



Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application. Please note that these applications are not reviewed in a public meeting.

SUBDIVISIONS	MISCELLANEOUS APPLICATIONS
<input type="checkbox"/> Major – Preliminary Plat (Forms PLT & S1)	<input type="checkbox"/> Sidewalk Waiver (Form V2)
<input type="checkbox"/> Major – Bulk Land Plat (Forms PLT & S1)	<input type="checkbox"/> Waiver to IDO (Form V2)
<input type="checkbox"/> Extension of Preliminary Plat (Form S1)	<input type="checkbox"/> Waiver to DPM (Form V2)
<input type="checkbox"/> Minor Amendment - Preliminary Plat (Forms PLT & S2)	<input type="checkbox"/> Vacation of Public Right-of-way (Form V)
<input type="checkbox"/> Minor - Final Plat (Forms PLT & S2)	<input type="checkbox"/> Vacation of Public Easement(s) DHO (Form V)
<input type="checkbox"/> Minor – Preliminary/Final Plat (Forms PLT & S2)	<input type="checkbox"/> Vacation of Private Easement(s) (Form V)
	APPEAL
	<input type="checkbox"/> Decision of DHO (Form A)

BRIEF DESCRIPTION OF REQUEST

APPLICATION INFORMATION		
Applicant/Owner:	Phone:	
Address:	Email:	
City:	State:	Zip:
Professional/Agent (if any):	Phone:	
Address:	Email:	
City:	State:	Zip:
Proprietary Interest in Site:	List <u>all</u> owners:	

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)		
Lot or Tract No.:	Block:	Unit:
Subdivision/Addition:	MRGCD Map No.:	UPC Code:
Zone Atlas Page(s):	Existing Zoning:	Proposed Zoning
# of Existing Lots:	# of Proposed Lots:	Total Area of Site (Acres):

LOCATION OF PROPERTY BY STREETS		
Site Address/Street:	Between:	and:

CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

Signature:	Date:
Printed Name:	<input type="checkbox"/> Applicant or <input type="checkbox"/> Agent

FINAL PLAT DOCUMENTATION

**FORM S2
FORM PLT
ZONE ATLAS MAP
PROPOSED FINAL PLAT
GRADING & DRAINAGE PLAN
RECORDED IIA**

FORM S2: SUBDIVISION OF LAND – MINOR ACTIONS

Please refer to the DHO public meeting schedule for meeting dates and deadlines. Your attendance is required.

_ MAJOR SUBDIVISION FINAL PLAT APPROVAL

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. *The PDF shall be organized in the number order below.* Divide the PDF with a title sheet for each of the two documentation sections in **bold** below.

PLAT DOCUMENTATION

- ___ 1) DHO Application form completed, signed, and dated
- ___ 2) Form S2 with all the submittal items checked/marked
- ___ 3) Form PLT with signatures from Hydrology, Transportation, and ABCWUA
- ___ 4) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 5) Proposed Final Plat with the surveyor's, property owner's, City Surveyor's, utility, and AMAFCA signatures on the Plat.
- ___ 6) Design elevations & cross sections of perimeter walls **see approved Grading & Drainage Plan**
- ___ 7) Recorded Infrastructure Improvements Agreement

SUPPORTIVE DOCUMENTATION

- ___ 8) Letter of authorization from the property owner if application is submitted by an agent
- ___ 9) Letter describing and explaining the request
- ___ 10) Landfill disclosure and EHD signature line on the Plat if property is within a landfill buffer
- ___ 11) Interpreter Needed for Hearing? ___ if yes, indicate language: ___

_ SUBDIVISION OF LAND – MINOR (PRELIMINARY/FINAL PLAT APPROVAL)

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. The PDF shall be organized in the number order below. Divide the PDF with a title sheet for each of the three documentation sections in **bold** below.

PLAT DOCUMENTATION

- ___ 1) DHO Application form completed, signed, and dated
- ___ 2) Form S2 with all the submittal items checked/marked
- ___ 3) Form PLT with signatures from Hydrology, Transportation, and ABCWUA
- ___ 4) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 5) Proposed Preliminary/Final Plat with the surveyor's, property owner's, City Surveyor's, utility, and AMAFCA signatures on the Plat
- ___ 6) Site sketch with measurements showing structures, parking, building setbacks, adjacent rights-of-way, and street improvements (to include sidewalk, curb & gutter with distance to property line noted) if there is any existing land use
- ___ 7) Sidewalk Exhibit and/or cross sections of proposed streets
- ___ 8) Proposed Infrastructure List, if applicable

SUPPORTIVE DOCUMENTATION

- ___ 9) Letter of authorization from the property owner if application is submitted by an agent
- ___ 10) Letter describing, explaining, and justifying the request per the criteria in IDO 14-16-6-6(K)(3)
- ___ 11) Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A)
- ___ 12) Landfill disclosure and EHD signature line on the Plat if property is within a landfill buffer

PUBLIC NOTICE DOCUMENTATION

- ___ 13) Required Content of Notice at Submittal per IDO Section 14-16-6-4(K)(1)
 - ___ Office of Neighborhood Coordination notice inquiry response
 - ___ Completed notification form(s), proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b)
 - ___ Proof of emailed notice to affected Neighborhood Association representatives
- ___ 14) Interpreter Needed for Hearing? ___ if yes, indicate language: ___

_ MINOR AMENDMENT TO PRELIMINARY PLAT

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. The PDF shall be organized in the number order below.

- ___ 1) DHO Application form completed, signed, and dated
- ___ 2) Form S2 with all the submittal items checked/marked
- ___ 3) Form PLT with signatures from Hydrology, Transportation, and ABCWUA
- ___ 4) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 5) Letter of authorization from the property owner if application is submitted by an agent
- ___ 6) Proposed Amended Preliminary Plat and/or Grading and Drainage Plan
- ___ 7) Original Preliminary Plat and/or Grading and Drainage Plan
- ___ 8) Infrastructure List, if applicable
- ___ 9) Interpreter Needed for Hearing? ___ if yes, indicate language: ___

Please refer to the DHO public meeting schedule for meeting dates and deadlines. Your attendance is required.

Legal/Request Descriptions & Location: **Aspire Subdivision**
 south of Amole Mesa Ave SW, north of Colobel Ave. SW and east of 118th St. SW

Aspire Subdivision Minor Preliminary Plat Amendment & Unit 3 Final Plat

Hydrology: **Approved G&D HydroTrans# N08D006F**

- Sensitive Lands Analysis (5-2(C)) _____ Approved _____ NA
- Grading and Drainage Plan _____ Approved _____ NA
- AMAFCA _____ Approved _____ NA
- Bernalillo County _____ Approved _____ NA
- NMDOT _____ Approved _____ NA
- MRGCD _____ Approved _____ NA

 Hydrology Department Date

Transportation:

- Traffic Circulations Layout (TCL) _____ Approved NA
- Traffic Impact Study (TIS) _____ Approved NA
- Neighborhood Impact Analysis (NIA) _____ Approved NA
- Bernalillo County _____ Approved NA
- NMDOT _____ Approved NA

Ernest Armijo

 Transportation Department 4/15/2024
 Date

Albuquerque Bernalillo County Water Utility Authority (ABCWUA): Avail. # 200528

- Availability Statement: _____ Approved _____ NA
- Development Agreement: _____ Approved _____ NA
- If None Explain: _____

 ABCWUA Date

- Infrastructure Improvements Agreement (IIA*) _____ Approved
- AGIS (DXF File**) _____ Approved

Signatures on Plat:

- Owner(s) _____ Yes
- City Surveyor _____ Yes
- AMAFCA*** _____ Yes _____ NA
- NM Gas*** _____ Yes
- PNM *** _____ Yes
- COMCAST*** _____ Yes
- MRGCD*** _____ Yes _____ NA

* Prior to **Final Plat** submittals (include a copy of the recorded IIA)
 ** DXF file required for **Preliminary/Final Plat** and **Final Plat** approval submittals and not required for **Preliminary Plat** application
 *** Signatures required for **Preliminary/Final Plat** and **Final Plat** applications and not required for **Preliminary Plat** application

Please refer to the DHO public meeting schedule for meeting dates and deadlines. Your attendance is required.

Legal/Request Descriptions & Location: Aspire Subdivision
 south of Amole Mesa Ave SW, north of Colobel Ave. SW and east of 118th St. SW

Aspire Subdivision Minor Preliminary Plat Amendment & Unit 3 Final Plat

Hydrology: **Approved G&D HydroTrans# N08D006F**

- Sensitive Lands Analysis (5-2(C)) Approved NA
- Grading and Drainage Plan Approved NA
- AMAFCA Approved NA
- Bernalillo County Approved NA
- NMDOT Approved NA
- MRGCD Approved NA

 4/17/2024
 Hydrology Department Date

Transportation: **Approved Prelim Plat PR-2019-002411**
HydroTrans# N08D006F

- Traffic Circulations Layout (TCL) Approved NA
- Traffic Impact Study (TIS) Approved NA
- Neighborhood Impact Analysis (NIA) Approved NA
- Bernalillo County Approved NA
- NMDOT Approved NA

 Transportation Department Date

Albuquerque Bernalillo County Water Utility Authority (ABCWUA): Avail. # 200528

- Availability Statement: Approved NA
- Development Agreement: Approved NA
- If None Explain: Amendment

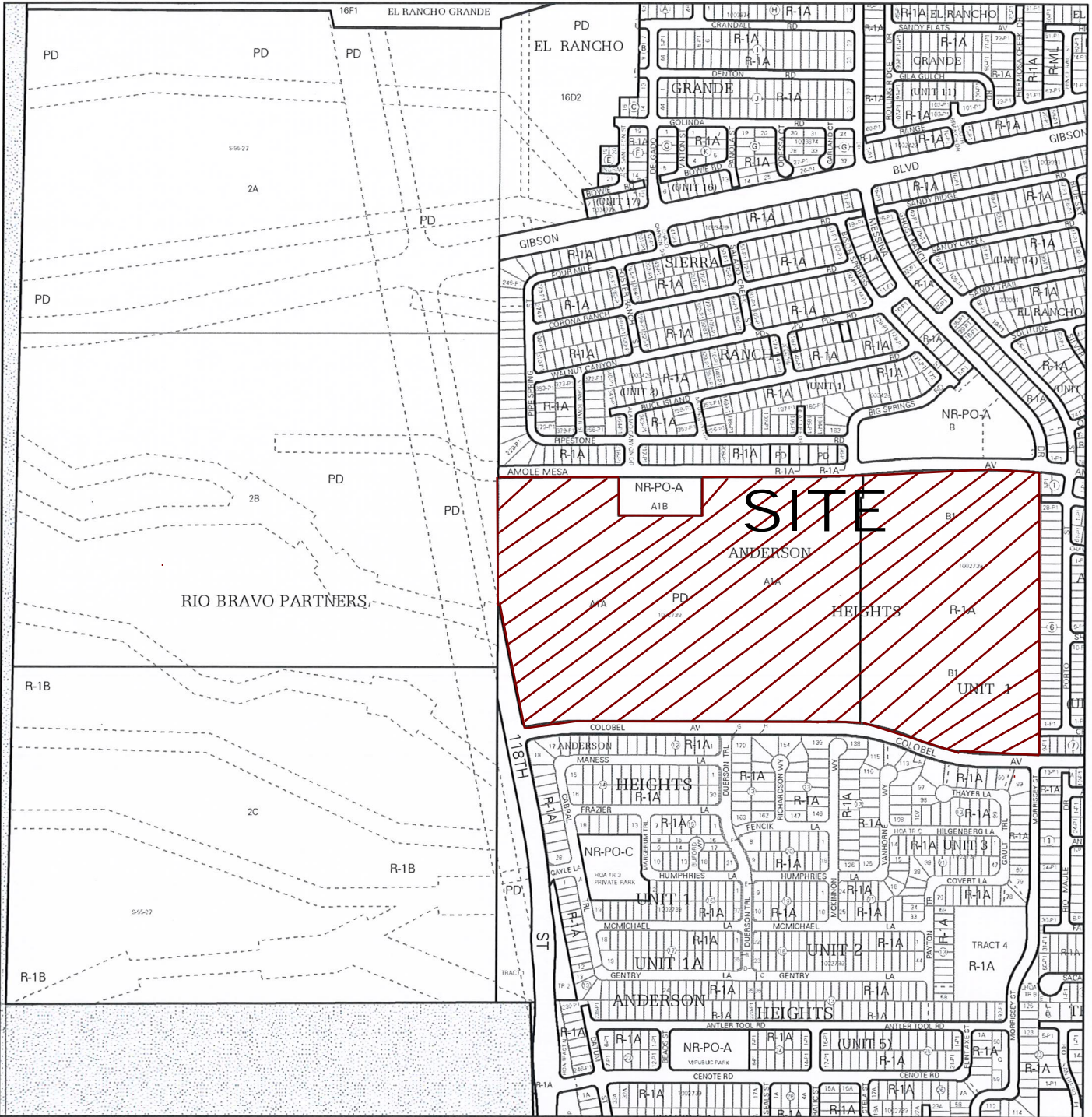
 4/18/2024
 ABCWUA Date

- Infrastructure Improvements Agreement (IIA*) Approved
- AGIS (DXF File**) Approved

Signatures on Plat:


- Owner(s) Yes
- City Surveyor Yes
- AMAFCA*** Yes NA
- NM Gas*** Yes
- PNM *** Yes
- COMCAST*** Yes
- MRGCD*** Yes NA

* Prior to **Final Plat** submittals (include a copy of the recorded IIA)
 ** DXF file required for **Preliminary/Final Plat** and **Final Plat** approval submittals and not required for **Preliminary Plat** application
 *** Signatures required for **Preliminary/Final Plat** and **Final Plat** applications and not required for **Preliminary Plat** application

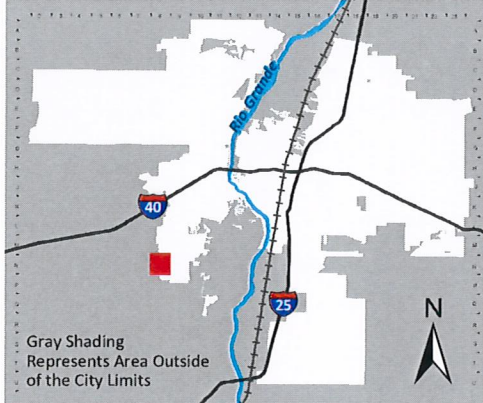


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018



IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones are established by the Integrated Development Ordinance (IDO).

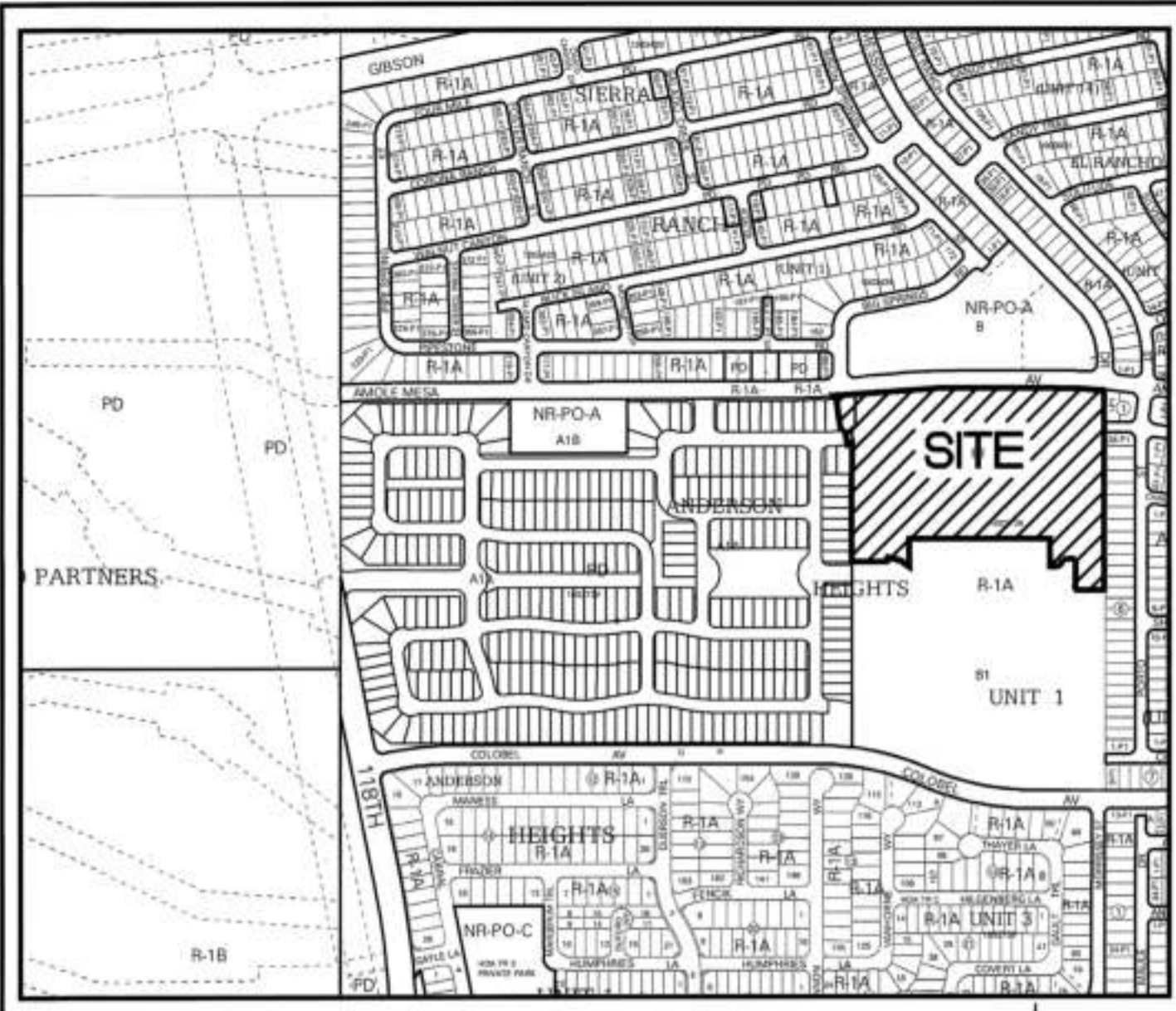


Gray Shading Represents Area Outside of the City Limits

Zone Atlas Page:
N-08-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

0 250 500 1,000 Feet



Vicinity Map - Zone Atlas N-8-Z

Indexing Information

Projected Section 5, Township 9 North, Range 2 East,
 N.M.P.M., Town of Atrisco Grant
 Subdivision: Aspire Subdivision, Unit 1
 Owner: D.R. Horton, Inc.
 UPC #: 100805448526440105 (Tract FD2)
 UPC #: 100805449118540104 (Tract FD3)

Purpose of Plat

1. SUBDIVIDE AS SHOWN HEREON.
2. GRANT EASEMENTS AS SHOWN HEREON.
3. VACATE EASEMENTS AS SHOWN HEREON.

Subdivision Data

GROSS ACREAGE..... .31.1795 ACRES
 ZONE ATLAS PAGE NO..... N-8-Z
 NUMBER OF EXISTING TRACTS..... .2
 NUMBER OF LOTS CREATED..... .83
 NUMBER OF TRACTS CREATED..... .10
 MILES OF FULL-WIDTH STREETS..... .0.499 MILES
 MILES OF HALF-WIDTH STREETS..... .0.000 MILES
 RIGHT-OF-WAY DEDICATION TO THE CITY OF ALBUQUERQUE..... .0.00 ACRES
 DATE OF SURVEY..... FEBRUARY 2024

Notes

1. FIELD SURVEY PERFORMED IN FEBRUARY 2024.
2. ALL DISTANCES ARE GROUND DISTANCES: US SURVEY FOOT.
3. THE BASIS OF BEARINGS REFERENCES NEW MEXICO STATE PLANE COORDINATES (NAD 83-CENTRAL ZONE).
4. MEASURED BEARINGS AND DISTANCES MATCH RECORD INFORMATION EXACTLY, AS SHOWN ON THE PLAT OF RECORD (3/23/2021, 2021C-29).
5. TRACTS A-H SHALL BE CONVEYED TO THE ASPIRE COMMUNITY ASSOCIATION, INC. IN FEE SIMPLE AND SHALL BE MAINTAINED BY THE ASPIRE COMMUNITY ASSOCIATION.
6. THIS PRELIMINARY / FINAL PLAT WAS APPROVED BY THE DEVELOPMENT HEARING OFFICER FOR THE CITY OF ALBUQUERQUE AT A PUBLIC HEARING HELD ON _____, 20____.

Solar Collection Note

NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BUILDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERECTED ON THE LOTS OR PARCELS WITHIN THE AREA OF PROPOSED PLAT, THE FOREGOING REQUIREMENT SHALL BE A CONDITION TO APPROVAL OF THIS PLAT.

Legal Description

TRACTS FD2 AND FD3, ASPIRE SUBDIVISION UNIT 1, AS THE SAME IS SHOWN ON THE SAID PLAT THEREOF, RECORDED IN THE COUNTY CLERK'S OFFICE OF BERNALILLO COUNTY, NEW MEXICO, ON MARCH 23, 2021, IN BOOK 2021C, PAGE 29, AS DOCUMENT NO. 2021034008.

ABCWUA Public Water and Sanitary Sewer Easements

ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY (ABCWUA) IS GRANTED EASEMENT(S) AND/OR USE OF PUBLIC RIGHT-OF-WAY IN THE DIMENSIONS NOTED ON THIS PLAT FOR THE CONSTRUCTION, INSTALLATION, MAINTENANCE, REPAIR, MODIFICATION, REPLACEMENT AND OPERATION OF PUBLIC WATER AND SANITARY SERVICE LINES, EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE SERVICE TOGETHER WITH FREE ACCESS ON AND OVER THE EASEMENT AND/OR PUBLIC RIGHT-OF-WAY AND THE RIGHT TO REMOVE TREES, SHRUBS, UNDERGROWTH AND ANY OTHER OBSTACLES, MODIFICATIONS, OR STRUCTURES WHICH INTERFERE WITH THE OPERATION OF PUBLIC WATER AND/OR PUBLIC SANITARY SEWER INFRASTRUCTURE.

Treasurer's Certificate

THIS IS TO CERTIFY THAT THE TAXES ARE CURRENT AND

PAID ON UPC #: 100805448526440105
 100805449118540104

PROPERTY OWNER OF RECORD

BERNALILLO COUNTY TREASURER'S OFFICE

**Plat for
 Aspire Subdivision Unit 3
 Being Comprised of
 Tracts FD2 and FD3
 Aspire Subdivision, Unit 1
 City of Albuquerque
 Bernalillo County, New Mexico
 March 2024**

Project Number: _____

Application Number: _____

Plat Approvals:

	Mar 22, 2024
PNM Electric Services 	Mar 22, 2024
Qwest Corp. d/b/a CenturyLink QC 	Mar 23, 2024
New Mexico Gas Company 	Mar 25, 2024
Comcast	

City Approvals:

- Traffic Engineering, Transportation Division
- ABCWUA
- Parks and Recreation Department
- AMAFCA
- Hydrology
- Code Enforcement
- Planning Department
- City Engineer
- MRGCD

Surveyor's Certificate

I, BRIAN MARTINEZ, A REGISTERED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THIS PLAT AND DESCRIPTION WERE PREPARED BY ME OR UNDER MY SUPERVISION, SHOWS ALL EASEMENTS AS SHOWN ON THE PLAT OF RECORD OR MADE KNOWN TO ME BY THE OWNERS AND/OR PROPRIETORS OF THE SUBDIVISION SHOWN HEREON, THE UTILITY COMPANIES OR OTHER INTERESTED PARTIES AND MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS FOR THE CITY OF ALBUQUERQUE AND FURTHER MEETS THE MINIMUM STANDARDS FOR LAND SURVEYING IN THE STATE OF NEW MEXICO AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

BRIAN MARTINEZ
 N.M.R.P.S. NO. 18374
 DATE 4/12/24



CSI-CARTESIAN SURVEYS INC.

P.O. BOX 44414 RIO RANCHO, N.M. 87174
 Phone (505) 896-3050 Fax (505) 891-0244
 cartesianbrian@gmail.com

Documents

1. CORRECTION PLAT FOR TRACT A-1-A, FILED IN THE BERNALILLO COUNTY, NEW MEXICO REAL ESTATE RECORDS ON JUNE 6, 2017, IN BOOK 2017C, PAGE 69, AS DOCUMENT NO. 2017054333.
2. PLAT FOR TRACT B-1, FILED IN THE BERNALILLO COUNTY, NEW MEXICO REAL ESTATE RECORDS ON MARCH 23, 2015, IN PLAT VOLUME 2015C, FOLIO 29, AS DOCUMENT NO. 2015023748.
3. PLAT OF RECORD, FILED IN THE BERNALILLO COUNTY CLERK'S OFFICE ON MARCH 23, 2021, IN BOOK 2021C, PAGE 29, AS DOCUMENT NO. 2021034008.

Free Consent & Dedication

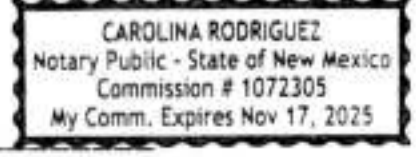
THE SUBDIVISION SHOWN AND DESCRIBED HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) THEREOF. EXISTING AND/OR GRANTED PUBLIC UTILITY EASEMENTS (P.U.E) AS SHOWN HEREON, UNLESS NOTED OTHERWISE, ARE FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUIT AND PIPES FOR UNDERGROUND UTILITIES. SAID UTILITY COMPANIES HAVE THE RIGHT OF INGRESS/EGRESS FOR CONSTRUCTION OF, MAINTENANCE OF AND REPLACEMENT OF SAID UTILITIES INCLUDING THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS WITHIN SAID P.U.E.. SAID OWNERS CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED.

TONYA BUXTON, ALBUQUERQUE DIVISION PRESIDENT
 D.R. HORTON, INC.
 DATE 4.16.24

STATE OF NEW MEXICO }
 COUNTY OF Bernalillo } SS

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON April 16, 2024
 BY: TONYA BUXTON, ALBUQUERQUE DIVISION PRESIDENT, D.R. HORTON, INC.

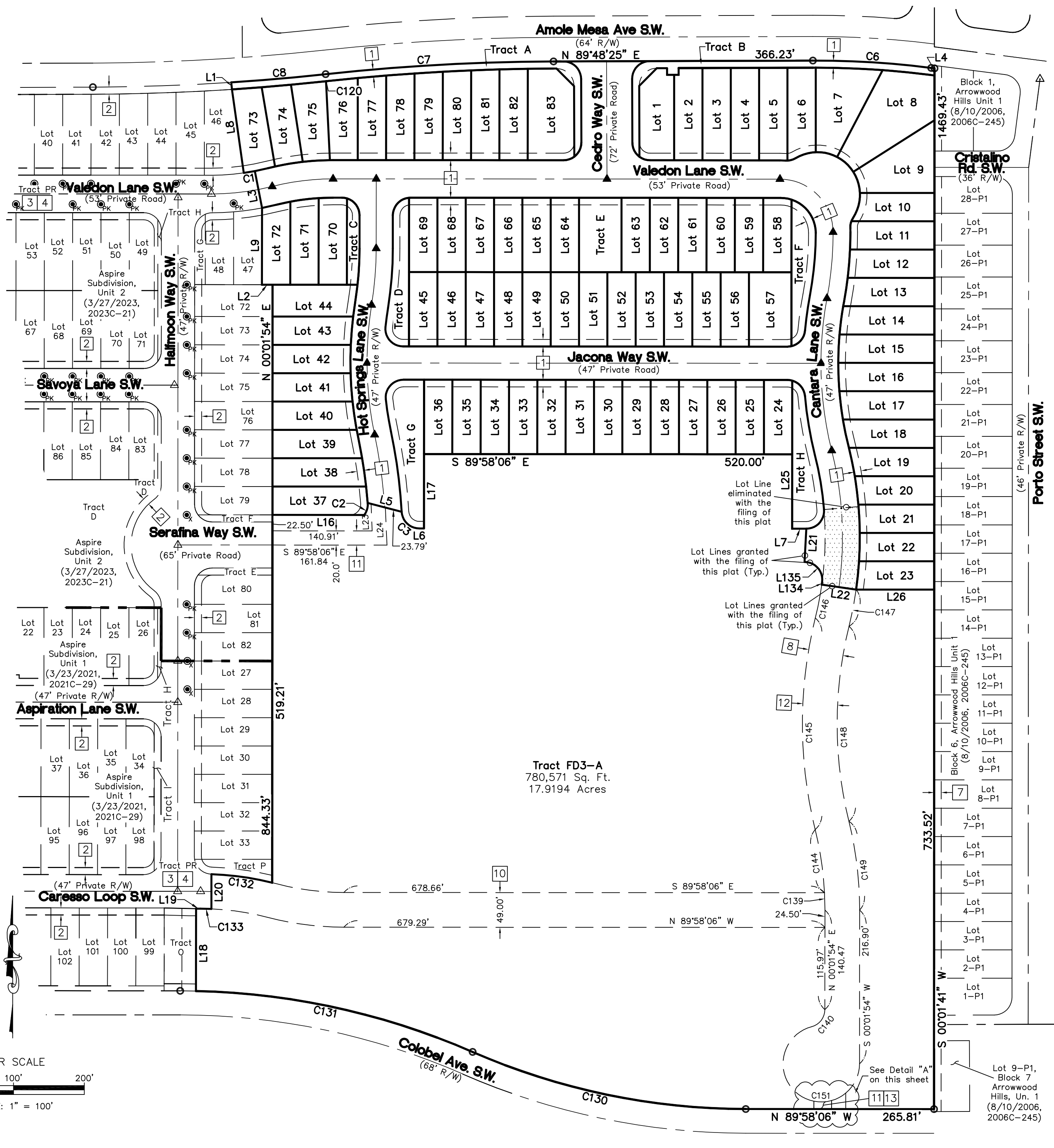
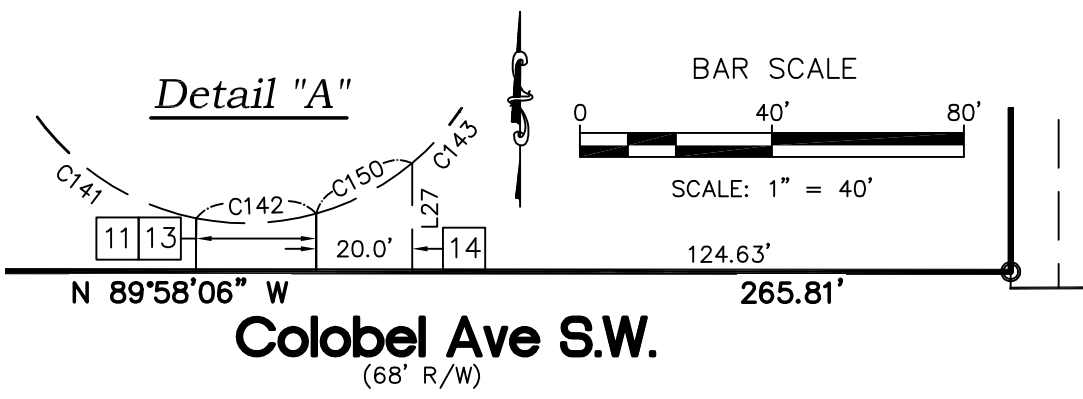
By:
 NOTARY PUBLIC
 MY COMMISSION EXPIRES NOV 17, 2025



**Plat for
Aspire Subdivision Unit 3
Being Comprised of
Tracts FD2 and FD3
Aspire Subdivision, Unit 1
City of Albuquerque
Bernalillo County, New Mexico
March 2024**

Easement Notes

- 1 10' P.U.E. GRANTED WITH THE FILING OF THIS PLAT
- 2 EXISTING 10' P.U.E. (03/27/2023, 2023C-21) (3/23/2021, 2021C-29)
- 3 EXISTING BLANKET PUBLIC SANITARY SEWER AND BLANKET PUBLIC WATERLINE EASEMENT WITHIN TRACT PR TO A.B.C.W.U.A. (03/27/2023, 2023C-21) (3/23/2021, 2021C-29)
- 4 EXISTING BLANKET PRIVATE ACCESS AND BLANKET DRAINAGE EASEMENT OVER ALL OF TRACT PR FOR BENEFIT OF ALL LOT OWNERS WITHIN ASPIRE. EASEMENT TO BE OWNED AND MAINTAINED BY THE ASPIRE HOA (03/27/2023, 2023C-21) (3/23/2021, 2021C-29)
- 5 BLANKET PRIVATE ACCESS EASEMENT AND BLANKET PRIVATE DRAINAGE EASEMENT, OVER ALL OF TRACT PR FOR THE BENEFIT OF ALL LOT OWNERS AND MAINTAINED BY THE ASPIRE HOA, GRANTED WITH THE FILING OF THIS PLAT
- 6 BLANKET PUBLIC SANITARY SEWER AND BLANKET PUBLIC WATERLINE EASEMENT OVER ALL OF TRACT PR, GRANTED TO ABCWUA WITH THE FILING OF THIS PLAT
- 7 EXISTING 10' P.U.E. (7/23/2003, 2003C-223)
- 8 EXISTING PUBLIC SANITARY SEWER EASEMENT (3/23/2021, 2021C-29) PORTION TO BE VACATED PER _____ WITH THE FILING OF THIS PLAT SHOWN HEREON AS _____
- 9 EXISTING 10' PNM ELECTRIC EASEMENT (4/28/2009, DOC. NO. 2009056097)
- 10 PUBLIC SANITARY SEWER GRANTED TO ABCWUA AND PRIVATE DRAINAGE EASEMENT BENEFITING AND TO BE MAINTAINED BY THE ASPIRE HOA, GRANTED WITH THE FILING OF THIS PLAT
- 11 20' PUBLIC WATERLINE EASEMENT GRANTED TO ABCWUA WITH THE FILING OF THIS PLAT
- 12 PRIVATE BLANKET DRAINAGE EASEMENT TO BE OWNED AND MAINTAINED BY THE ASPIRE HOA, GRANTED WITH THE FILING OF THIS PLAT
- 13 EXISTING PUBLIC SANITARY SEWER EASEMENT (3/23/2021, 2021C-29)
- 14 20' PRIVATE STORM DRAIN EASEMENT FOR THE BENEFIT OF ALL LOT OWNERS, GRANTED WITH THE FILING OF THIS PLAT



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ACS Monument "TRANS"
 NAD 1983 CENTRAL ZONE
 X=1495145.466*
 Y=1471885.503*
 Z=5121.089* (NAVD 1988)
 G-G=0.999683154
 Mapping Angle=-0°16'43.33"

*U.S. SURVEY FEET

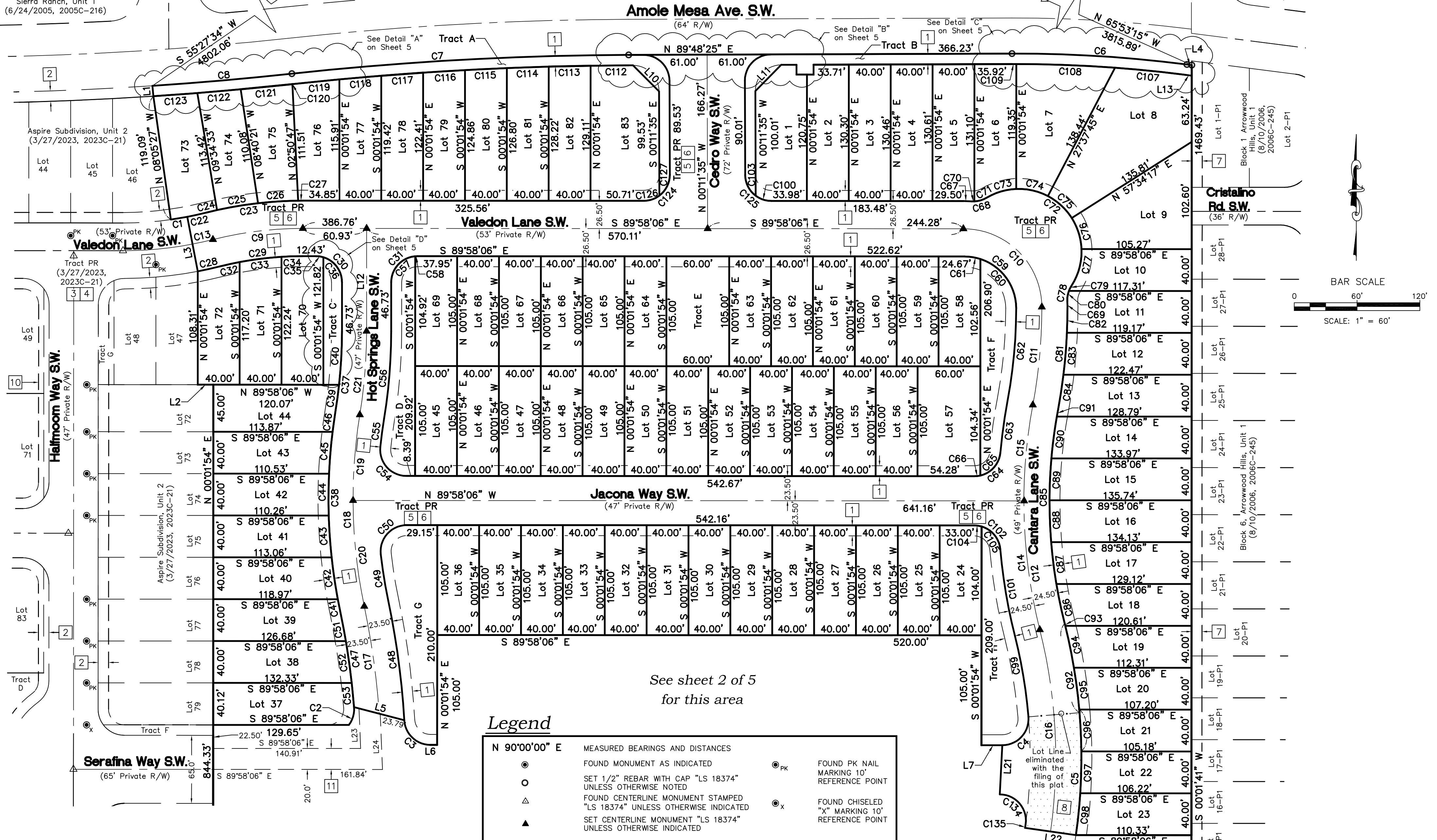
Plat for
Aspire Subdivision Unit 3
 Being Comprised of
Tracts FD2 and FD3, Aspire Subdivision, Unit 1
 City of Albuquerque, Bernalillo County, New Mexico
 March 2024

ACS Monument "1_N8"
 NAD 1983 CENTRAL ZONE
 X=1488701.82*
 Y=1470741.879*
 Z=5307.25* (NAVD 1988)
 G-G=0.999676466
 Mapping Angle=-0°17'27.70"

*U.S. SURVEY FEET

Sierra Ranch, Unit 1
 (6/24/2005, 2005C-216)

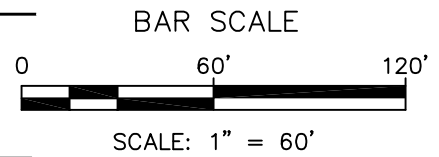
Lot 1-P1, El Rancho Grande, Unit 15
 (6/24/2005, 2005C-215)



See sheet 2 of 5 for this area

Legend

N 90°00'00" E	MEASURED BEARINGS AND DISTANCES	○ PK	FOUND PK NAIL MARKING 10' REFERENCE POINT
●	FOUND MONUMENT AS INDICATED	○	SET 1/2" REBAR WITH CAP "LS 18374" UNLESS OTHERWISE NOTED
△	FOUND CENTERLINE MONUMENT STAMPED "LS 18374" UNLESS OTHERWISE INDICATED	○ x	FOUND CHISELED "X" MARKING 10' REFERENCE POINT
▲	SET CENTERLINE MONUMENT "LS 18374" UNLESS OTHERWISE INDICATED		



**Plat for
Aspire Subdivision Unit 3
Being Comprised of
Tracts FD2 and FD3,
Aspire Subdivision, Unit 1
City of Albuquerque
Bernalillo County, New Mexico
March 2024**

Public Utility Easements

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- A. Public Service Company of New Mexico ("PNM"), a New Mexico corporation, (PNM Electric) for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services.
- B. New Mexico Gas Company for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
- C. Qwest Corporation d/b/a CenturyLink QC for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services.
- D. Cable TV for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, replace, modify, renew, operate and maintain facilities for purposes described above, together with free access to, from, and over said easements, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat. Easements for electric transformer/switchgears, as installed, shall extend ten (10) feet in front of transformer/switchgear doors and five (5) feet on each side.

Disclaimer

In approving this plat, Public Service Company of New Mexico (PNM) and New Mexico Gas Company (NMGC) did not conduct a Title Search of the properties shown hereon. Consequently, PNM and NMGC do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

Flood Notes

BASED UPON SCALING, THIS PROPERTY LIES WITHIN FLOOD ZONE "X" WHICH IS DEFINED AS AN AREA OF MINIMAL FLOOD HAZARD AS DETERMINED BY F.E.M.A. AND SHOWN ON THE FLOOD INSURANCE RATE MAPS NO. 35001C0317H AND 35001C0336H, DATED AUGUST 16, 2012.

CSI-CARTESIAN SURVEYS INC.

P.O. BOX 44414 RIO RANCHO, N.M. 87174
Phone (505) 896 - 3050 Fax (505) 891 - 0244
cartesianbrian@gmail.com

Sheet 4 of 5
200219

Curve Table					
Curve #	Length	Radius	Delta	Chord Length	Chord Direction
C1	15.89'	323.50'	2'48'52"	15.89'	N 80°30'07" E
C2	18.10'	25.00'	41°29'06"	17.71'	N 16°09'33" E
C3	37.78'	25.00'	86°35'37"	34.29'	S 46°40'17" E
C4	41.34'	25.00'	94°45'13"	36.79'	N 42°39'18" E
C5	117.31'	524.50'	12°48'53"	117.06'	N 01°41'08" E
C6	167.59'	1281.12'	7°29'43"	167.47'	N 86°26'44" W
C7	322.44'	3087.42'	5°59'02"	322.29'	S 86°48'30" W
C8	133.73'	3155.42'	2°25'42"	133.72'	N 85°01'50" E
C9	86.78'	350.00'	14°12'23"	86.56'	S 82°55'43" W
C10	117.56'	75.00'	89°48'38"	105.89'	N 45°03'47" W
C11	94.13'	500.00'	10°47'13"	94.00'	N 05°14'09" E
C12	216.51'	500.00'	24°48'36"	214.82'	S 01°46'33" E
C13	19.97'	350.00'	3°16'10"	19.97'	N 77°27'36" E
C14	124.34'	500.00'	14°14'55"	124.02'	S 07°03'23" E
C15	92.17'	500.00'	10°33'41"	92.04'	S 05°20'55" W
C16	194.37'	500.00'	22°16'25"	193.15'	N 03°02'38" W
C17	103.72'	750.00'	7°55'24"	103.63'	N 07°55'15" W
C18	184.14'	500.00'	21°06'03"	183.10'	S 01°19'55" E
C19	82.28'	500.00'	9°25'44"	82.19'	S 04°30'14" W
C20	101.86'	500.00'	11°40'19"	101.68'	S 06°02'47" E
C21	80.17'	500.00'	9°11'12"	80.08'	N 04°37'30" E
C22	18.46'	323.50'	3°16'10"	18.46'	N 77°27'36" E
C23	93.35'	376.50'	14°12'23"	93.11'	S 82°55'43" W
C24	10.72'	376.50'	1°37'51"	10.72'	S 76°38'27" W
C25	39.71'	376.50'	6°02'34"	39.69'	S 80°28'39" W
C26	38.45'	376.50'	5°51'04"	38.43'	S 86°25'28" W
C27	4.48'	376.50'	0°40'54"	4.48'	S 89°41'27" W
C28	21.48'	376.50'	3°16'10"	21.48'	N 77°27'36" E
C29	80.21'	323.50'	14°12'23"	80.01'	S 82°55'43" W
C30	39.27'	25.00'	90°00'00"	35.36'	N 44°58'06" W
C31	39.27'	25.00'	90°00'00"	35.36'	S 45°01'54" W
C32	19.50'	323.50'	3°27'12"	19.49'	S 77°33'07" W
C33	40.34'	323.50'	7°08'42"	40.32'	S 82°51'04" W
C34	20.37'	323.50'	3°36'28"	20.37'	S 88°13'40" W
C35	7.31'	25.00'	16°45'45"	7.29'	N 81°35'14" W
C36	31.96'	25.00'	73°14'15"	29.82'	N 36°35'14" W
C37	76.40'	476.50'	9°11'12"	76.32'	N 04°37'30" E
C38	192.79'	523.50'	21°06'03"	191.71'	S 01°19'55" E
C39	25.16'	476.50'	3°01'29"	25.15'	N 07°42'22" E
C40	51.25'	476.50'	6°09'43"	51.22'	N 03°06'45" E
C41	11.81'	523.50'	1°17'32"	11.81'	S 11°14'11" E
C42	40.44'	523.50'	4°25'36"	40.43'	S 08°22'37" E
C43	40.11'	523.50'	4°23'23"	40.10'	S 03°58'07" E
C44	40.01'	523.50'	4°22'45"	40.00'	S 00°24'56" W
C45	40.15'	523.50'	4°23'39"	40.14'	S 04°48'08" W
C46	20.27'	523.50'	2°13'09"	20.27'	S 08°06'32" W
C47	92.55'	726.50'	7°17'56"	92.49'	N 08°13'59" W
C48	114.86'	773.50'	8°30'28"	114.75'	N 07°37'43" W
C49	45.56'	476.50'	5°28'40"	45.54'	S 09°08'37" E
C50	42.08'	25.00'	96°26'11"	37.28'	S 41°48'49" W
C51	28.93'	726.50'	2°16'54"	28.93'	N 10°44'30" W
C52	40.40'	726.50'	3°11'11"	40.40'	N 08°00'27" W
C53	23.22'	726.50'	1°49'51"	23.21'	N 05°29'56" W
C54	41.84'	25.00'	95°53'49"	37.13'	S 42°01'11" E
C55	27.36'	476.50'	3°17'23"	27.36'	S 07°34'25" W
C56	83.94'	523.50'	9°11'12"	83.85'	N 04°37'30" E
C57	37.22'	25.00'	85°17'41"	33.87'	S 42°40'45" W
C58	2.05'	25.00'	4°42'19"	2.05'	S 87°40'45" W
C59	77.71'	49.50'	89°56'44"	69.97'	N 44°59'44" W
C60	62.12'	49.50'	71°53'58"	58.12'	N 35°58'21" W

Curve Table					
Curve #	Length	Radius	Delta	Chord Length	Chord Direction
C61	15.59'	49.50'	18°02'46"	15.53'	N 80°56'43" W
C62	88.40'	475.50'	10°39'07"	88.27'	N 05°18'12" E
C63	50.36'	524.50'	5°30'04"	50.34'	S 07°52'44" W
C64	37.05'	25.00'	84°54'12"	33.75'	N 47°34'48" E
C65	31.28'	25.00'	71°40'50"	29.28'	N 40°58'07" E
C66	5.77'	25.00'	13°13'22"	5.76'	N 83°25'13" E
C67	7.59'	101.50'	4°16'56"	7.58'	N 87°49'38" W
C68	15.30'	25.00'	35°03'47"	15.06'	N 76°46'57" E
C69	5.22'	99.50'	3°00'23"	5.22'	N 01°39'39" W
C70	2.92'	25.00'	6°42'04"	2.92'	S 89°02'11" E
C71	12.38'	25.00'	28°21'43"	12.25'	N 73°25'55" E
C72	160.94'	60.00'	153°41'20"	116.85'	N 43°54'16" W
C73	29.79'	60.00'	28°26'46"	29.48'	S 73°28'27" W
C74	31.34'	60.00'	29°55'55"	30.99'	N 77°20'13" W
C75	31.36'	60.00'	29°56'33"	31.00'	N 47°23'59" W
C76	31.50'	60.00'	30°04'34"	31.14'	N 17°23'26" W
C77	36.96'	60.00'	35°17'32"	36.38'	N 15°17'37" E
C78	15.75'	25.00'	36°06'14"	15.49'	S 14°53'16" W
C79	5.50'	25.00'	12°36'07"	5.49'	S 26°38'20" W
C80	10.25'	25.00'	23°30'07"	10.18'	S 08°35'13" W
C81	98.75'	524.50'	10°47'13"	98.60'	N 05°14'09" E
C82	24.72'	524.50'	2°42'01"	24.72'	N 01°11'33" E
C83	40.14'	524.50'	4°23'07"	40.14'	N 04°44'07" E
C84	33.88'	524.50'	3°42'05"	33.88'	N 08°46'43" E
C85	205.90'	475.50'	24°48'36"	204.30'	S 01°46'33" E
C86	38.51'	475.50'	4°38'26"	38.50'	S 11°51'38" E
C87	40.32'	475.50'	4°51'32"	40.31'	S 07°06'38" E
C88	40.04'	475.50'	4°49'31"	40.03'	S 02°16'07" E
C89	40.05'	475.50'	4°49'33"	40.04'	S 02°33'25" W
C90	40.35'	475.50'	4°51'41"	40.33'	S 07°24'02" W
C91	6.62'	475.50'	0°47'53"	6.62'	S 10°13'49" W
C92	86.59'	524.50'	9°27'32"	86.49'	N 09°27'05" W
C93	2.40'	524.50'	0°15'42"	2.40'	N 14°03'00" W
C94	40.86'	524.50'	4°27'49"	40.85'	N 11°41'14" W
C95	40.34'	524.50'	4°24'22"	40.33'	N 07°15'08" W
C96	40.06'	524.50'	4°22'34"	40.05'	N 02°51'40" W
C97	40.02'	524.50'	4°22'19"	40.01'	N 01°30'47" E
C98	40.22'	524.50'	4°23'37"	40.21'	N 05°53'45" E
C99	78.50'	475.50'	9°27'32"	78.41'	N 09°27'05" W
C100	15.99'	25.00'	36°38'43"	15.72'	S 71°38'45" E
C101	84.05'	524.50'	9°10'55"	83.96'	S 09°35'23" E
C102	37.07'	25.00'	84°58'10"	33.77'	N 47°29'01" W
C103	23.18'	25.00'	53°07'48"	22.36'	S 26°45'29" E
C104	7.09'	25.00'	16°15'01"	7.07'	N 81°50'35" W
C105	29.98'	25.00'	68°43'09"	28.22'	N 39°21'31" W
C106	166.28'	1271.12'	7°29'43"	166.16'	N 86°26'44" W
C107	67.75'	1271.12'	3°03'13"	67.74'	N 84°13'29" W
C108	94.46'	1271.12'	4°15'27"	94.43'	N 87°52'49" W
C109	4.08'	1271.12'	0°11'02"	4.08'	S 89°53'56" W
C110	133.93'	3165.42'	2°25'27"	133.92'	N 85°01'42" E
C111	321.39'	3077.41'	5°59'02"	321.25'	S 86°48'30" W
C112	36.40'	3077.41'	0°40'39"	36.40'	S 89°27'41" W
C113	40.01'	3077.41'	0°44'42"	40.01'	S 88°45'00" W
C114	40.03'	3077.41'	0°44'43"	40.03'	S 88°00'18" W
C115	40.05'	3077.41'	0°44'44"	40.05'	S 87°15'35" W
C116	40.08'	3077.41'	0°44'46"	40.08'	S 86°30'49" W
C117	40.11'	3077.41'	0°44'48"	40.11'	S 85°46'02" W
C118	40.15'	3077.41'	0°44'51"	40.15'	S 85°01'12" W
C119	44.58'	3077.41'	0°49'48"	44.57'	S 84°13'53" W
C120	0.58'	3165.42'	0°00'38"	0.58'	N 83°49'18" E

Curve Table					
Curve #	Length	Radius	Delta	Chord Length	Chord Direction
C121	49.67'	3165.42'	0°53'56"	49.67'	N 84°16'35" E
C122	41.56'	3165.42'	0°45'08"	41.56'	N 85°06'07" E
C123	42.12'	3165.42'	0°45'44"	42.12'	N 85°51'34" E
C124	39.37'	25.00'	90°13'29"	35.42'	N 44°55'10" E
C125	39.17'	25.00'	89°46'31"	35.29'	S 45°04'50" E
C126	16.19'	25.00'	37°05'41"	15.90'	N 71°29'04" E
C127	23.18'	25.00'	53°07'48"	22.36'	N 26°22'19" E
C128	39.27'	25.00'	90°00'00"	35.36'	N 45°11'35" W
C129	39.27'	25.00'	90°00'00"	35.36'	S 44°48'25" W
C130	396.84'	966.00'	23°32'15"	394.06'	S 78°11'59" E
C131	402.47'	1034.00'	22°18'05"	399.93'	N 77°34'54" W
C132	86.87'	424.50'	11°43'32"	86.72'	N 82°03'12" W
C133	15.21'	375.50'	2°19'17"	15.21'	N 88°48'28" W
C134	42.59'	25.00'	97°36'39"	37.62'	N 41°09'46" W
C135	3.74'	475.50'	0°27'01"	3.74'	N 07°52'04" E
C136	96.00'	375.50'	14°38'51"	95.73'	S 82°38'41" E
C137	80.78'	375.50'	12°19'34"	80.63'	N 81°29'02" W
C138	108.52'	424.50'	14°38'51"	108.23'	S 82°38'41" E
C139	24.51'	475.50'	2°57'12"	24.51'	N 01°26'42" W
C140	32.87'	25.00'	75°20'07"	30.55'	N 37°41'57" E
C141	145.33'	54.00'	154°11'53"	105.27'	S 01°43'56" E
C142	25.25'	54.00'	26°47'23"	25.02'	N 87°46'26" E
C143	47.31'	54.00'	50°11'43"	45.81'	N 25°07'45" E
C144	90.33'	475.50'	10°53'02"	90.19'	N 08°21'49" W
C145	301.64'	624.50'	27°40'29"	298.72'	S 00°01'54" W
C146	47.94'	475.50'	5°46'35"	47.92'	N 10°58'51" E
C147	52.88'	524.50'	5°46'35"	52.85'	N 10°58'51" E
C148	277.98'	575.50'	27°40'29"	275.28'	S 00°01'54" W
C149	126.67'	524.50'	13°50'15"	126.36'	N 06°53'13" W
C150	22.76'				

Plat for Aspire Subdivision Unit 3 Being Comprised of Tracts FD2 and FD3, Aspire Subdivision, Unit 1 City of Albuquerque, Bernalillo County, New Mexico March 2024

Parcel Table		
Parcel Name	Area (Acres)	Area (Sq. Ft.)
Lot 1	0.1369	5,964
Lot 2	0.1182	5,150
Lot 3	0.1197	5,215
Lot 4	0.1199	5,221
Lot 5	0.1200	5,229
Lot 6	0.1143	4,979
Lot 7	0.1772	7,717
Lot 8	0.2548	11,099
Lot 9	0.1699	7,399
Lot 10	0.1002	4,364
Lot 11	0.1090	4,748
Lot 12	0.1107	4,823
Lot 13	0.1152	5,016
Lot 14	0.1209	5,267
Lot 15	0.1241	5,405
Lot 16	0.1242	5,409
Lot 17	0.1211	5,277
Lot 18	0.1149	5,006
Lot 19	0.1067	4,648
Lot 20	0.1005	4,380
Lot 21	0.0973	4,238
Lot 22	0.0968	4,218
Lot 23	0.0992	4,321
Lot 24	0.0964	4,198
Lot 25	0.0964	4,200
Lot 26	0.0964	4,200
Lot 27	0.0964	4,200
Lot 28	0.0964	4,200
Lot 29	0.0964	4,200
Lot 30	0.0964	4,200
Lot 31	0.0964	4,200
Lot 32	0.0964	4,200
Lot 33	0.0964	4,200
Lot 34	0.0964	4,200
Lot 35	0.0964	4,200
Lot 36	0.0964	4,200
Lot 37	0.1229	5,352
Lot 38	0.1191	5,188
Lot 39	0.1129	4,917
Lot 40	0.1063	4,630
Lot 41	0.1023	4,456
Lot 42	0.1011	4,406
Lot 43	0.1028	4,478
Lot 44	0.1209	5,267
Lot 45	0.0964	4,200
Lot 46	0.0964	4,200
Lot 47	0.0964	4,200
Lot 48	0.0964	4,200
Lot 49	0.0964	4,200
Lot 50	0.0964	4,200
Lot 51	0.0964	4,200
Lot 52	0.0964	4,200
Lot 53	0.0964	4,200
Lot 54	0.0964	4,200
Lot 55	0.0964	4,200
Lot 56	0.0964	4,200
Lot 57	0.1446	6,299
Lot 58	0.0961	4,188
Lot 59	0.0964	4,200
Lot 60	0.0964	4,200

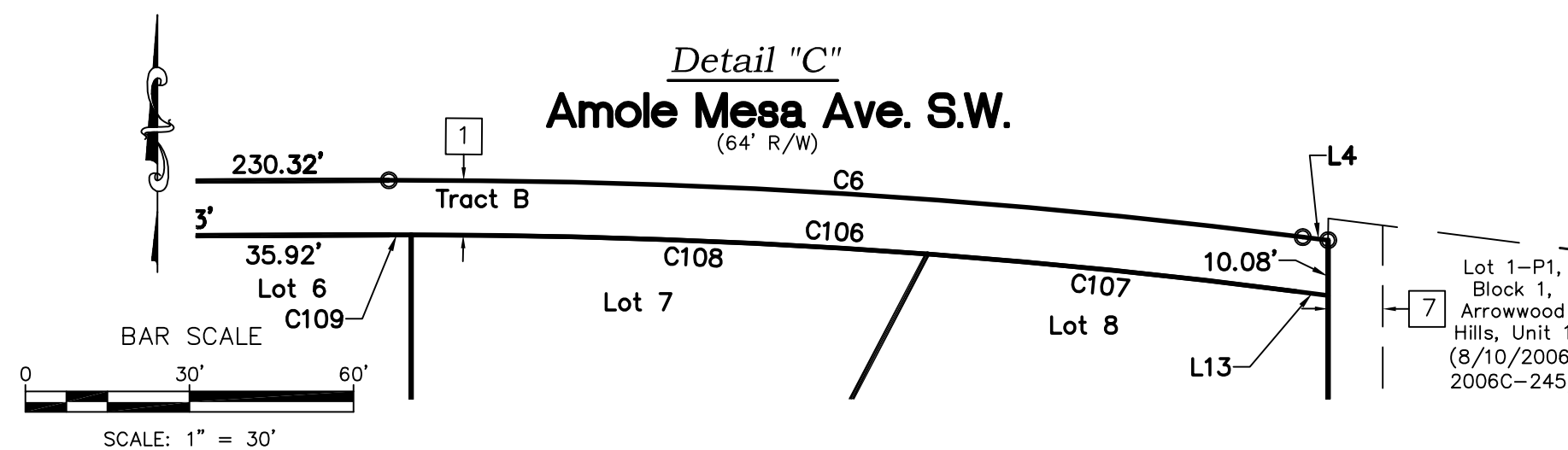
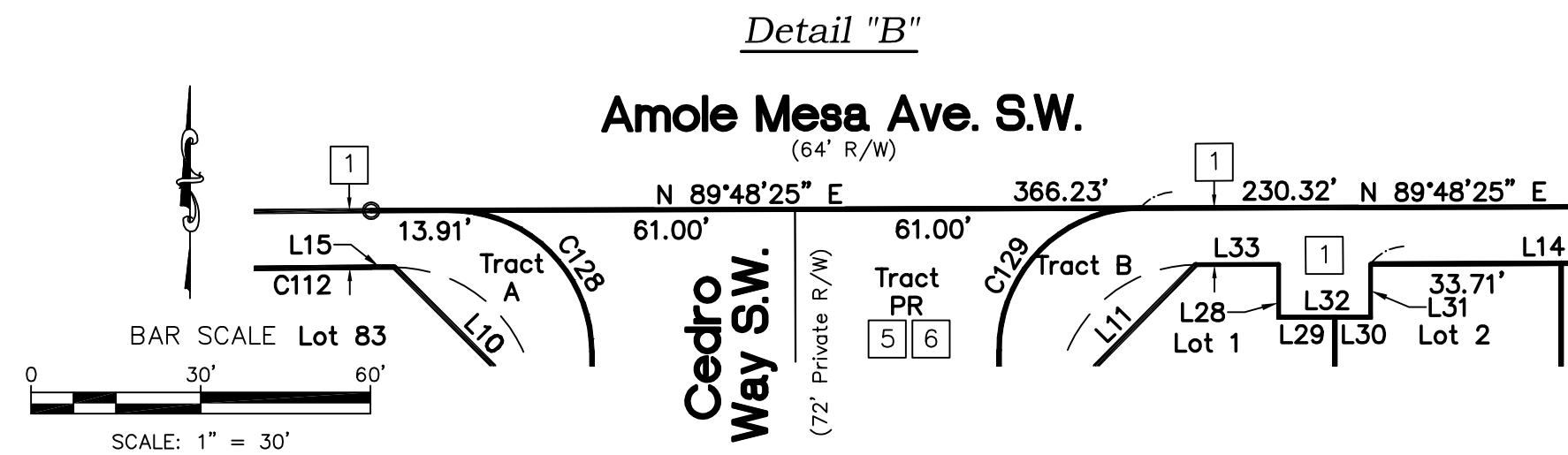
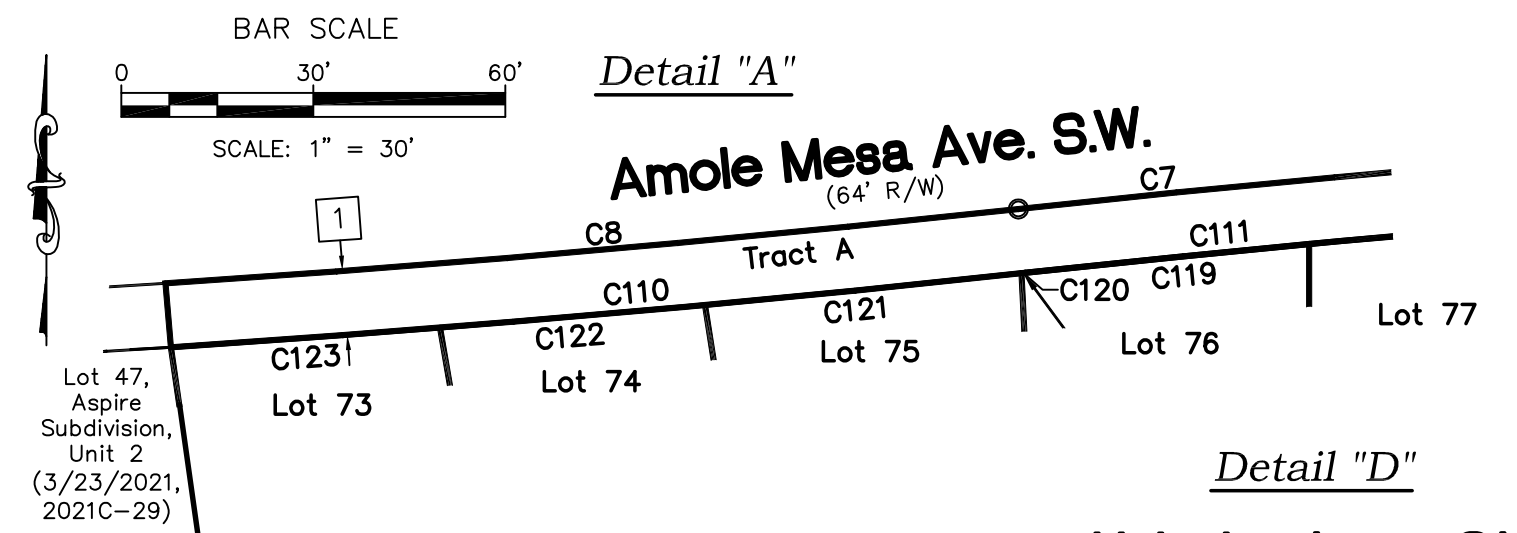
Parcel Table		
Parcel Name	Area (Acres)	Area (Sq. Ft.)
Lot 61	0.0964	4,200
Lot 62	0.0964	4,200
Lot 63	0.0964	4,200
Lot 64	0.0964	4,200
Lot 65	0.0964	4,200
Lot 66	0.0964	4,200
Lot 67	0.0964	4,200
Lot 68	0.0964	4,200
Lot 69	0.0964	4,200
Lot 70	0.1127	4,908
Lot 71	0.1103	4,806
Lot 72	0.1035	4,510
Lot 73	0.1164	5,070
Lot 74	0.1037	4,518
Lot 75	0.1115	4,857
Lot 76	0.1101	4,796
Lot 77	0.1081	4,709
Lot 78	0.1111	4,838
Lot 79	0.1136	4,947
Lot 80	0.1156	5,035
Lot 81	0.1171	5,102
Lot 82	0.1182	5,148
Lot 83	0.1871	8,150
Tract A	0.1448	6,308
Tract B	0.1330	5,794
Tract C	0.0461	2,008
Tract D	0.1207	5,260
Tract E	0.1446	6,300
Tract F	0.1230	5,358
Tract FD3-A	17.9194	780,571
Tract G	0.1961	8,540
Tract H	0.1466	6,385
Tract PR	3.0944	134,794

Easement Notes

- 1 10' P.U.E. GRANTED WITH THE FILING OF THIS PLAT
- 2 EXISTING 10' P.U.E. (03/27/2023, 2023C-21) (3/23/2021, 2021C-29)
- 3 EXISTING BLANKET PUBLIC SANITARY SEWER AND BLANKET PUBLIC WATERLINE EASEMENT WITHIN TRACT PR TO A.B.C.W.U.A. (03/27/2023, 2023C-21) (3/23/2021, 2021C-29)
- 4 EXISTING BLANKET PRIVATE ACCESS AND BLANKET DRAINAGE EASEMENT OVER ALL OF TRACT PR FOR BENEFIT OF ALL LOT OWNERS WITHIN ASPIRE. EASEMENT TO BE OWNED AND MAINTAINED BY THE ASPIRE HOA (03/27/2023, 2023C-21) (3/23/2021, 2021C-29)
- 5 BLANKET PRIVATE ACCESS EASEMENT AND BLANKET PRIVATE DRAINAGE EASEMENT, OVER ALL OF TRACT PR FOR THE BENEFIT OF ALL LOT OWNERS AND MAINTAINED BY THE ASPIRE HOA, GRANTED WITH THE FILING OF THIS PLAT
- 6 BLANKET PUBLIC SANITARY SEWER AND BLANKET PUBLIC WATERLINE EASEMENT OVER ALL OF TRACT PR, GRANTED TO ABCWUA WITH THE FILING OF THIS PLAT
- 7 EXISTING 10' P.U.E. (7/23/2003, 2003C-223)
- 8 EXISTING PUBLIC SANITARY SEWER EASEMENT (3/23/2021, 2021C-29) PORTION TO BE VACATED PER _____ WITH THE FILING OF THIS PLAT SHOWN HEREON AS _____
- 9 EXISTING 10' PNM ELECTRIC EASEMENT (4/28/2009, DOC. NO. 2009056097)
- 10 PUBLIC SANITARY SEWER GRANTED TO ABCWUA AND PRIVATE DRAINAGE EASEMENT BENEFITING AND TO BE MAINTAINED BY THE ASPIRE HOA, GRANTED WITH THE FILING OF THIS PLAT
- 11 20' PUBLIC WATERLINE EASEMENT GRANTED TO ABCWUA WITH THE FILING OF THIS PLAT
- 12 PRIVATE BLANKET DRAINAGE EASEMENT TO BE OWNED AND MAINTAINED BY THE ASPIRE HOA, GRANTED WITH THE FILING OF THIS PLAT
- 13 EXISTING PUBLIC WATERLINE EASEMENT (3/23/2021, 2021C-29)
- 14 20' PRIVATE STORM DRAIN EASEMENT FOR THE BENEFIT OF ALL LOT OWNERS, GRANTED WITH THE FILING OF THIS PLAT

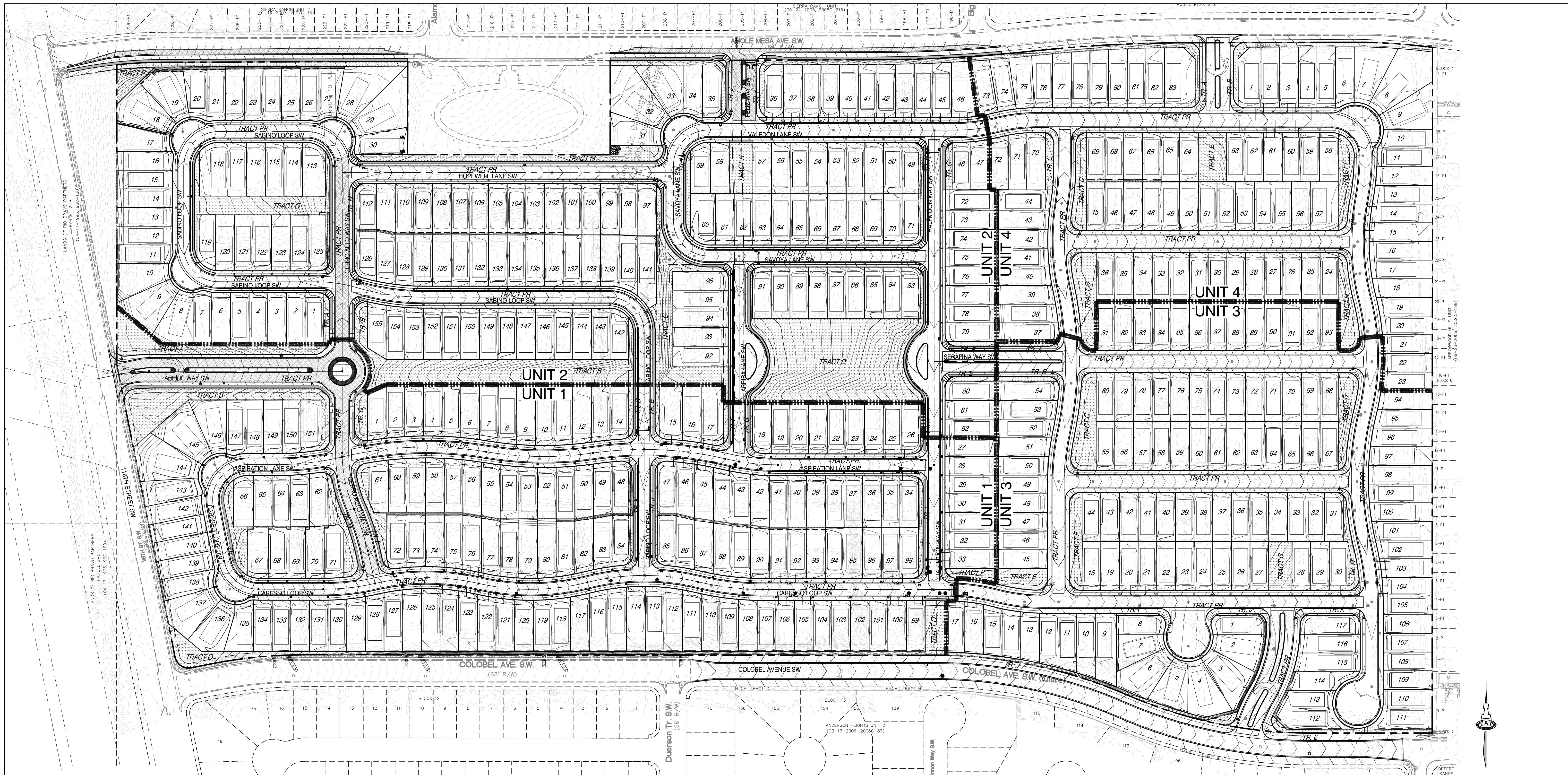
Legend

N 90°00'00" E MEASURED BEARINGS AND DISTANCES			
●	FOUND MONUMENT AS INDICATED	● PK	FOUND PK NAIL MARKING 10' REFERENCE POINT
○	SET 1/2" REBAR WITH CAP "LS 18374" UNLESS OTHERWISE NOTED	● x	FOUND CHISELED "X" MARKING 10' REFERENCE POINT
△	FOUND CENTERLINE MONUMENT STAMPED "LS 18374" UNLESS OTHERWISE INDICATED		
▲	SET CENTERLINE MONUMENT "LS 18374" UNLESS OTHERWISE INDICATED		

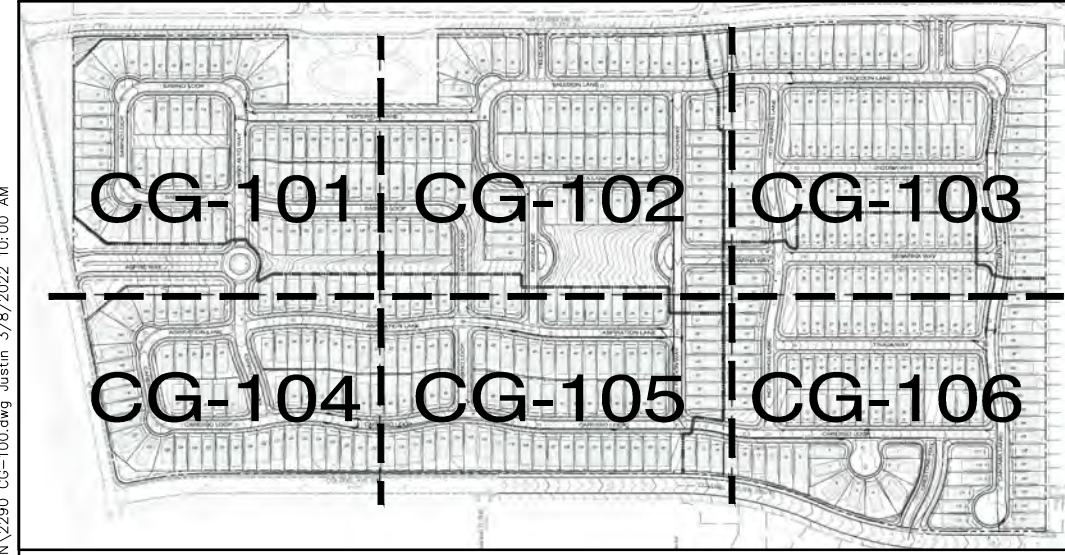


CSI-CARTESIAN SURVEYS INC.

P.O. BOX 44414 RIO RANCHO, N.M. 87174
Phone (505) 896-3050 Fax (505) 891-0244
cartesianbrian@gmail.com



SITE KEY

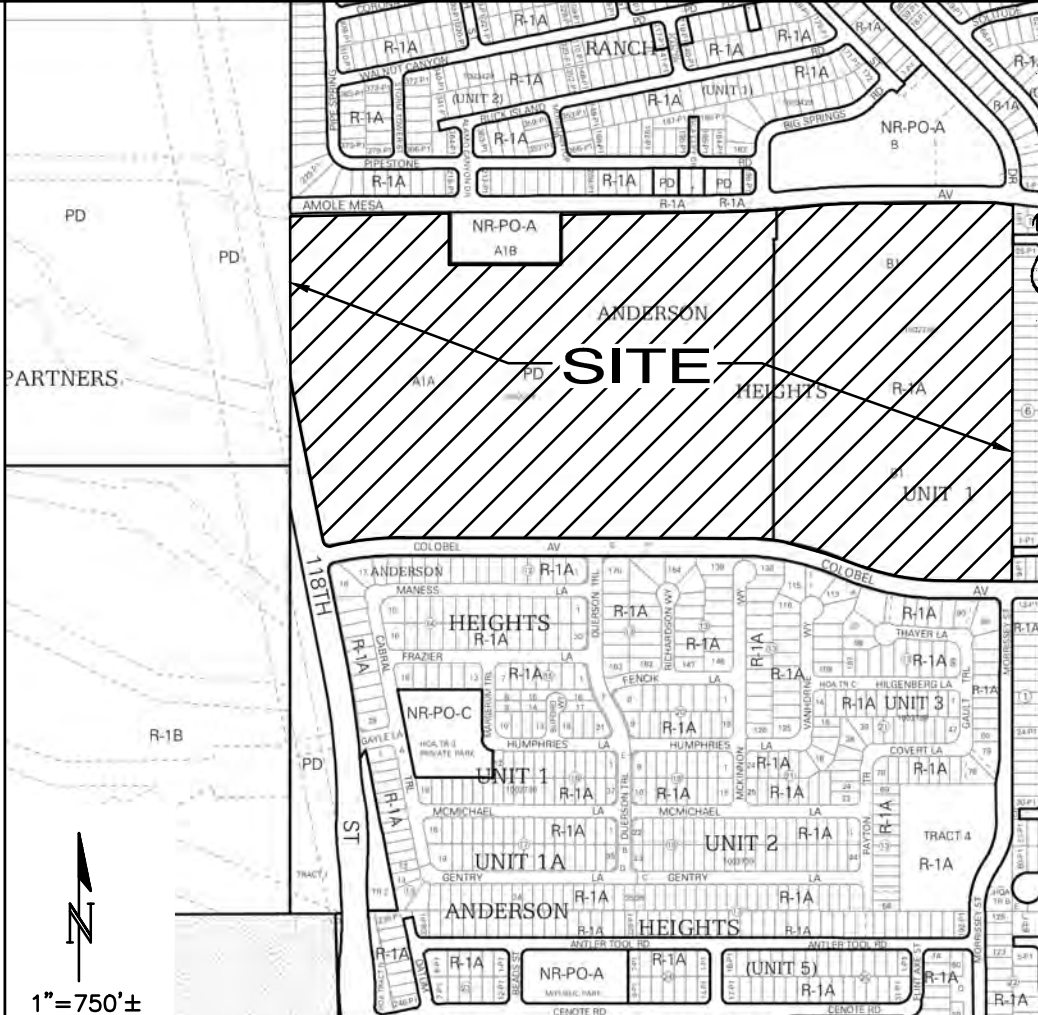


City of Albuquerque
 Planning Department
 Development Review Services
HYDROLOGY SECTION
APPROVED
 DATE: 03/18/22
 BY: *Randy J. Torralba*
 HydroTeam # N08D006F

GENERAL NOTES

- A. GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
- B. ALL SITE PREPARATION, GRADING OPERATIONS, FOUNDATION CONSTRUCTION, AND PAVEMENT INSTALLATION WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT, WHICH WILL BE PROVIDED BY THE OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE NOTED IN THE PLANS, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
- C. PROPOSED SPOT AND CONTOUR ELEVATIONS SHOWN REPRESENT TOP OF FINISH MATERIAL (I.E. TOP OF CONCRETE, TOP OF CONCRETE BUILDING PAD, TOP OF PAVEMENT MATERIAL, TOP OF LANDSCAPING MATERIAL, ETC.). CONTRACTOR SHALL GRADE, COMPACT SUBGRADE AND DETERMINE EARTHWORK ESTIMATES BASED ON ELEVATIONS SHOWN MINUS FINISH MATERIAL THICKNESSES.
- D. IF FIELD GRADE ADJUSTMENTS ARE REQUIRED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER.
- E. THE ENVIRONMENTAL PROTECTION AGENCY (EPA) AND THE CITY OF ALBUQUERQUE REQUIRE A STORM WATER POLLUTION PREVENTION PLAN (SWPPP), AN NPDES PERMIT FOR PROJECTS WHERE CONSTRUCTION ACTIVITIES MEET THE EPA THRESHOLD. (SWPPP, NPDES PERMIT BY OTHERS.) CONTRACTOR SHALL COORDINATE WITH OWNER TO DETERMINE WHO WILL PREPARE SWPPP AND INSPECT REQUIRED ELEMENTS.
- F. ALL NEW PAVEMENT SURFACES SHALL BE CONSTRUCTED WITH POSITIVE SLOPE AWAY FROM BUILDINGS AND POSITIVE SLOPE TOWARD EXISTING AND/OR PROPOSED DRAINAGE PATHS. PAVING AND ROADWAY GRADES SHALL BE ±0.1' FROM PLAN ELEVATIONS. BUILDING PAD ELEVATION SHALL BE ±0.05' FROM PLAN ELEVATION.
- G. WHERE GRADES BETWEEN NEW AND EXISTING ARE SHOWN AS 'MATCH' OR '±', TRANSITIONS SHALL BE SMOOTH.
- H. PAD ELEVATIONS SHALL BE WITHIN 0.1±.
- I. POND DESIGN PARAMETERS AND STORMWATER CONTROL MEASURES SHOWN ON THIS PLAN (TOP OF POND, BOTTOM OF POND, SIZE OF ORIFICE, AREA OF POND, ETC.) TO BE STRICTLY ADHERED TO FOR CERTIFICATION PURPOSES. SEE DETAIL SHEET FOR ADDITIONAL INFORMATION.
- J. POST-CONSTRUCTION MAINTENANCE FOR PRIVATE STORMWATER FACILITIES WILL BE THE RESPONSIBILITY OF THE FACILITIES OWNER. ENGINEER RECOMMENDS THAT OWNER INSPECT SITE YEARLY AND AFTER EACH RAINFALL TO IDENTIFY NEW AREAS OF EROSION AND INSTALL ADDITIONAL EROSION PROTECTION AS NEEDED BASED ON ACTUAL OCCURRENCES.
- K. EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. CONTRACTOR SHALL CONTACT NM-811 FOR UTILITY LINE SPOTS FIVE WORKING DAYS PRIOR TO CONDUCTING SITE FIELD WORK. CONTRACTOR SHALL FIELD VERIFY AND LOCATE ALL UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF NECESSARY DRY UTILITY ADJUSTMENTS.
- L. FOR ENGINEER'S CERTIFICATION OF SUBSTANTIAL COMPLIANCE (FOR CERTIFICATE OF OCCUPANCY) CONTRACTOR SHALL PROVIDE AN AUTOCAD FORMAT AS-BUILT SURVEY PREPARED BY A LICENSED SURVEYOR WHICH INCLUDES:
 - L.A. AS-BUILT SPOT ELEVATIONS AT EACH DESIGN SPOT ELEVATION SHOWN ON THE APPROVED PLAN;
 - L.B. TOP AND BOTTOM ELEVATIONS AS REQUIRED TO DEFINE THE PERIMETER OF PONDS (TO BE USED BY ENGINEER TO CALCULATE AS-BUILT VOLUME PROVIDED);
 - L.C. ALL CONSTRUCTION, INCLUDING DRAIN INLETS, PIPES AND PONDS SHOWN ON THIS PLAN MUST BE CONSTRUCTED IN SUBSTANTIAL COMPLIANCE WITH THE APPROVED PLAN IN ORDER TO RECEIVE ENGINEER'S CERTIFICATION.
- M. UPON WRITTEN REQUEST, THE ELECTRONIC FILE OF THE GRADING AND DRAINAGE WILL BE PROVIDED TO THE CONTRACTOR FOR VERTICAL CONTROL.
- N. SITE CONSTRUCTION LAYOUT / STAKING SHALL BE COORDINATED WITH THE OWNER.

VICINITY MAP



SCALE 1"=100'

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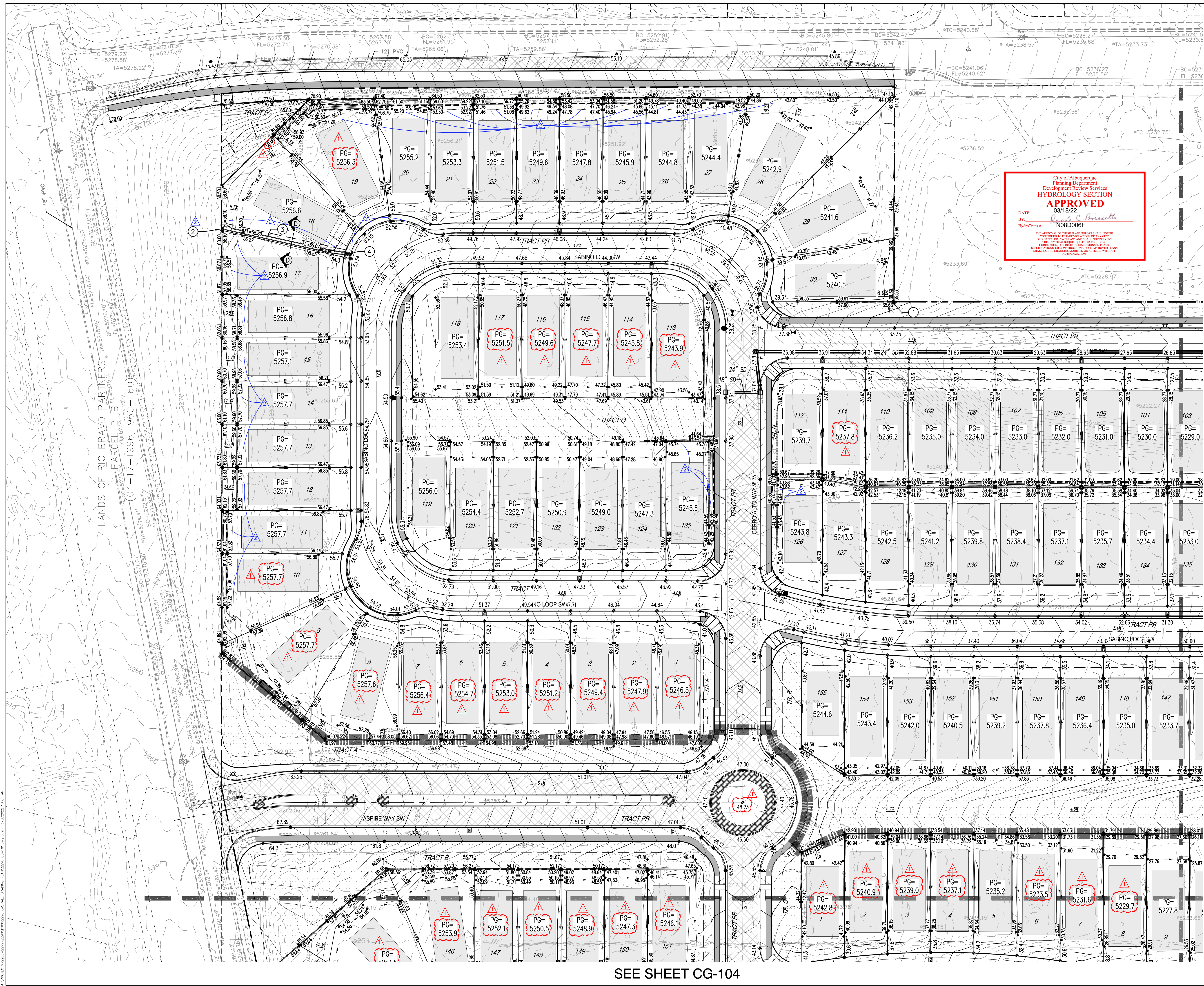
Professional Engineer
 No. 17631
 State of New Mexico
 08/21/20
 12/15/20 Renew
 03/08/22 Renew

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ASPIRE SUBDIVISION UNITS 1-4
 SUCCESS LAND HOLDINGS, LLC

OVERALL GRADING & DRAINAGE PLAN

Date:	08/2020	No. Revision:	1	Date:	12/2020	Job No.:	2290
Drawn By:	thor	2	REVISED RING WALL, PAD, AND COLOBEL GRADES	03/2022			
Ckd By:	ANW		ADDED 2-FOOT RANDBOY ON LOT 18, UNIT 2; CHANGED TO MOUNTABLE CURB LOTS 18-20.				
							CG-100
							SH. OF



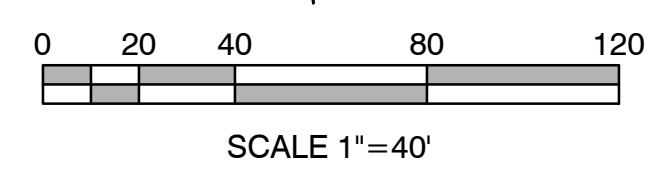
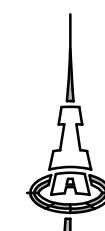
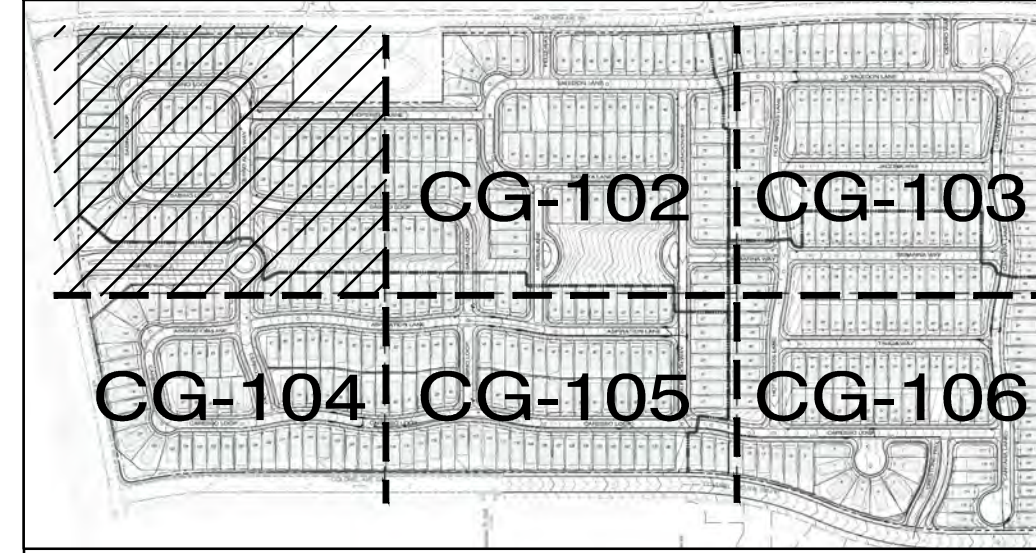
KEYED NOTES

1. TURN EVERY OTHER BLOCK OVER 10' TO PROVIDE OPENINGS FOR DRAINAGE.
2. TURN 3 BLOCKS ADJACENT TO RUNDOWN PER DETAIL ON SHEET CG-501.
3. 2' WIDE CONCRETE RUNDOWN PER DETAIL ON SHEET CG-501.
4. 2' WIDE SIDEWALK CULVERT.

LEGEND

- EXISTING CONTOUR
- 5233.34' EXISTING SPOT ELEVATION
- PROPOSED CONTOUR
- ◆ 30.63 PROPOSED SPOT ELEVATION
- PG= 5240.5 PAD GRADE ELEVATION
- FLOW ARROW
- STORM DRAIN
- STORM INLET
- RETAINING WALL

SITE KEY




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 Albuquerque, NM 87108
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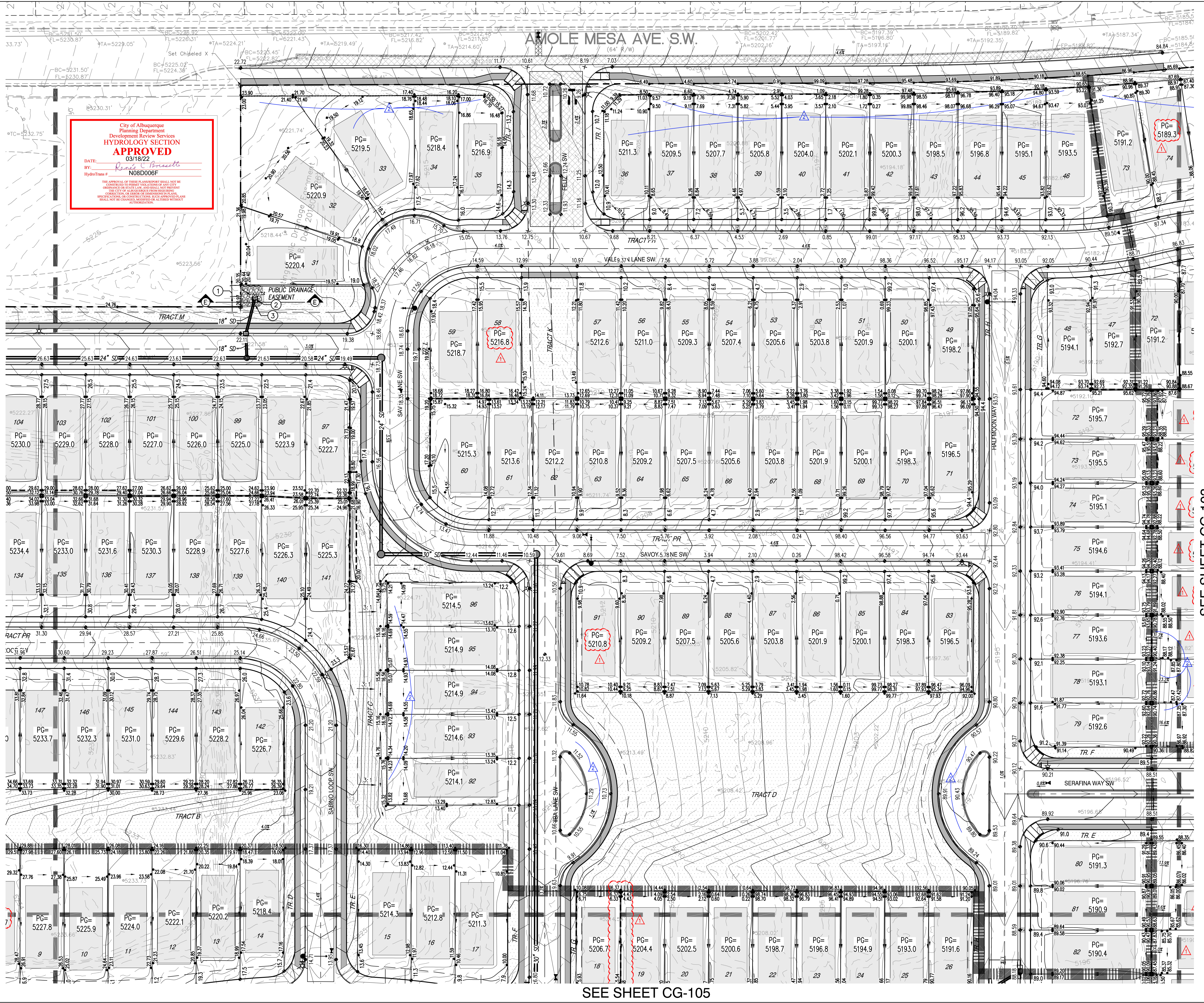
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ASPIRE SUBDIVISION UNITS 1-4 SUCCESS LAND HOLDINGS, LLC		GRADING & DRAINAGE PLAN 1	
Date:	No. Revision:	Date:	Job No.
08/2020	1 REVISED LOT GRADES	12/2020	2290
Drawn By:	2 REVISED RING WALL, PAD, AND COLOR GRADING	03/2022	CG-101
thor	ADDED 2-FOOT RUNDOWN ON LOT 18, UNIT 2; CHANGED TO MOUNTABLE CURB LOTS 18-20.		
Ckd By:	ANW		SH. OF

SEE SHEET CG-104

SEE SHEET CG-102

City of Albuquerque
 Planning Department
 Development Review Services
HYDROLOGY SECTION
APPROVED
 DATE: 03/18/22
 BY: *[Signature]*
 HydroTrans # N08D006F



City of Albuquerque
 Planning Department
 Development Review Services
HYDROLOGY SECTION
APPROVED
 DATE: 03/18/22
 BY: *Ronald C. Brantley*
 HydroTran # N08D006F

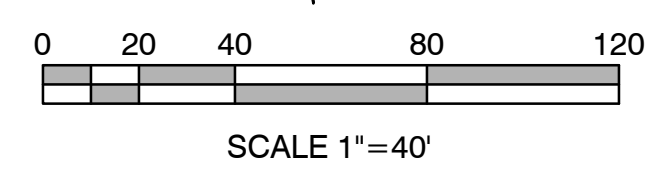
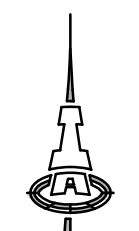
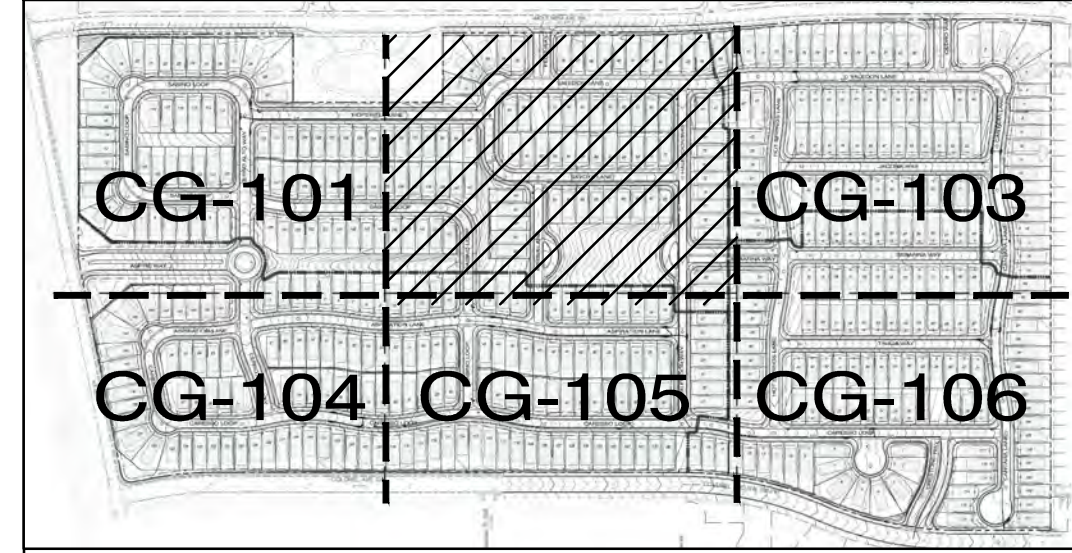
KEYED NOTES

1. TURN EVERY OTHER BLOCK OVER 10' TO PROVIDE OPENINGS FOR DRAINAGE.
2. PLACE 20'x20' ROCK PAD, 1' THICK OVER NON-WOVEN GEOTEXTILE FABRIC; 6" AVG. DIA (4"-8") FRACTURED FACE REUSE ROCK IN TEMPORARY POND.
3. 1"-24" NYLOPLAST DRAIN BASIN WITH 18-IN. OUTLET; DOMED GRATE AND 2' SUMP. GROUND ELEV. AT BASIN=19.5; RIM ELEV=19.8; INV.=16.5. SEE SECTION E-E ON SHEET CG-501.

LEGEND

- - - EXISTING CONTOUR
- 5233.34' EXISTING SPOT ELEVATION
- - - PROPOSED CONTOUR
- ◆ 30.63 PROPOSED SPOT ELEVATION
- PG= 5240.5 PAD GRADE ELEVATION
- FLOW ARROW
- STORM DRAIN
- STORM INLET
- - - RETAINING WALL

SITE KEY



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08/21/20
 12/15/20 Rev
 03/08/22 Rev
 PROFESSIONAL ENGINEER

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ASPIRE SUBDIVISION
UNITS 1-4
SUCCESS LAND HOLDINGS, LLC
GRADING & DRAINAGE PLAN 2

Date:	08/2020	No. Revision:	1	Date:	12/2020	Job No.:	2290
Drawn by:	thor	2	REVISED LOT GRADES	03/2022			
Ckd By:	ANW		ADDED 2-FOOT RAMP ON LOT 18, UNIT 2				
			CHANGED TO MOUNTABLE CURB LOTS 18-20				
							CG-102
							SH. OF

SEE SHEET CG-101

SEE SHEET CG-103

SEE SHEET CG-105

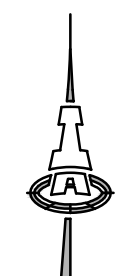
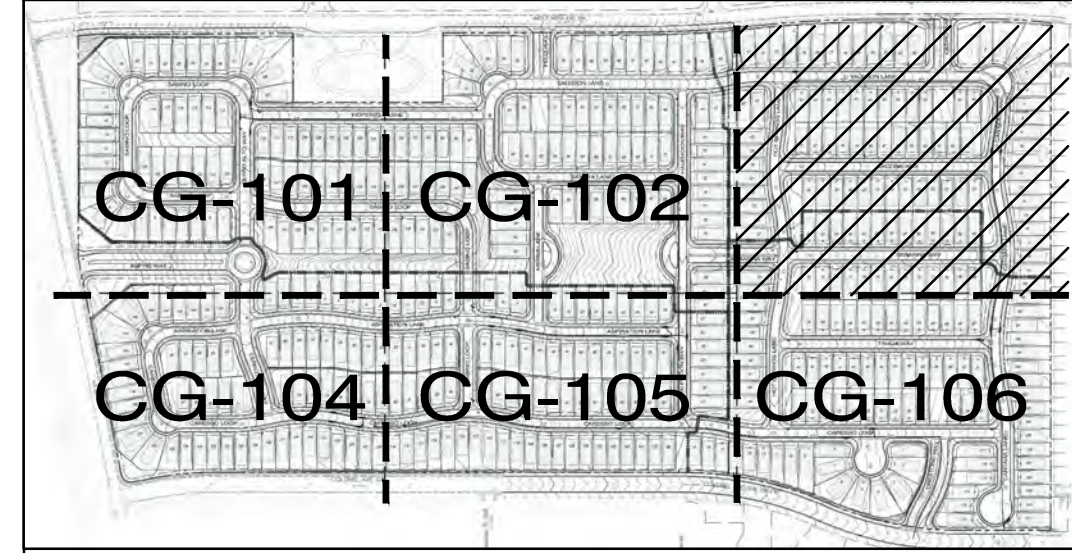
City of Albuquerque
 Planning Department
 Development Review Services
HYDROLOGY SECTION
APPROVED
 DATE: 03/18/22
 BY: *Renee C. Brantley*
 HydroTeam # N8D006F

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LEGEND

- 5233.34' — EXISTING CONTOUR
- 30.63 EXISTING SPOT ELEVATION
- - - PROPOSED CONTOUR
- ◆ 30.63 PROPOSED SPOT ELEVATION
- PG= 5240.5 PAD GRADE ELEVATION
- FLOW ARROW
- STORM DRAIN
- STORM INLET
- - - RETAINING WALL
- |— DRIVEWAY LOCATION DESIGNATED TO AVOID CONFLICT WITH STORM INLETS

SITE KEY



0 20 40 80 120
 SCALE 1"=40'

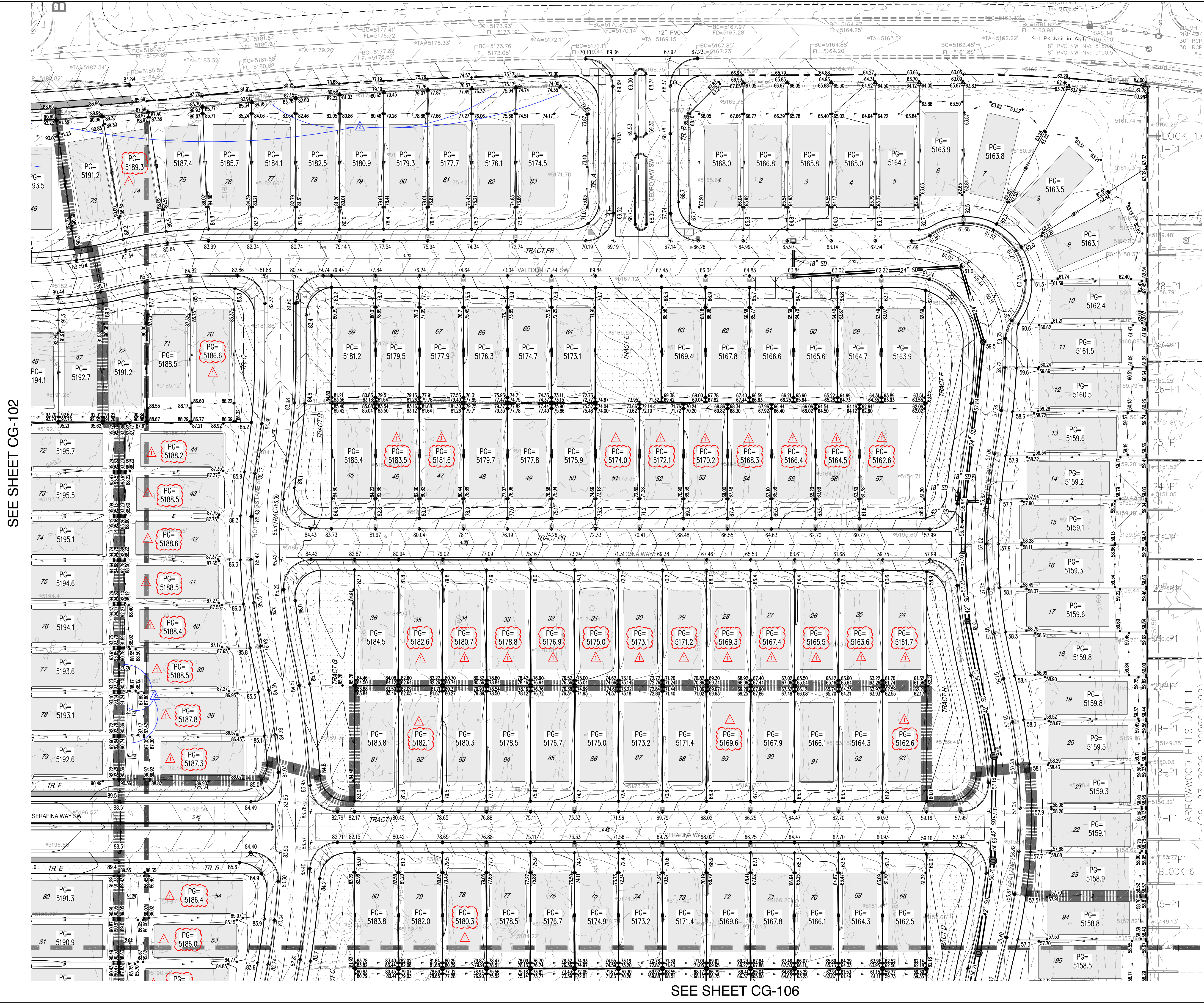
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Renee C. Brantley
 PROFESSIONAL ENGINEER
 08/21/20
 12/15/20
 03/08/22

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**ASPIRE SUBDIVISION
 UNITS 1-4
 SUCCESS LAND HOLDINGS, LLC
 GRADING & DRAINAGE PLAN 3**

Date:	08/2020	No. Revision:	1	Date:	12/2020	Job No.:	2290
Drawn By:	thor	Revised:	2	Date:	03/2022	Sheet:	CG-103
Ckd By:	ANW	Revised:	3	Date:		Sheet:	SH. OF



SEE SHEET CG-102

SEE SHEET CG-106

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SEE SHEET CG-101

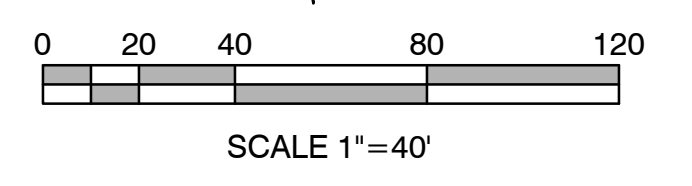
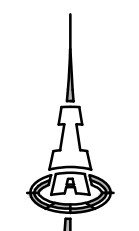
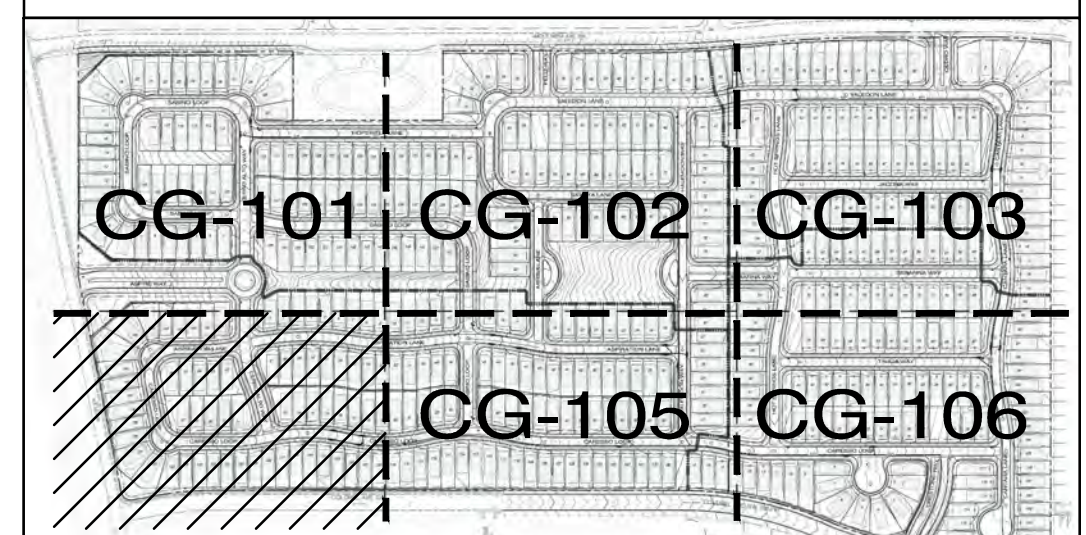
City of Albuquerque
 Planning Department
 Development Review Services
HYDROLOGY SECTION
APPROVED
 DATE: 03/18/22
 BY: *R. Gonzalez*
 HydroTrans # N08D006F

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 CONSIDERED TO PRESENT VIOLATION OF ANY CITY
 ORDINANCE OR STATE LAW AND SHALL NOT PREVENT
 THE CITY OF ALBUQUERQUE FROM INITIATING
 CONSTRUCTION OF EITHER OR BOTH OF THE PROJECTS
 DESCRIBED HEREIN OR FROM CHANGING THE PROJECTS
 WITHOUT BEING CHARGED WITH VIOLATION OF ANY
 CITY ORDINANCE OR STATE LAW.

LEGEND

- EXISTING CONTOUR
- 5233.34' EXISTING SPOT ELEVATION
- PROPOSED CONTOUR
- 30.63 PROPOSED SPOT ELEVATION
- PG= 5240.5 PAD GRADE ELEVATION
- FLOW ARROW
- STORM DRAIN
- STORM INLET
- RETAINING WALL
- DRIVEWAY LOCATION DESIGNATED TO AVOID CONFLICT WITH STORM INLETS

SITE KEY



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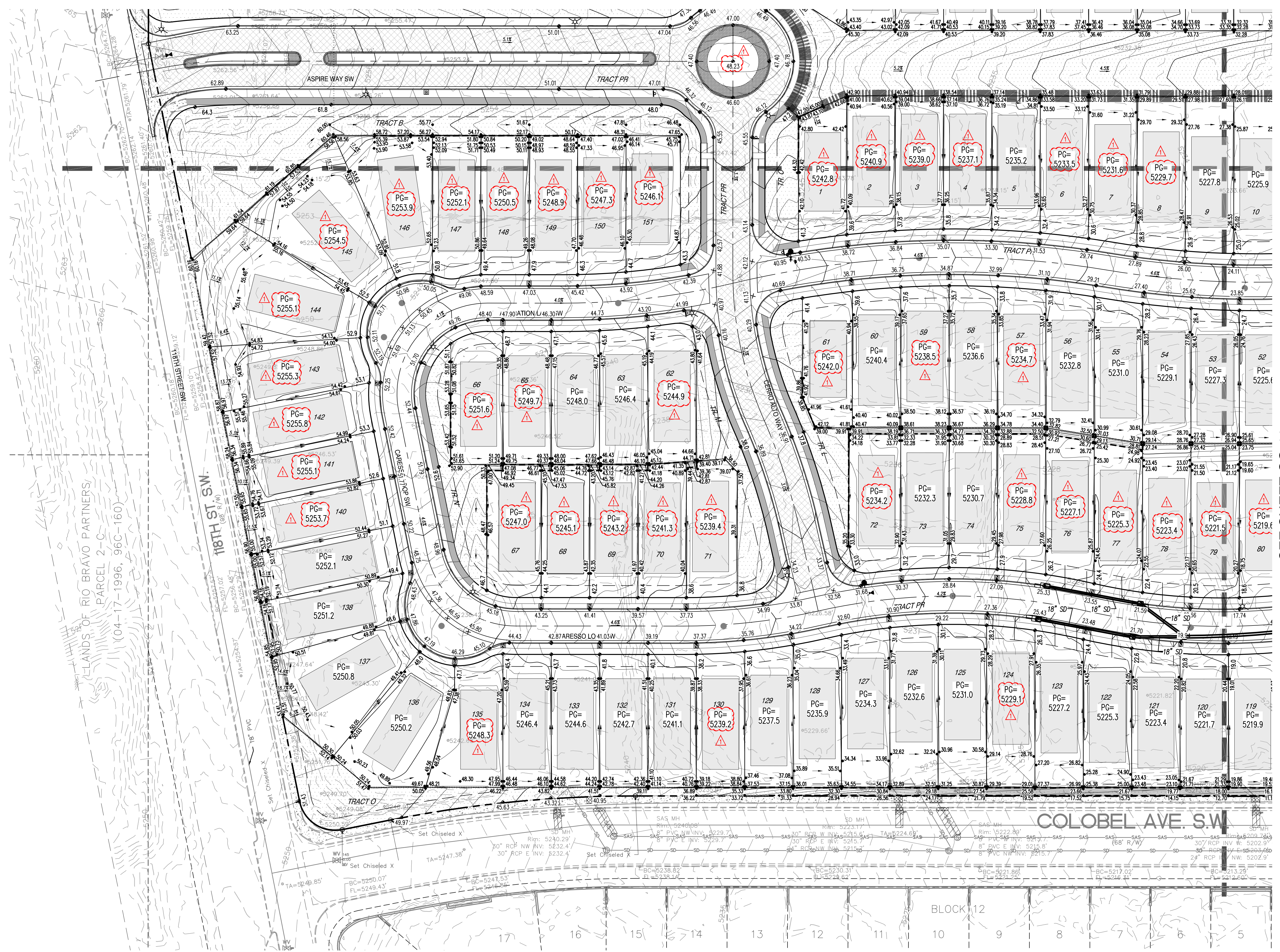
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08/21/20
 12/15/20
 03/08/22 *R. Gonzalez*

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ASPIRE SUBDIVISION
UNITS 1-4
 SUCCESS LAND HOLDINGS, LLC

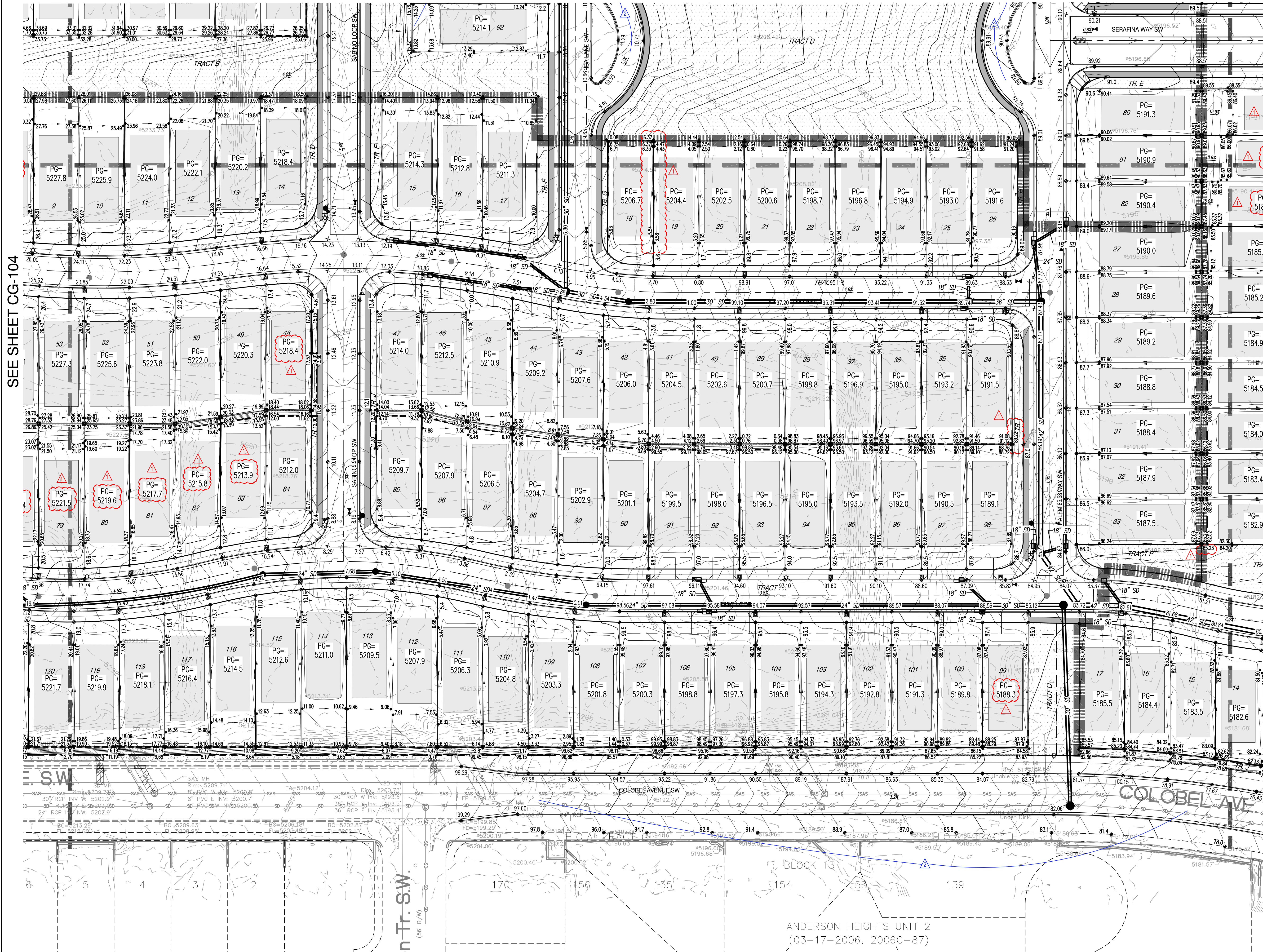
GRADING & DRAINAGE PLAN 4			
Date: 08/2020	No. Revision: 1 REVISED LOT GRADES	Date: 12/2020	Job No. 2290
Drawn By: thor	2 REVISED RING WALL, PAD, AND COLOBEL GRADES	03/2022	CG-104
Ckd By: ANW	ADDED 2-FOOT ROUNDOFF ON LOT 18, UNIT 2; CHANGED TO MOUNTABLE CURB LOTS 18-20.		
			SH. OF



SEE SHEET CG-105

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 PLAN: 2020 CG-101.dwg, 3/8/2022, 10:52 AM

SEE SHEET CG-102



SEE SHEET CG-104

SEE SHEET CG-106

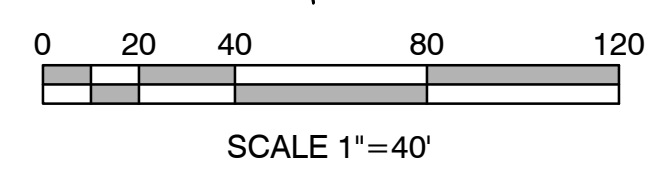
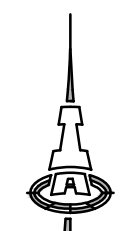
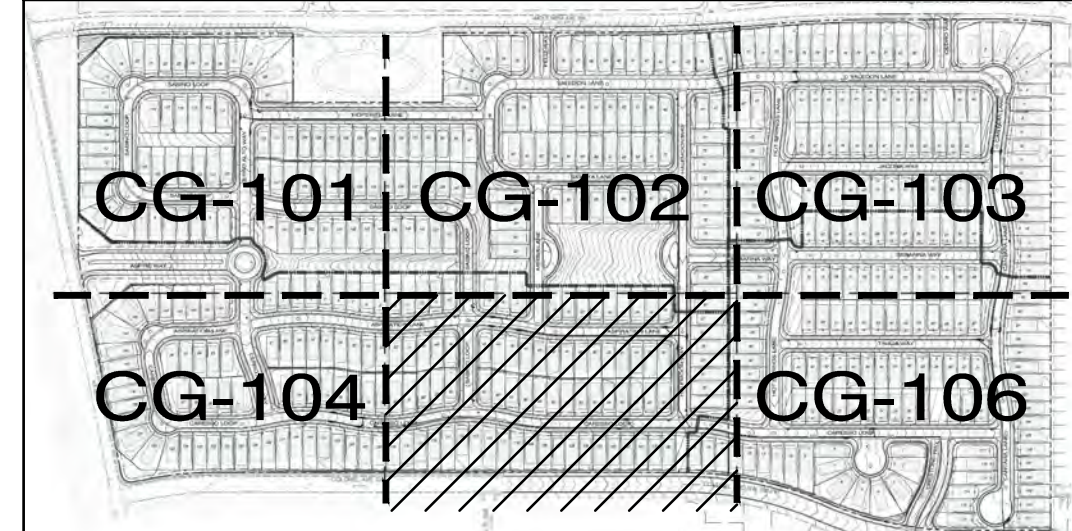
City of Albuquerque
 Planning Department
 Development Review Services
HYDROLOGY SECTION
APPROVED
 DATE: 03/18/22
 BY: *Ryan C. Bonnell*
 HydroTrac # N08D006F

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LEGEND

- EXISTING CONTOUR
- EXISTING SPOT ELEVATION
- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION
- PAD GRADE ELEVATION
- FLOW ARROW
- STORM DRAIN
- STORM INLET
- RETAINING WALL
- DRIVEWAY LOCATION DESIGNATED TO AVOID CONFLICT WITH STORM INLETS

SITE KEY



Isaacson & Arfman, Inc.
 Civil Engineering Consultants

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Professional Engineer
 Ryan C. Bonnell
 08/21/20
 12/15/20
 03/08/22

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ASPIRE SUBDIVISION UNITS 1-4 SUCCESS LAND HOLDINGS, LLC			
GRADING & DRAINAGE PLAN 5			
Date:	No. Revision:	Date:	Job No.
08/2020	1 REVISED LOT GRADES	12/2020	2290
Drawn By:	2 ADDED RING WALL, PAD, AND COLOBEL GRADES	03/2022	CG-105
thor	ADDED 2-FOOT ROUNDOFF ON LOT 18, UNIT 2;		
	CHANGED TO MOUNTABLE CURB LOTS 18-20.		
Ckd By:			SH. OF
ANW			

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 DATE: 03/18/22
 TIME: 10:03 AM

SEE SHEET CG-103

SEE SHEET CG-105

KEYED NOTES

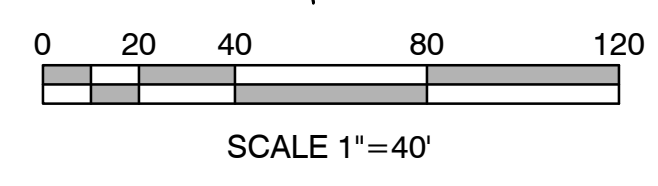
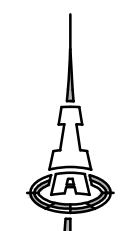
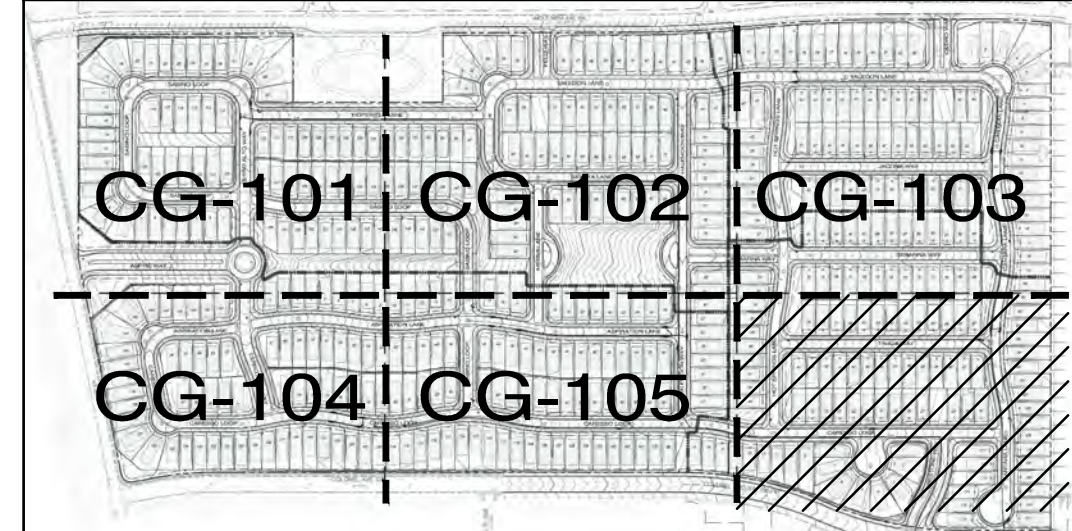
1. DRAINAGE EMERGENCY OVERFLOW AT PEDESTRIAN GATE.



LEGEND

- EXISTING CONTOUR
EXISTING SPOT ELEVATION
PROPOSED CONTOUR
PROPOSED SPOT ELEVATION
PAD GRADE ELEVATION
FLOW ARROW
STORM DRAIN
STORM INLET
RETAINING WALL
DRIVEWAY LOCATION DESIGNATED TO AVOID CONFLICT WITH STORM INLETS

SITE KEY



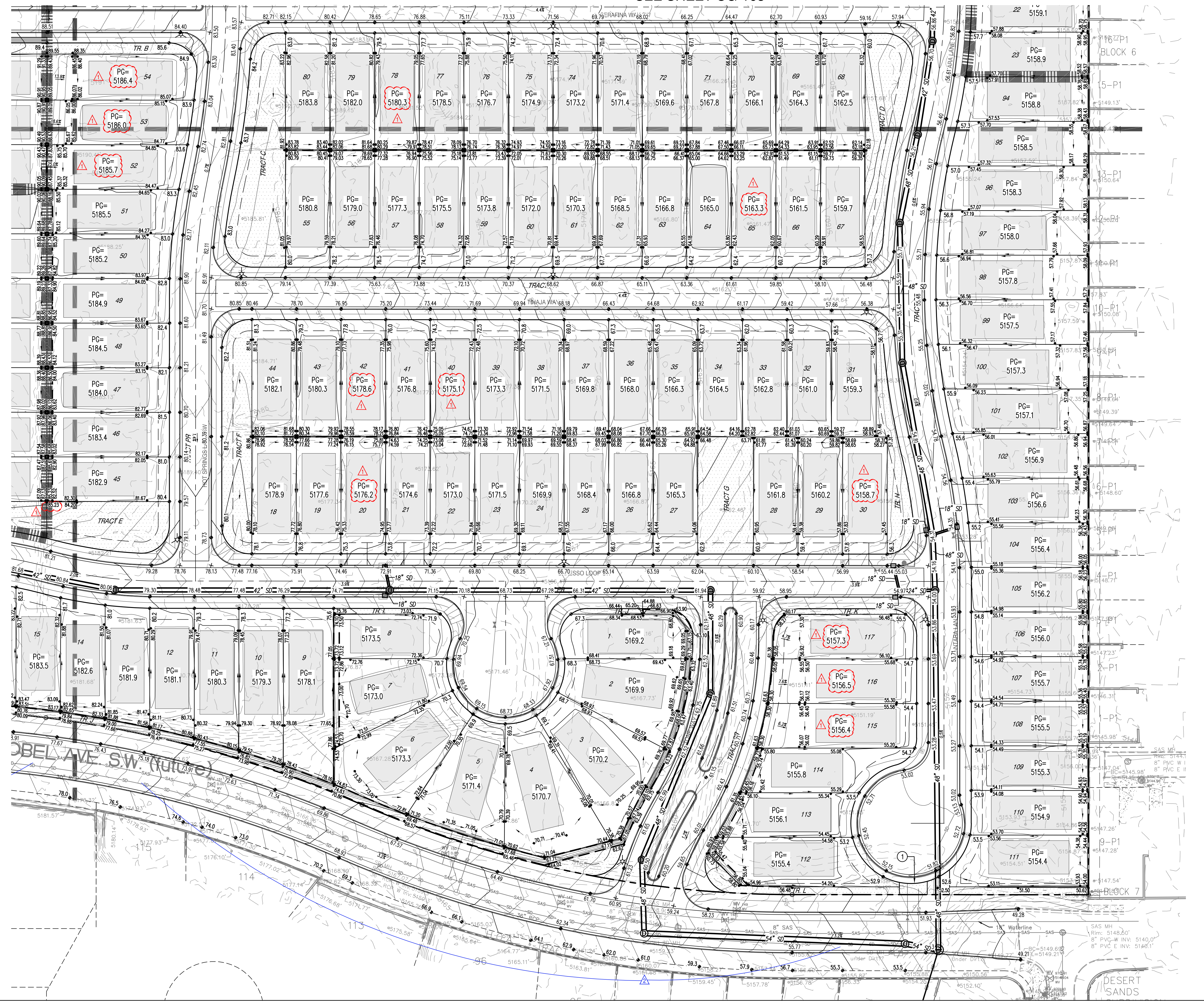
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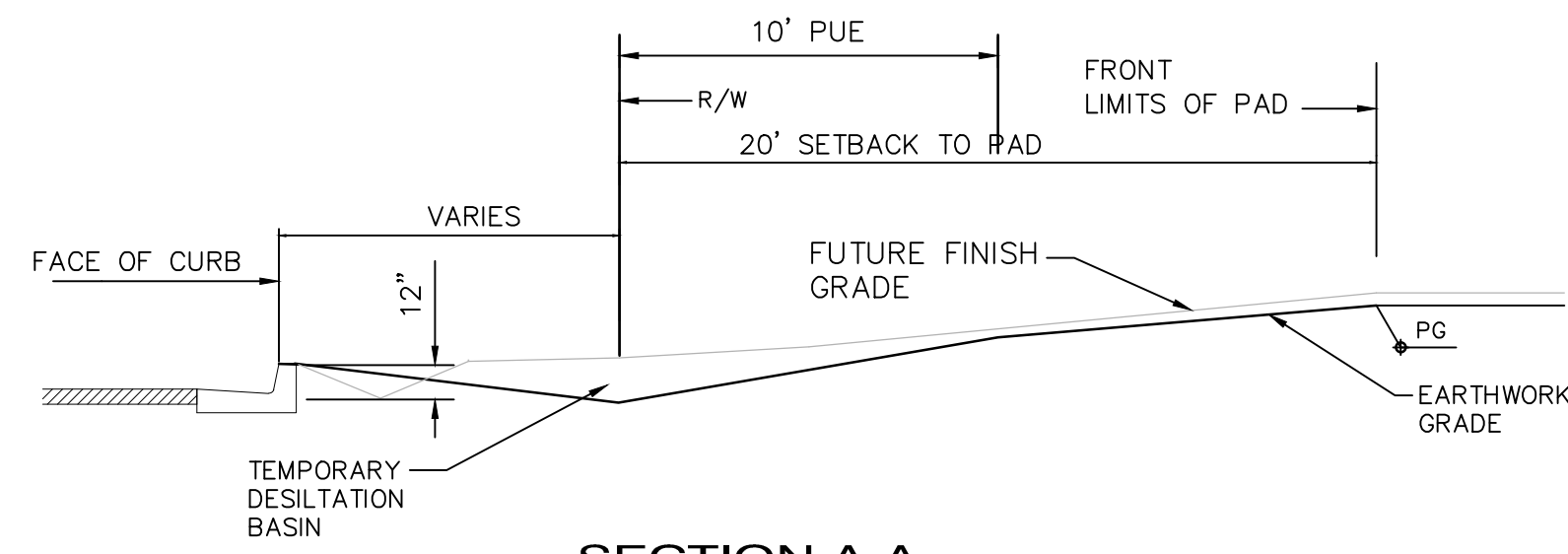
ASPIRE SUBDIVISION
UNITS 1-4
SUCCESS LAND HOLDINGS, LLC

GRADING & DRAINAGE PLAN 6

Table with columns: Date, No. Revision, Date, Job No.
08/2020, 1 REVISED LOT GRADES, 12/2020, 2990
03/2022, 2 REVISED RING WALL, PAD, AND COLOREL GRADES, 03/2022, CG-106
ANW, CHANGED 2-FOOT RANNDOWN ON LOT 18, UNIT 2; CHANGED TO MOUNTABLE CURB LOTS 18-20, SH. OF

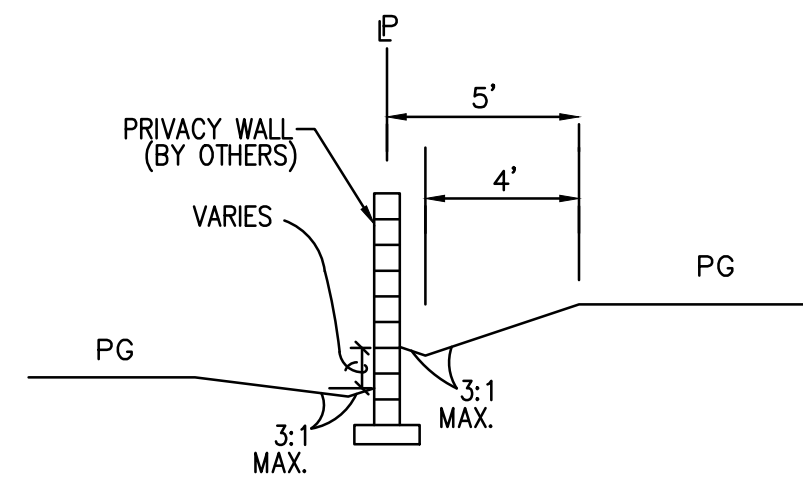


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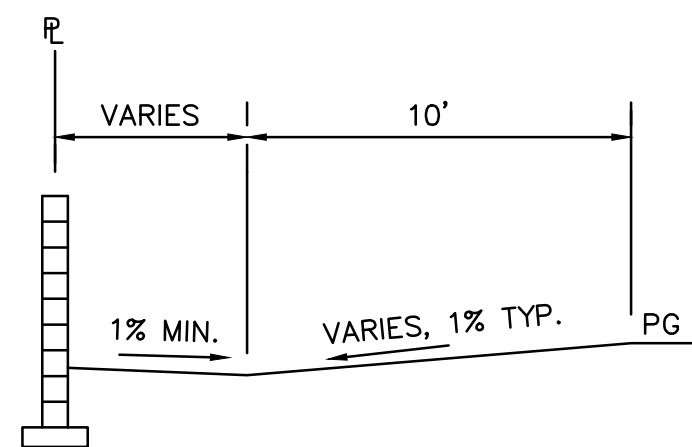
**SECTION A-A
FRONT YARD GRADING**

SCALE: 1"=5'-0"
FRONT YARD GRADES AT COMMON LOT LINES SHALL BE AT FINISH GRADE TO SET WATER METERS AND DRY UTILITY EQUIPMENT.



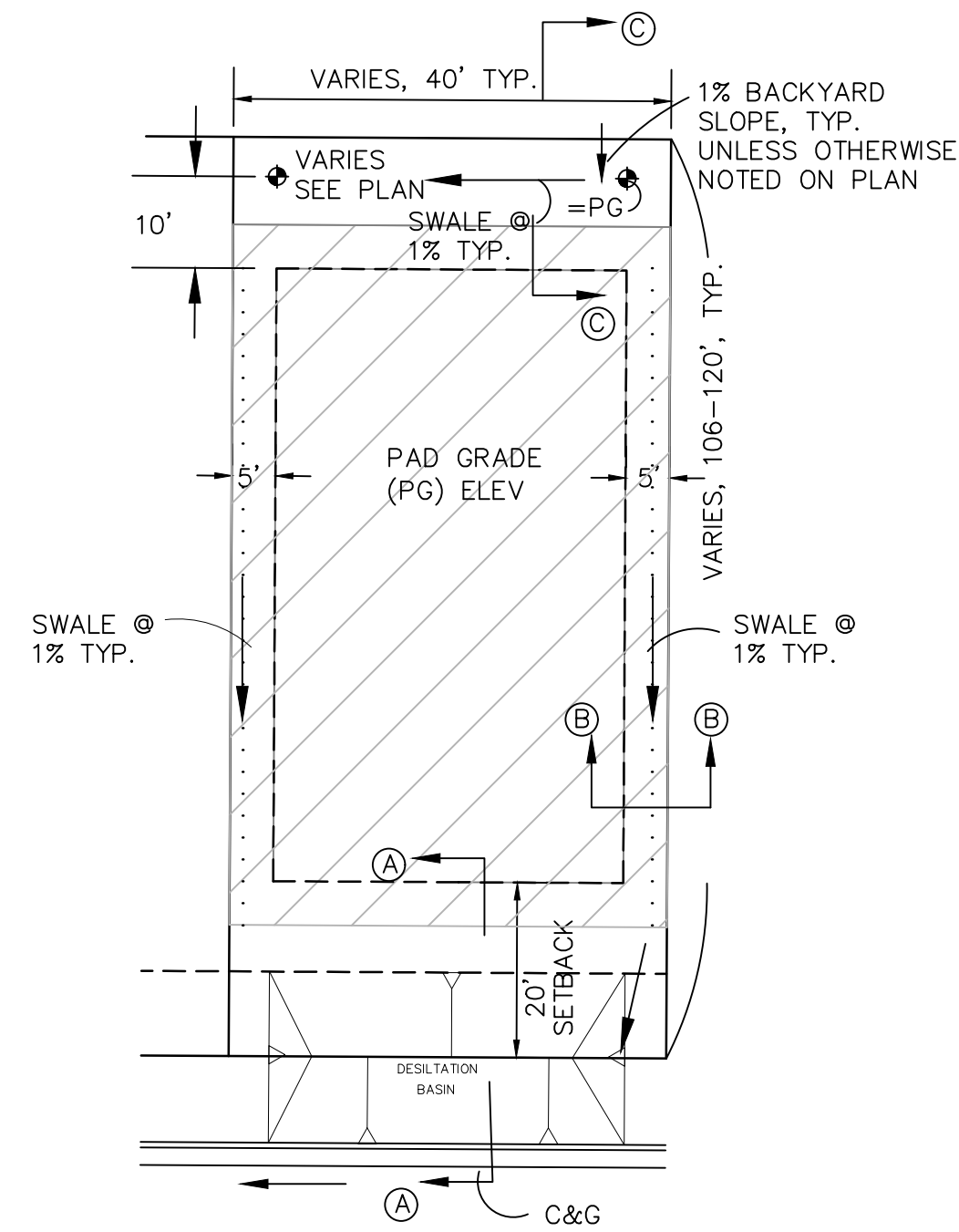
**SECTION B-B
TYPICAL SIDEYARD GRADING**

SCALE: 1"=5'



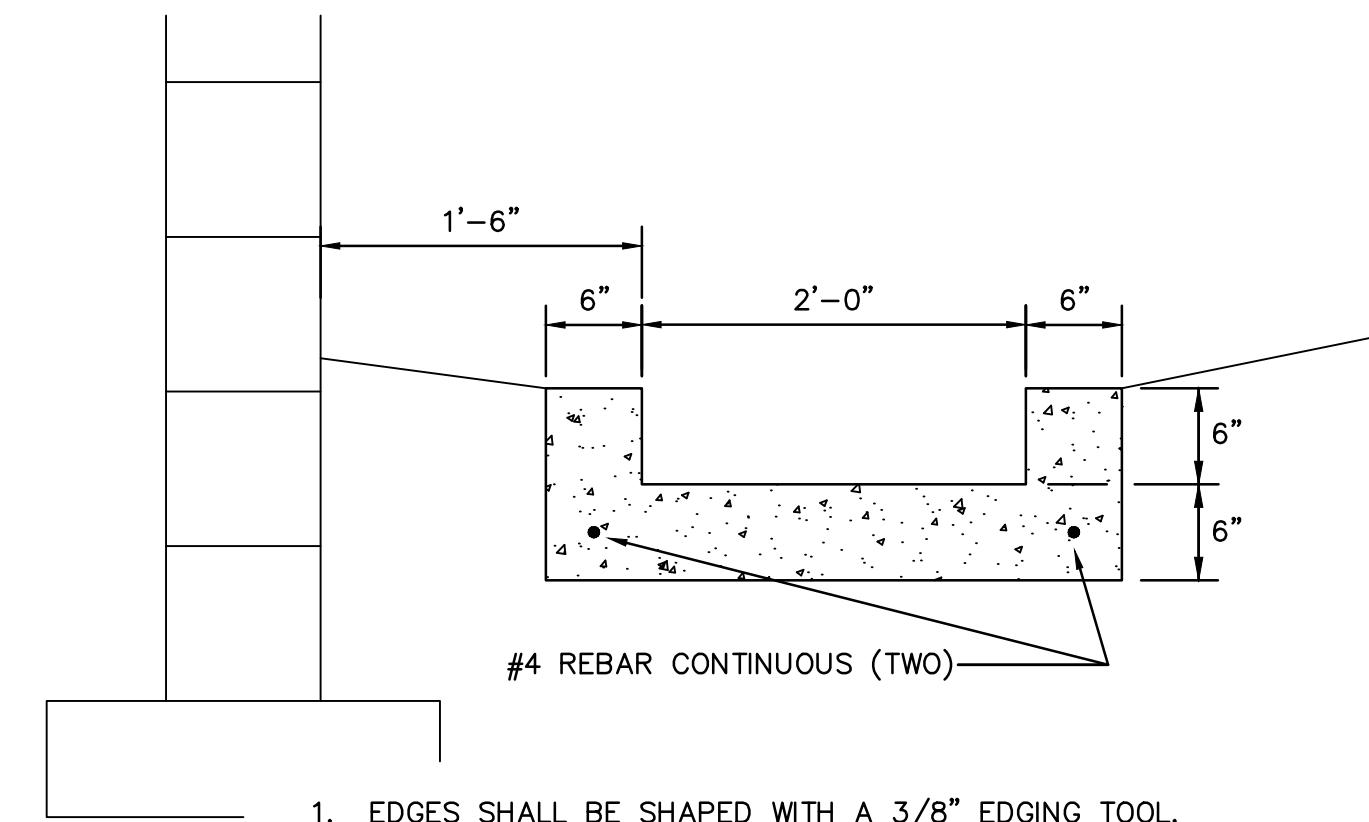
**SECTION C-C
TYPICAL BACKYARD GRADING**

SCALE: 1"=5'



TYPICAL LOT GRADING DETAIL

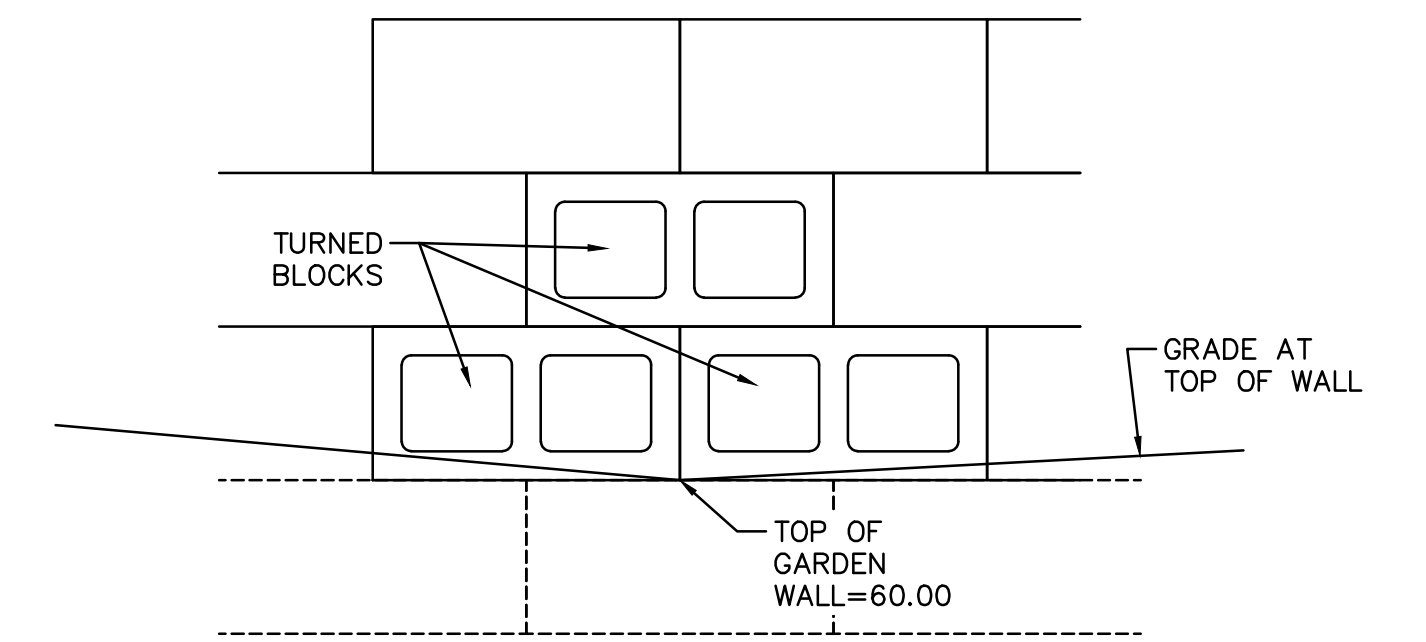
SCALE: 1"=20' NOTE: 10' SIDEYARD SETBACK ADJACENT TO STREETS.



**SECTION D-D
CONCRETE RUNDOWN**

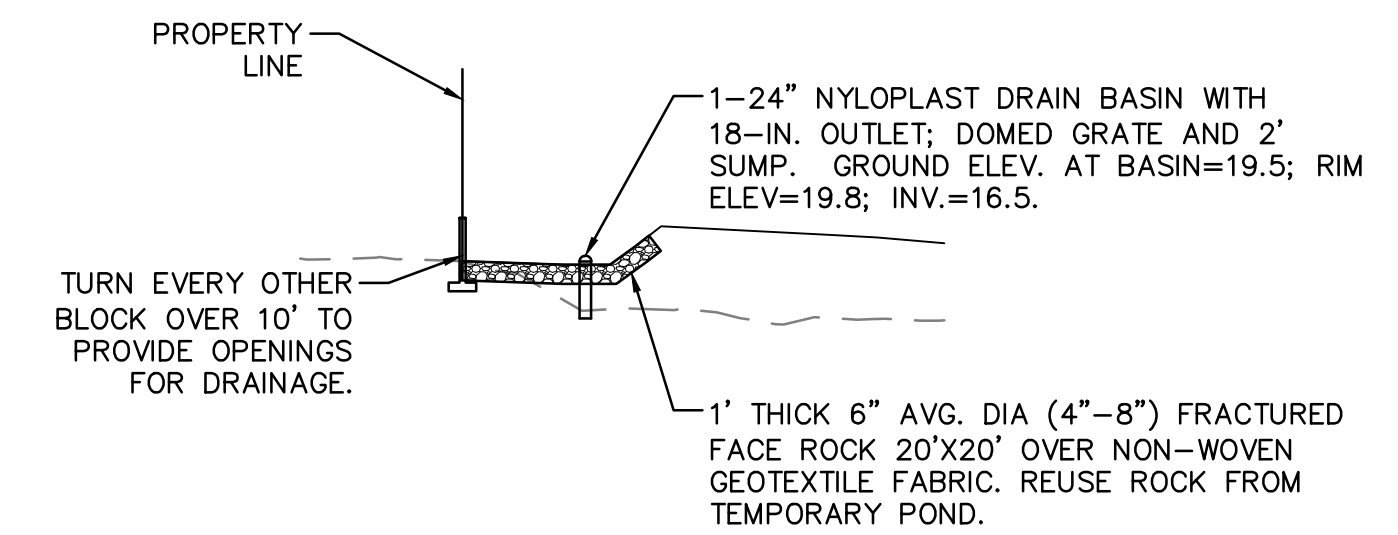
1. EDGES SHALL BE SHAPED WITH A 3/8" EDGING TOOL.
2. SILICON SEALED CONSTRUCTION CONTROL JOINTS AT 6' O.C.
3. 1/2" SILICON SEALED EXPANSION JOINTS 24' O.C. AND AT CURB RETURNS.

SCALE: N.T.S.



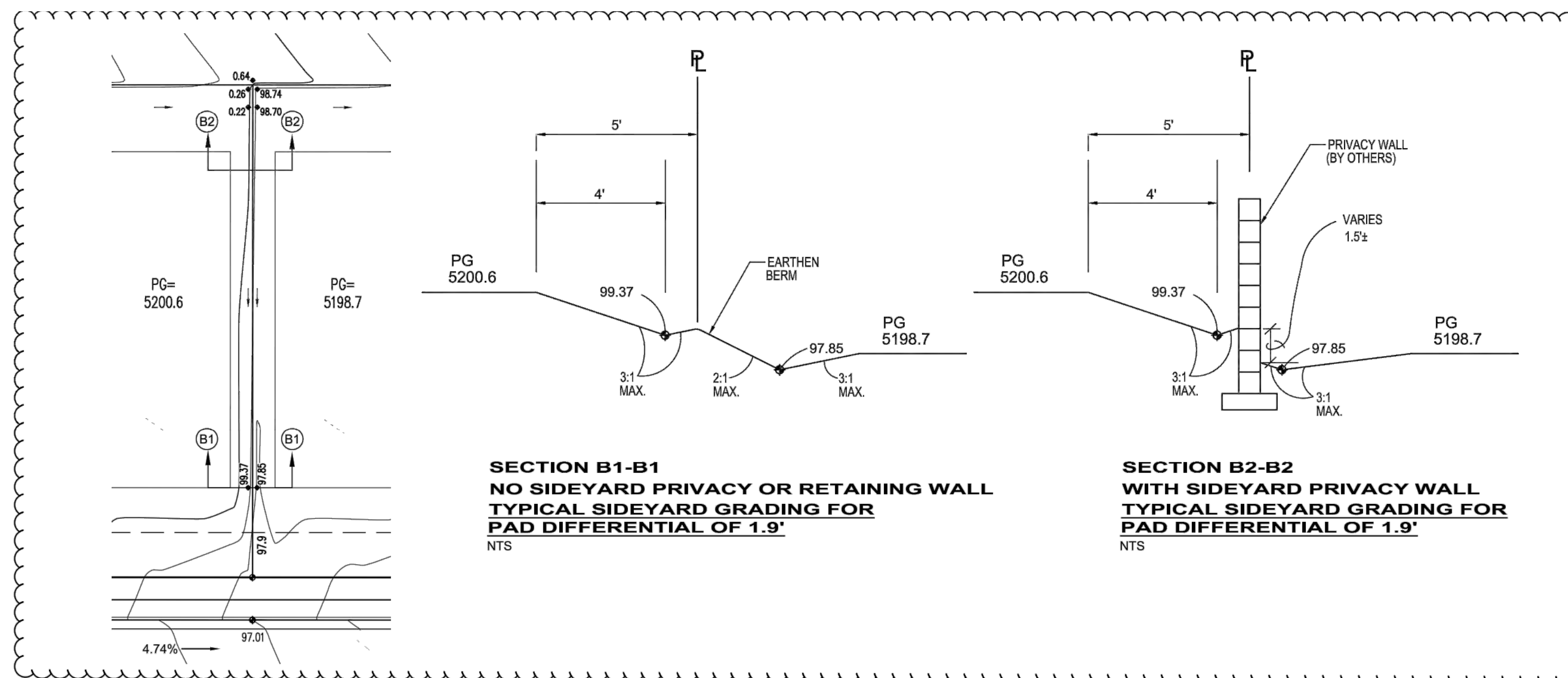
3 TURNED BLOCK S DETAIL

SCALE: N.T.S.



SECTION E-E

SCALE: 1"=20' (HORIZ.)
1"=10' (VERT.)

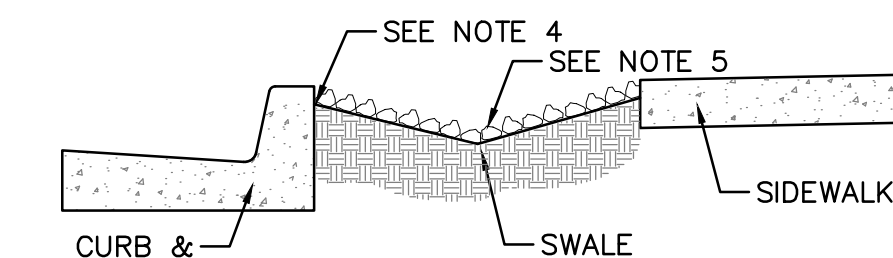


**SECTION B1-B1
NO SIDEYARD PRIVACY OR RETAINING WALL
TYPICAL SIDEYARD GRADING FOR
PAD DIFFERENTIAL OF 1.9'**

NTS

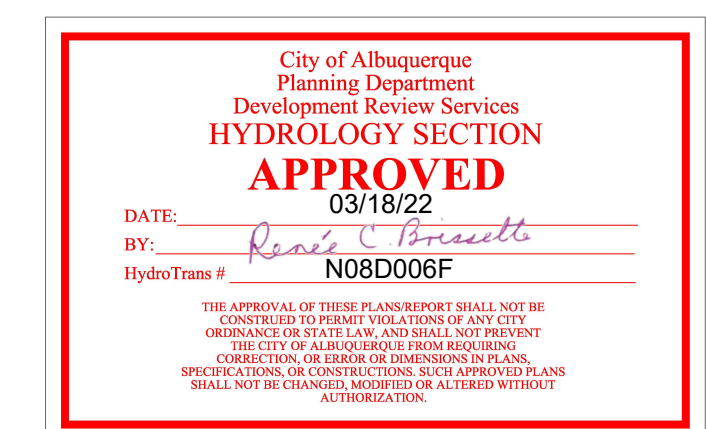
**SECTION B2-B2
WITH SIDEYARD PRIVACY WALL
TYPICAL SIDEYARD GRADING FOR
PAD DIFFERENTIAL OF 1.9'**

NTS



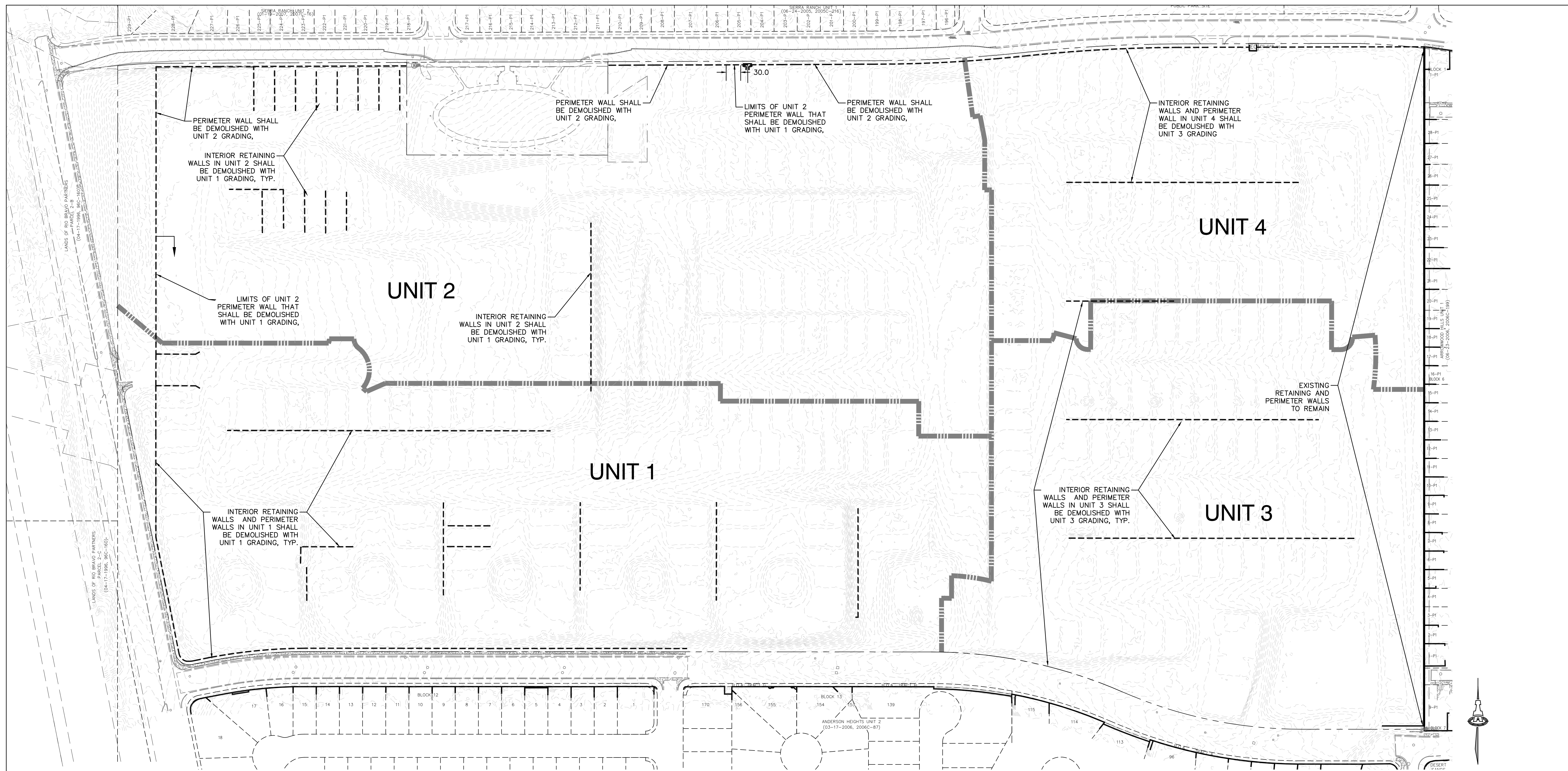
1. SWALE TO BE 6" DEEP WHEN THE DISTANCE BETWEEN BACK OF CURB AND THE SIDE WALK IS 5 FEET.
2. SWALE TO BE 1" DEEPER THAN THE DISTANCE IN FEET BETWEEN THE BACK OF CURB AND THE SIDEWALK FOR LANDSCAPE BUFFERS DIFFERENT THAN 5 FEET WIDE.
3. FOR WIDE LANDSCAPE BUFFERS, GREATER THAN 10 FEET, THE MAXIMUM DEPTH IS 10".
4. FINAL GRADE OF DIRT TO BE 1" TO 2" BELOW TOP OF CURB AND TOP OF SIDEWALK GRADE.
5. SURFACE BETWEEN BACK OF CURB AND SIDEWALK TO BE COVERED WITH GRAVEL MULCH (MINIMUM 3"), COBBLES OR RIP-RAP. DO NOT FILL ENTIRE SWALE.
6. A CHECK DAM WILL BE REQUIRED FOR SWALES ON STEEPER LONGITUDINAL SLOPES AND LONGER SECTIONS. THE ENGINEER WILL DETERMINE LOCATION.
7. LANDSCAPE FABRIC IS RECOMMENDED, BUT NOT REQUIRED, BETWEEN THE DIRT AND THE STONE. IF LANDSCAPE FABRIC IS TO BE USED, IT IS TO BE PERMEABLE.
8. DETAIL IS TO BE BUILT WITH ALL NEW HOME CONSTRUCTION. IN THE CASE WHERE SIDEWALK IS EXISTING AND THE LANDSCAPE BUFFER IS IMPROVED WITH LANDSCAPING AND/OR SOME FORM OF EROSION PROTECTION, THIS REQUIREMENT DOES NOT APPLY.

LANDSCAPE BUFFER SWALE
REVISION TO CITY STANDARD DRAWINGS
2405A & 2405B



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ASPIRE SUBDIVISION UNITS 1-4			
SUCCESS LAND HOLDINGS, LLC			
GRADING & DRAINAGE DETAILS			
Date:	No. Revision:	Date:	Job No.
08/2020	1 REVISED LOT GRADES	12/2020	2290
Drawn By:	2 REVISED RING WALL, PAD, AND COBBLER GRADES	03/2022	CG-501
thor	ADDED 2-FOOT RUNDOWN ON LOT 18, UNIT 2;		
Ckd By:	CHANGED TO MOUNTABLE CURB LOTS 18-20.		SH. OF
ANW			



W:\PROJECTS\2020-2024\2020-2024\ASPIRE\GENERAL GRADING PLAN\2290 CG-200.dwg, 3/6/2022, 10:03 AM

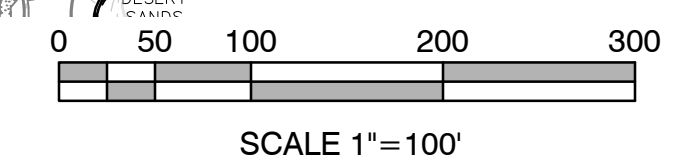


WALL DEMOLITION NOTES

1. ALL WALLS SHALL BE DEMOLISHED EXCEPT AS NOTED ON PLAN.
2. PATCH & REPAIR EXISTING ADJOINING WALLS TO REMAIN.
3. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS WITHIN THE CONTRACT LIMITS AND NOTIFY THE ENGINEER IN WRITING OF ANY DEVIATION FROM CONTRACT DOCUMENTS NECESSITATED BY FIELD CONDITIONS OR ITEMS NOT COVERED.
4. ALL DEMOLITION SHALL BE PERFORMED IN A SAFE AND ACCEPTABLE MANNER TO ALL AUTHORITIES HAVING JURISDICTION AND THE OWNER.
5. THOROUGHLY CLEAN ADJACENT AREAS OF DEBRIS CAUSED BY DEMOLITION WORK.
6. PRIOR TO ANY DEMOLITION, THE CONTRACTOR SHALL COORDINATE BRACING AND MAINTAIN THE STRUCTURAL INTEGRITY OF THE WALLS TO REMAIN.
7. THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY BRACING, SHORING, SCAFFOLDING, ETC., WHICH ARE NECESSARY TO PREVENT COLLAPSE, SUBSIDENCE, DEFLECTION OR ANY OTHER TYPE OF DAMAGE.
8. CONTRACTOR SHALL REVIEW ALL WALLS TO BE DEMOLISHED WITH OWNER TO IDENTIFY ANY ITEMS TO BE SALVAGED AND DETERMINE SALVAGE LOCATION. UNSALVAGEABLE WALL BLOCKS AND FOOTINGS SHALL BE REMOVED FROM SITE AND LEGALLY DISPOSED.

LEGEND

- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE DEMOLISHED
- UNIT LINE

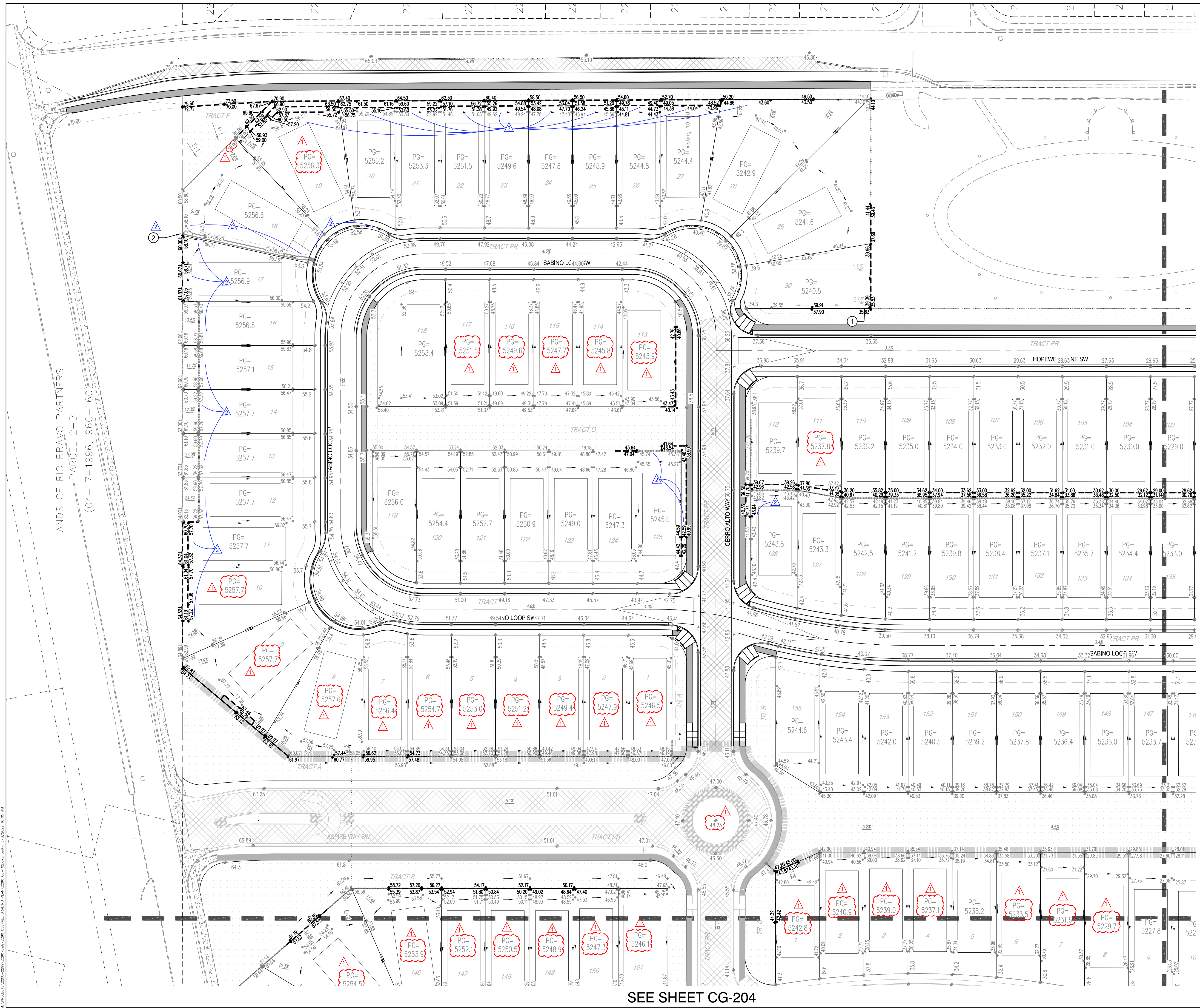


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ASPIRE SUBDIVISION			
UNITS 1-4			
SUCCESS LAND HOLDINGS, LLC			
WALL DEMOLITION PLAN			
Date: 08/2020	No. Revision: 1	Date: 12/2020	Job No. 2290
Drawn By: thor	2	03/2022	CG-200
Ckd By: ANW	REVISED LOT GRADES REVISED RING WALL, PAD, AND COLOREL GRADES ADDED 2-FOOT RANDBOY ON LOT 18, UNIT 2; CHANGED TO MOUNTABLE CURB LOTS 18-20.		



LANDS OF RIO BRAVO PARTNERS
 PARCEL 2-B
 (04-17-1996, 96C-160)

KEYED NOTES

- TURN EVERY OTHER BLOCK OVER 10' TO PROVIDE OPENINGS FOR DRAINAGE.
- TURN 3 BLOCKS ADJACENT TO RUNDOWN PER DETAIL ON SHEET CG-501.

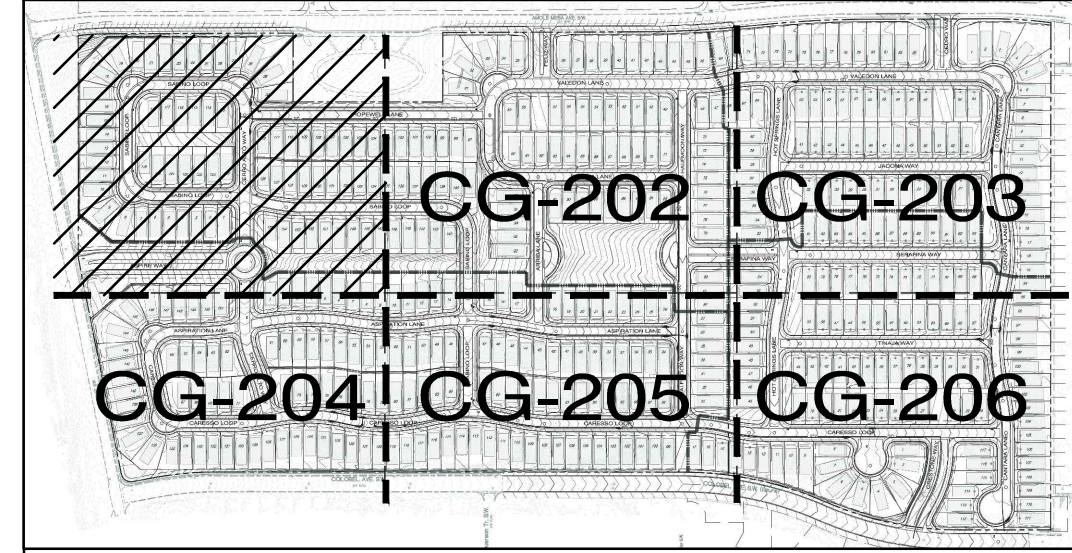


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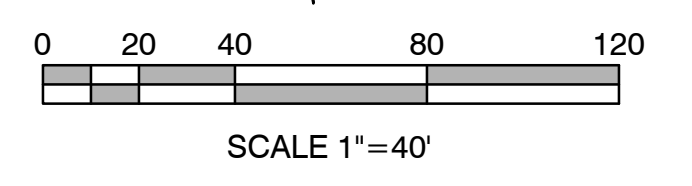
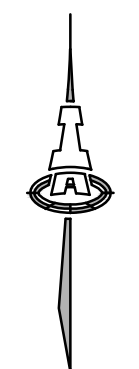
- PROPOSED RETAINING WALL
- PROPOSED GARDEN WALL
- ◆ 30.63 PROPOSED WALL ELEVATION
- ◆ 40.94 PROPOSED SPOT ELEVATION



SITE KEY



SEE SHEET CG-202



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**ASPIRE SUBDIVISION
 UNITS 1-4
 SUCCESS LAND HOLDINGS, LLC**

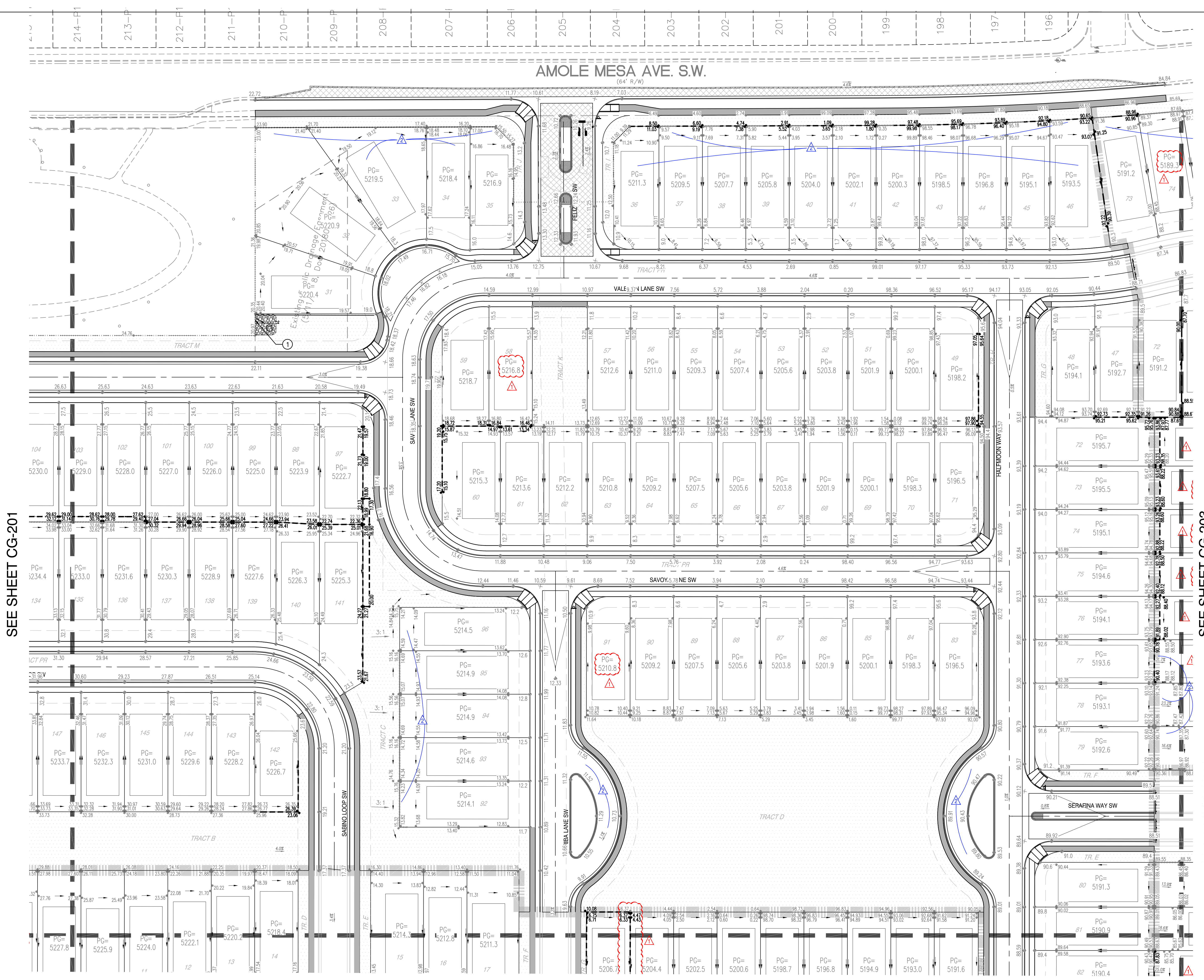
RETAINING WALL PLAN 1

Date:	08/20/2020	No. Revision:	1	Date:	12/20/2020	Job No.:	2290
Drawn By:	thor	2	REVISED LOT GRADES	03/2022	CG-201		
Ckd By:	ANW		ADDED 2-FOOT RUNDOWN ON LOT 18, UNIT 2; CHANGED TO MOUNTABLE CURB LOTS 18-20.		SH. OF		

SEE SHEET CG-204

W:\PROJECTS\2020-2024\ASPIRE\ASPIRE.dwg Overall GRADING PLAN 2/20/20 10:05 AM

AMOLE MESA AVE. S.W. (64' R/W)



KEYED NOTES

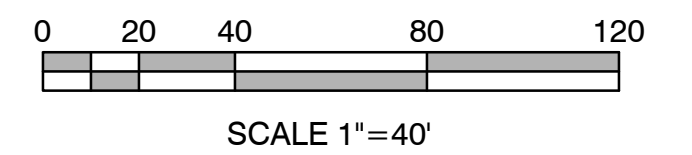
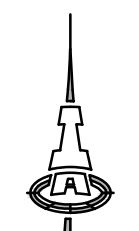
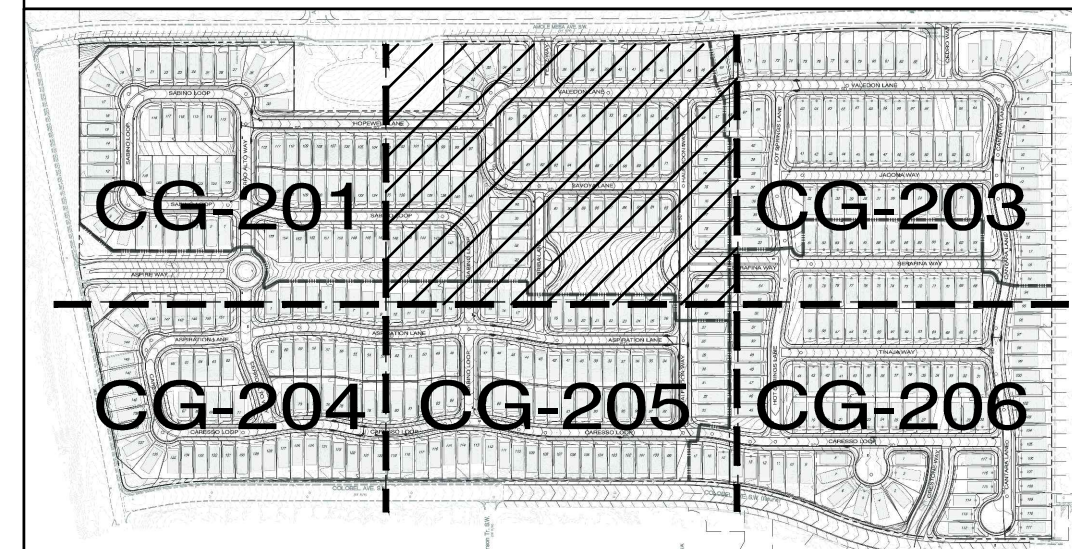
- TURN EVERY OTHER BLOCK OVER 10' TO PROVIDE OPENINGS FOR DRAINAGE.

LEGEND

- PROPOSED RETAINING WALL
- PROPOSED GARDEN WALL
- ◆ 30.63 PROPOSED WALL ELEVATION
- ◆ 40.94 PROPOSED SPOT ELEVATION



SITE KEY



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ASPIRE SUBDIVISION
UNITS 1-4

SUCCESS LAND HOLDINGS, LLC

RETAINING WALL PLAN 2

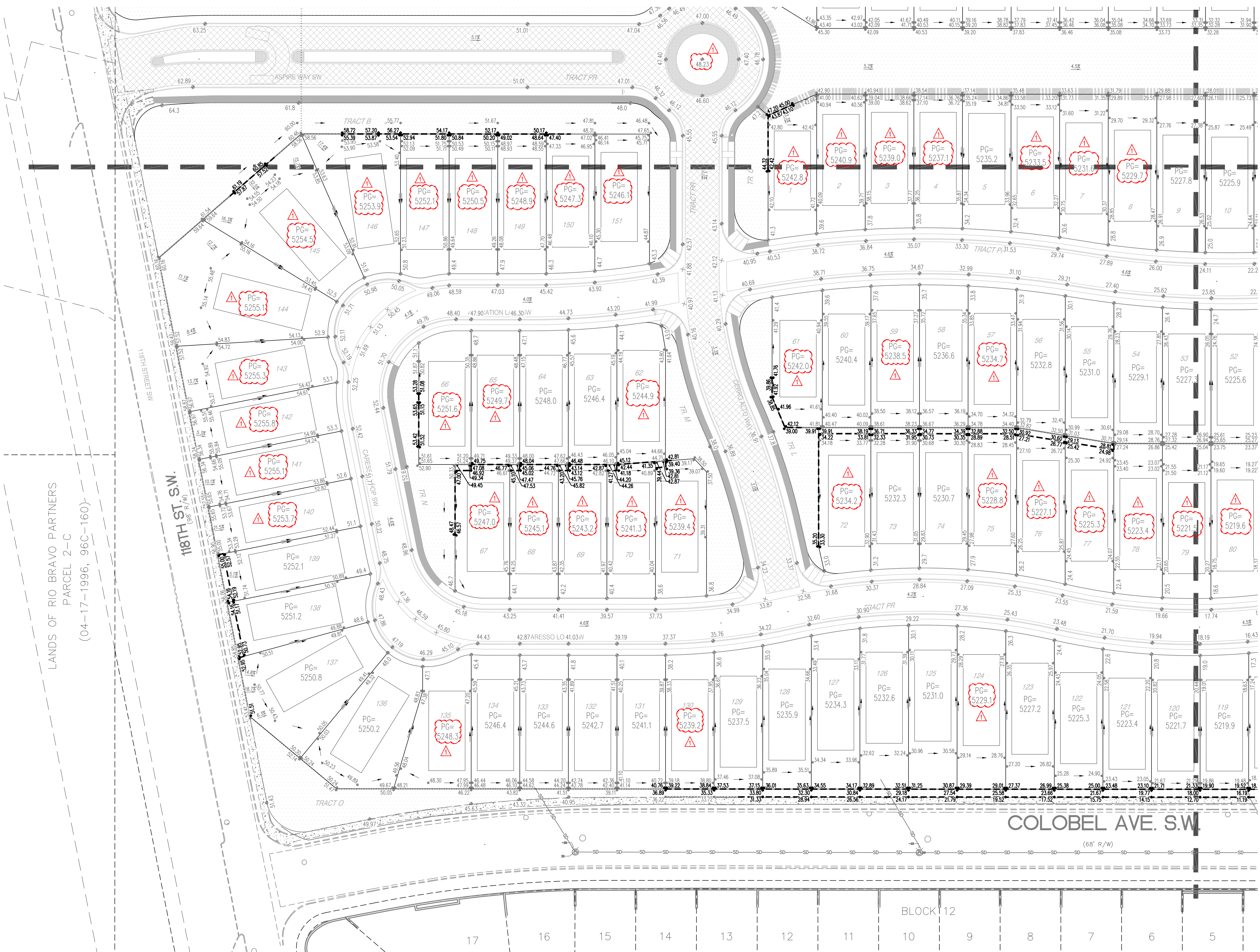
Date:	08/2020	No.:	1	Revision:	REVISED LOT GRADES	Date:	12/2020	Job No.:	2290
Drawn By:	thor	No.:	2	Revision:	REVISED RING WALL PAD, AND COLOR GRADING	Date:	03/2022	Job No.:	CG-202
Ckd By:	ANW	No.:		Revision:	ADDED 2-FOOT RANDBOY ON LOT 18, UNIT 2; CHANGED TO MOUNTABLE CURB LOTS 18-20.	Date:		Job No.:	SH. OF

SEE SHEET CG-201

SEE SHEET CG-203

SEE SHEET CG-205

SEE SHEET CG-201

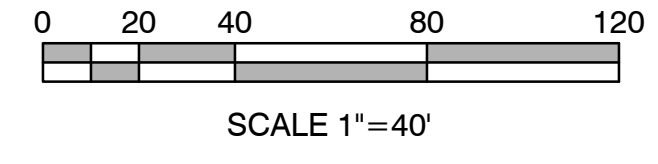
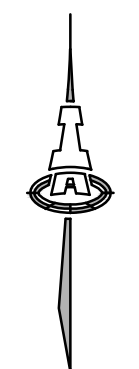
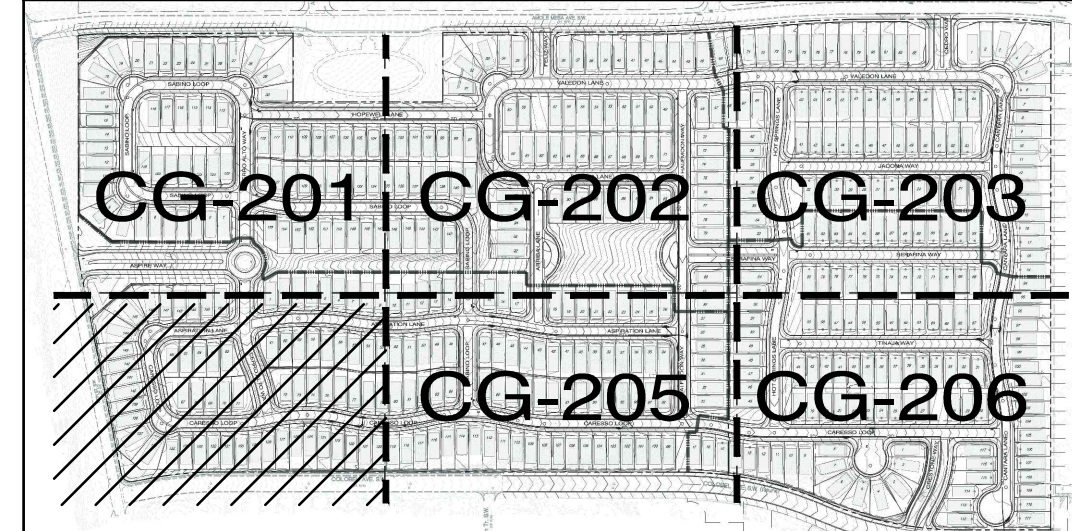


LEGEND

- PROPOSED RETAINING WALL
- PROPOSED GARDEN WALL
- ◆ 30.63 PROPOSED WALL ELEVATION
- ◆ 40.94 PROPOSED SPOT ELEVATION



SITE KEY



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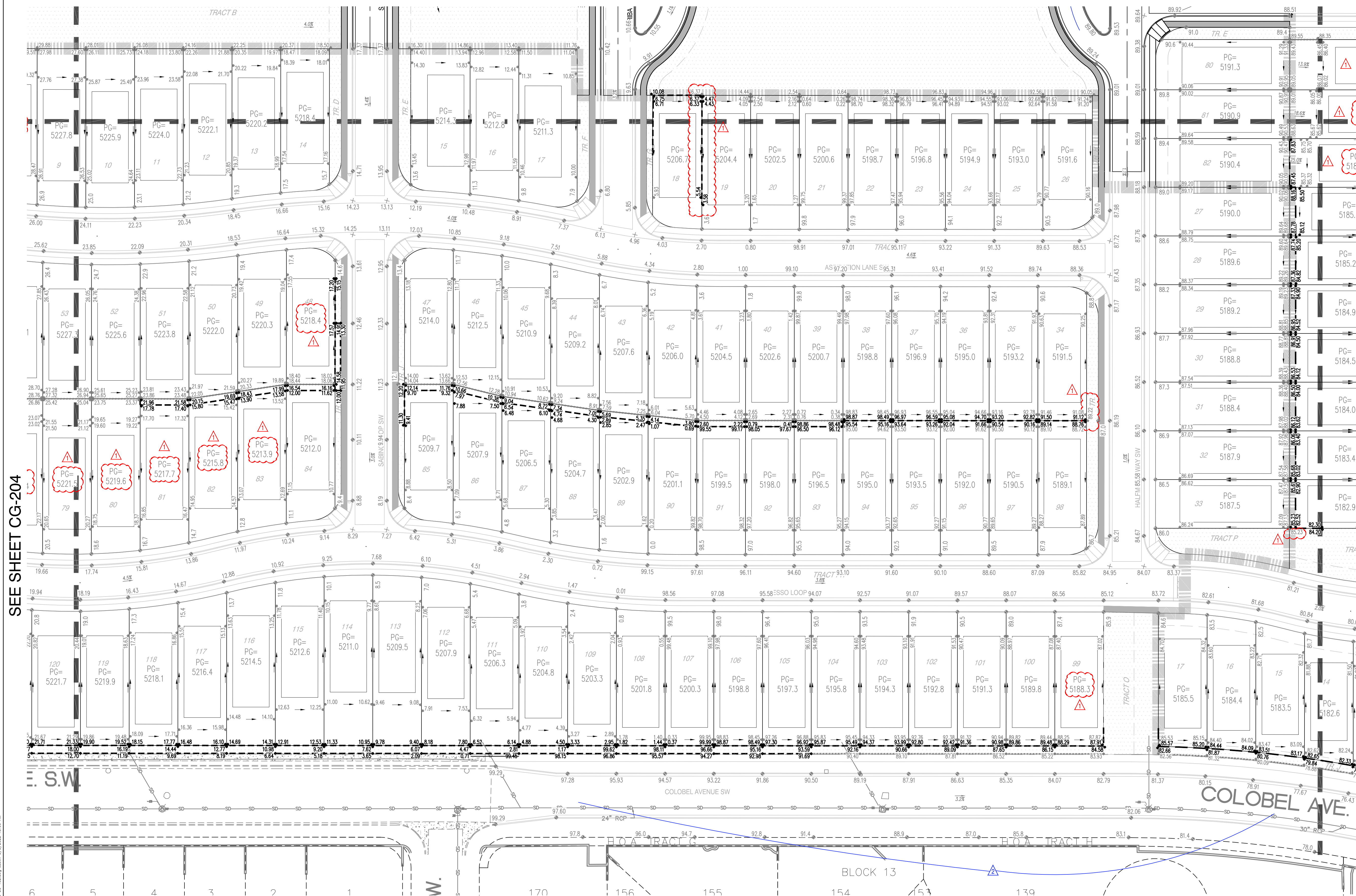
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ASPIRE SUBDIVISION
UNITS 1-4
SUCCESS LAND HOLDINGS, LLC
RETAINING WALL PLAN 4

Date:	08/2020	No. Revision:	1 REVISED LOT GRADES	Date:	12/2020	Job No.	2290
Drawn By:	thor	No. Revision:	2 REVISED RING WALL PAD, AND COLOBEL GRADES	Date:	03/2022	Job No.	CG-204
Ckd By:	ANW	No. Revision:	ADDED 2-FOOT ROUNDOFF ON LOT 18, UNIT 2; CHANGED TO MOUNTABLE CURB LOTS 18-20.	Date:		Job No.	SH. OF

W:\PROJECTS\2020-2024\2020-2024\ASPIRE\ASPIRE_GENERAL_DRAWING_PLAN\2020 CG-102.dwg, 3/8/2022, 10:05 AM

SEE SHEET CG-202

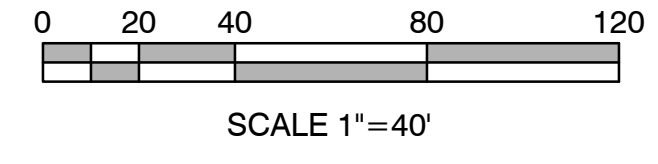
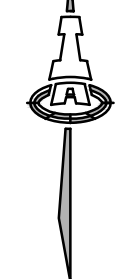
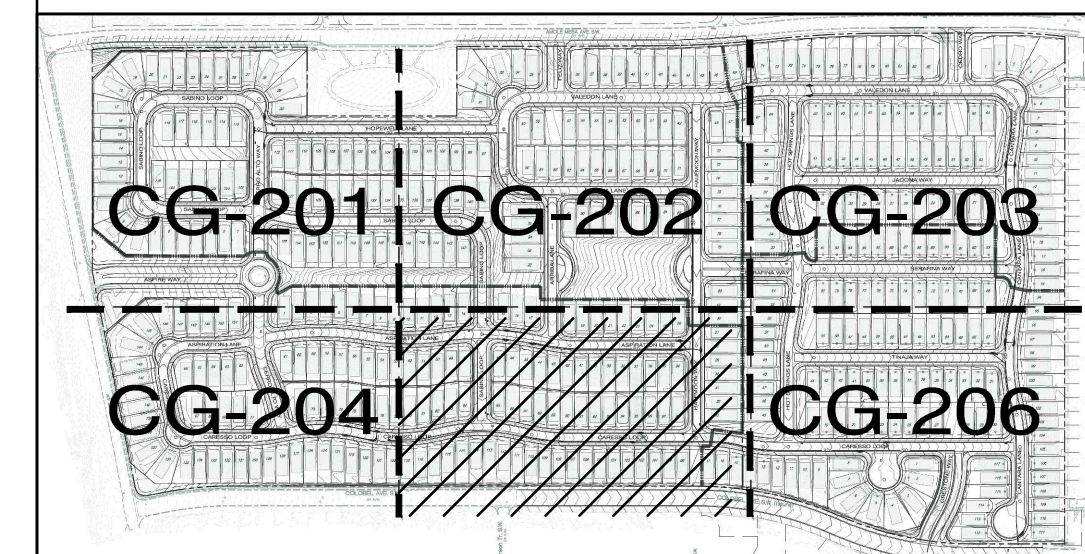


LEGEND

- PROPOSED RETAINING WALL
- PROPOSED GARDEN WALL
- ◆ 30.63 PROPOSED WALL ELEVATION
- ◆ 40.94 PROPOSED SPOT ELEVATION



SITE KEY



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Professional Seal: *Ronald Brantley*, Hydrology Professional Engineer, No. 17631, State of New Mexico.

08/21/20
12/15/20 Rev
03/08/22 Rev

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ASPIRE SUBDIVISION
UNITS 1-4
SUCCESS LAND HOLDINGS, LLC
RETAINING WALL PLAN 5

Date:	08/2020	No.:	1	Revision:	REVISED LOT GRADES	Date:	12/2020	Job No.:	2290
Drawn By:	thor	No.:	2	Revision:	REVISED RING WALL PAD, AND COLOBEL GRADES	Date:	03/2022		
Ckd By:	ANW			Revision:	ADDED 2-FOOT ROUNDOFF ON LOT 18, UNIT 2; CHANGED TO MOUNTABLE CURB LOTS 18-20.				CG-205
									SH. OF

SEE SHEET CG-204

SEE SHEET CG-206

W:\PROJECTS\2020-2024\2020\CG-205\CG-205 OVERALL GRADING PLAN.dwg, 3/8/2022, 10:06 AM

SEE SHEET CG-203

KEYED NOTES

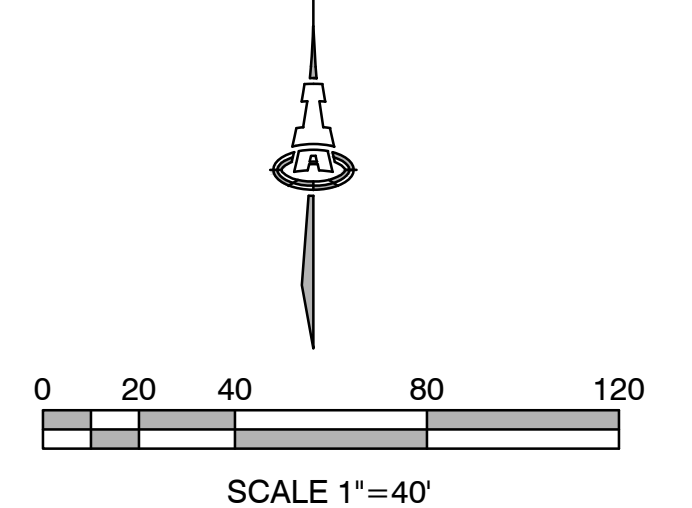
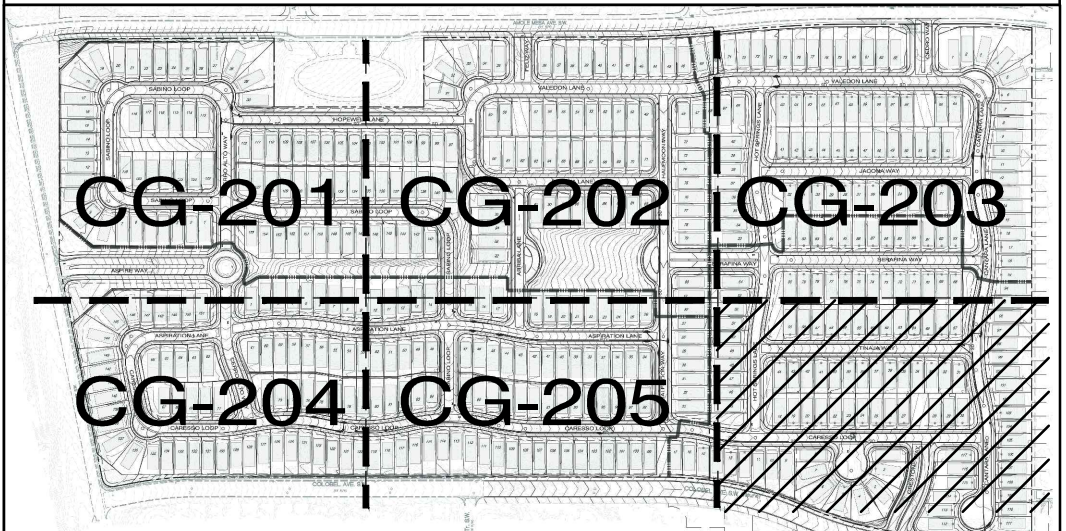
- 1. TURN EVERY OTHER BLOCK OVER 10' TO PROVIDE OPENINGS FOR DRAINAGE.

LEGEND

- PROPOSED RETAINING WALL
- PROPOSED GARDEN WALL
- ◆ 30.63 PROPOSED WALL ELEVATION
- ◆ 40.94 PROPOSED SPOT ELEVATION



SITE KEY

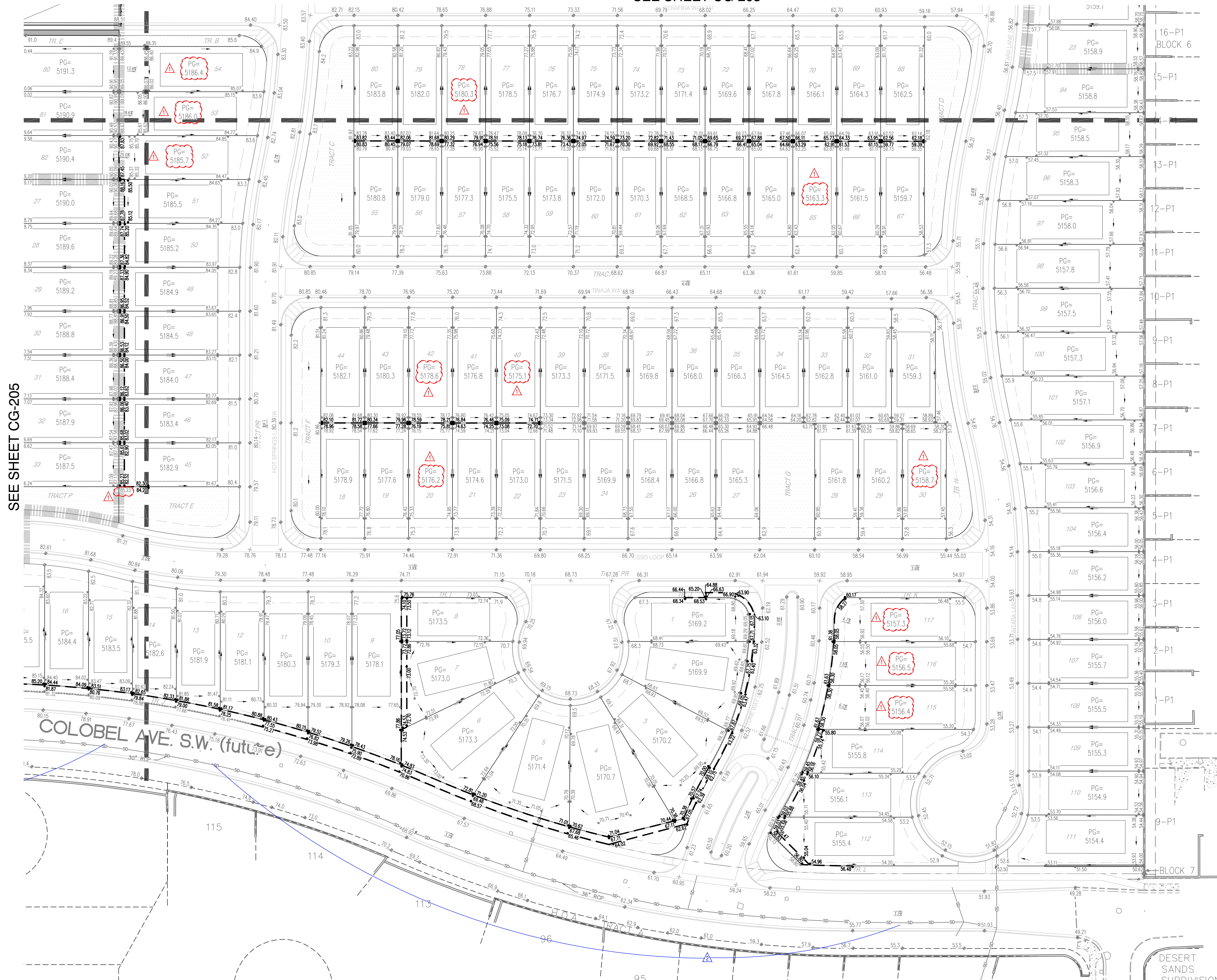


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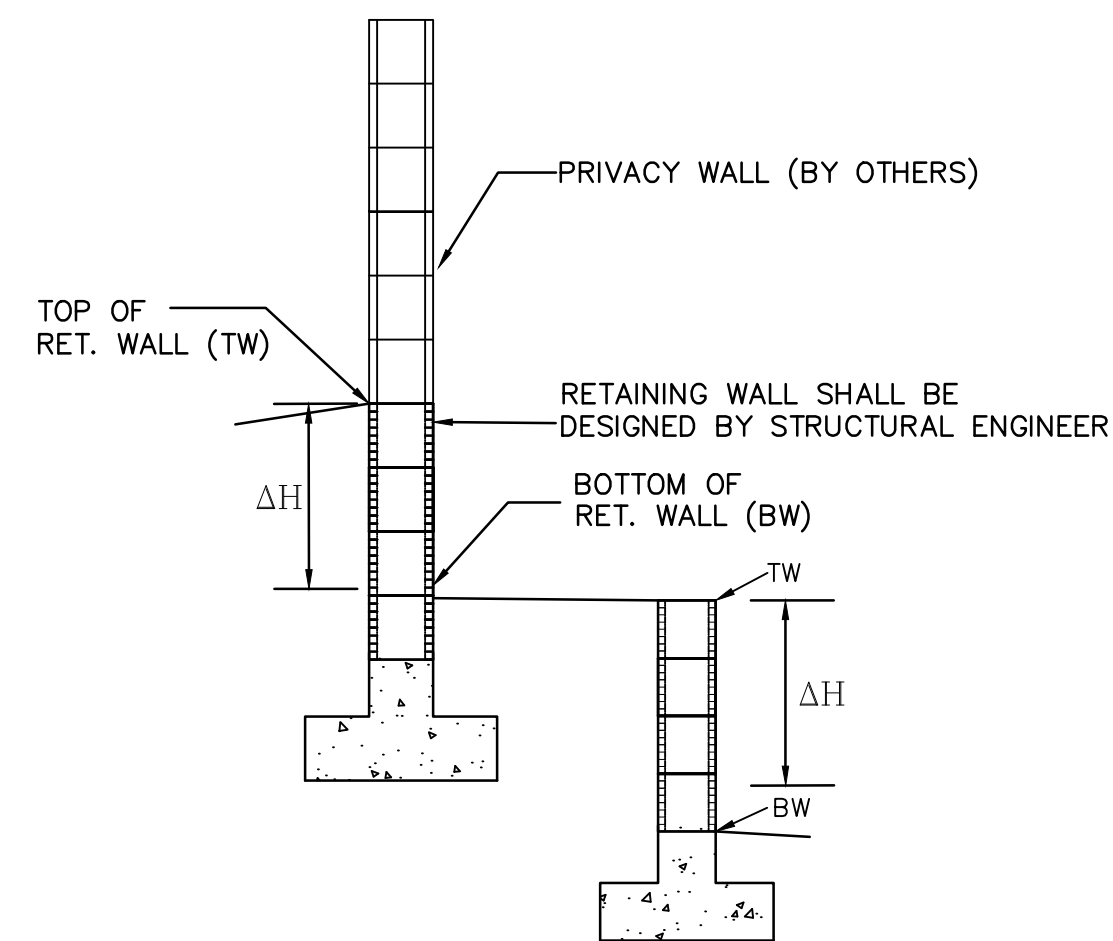
**ASPIRE SUBDIVISION
UNITS 1-4
SUCCESS LAND HOLDINGS, LLC
RETAINING WALL PLAN 6**

Date: 08/20/2020	No. 1 Revision: REVISED LOT GRADES	Date: 12/20/2020	Job No. 2290
Drawn By: thor	No. 2 Revision: REVISED RING WALL PAD, AND COLOR GRADING	Date: 03/20/2022	CG-206
Ckd By: ANW	ADDED 2-FOOT RANDBANK ON LOT 18, UNIT 2; CHANGED TO MOUNTABLE CURB LOTS 18-20.		SH. OF



SEE SHEET CG-205

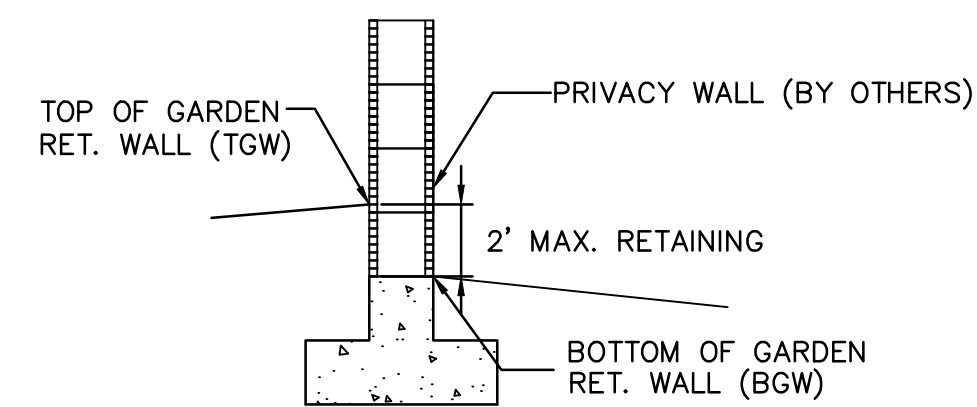
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 DATE: 03/18/22 10:06 AM
 USER: thor



RETAINING WALL

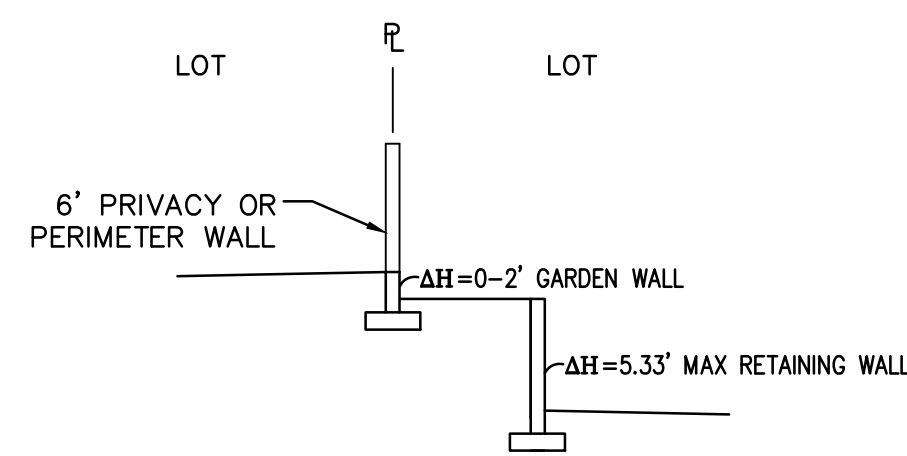
SCALE: 1"=5'-0"

ΔH=RETAINING HEIGHT (SEE SECTIONS THIS SHEET)

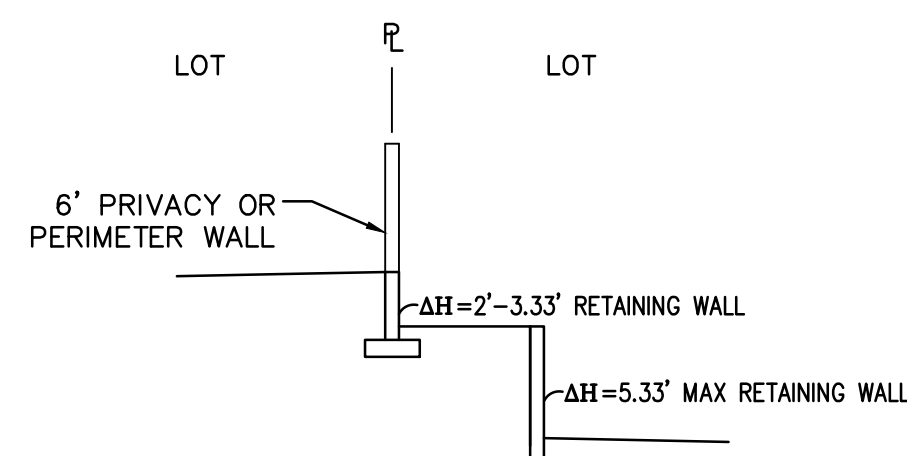


GARDEN WALL RETAINING WALL

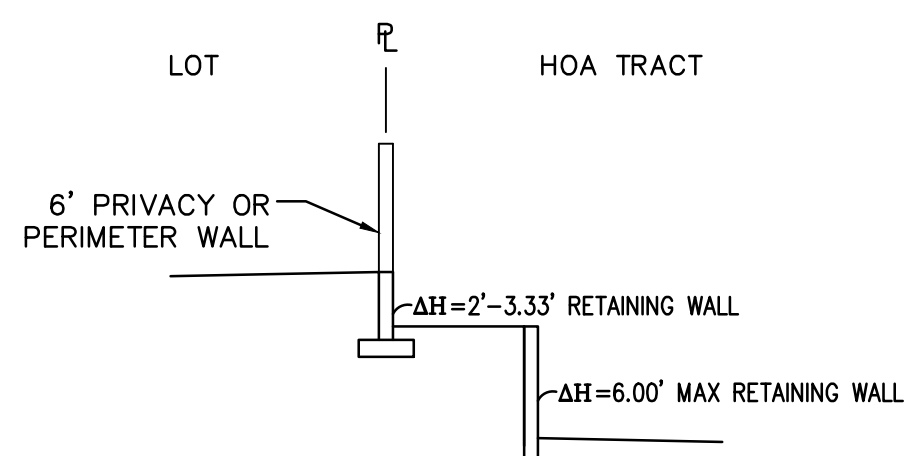
SCALE: 1"=5'-0"



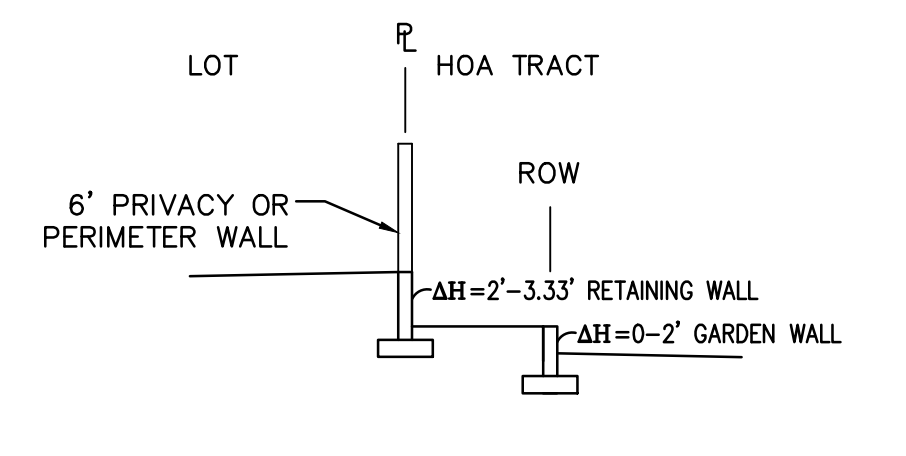
GARDEN WALL / RETAINING WALL
NTS



DOUBLE RETAINING WALL
NTS



DOUBLE RETAINING WALL
NTS



RETAINING WALL / GARDEN WALL
NTS



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ASPIRE SUBDIVISION
UNITS 1-4
SUCCESS LAND HOLDINGS, LLC

RETAINING WALL DETAILS

Date:	08/2020	No.:	1	Revision:	REVISED LOT GRADES	Date:	12/2020	Job No.:	2290
Drawn By:	thor	No.:	2	Revision:	REVISED RING WALL, PAD, AND COLOREL GRADES	Date:	03/2022		CG-502
Ckd By:	ANW			Revision:	ADDED 2-FOOT ROUNDOFF ON LOT 18, UNIT 2; CHANGED TO MOUNTABLE CURB LOTS 18-20.				



AMENDMENT AGREEMENT TO
Procedure "B"

Project No. 757585
Project Name: Aspire Subdivision Unit 3

This Amendment and Extension Agreement by and between the City of Albuquerque, New Mexico, a municipal corporation ("City") and D.R. Horton, Inc. ("Developer"), whose email address is TBuxton@drhorton.com, whose address is 8400 Wyoming Boulevard NE, Suite A Albuquerque, NM 87113, whose telephone number is 505-797-4245 is made in Albuquerque, New Mexico and is entered into as of the date of final execution of this Agreement.

WHEREAS, the parties agree that the word "Subdivider" used in any previous Agreements is replaced with the word "Developer" for this Agreement. This change has no substantive effect on any other provision of the agreement.

WHEREAS, the City and the Developer entered into an Agreement on the 12th day of January, 2024, which was recorded on 01/16/2024, pages 1 through 12, as Document No. 2024002514 in the records of Bernalillo County Clerk, State of New Mexico, by which the Developer agreed to complete the construction of certain infrastructure improvements; and

THEREFORE, the Developer and the City agree to amend the Original Agreement as follows:

WHEREAS: The Developer has requested to Amend or Replace Financial Guaranty for construction of the public and/or private infrastructure; and

WHEREAS, the Developer is able to provide the required financial guaranty.

THEREFORE, the Developer and the City agree to amend the Original Agreement as follows:

1. Amending Section 6. Financial Guaranty, second paragraph, to read as follows:

To meet the Integrated Development Ordinance requirements, The Developer has acquired or is able to acquire the following "Financial Guaranty":

Type of Financial Guaranty: Subdivision Bond

Amount: \$4,102,487.69

Name of Financial Institution or Surety providing

Guaranty: Nationwide Mutual Insurance Company

Date City first able to call Guaranty (Construction Completion

Deadline): March 25th, 2025

If Guaranty is a Letter of Credit of Loan Reserve, then last day City able to call Guaranty is: N/A

Additional Information: _____

2. Other Terms Unchanged: Except as amended herein, the terms and conditions of the Original Agreement will remain unchanged and will continue in full force and effect unless there is a conflict between the terms and conditions of this Amendment, and the terms and conditions of the Original Agreement, in which case the terms and conditions of the Amendment to the Original Agreement will control.

DEVELOPER: D.R. Horton, Inc.

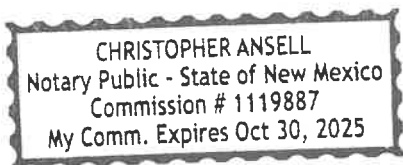
By [signature] [Signature]
Name [print]: Tonya Buxton
Title: Albuquerque Division President
Dated: 4.3.24

DEVELOPER'S NOTARY

STATE OF New Mexico
COUNTY OF Bernalillo) ss

This instrument was acknowledged before me on this 3rd day of April, 2024 by Tonya Buxton, Albuquerque Division President of D.R. Horton, Inc.

(SEAL)



[Signature]
Notary Public

My Commission Expires: 10/30/2025

CITY OF ALBUQUERQUE:

DS
KV

DS
jw

DocuSigned by:

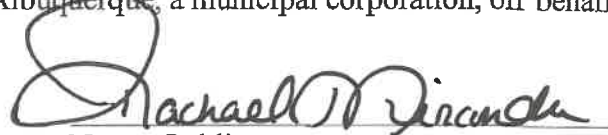
By: Shahab Biazar
C7E1CB5481E9486
Shahab Biazar, P.E., City Engineer

Dated: 4/10/2024 | 9:33 AM MDT

CITY'S NOTARY

STATE OF NEW MEXICO)
)
COUNTY OF BERNALILLO)

This instrument was acknowledged before me on 10th day of April, 2024, by Shahab Biazar, P.E., City Engineer of the City of Albuquerque, a municipal corporation, on behalf of said corporation.


Notary Public

(SEAL)

STATE OF NEW MEXICO
NOTARY PUBLIC
Rachael Miranda
Commission No. 1119740
November 09, 2025

My Commission Expires: 11-9-2025

**INFRASTRUCTURE BOND
(Procedure B)**

Bond No. 7901158584

INFRASTRUCTURE IMPROVEMENT BOND

KNOW ALL PERSONS BY THESE PRESENTS: That we D.R. Horton, Inc. ("Developer") a Delaware Corporation as "Principal", and Nationwide Mutual Insurance Company, a corporation organized and existing under and by virtue of the laws of the State of Ohio and authorized to do business in the State of New Mexico, as "Surety," are held and firmly bound unto the CITY OF ALBUQUERQUE in the penal sum of Four Million One Hundred Two Thousand Four Hundred Eighty Seven and 69/100 Dollars, (\$4,102,487.69), as amended by change orders approved by the Surety or changes to the infrastructure list approved by the City Development Review Board, the payment of which is well and truly to be made, and each of us bind ourselves, our and each of our heirs, executors, administrators, successors and assigns, jointly and severally, and firmly by these presents.

NOW, THEREFORE, the condition of the above obligation is such that:

WHEREAS, the Principal is the owner of and/or is interested in or is developing land and premises known as Aspire Subdivision, Unit 3 ("Developer's Property"), City Project No. 757585; and

WHEREAS, said Developer's Property is subject to the provisions and conditions of the ordinance of the CITY OF ALBUQUERQUE known as the Integrated Development Ordinance, the requirements of which include the installation of various other improvements by the Principal; and

WHEREAS, the Integrated Development Ordinance also requires the Principal to install and construct the following improvements at the Developer's Property: sewer, water, storm drain, curb and gutter, pavement, sidewalks and curb ramps ("Improvements")


All construction shall be performed in accordance with the Agreement to Construct Public and/or Private Infrastructure Improvements Agreement entered into between D.R. Horton, Inc. and the CITY OF ALBUQUERQUE, as recorded in the office of the Clerk of Bernalillo County, New Mexico, on January 16, 2024 as Document Number 2024002514, as amended by change order or amendments to the agreement.

Bond No. 7901158584

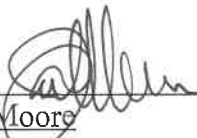
NOW, THEREFORE, if the Principal completes construction of the Improvements and facilities and performs the work hereinabove specified to be performed, all on or before March 25, 2025 ("the "Construction Completion Deadline"), then this obligation shall be null and void; if the Principal does not complete construction by or before the Construction Completion Deadline, the City may call on this obligation until released by the City.

IN WITNESS WHEREOF, this bond has been executed 19th day of March, 2024 .

DEVELOPER

By [signature:] 
Name: Tonya Buxton
Title: Albuquerque Division President
Dated: 3.22.24

SURETY

By [signature:] 
Name: James I. Moore
Title: Attorney-in-Fact
Dated: March 19, 2024



*NOTE: Power of Attorney for Surety must be attached.

Power of Attorney

KNOW ALL MEN BY THESE PRESENTS THAT:

Nationwide Mutual Insurance Company, an Ohio corporation

hereinafter referred to severally as the "Company" and collectively as "the Companies" does hereby make, constitute and appoint:

JAMES I MOORE, STEPHEN T KAZMER, DAWN L MORGAN, MELISSA SCHMIDT, AMY WICKETT, KELLY A GARDNER, JENNIFER J MCCOMB, TARIESE M PISCIOTTO, DIANE M RUBRIGHT, MARTIN MOSS

each in their individual capacity, its true and lawful attorney-in-fact, with full power and authority to sign, seal, and execute on its behalf any and all bonds and undertakings, and other obligatory instruments of similar nature, in penalties not exceeding the sum of

UNLIMITED

and to bind the Company thereby, as fully and to the same extent as if such instruments were signed by the duly authorized officers of the Company; and all acts of said Attorney pursuant to the authority given are hereby ratified and confirmed.

This power of attorney is made and executed pursuant to and by authority of the following resolution duly adopted by the board of directors of the Company:

"RESOLVED, that the president, or any vice president be, and each hereby is, authorized and empowered to appoint attorneys-in-fact of the Company, and to authorize them to execute and deliver on behalf of the Company any and all bonds, forms, applications, memorandums, undertakings, recognizances, transfers, contracts of indemnity, policies, contracts guaranteeing the fidelity of persons holding positions of public or private trust, and other writings obligatory in nature that the business of the Company may require; and to modify or revoke, with or without cause, any such appointment or authority; provided, however, that the authority granted hereby shall in no way limit the authority of other duly authorized agents to sign and countersign any of said documents on behalf of the Company."

"RESOLVED FURTHER, that such attorneys-in-fact shall have full power and authority to execute and deliver any and all such documents and to bind the Company subject to the terms and limitations of the power of attorney issued to them, and to affix the seal of the Company thereto; provided, however, that said seal shall not be necessary for the validity of any such documents."

This power of attorney is signed and sealed under and by the following bylaws duly adopted by the board of directors of the Company.

Execution of Instruments. Any vice president, any assistant secretary or any assistant treasurer shall have the power and authority to sign or attest all approved documents, instruments, contracts, or other papers in connection with the operation of the business of the company in addition to the chairman of the board, the chief executive officer, president, treasurer or secretary; provided, however, the signature of any of them may be printed, engraved, or stamped on any approved document, contract, instrument, or other papers of the Company.

IN WITNESS WHEREOF, the Company has caused this instrument to be sealed and duly attested by the signature of its officer the 20th day of August, 2021.

[Handwritten signature of Antonio C. Albanese]

Antonio C. Albanese, Vice President of Nationwide Mutual Insurance Company

ACKNOWLEDGMENT

STATE OF NEW YORK COUNTY OF NEW YORK: ss

On this 20th day of August, 2021, before me came the above-named officer for the Company aforesaid, to me personally known to be the officer described in and who executed the preceding instrument, and he acknowledged the execution of the same, and being by me duly sworn, deposes and says, that he is the officer of the Company aforesaid, that the seal affixed hereto is the corporate seal of said Company, and the said corporate seal and his signature were duly affixed and subscribed to said instrument by the authority and direction of said Company.



Stephanie Rubino McArthur
Notary Public, State of New York
No. 02MC6270117
Qualified in New York County
Commission Expires October 19, 2024

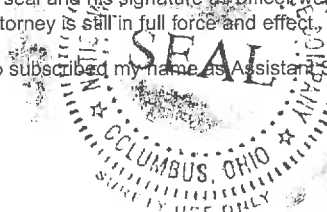
[Handwritten signature of Stephanie Rubino McArthur]

Notary Public
My Commission Expires
October 19, 2024

CERTIFICATE

I, Laura B. Guy, Assistant Secretary of the Company, do hereby certify that the foregoing is a full, true and correct copy of the original power of attorney issued by the Company; that the resolution included therein is a true and correct transcript from the minutes of the meetings of the boards of directors and the same has not been revoked or amended in any manner; that said Antonio C. Albanese was on the date of the execution of the foregoing power of attorney the duly elected officer of the Company, and the corporate seal and his signature as officer were duly affixed and subscribed to the said instrument by the authority of said board of directors; and the foregoing power of attorney is still in full force and effect.

IN WITNESS WHEREOF, I have hereunto subscribed my name as Assistant Secretary, and affixed the corporate seal of said Company this 19th day of March, 2024



[Handwritten signature of Laura B. Guy]

Assistant Secretary

Bernalillo County, NM
415 Silver Ave. SW, 2nd Floor
P.O. Box 542
Albuquerque, NM 87102

Receipt: 1511389

Product	Name	Extended
AMND	Amendment	\$25.00
	# Pages	7
	Document #	2024024861
	# Of Entries	0
Total		\$25.00

Tender (Check) \$25.00
Check# 1765965

Paid By DRH INC CONTROLLED
DISBR ACCT

Phone # (505) 573-7085

Thank You!

4/12/24 3:51 PM MST rzelada

SIDEWALK DEFERRAL AGREEMENT

Project Name: Aspire Subdivision Unit 3

Project Number: 757585

THIS AGREEMENT is made upon the date of the latest signature below, by and between the City of Albuquerque, New Mexico ("City"), whose address is P. O. Box 1293 (One Civic Plaza), Albuquerque, New Mexico 87103, and D.R. Horton, Inc. ("Developer"), a Delaware corporation, (state the type of business entity e.g. "New Mexico corporation," "general partnership," "individual," etc.), whose email address is TBuxton@drhorton.com, whose address is 8440 Wyoming Boulevard NE, Suite A (Street or PO Box) Albuquerque, NM (City, State), 87113 (Zip Code) and whose telephone number is 505-797-4245, in Albuquerque, New Mexico, and is entered into as of the date of final execution of this Agreement.

WHEREAS, the Developer is developing certain lands within the City of Albuquerque, County of Bernalillo, State of New Mexico, known as (existing legal description) Tracts FD2 and FD3, Aspire Subdivision Unit 1, recorded on (Date) March 23, 2021, in Book 2021C, pages 0029 through _____, as Document No. 2021034008 in the records of Bernalillo County Clerk, State of New Mexico ("Developer's Property"); and

WHEREAS, the Developer has submitted and the City has approved Developer's development plans and (state "preliminary" or "final":) Preliminary plat, to be identified as (state name of plat:) Aspire Unit 3; and

WHEREAS, Developer has requested and the City has determined that it is acceptable for the Developer to defer construction of the sidewalks within the Developer's Property until after construction of other required infrastructure; and

WHEREAS, the City requires all sidewalks to be completed within four (4) years after execution of the Agreement to Construct Infrastructure Improvements; and

WHEREAS, the Developer must execute and deliver to the City an Agreement and an acceptable financial guaranty to provide funds for construction of the sidewalk improvements in the event the Developer does not complete the construction as required.

Doc# 2024024862

04/12/2024 03:53 PM Page: 1 of 10
AGRE R: \$25.00 Linda Stover, Bernalillo County



THEREFORE, the City and the Developer agree:

1. A. Sidewalk Construction Deadline. Developer has obtained a sidewalk deferral, as shown in the attached approved Infrastructure List. Developer agrees to utilize the City's sidewalk permit process and complete the sidewalks to the satisfaction of the City by March 25th, 2026 ("Sidewalk Construction Deadline").

B. Request for Extension. If this Sidewalk Deferral Agreement establishes a Sidewalk Construction Deadline which is less than four (4) years after execution of the Infrastructure Improvements Agreement, the Developer may request an extension from the Design Review Section for an additional period of time, which shall not exceed a total of four years after execution of the Infrastructure Improvements Agreement. The form of the Financial Guaranty extension and the amount must be approved by the City, but shall not exceed 125% of the City's estimate of the cost of construction at the time Developer requests an extension. If the Developer will need more than four (4) years after execution of the Infrastructure Improvements Agreement to construct the sidewalks, the Developer must request and obtain an extension from the Development Hearing Officer (DHO) or Development Facilitation Team (DFT), and submit the required documentation to the Design Review Section before expiration of the four (4) years.

2. Financial Guaranty. Developer will provide a financial guaranty in an amount of not less than 125% of the cost of constructing the sidewalk improvements within the Developer's Property, as determined by the City. The financial guaranty must be irrevocable and may be in the form of a City-approved bond, letter of credit, escrow deposit or loan reserve letter issued by a Federally Insured Financial Institution; a bond issued by a surety qualified to do business in New Mexico; or other pledge of liquid assets which meets all City requirements. The City must be able to call the financial guaranty at any time within the sixty (60) days immediately following the Sidewalk Construction Deadline. To meet the Integrated Development Ordinance requirements, the Developer has provided the following "Financial Guaranty":

Type of Financial Guaranty: Subdivision Bond
Amount: \$ 166,086.94
Name of Financial Institution or Surety providing Guaranty:
Natcommle Mutual Insurance Company
Date City first able to call Guaranty (Construction Completion Deadline):
March 25th, 2026
If Guaranty is a Letter of Credit or Loan Reserve, then last day City able to call Guaranty is: _____
Additional information: _____

3. Notice of Start of Construction. Before construction begins, the Developer's contractor shall obtain all necessary Excavation and Barricading permits.

4. Completion, Acceptance and Release. The Developer shall report completion of sidewalk construction in writing to the City. The City shall inspect the sidewalks to verify completion. Upon acceptance of the improvements, the City shall promptly release the financial guaranty and this Sidewalk Deferral Agreement.

5. Conveyance of Property Rights. When the sidewalks have been constructed, if the City does not own the real property upon which the sidewalks are constructed, the Developer shall convey to the City the real property rights required by the City together with the improvements, free and clear of all claims, encumbrances and liens, before the City will release the Financial Guaranty and Sidewalk Deferral Agreement. Conveyance may be by dedication on the final plat of the Developer's Property.

6. Indemnification. Until the Improvements are accepted by the City, the Developer shall be solely responsible for maintaining the premises upon which the Improvements are being constructed in a safe condition. The Developer agrees to indemnify and hold harmless the City and its officials, agents and employees and, if the Improvements include water and wastewater infrastructure, the ABCWUA, its employees, officers and agents, from any claims, actions, suits or other proceedings arising from or out of the acts or omissions of the Developer, its agents, representatives, contractors or subcontractors or arising from the failure of the Developer, its agents, representatives, contractors or subcontractors to perform any act or duty required of the Developer herein. The indemnification required hereunder shall not be limited as a result of the specifications of any applicable insurance coverage. Nothing herein is intended to impair any right or immunity under the laws of the State of New Mexico.

7. Assignment. This Agreement shall not be assigned without the prior written consent of the City and the Developer and the express written concurrence of financial institution or surety which has undertaken to guaranty the completion of the Improvements. The City's approval will not be withheld unreasonably. If so assigned, this Agreement shall extend to and be binding upon the successors and assigns of the parties hereto.

8. Release. If the Developer's Property or any part thereof is sold, conveyed or assigned, the City will not release the Developer from its obligations under this Agreement and will continue to hold the Developer responsible for all Improvements until a successor in interest to the Developer has posted a suitable financial guaranty and entered into a Sidewalk Improvements Agreement with the City. Thereafter, when the Developer's successor in interest has provided a substitute financial guaranty acceptable to the City, the City will release this Agreement and any related Financial Guaranty.

9. Payment for Incomplete Improvements. If the Developer fails to satisfactorily complete construction of the sidewalks by the Construction Completion Deadline, the City may construct or cause the sidewalks to be constructed as shown on the final plat and in the approved plans and specifications. The Developer shall be jointly and severally liable to pay to, and indemnify the City for the total cost, including, but not limited to engineering, legal and contingent costs, together with any damages, either direct or consequential, which the City may sustain as a result of Developer's failure to perform as required by this Agreement. If the direct or indirect costs and damages to the City exceed the amount of the Financial Guaranty, the Developer shall be liable to, and shall pay the City for all such costs and damages. The surety or sureties shall be jointly and severally liable to pay to and indemnify the City for the total cost to the extent of their obligations pursuant to the Financial Guaranty.

10. Binding on Developer's Property. The provisions of this Agreement constitute covenants running with Developer's Property for the benefit of the City and its successors and assigns until terminated, and are binding on the Developer and its heirs, successors and assigns.

11. Notice. For purposes of giving formal written notice, including notice of change of address, the Developer's and the City's addresses are as stated in the first paragraph of this Agreement. Notice may be given either in person or by certified U.S. mail, postage paid. Notice will be considered to have been received within six days after the notice is mailed if there is no actual evidence of receipt.

12. Entire Agreement. This Agreement contains the entire agreement of the parties and supersedes any and all other agreements or understandings, oral or written, whether previous to the execution hereof or contemporaneous herewith.

13. Changes to Agreement. Changes to this Agreement are not binding unless made in writing, signed by both parties.

14. Construction and Severability. If any part of this Agreement is held to be invalid or unenforceable, the remainder of the Agreement will remain valid and enforceable if the remainder is reasonably capable of completion.

15. Captions. The captions to the sections or paragraphs of this Agreement are not part of this Agreement and will not affect the meeting or construction of any of its provisions.

16. Form not Changed. Developer agrees that changes to this form are not binding unless initialed by the Developer and signed by the City's Legal Department on this form.

17. Authority to Execute. If the Developer signing below is not the Owner of the Developer's Property, the owner must provide a Power of Attorney or other evidence of authority to execute this Agreement which is acceptable to the City.

**INFRASTRUCTURE BOND
(Procedure B)**

Bond No. 7901158585

INFRASTRUCTURE IMPROVEMENT BOND

KNOW ALL PERSONS BY THESE PRESENTS: That we D.R. Horton, Inc. ("Developer") a Delaware Corporation as "Principal", and Nationwide Mutual Insurance Company, a corporation organized and existing under and by virtue of the laws of the State of Ohio and authorized to do business in the State of New Mexico, as "Surety," are held and firmly bound unto the CITY OF ALBUQUERQUE in the penal sum of One Hundred Sixty-Six Thousand Eighty Six and 94/100 Dollars, (\$166,086.94), as amended by change orders approved by the Surety or changes to the infrastructure list approved by the City Development Review Board, the payment of which is well and truly to be made, and each of us bind ourselves, our and each of our heirs, executors, administrators, successors and assigns, jointly and severally, and firmly by these presents.

NOW, THEREFORE, the condition of the above obligation is such that:

WHEREAS, the Principal is the owner of and/or is interested in or is developing land and premises known as Aspire Subdivision, Unit 3 ("Developer's Property"), City Project No. 757585; and

WHEREAS, said Developer's Property is subject to the provisions and conditions of the ordinance of the CITY OF ALBUQUERQUE known as the Integrated Development Ordinance, the requirements of which include the installation of various other improvements by the Principal; and


WHEREAS, the Integrated Development Ordinance also requires the Principal to install and construct the following improvements at the Developer's Property:
sewer, water, storm drain, curb and gutter, pavement, sidewalks and curb ramps ("Improvements")

All construction shall be performed in accordance with the Agreement to Construct Public and/or Private Infrastructure Improvements Agreement entered into between D.R. Horton, Inc. and the CITY OF ALBUQUERQUE, as recorded in the office of the Clerk of Bernalillo County, New Mexico, on January 16, 2024 as Document Number 2024002514, as amended by change order or amendments to the agreement.


NOW, THEREFORE, if the Principal completes construction of the Improvements and facilities and performs the work hereinabove specified to be performed, all on or before March 25, 2026 ("the "Construction Completion Deadline"), then this obligation shall be null and void; if the Principal does not complete construction by or before the Construction Completion Deadline, the City may call on this obligation until released by the City.

IN WITNESS WHEREOF, this bond has been executed 19th day of March, 2024 .

DEVELOPER

By [signature:] 
Name: Tonya Buxton
Title: Albuquerque Division President
Dated: 3.22.24

SURETY

By [signature:] 
Name: James I. Moore
Title: Attorney-in-Fact
Dated: March 19, 2024



*NOTE: Power of Attorney for Surety must be attached.

Power of Attorney

KNOW ALL MEN BY THESE PRESENTS THAT:

Nationwide Mutual Insurance Company, an Ohio corporation

hereinafter referred to severally as the "Company" and collectively as "the Companies" does hereby make, constitute and appoint:

JAMES I MOORE, STEPHEN T KAZMER, DAWN L MORGAN, MELISSA SCHMIDT, AMY WICKETT, KELLY A GARDNER, JENNIFER J MCCOMB, TARIESE M PISCIOTTO, DIANE M RUBRIGHT, MARTIN MOSS

each in their individual capacity, its true and lawful attorney-in-fact, with full power and authority to sign, seal, and execute on its behalf any and all bonds and undertakings, and other obligatory instruments of similar nature, in penalties not exceeding the sum of

UNLIMITED

and to bind the Company thereby, as fully and to the same extent as if such instruments were signed by the duly authorized officers of the Company; and all acts of said Attorney pursuant to the authority given are hereby ratified and confirmed.

This power of attorney is made and executed pursuant to and by authority of the following resolution duly adopted by the board of directors of the Company:

"RESOLVED, that the president, or any vice president be, and each hereby is, authorized and empowered to appoint attorneys-in-fact of the Company, and to authorize them to execute and deliver on behalf of the Company any and all bonds, forms, applications, memorandums, undertakings, recognizances, transfers, contracts of indemnity, policies, contracts guaranteeing the fidelity of persons holding positions of public or private trust, and other writings obligatory in nature that the business of the Company may require; and to modify or revoke, with or without cause, any such appointment or authority; provided, however, that the authority granted hereby shall in no way limit the authority of other duly authorized agents to sign and countersign any of said documents on behalf of the Company."

"RESOLVED FURTHER, that such attorneys-in-fact shall have full power and authority to execute and deliver any and all such documents and to bind the Company subject to the terms and limitations of the power of attorney issued to them, and to affix the seal of the Company thereto; provided, however, that said seal shall not be necessary for the validity of any such documents."

This power of attorney is signed and sealed under and by the following bylaws duly adopted by the board of directors of the Company.

Execution of Instruments. Any vice president, any assistant secretary or any assistant treasurer shall have the power and authority to sign or attest all approved documents, instruments, contracts, or other papers in connection with the operation of the business of the company in addition to the chairman of the board, the chief executive officer, president, treasurer or secretary; provided, however, the signature of any of them may be printed, engraved, or stamped on any approved document, contract, instrument, or other papers of the Company.

IN WITNESS WHEREOF, the Company has caused this instrument to be sealed and duly attested by the signature of its officer the 20th day of August, 2021.

[Handwritten signature of Antonio C. Albanese]

Antonio C. Albanese, Vice President of Nationwide Mutual Insurance Company

ACKNOWLEDGMENT

STATE OF NEW YORK COUNTY OF NEW YORK: ss

On this 20th day of August, 2021, before me came the above-named officer for the Company aforesaid, to me personally known to be the officer described in and who executed the preceding instrument, and he acknowledged the execution of the same, and being by me duly sworn, deposes and says, that he is the officer of the Company aforesaid, that the seal affixed hereto is the corporate seal of said Company, and the said corporate seal and his signature were duly affixed and subscribed to said instrument by the authority and direction of said Company.



Stephanie Rubino McArthur
Notary Public, State of New York
No. 02MC6270117
Qualified in New York County
Commission Expires October 19, 2024

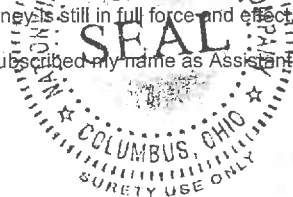
[Handwritten signature of Stephanie Rubino McArthur]

Notary Public
My Commission Expires
October 19, 2024

CERTIFICATE

I, Laura B. Guy, Assistant Secretary of the Company, do hereby certify that the foregoing is a full, true and correct copy of the original power of attorney issued by the Company; that the resolution included therein is a true and correct transcript from the minutes of the meetings of the boards of directors and the same has not been revoked or amended in any manner; that said Antonio C. Albanese was on the date of the execution of the foregoing power of attorney the duly elected officer of the Company, and the corporate seal and his signature as officer were duly affixed and subscribed to the said instrument by the authority of said board of directors; and the foregoing power of attorney is still in full force and effect.

IN WITNESS WHEREOF, I have hereunto subscribed my name as Assistant Secretary, and affixed the corporate seal of said Company this 19th day of March, 2024.



[Handwritten signature of Laura B. Guy]

Assistant Secretary

State of Illinois }
 } ss.
County of DuPage }

On March 19, 2024, before me, Sinem Nava, a Notary Public in and for said County and State, residing therein, duly commissioned and sworn, personally appeared James I. Moore known to me to be Attorney-in-Fact of Nationwide Mutual Insurance Company the corporation described in and that executed the within and foregoing instrument, and known to me to be the person who executed the said instrument in behalf of the said corporation, and he duly acknowledged to me that such corporation executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal, the day and year stated in this certificate above.

My Commission Expires August 28, 2025

Sinem Nava
Sinem Nava, Notary Public



Commission No. 859777

Bernalillo County, NM
415 Silver Ave. SW, 2nd Floor
P.O. Box 542
Albuquerque, NM 87102

Receipt: 1511390

Product	Name	Extended
AGRE	Agreement	\$25.00
	# Pages	10
	Document #	2024024862
	# Of Entries	0
Total		\$25.00

Tender (Check) \$25.00
Check# 1765931

Paid By DRH INC CONTROLLED
DISBR ACCT

Phone # (505) 573-7085

Thank You!

4/12/24 3:53 PM MST rzelada

CONTRACT CONTROL FORM

PROJECT

NO: 757585 **CONTACT PERSON:** David Jones

CCN: 202400759

(New/Existing) Existing

Type of Paperwork Sidewalk Deferral Agreement

Project Name/Description
(From CTS): Aspire Subdivision Unit 3

Developer/Owner/Vendor DR. Horton

Contract Amount 166,086.94 Contract Period: 01/12/2024 - 03/25/2025

FINAL CONTRACT REVIEW

APPROVALS REQUIRED:

	Approved By	Approval Date
DRC Manager	<u>KV</u> DS	<u>4/8/2024 4:02 PM MDT</u>
Legal Department	<u>JW</u> DS	<u>4/8/2024 4:15 PM MDT</u>
City Engineer	<u>SB</u>	<u>4/10/2024 11:47 AM MDT</u>
Hydrology Engineer	_____	_____
Transportation Engineer	_____	_____
Construction Engineer	_____	_____
OTHER: <u>CAO</u>	_____	_____

DISTRUBUTION:

Date: _____ By: _____

Received by City clerk _____

FINAL PLAT SUPPORTIVE DOCUMENTATION

**AUTHORIZATION LETTER
DESCRIPTION LETTER**



DHO Chair

City of Albuquerque
600 2nd St NW
Albuquerque, NM 87102

RE: Agent Authorization Letter – DHO Processing – Aspire Unit 3 and 4

Dear Mr. Chair,

Please find this letter as Authorization for the DHO action of the Final Plat and all subsequent Platting and subdividing, and site approvals of – Unit 3 - Tracts FD2 and FD3 Aspire Subdivision, Unit 1 – Approximately 31.1795 and Unit 4 – Tract FD3-A, Aspire Subdivision, Unit 3 – Approximately 18.0824 acres.

These actions will be represented by the following entities:

Isaacson & Arfman, Inc. and their designated representatives Justin Simenson, Fred Arfman or other designated members of Isaacson and Arfman, Inc.

Feel free to contact me if you have any questions or concerns.

DR Horton, Inc.

Respectfully,

By:

A handwritten signature in blue ink, appearing to read "Aaron M. Cooke".

Aaron M. Cooke
Director of Land Development
AMCooke@drhorton.com
505-526-3753

April 16, 2024

DHO Chair
City of Albuquerque
600 2nd Street NW
Albuquerque, NM 87103

**RE: PR-2019-002411 - Aspire Subdivision, Units 3-4; Zone Atlas Map N-08
Minor Preliminary Plat Amendment
Unit 3 Final Plat
Vacation of Public Easement**

Isaacson & Arfman, acting as agents for the Developer of the above referenced site located south of Amole Mesa Ave SW, north of Colobel Ave. SW and east of 118th St. SW is requesting a minor amendment to the preliminary plat, Unit 3 Final Plat, and Vacation of Public Easement.

The preliminary plat for Units 1-4 was approved on November 4, 2020. The infrastructure construction of Units 1 & 2, supporting 306 residential lots (of 506 lots total), is substantially completed and construction of Units 3 & 4 is currently underway.

The proposed minor amendment is required, at the request of DFT staff, to show the easement vacations that will be required for separate final plats of Units 3 & 4. These changes do not alter the previously approved total lot count, landscape area, or final improvements and we believe it meets all of the requirements of IDO section 6-4(Y)(2). Based on the justifications listed, we request the amendment to the preliminary plat for Units 3-4.

The proposed Unit 3 Final Plat is consistent with the approved Preliminary Plat. The Final Plat includes the Vacation of a Public Sanitary Sewer Easement that was granted with the Unit 1 Final Plat. The easement being vacated will be replaced with a blanket Public Water and Sanitary Sewer easement on Tract PR to provide consistency with the final configuration. Based on this justification we meet IDO section 6-6(M)(3)(a) for Vacation of Easement and request approval of the Final Plat with Vacation of Public Easement.

If you have questions regarding this submittal, please email me at thors@iacivil.com.

Thank you.

Sincerely,

ISAACSON & ARFMAN, INC.



Justin Thor Simenson

MINOR AMENDMENT TO PRELIM. PLAT

**PROPOSED AMENDED
PRELIMINARY PLAT**

**ORIGINAL PRELIMINARY
PLAT**

INFRASTRUCTURE LISTS

*SEE FINAL PLAT DOCUMENTATION FOR FORM S2,
FORM PLT, ZONE ATLAS MAP*

*SEE FINAL PLAT SUPPORTIVE DCUMENTATION
FOR AUTHORIZATION LETTER*

PRELIMINARY PLAT FOR ASPIRE SUBDIVISION
 BEING A REPLAT OF TRACTS A-1-A & B-1 ANDERSON HEIGHTS UNIT 4 WITH THE TOWN OF ATRISCO GRANT PROJECTED SECTION 5, T. 9 N. R. 2 E. NMMP, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

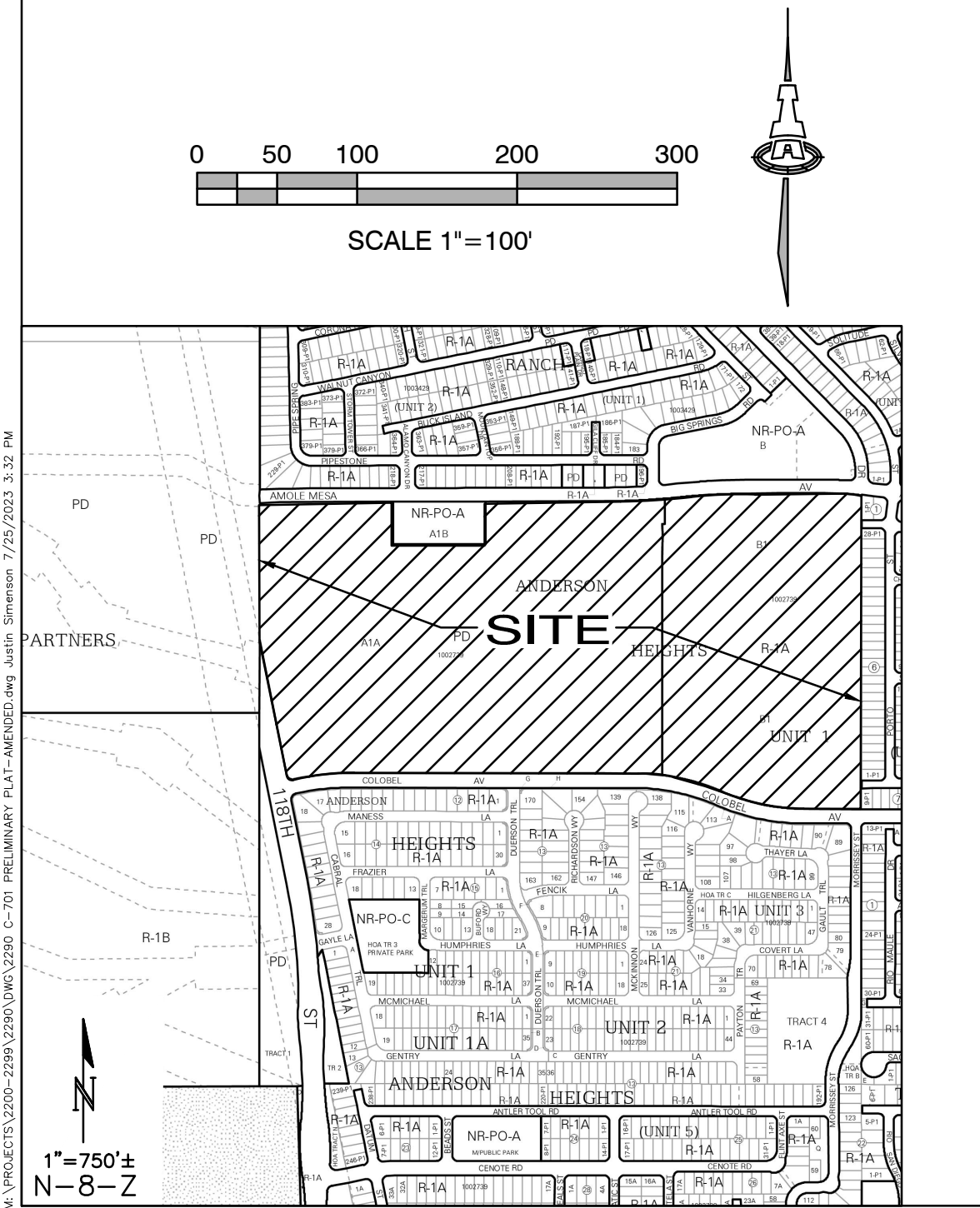
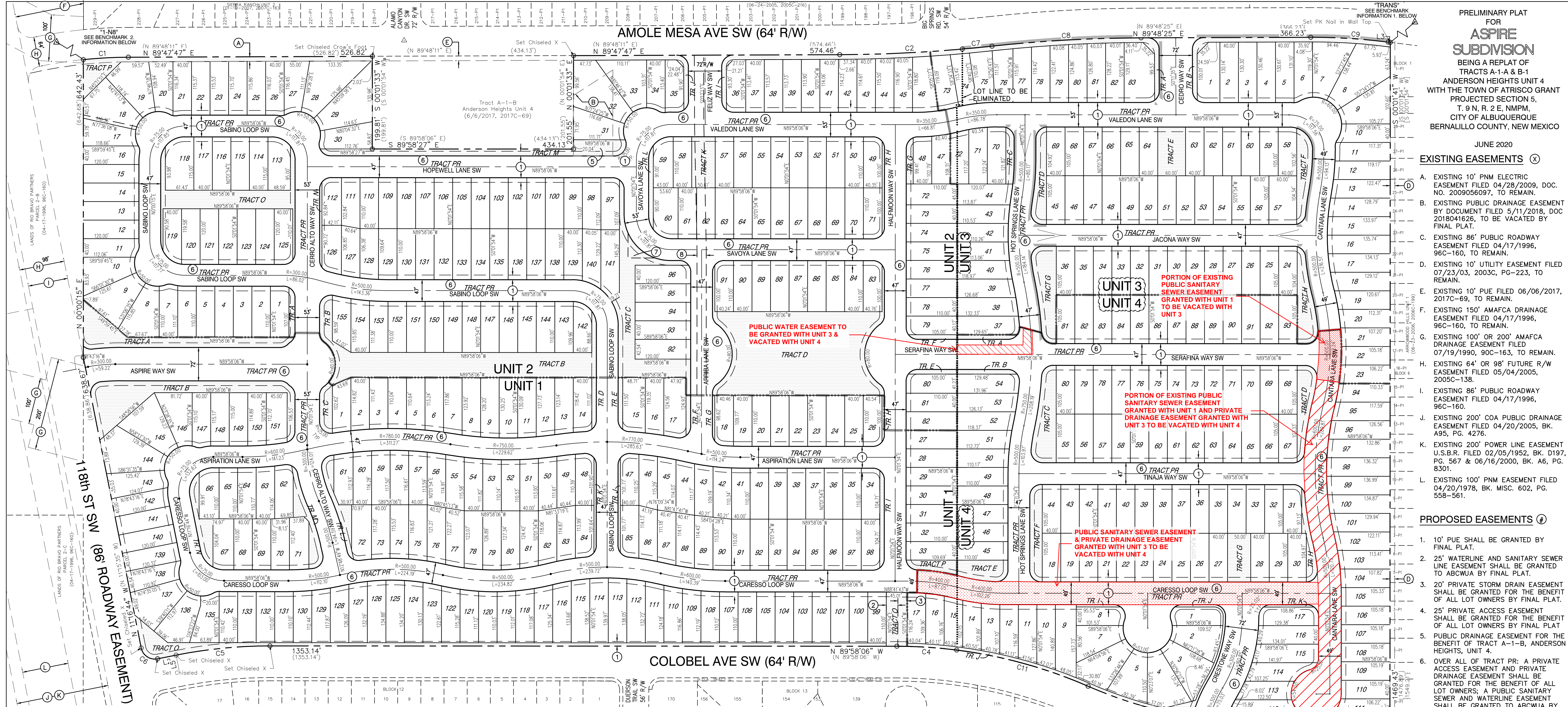
JUNE 2020

EXISTING EASEMENTS

- EXISTING 10' PNM ELECTRIC EASEMENT FILED 04/28/2009, DOC. NO. 2009056097, TO REMAIN.
- EXISTING PUBLIC DRAINAGE EASEMENT BY DOCUMENT FILED 5/11/2018, DOC 2018041626, TO BE VACATED BY FINAL PLAT.
- EXISTING 86' PUBLIC ROADWAY EASEMENT FILED 04/17/1996, 96C-160, TO REMAIN.
- EXISTING 10' UTILITY EASEMENT FILED 07/23/03, 2003C, PG-223, TO REMAIN.
- EXISTING 10' PUE FILED 06/06/2017, 2017C-69, TO REMAIN.
- EXISTING 150' AMAFCA DRAINAGE EASEMENT FILED 04/17/1996, 96C-160, TO REMAIN.
- EXISTING 100' OR 200' AMAFCA DRAINAGE EASEMENT FILED 07/19/1990, 90C-163, TO REMAIN.
- EXISTING 64' OR 98' FUTURE R/W EASEMENT FILED 05/04/2005, 2005C-138.
- EXISTING 86' PUBLIC ROADWAY EASEMENT FILED 04/17/1996, 96C-160.
- EXISTING 200' COA PUBLIC DRAINAGE EASEMENT FILED 04/20/2005, BK. A95, PG. 4276.
- EXISTING 200' POWER LINE EASEMENT U.S.B.R. FILED 02/05/1952, BK. D197, PG. 567 & 06/16/2000, BK. A6, PG. 8301.
- EXISTING 100' PNM EASEMENT FILED 04/20/1978, BK. MISC. 602, PG. 558-561.

PROPOSED EASEMENTS

- 10' PUE SHALL BE GRANTED BY FINAL PLAT.
 - 25' WATERLINE AND SANITARY SEWER LINE EASEMENT SHALL BE GRANTED TO ABCWUA BY FINAL PLAT.
 - 20' PRIVATE STORM DRAIN EASEMENT SHALL BE GRANTED FOR THE BENEFIT OF ALL LOT OWNERS BY FINAL PLAT.
 - 25' PRIVATE ACCESS EASEMENT SHALL BE GRANTED FOR THE BENEFIT OF ALL LOT OWNERS BY FINAL PLAT.
 - PUBLIC DRAINAGE EASEMENT FOR THE BENEFIT OF TRACT A-1-B, ANDERSON HEIGHTS, UNIT 4.
 - OVER ALL OF TRACT PR: A PRIVATE ACCESS EASEMENT AND PRIVATE DRAINAGE EASEMENT SHALL BE GRANTED FOR THE BENEFIT OF ALL LOT OWNERS; A PUBLIC SANITARY SEWER AND WATERLINE EASEMENT SHALL BE GRANTED TO ABCWUA BY FINAL PLAT.
 - PRIVATE STORM DRAIN EASEMENT SHALL BE GRANTED FOR THE BENEFIT OF ALL LOT OWNERS.
 - 20' TEMPORARY EMERGENCY ACCESS EASEMENT FOR UNIT 1 SHALL BE GRANTED.
- ALL PROPOSED EASEMENTS SHALL BE MAINTAINED BY THE HOA.*



Curve #	Length	Radius	Delta	Chord Length	Chord Direction
C1	97.16' (97.16')	966.00' (966.00')	5°45'46"	97.12'	S 86°54'54" W
C2	265.01' (265.01')	3155.42' (3155.42')	4°48'43"	264.93'	N 87°23'25" E
C3	12.48' (12.48')	3025.00' (3025.00')	0°14'11"	12.48'	S 88°27'37" W
C4	129.46' (129.46')	1034.00' (1034.00')	7°10'26"	129.38'	N 86°22'53" W
C5	203.77' (203.77')	1034.00' (1034.00')	11°17'29"	203.44'	N 84°23'10" E
C6	47.11' (47.12')	30.00' (30.00')	89°58'51"	42.42'	N 56°16'10" W
C7	64.32' (64.32')	3155.42' (3155.42')	1°10'05"	64.32'	N 84°24'01" E
C8	322.44' (322.44')	3087.42' (3087.42')	5°59'02"	322.29'	N 86°48'30" E
C9	167.59' (167.59')	1281.12' (1281.12')	7°29'43"	167.47'	N 86°26'44" W
C10	396.84' (396.84')	966.00' (966.00')	23°32'15"	394.06'	N 78°11'59" W
C11	295.31' (295.31')	1034.00' (1034.00')	16°21'48"	294.30'	N 74°36'46" W

LEGAL DESCRIPTION

PARCEL 1: TRACT A-1-A, ANDERSON HEIGHTS UNIT 4, AS THE SAME IS SHOWN ON THE CORRECTION PLAT OF TRACTS A-1-A & A-1-B, ANDERSON HEIGHTS UNIT 4, RECORDED IN THE BERNALILLO COUNTY, NEW MEXICO REAL ESTATE RECORDS ON JUNE 6, 2017, IN BOOK 2017-C, PAGE 69, AS DOCUMENT NO. 2017054333.

PARCEL 2: TRACT B-1, ANDERSON HEIGHTS UNIT 4, AS THE SAME IS SHOWN ON THE BULK LAND PLAT FOR ANDERSON HEIGHTS UNIT 4, FILED IN THE OFFICE OF COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON MARCH 23, 2015, IN PLAT VOLUME 2015C, FOLIO 29 AS DOCUMENT NO. 2015023748.

PURPOSE OF PLAT

- TO SUBDIVIDE TRACTS A-1-A AND B-1 TO CREATE 506 LOTS AND 52 TRACTS IN FOUR UNITS AS SHOWN.
- TO CREATE EASEMENTS AS SHOWN.
- TO VACATE AN EASEMENT AS SHOWN.

Line #	Direction	Length (ft)
L1	S 07°11'17" W (S 07°12'20" W)	7.00' (7.00')
L2	S 78°44'25" W (S 78°44'25" W)	40.74' (40.72')
L3	S 82°41'52" E (S 82°41'53" E)	4.66' (4.34')
L4	S 00°01'54" W	34.00' (34.00')
L5	S 11°53'35" E	34.00' (34.00')

NOTES

- UNLESS OTHERWISE NOTED, ALL BOUNDARY CORNERS WILL BE MARKED BY A NO. 5 IRON REBAR WITH PLASTIC CAP STAMPED "PLS #14271".
- ALL STREET CENTERLINE POINTS SHOWN THIS WILL BE MARKED BY A 4" ALUMINUM DISK STAMPED "CENTERLINE MONUMENT, PLS #14271".
- BOUNDARY WILL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
- BASIS OF BEARINGS WILL BE NMSP GRID BEARINGS.
- ALL DISTANCES ARE GROUND DISTANCES: US SURVEY FOOT.
- MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, POINTS OF TANGENCY, STREET INTERSECTIONS AND ALL OTHER ANGLE POINTS TO ALLOW USE OF CENTERLINE MONUMENTATION.

SITE BENCHMARK

AGRS MONUMENT "1-N8"; ELEVATION=5307.250 (NAD83/NAVD88)

SITE DATA

- TOTAL LAND AREA = 82.914 ACRES.
- NUMBER OF EXISTING TRACTS IS 2.
- NUMBER OF PROPOSED TRACTS IS 52.
(TRACT PR, UNIT 1: 15 [TR. A-J], UNIT 2: 16 [TR. A-P], UNIT 3: 12 [TR. A-L], AND UNIT 4: 8 [TR. A-H])
- NUMBER OF PROPOSED RESIDENTIAL LOTS IS 506
(UNIT 1: 151, UNIT 2: 155, UNIT 3: 83, AND UNIT 4: 117)
- CURRENT ZONING: R-1A.
- THE SUBDIVISION WILL BE GATED AND ALL STREETS (TRACT PR) WILL BE PRIVATE BY PLAT DEDICATION AND BE MAINTAINED BY THE HOA.
- ALL STREETS SHALL HAVE EASEMENT AND PAVING WIDTHS PER DPM STANDARDS (EXCEPT WHERE VARIANCES ARE APPROVED BY THE CITY OF ALBUQUERQUE).
- WATER AND SANITARY SEWER SERVICES TO THIS DEVELOPMENT MUST BE VERIFIED AND COORDINATED WITH ABCWUA.
- ALL OPEN SPACE/LANDSCAPING TRACTS AS LISTED IN NOTE C. SHALL BE DEEDED TO AND MAINTAINED BY THE HOA.
- MILEAGE OF PUBLIC STREETS CREATED: 0
- NO LOTS SHALL HAVE DIRECT ACCESS FROM COLOBEL AVE, AMOLE MESA AVE OR 118TH ST
- TYPICAL LOT SIZE: 110' x 40'=4,400 SF; MIN. LOT SIZE: 4,062 SF MAX. LOT SIZE: 10,079 SF
- SETBACKS SHALL ADHERE TO ZONING FOR R-1A--5' SIDEYARD; 10' SIDEYARD ADJACENT TO STREET EASEMENT; 15' BACKYARD; 20' FRONTYARD TO HOUSE; 20' FRONTYARD TO GARAGE.

LEGEND

N 90°00'00" E
 N 90°00'00" E
 [N 90°00'00" E]
 [N 90°00'00" E]

MEASURED BEARINGS AND DISTANCES RECORD BEARINGS AND DISTANCES (06/06/2017, 2017C-69)
 RECORD BEARINGS AND DISTANCES (03/23/2015, 2015C-29)
 RECORD BEARINGS AND DISTANCES (03/23/2015, 2015C-29)

SET BATHEY MARKER "LS 14271" UNLESS OTHERWISE NOTED
 SET CENTERLINE MONUMENT: A 4" ALUMINUM DISK MARKED "LS 14271"

1. AGRS MONUMENT AND BENCHMARK "TRANS" N=1471885.503* E=1495145.466* G-G=0.999683154 Az=0°16'43.33" CENTRAL ZONE ELEVATION=5121.089* (NAD83/NAVD88)
 2. AGRS MONUMENT AND BENCHMARK "1-N8" N=1470741.879* E=1488701.82* G-G=0.999676466 Az=0°17'27.10" CENTRAL ZONE ELEVATION=5307.25* (NAD83/NAVD88)

* US SURVEY FOOT

APPROVED FOR MONUMENTATION AND STREET NAMES

Gum 91. P. Schaefer P.S. 6/10/2020
 CITY SURVEYOR DATE

OWNERSHIP

SCOTT SCHIABOR
 SCOTT SCHIABOR, MANAGER SUCCESS LAND HOLDINGS, LLC. DATE 6/10/2020

BENCHMARK INFORMATION

128 Monroe Street NE
 Albuquerque, NM 87108
 505-268-8828 | www.iacivil.com

Isaacson & Arfman, Inc.
 Civil Engineering Consultants

PR-2020-002411
 SHEET 1 OF 1

PRELIMINARY PLAT FOR ASPIRE SUBDIVISION
 BEING A REPLAT OF TRACTS A-1-A & B-1 ANDERSON HEIGHTS UNIT 4 WITH THE TOWN OF ATRISCO GRANT PROJECTED SECTION 5, T. 9 N. R. 2 E. NMMP, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

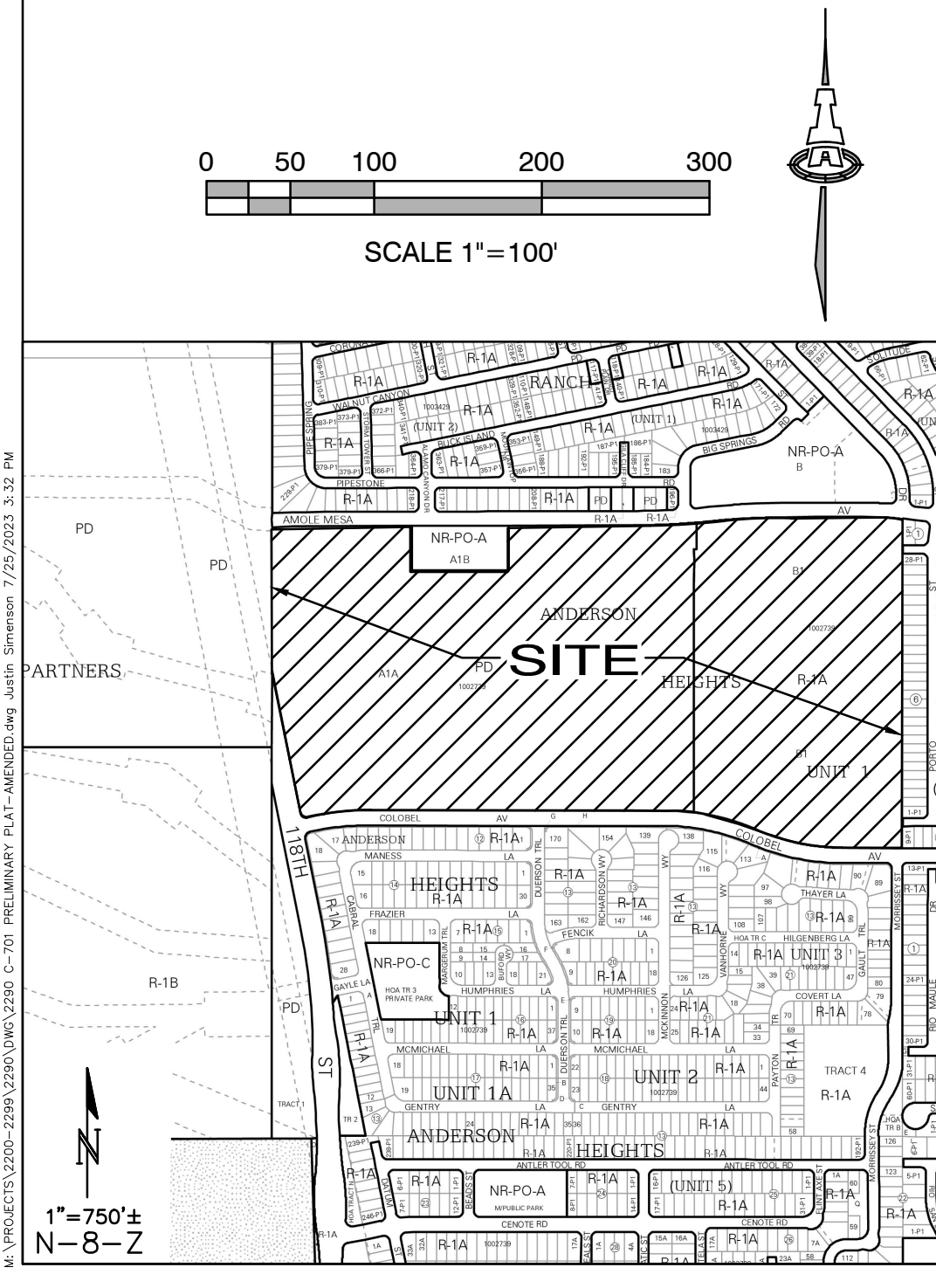
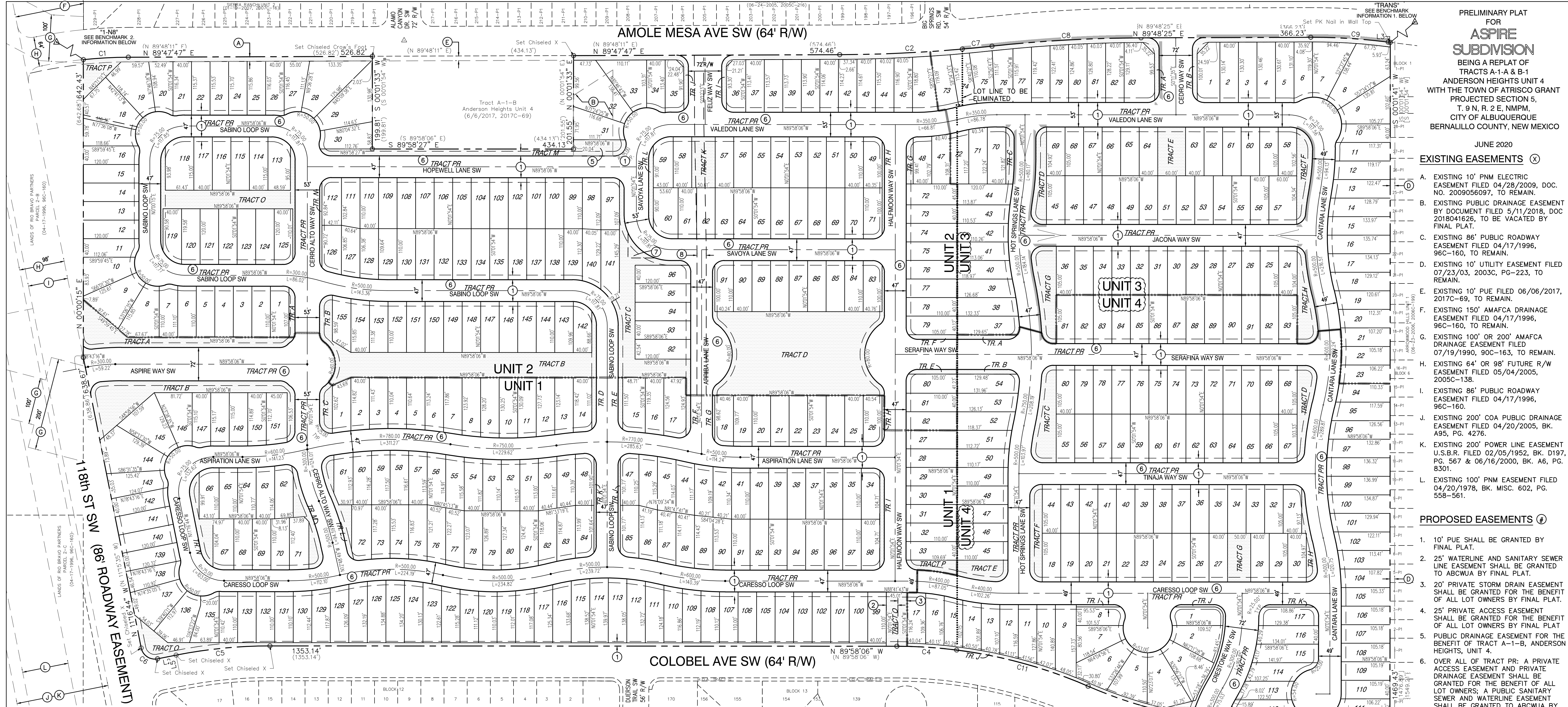
JUNE 2020

EXISTING EASEMENTS

- EXISTING 10' PNM ELECTRIC EASEMENT FILED 04/28/2009, DOC. NO. 2009056097, TO REMAIN.
- EXISTING PUBLIC DRAINAGE EASEMENT BY DOCUMENT FILED 5/11/2018, DOC 2018041626, TO BE VACATED BY FINAL PLAT.
- EXISTING 86' PUBLIC ROADWAY EASEMENT FILED 04/17/1996, 96C-160, TO REMAIN.
- EXISTING 10' UTILITY EASEMENT FILED 07/23/03, 2003C, PG-223, TO REMAIN.
- EXISTING 10' PUE FILED 06/06/2017, 2017C-69, TO REMAIN.
- EXISTING 150' AMAFCA DRAINAGE EASEMENT FILED 04/17/1996, 96C-160, TO REMAIN.
- EXISTING 100' OR 200' AMAFCA DRAINAGE EASEMENT FILED 07/19/1990, 90C-163, TO REMAIN.
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Curve Table

Curve #	Length	Radius	Delta	Chord Length	Chord Direction
C1	97.16' (97.16')	966.00' (966.00')	5°45'46"	97.12'	S 86°54'54" W
C2	265.01' (265.01')	3155.42' (3155.42')	4°48'43"	264.93'	N 87°23'25" E
C3	12.48' (12.48')	3025.00' (3025.00')	0°14'11"	12.48'	S 88°27'37" W
C4	129.46' (129.46')	1034.00' (1034.00')	7°10'26"	129.38'	N 86°22'53" W
C5	203.77' (203.77')	1034.00' (1034.00')	11°17'29"	203.44'	N 84°23'10" E
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C7	64.32' (64.32')	3155.42' (3155.42')	1°10'05"	64.32'	N 84°24'01" E
C8	322.44' (322.44')	3087.42' (3087.42')	5°59'02"	322.29'	N 86°48'30" E
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C10	396.84' (396.84')	966.00' (966.00')	23°32'15"	394.06'	N 78°11'59" W
C11	295.31' (295.31')	1034.00' (1034.00')	16°21'48"	294.30'	N 74°36'46" W

Line Table

Line #	Direction	Length (ft)
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L2	S 78°44'25" W (S 78°44'25" W)	40.74' (40.72')
L3	S 82°41'52" E (S 82°41'53" E)	4.66' (4.34')
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LEGAL DESCRIPTION

PARCEL 1: TRACT A-1-A, ANDERSON HEIGHTS UNIT 4, AS THE SAME IS SHOWN ON THE CORRECTION PLAT OF TRACTS A-1-A & A-1-B, ANDERSON HEIGHTS UNIT 4, RECORDED IN THE BERNALILLO COUNTY, NEW MEXICO REAL ESTATE RECORDS ON JUNE 6, 2017, IN BOOK 2017-C, PAGE 69, AS DOCUMENT NO. 2017054333.

PARCEL 2: TRACT B-1, ANDERSON HEIGHTS UNIT 4, AS THE SAME IS SHOWN ON THE BULK LAND PLAT FOR ANDERSON HEIGHTS UNIT 4, FILED IN THE OFFICE OF COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON MARCH 23, 2015, IN PLAT VOLUME 2015C, FOLIO 29 AS DOCUMENT NO. 2015023748.

PURPOSE OF PLAT

- TO SUBDIVIDE TRACTS A-1-A AND B-1 TO CREATE 506 LOTS AND 52 TRACTS IN FOUR UNITS AS SHOWN.
- TO CREATE EASEMENTS AS SHOWN.
- TO VACATE AN EASEMENT AS SHOWN.

- NOTES**
- UNLESS OTHERWISE NOTED, ALL BOUNDARY CORNERS WILL BE MARKED BY A NO. 5 IRON REBAR WITH PLASTIC CAP STAMPED "PLS #14271".
 - ALL STREET CENTERLINE POINTS SHOWN THIS WILL BE MARKED BY A 4" ALUMINUM DISK STAMPED "CENTERLINE MONUMENT, PLS #14271".
 - BOUNDARY WILL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
 - BASIS OF BEARINGS WILL BE NMSP GRID BEARINGS.
 - ALL DISTANCES ARE GROUND DISTANCES: US SURVEY FOOT.
 - MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, POINTS OF TANGENCY, STREET INTERSECTIONS AND ALL OTHER ANGLE POINTS TO ALLOW USE OF CENTERLINE MONUMENTATION.

SITE BENCHMARK

AGRS MONUMENT "1-N8"; ELEVATION=5307.250 (NAD83/NAVD88)

- SITE DATA**
- TOTAL LAND AREA = 82.914 ACRES.
 - NUMBER OF EXISTING TRACTS IS 2.
 - NUMBER OF PROPOSED TRACTS IS 52.
(TRACT PR, UNIT 1: 15 [TR. A-J], UNIT 2: 16 [TR. A-P], UNIT 3: 12 [TR. A-L], AND UNIT 4: 8 [TR. A-H])
 - NUMBER OF PROPOSED RESIDENTIAL LOTS IS 506
(UNIT 1: 151, UNIT 2: 155, UNIT 3: 83, AND UNIT 4: 117)
 - CURRENT ZONING: R-1A.
 - THE SUBDIVISION WILL BE GATED AND ALL STREETS (TRACT PR) WILL BE PRIVATE BY PLAT DEDICATION AND BE MAINTAINED BY THE HOA.
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 - WATER AND SANITARY SEWER SERVICES TO THIS DEVELOPMENT MUST BE VERIFIED AND COORDINATED WITH ABCWUA.
 - ALL OPEN SPACE/LANDSCAPING TRACTS AS LISTED IN NOTE C. SHALL BE DEEDED TO AND MAINTAINED BY THE HOA.
 - MILEAGE OF PUBLIC STREETS CREATED: 0
 - NO LOTS SHALL HAVE DIRECT ACCESS FROM COLOBEL AVE, AMOLE MESA AVE OR 118TH ST
 - TYPICAL LOT SIZE: 110' x 40'=4,400 SF; MIN. LOT SIZE: 4,062 SF MAX. LOT SIZE: 10,079 SF
 - SETBACKS SHALL ADHERE TO ZONING FOR R-1A--5' SIDEYARD; 10' SIDEYARD ADJACENT TO STREET EASEMENT; 15' BACKYARD; 20' FRONTYARD TO HOUSE; 20' FRONTYARD TO GARAGE.

LEGEND

N 90°00'00" E
 (N 90°00'00" E)
 [N 90°00'00" E]
 [N 90°00'00" E]

MEASURED BEARINGS AND DISTANCES RECORD BEARINGS AND DISTANCES (06/06/2017, 2017C-69)
 RECORD BEARINGS AND DISTANCES (03/23/2015, 2015C-29)
 RECORD BEARINGS AND DISTANCES (03/23/2015, 2015C-29)

SET BATHEY MARKER "LS 14271" UNLESS OTHERWISE NOTED
 SET CENTERLINE MONUMENT: A 4" ALUMINUM DISK MARKED "LS 14271"

US SURVEY FOOT

BENCHMARK INFORMATION

1. AGRS MONUMENT AND BENCHMARK "TRANS" N=1471885.503* E=1495145.466* G-G=0.999683154 Ag=0016'43.33" CENTRAL ZONE ELEVATION=5121.089* (NAD83/NAVD88)	2. AGRS MONUMENT AND BENCHMARK "1-N8" N=1470741.879* E=1488701.82* G-G=0.999676466 Ag=0117'27.70" CENTRAL ZONE ELEVATION=5307.25* (NAD83/NAVD88)
* US SURVEY FOOT	* US SURVEY FOOT

APPROVED FOR MONUMENTATION AND STREET NAMES

Sam M. P. Schiabor P.S. 610/2020
 CITY SURVEYOR DATE

OWNERSHIP

Scott Schiabor
 SCOTT SCHIABOR, MANAGER SUCCESS LAND HOLDINGS, LLC. DATE 6/10/2020

Isaacson & Arfman, Inc.
 Civil Engineering Consultants
 128 Monroe Street NE Albuquerque, NM 87108 505-268-8828 | www.iacivil.com

PR-2020-002411 SHEET 1 OF 1

INFRASTRUCTURE LIST

(Rev. 2-16-18)

EXHIBIT "A"

**TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

Date Site Plan Approved: _____
Date Preliminary Plat Approved: _____
Date Preliminary Plat Expires: _____
DRB Project No.: PR-2019-002411
DRB Application No.: SD-2020-00102

Aspire Subdivision, Unit 3

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

Tract A-1-A and B-1, Anderson Heights, Unit 4

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
		52' F-F	PAVING Major local paving 20' ingress, 22' egress Curb & gutter both sides	Cedro Way	Valedon Lane	Amole Mesa Ave.	/	/	/
		10'	Median with curb & gutter						
		6'	Sidewalk west side only						
		32' F-F	Residential paving (Normal local) Curb & gutter both sides	Valedon Lane	West End Un. 3	Cantara Lane	/	/	/
		5'	* Sidewalk def. both sides except per below						
		5'	Sidewalk adjacent to Tr. E						
		28' F-F	Residential paving (Normal local) Curb & gutter both sides	Jacona Way	Hot Springs Lane	Cantara Lane	/	/	/
		5'	* Sidewalk def. both sides except per below						
			Sidewalk adjacent to Tr.D, F, G, & H						
		28' F-F	Residential paving (Access local) Curb & gutter both sides	Hot Springs Lane	South end of Un. 3	Valedon Lane	/	/	/
		5'	Sidewalk on east side						
		5'	* Sidewalk def. west sides except per below						
			Sidewalk adjacent to Tr. C						

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private		City Cnst Engineer
							Inspector	P.E.	
<input type="text"/>	<input type="text"/>	28' F-F	Residential paving (Access local) Curb & gutter both sides	Cantara Lane	South end of Un. 3	Valedon Lane	/	/	/
		5'	* Sidewalk def. both sides except per below						
		5'	Sidewalk adjacent to Tr. F & H						
<input type="text"/>	<input type="text"/>	6"	Sidewalk	Amole Mesa Ave	NE corner of site	70± E. of NW corner of Un. 3	/	/	/
<input type="text"/>	<input type="text"/>	7 ea±	Street Lights **				/	/	/
<input type="text"/>	<input type="text"/>		Offsite Infrastructure per the approved Traffic Impact Study ***				/	/	/
			WATERLINE						
<input type="text"/>	<input type="text"/>	8"	Waterline	Cedro Way	Valedon Lane	Amole Mesa Ave.	/	/	/
<input type="text"/>	<input type="text"/>	8"	Waterline	Valedon Lane	West End Un. 3	Cantara Lane	/	/	/
<input type="text"/>	<input type="text"/>	8"	Waterline	Cantara Lane	Lot 23	Valedon Lane	/	/	/
<input type="text"/>	<input type="text"/>	6"	Waterline	Jacona Way	Hot Springs Lane	Cantara Lane	/	/	/
<input type="text"/>	<input type="text"/>	6"	Waterline	Hot Springs Lane	Serafina Way	Valedon Lane	/	/	/
<input type="text"/>	<input type="text"/>	6"	Waterline	Serafina Way	East End Un. 2	Hot Springs Lane	/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private		City Cnst Engineer
							Inspector	P.E.	
		8"	SANITARY SEWER Sanitary Sewer	Valedon Lane	Lot 73	Cantara Lane	/	/	/
		8"	Sanitary Sewer	Caresso Loop	Unit 4 Lots 16/17	Cantara Lane	/	/	/
		8"	Sanitary Sewer	Jacona Way	Hot Springs Lane	Cantara Lane	/	/	/
		8"	Sanitary Sewer	Hot Springs Lane	Lot 44	Lot 37	/	/	/
		8"	Sanitary Sewer	Cantara Lane	Valedon Lane	Colobel Ave extst SAS stub	/	/	/
		1 ea	STORM DRAIN Inlet	Amole Mesa Ave South side	NE end of site; W. of Messina Dr		/	/	/
		18"	Storm Drain	Valedon Lane	Lots 60/61	Cantara Lane	/	/	/
		24"-48"	Storm Drain	Cantara Lane	Valedon Lane	S. end of Un. 3	/	/	/
		42"	Storm Drain Inlets to be built w/Unit 4	Caresso Loop	Lots 16/17	Crestone Way	/	/	/
		48"	Storm Drain Inlets to be built w/Unit 4	Crestone Way	Caresso Loop	Colobel Ave	/	/	/
		48"	Storm Drain Inlets to be built w/Unit 4	Cantara Lane	S. end of Unit 3	Colobel Ave	/	/	/
		54"	Storm Drain Inlets to be built w/Unit 4	Colobel Ave	Crestone Way	Colobel Ave extst SD MH	/	/	/
							/	/	/

INFRASTRUCTURE LIST

(Rev. 2-16-16)

EXHIBIT "A"

**TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

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Date Preliminary Plat Approved: _____
Date Preliminary Plat Expires: _____
DRB Project No.: PR-2019-002411
DRB Application No.: SD-2020-00102

Aspire Subdivision, Unit 4

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

Tract A-1-A and B-1, Anderson Heights, Unit 4

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
		36' F-F	PAVING Major local paving Curb & gutter both sides 6' Sidewalk north side only 6' Bike Lanes both sides	Colobel Ave.	Exst. Pavement E. of Duerson Trl.	East end; exst. paving at Morrissey St.	/	/	/
		52' F-F	Major local paving 20' ingress, 22' egress Curb & gutter both sides 10' Median with curb & gutter 6' Sidewalk East side only	Crestone Way	Caresso Loop	Colobel Ave.	/	/	/
		46' F-F	Major local paving Curb & gutter both sides 2-20' F-F lanes 6' median with curb & gutter 5' Sidewalk both sides	Serafina Way	West End Un. 4	Hot Springs Lane	/	/	/
		28' F-F	Residential paving (Normal local) Curb & gutter both sides 5' * Sidewalk def. both sides except per below Sidewalk adjacent to Tr. E, F, G, I, J, K & Unit 1 Tr. P	Caresso Loop incl. knuckle	West End Un. 4	Cantara Lane	/	/	/
		28' F-F	Residential paving (Access local) Curb & gutter both sides 5' * Sidewalk def. both sides except per below Sidewalk adjacent to Tr. C & D & Unit 4 Tr. G & H	Serafina Way	Hot Springs Lane	Cantara Lane	/	/	/

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private		City Cnst Engineer
							Inspector	P.E.	
		28' F-F	Residential paving (Access local) Curb & gutter both sides	Hot Springs Lane	Caresso Loop	Curb returns N. of Serafina Way	/	/	/
		5'	Sidewalk East side						
		5'	* Sidewalk def West side except per below Sidewalk adjacent to Tr. E						
		28' F--F	Residential paving (Access local) Curb & gutter both sides	Tinaja Way	Hot Springs Lane	Cantara Lane	/	/	/
		5'	* Sidewalk def both sides except per below Sidewalk adjacent to Tr.C, D & F						
		28' F-F	Residential paving (Access local) Curb & gutter both sides	Cantara Lane Incl. cul-de-sac	South end Unit 4	Cul-de-sac, S. end	/	/	/
		5'	* Sidewalk def. both sides (except per below) Sidewalk adjacent to Tr. D & H						
		5'	Sidewalk	Private access easement	Cantara Lane	Colobel Ave.	/	/	/
		11 ea	Street Lights **		Cul-de-sac, S. end	Sidewalk	/	/	/
			Offsite Infrastructure per the approved Traffic Impact Study ***				/	/	/
			WATERLINE						
		8"	Waterline	Caresso Loop	West end Unit 4	Cantara Lane	/	/	/
		8"	Waterline	Cantara Lane	North end Unit 4	S. end of cul-de-sac	/	/	/
		8"	Waterline	25' WL & SAS Esmt.	Cantara Lane S. end of cul-de-sac	Colobel Ave. Exst. 10" WL	/	/	/
		6"	Waterline	Serafina Way	Hot Springs Lane	Cantara Lane	/	/	/
		6"	Waterline	Tinaja Way	Hot Springs Lane	Cantara Lane	/	/	/
		6"	Waterline	Hot Springs Lane	Caresso Loop	Serafina Way	/	/	/
		4"	Waterline	Caresso Loop knuckle	Caresso Loop	S. end of knuckle	/	/	/
		2 ea	Waterline stubs Remove & dispose and cap at main	Colobel Ave.	Adjacent to Lots 5 & 112		/	/	/

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private	City Cnst Engineer	
							Inspector		P.E.
		8"	SANITARY SEWER Sanitary Sewer	Tinaja Way	Lot 44	Cantara Lane	/	/	/
		8"	Sanitary Sewer	Hot Springs Lane	Caresso Loop	Lot 54	/	/	/
		8"	Sanitary Sewer	Serafina Way	Lots 80/81	Cantara Lane	/	/	/
		8"	Sanitary Sewer	25' WL & SAS Esmt.	Cantara Lane S. end of cul-de-sac	Colobel Ave. Exst. 8" SAS stub	/	/	/
		8"	Sanitary Sewer	Caresso Loop knuckle	Caresso Loop	Caresso Loop knuckle S. end	/	/	/
		1 ea	Sanitary Sewer stub Remove & cap at main	Colobel Ave.	Adjacent to Lot 5		/	/	/
							/	/	/
			STORM DRAIN						
		2 ea	Inlets	Cantara Lane	S. end Unit 3	S. end of cul-de-sac	/	/	/
		2 ea	Inlets	Colobel Ave.	S. of 20' SD Easement		/	/	/
		4 ea	Inlets	Caresso Loop	Lots 16/17	Lots 20/21	/	/	/
							/	/	/
							/	/	/
							/	/	/

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing.
 The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification	
							Private Inspector	City Cnst Engineer
<input type="text"/>	<input type="text"/>						/	/
<input type="text"/>	<input type="text"/>						/	/
Approval of Creditable Items:							Approval of Creditable Items:	
Impact Fee Administrator Signature							City User Dept. Signature	
Date							Date	

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.
 Street lights per City requirements.

- 1 * Sidewalks to be deferred.
- 2 Water infrastructure includes valves, fittings, fire hydrants and appurtenances
- 3 Sanitary sewer infrastructure includes manholes and service connections
- 4 Storm drain includes manholes, inlets and connector pipes.
- 5 Grading and drainage certification required for release of IIA and financial guarantee
- 6 ** Street lights shall include light poles, foundations, transformers, pull boxes, conduits and wiring.
 Actual number of street lights shall be determined at DRC based on final design.
- 7 *** Infrastructure list may need to be amended depending on infrastructure requirements from other agencies.

AGENT / OWNER | **DEVELOPMENT REVIEW BOARD MEMBER APPROVALS**

Asa Nilsson-Weber
 NAME (print)
ISAACSON & ARFMAN, INC.
 FIRM
Asa Nilsson-Weber 8/16/2023
 SIGNATURE - date

Jay Rodenbeck Sep 13, 2023
 PLANNING - date
Ernest Armijo Sep 14, 2023
 TRANSPORTATION DEVELOPMENT - date
[Signature] Sep 14, 2023
 UTILITY DEVELOPMENT - date
Shahab Biagar Sep 15, 2023
 CITY ENGINEER - date

Whitney Dulan Sep 14, 2023
 PARKS & RECREATION - date
 AMAFCA - date
Jeff Palmer Sep 14, 2023
 CODE ENFORCEMENT - date
Regina Chan Sep 14, 2023
 HYDROLOGY - date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT /OWNER

PUBLIC EASEMENT VACATION

FORM V

**COMPLETE DOCUMENT THAT
CREATED EASEMENT**

VACATION EXHIBIT

PROOF OF PRE-APP MEETING

*SEE FINAL PLAT DOCUMENTATION FOR ZONE
ATLAS MAP*

*SEE FINAL PLAT SUPPORTIVE DOCUMENTATION
FOR AUTHORIZATION LETTER & DESCRIPTION
LETTER*

FORM V: VACATIONS OF EASEMENTS OR RIGHT-OF-WAY - DHO

Please refer to the DHO public meeting schedule for meeting dates and deadlines. Your attendance is required.

_ VACATION OF RIGHT-OF-WAY - DHO**_ VACATION OF RIGHT-OF-WAY - COUNCIL**

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. *The PDF shall be organized in the number order below.* Divide the PDF with a title sheet for each of the three documentation sections in **bold** below.

VACATION DOCUMENTATION

- ___ 1) DHO Application form completed, signed, and dated
- ___ 2) Form V with all the submittal items checked/marked
- ___ 3) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 4) Copy of the complete document which created the easement(s)
Not required for City owned public right-of-way
- ___ 5) Drawing showing the easement or right-of-way to be vacated
- ___ 6) If easements, list number to be vacated _____
- ___ 7) Square footage to be vacated (see IDO Section 14-16-6-6(M)) _____

SUPPORTIVE DOCUMENTATION

- ___ 8) Letter of authorization from the property owner if application is submitted by an agent
- ___ 9) Letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-6(M)
- ___ 10) Proof of Pre-Application Meeting with City staff per IDO Section 14-16-6-4(B)

PUBLIC NOTICE DOCUMENTATION

- ___ 11) Sign Posting Agreement
- ___ 12) Proof of a Pre-Submittal Neighborhood Meeting per IDO 14-16-6-4(C)
 - ___ Office of Neighborhood Coordination neighborhood meeting inquiry response
 - ___ Proof of email with read receipt OR Certified Letter offering meeting to applicable associations
 - ___ Completed neighborhood meeting request form(s)
 - ___ If a meeting was requested or held, copy of sign-in sheet and meeting notes

- ___ 13) Required Content of Notice at Submittal per IDO Section 14-16-6-4(K)(1) (not required for an extension)
 - ___ Office of Neighborhood Coordination notice inquiry response
 - ___ Completed notification form(s), proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b)
 - ___ Proof of emailed notice to affected Neighborhood Association representatives
 - ___ Proof of first class mailing to affected Neighborhood Association representatives and property owners within 100 feet
- ___ 14) Interpreter Needed for Hearing? ___ if yes, indicate language: ___

_ VACATION OF PRIVATE EASEMENT

_ VACATION OF PUBLIC EASEMENT

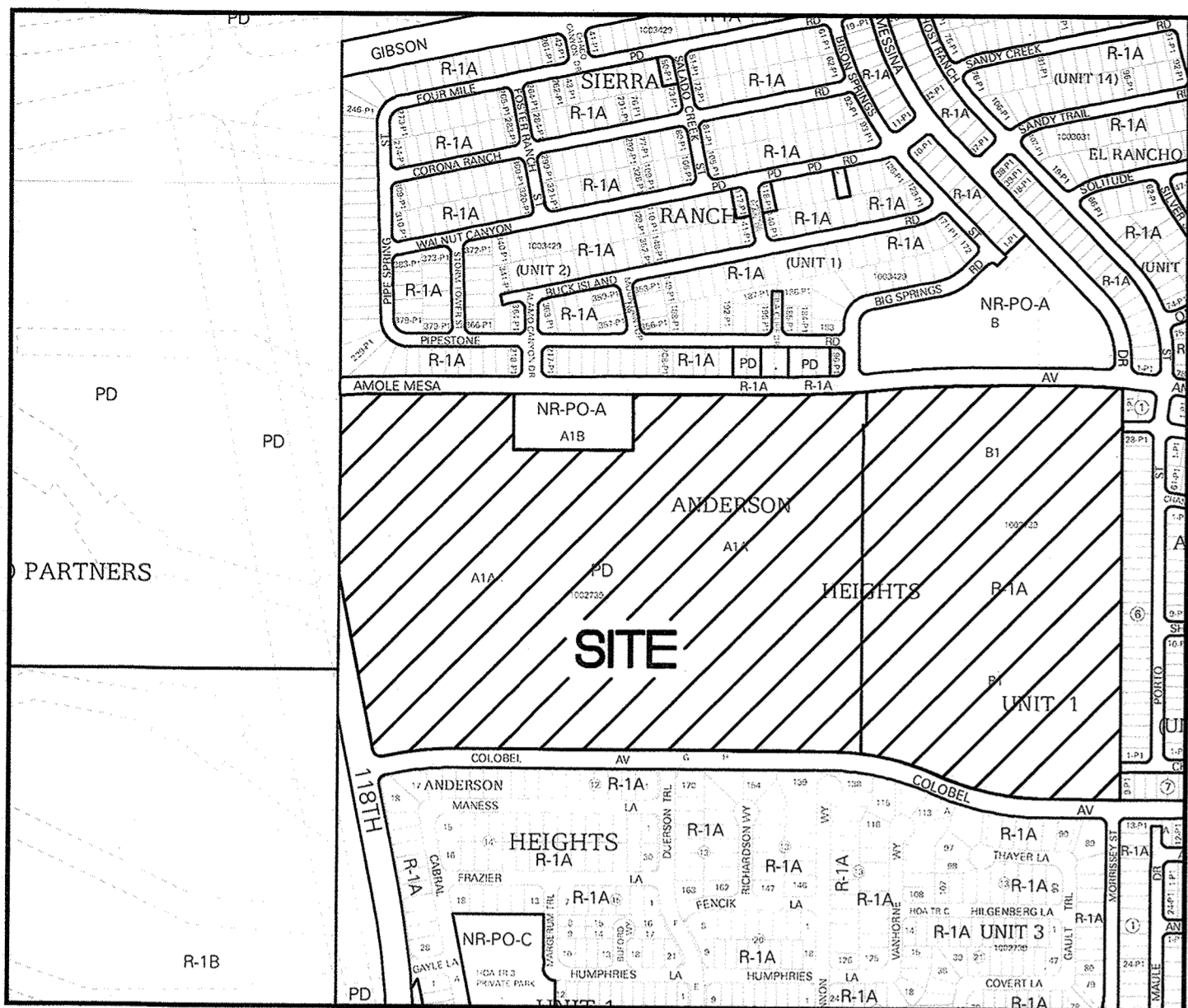
A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. The PDF shall be organized in the number order below.

- ___ 1) DHO Application form completed, signed, and dated
- ___ 2) Form V with all the submittal items checked/marked
- ___ 3) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 4) Copy of the complete document which created the easement(s)
- ___ 5) Drawing showing the easement or right-of-way to be vacated
- ___ 6) List number to be vacated _____
- ___ 7) Letter of authorization from the property owner if application is submitted by an agent
- ___ 8) Letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-6(M)
- ___ 9) Proof of Pre-Application Meeting with City staff per IDO Section 14-16-6-4(B)
- ___ 10) Interpreter Needed for Hearing? ___ if yes, indicate language: ___

_ EXTENSION OF VACATION

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. The PDF shall be organized in the number order below.

- ___ 1) DHO Application form completed, signed, and dated
- ___ 2) Form V with all the submittal items checked/marked
- ___ 3) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 4) Drawing showing the vacated easement or right-of-way
- ___ 5) Vacated square footage (see IDO Section 14-16-6-6(M) _____)
- ___ 6) Letter of authorization from the property owner if application is submitted by an agent
- ___ 7) Letter describing, explaining, and justifying the request per IDO Section 14-16-6-4(X)(4)
- ___ 8) Interpreter Needed for Hearing? ___ if yes, indicate language: ___



Vicinity Map - Zone Atlas N-8-Z

Documents

- TITLE COMMITMENT PROVIDED BY OLD REPUBLIC TITLE, HAVING FILE NO. 1806693 AND AN EFFECTIVE DATE OF SEPTEMBER 4, 2008.
- CORRECTION PLAT OF RECORD FOR TRACT A-1-A, FILED IN THE BERNALILLO COUNTY, NEW MEXICO REAL ESTATE RECORDS ON JUNE 6, 2017, IN BOOK 2017-C, PAGE 69, AS DOCUMENT NO. 2017054333.
- PLAT OF RECORD FOR TRACT B-1, FILED IN THE BERNALILLO COUNTY, NEW MEXICO REAL ESTATE RECORDS ON MARCH 23, 2015, IN PLAT VOLUME 2015C, FOLIO 29 AS DOCUMENT NO. 2015023748.
- SPECIAL WARRANTY DEED FOR SUBJECT PROPERTY FILED IN THE SANDOVAL COUNTY CLERK'S OFFICE ON MAY 22, 2018, AS DOCUMENT NO. 2018044675.

Free Consent & Dedication

THE SUBDIVISION SHOWN AND DESCRIBED HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) THEREOF. EXISTING AND/OR GRANTED PUBLIC UTILITY EASEMENTS (P.U.E.) AS SHOWN HEREON, UNLESS NOTED OTHERWISE, ARE FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUIT AND PIPES FOR UNDERGROUND UTILITIES. SAID UTILITY COMPANIES HAVE THE RIGHT OF INGRESS/EGRESS FOR CONSTRUCTION OF, MAINTENANCE OF AND REPLACEMENT OF SAID UTILITIES INCLUDING THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS WITHIN SAID P.U.E.. SAID OWNERS CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED.

Garret Price 1/11/2021
 GARRET PRICE, MANAGER
 HERITAGE TRAILS DEVELOPMENT I, LLC



STATE OF NEW MEXICO }
 COUNTY OF **Bernalillo** }
 THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON **January 11**, 20**21**
 BY: **Rico Gallegos**, MANAGER, HERITAGE TRAILS DEVELOPMENT I, LLC
 By: **Rico Gallegos**
 NOTARY PUBLIC
 MY COMMISSION EXPIRES **12/22/2024**

Indexing Information

Projected Section 5, Township 9 North, Range 2 East,
 N.M.P.M. Town of Atrisco Grant
 Subdivision: Anderson Heights, Unit 4
 Owner: Success Land Holdings, LLC
 UPC #: 100805448521940104 (Tract B-1)
 UPC #: 100805434722140105 (tract A-1-A)

Purpose of Plat

- SUBDIVIDE AS SHOWN HEREON.
- GRANT EASEMENTS AS SHOWN HEREON.
- VACATE EASEMENTS AS SHOWN HEREON.

Subdivision Data

GROSS ACREAGE.....82.9148 ACRES
 ZONE ATLAS PAGE NO.....N-8-Z
 NUMBER OF EXISTING TRACTS.....2
 NUMBER OF LOTS CREATED.....151
 NUMBER OF TRACTS CREATED.....20
 MILES OF FULL-WIDTH STREETS.....0.987 MILES
 MILES OF HALF-WIDTH STREETS.....0.000 MILES
 RIGHT-OF-WAY DEDICATION TO THE CITY OF ALBUQUERQUE.....0.00 ACRES
 DATE OF SURVEY.....MARCH 2020

Notes

- FIELD SURVEY PERFORMED IN MARCH 2020.
- ALL DISTANCES ARE GROUND DISTANCES: US SURVEY FOOT.
- THE BASIS OF BEARINGS REFERENCES NEW MEXICO STATE PLANE COORDINATES (NAD 83-CENTRAL ZONE).
- LOT LINES TO BE ELIMINATED SHOWN HEREON AS.....
- TRACTS A-P SHALL BE CONVEYED TO THE ASPIRE COMMUNITY ASSOCIATION, INC. IN FEE SIMPLE AND SHALL BE MAINTAINED BY THE ASPIRE COMMUNITY ASSOCIATION.
- TRACTS FD1, FD2 AND FD3 SHALL BE RETAINED BY HERITAGE TRAILS DEVELOPMENT I, LLC.

Solar Collection Note

NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BUILDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERECTED ON THE LOTS OR PARCELS WITHIN THE AREA OF PROPOSED PLAT, THE FOREGOING REQUIREMENT SHALL BE A CONDITION TO APPROVAL OF THIS PLAT.

Legal Description

TRACT A-1-A, ANDERSON HEIGHTS UNIT 4, AS THE SAME IS SHOWN ON THE CORRECTION PLAT OF TRACTS A-1-A & A-1-B, ANDERSON HEIGHTS UNIT 4, RECORDED IN THE BERNALILLO COUNTY, NEW MEXICO REAL ESTATE RECORDS ON JUNE 6, 2017, IN BOOK 2017-C, PAGE 69, AS DOCUMENT NO. 2017054333.

AND

TRACT B-1, ANDERSON HEIGHTS UNIT 4, AS THE SAME IS SHOWN ON THE BULK LAND PLAT FOR ANDERSON HEIGHTS UNIT 4, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON MARCH 23, 2015, IN PLAT VOLUME 2015C, FOLIO 29 AS DOCUMENT NO. 2015023748.

Treasurer's Certificate

THIS IS TO CERTIFY THAT THE TAXES ARE CURRENT AND

PAID ON UPC # : 100805448521940104
 100805434722140105

PROPERTY OWNER OF RECORD

Success Land Holdings LLC

BERNALILLO COUNTY TREASURER'S OFFICE

George Stone 3-23-21

DOCH 2021034008

03/23/2021 10:40 AM Page: 1 of 6
 PLAT R-\$25.00 B-2021C P-0029 Linda Stover, Bernalillo County

**Plat for
 Aspire Subdivision Unit 1
 Being Comprised of
 Tracts A-1-A and B-1
 Anderson Heights, Unit 4
 City of Albuquerque
 Bernalillo County, New Mexico
 December 2020**

Project Number: PR-2019-002411

Application Number: SD-2021-00012

Plat Approvals:

R. J. [Signature] 1/11/2021
 PNM Electric Services
Abdul A. Bhuujan 1/11/2021
 Quest Corp. d/b/a CenturyLink QC
[Signature] 1/11/2021
 New Mexico Gas Company
[Signature] 1/11/21
 Comcast

City Approvals:

Loren P. Rinchovee P.S. 12/11/2020
 City Surveyor
Jeanne Wolfenbarger Feb 16, 2021
 Traffic Engineer
Kristopher Madena Feb 22, 2021
 ABCWUA
Cheryl [Signature] Feb 17, 2021
 Parks and Recreation Department
Carl Garcia Feb 16, 2021
 Code Enforcement
Dick McInerdt 1/11/2021
 AMAFCA
Ernest Armijo Feb 17, 2021
 City Engineer
[Signature] Mar 18, 2021
 DRB Chairperson, Planning Department

Surveyor's Certificate

I, WILL PLOTNER JR., A REGISTERED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THIS PLAT AND DESCRIPTION WERE PREPARED BY ME OR UNDER MY SUPERVISION, SHOWS ALL EASEMENTS AS SHOWN ON THE PLAT OF RECORD OR MADE KNOWN TO ME BY THE OWNERS AND/OR PROPRIETORS OF THE SUBDIVISION SHOWN HEREON, THE UTILITY COMPANIES OR OTHER INTERESTED PARTIES AND MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS FOR THE CITY OF ALBUQUERQUE AND FURTHER MEETS THE MINIMUM STANDARDS FOR LAND SURVEYING IN THE STATE OF NEW MEXICO AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Will Plotner Jr. 12/10/2020
 Will Plotner Jr.
 N.M.R.P.S. No. 14271



CSI-CARTESIAN SURVEYS INC.

P.O. BOX 44414 RIO RANCHO, N.M. 87174
 Phone (505) 896-3050 Fax (505) 891-0244
 wplotnerjr@gmail.com

**Plat for
Aspire Subdivision Unit 1
Being Comprised of
Tracts A-1-A and B-1
Anderson Heights, Unit 4
City of Albuquerque
Bernalillo County, New Mexico
January 2021**

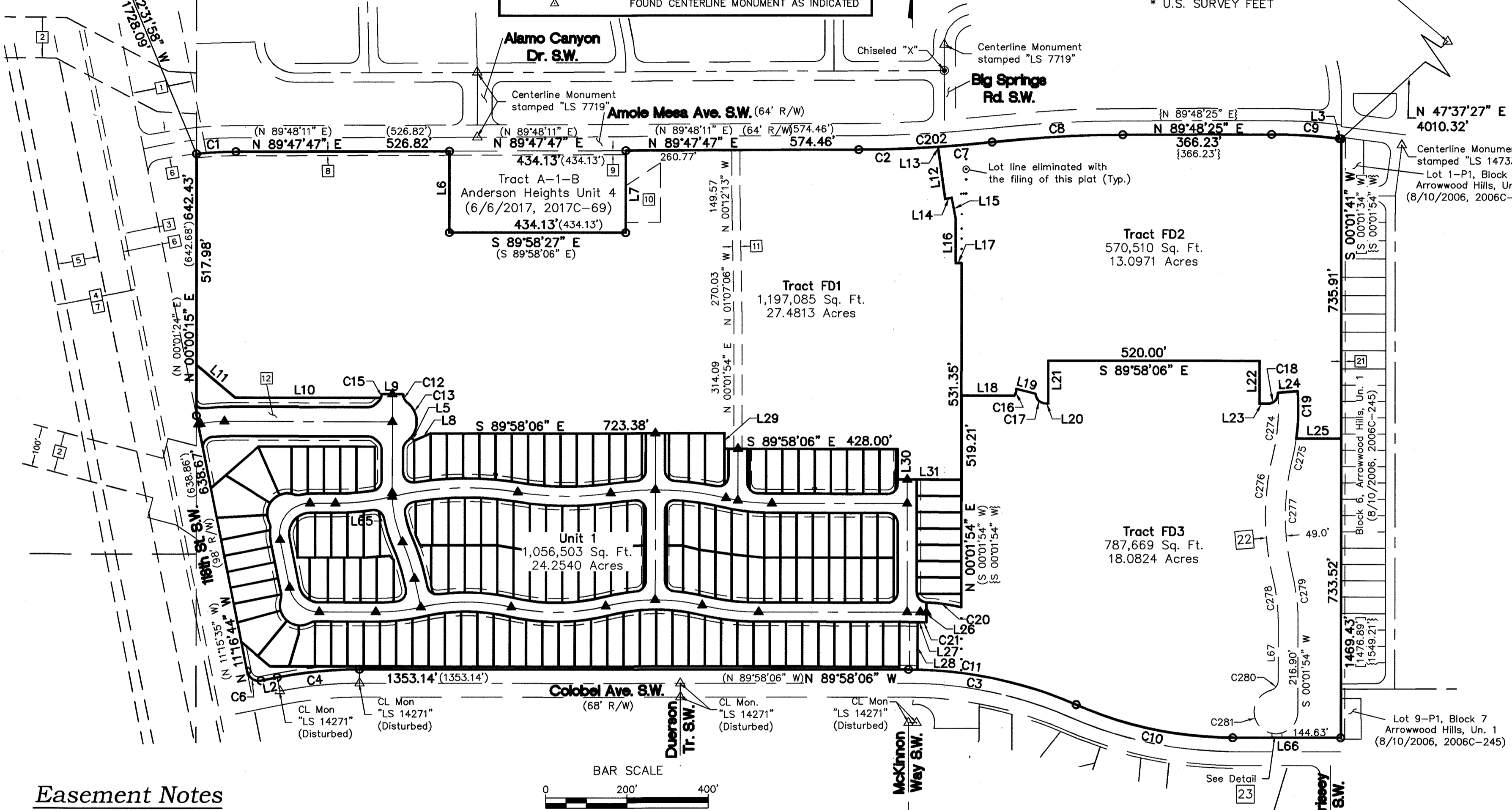
DOC# 2021034008
03/23/2021 10:40 AM Page: 2 of 6
PLAT R: \$25.00 B: 2021C P: 0029 Linda Stover, Bernalillo County

ACS Monument "1_N8"
NAD 1983 CENTRAL ZONE
X=1488701.82 *
Y=1470741.879 *
Z=5307.25 * (NAVD 1988)
G-G=0.999676466
Mapping Angle=-0°17'27.70"
* U.S. SURVEY FEET

Legend

N 90°00'00" E	MEASURED BEARINGS AND DISTANCES
(N 90°00'00" E)	RECORD BEARINGS AND DISTANCES (06/06/2017, 2017C-69)
[N 90°00'00" E]	RECORD BEARINGS AND DISTANCES (03/23/2015, 2015C-29)
{N 90°00'00" E}	RECORD BEARINGS AND DISTANCES (03/23/2015, 2015C-29)
●	FOUND MONUMENT AS INDICATED
○	SET 1/2" REBAR WITH CAP "LS 14271" UNLESS OTHERWISE NOTED
△	FOUND CENTERLINE MONUMENT AS INDICATED

ACS Monument "TRANS"
NAD 1983 CENTRAL ZONE
X=1495145.466 *
Y=1471885.503 *
Z=5121.089 * (NAVD 1988)
G-G=0.999683154
Mapping Angle=-0°16'43.33"
* U.S. SURVEY FEET



Public Utility Easements
PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- A. Public Service Company of New Mexico ("PNM"), a New Mexico corporation, (PNM Electric) for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services.
- B. New Mexico Gas Company for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
- C. Qwest Corporation d/b/a CenturyLink QC for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services.
- D. Cable TV for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, replace, modify, renew, operate and maintain facilities for purposes described above, together with free access to, from, and over said easements, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat. Easements for electric transformer/switchgears, as installed, shall extend ten (10) feet in front of transformer/switchgear doors and five (5) feet on each side.

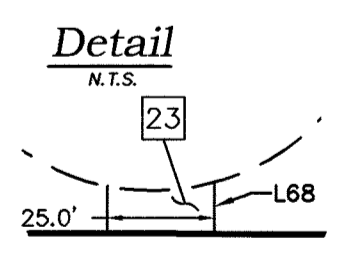
Disclaimer
In approving this plat, Public Service Company of New Mexico (PNM) and New Mexico Gas Company (NMGC) did not conduct a Title Search of the properties shown hereon. Consequently, PNM and NMGC do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

Easement Notes

- 1 EXISTING 150' AMAFCA DRAINAGE EASEMENT (04/17/1996, 96C-160)
- 2 EXISTING 100' OR 200' AMAFCA DRAINAGE EASEMENT (07/19/1990, 90C-163)
- 3 EXISTING 86' PUBLIC ROADWAY EASEMENT (04/17/1996, 96C-160)
- 4 EXISTING 200' POWER LINE EASEMENT U.S.B.R. (02/05/1952, BK. D197, PG. 567) (06/16/2000, BK. A6, PG. 8301)
- 5 EXISTING 100' PNM EASEMENT (04/20/1978, BK. MISC. 602, PG. 558-561)
- 6 EXISTING 64' OR 98' FUTURE R/W EASEMENT (05/04/2005, 2005C-138)
- 7 EXISTING 200' COA PUBLIC DRAINAGE EASEMENT (04/20/2005, BK. A95, PG. 4276)
- 8 EXISTING 10' PNM ELECTRIC EASEMENT (04/28/2009, DOC. NO. 2009056097)
- 9 EXISTING 10' P.U.E. (06/06/2017, 2017C-69)
- 10 EXISTING PUBLIC POND EASEMENT TO THE CITY OF ALBUQUERQUE (5/11/2018, DOC. NO. 2018041626) VACATED PER SD-2020-00103

Easement Notes

- 11 20' TEMPORARY EMERGENCY ACCESS EASEMENT BENEFITING UNIT 1, TO BE MAINTAINED BY THE HOA GRANTED WITH THE FILING OF THIS PLAT
- 12 BLANKET PUBLIC SANITARY SEWER AND PUBLIC WATERLINE EASEMENT WITHIN TRACT PR TO A.B.C.W.U.A. GRANTED WITH THE FILING OF THIS PLAT
- 13 BLANKET PRIVATE ACCESS EASEMENT WITHIN TRACT PR FOR THE USE AND BENEFIT OF ALL LOT OWNERS OF ASPIRE GRANTED WITH THE FILING OF THIS PLAT. EASEMENT TO BE OWNED AND MAINTAINED BY THE ASPIRE HOA
- 14 BLANKET PRIVATE DRAINAGE EASEMENT WITHIN TRACT PR FOR THE BENEFIT OF ALL LOT OWNERS OF ASPIRE GRANTED WITH THE FILING OF THIS PLAT. EASEMENT TO BE OWNED AND MAINTAINED BY THE ASPIRE HOA
- 21 EXISTING 10' P.U.E. (07/23/2003, 2003C-223)
- 22 PUBLIC SANITARY SEWER EASEMENT GRANTED WITH THE FILING OF THIS PLAT



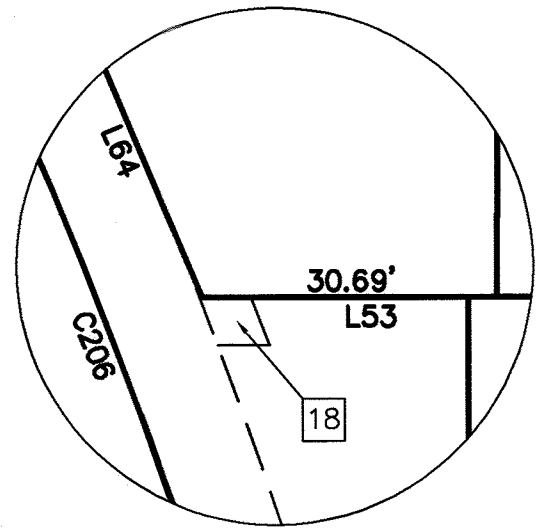
Easement Notes

- 23 25' PUBLIC SANITARY SEWER EASEMENT GRANTED WITH THE FILING OF THIS PLAT

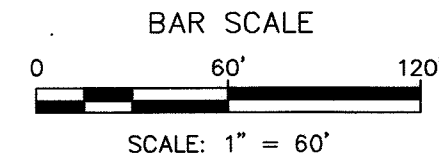
CSI-CARTESIAN SURVEYS INC.

P.O. BOX 44414 RIO RANCHO, N.M. 87174
Phone (505) 896-3050 Fax (505) 891-0244
wplotnerjr@gmail.com

Detail "A"



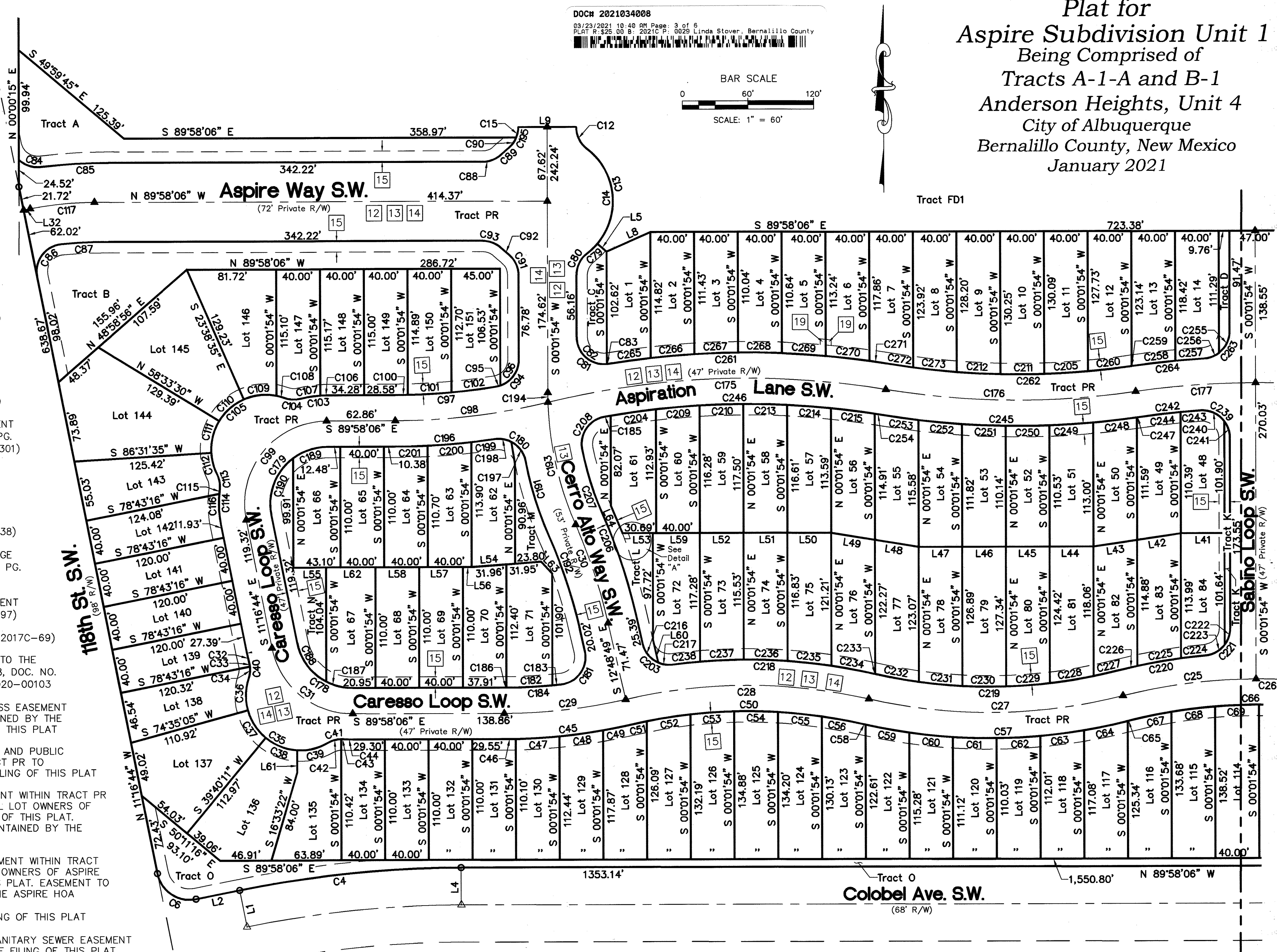
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PLAT R: 525 00 B: 2021C P: 0029 Linda Stover, Bernalillo County



Plat for
Aspire Subdivision Unit 1
Being Comprised of
Tracts A-1-A and B-1
Anderson Heights, Unit 4
City of Albuquerque
Bernalillo County, New Mexico
January 2021

Easement Notes

- 1 EXISTING 150' AMAFCA DRAINAGE EASEMENT (04/17/1996, 96C-160)
- 2 EXISTING 100' OR 200' AMAFCA DRAINAGE EASEMENT (07/19/1990, 90C-163)
- 3 EXISTING 86' PUBLIC ROADWAY EASEMENT (04/17/1996, 96C-160)
- 4 EXISTING 200' POWER LINE EASEMENT U.S.B.R. (02/05/1952, BK. D197, PG. 567) (06/16/2000, BK. A6, PG. 8301)
- 5 EXISTING 100' PNM EASEMENT (04/20/1978, BK. MISC. 602, PG. 558-561)
- 6 EXISTING 64' OR 98' FUTURE R/W EASEMENT (05/04/2005, 2005C-138)
- 7 EXISTING 200' COA PUBLIC DRAINAGE EASEMENT (04/20/2005, BK. A95, PG. 4276)
- 8 EXISTING 10' PNM ELECTRIC EASEMENT (04/28/2009, DOC. NO. 2009056097)
- 9 EXISTING 10' P.U.E. (06/06/2017, 2017C-69)
- 10 EXISTING PUBLIC POND EASEMENT TO THE CITY OF ALBUQUERQUE (5/11/2018, DOC. NO. 2018041626) VACATED PER SD-2020-00103
- 11 20' TEMPORARY EMERGENCY ACCESS EASEMENT BENEFITING UNIT 1, TO BE MAINTAINED BY THE HOA GRANTED WITH THE FILING OF THIS PLAT
- 12 BLANKET PUBLIC SANITARY SEWER AND PUBLIC WATERLINE EASEMENT WITHIN TRACT PR TO A.B.C.W.U.A. GRANTED WITH THE FILING OF THIS PLAT
- 13 BLANKET PRIVATE ACCESS EASEMENT WITHIN TRACT PR FOR THE USE AND BENEFIT OF ALL LOT OWNERS OF ASPIRE GRANTED WITH THE FILING OF THIS PLAT. EASEMENT TO BE OWNED AND MAINTAINED BY THE ASPIRE HOA
- 14 BLANKET PRIVATE DRAINAGE EASEMENT WITHIN TRACT PR FOR THE BENEFIT OF ALL LOT OWNERS OF ASPIRE GRANTED WITH THE FILING OF THIS PLAT. EASEMENT TO BE OWNED AND MAINTAINED BY THE ASPIRE HOA
- 15 10' P.U.E. GRANTED WITH THE FILING OF THIS PLAT
- 16 25' PUBLIC WATER AND PUBLIC SANITARY SEWER EASEMENT GRANTED TO A.B.C.W.U.A. WITH THE FILING OF THIS PLAT
- 17 20' PUBLIC STORM DRAIN EASEMENT TO THE CITY OF ALBUQUERQUE GRANTED WITH THE FILING OF THIS PLAT
- 18 5' X 5' UTILITY EASEMENT TO CENTURYLINK GRANTED WITH THE FILING OF THIS PLAT
- 19 5' X 5' P.U.E. GRANTED WITH THE FILING OF THIS PLAT



See Sheet 4 of 6

CSI-CARTESIAN SURVEYS INC.
P.O. BOX 44414 RIO RANCHO, N.M. 87174
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wplotnerjr@gmail.com

2021C-29

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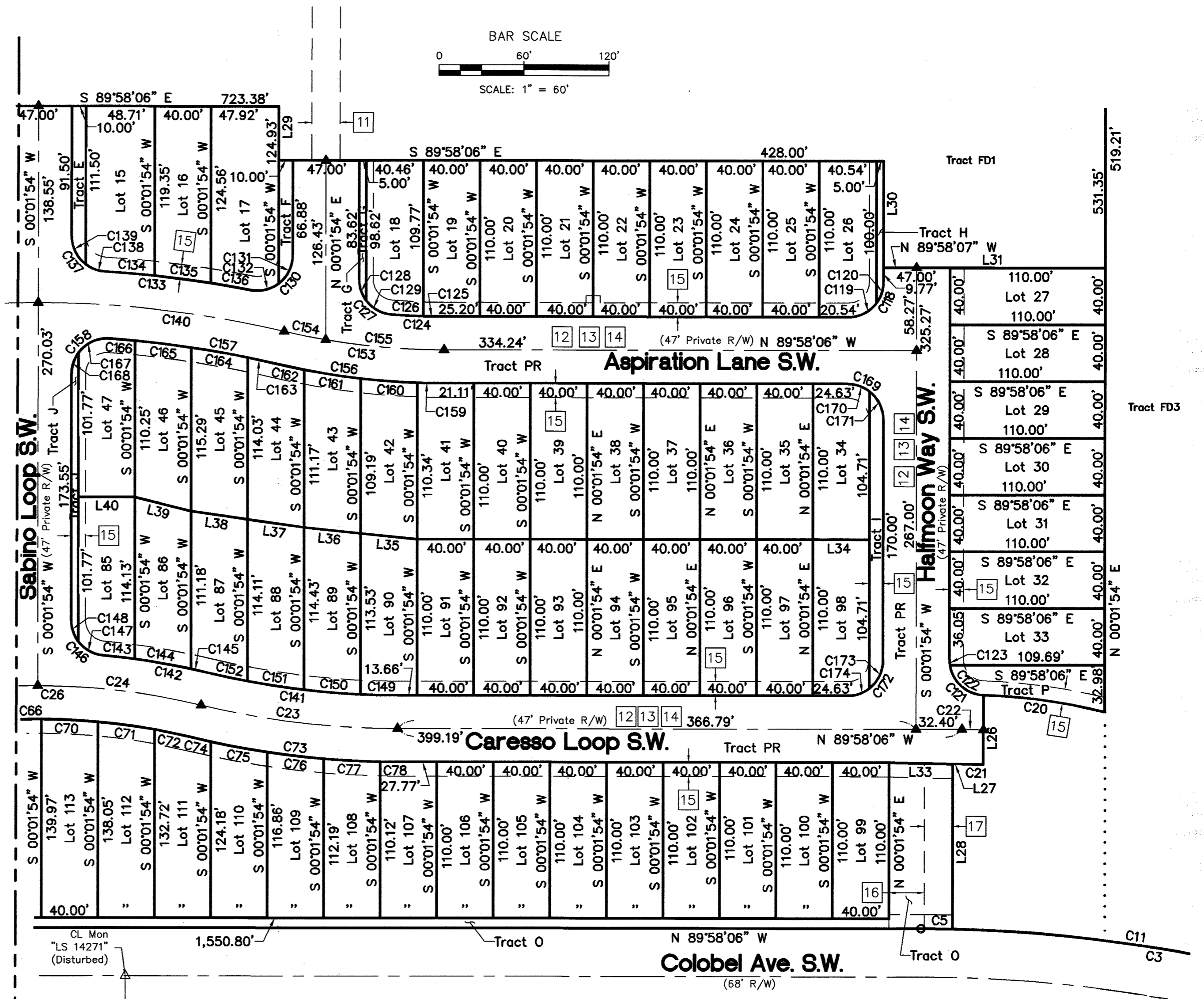
Plat for
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 January 2021

DOC# 2021034008
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 PLAT R: \$25.00 B: 2021C P: 0029 Linda Stover, Bernalillo County

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See Sheet 3 of 6



**Plat for
Aspire Subdivision Unit 1
Being Comprised of
Tracts A-1-A and B-1
Anderson Heights, Unit 4
City of Albuquerque
Bernalillo County, New Mexico
January 2021**

Curve Table					
Curve #	Length	Radius	Delta	Chord Length	Chord Direction
C1	97.16'	966.00'	5'45'46"	97.12'	S 86°54'54" W
C2	195.60'	3155.42'	3'33'06"	195.57'	N 88°01'14" E
C3	424.77'	1034.00'	23'32'14"	421.79'	N 78°11'59" W
C4	203.77'	1034.00'	11°17'29"	203.44'	S 84°23'10" W
C5	22.30'	1034.00'	1°14'09"	22.30'	N 89°21'01" W
C6	47.11'	30.00'	89°58'51"	42.42'	N 56°16'10" W
C7	133.73'	3155.42'	2°25'42"	133.72'	N 85°01'50" E
C8	322.44'	3087.42'	5°59'02"	322.29'	N 86°48'30" E
C9	167.59'	1281.12'	7°29'43"	167.47'	N 86°26'44" W
C10	396.84'	966.00'	23'32'15"	394.06'	N 78°11'59" W
C11	402.47'	1034.00'	22°18'05"	399.93'	N 77°34'54" W
C12	23.00'	25.00'	52°42'27"	22.20'	S 26°19'20" E
C13	97.46'	60.00'	93°04'05"	87.09'	N 06°08'31" W
C14	110.39'	60.08'	105°16'22"	95.51'	N 00°02'38" E
C15	9.66'	25.00'	22°08'42"	9.60'	N 11°06'15" E
C16	18.10'	25.00'	41°29'06"	17.71'	N 16°09'33" E
C17	37.78'	25.00'	86°35'37"	34.29'	S 46°40'17" E
C18	41.34'	25.00'	94°45'13"	36.79'	N 42°39'18" E
C19	117.31'	524.50'	12°48'53"	117.06'	N 01°41'08" E
C20	86.87'	424.50'	11°43'32"	86.72'	N 82°03'12" W
C21	15.21'	375.50'	2°19'17"	15.21'	N 88°48'28" W
C22	15.21'	400.00'	2°10'41"	15.21'	N 88°52'45" W
C23	140.39'	600.00'	13°24'22"	140.07'	S 83°15'55" E
C24	116.79'	500.00'	13°23'01"	116.53'	N 83°15'15" W
C25	122.92'	500.00'	14°05'10"	122.61'	S 83°00'40" W
C26	239.72'	500.00'	27°28'11"	237.43'	S 89°42'10" W
C27	234.82'	500.00'	26°54'32"	232.67'	N 89°25'21" E
C28	224.19'	500.00'	25°41'26"	222.32'	N 89°58'06" W
C29	112.10'	500.00'	12°50'43"	111.86'	N 83°36'32" E
C30	94.59'	500.00'	10°50'22"	94.45'	N 18°14'00" W
C31	103.00'	75.00'	78°41'22"	95.10'	S 50°37'25" E
C32	8.19'	98.50'	4°45'52"	8.19'	S 13°39'40" E
C33	4.44'	25.00'	10°09'54"	4.43'	N 10°57'40" W
C34	10.65'	25.00'	24°24'55"	10.57'	N 06°19'44" E
C35	120.71'	50.00'	138°19'14"	93.46'	S 50°37'25" E
C36	29.63'	50.00'	33°57'06"	29.20'	S 01°33'39" W
C37	30.47'	50.00'	34°54'55"	30.00'	S 32°52'22" E
C38	31.45'	50.00'	36°02'06"	30.93'	S 68°20'52" E
C39	29.16'	50.00'	33°25'07"	28.75'	N 76°55'32" E
C40	15.09'	25.00'	34°34'48"	14.86'	N 01°14'48" E
C41	15.09'	25.00'	34°34'48"	14.86'	S 77°30'22" W
C42	12.57'	25.00'	28°48'50"	12.44'	S 74°37'23" W
C43	2.52'	25.00'	5°45'58"	2.51'	N 88°05'13" W
C44	8.19'	98.50'	4°45'52"	8.19'	S 87°35'10" E
C45	117.36'	523.50'	12°50'43"	117.12'	N 83°36'32" E
C46	10.45'	523.50'	1°08'36"	10.45'	N 89°27'36" E
C47	40.08'	523.50'	4°23'11"	40.07'	N 86°41'42" E
C48	40.38'	523.50'	4°25'09"	40.37'	N 82°17'32" E
C49	26.46'	523.50'	2°53'46"	26.46'	N 78°38'04" E
C50	213.66'	476.50'	25°41'26"	211.87'	N 89°58'06" W
C51	14.38'	476.50'	1°43'43"	14.38'	S 78°03'03" W
C52	40.48'	476.50'	4°52'01"	40.46'	S 81°20'55" W
C53	40.10'	476.50'	4°49'19"	40.09'	S 86°11'35" W
C54	40.02'	476.50'	4°48'43"	40.01'	N 88°59'25" W
C55	40.22'	476.50'	4°50'09"	40.21'	N 84°09'59" W
C56	38.47'	476.50'	4°37'31"	38.46'	N 79°26'08" W
C57	245.86'	523.50'	26°54'32"	243.61'	N 89°25'21" E
C58	2.25'	523.50'	0°14'46"	2.25'	S 77°14'46" E
C59	40.67'	523.50'	4°27'06"	40.66'	S 79°35'42" E
C60	40.23'	523.50'	4°24'10"	40.22'	S 84°01'20" E

Curve Table					
Curve #	Length	Radius	Delta	Chord Length	Chord Direction
C61	40.02'	523.50'	4°22'50"	40.01'	S 88°24'50" E
C62	40.06'	523.50'	4°23'04"	40.05'	N 87°12'14" E
C63	40.33'	523.50'	4°24'51"	40.32'	N 82°48'17" E
C64	40.85'	523.50'	4°28'17"	40.84'	N 78°21'43" E
C65	1.44'	523.50'	0°09'29"	1.44'	N 76°02'50" E
C66	228.45'	476.50'	27°28'11"	226.27'	S 89°42'10" W
C67	39.43'	476.50'	4°44'27"	39.42'	S 78°20'19" W
C68	40.30'	476.50'	4°50'46"	40.29'	S 83°07'56" W
C69	40.04'	476.50'	4°48'51"	40.03'	S 87°57'45" W
C70	40.06'	476.50'	4°49'00"	40.05'	N 87°13'20" W
C71	40.36'	476.50'	4°51'13"	40.35'	N 82°23'13" W
C72	28.26'	476.50'	3°23'52"	28.25'	N 78°15'41" W
C73	145.89'	623.50'	13°24'22"	145.55'	S 83°15'55" E
C74	12.65'	623.50'	1°09'45"	12.65'	S 77°08'37" E
C75	40.67'	623.50'	3°44'15"	40.66'	S 79°35'36" E
C76	40.28'	623.50'	3°42'05"	40.27'	S 83°18'46" E
C77	40.06'	623.50'	3°40'53"	40.05'	S 87°00'15" E
C78	12.23'	623.50'	1°07'25"	12.23'	S 89°24'24" E
C79	12.97'	60.08'	12°22'18"	12.95'	N 46°29'40" E
C80	22.97'	25.00'	52°38'55"	22.17'	S 26°21'22" W
C81	43.23'	25.00'	99°03'55"	38.04'	S 49°30'03" E
C82	41.95'	25.00'	96°08'51"	37.20'	S 48°02'32" E
C83	1.27'	25.00'	2°55'04"	1.27'	N 82°25'31" E
C84	21.49'	25.00'	49°15'25"	20.84'	S 71°59'45" E
C85	62.27'	536.00'	6°39'22"	62.23'	S 86°42'13" W
C86	41.87'	25.00'	95°57'08"	37.14'	S 36°41'50" W
C87	43.39'	464.00'	5°21'30"	43.38'	S 87°21'09" W
C88	19.26'	25.00'	44°08'22"	18.79'	N 67°57'43" E
C89	7.17'	60.00'	6°50'49"	7.17'	S 49°18'57" W
C90	13.34'	25.00'	30°33'46"	13.18'	N 37°27'29" E
C91	23.00'	25.00'	52°42'27"	22.20'	N 26°19'20" W
C92	7.17'	60.00'	6°50'49"	7.17'	S 49°15'09" E
C93	19.26'	25.00'	44°08'22"	18.79'	N 67°53'55" W
C94	35.25'	25.00'	80°47'13"	32.40'	N 40°25'31" E
C95	4.25'	25.00'	9°45'06"	4.25'	N 75°56'34" E
C96	31.00'	25.00'	71°02'07"	29.05'	N 35°32'58" E
C97	92.70'	576.50'	9°12'47"	92.60'	N 85°25'31" E
C98	141.23'	600.00'	13°29'11"	140.90'	N 83°17'18" E
C99	132.62'	75.00'	101°18'38"	116.00'	S 39°22'35" W
C100	11.42'	576.50'	1°08'07"	11.42'	N 89°27'50" E
C101	40.07'	576.50'	3°58'56"	40.06'	N 86°54'19" E
C102	41.21'	576.50'	4°05'44"	41.20'	N 82°51'59" E
C103	24.04'	98.50'	13°58'53"	23.98'	S 83°02'27" W
C104	14.82'	25.00'	33°57'33"	14.60'	S 86°58'13" E
C105	119.23'	50.00'	136°37'32"	92.92'	S 41°41'47" W
C106	5.72'	98.50'	3°19'37"	5.72'	S 88°22'06" W
C107	18.32'	98.50'	10°39'16"	18.29'	S 81°22'39" W
C108	7.62'	50.00'	8°44'14"	7.62'	N 74°21'34" W
C109	30.47'	50.00'	34°54'55"	30.00'	S 83°48'52" W
C110	30.47'	50.00'	34°54'55"	30.00'	S 48°53'57" W
C111	30.47'	50.00'	34°54'55"	30.00'	S 13°59'03" W
C112	20.20'	50.00'	23°08'34"	20.06'	S 15°02'42" E
C113	14.82'	25.00'	33°57'33"	14.60'	N 09°38'12" W
C114	32.01'	98.50'	18°37'18"	31.87'	S 01°58'05" E
C115	3.55'	98.50'	2°03'48"	3.55'	S 06°18'40" W
C116	28.47'	98.50'	16°33'30"	28.37'	S 02°59'59" E
C117	59.22'	300.00'	11°18'38"	59.13'	S 84°22'35" W
C118	39.27'	25.00'	90°00'00"	35.36'	N 45°01'54" E
C119	23.18'	25.00'	53°07'48"	22.36'	N 63°28'00" E
C120	16.09'	25.00'	36°52'12"	15.81'	N 18°28'00" E

Curve Table					
Curve #	Length	Radius	Delta	Chord Length	Chord Direction
C121	38.37'	25.00'	87°56'51"	34.72'	S 43°56'32" E
C122	34.41'	25.00'	78°51'58"	31.76'	S 48°28'59" E
C123	3.96'	25.00'	9°04'54"	3.96'	S 04°30'33" E
C124	37.25'	476.50'	4°28'46"	37.24'	S 87°43'43" E
C125	14.81'	476.50'	1°46'50"	14.81'	S 89°04'41" E
C126	22.45'	476.50'	2°41'56"	22.44'	S 86°50'18" E
C127	37.32'	25.00'	85°31'14"	33.95'	S 42°43'43" E
C128	16.09'	25.00'	36°52'12"	15.81'	S 18°24'12" E
C129	21.23'	25.00'	48°39'03"	20.60'	S 61°09'49" E
C130	44.04'	25.00'	100°56'35"	38.57'	N 50°30'12" E
C131	23.18'	25.00'	53°07'48"	22.36'	N 26°35'48" E
C132	20.86'	25.00'	47°48'47"	20.26'	N 77°04'06" E
C133	104.26'	793.50'	7°31'42"	104.19'	N 82°47'22" W
C134	35.32'	793.50'	2°33'01"	35.32'	N 85°16'42" W
C135	40.34'	793.50'	2°54'47"	40.34'	N 82°32'48" W
C136	28.60'	793.50'	2°03'54"	28.60'	N 80°03'28" W
C137	37.78'	25.00'	86°35'07"	34.29'	S 43°15'39" E
C138	14.60'	25.00'	33°27'18"	14.39'	S 69°49'34" E
C139	23.18'	25.00'	53°07'48"	22.36'	S 26°32'00" E
C140	175.67'	770.00'	13°04'18"	175.29'	N 83°24'49" W
C141	134.89'	576.50'	13°24'22"	134.58'	S 83°15'55" E
C142	75.95'	523.50'	8°18'45"	75.88'	N 80°43'07" W
C143	22.36'	523.50'	2°26'49"	22.36'	N 83°39'05" W
C144	40.60'	523.50'	4°26'36"	40.59'	N 80°12'23" W
C145	13.00'	523.50'	1°25'20"	13.00'	N 77°16'24" W
C146	37.05'	25.00'	84°54'24"	33.75'	S 42°25'18" E
C147	20.96'	25.00'	48°02'12"	20.35'	S 60°51'24" E
C148	16.09'	25.00'	36°52'12"	15.81'	S 18°24'12" E
C149	26.35'	576.50'	2°37'07"	26.35'	S 88°39'32" E
C150	40.14'	576.50'	3°59'21"	40.13'	S 85°21'18" E
C151	40.47'	576.50'	4°01'18"	40.46'	S 81°20'59" E
C152	27.94'	576.50'	2°46'36"	27.93'	S 77°57'02" E
C153	114.24'	500.00'	13°05'26"	113.99'	S 83°25'23" E
C154	30.08'	500.00'	3°26'48"	30.07'	S 78°36'04" E
C155	84.16'	500.00'	9°38'38"	84.06'	S 85°08'47" E
C156	119.61'	523.50'	13°05'26"	119.35'	S 83°25'23" E
C157	120.07'	746.50'	9°12'58"	119.94'	N 81°29'09" W
C158	40.96'	25.00'	93°52'28"	36.53'	S 46°58'08" W
C159	18.89'	523.50'	2°04'04"	18.89'	S 88°56'04" E
C160	40.12'	523.50'	4°23'28"	40.11'	S 85°42'18" E
C161	40.47'	523.50'	4°25'47"	40.46'	S 81°17'40" E
C162	20.12'	523.50'	2°12'07"	20.12'	S 77°58'44" E
C163	20.80'	746.50'	1°35'47"	20.80'	N 77°40'34" W
C164	40.61'	746.50'	3°07'02"	40.61'	N 80°01'58" W
C165	40.29'	746.50'	3°05'33"	40.29'	N 83°08'16" W
C166	18.37'	746.50'	1°24'36"	18.37'	N 85°23'20" W
C167					

**Plat for
Aspire Subdivision Unit 1
Being Comprised of
Tracts A-1-A and B-1
Anderson Heights, Unit 4
City of Albuquerque
Bernalillo County, New Mexico
January 2021**

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PLAT R-525-00-B 2021C-P: 0029 Linda Stover, Bernalillo County

Curve Table					
Curve #	Length	Radius	Delta	Chord Length	Chord Direction
C181	42.13'	25.00'	96°32'59"	37.32'	N 35°27'40" E
C182	42.06'	476.50'	5°03'28"	42.05'	N 87°15'04" E
C183	8.20'	476.50'	0°59'10"	8.20'	N 84°13'45" E
C184	52.36'	476.50'	6°17'44"	52.33'	N 86°53'02" E
C185	6.01'	756.50'	0°27'18"	6.01'	S 80°20'00" W
C186	2.09'	476.50'	0°15'06"	2.09'	N 89°54'21" E
C187	25.02'	51.50'	27°50'11"	24.78'	S 76°03'00" E
C188	45.71'	51.50'	50°51'11"	44.22'	S 36°42'20" E
C189	32.79'	51.50'	36°29'00"	32.24'	S 71°47'24" W
C190	58.27'	51.50'	64°49'39"	55.21'	S 21°08'05" W
C191	72.41'	326.50'	12°42'22"	72.26'	S 17°18'00" E
C192	89.58'	473.50'	10°50'22"	89.44'	N 18°14'00" W
C193	115.16'	300.00'	21°59'38"	114.45'	S 12°39'22" E
C194	8.85'	300.00'	1°41'27"	8.85'	S 00°48'50" E
C195	23.00'	25.00'	52°42'27"	22.20'	N 26°23'08" E
C196	91.41'	623.50'	8°23'59"	91.32'	N 85°49'55" E
C197	22.46'	25.00'	51°28'55"	21.72'	N 36°41'17" W
C198	15.68'	25.00'	35°56'20"	15.43'	N 80°23'55" W
C199	21.62'	623.50'	1°59'14"	21.62'	N 82°37'32" E
C200	40.15'	623.50'	3°41'22"	40.14'	N 85°27'50" E
C201	29.63'	623.50'	2°43'23"	29.63'	N 88°40'12" E
C202	329.33'	3155.42'	5°58'48"	329.18'	N 86°48'23" E
C203	36.92'	25.00'	84°36'45"	33.65'	S 55°07'11" E
C204	41.78'	756.50'	3°09'50"	41.77'	S 82°08'34" W
C205	40.07'	726.50'	3°09'38"	40.07'	N 86°39'05" E
C206	99.60'	526.50'	10°50'22"	99.46'	N 18°14'00" W
C207	61.25'	273.50'	12°49'51"	61.12'	S 17°14'15" E
C208	39.67'	25.00'	90°55'40"	35.64'	S 34°38'31" W
C209	40.14'	756.50'	3°02'26"	40.14'	S 85°14'42" W
C210	40.02'	756.50'	3°01'53"	40.02'	S 88°16'51" W
C211	40.01'	726.50'	3°09'18"	40.00'	N 89°48'33" E
C212	40.06'	726.50'	3°09'33"	40.05'	S 87°02'01" E
C213	40.01'	756.50'	3°01'50"	40.01'	N 88°41'17" W
C214	40.12'	756.50'	3°02'19"	40.11'	N 85°39'13" W
C215	40.34'	756.50'	3°03'18"	40.33'	N 82°36'24" W
C216	23.18'	25.00'	53°07'48"	22.36'	S 39°22'43" E
C217	13.74'	25.00'	31°28'56"	13.56'	S 81°41'06" E
C218	185.50'	523.50'	20°18'11"	184.54'	N 87°16'28" W
C219	223.79'	476.50'	26°54'32"	221.74'	N 89°25'21" E
C220	82.33'	523.50'	9°00'41"	82.25'	S 80°28'25" W
C221	37.07'	25.00'	84°56'52"	33.76'	N 42°30'20" E
C222	16.09'	25.00'	36°52'12"	15.81'	N 18°28'00" E
C223	20.98'	25.00'	48°04'40"	20.37'	N 60°56'26" E
C224	22.34'	523.50'	2°26'41"	22.34'	S 83°45'25" W
C225	40.59'	523.50'	4°26'34"	40.58'	S 80°18'48" W
C226	19.40'	523.50'	2°07'26"	19.40'	S 77°01'48" W
C227	21.63'	476.50'	2°36'03"	21.63'	N 77°16'07" E
C228	40.51'	476.50'	4°52'17"	40.50'	N 81°00'17" E
C229	40.12'	476.50'	4°49'26"	40.11'	N 85°51'09" E
C230	40.01'	476.50'	4°48'41"	40.00'	S 89°19'47" E
C231	40.19'	476.50'	4°49'59"	40.18'	S 84°30'27" E
C232	40.67'	476.50'	4°53'25"	40.66'	S 79°38'45" E
C233	0.65'	476.50'	0°04'40"	0.65'	S 77°09'43" E
C234	40.07'	523.50'	4°23'08"	40.06'	N 79°18'57" W
C235	40.25'	523.50'	4°24'19"	40.24'	N 83°42'41" W
C236	40.03'	523.50'	4°22'53"	40.02'	N 88°06'16" W
C237	40.05'	523.50'	4°23'00"	40.04'	S 87°30'48" W
C238	25.11'	523.50'	2°44'52"	25.10'	S 83°56'52" W
C239	40.94'	25.00'	93°50'03"	36.52'	N 46°53'08" W
C240	24.86'	25.00'	56°57'52"	23.84'	N 65°19'13" W

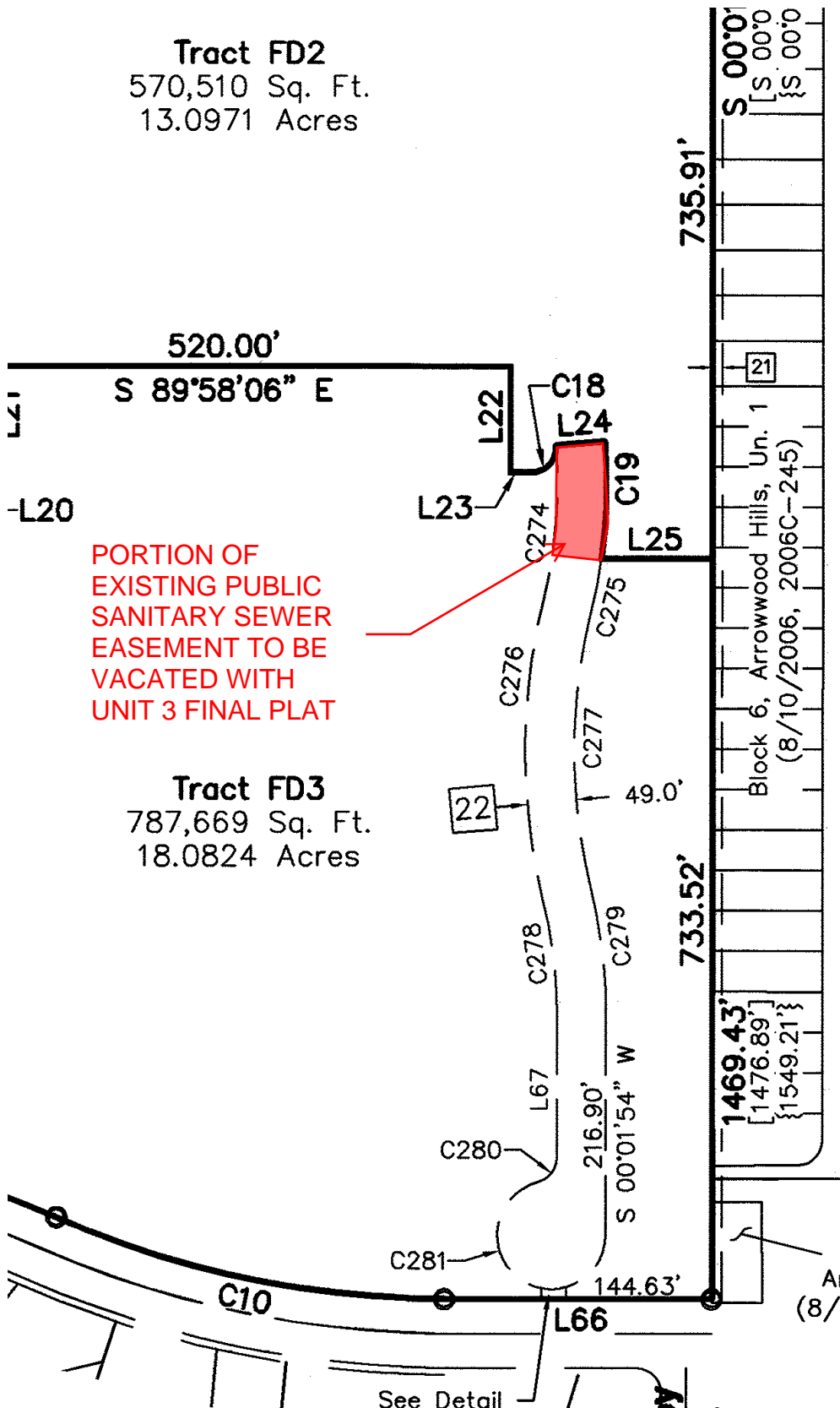
Curve Table					
Curve #	Length	Radius	Delta	Chord Length	Chord Direction
C241	16.09'	25.00'	36°52'12"	15.81'	N 18°24'12" W
C242	56.40'	746.50'	4°19'43"	56.39'	S 84°01'59" W
C243	18.39'	746.50'	1°24'40"	18.39'	S 85°29'31" W
C244	38.01'	746.50'	2°55'03"	38.01'	S 83°19'39" W
C245	236.81'	773.50'	17°32'29"	235.89'	S 89°21'38" E
C246	254.88'	756.50'	19°18'16"	253.68'	S 89°45'28" W
C247	2.27'	773.50'	0°10'07"	2.27'	N 81°57'11" E
C248	40.26'	773.50'	2°58'57"	40.26'	N 83°31'42" E
C249	40.08'	773.50'	2°58'08"	40.08'	N 86°30'15" E
C250	40.01'	773.50'	2°57'48"	40.00'	N 89°28'13" E
C251	40.04'	773.50'	2°57'57"	40.04'	S 87°33'54" E
C252	40.18'	773.50'	2°58'35"	40.18'	S 84°35'38" E
C253	33.96'	773.50'	2°30'57"	33.96'	S 81°50'52" E
C254	6.46'	756.50'	0°29'22"	6.46'	N 80°50'05" W
C255	22.88'	25.00'	52°25'44"	22.09'	N 26°14'46" E
C256	14.92'	25.00'	34°11'31"	14.70'	N 69°33'23" E
C257	26.31'	793.50'	1°53'58"	26.31'	S 85°42'10" W
C258	39.94'	793.50'	2°53'03"	39.94'	S 83°18'39" W
C259	0.34'	726.50'	0°01'36"	0.34'	N 81°52'55" E
C260	40.27'	726.50'	3°10'33"	40.26'	N 83°29'00" E
C261	258.65'	803.50'	18°26'37"	257.53'	N 89°48'42" W
C262	222.42'	726.50'	17°32'29"	221.55'	S 89°21'38" E
C263	37.80'	25.00'	86°37'15"	34.30'	N 43°20'31" E
C264	66.25'	793.50'	4°47'01"	66.23'	S 84°15'38" W
C265	39.09'	803.50'	2°47'15"	39.09'	S 82°21'37" W
C266	40.15'	803.50'	2°51'46"	40.14'	S 85°11'07" W
C267	40.03'	803.50'	2°51'16"	40.02'	S 88°02'38" W
C268	40.01'	803.50'	2°51'11"	40.00'	N 89°06'09" W
C269	40.09'	803.50'	2°51'31"	40.08'	N 86°14'48" W
C270	40.27'	803.50'	2°52'18"	40.27'	N 83°22'53" W
C271	19.01'	803.50'	1°21'21"	19.01'	N 81°16'04" W
C272	21.44'	726.50'	1°41'28"	21.44'	S 81°26'08" E
C273	40.23'	726.50'	3°10'23"	40.23'	S 83°52'04" E
C274	154.29'	475.50'	18°35'27"	153.61'	N 04°34'25" E
C275	52.88'	524.50'	5°46'35"	52.85'	N 10°58'51" E
C276	301.64'	624.50'	27°40'29"	298.72'	S 00°01'54" W
C277	277.98'	575.50'	27°40'29"	275.28'	S 00°01'54" W
C278	114.84'	475.50'	13°50'15"	114.56'	N 06°53'13" W
C279	126.67'	524.50'	13°50'15"	126.36'	N 06°53'13" W
C280	32.87'	25.00'	75°20'07"	30.55'	N 37°41'57" E
C281	240.65'	54.00'	255°20'07"	85.49'	S 52°18'03" E

Parcel Table		
Parcel Name	Area (Acres)	Area (Sq. Ft.)
Lot 1	0.0997	4,343
Lot 2	0.1037	4,518
Lot 3	0.1015	4,423
Lot 4	0.1012	4,407
Lot 5	0.1026	4,471
Lot 6	0.1060	4,615
Lot 7	0.1110	4,837
Lot 8	0.1159	5,050
Lot 9	0.1188	5,176
Lot 10	0.1197	5,214
Lot 11	0.1185	5,164
Lot 12	0.1154	5,025
Lot 13	0.1107	4,824
Lot 14	0.1069	4,657
Lot 15	0.1308	5,696
Lot 16	0.1118	4,871
Lot 17	0.1404	6,117
Lot 18	0.0998	4,348
Lot 19	0.1010	4,399
Lot 20	0.1010	4,400
Lot 21	0.1010	4,400
Lot 22	0.1010	4,400
Lot 23	0.1010	4,400
Lot 24	0.1010	4,400
Lot 25	0.1010	4,400
Lot 26	0.1010	4,399
Lot 27	0.1010	4,400
Lot 28	0.1010	4,400
Lot 29	0.1010	4,400
Lot 30	0.1010	4,400
Lot 31	0.1010	4,400
Lot 32	0.1010	4,400
Lot 33	0.1010	4,400
Lot 34	0.1004	4,374
Lot 35	0.1010	4,400
Lot 36	0.1010	4,400
Lot 37	0.1010	4,400
Lot 38	0.1010	4,400
Lot 39	0.1010	4,400
Lot 40	0.1010	4,400
Lot 41	0.1011	4,402
Lot 42	0.1006	4,380
Lot 43	0.1009	4,397
Lot 44	0.1034	4,502
Lot 45	0.1055	4,594
Lot 46	0.1037	4,518
Lot 47	0.1009	4,397
Lot 48	0.1011	4,402
Lot 49	0.1021	4,447
Lot 50	0.1030	4,485

Parcel Table		
Parcel Name	Area (Acres)	Area (Sq. Ft.)
Lot 51	0.1025	4,464
Lot 52	0.1012	4,406
Lot 53	0.1017	4,432
Lot 54	0.1042	4,541
Lot 55	0.1057	4,604
Lot 56	0.1051	4,577
Lot 57	0.1059	4,611
Lot 58	0.1077	4,689
Lot 59	0.1075	4,683
Lot 60	0.1054	4,591
Lot 61	0.1016	4,428
Lot 62	0.1039	4,527
Lot 63	0.1029	4,483
Lot 64	0.1012	4,407
Lot 65	0.1010	4,400
Lot 66	0.1066	4,643
Lot 67	0.1126	4,903
Lot 68	0.1010	4,400
Lot 69	0.1010	4,400
Lot 70	0.1019	4,438
Lot 71	0.1079	4,699
Lot 72	0.1162	5,062
Lot 73	0.1067	4,646
Lot 74	0.1064	4,637
Lot 75	0.1091	4,750
Lot 76	0.1115	4,859
Lot 77	0.1129	4,919
Lot 78	0.1150	5,011
Lot 79	0.1170	5,096
Lot 80	0.1158	5,046
Lot 81	0.1116	4,861
Lot 82	0.1070	4,660
Lot 83	0.1048	4,567
Lot 84	0.1017	4,429
Lot 85	0.1018	4,434
Lot 86	0.1032	4,496
Lot 87	0.1036	4,511
Lot 88	0.1052	4,580
Lot 89	0.1049	4,568
Lot 90	0.1028	4,477
Lot 91	0.1010	4,400
Lot 92	0.1010	4,400
Lot 93	0.1010	4,400
Lot 94	0.1010	4,400
Lot 95	0.1010	4,400
Lot 96	0.1010	4,400
Lot 97	0.1010	4,400
Lot 98	0.1004	4,374
Lot 99	0.1010	4,400
Lot 100	0.1010	4,400

Parcel Table		
Parcel Name	Area (Acres)	Area (Sq. Ft.)
Lot 101	0.1010	4,400
Lot 102	0.1010	4,400
Lot 103	0.1010	4,400
Lot 104	0.1010	4,400
Lot 105	0.1010	4,400
Lot 106	0.1010	4,400
Lot 107	0.1010	4,400
Lot 108	0.1019	4,438
Lot 109	0.1050	4,572
Lot 110	0.1105	4,812
Lot 111	0.1181	5,145
Lot 112	0.1246	5,427
Lot 113	0.1279	5,571
Lot 114	0.1281	5,581
Lot 115	0.1252	5,455
Lot 116	0.1192	5,192
Lot 117	0.1111	4,838
Lot 118	0.1049	4,571
Lot 119	0.1017	4,431
Lot 120	0.1013	4,413
Lot 121	0.1037	4,518
Lot 122	0.1090	4,747
Lot 123		

Tract FD2
570,510 Sq. Ft.
13.0971 Acres



PORTION OF
EXISTING PUBLIC
SANITARY SEWER
EASEMENT TO BE
VACATED WITH
UNIT 3 FINAL PLAT

Tract FD3
787,669 Sq. Ft.
18.0824 Acres

Easement Notes

[22] PUBLIC SANITARY SEWER EASEMENT GRANTED WITH THE FILING OF THIS PLAT

**PUBLIC EASEMENT
VACATION EXHIBIT**

**DEVELOPMENT FACILITATIVE TEAM (DFT)
Code Enforcement Comments**

Disclaimer: Comments provided are based upon information received from applicant/agent. If new or revised information is submitted, additional comments may be provided by Planning staff.

*Jeff Palmer-Code Enforcement Supervisor
Planning Department
jppalmer@cabq.gov*

DATE: 03/20/2024

AGENDA ITEM NO: 15

PROJECT NUMBER:

PR-2019-002411

PS-2024-00050 – SKETCH PLAT

REQUEST: Aspire Unit 3, sketch plat review for the vacation portion of an existing public sewer easement. Aspire Unit 4 sketch plat review for the vacation of the remaining portion of the existing public sewer easement and the vacation of future public sewer and water easement and private drainage easements granted with the unit 3 sketch plat.

LOTS/SUBDIVISION: Tract FD3, Aspire Unit 1

ADDRESS/LOCATION: Colobel Ave SW between 118th St and Morrissey St SW

ZONED: R-1A **IDO:** 2022

COMMENTS:

1. Code Enforcement has no comments and no objections.

DEVELOPMENT HEARING OFFICER - HYDROLOGY SECTION
 Renée Brissette, PE, Senior Engineer | 505-924-3995, rbrissette@cabq.gov

DRB Project Number: 2019-002411 Hearing Date: 3/20/2024

Project: Aspire Subdivision (Units 3 & 4) Agenda Item No: 15

<input checked="" type="checkbox"/> Sketch Plat	<input type="checkbox"/> Minor Preliminary / Final Plat	<input type="checkbox"/> Preliminary Plat	<input type="checkbox"/> Final Plat
<input type="checkbox"/> Temp Sidewalk Deferral	<input type="checkbox"/> Sidewalk Waiver/Variance	<input type="checkbox"/> Site Plan for Bldg. Permit <input type="checkbox"/> Site Plan for Subdivision	<input type="checkbox"/> Bulk Land Plat
<input type="checkbox"/> SIA Extension	<input type="checkbox"/> DPM Variance	<input type="checkbox"/> Vacation of Public Easement	<input type="checkbox"/> Vacation of Public Right of Way

ENGINEERING COMMENTS:

- Hydrology has an approved Revised Grading and Drainage Plan & Amendment to the Master Drainage Report (N08D006F) with engineer's stamp date of 2/9/2024.
- Hydrology has no objection to the platting action.

RESOLUTION/COMMENTS:

Code Enforcement:

Water:

Transportation:

Planning:

APPROVED
 DENIED

DELEGATED TO: TRANS HYD WUA PRKS PLNG
 Delegated For: _____
 SIGNED: I.L. SPSP SPBP FINAL PLAT
 DEFERRED TO _____

DEVELOPMENT FACILITATION TEAM

TRANSPORTATION DEVELOPMENT

DRB Project Number: 2019-002411
Colobel Ave - Aspire Subdivision Unit 1

AGENDA ITEM NO: 15

SUBJECT: Sketch Plat

ENGINEERING COMMENTS:

1. Transportation has no objection and defers to Hydrology and Water Authority on vacations.

Disclaimer: The comments provided are based upon the information received from the applicant. If new or revised information is submitted, additional comments may be provided by Transportation Development.

FROM: Ernest Armijo, P.E.
Transportation Development
505-924-3991 or earmijo@cabq.gov

DATE: March 20, 2024

ACTION:

APPROVED __; DENIED __; DEFERRED __; COMMENTS PROVIDED __; WITHDRAWN __

DELEGATED: _____ TO: (TRANS) (HYD) (WUA) (PRKS) (CE) (PLNG)



DEVELOPMENT FACILITATION TEAM

Planning - Case Comments

HEARING DATE: 3/20/24 -- **AGENDA ITEM:** #15

Project Number: PR-2024-002411

Application Number: PS-2024-00050

Project Name: *Aspire Unit 3: Vacation of a portion of an existing public sewer easement*

Aspire Unit 4: Vacation of the remaining portion of an existing public sewer easement and vacation of future public sewer and water easements and private easements granted with Unit 3 Plat

Request:

Sketch Plat – Aspire Units 3 & 4 off of Colobel Ave. SW

**These are preliminary Planning comments. Additional reviews and/or revised comments may be needed for any modifications and/or supplemental submittals.*

1. BACKGROUND

- This is a request to vacate a portion of the existing sanitary sewer easement that is within Unit 3 of the Aspire subdivision, as well as grant public sewer and water easements and a private drainage easement to serve Unit 3. For Unit 4 of the Aspire subdivision, this is a request to vacate the remaining portion of an existing public sewer easement and vacation of future public sewer and water easements and private easements granted with Unit 3.
- The subject site is zoned R-1A. Units 1 and 2 of the Aspire subdivision have had Final Plats approved and recorded, while Units 3 and 4 had Preliminary Plat Extensions approved by the Development Hearing Officer (DHO) on October 25, 2023 per PR-2019-002411 / SD-2023-00186.

2. IDO/DPM COMMENTS

- Planning staff defer to Hydrology regarding the proposed easement vacations.
- For the actions as proposed by this Sketch Plat, Vacation of Easement applications as well as a Minor Amendment to Preliminary Plat application must be applied for and approved by the DHO. Once/if the DHO approves the actions, a Final Plat(s) would be required to be submitted within 1-year of the Vacation Easement and Minor Amendment to Preliminary Plat approvals or another Preliminary Plat Extension must be requested.
- The application forms for a Vacation of Easement are featured in the following links:
https://documents.cabq.gov/planning/development-hearing-officer/DHO_Application.pdf
<https://documents.cabq.gov/planning/development-hearing-officer/Form%20V.pdf>
- The application forms for a Minor Amendment to Preliminary Plat are featured in the following links:
https://documents.cabq.gov/planning/development-hearing-officer/DHO_Application.pdf
<https://documents.cabq.gov/planning/development-hearing-officer/Form%20S2.pdf>
- The proposed vacation and platting actions would be reviewed to the standards and provisions within the IDO-Integrated Development Ordinance and the standards within the DPM- Development Process Manual. Here is a link to both:
<https://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance-1>
<https://www.cabq.gov/planning/boards-commissions/development-process-manual-executive-committee>
- The Vacation of Easement applications must be justified per 6-6(M)(3) of the IDO, while the Minor Amendment to Preliminary Plat application must be justified per 6-4(Y)(2) of the IDO.

- **Required Signatures on the Plat for Minor Amendment to Preliminary Plat applications to the DHO:**

All signatures from the surveyor, property owner(s), and the City Surveyor are required on the Plat prior to the acceptance of the application file for the Plat and placement on a DHO agenda.

- The following will need to be on the final platting sheets:
Project and Application #'s, documents signed/stamped by a design professional licensed in the State of NM.
- Prior to final sign-off of the plat, the AGIS office must approve the DXF file and proof of approval must be provided.



Disclaimer: The comments provided are based upon the information received from the applicant/agent. If new or revised information is submitted, additional comments may be provided by Planning.

FROM: Jay Rodenbeck
Planning Department

DATE: 3/20/24
