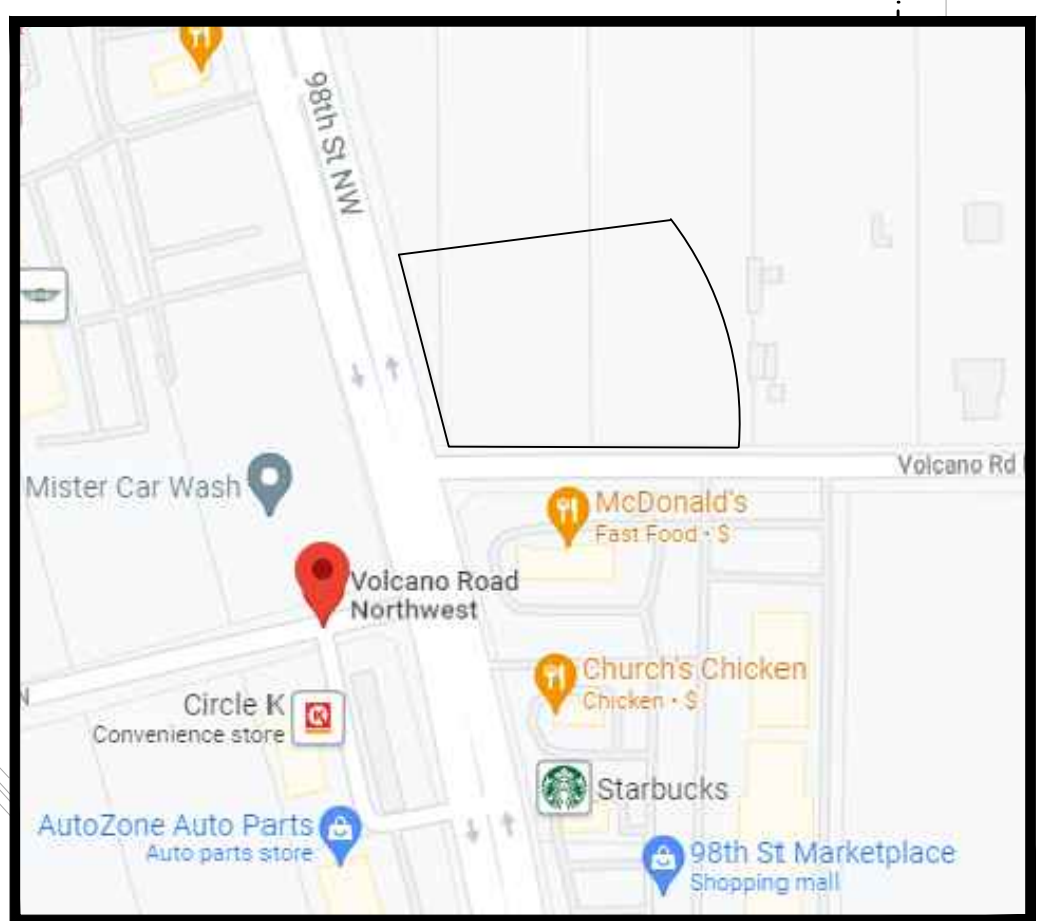
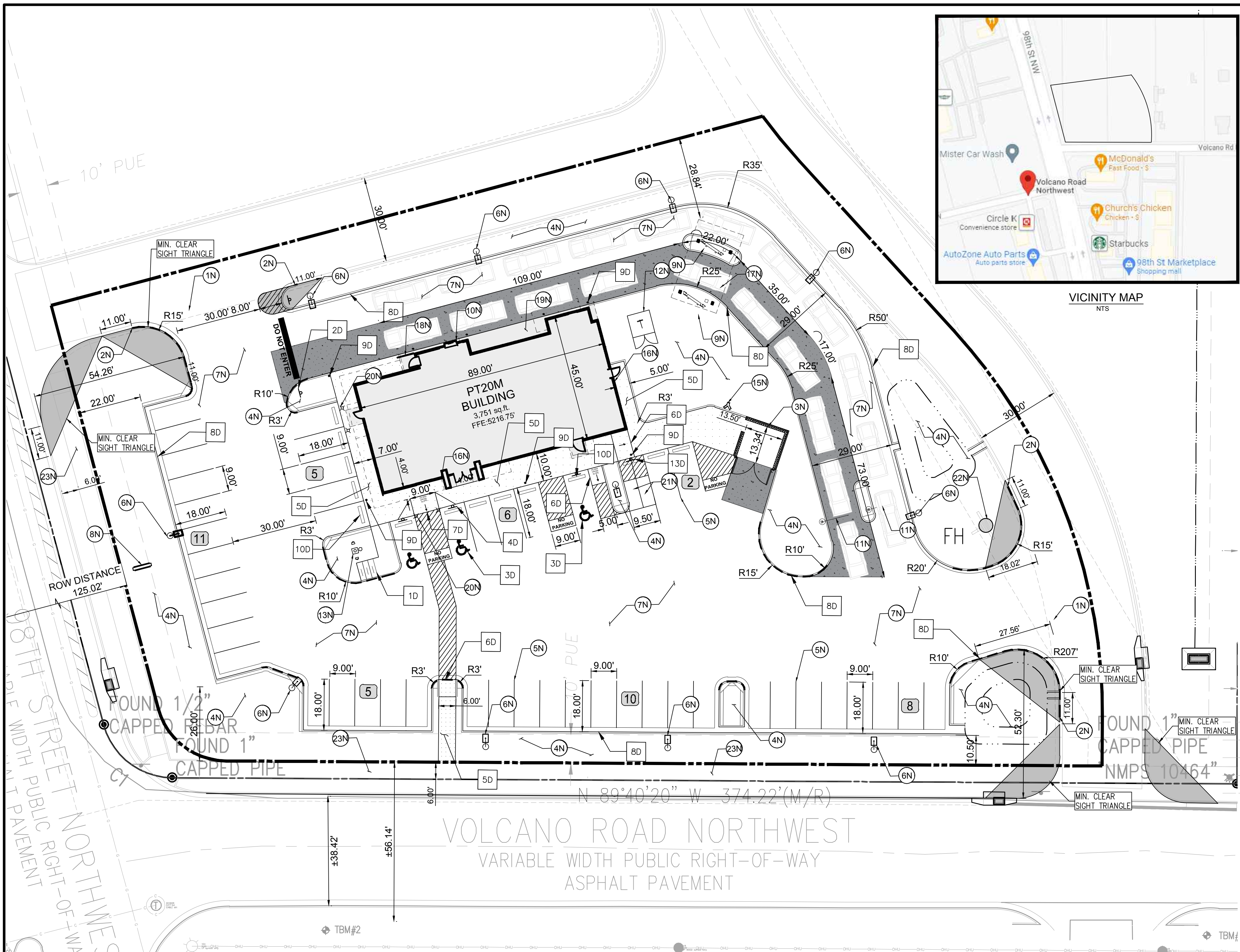
Response: Comment noted. Thank you.

If you have any questions or require additional information, please call me at (972) 497-2992, or send an email to kaddo@bowman.com.

Thank you,

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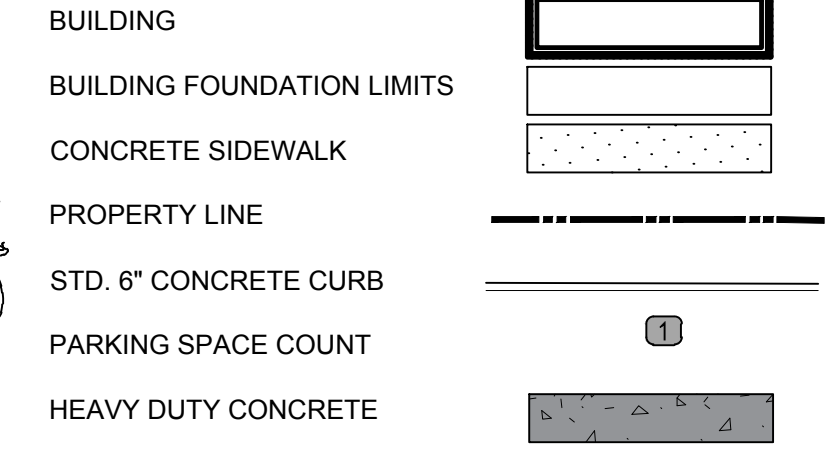
Kofi Addo
Team Lead
Bowman



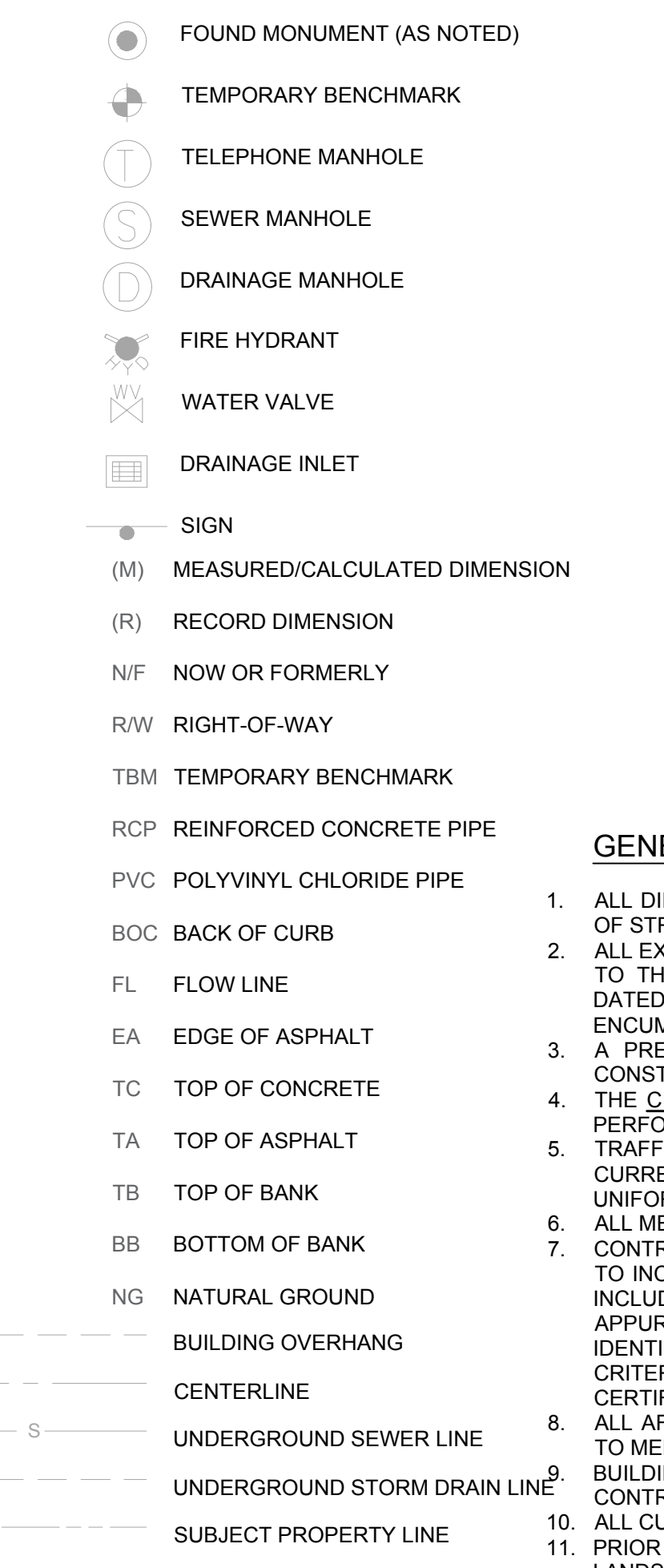
DRB SITE PLAN PROJECT #: PR-2019-002402

DRB SITE PLAN APPLICATION #: SI-2021-02080

PROPOSED LEGEND



EXISTING LEGEND



SITE DATA & AREA CALCULATIONS

CURRENT ZONING CLASSIFICATION:	NR-BP (BUSINESS PARK) CITY OF ALBUQUERQUE
CURRENT LOCAL JURISDICTION:	CITY OF ALBUQUERQUE
FLOOD ZONE CLASSIFICATION:	ZONE 'X'
FEMA PANEL:	35001C0328J
DATE:	11/04/2016
SITE AREA TOTAL:	63496 SF (1.457 AC)
IMPERVIOUS AREA:	48,168 SF (1.105 AC)
PERVIOUS AREA OPEN SPACE:	15,327 SF (0.351 AC)
OPEN SPACE PERCENTAGE:	24.09%
FLOOR AREA RATIO BLDG/SITE:	5.91%

PARKING DATA

SPACE REQUIRED:	8 SPACES PER 1000 SF GFA = 31 SPACES
SPACES PROVIDED:	44 REGULAR 3 ADA 47 TOTAL
TYPICAL DIMENSIONS:	9' WIDTH 18' DEPTH
MOTORCYCLE:	SPACE REQUIRED: 2 SPACES PER 26-50 VEHICLE SPACES = 2
SPACE PROVIDED:	2 SPACES
BICYCLE:	SPACE REQUIRED: 3 SPACES OR 10% OF VEHICLE SPACES WHICHEVER IS GREATER = 5 SPACES
SPACE PROVIDED:	5 SPACES

GENERAL SITE NOTES

- ALL DIMENSIONS SHOWN ARE TO THE FACE OF CURB, PROPERTY LINE OR CENTERLINE OF STRIPING UNLESS OTHERWISE NOTED.
- ALL EXISTING EASEMENTS, RIGHTS-OF-WAY, AND LOT LINES MAY NOT BE SHOWN. REFER TO THE ALTA/NSPS LAND TITLE SURVEY PREPARED BY BLEW AND ASSOCIATES, P.A. DATED NOVEMBER 04, 2021, FOR COMPLETE BOUNDARY INFORMATION AND ASSOCIATED ENCUMBRANCES.
- A PRE-CONSTRUCTION MEETING WITH CITY ENGINEER SHALL BE HELD PRIOR TO CONSTRUCTION COMMENCEMENT.
- THE CITY OF ALBUQUERQUE SHALL BE GIVEN AT LEAST 48 HOURS NOTICE PRIOR TO PERFORMING ANY INSPECTIONS.
- TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE PROJECT PLANS, THE CURRENT EDITION OF THE NMDOT DESIGN STANDARDS AND THE LATEST MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL MECHANICAL EQUIPMENT TO BE ROOF MOUNTED AND SCREENED FROM THE STREET. CONTRACTOR TO PROVIDE AS-BUILTS OF ALL IMPROVEMENTS TO THE SITE. AS-BUILTS TO INCLUDE HORIZONTAL AND VERTICAL LOCATIONS OF ALL UNDERGROUND UTILITIES INCLUDING, BUT NOT LIMITED TO, PIPES, FITTINGS, STRUCTURES, AND OTHER APPURTENANCES. ELEVATIONS OF PIPES AT CROSSING POINTS MUST BE SUFFICIENT TO IDENTIFY MINIMUM SEPARATION OF UTILITIES. IN ADDITION TO THE AFOREMENTIONED CRITERIA AS-BUILTS MUST MEET ALL LOCAL AND JURISDICTIONAL REQUIREMENTS FOR CERTIFICATION OF CONSTRUCTION.
- ALL AFFECTED SIDEWALKS, RAMPS AND CROSSWALKS, WILL BE BUILT AND INSPECTED TO MEET CURRENT ADA REQUIREMENTS.
- BUILDING SETBACK DIMENSIONS MEASURED TO OUTERMOST ARCHITECTURAL FEATURE. CONTRACTOR TO REFER TO ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS.
- ALL CURB RADII ARE 3' UNLESS SHOWN OTHERWISE.
- PRIOR TO INSTALLATION, CONTRACTOR MUST VERIFY LOCATIONS OF LIGHT POLES, LANDSCAPING AND UTILITIES.

NOTES

- 1N NEATLY SAWCUT 2" AND MATCH EXISTING
- 2N END CURB
- 3N DUMPSTER ENCLOSURE (REFER TO STRUCTURAL AND ARCHITECTURAL PLANS)
- 4N LANDSCAPE AREA
- 5N 6" WIDE WHITE PARKING LOT STRIPE
- 6N LIGHT POLE
- 7N HEAVY DUTY ASPHALT PAVING
- 8N SIGN (REFER TO SIGNAGE PLANS)
- 9N MENU ORDER BOARD AND SPEAKER
- 10N ORDER PICKUP WINDOW
- 11N CLEARANCE BAR
- 12N ELECTRIC TRANSFORMER
- 13N FLAG POLE WITH LIGHT BEACON
- 14N DO NOT ENTER PAVEMENT MARKING
- 15N REMOTE FIRE DEPARTMENT CONNECTION
- 16N KNOX BOX
- 17N SINGLE CANOPY DRIVE THROUGH (REFER TO ARCHITECTURAL PLANS)
- 18N GUARDRAIL (REFER TO ARCHITECTURAL PLANS)
- 19N BUILDING FOUNDATION LIMITS (REFER TO ARCHITECTURAL PLANS)
- 20N LIGHTED BOLLARD (REFER TO ARCHITECTURAL PLANS)
- 21N MOTORCYCLE PARKING
- 22N EXISTING FIRE HYDRANT
- 23N PROPOSED SIDEWALK BY OTHERS

DETAILS

- 1D INVERTED "U" BIKE RACK (SEE CONSTRUCTION DETAILS SHEET C7.0)
- 2D DO NOT ENTER SIGN (MUTCD R5-1, SEE CONSTRUCTION DETAILS SHEET C7.0)
- 3D ADA PARKING (PER 2015 NM ACCESSIBILITY CHECKLIST, SECTION 8 DETAIL. SEE SHEET C7.0)
- 4D ADA SIGN (PER 2015 NM ACCESSIBILITY CHECKLIST, SECTION 8 DETAIL. SEE SHEET C7.0)
- 5D CONCRETE SIDEWALK (PER COABQ STD DWG NO. 2430. SEE SHEET C7.1)
- 6D CURB RAMP (PER COABQ DETAIL STD DWG NO. 2441 & 2441. SEE SHEET C7.1)
- 7D FLARED RAMP
- 8D STANDARD CURB & GUTTER (PER COABQ DETAIL STD DWG NO. 2415A. SEE SHEET C7.1)
- 9D BOLLARD (SEE CONSTRUCTION DETAILS SHEET C7.0)
- 10D WHEEL STOP (SEE CONSTRUCTION DETAILS SHEET C7.0)
- 11D STORM INLET TOP (PER COABQ DETAIL STD DWG NO. 2110. SEE SHEET C7.2)
- 12D STORM INLET (PER COABQ DETAIL STD DWG NO. 2201. SEE SHEET C7.2)
- 13D MOTORCYCLE PARKING SIGN (MUTCD R7-5-16)

BENCHMARKS		
TBM #1	TBM - SET CHISELED X (1483393.40, 1493191.03)	ELEV: 5205.67'
TBM #2	TBM - SET CHISELED X (1483395.13, 1492861.32)	ELEV: 5215.90'

FLAG POLE NOTE
 FLAGPOLE WITH GROUND MOUNTED LIGHTS, UNITED FLAG AND BANNER, GARRISON TYPE BY CONCORD AMERICAN FLAGPOLE OR OWNER APPROVED EQUAL, 30' HIGH, 5" ALUMINUM WITH 14 GAUGE ALUMINUM BALL FINIAL. INCLUDE ALUMINUM ROLLER AND SLEEVE. HARDWARE TO INCLUDE STATIONARY TRUCK, NYLON FLAGSNAPS AND HALYARDS, ENTIRE ASSEMBLY (INCLUDING FOUNDATION) TO CONFORM TO APPLICABLE CODES, INCLUDING WIND LOADS. SEE SHEET SS.1, DETAIL D5 FOR FOUNDATION DETAILS. SEE SHEET ES.2, DETAIL A4 FOR LIGHT DETAILS.

TBM#1
 SET CHISELED X
 NORTHING: 1483393.40
 EASTING: 1493191.03
 ELEVATION: 5205.67'

TBM#2
 SET CHISELED X
 NORTHING: 1483395.13
 EASTING: 1492861.32
 ELEVATION: 5215.90'

PROJECT NUMBER: DRB SITE PLAN PROJECT #: PR-2019-002402
Application Number: DRB SITE PLAN APPLICATION #: SI-2021-02080

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRD plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
City Engineer/Hydrology	Date
Code Enforcement	Date
Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

*Environmental Health, if necessary
21618

5601 Democracy Dr.,
Ste 205
Plano, Texas 75024

Phone: (972) 407-2900
Fax: (972) 927-4662
www.bowman.com

REVISION	DATE	DESCRIPTION

SITE PLAN

WHATABURGER

NEC 98TH ST. & VOLCANO RD.

ALBUQUERQUE, NM 87124

DESIGN: BB

DRAWN: BB

CHKD: KAN

JOB No. 070426-01-001

SHEET C3.0

C3.0

Bowman

March 11, 2022

Blaine Carter, P.E.
Albuquerque Bernalillo County Water Authority
(505) 415-9188

Project Location: Whataburger – Volcano Rd. & 98th St.
DRB Project Number: PR-2019-002402

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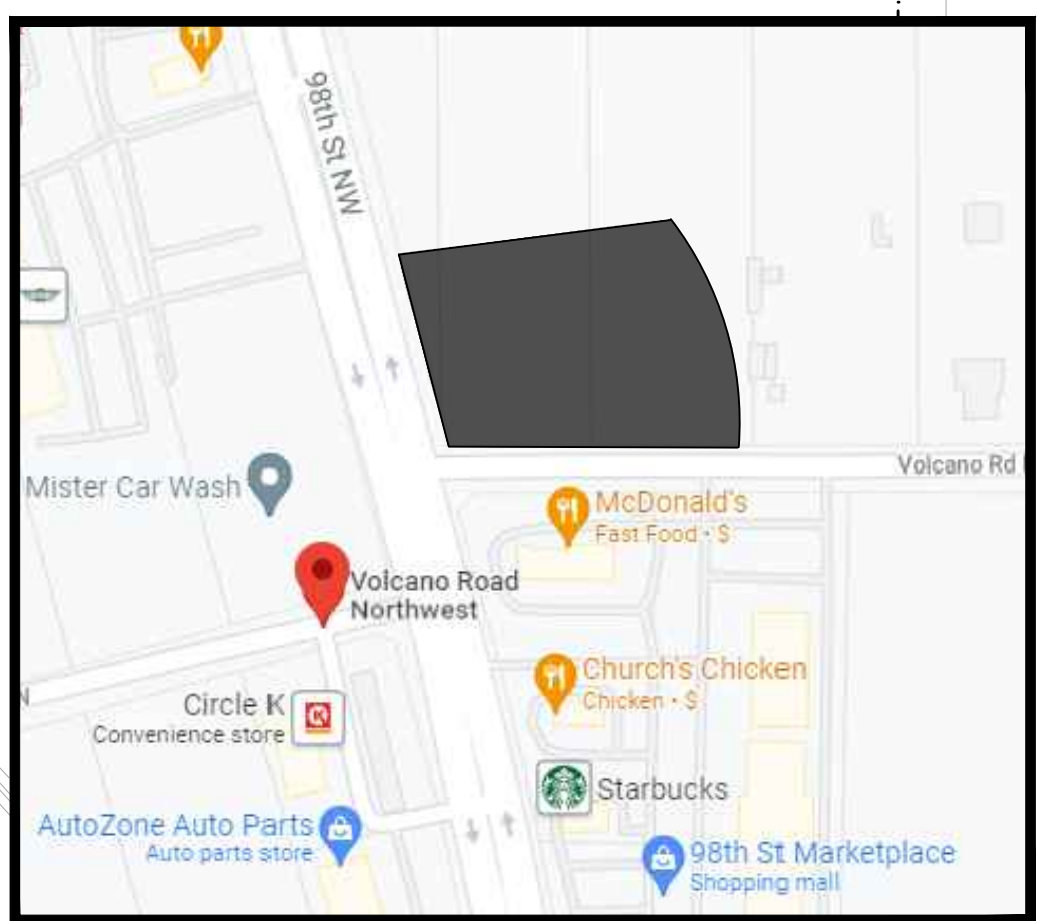
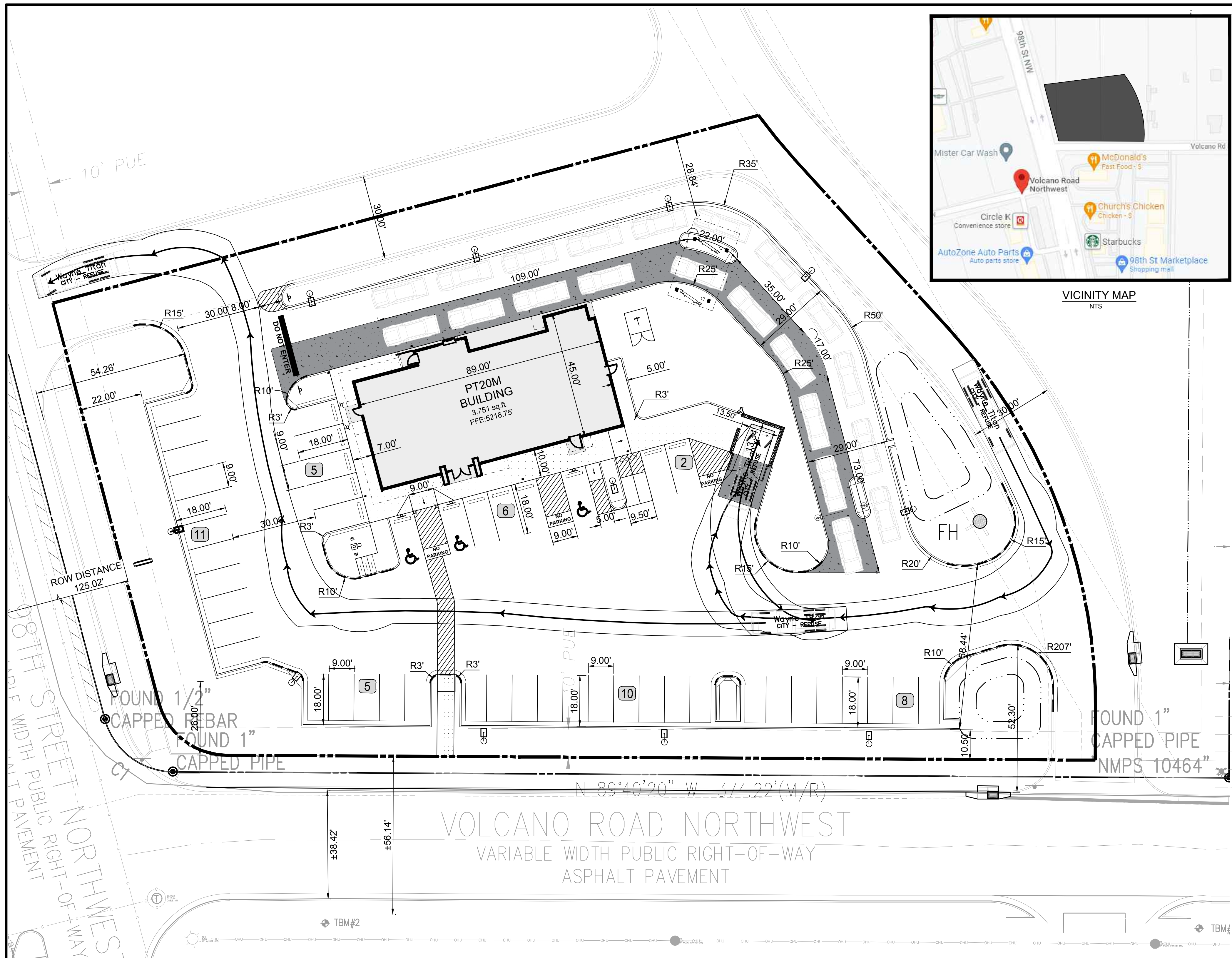
Utility Development Section

- Comment 1:** Availability Statement #211027 covers this site and provides the conditions for service.
Response: Comment noted. Thank you
- Comment 2:** This project is within the adopted service area.
Response: Comment noted. Thank you
- Comment 3:** Pro rata is not owed for this property.
Response: Comment noted. Thank you
- Comment 4a:** The service line for the irrigation meter shall go directly to the public main. There should not be any branches from the domestic service to accommodate an irrigation meter.
Response: Irrigation service has been revised to branch off after the domestic meter as recommended by City Engineer Blaine Carter.
- Comment 4b:** Consider revising the blocks from the subdivision utility plan, it appears to show a single meter in this location.
Response: Comment noted. Thank you
- Comment 4c:** Please coordinate with the subdivider so that your proposed water connection stubs can be provided prior to pavement.
Response: Comment noted. Thank you
- Comment 5:** The WUA understands that the required adjacent infrastructure is part of the subdivision infrastructure list and subdivision IIA.
Response: Comment noted. Thank you

If you have any questions or require additional information, please call me at (972) 497-2992, or send an email to kaddo@bowman.com.

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Thank you,
Kofi Addo
Team Lead
Bowman



PROPOSED LEGEND

- BUILDING
- BUILDING FOUNDATION LIMITS
- CONCRETE SIDEWALK
- PROPERTY LINE
- STD. 6" CONCRETE CURB
- PARKING SPACE COUNT
- HEAVY DUTY CONCRETE

EXISTING LEGEND

- FOUND MONUMENT (AS NOTED)
- TEMPORARY BENCHMARK
- TELEPHONE MANHOLE
- SEWER MANHOLE
- DRAINAGE MANHOLE
- FIRE HYDRANT
- WATER VALVE
- DRAINAGE INLET
- SIGN
- (M) MEASURED/CALCULATED DIMENSION
- (R) RECORD DIMENSION
- N/F NOW OR FORMERLY
- R/W RIGHT-OF-WAY
- TBM TEMPORARY BENCHMARK
- RCP REINFORCED CONCRETE PIPE
- PVC POLYVINYL CHLORIDE PIPE
- BOC BACK OF CURB
- FL FLOW LINE
- EA EDGE OF ASPHALT
- TC TOP OF CONCRETE
- TA TOP OF ASPHALT
- TB TOP OF BANK
- BB BOTTOM OF BANK
- NG NATURAL GROUND
- BUILDING OVERHANG
- CENTERLINE
- UNDERGROUND SEWER LINE
- UNDERGROUND STORM DRAIN LINE
- SUBJECT PROPERTY LINE

SITE DATA & AREA CALCULATIONS

CURRENT ZONING CLASSIFICATION:	NR-BP (BUSINESS PARK)
CURRENT LOCAL JURISDICTION:	CITY OF ALBUQUERQUE
FLOOD ZONE CLASSIFICATION:	ZONE 'X'
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NOTES

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- END CURB
- DUMPSTER ENCLOSURE (REFER TO STRUCTURAL AND ARCHITECTURAL PLANS)
- LANDSCAPE AREA
- 6" WIDE WHITE PARKING LOT STRIPE
- LIGHT POLE
- HEAVY DUTY ASPHALT PAVING
- SIGN (REFER TO SIGNAGE PLANS)
- MENU ORDER BOARD AND SPEAKER
- ORDER PICKUP WINDOW
- CLEARANCE BAR
- ELECTRIC TRANSFORMER
- FLAG POLE WITH LIGHT BEACON
- DO NOT ENTER PAVEMENT MARKING
- REMOTE FIRE DEPARTMENT CONNECTION
- KNOX BOX
- SINGLE CANOPY DRIVE THROUGH (REFER TO ARCHITECTURAL PLANS)
- GUARDRAIL (REFER TO ARCHITECTURAL PLANS)
- BUILDING FOUNDATION LIMITS (REFER TO ARCHITECTURAL PLANS)
- LIGHTED BOLLARD (REFER TO ARCHITECTURAL PLANS)
- MOTORCYCLE PARKING
- EXISTING FIRE HYDRANT
- PROPOSED SIDEWALK BY OTHERS

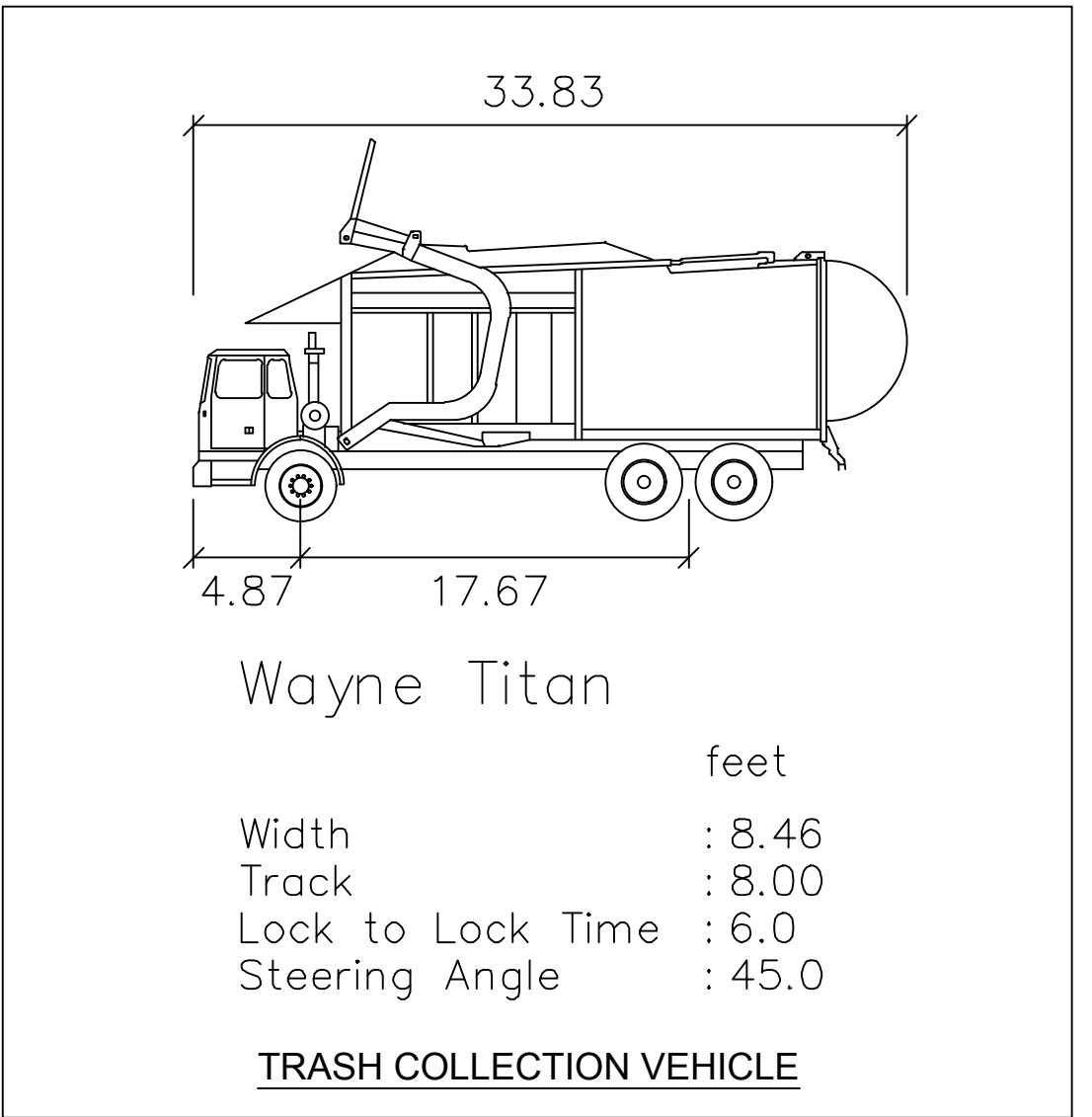
DETAILS

- INVERTED "U" BIKE RACK (SEE CONSTRUCTION DETAILS SHEET C7.0)
- DO NOT ENTER SIGN (MUTCD R5-1, (SEE CONSTRUCTION DETAILS SHEET C7.0)
- ADA PARKING (PER 2015 NM ACCESSIBILITY CHECKLIST, SECTION 8 DETAIL. SEE SHEET C7.0)
- ADA SIGN (PER 2015 NM ACCESSIBILITY CHECKLIST, SECTION 8 DETAIL. SEE SHEET C7.0)
- CONCRETE SIDEWALK (PER COABQ STD DWG NO. 2430. SEE SHEET C7.1)
- CURB RAMP (PER COABQ DETAIL STD DWG NO. 2440 & 2441. SEE SHEET C7.1)
- FLARED RAMP
- STANDARD CURB & GUTTER (PER COABQ DETAIL STD DWG NO. 2415A. SEE SHEET C7.1)
- BOLLARD (SEE CONSTRUCTION DETAILS SHEET C7.0)
- WHEEL STOP (SEE CONSTRUCTION DETAILS SHEET C7.0)
- STORM INLET TOP (PER COABQ DETAIL STD DWG NO. 2110. SEE SHEET C7.2)
- STORM INLET (PER COABQ DETAIL STD DWG NO. 2201. SEE SHEET C7.2)

Approved for access by the
Solid Waste Department 1-VIP compactor
Herman Gallegos 03-02-22
Herman Gallegos

TBM#1
SET CHISELED X
NORTHING: 1483393.40
EASTING: 1493191.03
ELEVATION: 5205.67'

TBM#2
SET CHISELED X
NORTHING: 1483395.13
EASTING: 1492881.32
ELEVATION: 5215.90'



BENCHMARKS

TBM #1	TBM - SET CHISELED X (1483393.40, 1493191.03)	ELEV: 5205.67'
TBM #2	TBM - SET CHISELED X (1483395.13, 1492881.32)	ELEV: 5215.90'

811
Know what's below. Call before you dig.

THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTORS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

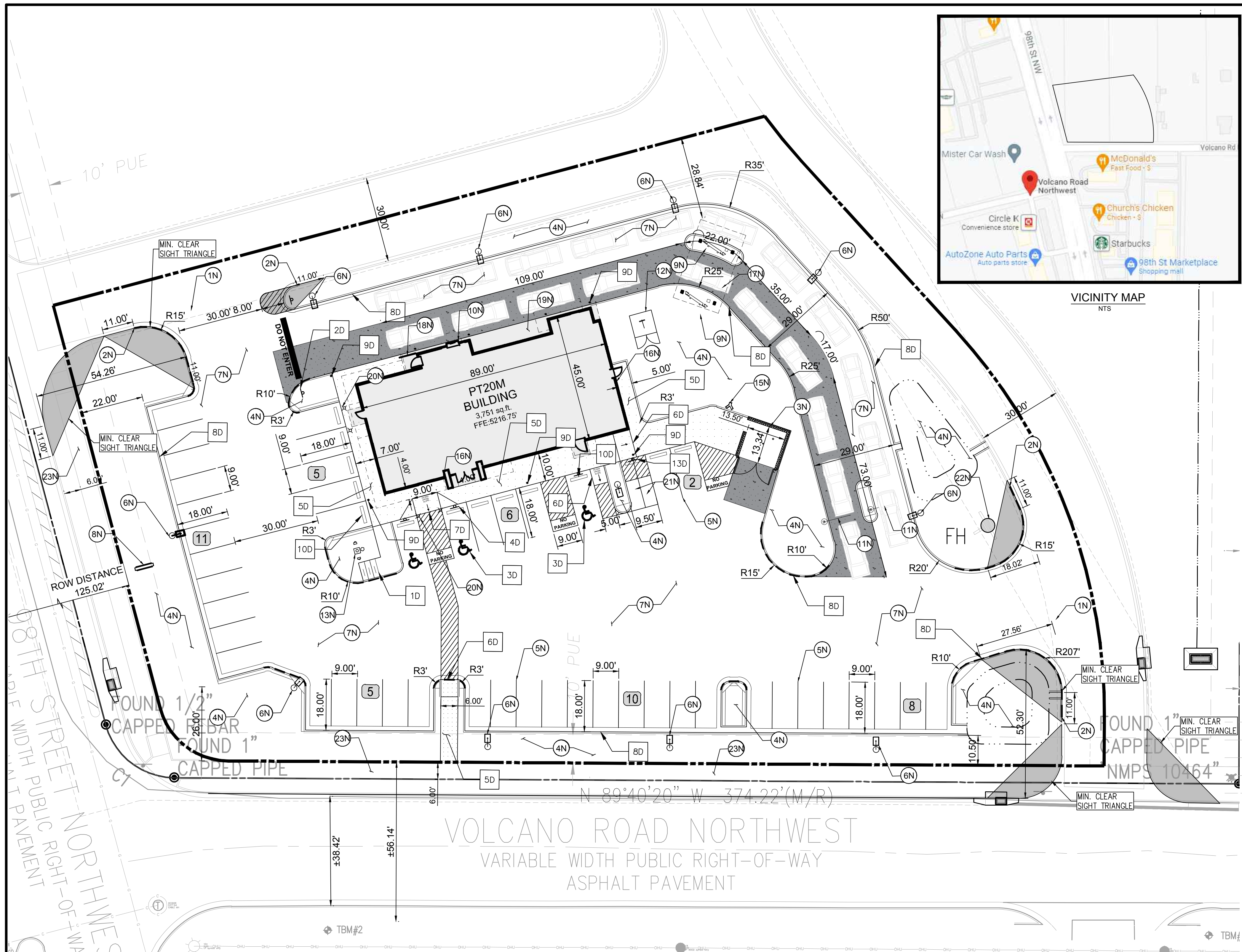
Bowman CONSULTING
Bowman Consulting Group, Ltd.
5001 Democracy Dr., Ste 205
Plano, Texas 75024
Phone: (972) 407-2900
Fax: (972) 927-4662
www.bowman.com

REVISIONS

REVISION	DATE	DESCRIPTION
1		

SITE PLAN
WHATABURGER
NEC 98TH ST. & VOLCANO RD.
ALBUQUERQUE, NM 87124

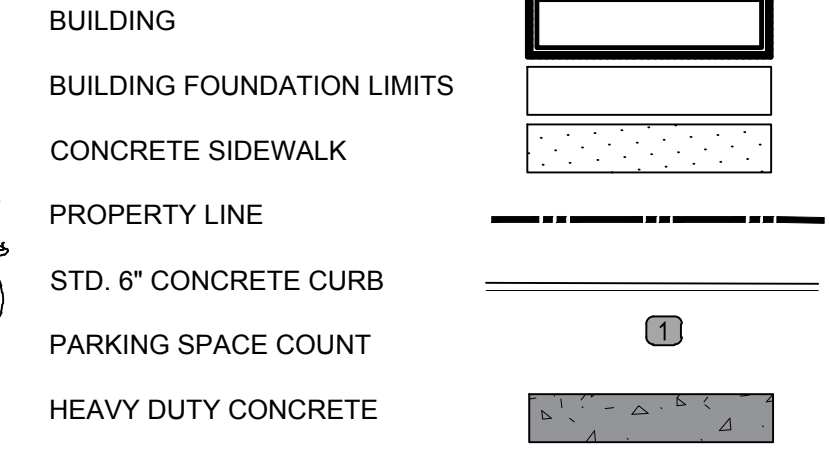
DESIGN	DRAWN	CHKD
BB	BB	KAN
JOB No. 070426-01-001		
SHEET		
C3.0		



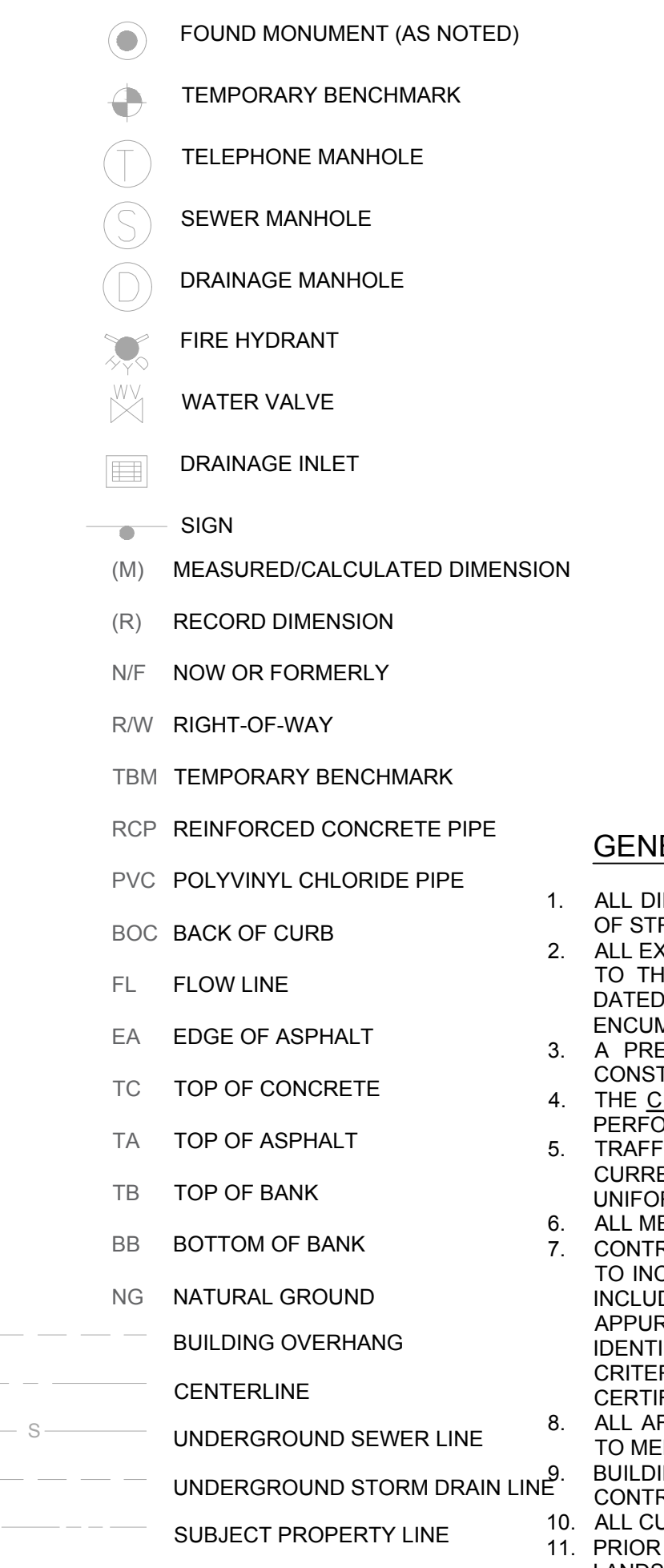
DRB SITE PLAN PROJECT #: PR-2019-002402

DRB SITE PLAN APPLICATION #: SI-2021-02080

PROPOSED LEGEND



EXISTING LEGEND



SITE DATA & AREA CALCULATIONS

CURRENT ZONING CLASSIFICATION:	NR-BP (BUSINESS PARK) CITY OF ALBUQUERQUE
CURRENT LOCAL JURISDICTION:	CITY OF ALBUQUERQUE
FLOOD ZONE CLASSIFICATION:	ZONE 'X'
FEMA PANEL:	35001C0328J
DATE:	11/04/2016
SITE AREA TOTAL:	63496 SF (1.457 AC)
IMPERVIOUS AREA:	48,168 SF (1.105 AC)
PERVIOUS AREA OPEN SPACE:	15,327 SF (0.351 AC)
OPEN SPACE PERCENTAGE:	24.09%
FLOOR AREA RATIO BLDG/SITE:	5.91%

PARKING DATA

SPACE REQUIRED:	8 SPACES PER 1000 SF GFA = 31 SPACES
SPACES PROVIDED:	44 REGULAR 3 ADA 47 TOTAL
TYPICAL DIMENSIONS:	9' WIDTH 18' DEPTH
MOTORCYCLE:	SPACE REQUIRED: 2 SPACES PER 26-50 VEHICLE SPACES = 2
SPACE PROVIDED:	2 SPACES
BICYCLE:	SPACE REQUIRED: 3 SPACES OR 10% OF VEHICLE SPACES WHICHEVER IS GREATER = 5 SPACES
SPACE PROVIDED:	5 SPACES

GENERAL SITE NOTES

- ALL DIMENSIONS SHOWN ARE TO THE FACE OF CURB, PROPERTY LINE OR CENTERLINE OF STRIPING UNLESS OTHERWISE NOTED.
- ALL EXISTING EASEMENTS, RIGHTS-OF-WAY, AND LOT LINES MAY NOT BE SHOWN. REFER TO THE ALTA/NSPS LAND TITLE SURVEY PREPARED BY BLEW AND ASSOCIATES, P.A. DATED NOVEMBER 04, 2021, FOR COMPLETE BOUNDARY INFORMATION AND ASSOCIATED ENCUMBRANCES.
- A PRE-CONSTRUCTION MEETING WITH CITY ENGINEER SHALL BE HELD PRIOR TO CONSTRUCTION COMMENCEMENT.
- THE CITY OF ALBUQUERQUE SHALL BE GIVEN AT LEAST 48 HOURS NOTICE PRIOR TO PERFORMING ANY INSPECTIONS.
- TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE PROJECT PLANS, THE CURRENT EDITION OF THE NMDOT DESIGN STANDARDS AND THE LATEST MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL MECHANICAL EQUIPMENT TO BE ROOF MOUNTED AND SCREENED FROM THE STREET. CONTRACTOR TO PROVIDE AS-BUILTS OF ALL IMPROVEMENTS TO THE SITE. AS-BUILTS TO INCLUDE HORIZONTAL AND VERTICAL LOCATIONS OF ALL UNDERGROUND UTILITIES INCLUDING, BUT NOT LIMITED TO, PIPES, FITTINGS, STRUCTURES, AND OTHER APPURTENANCES. ELEVATIONS OF PIPES AT CROSSING POINTS MUST BE SUFFICIENT TO IDENTIFY MINIMUM SEPARATION OF UTILITIES. IN ADDITION TO THE AFOREMENTIONED CRITERIA AS-BUILTS MUST MEET ALL LOCAL AND JURISDICTIONAL REQUIREMENTS FOR CERTIFICATION OF CONSTRUCTION.
- ALL AFFECTED SIDEWALKS, RAMPS AND CROSSWALKS, WILL BE BUILT AND INSPECTED TO MEET CURRENT ADA REQUIREMENTS.
- BUILDING SETBACK DIMENSIONS MEASURED TO OUTERMOST ARCHITECTURAL FEATURE. CONTRACTOR TO REFER TO ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS.
- ALL CURB RADII ARE 3' UNLESS SHOWN OTHERWISE.
- PRIOR TO INSTALLATION, CONTRACTOR MUST VERIFY LOCATIONS OF LIGHT POLES, LANDSCAPING AND UTILITIES.

NOTES

- 1N NEATLY SAWCUT 2" AND MATCH EXISTING
- 2N END CURB
- 3N DUMPSTER ENCLOSURE (REFER TO STRUCTURAL AND ARCHITECTURAL PLANS)
- 4N LANDSCAPE AREA
- 5N 6" WIDE WHITE PARKING LOT STRIPE
- 6N LIGHT POLE
- 7N HEAVY DUTY ASPHALT PAVING
- 8N SIGN (REFER TO SIGNAGE PLANS)
- 9N MENU ORDER BOARD AND SPEAKER
- 10N ORDER PICKUP WINDOW
- 11N CLEARANCE BAR
- 12N ELECTRIC TRANSFORMER
- 13N FLAG POLE WITH LIGHT BEACON
- 14N DO NOT ENTER PAVEMENT MARKING
- 15N REMOTE FIRE DEPARTMENT CONNECTION
- 16N KNOX BOX
- 17N SINGLE CANOPY DRIVE THROUGH (REFER TO ARCHITECTURAL PLANS)
- 18N GUARDRAIL (REFER TO ARCHITECTURAL PLANS)
- 19N BUILDING FOUNDATION LIMITS (REFER TO ARCHITECTURAL PLANS)
- 20N LIGHTED BOLLARD (REFER TO ARCHITECTURAL PLANS)
- 21N MOTORCYCLE PARKING
- 22N EXISTING FIRE HYDRANT
- 23N PROPOSED SIDEWALK BY OTHERS

DETAILS

- 1D INVERTED "U" BIKE RACK (SEE CONSTRUCTION DETAILS SHEET C7.0)
- 2D DO NOT ENTER SIGN (MUTCD R5-1, SEE CONSTRUCTION DETAILS SHEET C7.0)
- 3D ADA PARKING (PER 2015 NM ACCESSIBILITY CHECKLIST, SECTION 8 DETAIL. SEE SHEET C7.0)
- 4D ADA SIGN (PER 2015 NM ACCESSIBILITY CHECKLIST, SECTION 8 DETAIL. SEE SHEET C7.0)
- 5D CONCRETE SIDEWALK (PER COABQ STD DWG NO. 2430. SEE SHEET C7.1)
- 6D CURB RAMP (PER COABQ DETAIL STD DWG NO. 2441 & 2441. SEE SHEET C7.1)
- 7D FLARED RAMP
- 8D STANDARD CURB & GUTTER (PER COABQ DETAIL STD DWG NO. 2415A. SEE SHEET C7.1)
- 9D BOLLARD (SEE CONSTRUCTION DETAILS SHEET C7.0)
- 10D WHEEL STOP (SEE CONSTRUCTION DETAILS SHEET C7.0)
- 11D STORM INLET TOP (PER COABQ DETAIL STD DWG NO. 2110. SEE SHEET C7.2)
- 12D STORM INLET (PER COABQ DETAIL STD DWG NO. 2201. SEE SHEET C7.2)
- 13D MOTORCYCLE PARKING SIGN (MUTCD R7-5-16)

PROJECT NUMBER: DRB SITE PLAN PROJECT #: PR-2019-002402
Application Number: DRB SITE PLAN APPLICATION #: SI-2021-02080

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.
Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRD plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
City Engineer/Hydrology	Date
Code Enforcement	Date
Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

*Environmental Health, if necessary
21618

TBM#1
SET CHISELED X
NORTHING: 1483393.40
EASTING: 1493191.03
ELEVATION: 5205.67'

TBM#2
SET CHISELED X
NORTHING: 1483395.13
EASTING: 1492881.32
ELEVATION: 5215.90'

SMH#3
RIM ELEVATION: 5219.80'
INVERT NE-SW (6" PVC): 5207.42'

FLAG POLE NOTE
 FLAGPOLE WITH GROUND MOUNTED LIGHTS, UNITED FLAG AND BANNER, GARRISON TYPE BY CONCORD AMERICAN FLAGPOLE OR OWNER APPROVED EQUAL, 30' HIGH, 5" ALUMINUM WITH 14 GAUGE ALUMINUM BALL FINIAL. INCLUDE ALUMINUM ROLLER AND SLEEVE. HARDWARE TO INCLUDE STATIONARY TRUCK, NYLON FLAGSNAPS AND HALYARDS, ENTIRE ASSEMBLY (INCLUDING FOUNDATION) TO CONFORM TO APPLICABLE CODES, INCLUDING WIND LOADS. SEE SHEET SS.1, DETAIL D5 FOR FOUNDATION DETAILS. SEE SHEET ES.2, DETAIL A4 FOR LIGHT DETAILS.

BENCHMARKS		
TBM #1	TBM - SET CHISELED X (1483393.40, 1493191.03)	ELEV: 5205.67'
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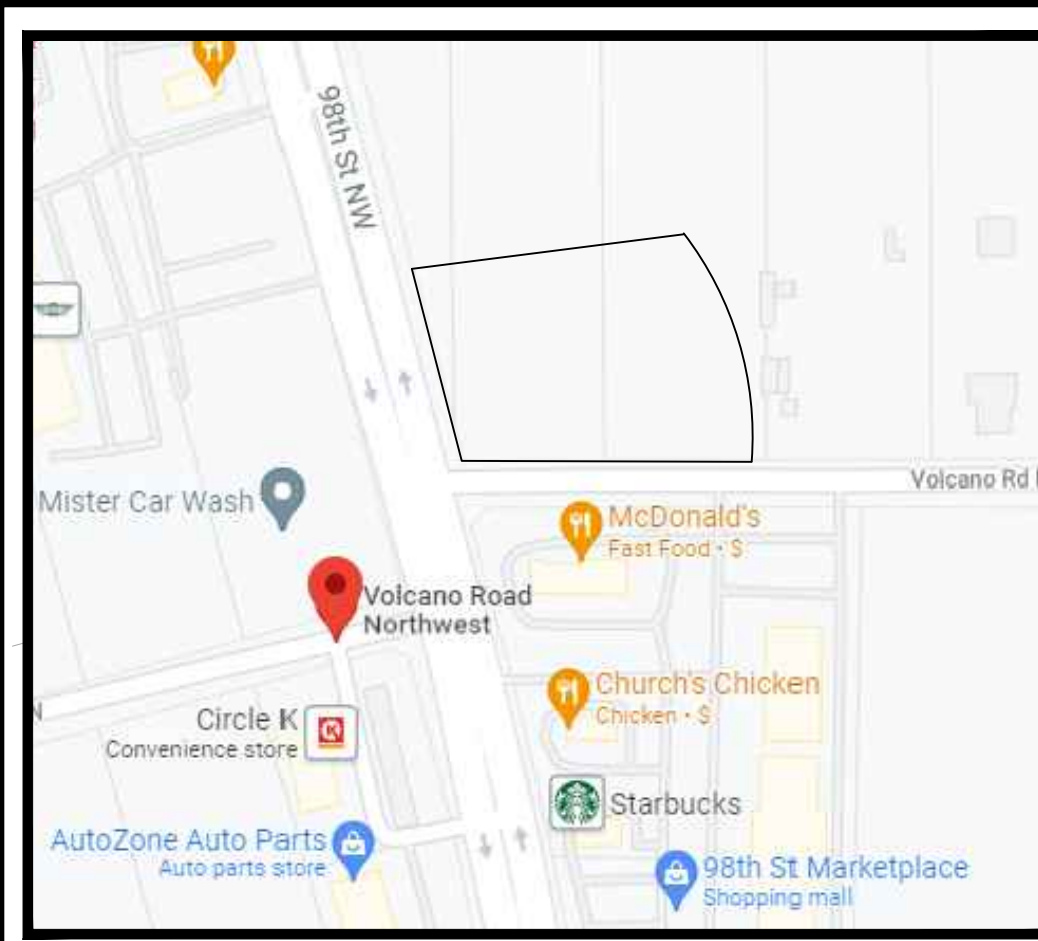
Bowman CONSULTING
 5601 Democracy Dr., Ste 205, Albuquerque, NM 87124
 Phone: (505) 497-2990 Fax: (505) 927-4962 www.bowman.com

REVISION	DATE	DESCRIPTION
1		

SITE PLAN
WHATABURGER
NEC 98TH ST. & VOLCANO RD.
 ALBUQUERQUE, NM 87124

Professional Engineer
 25552
 2/23/2022

DESIGN	DRAWN	CHKD
BB	BB	KAN
JOB No. 070426-01-001		
SHEET C3.0		



VICINITY MAP
NTS

DRAINAGE CALCULATIONS ARE BASED ON CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL (DPM) ARTICLE 6-2(A) - PROCEDURE FOR 40-ACRE AND SMALLER BASINS ZONE 1 LOCATION.

Pre-Development Conditions											
Drainage Area	Acres	Time of Concentration (Min)	2 Year Runoff Coefficient	2 Year Intensity (In/Hr)	2 Year Runoff (cfs)	10 Year Runoff Coefficient	10 Year Intensity (In/Hr)	10 Year Runoff (cfs)	100 Year Runoff Coefficient	100 Year Intensity (In/Hr)	100 Year Runoff (cfs)
A-1	1.457	12.00	0.28	0.15	0.06	0.51	0.23	0.17	0.63	0.36	0.33

Post-Development Conditions											
Drainage Area	Acres	Time of Concentration (Min)	2 Year Runoff Coefficient	2 Year Intensity (In/Hr)	2 Year Runoff (cfs)	10 Year Runoff Coefficient	10 Year Intensity (In/Hr)	10 Year Runoff (cfs)	100 Year Runoff Coefficient	100 Year Intensity (In/Hr)	100 Year Runoff (cfs)
A-1	1.457	12.00	0.89	0.15	0.19	0.90	0.23	0.30	0.90	0.36	0.47

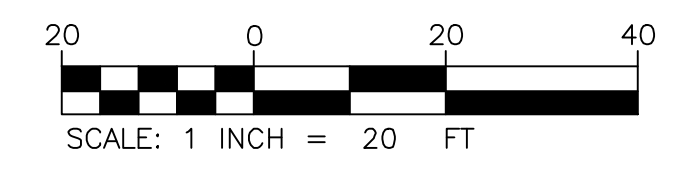
DIFFERENCE IN RUNOFF (EXISTING VS PROPOSED)			
2 Year Runoff (cfs)	10 Year Runoff (cfs)	100 Year Runoff (cfs)	Net Change
0.13	0.13	0.14	Increase

GRADING LEGEND

- PROPOSED BUILDING
- PROPERTY LINE
- STD. 6" CONCRETE CURB
- PROPOSED CONTOUR
- EXISTING CONTOUR
- DIRECTION OF FLOW
- SPOT ELEVATION
- EXISTING GRADE TIE IN
- TOP OF CURB
- BOTTOM OF CURB
- STORM CATCH BASIN
- STORM PIPE

EXISTING LEGEND

- FOUND MONUMENT (AS NOTED)
- TEMPORARY BENCHMARK
- TELEPHONE MANHOLE
- SEWER MANHOLE
- DRAINAGE MANHOLE
- FIRE HYDRANT
- WATER VALVE
- DRAINAGE INLET
- SIGN
- (M) MEASURED/CALCULATED DIMENSION
- (R) RECORD DIMENSION
- N/F NOW OR FORMERLY
- R/W RIGHT-OF-WAY
- TBM TEMPORARY BENCHMARK
- RCP REINFORCED CONCRETE PIPE
- PVC POLYVINYL CHLORIDE PIPE
- BOC BACK OF CURB
- FL FLOW LINE
- EA EDGE OF ASPHALT
- TC TOP OF CONCRETE
- TA TOP OF ASPHALT
- TB TOP OF BANK
- BB BOTTOM OF BANK
- NG NATURAL GROUND
- BUILDING OVERHANG
- CENTERLINE
- UNDERGROUND SEWER LINE
- UNDERGROUND STORM DRAIN LINE
- SUBJECT PROPERTY LINE



GRADING NOTES

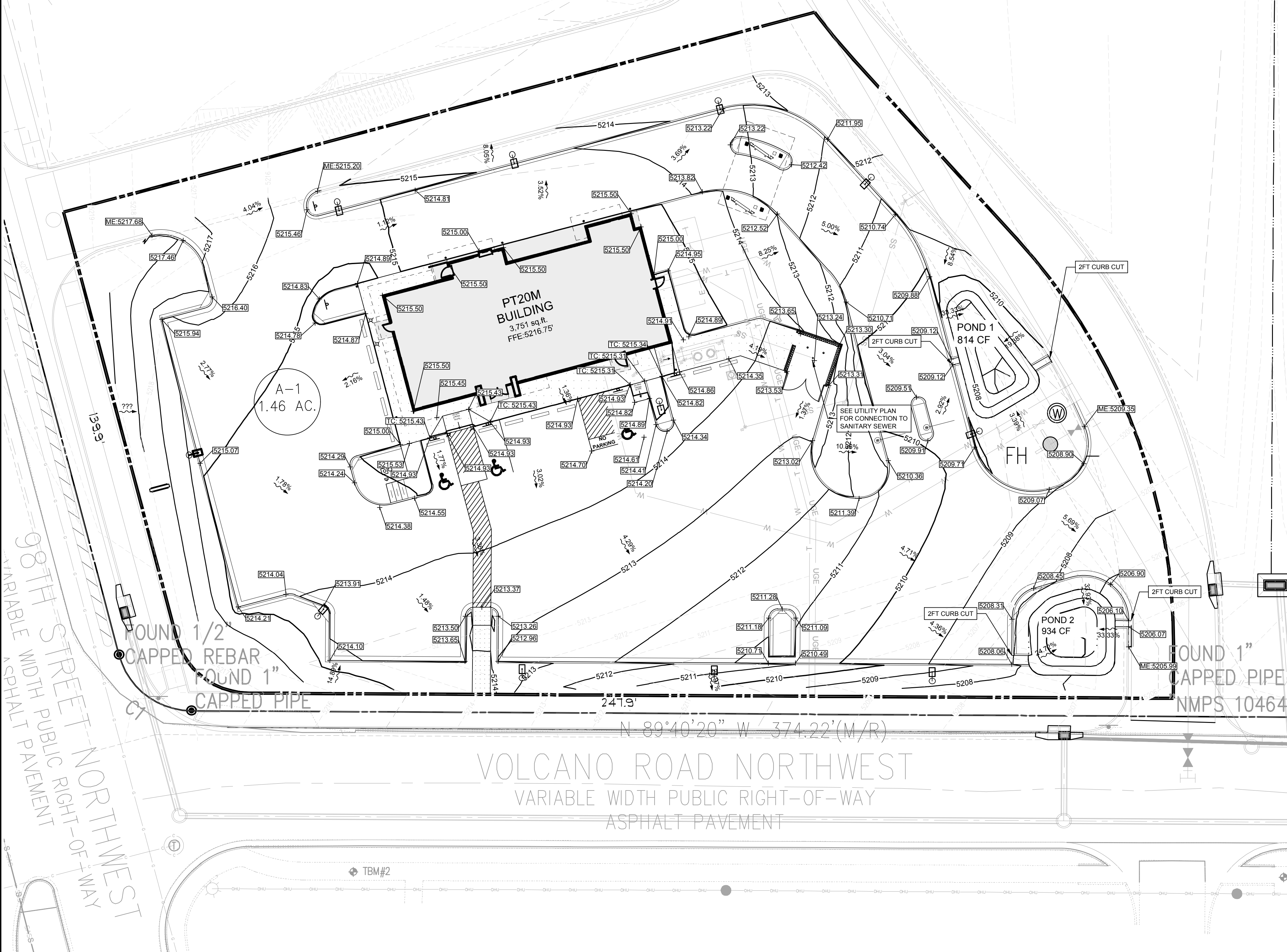
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF ALL EXISTING UTILITIES (ABOVE AND BELOW GROUND) AS SHOWN ON THESE PLANS ARE APPROXIMATE AND WERE LOCATED BASED ON EITHER VISUAL OBSERVATIONS AT THE SITE, EXISTING SURVEYS, AND/OR FROM UTILITY OWNERS. THE OWNER DOES NOT GUARANTEE THAT EXISTING UTILITY LOCATIONS ARE EXACT. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXACT LOCATIONS OF EXISTING UTILITIES (ABOVE AND BELOW GROUND) BEFORE BEGINNING ANY CONSTRUCTION. THE CONTRACTOR SHALL CALL APPROPRIATE UTILITY COMPANIES AND THE UTILITIES PROTECTION CENTER AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY OWNER AND/OR ENGINEER OF ANY UTILITY CONFLICTS WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RING AND COVERS. MANHOLES IN UNPAVED AREAS SHALL BE 6" ABOVE FINISH GRADE. LIDS SHALL BE LABELED "STORM SEWER".
- CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDING AND FOR ALL NATURAL AND PAVED AREAS.
- CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
- CONTRACTOR TO REVIEW GEOTECHNICAL REPORT PROVIDED BY THE OWNER.
- ALL PROPOSED SPOT ELEVATIONS ARE PAVEMENT GRADES, UNLESS OTHERWISE NOTED. TOP OF CURB ELEVATIONS ARE 6 INCH ABOVE ELEVATIONS SHOWN ON THIS PLAN.
- ALL ELEVATIONS PRESENTED IN THESE PLANS ARE RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM OF NAVD 88.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MANAGING CONSTRUCTION ACTIVITIES TO ENSURE THAT PUBLIC STREETS AND RIGHT-OF-WAYS ARE KEPT CLEAR OF MUD, DUST OR DEBRIS. DUST ABATEMENT SHALL BE MAINTAINED BY ADEQUATE WATERING OF THE SITE BY THE CONTRACTOR.
- CLEAR AND GRUB WITHIN WORK LIMITS FOR ALL SURFACE VEGETATION, TREES, STUMPS, BRUSH, ROOTS, ETC. DO NOT DAMAGE OR REMOVE TREES EXCEPT AS APPROVED BY THE ENGINEER OR AS SHOWN ON THE DRAWINGS. PROTECT ALL ROOTS TWO INCHES IN DIAMETER OR LARGER.
- STRIKING LIMITS: REMOVING ALL ORGANIC MATTER WHICH CANNOT BE COMPACTED INTO A STABLE MASS, ALL TRESS, BRUSH, AND DEBRIS ASSOCIATED WITH CLEARING, STRIPPING OR GRADING SHALL BE REMOVED AND DISPOSED OFF SITE BY THE CONTRACTOR.
- UNLESS OTHERWISE SHOWN ON THE DRAWINGS, STRAIGHT GRADES SHALL BE RUN BETWEEN ALL FINISH GRADE ELEVATIONS AND/OR FINISH CONTOUR LINES. FINISH PAVEMENT GRADES AT TRANSITION TO EXISTING PAVEMENT SHALL MATCH EXISTING PAVEMENT GRADES OR SHALL BE FEATHERED PAST JOINTS WITH EXISTING PAVEMENT AS REQUIRED TO PROVIDE A SMOOTH, FREE DRAINAGE SURFACE.
- ALL EXISTING AND CONSTRUCTED MANHOLES, CLEANOUTS, MONUMENTS, GAS VALVES, WATER VALVES, AND SIMILAR STRUCTURES SHALL BE ADJUSTED TO MATCH FINISH GRADE OF THE PAVEMENT SIDEWALK, LANDSCAPED AREA, OR MEDIAN STRIP WHEREIN THEY LIE.

ADA NOTES

- THE DESIGN PROFESSIONAL SIGNING THIS DOCUMENT REPRESENTS THAT TO THE BEST OF HIS/HER PROFESSIONAL JUDGEMENT, KNOWLEDGE, AND BELIEF THE DESIGN SPECIFICATIONS HEREIN COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (ADA).
- ALL GRADES/SLOPES SHOWN ON THIS PLAN WERE DESIGNED AT OR BELOW MAXIMUMS ALLOWED BY THE AMERICANS WITH DISABILITIES ACT (ADA). IT IS THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE THEMSELVES WITH THE AMERICANS WITH DISABILITIES ACT (ADA) ACCESSIBILITY GUIDELINES, AND THE ADA DESIGN MANUAL. IN THE EVENT THAT A DESIGN QUESTION SHOULD ARISE, OR A FIELD CONDITION PRESENT ITSELF THAT IS DIFFERENT FROM THOSE SHOWN ON THESE PLANS, WORK SHOULD CEASE AND THE ENGINEER SHOULD BE NOTIFIED SO THAT AN ACCEPTABLE SOLUTION CAN BE DETERMINED.
- THE CONTRACTOR IS ADVISED TO CAREFULLY CHECK ALL THE PHASES OF WORK RELATING TO ADA ACCESSIBILITY FOR THIS PROJECT. SINCE THE CODE DOES NOT ALLOW FOR CONSTRUCTION TOLERANCE, ANY CONSTRUCTION THAT EXCEEDS MAXIMUM OR MINIMUM DIMENSIONS AND SLOPES AS REQUIRED BY ADA ARE SUBJECT TO REJECTION AND MAY BE REQUIRED TO BE REMOVED AND REPLACED AT THE CONTRACTOR'S EXPENSE.
- SINCE THE CIVIL ENGINEER OR SURVEYOR CANNOT CONTROL THE EXACT METHODS OR MEANS USED BY THE GENERAL CONTRACTOR OR THEIR SUBCONTRACTORS DURING GRADING AND CONSTRUCTION OF THE PROJECT, THE CIVIL ENGINEER OR SURVEYOR ASSUMES NO RESPONSIBILITY FOR THE FINAL ACCEPTANCE OF AMERICANS WITH DISABILITIES ACT ACCESSIBILITY RELATED ITEMS BY THE CITY, ANY OTHER AUTHORITY, OR AFFECTED PARTIES.

FEMA FLOOD NOTE

THIS PROPERTY IS IN ZONE "X" OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 35001C0328J, WHICH BEARS AN EFFECTIVE DATE OF 11/04/2016 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.



STORMWATER QUALITY VOLUME AND DETENTION

SITE AREA TOTAL: 63,496 SF (1.457 AC)
 IMPERVIOUS AREA: 47,927 SF (1.100 AC)
 PERVIOUS AREA OPEN SPACE: 15,569 SF (0.357 AC)

STORMWATER QUALITY VOLUME (SWQV) REQUIRED:
 SWQV = 0.42 INCHES PER SQUARE FOOT IMPERVIOUS AREA
 SWQV = (0.42 x 47,927) / 12
 SWQV = 1,677 CF

STORMWATER QUALITY VOLUME (SWQV) PROVIDED
 SWQV PROVIDED POND 1 = 814 CF
 SWQV PROVIDED POND 2 = 934 CF
 TOTAL SWQV PROVIDED = 1,748 CF

POND 1 CURB CUT WEIR CALCULATIONS

$Q = CLH^{3/2}$
 $L = Q / CH^{3/2}$
 $L = 0.47 / (2.7 \times 0.5^{3/2})$
 $L = 0.5 FT$
 CURB CUT PROVIDED 2FT

POND 2 CURB CUT WEIR CALCULATIONS

$Q = CLH^{3/2}$
 $L = Q / CH^{3/2}$
 $L = 0.47 / (2.7 \times 0.5^{3/2})$
 $L = 0.5 FT$
 CURB CUT PROVIDED 2FT

BENCHMARKS

TBM #1	TBM - SET CHISELED X (1483393.40, 1493191.03)	ELEV: 5205.67'
TBM #2	TBM - SET CHISELED X (1483395.13, 1492861.32)	ELEV: 5215.90'

TBM #1
 SET CHISELED X
 NORTHING: 1483393.40
 EASTING: 1493191.03
 ELEVATION: 5205.67'

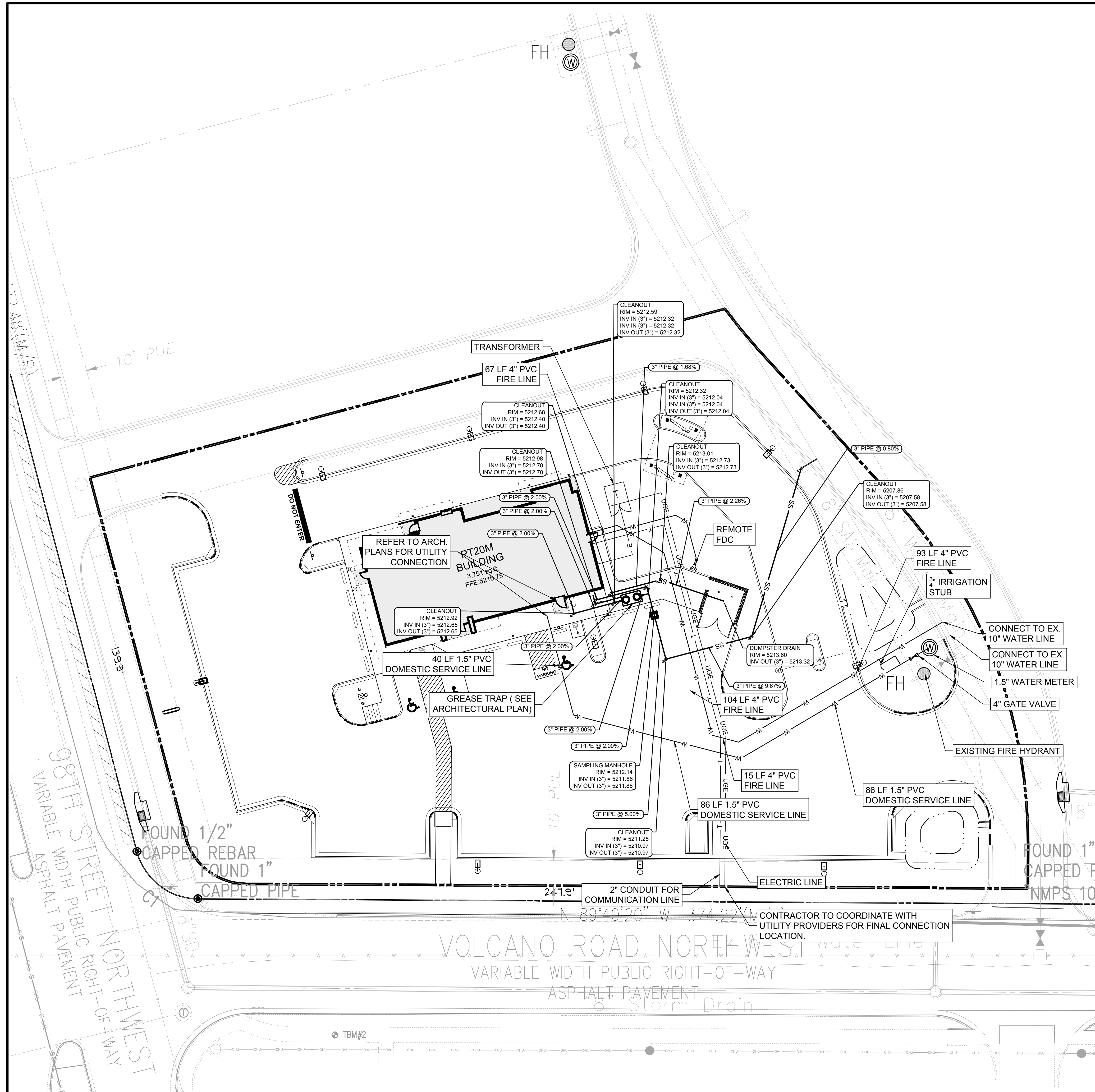
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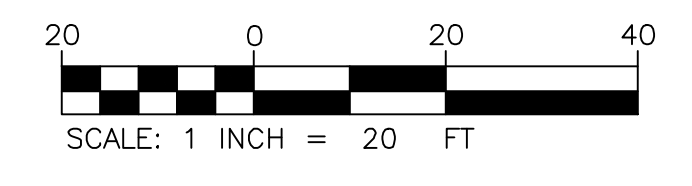
GRADING & DRAINAGE PLAN
WHATABURGER
 NEC 98TH ST. & VOLCANO RD.
 ALBUQUERQUE, NM 87124

Professional Engineer
 25552
 2/23/2022

DESIGN	DRAWN	CHKD
BB	BB	KAN
JOB No. 070426-01-001		
SHEET		
C4.0		



- UTILITY LEGEND**
- PROPERTY LINE
 - WATER LINE
 - SANITARY LINE
 - ELECTRIC LINE
 - GAS LINE
 - FIRE HYDRANT
 - WATER METER
 - GATE VALVE
 - CLEANOUT
 - LIGHT POLE
 - TRANSFORMER



- EXISTING LEGEND**
- FOUND MONUMENT (AS NOTED)
 - TEMPORARY BENCHMARK
 - TELEPHONE MANHOLE
 - SEWER MANHOLE
 - DRAINAGE MANHOLE
 - FIRE HYDRANT
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 - BUILDING OVERHANG
 - CENTERLINE
 - UNDERGROUND SEWER LINE
 - UNDERGROUND STORM DRAIN LINE
 - SUBJECT PROPERTY LINE

- UTILITY NOTES**
1. CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND IS RESPONSIBLE TO REPAIR ANY DAMAGE TO EXISTING UTILITIES DURING CONSTRUCTION AT NO COST TO THE OWNER.
 2. ALL UTILITIES ARE SHOWN FROM INFORMATION GATHERED AND SHOULD NOT BE USED AS EXACT. CONTRACTOR SHALL VERIFY EXACT DEPTHS AND LOCATIONS PRIOR TO UTILITY INSTALLATION AND NOTIFY THE ENGINEER OF RECORD IF THERE ARE ANY DEVIATIONS FROM WHAT IS SHOWN ON PLANS.
 3. CONTRACTOR SHALL CONTACT THE APPROPRIATE UTILITY COMPANY FOR INSTALLATION AND SPECIFICATION REQUIREMENTS.
 4. ALL PIPE MATERIALS SHALL COMPLY WITH LOCAL REGULATIONS.
 5. ALL TRENCHING AND BEDDING SHALL BE PER THE UTILITY TRENCH AND BEDDING DETAIL.
 6. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR ALL BUILDING UTILITY TIE INS.
 7. THE CONTRACTOR IS TO FIELD VERIFY THE EXACT LOCATIONS AND DEPTHS OF UTILITY LINES.
 8. ALL CERTIFICATES AND SHOP DRAWINGS MUST BE SUBMITTED, REVIEWED, AND APPROVED PRIOR TO STARTING CONSTRUCTION.
 9. CONTRACTOR TO PROVIDE AS-BUILTS OF ALL IMPROVEMENTS TO THE SITE. AS-BUILTS TO INCLUDE HORIZONTAL AND VERTICAL LOCATIONS OF ALL UNDERGROUND UTILITIES INCLUDING, BUT NOT LIMITED TO, PIPES, FITTINGS, STRUCTURES, AND OTHER APPURTENANCES. ELEVATIONS OF PIPES AT CROSSING POINTS MUST BE SUFFICIENT TO IDENTIFY MINIMUM SEPARATION OF UTILITIES AS DEFINED BY ENGINEER. IN ADDITION TO THE AFOREMENTIONED CRITERIA, AS-BUILTS MUST MEET ALL LOCAL AND JURISDICTIONAL REQUIREMENTS FOR CERTIFICATION OF CONSTRUCT.
 10. UNDERGROUND UTILITIES TO BE FIELD VERIFIED IN RIGHT-OF-WAY WORK WITH EXISTING UTILITIES.
 11. UTILITY CONNECTIONS ARE SHOWN TO WITHIN 5 FEET OF THE BUILDING. CONTRACTOR TO REFER TO BUILDING PLANS FOR EXACT CONNECTION POINTS ON BUILDING AND VERIFY THAT THERE ARE NO CONFLICTS PRIOR TO START OF CONSTRUCTION.

BENCHMARKS

TBM #1	TBM - SET CHISELED X (1483393.40, 1493191.03)	ELEV: 5205.67'
TBM #2	TBM - SET CHISELED X (1483395.13, 1492861.32)	ELEV: 5215.90'

TBM#1
SET CHISELED X
NORTHING: 1483393.40
EASTING: 1493191.03
ELEVATION: 5205.67'



THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTORS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

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REVISION	DESCRIPTION	DATE
1		

UTILITY PLAN
WHATABURGER
NEC 98TH ST. & VOLCANO RD.
ALBUQUERQUE, NM 87124

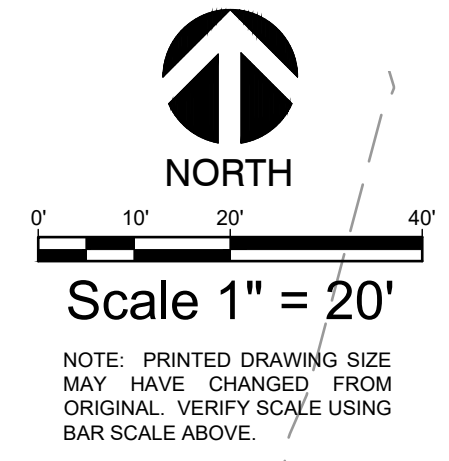
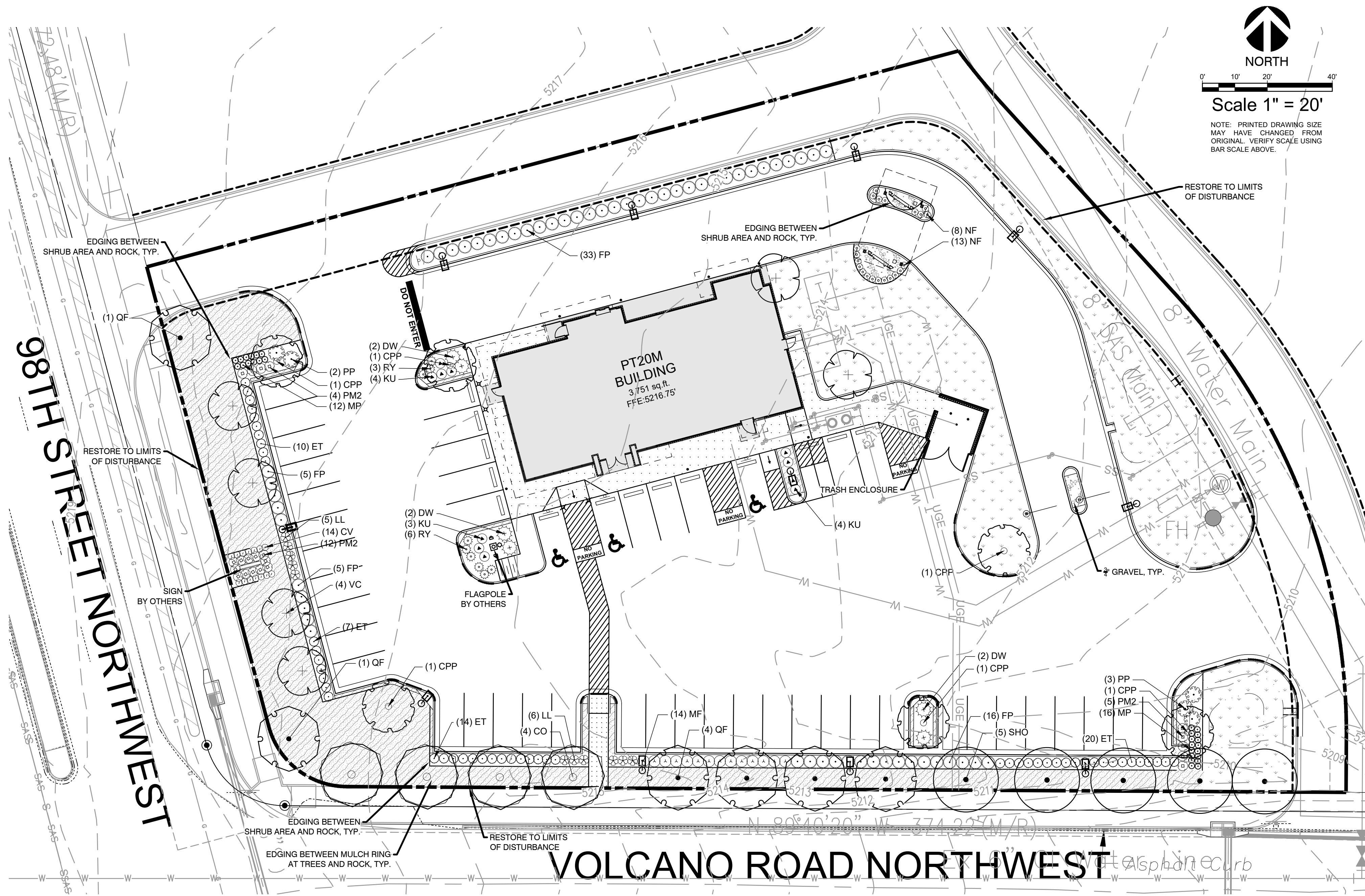
CONTRACTOR MUST REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS AND LOCATIONS OF ALL OUTSIDE DOORS AND BUILDING UTILITIES.

CONTRACTOR MUST COORDINATE ALL UTILITY CONNECTIONS SUCH AS ELECTRIC, GAS CABLE, TELEPHONE, WATER, SANITARY SEWER, STORM DRAINAGE WITH UTILITY PROVIDERS.

[Signature]
2/23/2022

DESIGN	DRAWN	CHKD
BB	BB	KAN
JOB No. 070426-01-001		
SHEET		
C6.0		

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PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE
	CPP	6	PISTACEA CHINESE CHINESE PISTACHE	CONT.	3" CAL	MIN. 12' HT.
	QF	6	QUERCUS FUSIFORMIS ESCAPMENT LIVE OAK EVERGREEN	CONT.	3" CAL MIN	12' HT MIN
	CO	4	QUERCUS MUEHLENBERGII CHINKAPIIN OAK	CONT.	3" CAL	MIN. 12' HT.
	SHO	5	QUERCUS SHUMARDII SHUMARD RED OAK	CONT.	3" CAL MIN	10' HT MIN
	VC	6	VITEX AGNUS-CASTUS CHASTE TREE	CONT.	3" CAL	10-12' HT.
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SPACING	
	CV	14	COREOPSIS VERTICILLATA 'MOONBEAM' MOONBEAM TICKSEED	1 GAL	24" OC	
	DW	6	DASYLIRION WHEELERI GREY DESERT SPOON	5 GAL	SEE PLAN	
	ET	51	ERICAMERIA LARICIFOLIA TURPENTINE BUSH	5 GAL	36" OC	
	FP	59	FALLUGIA PARADOXA APACHE PLUME	5 GAL	48" OC	
	RY	9	HESPERALOE PARVIFLORA RED YUCCA	5 GAL	30" OC	
	KU	11	KNIPHOFIA UVARIA RED HOT POKER	3 GAL	36" OC	
	LL	11	LEUCOPHYLLUM LANGMANIAE 'LYNN'S LEGACY' LYNN'S LEGACY LANGMAN'S SAGE	5 GAL	36" OC	
	MF	14	MAHONIA FREMONTII DESERT MAHONIA	5 GAL	42" OC	
	NF	21	NEPETA X FAASSENI CATMINT	1 GAL	24" OC	
	PM2	21	POTENTILLA FRUTICOSA 'MANGO TANGO' MANGO TANGO BUSH CINQUEFOIL	5 GAL	36" OC	
GROUND COVER	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SPACING	
	PP	5	PRUNUS BESSEYI 'P011S' TM PAWNEE BUTTES SAND CHERRY	3 GAL	60" OC	
ORNAMENTAL GRASSES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SPACING	
	MP	28	MUHLENBERGIA X 'PINK FLAMINGO' PINK FLAMINGO MUHLY	1 GAL	24" OC	
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SPACING	
	DGG2	177 SF	3/4" GRAVEL COLOR: GREY TO MATCH EXISTING			
	BUF	7,225 SF	BUCHLOE DACTYLOIDES '609' BUFFALO GRASS	CURTIS AND CURTIS SEED 4500 N Prince Street Clovis, NM 88101, USA	(877) 907-1806 seed@curtisseed.com	
	DGG	5,470 SF	DECOMPOSED GRANITE GRAVEL COLOR: GRAY TO MATCH EXISTING			

NOTE: ALL TREES SHALL BE CONTAINER-GROWN, CONTAINER SIZE AS APPROPRIATE FOR THE CALIPER SPECIFIED. SEE SPECIFICATIONS FOR PROPER ROOT QUALITY.

GENERAL PLANTING NOTES

- BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ, AND WILL COMPLY WITH, THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT, INCLUDING ALL APPLICABLE JURISDICTION REQUIREMENTS.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED SITE ELEMENTS AND NOTIFY THE OWNER OF ANY DISCREPANCIES.
- THE CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES AND NOTIFY OWNER OF ANY CONFLICTS. UTILITY LOCATIONS SHOWN ARE APPROXIMATE AND THE DESIGNER DOES NOT GUARANTEE THAT LOCATIONS SHOWN ARE EXACT. CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING IN THE VICINITY OF UNDERGROUND UTILITIES.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN).
- ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE OWNER OR OWNER'S REPRESENTATIVE PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E., MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).
 - THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES; PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUND COVER PATTERNS) SHALL TAKE PRECEDENCE.
 - NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT. IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE OWNER OR OWNER'S REPRESENTATIVE IN WRITING (VIA PROPER CHANNELS).
 - THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE OWNER OR OWNER'S REPRESENTATIVE TO INSPECT AND APPROVE OR REJECT, ALL PLANTS DELIVERED TO THE JOBSITE. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS FOR SUBMITTALS.
- THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 90 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.
- PROVIDE AND INSTALL BUFFALO GRASS IN ALL DISTURBED AREAS OUTSIDE OF PROPERTY LIMITS.
- SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

MULCHES

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" LAYER OF DOUBLE SHREDDED HARDWOOD MULCH, NATURAL (UNDYED), IN ALL PLANTING AREAS (EXCEPT FOR TURF AREAS). ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

BUFFALO GRASS INSTALLATION

CONTRACTOR SHALL VERIFY WITH THE SOD SUPPLIER THE WATERING SCHEDULE FOR NEWLY INSTALLED BUFFALOGRASS SOD. THE CONTRACTOR SHALL REPLACE ANY SECTIONS OF SOD, AT NO CHARGE TO THE PROPERTY OWNER, WHICH FAIL TO THRIVE DUE TO IMPROPER WATERING.

IRRIGATION CONCEPT

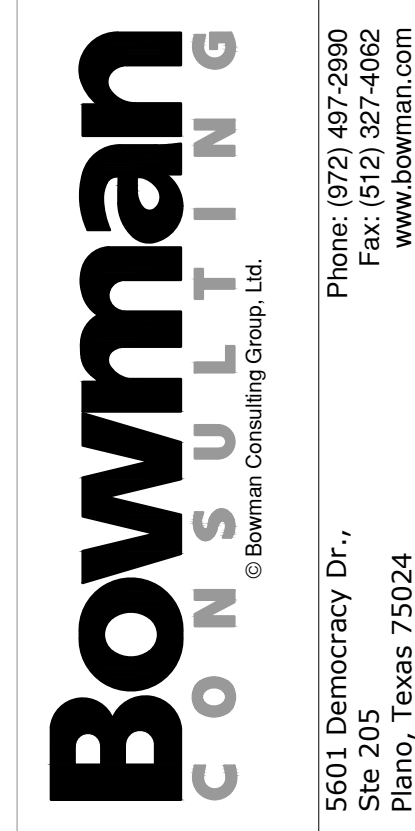
- AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A LICENSED AND QUALIFIED IRRIGATION CONTRACTOR.
- THE IRRIGATION SYSTEM WILL OPERATE ON POTABLE WATER, AND THE SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE POTABLE SOURCE.
- ALL NON-TURF PLANTED AREAS SHALL BE DRIP IRRIGATED. SODDED AND SEEDDED AREAS SHALL BE IRRIGATED WITH SPRAY OR ROTOR HEADS AT 100% HEAD-TO-HEAD COVERAGE.
- ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
- THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.

LANDSCAPE CALCULATIONS

NET SITE AREA:	63,496 SF
LANDSCAPE AREA REQUIRED:	9,524 SF (15% OF SITE AREA)
LANDSCAPE AREA PROVIDED:	15,616 SF (24.6% OF SITE AREA)
STREET FRONTAGE LANDSCAPING	
FRONTAGE LENGTH - 98th STREET:	146 LF
STREET TREES REQUIRED:	6 TREES (1 PER 25 LF OF FRONTAGE)
STREET TREES PROVIDED:	6 TREES
FRONTAGE LENGTH - VOLCANO RD:	307 LF
STREET TREES REQUIRED:	13 TREES (1 PER 25 LF OF FRONTAGE)
STREET TREES PROVIDED:	13 TREES
PARKING LOT LANDSCAPING	
PARKING LOT AREA:	19,686 SF
LANDSCAPE AREA REQUIRED:	1,969 SF (10% OF PARKING AREA)
LANDSCAPE AREA PROVIDED:	2,643 SF (13.4% OF PARKING AREA)
TOTAL PARKING SPACES:	52 SPACES
TREES REQUIRED:	6 TREES (1 TREE PER 10 SPACES)
TREES PROVIDED:	6 TREES
FRONT LOT EDGE BUFFER:	
SHRUBS REQUIRED:	CONTINUOUS EVERGREEN HEDGE AS REQUIRED
SHRUBS PROVIDED:	
SIDE LOT EDGE BUFFER (VOLCANO ROAD):	
SHRUBS REQUIRED:	54 (6 PER 25 LF)
SHRUBS PROVIDED:	78 SHRUBS
TOTAL LANDSCAPE AREA:	15,616 SF
MINIMUM REQUIRED COVERAGE:	11,712 SF (75% OF LANDSCAPE AREA)
COVERAGE PROVIDED OVERALL:	11,714 SF (75.0%)



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REVISION	DATE	DESCRIPTION
1		

LANDSCAPE PLAN

WHATABURGER

NEC 98TH ST. & VOLCANO RD.

ALBUQUERQUE, NM 87124

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03/11/2022

DESIGN	DRAWN	CHKD
EMS/MB	EMS	MB

JOB No. 070426-01-001

SHEET
LP-1



Site Plan Traffic Flow- Unit 1265

Process Flow of Cars From Menuboard



Date 1-10-22

Site Plan Traffic Flow- Unit 1265 Preliminary Brief

Drive Thru Menu Board Queue Simulation Analysis



Given:

- Unit 1265
 - 2 Menu Board
 - 5 car stack per menu board

Find:

- Any occurrence with potential to impede traffic flow

Analysis Assumptions:

- Queue not to exceed 5 cars stack at each menu board.
- At the 6th car past menu board traffic management must be implemented
- Customer arrivals of 19-24 per hour with varied order sizes

Result:

- With high arrival of customers to the drive thru menu boards, an over stack condition of 6 cars or more will be encountered approximately 1 time within a busy lunch period. At this point traffic management must be deployed.

Total through-put:

Analysis:

Simulation queueing analysis was conducted for unit 1265 site plan to determine traffic flow requirements as to not impede, restrict, or otherwise block any major roadway, share access point, or egress route originating from the intersection of Whataburger's drive thru vehicle stack.

The assumptions of the analysis are:

- 5 car stack per menu board
- 6th car requires traffic management to be directed to main ingress and/or circling of the building to join the menu board queue
- Customer arrivals based on moderate-high to high arrivals to the menu board queue varying from 19-24 cars per hour with varied order sizes from 1 to 8 entrees per order
- Menu board order time is averaged to 45 seconds to place orders with similar times assigned to additional customer touch points along the drive thru (window 1, window 2, Expo)

Impacts/Adjustments

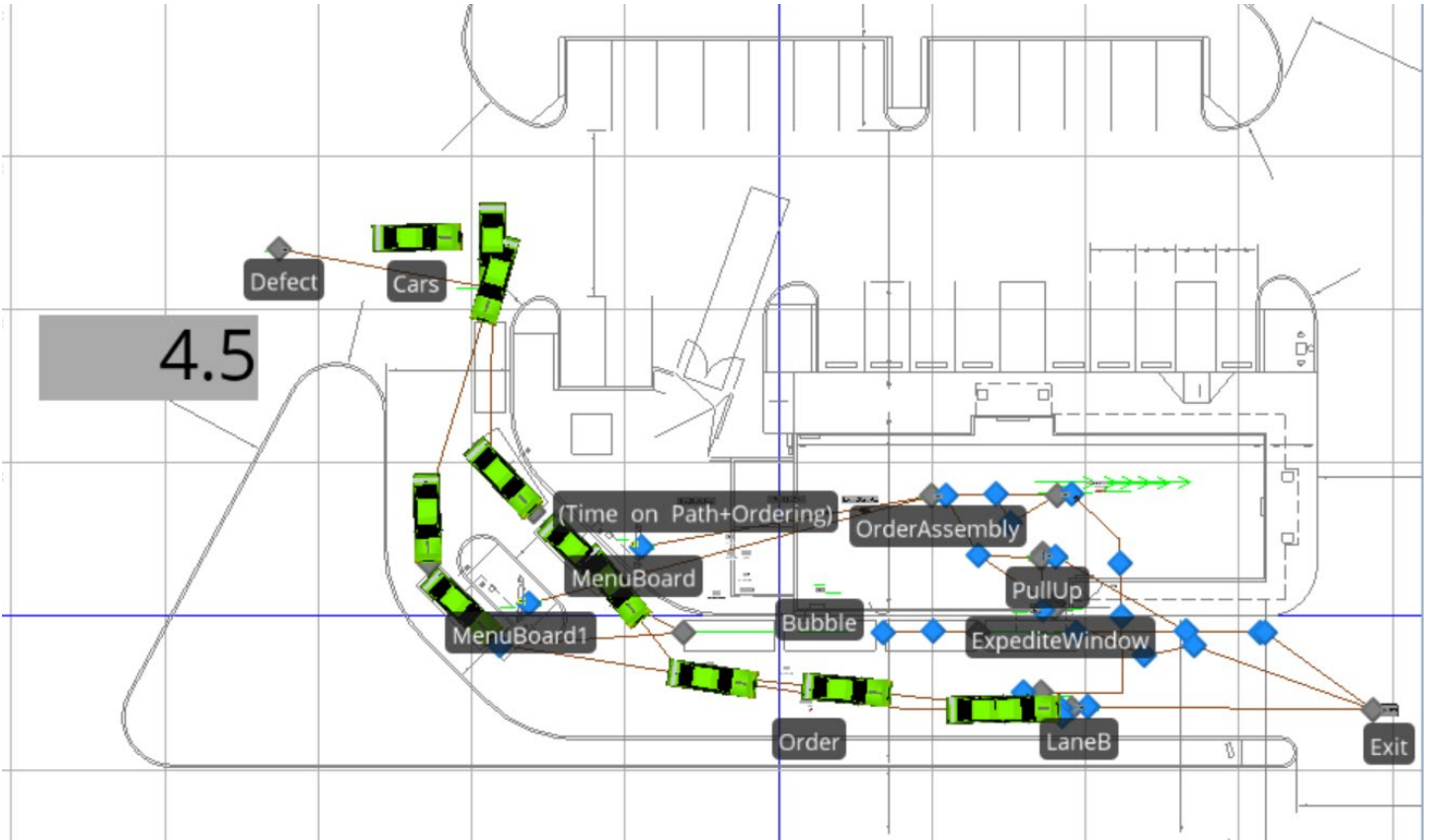
- Within a busy hour the drive thru stack to each menu board may exceed the 5 car drive stack approximately 5 times within that given hour.
- The occurrence can be mitigated by managing the queue to circle around the building to avoid traffic congestion.

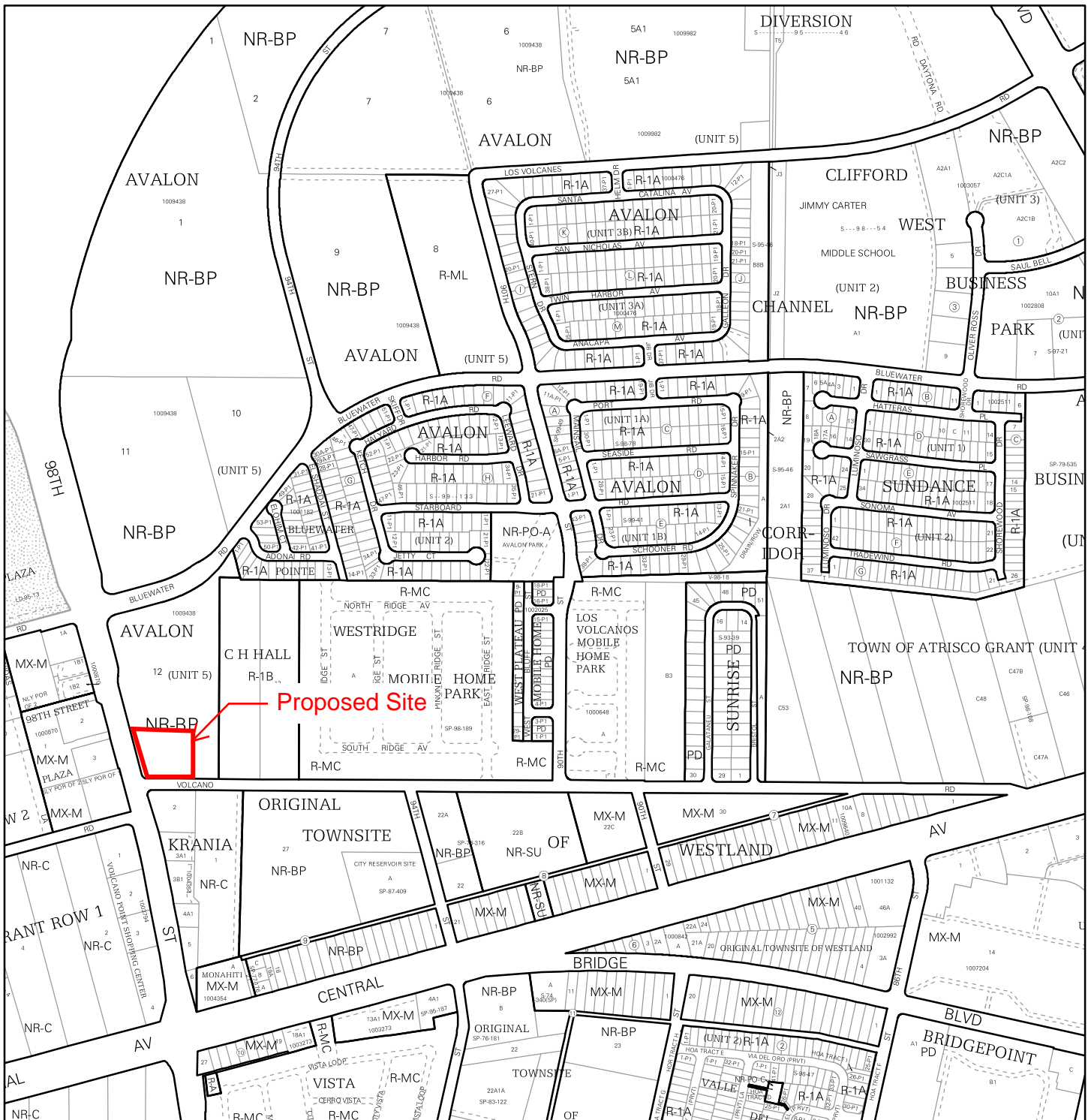
Mitigation Plan

- Each unit will have a traffic flow plan during new unit openings.
- Security and local police will be notified and dispatched to site when needed.
- In an effort to notify the public of excessive traffic at the new units and to minimize the occurrence of high traffic, the local media is given a copy of the traffic flow plan to communicate and disperse effectively.



Date 1-10-22






For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

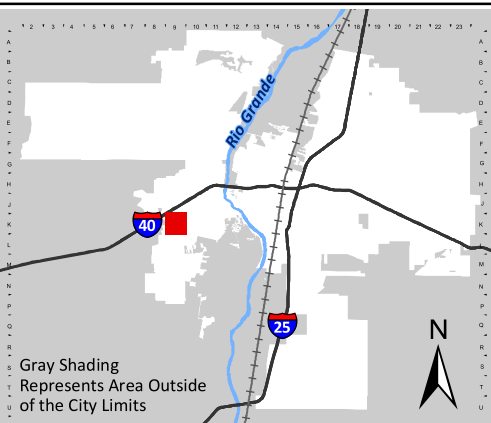
IDO Zone Atlas

May 2018



Albuquerque Geographic Information System

IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones are established by the Integrated Development Ordinance (IDO).



Gray Shading Represents Area Outside of the City Limits

Zone Atlas Page:
K-09-Z

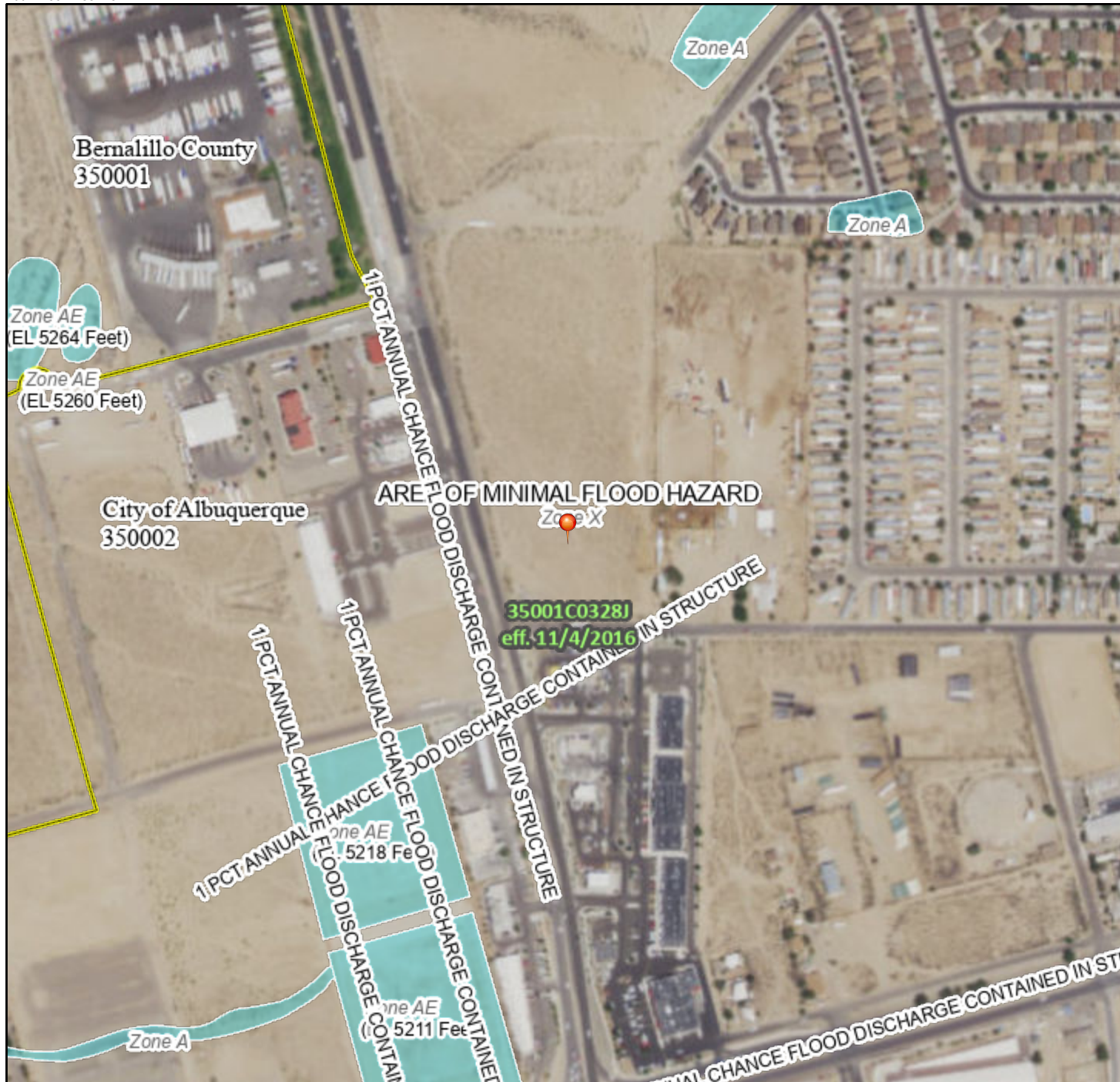
- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

0 250 500 1,000 Feet

National Flood Hazard Layer FIRMMette



106°44'53"W 35°4'52"N



Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS	Without Base Flood Elevation (BFE) Zone A, V, A99	With BFE or Depth Zone AE, AO, AH, VE, AR	Regulatory Floodway

OTHER AREAS OF FLOOD HAZARD	0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X	Future Conditions 1% Annual Chance Flood Hazard Zone X	Area with Reduced Flood Risk due to Levee. See Notes. Zone X	Area with Flood Risk due to Levee Zone D

OTHER AREAS	NO SCREEN Area of Minimal Flood Hazard Zone X	Effective LOMRs	Area of Undetermined Flood Hazard Zone D

GENERAL STRUCTURES	Channel, Culvert, or Storm Sewer	Levee, Dike, or Floodwall

OTHER FEATURES	Cross Sections with 1% Annual Chance Water Surface Elevation	Coastal Transect	Base Flood Elevation Line (BFE)	Limit of Study	Jurisdiction Boundary	Coastal Transect Baseline	Profile Baseline	Hydrographic Feature

MAP PANELS	Digital Data Available	No Digital Data Available	Unmapped



The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 4/21/2021 at 5:31 PM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.