



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	Decisions Requiring a Public Meeting or Hearing	Policy Decisions
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input type="checkbox"/> Alternative Landscape Plan (Form P3)	<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Annexation of Land (Form Z)
<input checked="" type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
		Appeals
		<input type="checkbox"/> Decision by EPC, LC, ZHE, or City Staff (Form A)

APPLICATION INFORMATION

Applicant: Gina Kelly w/ SGA Design Group		Phone: (918)587-8602, ext. 299
Address: 1437 S Boulder Ave - Ste. 550		Email: ginak@sgadesigngroup.com
City: Tulsa	State: OK	Zip: 74119
Professional/Agent (if any):		Phone:
Address:		Email:
City:	State:	Zip:
Proprietary Interest in Site:		List <u>all</u> owners: Walmart

BRIEF DESCRIPTION OF REQUEST

Exterior Only: Doors Repair/Replace; Update Signage & Relocate 1 sign; Remove large portion of Garden Center and update smaller Garden Center area; relocate bollards, relocate Pickup Parking stalls & signage, update crosswalk striping, stop bars and stop signs

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.:	Block:	Unit:
Subdivision/Addition:	MRGCD Map No.:	UPC Code:
Zone Atlas Page(s): K17	Existing Zoning: MX-M	Proposed Zoning: Existing to Remain
# of Existing Lots:	# of Proposed Lots:	Total Area of Site (acres):

LOCATION OF PROPERTY BY STREETS

Site Address/Street: 301 San Mateo Blvd SE Between: SW of Silver Ave SE and: San Mateo Blvd SE

CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

1001525; SI-2020-00041 AA; SI-2019-00133AA

Signature:	Date: 03/30/21
Printed Name: Gina Kelly	<input checked="" type="checkbox"/> Applicant or <input type="checkbox"/> Agent

FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees	Case Numbers	Action	Fees
SI-2021-00451	AA				

Meeting/Hearing Date:	Fee Total:
Staff Signature:	Date: Project # PR-2019-002434

FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS

A single PDF file of the complete application including all plans and documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD.

ARCHEOLOGICAL CERTIFICATE

- Archaeological Compliance Documentation Form with property information section completed
- Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)
- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled

MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(2)
- Three (3) copies of all applicable sheets of the approved Site Plan being amended, folded
- Not available Copy of the Official Notice of Decision associated with the prior approval
- Three (3) copies of the proposed Site Plan, with changes circled and noted
Refer to the Site Plan Checklist for information needed on the proposed Site Plan.
- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Z)(1)(a)
- Three (3) copies of all applicable sheets of the approved Site Development Plan being amended, folded
- Copy of the Official Notice of Decision associated with the prior approval
- Three (3) copies of the proposed Site Development Plan, with changes circled and noted
Refer to the Site Plan Checklist for information needed on the proposed Site Plan.
- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

ACCELERATED EXPIRATION SITE PLAN

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)(c)
- Site Plan to be Expired
- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled


ALTERNATIVE SIGNAGE PLAN


- Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)
- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(F)(4)(c)
- Required notices with content per IDO Section 14-16-6-4(K)
- Office of Neighborhood Coordination notice inquiry response and proof of emailed notice to affected Neighborhood Association representatives
- Sign Posting Agreement
- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled

ALTERNATIVE LANDSCAPE PLAN

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-5-6(C)(16)
- Landscape Plan
- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled

I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.

Signature: 	Date: 03/30/21
Printed Name: Gina Kelly	<input checked="" type="checkbox"/> Applicant or <input type="checkbox"/> Agent

FOR OFFICIAL USE ONLY	
Project Number: PR-2019-002434	Case Numbers SI-2021-00451
	-
	-
Staff Signature:	
Date:	



SGA Design Group

March 30, 2021

Maggie Gould, Planning Manager
City of Albuquerque Planning Department
Land Development Coordination
600 Second Street NW
Albuquerque, NM 87109

Re. Walmart #824.217 located at: 301 San Mateo Blvd SE

The scope of work for this Administrative Amendment review is the for updating of the current Walmart building/site signage to the new updated font and new branding signage.

With the interior updates being proposed, there are updates on the exterior also. These updates are necessary to relocate the Online Grocery Pickup Service to the large area of the Garden Center. The OGP will be housed there and the a reduction of the Garden Center to the existing front area will better serve those customers and their needs. Also, with the signage updates, they will provide the updated signage along with general maintenance of these signs.

The impact to the site will be minimal and I am also submitting the Construction Documents with the Building Department today.

If you have any questions, please do not hesitate to contact me.

Thank you,

Gina Kelly
SGA Design Group
1437 S Boulder Ave-Ste. 550
Tulsa, OK 74119
ginak@sgadesigngroup.com

Zone Atlas



City Zone Atlas Pages

200ft

City of Albuquerque, Bernalillo County, NM, Bureau of Land Management, Esri, HERE, Garmin, INCREMENT P, NGA, USGS

COLOR LEGEND

- P49E DARK GRAY
 - P76U WALMART BLUE (URETHANE-LIKE)
 - P134E LIGHT GRAY
 - P135E MEDIUM GRAY
 - P162E BLACK GRAY
 - P200 DURANODIC BRONZE SW#7248
- ETR: EXISTING TO REMAIN

SHEET NOTES

1. POWER WASH EXTERIOR WALLS WHERE PAINTING IS REQUIRED PRIOR TO PAINTING.
 2. PATCH AND REPAIR EXTERIOR WALL SURFACES, DAMAGED OR EXPOSED DUE TO REMOVAL OF BUILDING MOUNTED ITEMS. TO MATCH ADJACENT AS REQUIRED.
 3. NOT USED.
 4. REFER TO DETAILS ON SHEET A2.1 FOR SUBSTRATE AND FINISH REQUIREMENTS AT LOCATIONS OF BUILDING MOUNTED SIGNS.
 5. RESURFACE EXISTING EIFS WHERE SHOWN (HATCHED AREA).
 6. NOT USED.
 7. PAINT EXTERIOR OF BUILDING AS SHOWN. PRIOR TO PAINTING WALL AT LOCATION(S) OF LIT IDILOGO SIGN(S), COORDINATE SCOPE OF WORK WITH WALMART CM.
 8. NOT USED.
 9. NOT USED.
 10. NOT USED.
 11. NOT USED.
 12. NOT USED.
 13. NOT USED.
 14. NOT USED.
 15. NOT USED.
 16. DO NOT PAINT LED WALL PACK HOUSINGS (#P81).
 17. PAINT GARDEN CENTER STEEL DOORS AND FRAMES.
 18. NOT USED.
 19. NOT USED.
 20. NOT USED.
- THIS STORE HAS PREVIOUSLY BEEN PAINTED TO BRAND. THIS BUILDING IS TO RECEIVE LIMITED PAINTING AS INDICATED ON ELEVATIONS.

SGA Design Group, P.C.
 1437 South Boulder, Suite 550
 Tulsa, Oklahoma 74119
 T. 918.587.8600
 F. 918.587.8601
 www.sgadesigngroup.com

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CONSULTANTS

Walmart
 ALBUQUERQUE (ZUNI) NM
 301 SAN MATEO BLVD SE
 STORE NO: 0831-217
 JOB NUMBER: 20094121 | PHOTO: 192

ISSUE BLOCK

NO.	DESCRIPTION	DATE

CHECKED BY: TRH RO/AVT
 DRAWN BY: KM
 PROTO CYCLE: 01/29/21
 DOCUMENT DATE: 03/29/21

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STATE OF NEW MEXICO
 TRAVIS R. HAGER
 No. 6148
 REGISTERED ARCHITECT
 03/29/2021

EXTERIOR ELEVATIONS

SHEET: **A2B**

SHERWIN-WILLIAMS CUSTOM BRONZE/ ORDER NUMBER 7248-0044642
 -BRONZE MATCH
 -CUSTOM MANUAL MATCH
 BAC COLORANT: OZ 32 64 128

W1 WHITE	-	43	-	1
B1 BLACK	-	6	4	1
R2 MAROON	-	19	-	1
Y3 DEEP GOLD	-	48	1	1
G2 NEW GREEN	-	18	-	-

ONE GALLON #654700104
 UI TRADECP #796999993

SHERWIN-WILLIAMS CUSTOM BRONZE/ ORDER NUMBER 7248-0044642
 -BRONZE MATCH
 -CUSTOM MANUAL MATCH
 BAC COLORANT: OZ 32 64 128

W1 WHITE	-	43	-	1
B1 BLACK	-	6	4	1
R2 MAROON	-	19	-	1
Y3 DEEP GOLD	-	48	1	1
G2 NEW GREEN	-	18	-	-

ONE GALLON #654700104
 UI TRADECP #796999993

SIGN CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL PERMITS ARE SUBMITTED AND PULLED ONCE APPROVED

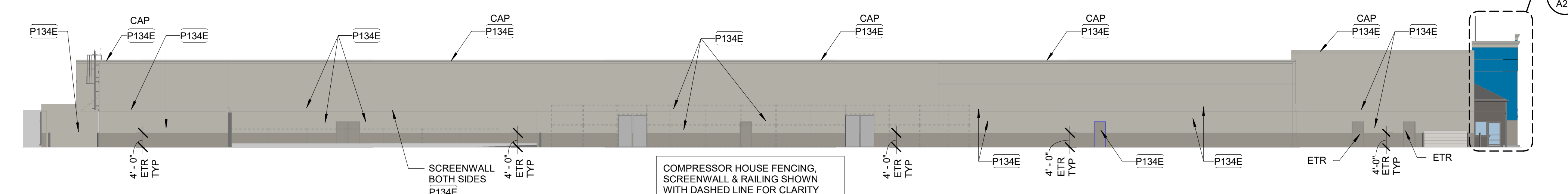
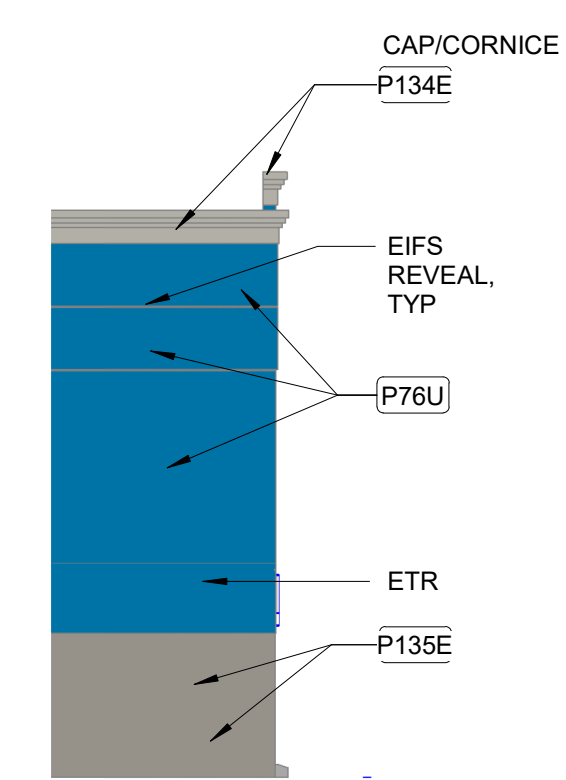
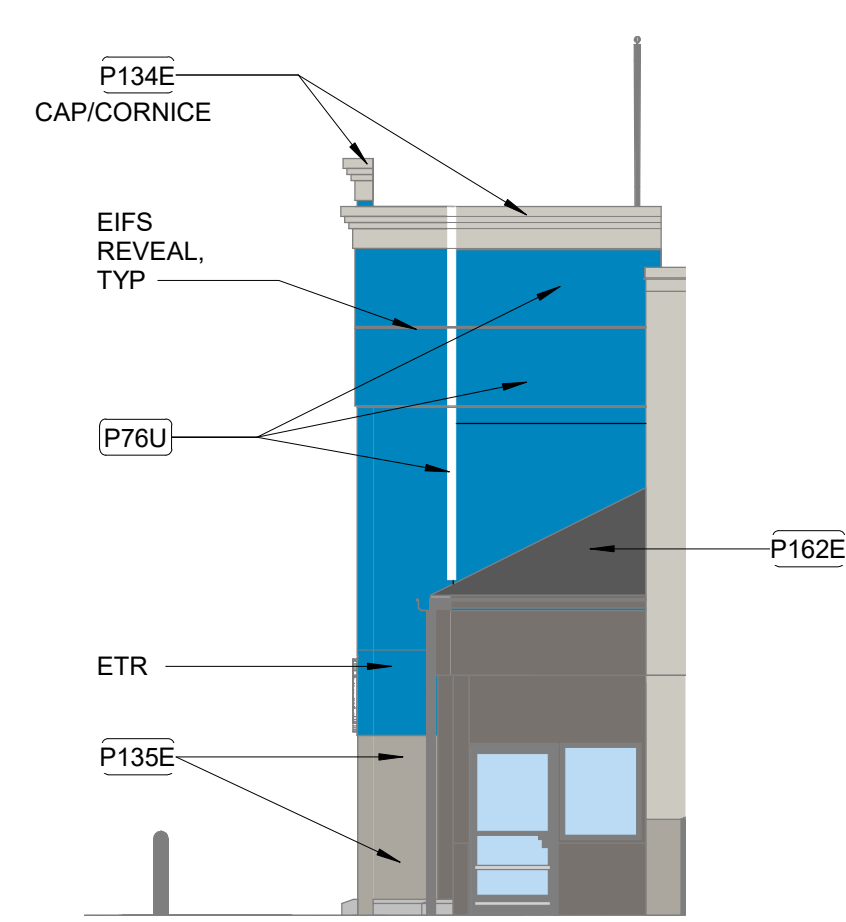
REPLACE FACE ON EXISTING SIGN BY SIGN CONTRACTOR

SIGN CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL PERMITS ARE SUBMITTED AND PULLED ONCE APPROVED

REPLACE FACE ON EXISTING SIGN BY SIGN CONTRACTOR

8 PYLON SIGN
 3/16" = 1'-0"

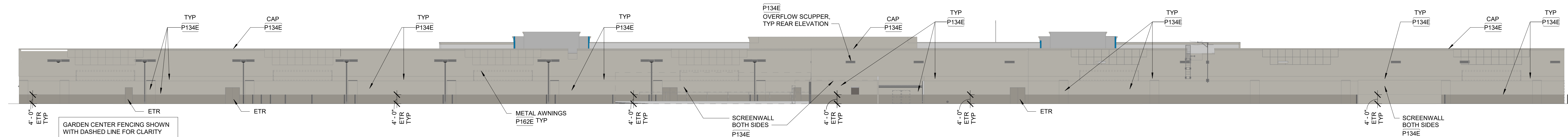
7 MULTI-TENANT SIGN
 3/16" = 1'-0"



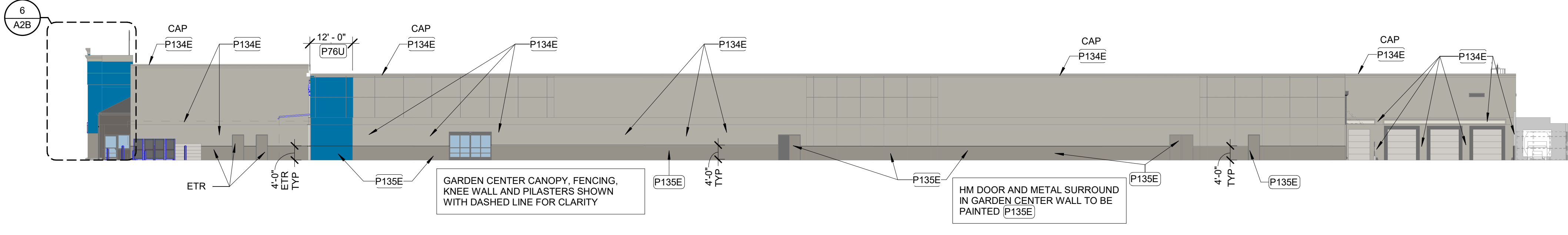
6 VESTIBULE SIDE ELEVATION
 1/8" = 1'-0"

5 VESTIBULE SIDE ELEVATION
 1" = 10'-0"

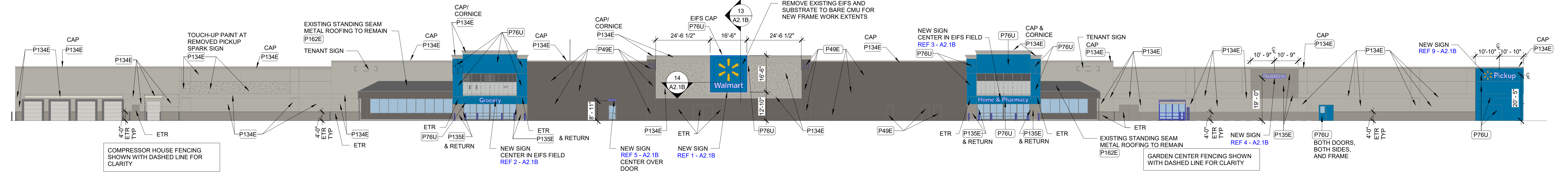
4 LEFT ELEVATION
 1" = 20'-0"



3 REAR ELEVATION
 1" = 20'-0"

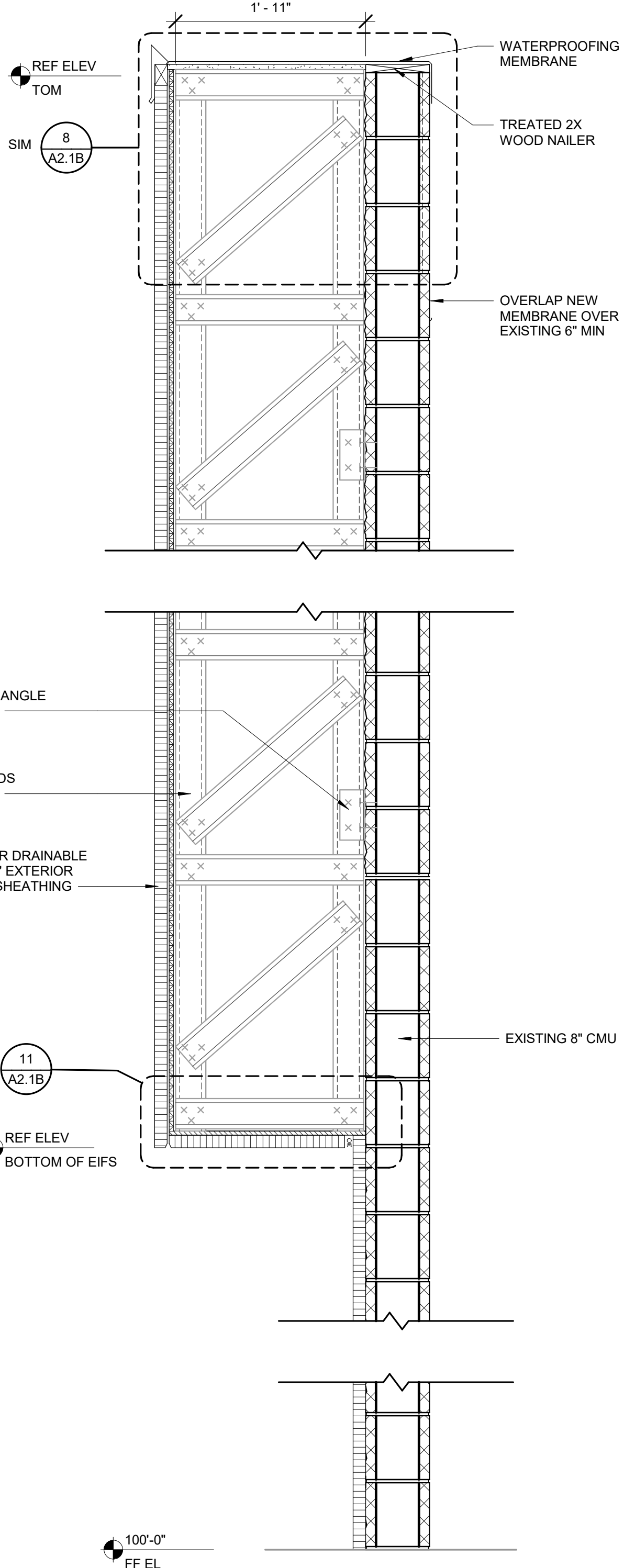


2 RIGHT ELEVATION
 1" = 20'-0"



1 FRONT ELEVATION
 1" = 20'-0"

3/29/2021 13:25:33 PM
 C:\projects\0831-217\0831-217.dwg - Project: Phase 8 - Exterior Elevation (RVT) - User: traher



15 PICKUP SIGN MOUNTING DIAGRAM
1/4" = 1'-0"

SIM CONDITION: SMOOTH CMU

MOUNTING HOLE PATTERNS FOR NON-ILLUMINATED SIGN INSTALLATION PROVIDED BY WALMART

PLASTIC MOUNT FOR ALL-THREAD STUD TYP BY WALMART

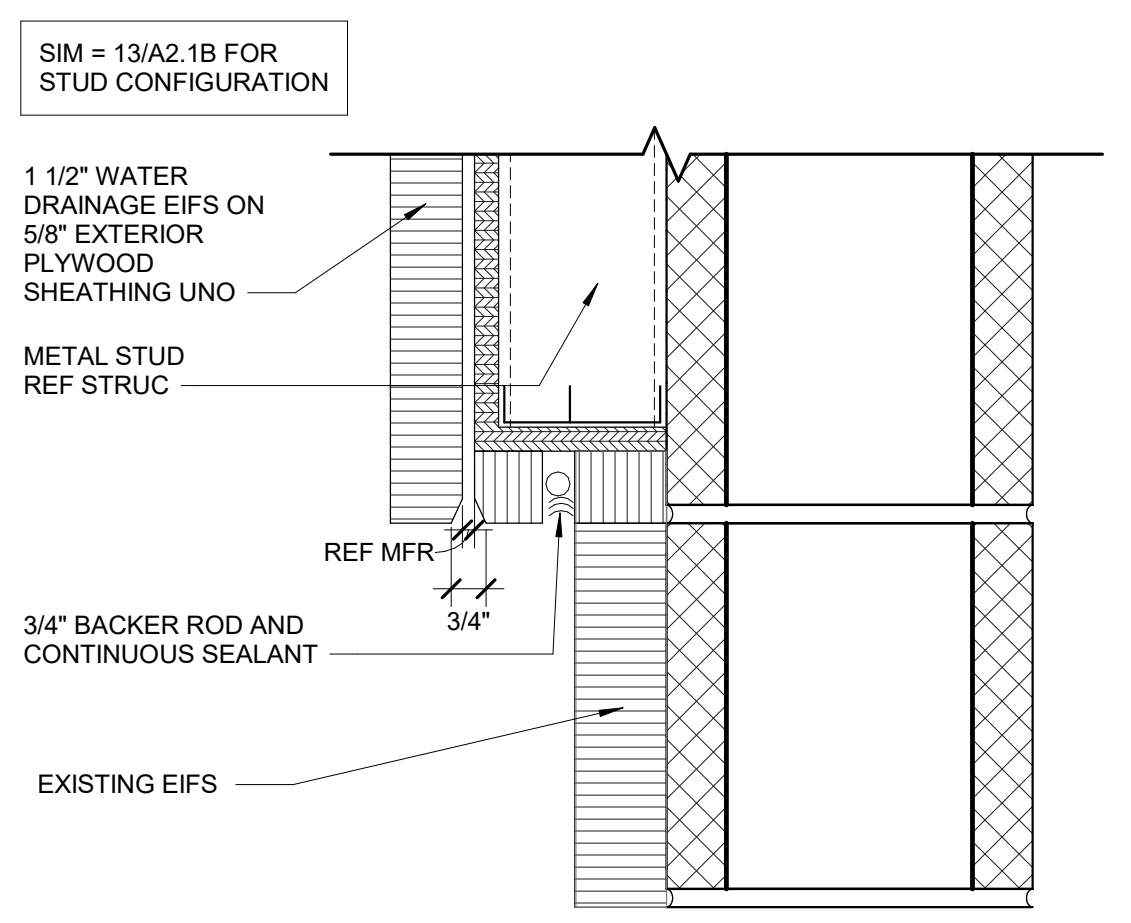
INSTALL 1/8" DIA ALL-THREAD STUDS INTO PLASTIC MOUNTS PRIOR TO SIGN INSTALLATION TYP BY SIGN CONTRACTOR

3/8" DIA HOLE FILLED WITH ADHESIVE SEALANT. COAT ALL-THREAD STUD WITH ADHESIVE SEALANT PRIOR TO WALL ATTACHMENT TYP BY SIGN CONTRACTOR

PLASTIC NON-ILLUMINATED CHANNEL LETTER BY WALMART

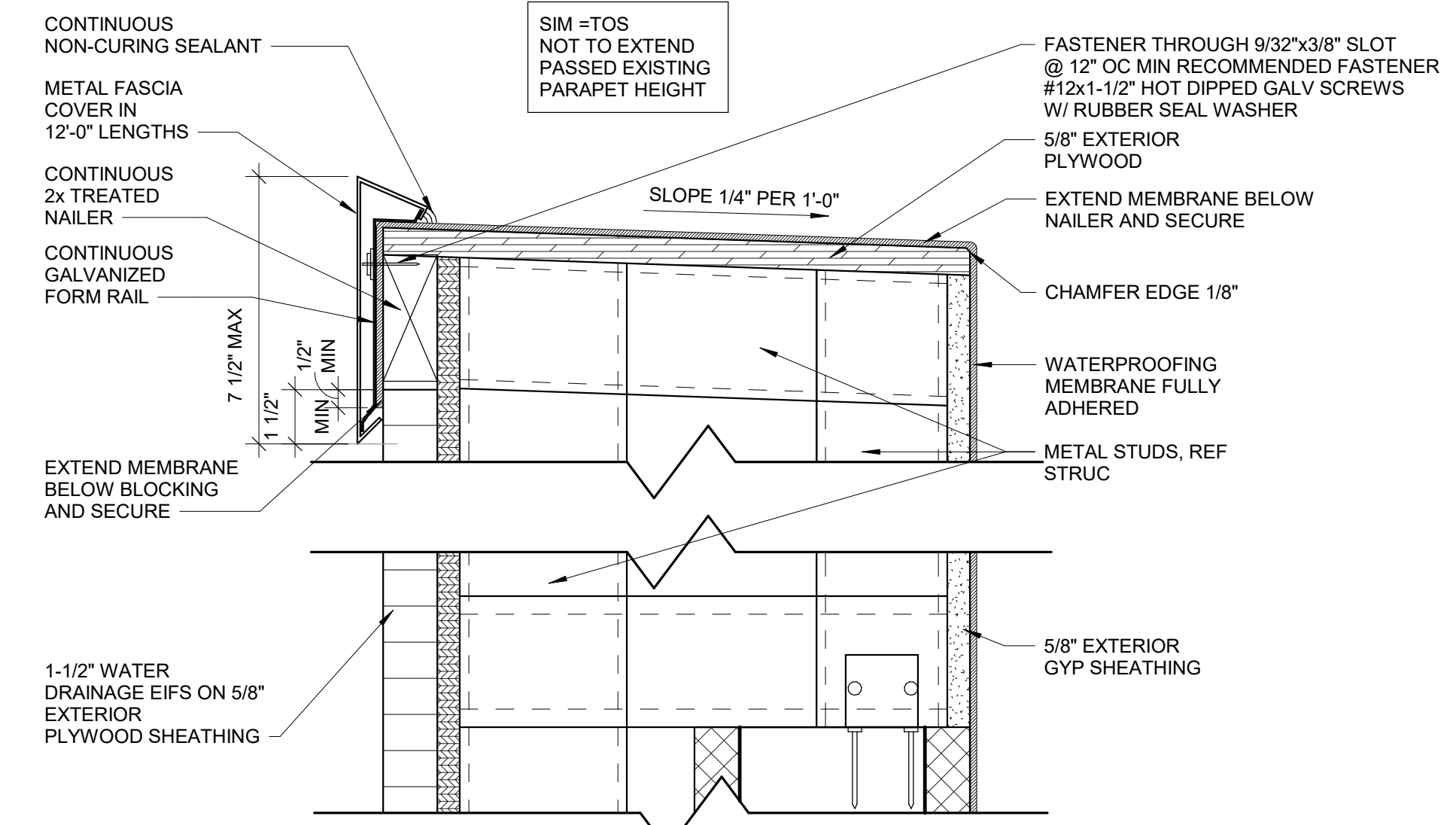
"ADHESIVE SEALANT" IS TO BE PRODUCT LN-950 BY LIQUID NAILS OR SIMILAR POLYURETHANE CONSTRUCTION ADHESIVE, MEETING ASTM D3498 AND C557 STANDARDS, EXTERIOR APPLICATION, WEATHER RESISTANT, LOW VOC, WITH A MINIMUM SHEAR STRENGTH OF 250 PSI

14 CORNER DETAIL
1 1/2" = 1'-0"



12 SIGN ATTACHMENT AT CMU WALL
1 1/2" = 1'-0"

11 EIFS DETAIL
3" = 1'-0"



THROUGH WALL PROTECTION TUBE FURNISHED BY WALMART INSTALLED BY SIGN CONTRACTOR. INSTALL PER MFR RECOMMENDATIONS

FULL BED OF MULTI-COMPONENT SEALANT AT PERIMETER OF CONDUIT BY SIGN INSTALLER

INSTALL LETTER BACK PRIOR TO INSTALLATION BY SIGN INSTALLER

SNAP-TOGGLE BB ANCHOR (1/4" - 20) PROVIDED BY WALMART AT EACH SIGN CONNECTION POINT INSTALLED BY SIGN CONTRACTOR

1 1/2" WATER DRAINAGE EIFS ON 5/8" EXTERIOR PLYWOOD SHEATHING

METAL STUDS

INSTALL FACES W/ SET SCREWS, TYP BY SIGN INSTALLER

PLASTIC ILLUMINATED CHANNEL BY SIGN SUPPLIER

13 WALL SECTION
1" = 1'-0"

PRIOR TO PERFORMING THIS WORK, VERIFY EXISTING SUBSTRATE MATERIAL. IF EXISTING SUBSTRATE IS CMU OR PLYWOOD (5/8" OR THICKER), SUBSTRATE REPLACEMENT IS NOT REQ'D

REFER TO SIGNAGE GENERAL NOTES FOR ADDITIONAL REQUIREMENTS

MOUNTING HOLE PATTERNS FOR NON-ILLUMINATED SIGN INSTALLATION

PLASTIC MOUNT FOR ALL-THREAD STUD, TYP

INSTALL 1/8" DIA ALL-THREAD STUDS INTO PLASTIC MOUNTS, TYP

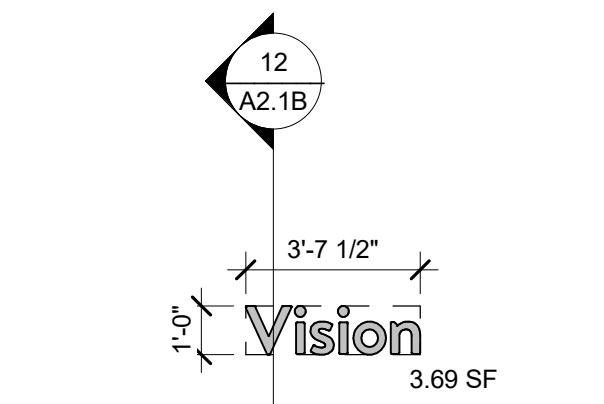
3/8" DIA HOLE FILLED WITH ADHESIVE SEALANT, TYP

PLASTIC NON-ILLUMINATED CHANNEL LETTER

"ADHESIVE SEALANT" IS TO BE PRODUCT LN-950 BY LIQUID NAILS OR SIMILAR POLYURETHANE CONSTRUCTION ADHESIVE, MEETING ASTM D3498 AND C557 STANDARDS, EXTERIOR APPLICATION, WEATHER RESISTANT, LOW VOC, WITH A MINIMUM SHEAR STRENGTH OF 250 PSI

6 SIGN ATTACHMENT AT EIFS AND METAL STUD WALL
1 1/2" = 1'-0"

8 PARAPET CAP FLASHING 1
3" = 1'-0"



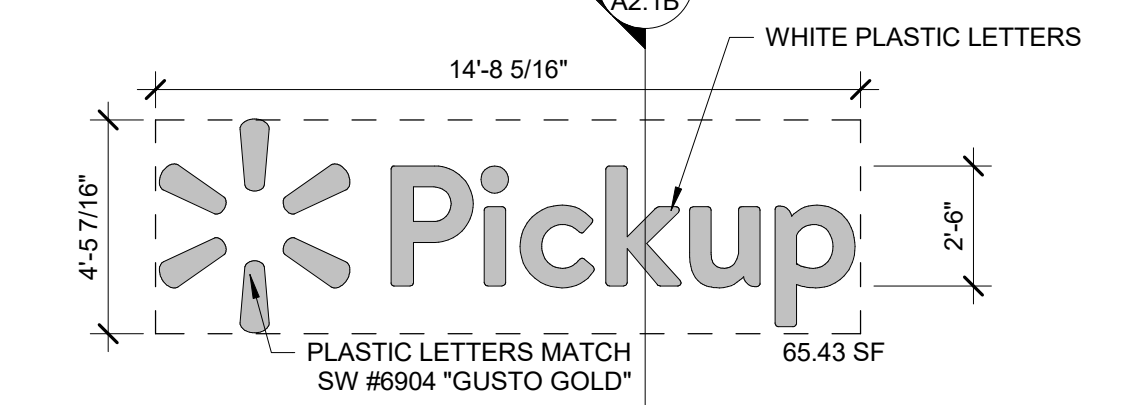
7 SIGNAGE ATTACHMENT
1 1/2" = 1'-0"



3 2'-0" HOME & PHARMACY
1/4" = 1'-0"

2 2'-0" GROCERY
1/4" = 1'-0"

9 SIGNAGE
1/4" = 1'-0"



1 10'-3" WALMART SIGN
1/4" = 1'-0"



EXISTING SIGNAGE SCHEDULE

SIGNAGE LOCATION	QTY	LIGHTED	COLOR	SIZE	AREA (SF)	TOTAL AREA (SF)
FRONT SIGNAGE						
Walmart (Spark)	1	LED	WHITE/YELLOW	5'-6"	298.00 SF	298.00 SF
(Spark) 1 Pickup	1	LED	WHITE/YELLOW	2'-6"	65.43 SF	65.43 SF
Home & Living	1	N/A	WHITE	2'-6"	72.59 SF	72.59 SF
Market & Pharmacy	1	N/A	WHITE	2'-6"	102.74 SF	102.74 SF
Outdoor Living	1	N/A	WHITE	2'-6"	77.31 SF	77.31 SF
FRONT SIGNAGE						
VISION	1	N/A	WHITE	2'-6"	616.07 SF	616.07 SF
TOTAL BUILDING SIGNAGE						816.07 SF

NEW SIGNAGE SCHEDULE

SIGNAGE LOCATION	QTY	LIGHTED	COLOR	SIZE	AREA (SF)	TOTAL AREA (SF)
FRONT SIGNAGE						
Walmart (Spark)	1	LED	WHITE/YELLOW	10'-3"	116.39 SF	116.39 SF
(Spark) 1 Pickup	1	LED	WHITE/YELLOW	2'-6"	65.43 SF	65.43 SF
Home & Living	1	N/A	WHITE	2'-0"	26.27 SF	26.27 SF
Market & Pharmacy	1	N/A	WHITE	2'-0"	60.74 SF	60.74 SF
Outdoor Living	1	N/A	WHITE	2'-0"	20.50 SF	20.50 SF
FRONT SIGNAGE						
VISION	1	N/A	WHITE	1'-0"	3.69 SF	3.69 SF
TOTAL BUILDING SIGNAGE						293.02 SF

SIGNAGE GENERAL NOTES

- SIGNAGE FURNISHED BY WAL-MART AND INSTALLED BY OTHERS.
- ALL EXISTING WALMART EXTERIOR SIGNAGE IS TO REMAIN IN PLACE ON THE BUILDING UNTIL THE EXTERIOR SIGN COMPANY IS ON-SITE. THE EXTERIOR SIGN COMPANY WILL REMOVE EXISTING SIGNAGE. GENERAL CONTRACTOR WILL THEN PERFORM THE PATCH AND REPAIR WORK NEEDED AT SIGN LOCATIONS, AND PAINTING WORK NOTED IN PLANS. ONCE COMPLETE, GENERAL CONTRACTOR WILL NOTIFY THE EXTERIOR SIGN CONTRACTOR THAT AREAS NOTED TO RECEIVE SIGNAGE ARE READY. THE EXTERIOR SIGN COMPANY WILL THEN INSTALL NEW SIGNAGE AS SHOWN ON THE PLANS.
 - A TEMPORARY BANNER WILL BE INSTALLED BY THE EXTERIOR SIGN COMPANY PRIOR TO REMOVAL OF EXISTING EXTERIOR SIGNAGE. BANNER WILL REMAIN IN PLACE UNTIL ALL MODIFICATIONS AND/OR REPAIRS HAVE BEEN COMPLETED AND NEW SIGNAGE IS INSTALLED. GC SHALL PRIORITIZE MODIFICATIONS/REPAIRS REQUIRED FOR INSTALLATION OF NEW EXTERIOR SIGNS WHILE EXTERIOR SIGN COMPANY IS ON SITE.
 - TEMPORARY BANNER WILL BE APPROXIMATELY 125 SF (5'X25').
 - EXTERIOR SIGN WORK NEEDS TO BE SCHEDULED, COORDINATED, AND COMPLETED DURING WEEK 6 OF THE CONSTRUCTION SCHEDULE.
- GENERAL CONTRACTOR RESPONSIBILITIES
 - BY END OF FIRST WEEK OF CONSTRUCTION, REVIEW EXISTING CONSTRUCTION WHERE SIGN(S) WILL BE INSTALLED. IF EXISTING CONDITIONS DO NOT MATCH SIGN ATTACHMENT DETAILS SHOWN, REQUEST APPROVAL FROM CONSTRUCTION MANAGER TO SUBMIT RFI IN ACCORDANCE WITH SECTION 01255. NOTE DIFFERENCES IN CONSTRUCTION, INCLUDING DIMENSIONS, AND INCLUDE PHOTOGRAPHS FOR CLARIFICATION.
 - PROVIDE SUBSTRATE SUITABLE FOR INSTALLATION OF SIGNAGE. REFER TO DETAILS ON SHEET A2/A2.1. FOR LIGHTED ID/LOGO SIGNS COORDINATE TIMING OF WORK WITH WALMART SIGN CONTRACTOR.
 - PROVIDE JUNCTION BOXES AND CIRCUITRY TO NEW "Walmart" and "spark" SIGNAGE. EXISTING (B) BOXES FROM "WAL-MART" SIGNAGE MAY BE REUSED.
 - NOT USED.
 - INSTALL ACCESS DOORS AND FRAMES IN GYPSUM BOARD CEILINGS IF REQUIRED BY RELOCATION OF EXISTING TENANT SIGNAGE.
 - VERIFY VOLTAGE AT CIRCUITS FEEDING LIGHTED SIGNAGE. REFER TO ELECTRICAL.
 - MAKE FINAL TERMINATIONS ON LIGHTED SIGNAGE.
- SIGNAGE CONTRACTOR RESPONSIBILITIES
 - REMOVE ALL LIT ID/LOGO SIGNS AND UNLIT EXTERIOR STUD MOUNTED BUILDING SIGNS, UNLESS NOTED OTHERWISE.
 - MAKE REQUIRED EXTERIOR WALL PENETRATIONS, INSTALL CONDUIT, AND SEAL PENETRATIONS PER SPECIFICATION SECTION 07300.
 - INSTALL SIGNAGE PER DETAILS ON SHEET A2/A2.1.

DEMOLITION NOTES

- REMOVE ALL UNLIT EXTERIOR STUD MOUNTED BUILDING SIGNS.
- REMOVAL OF LIT ID/LOGO SIGNS SHALL BE BY OTHERS.
- NOT USED.
- NOT USED.
- NOT USED.
- REMOVAL OF BUILDING MOUNTED ITEMS, SHOWN OR NOTED TO BE DEMOLISHED OR AS REQUIRED BY SCOPE OF WORK, SHALL OCCUR PRIOR TO PAINTING BUILDING. COORDINATE DEMOLITION WORK SO EXTERIOR PAINTING WILL OCCUR PRIOR TO INSTALLATION OF BUILDING MOUNTED ITEMS.

LOCATE CONDUIT PENETRATION 4'-0" MAX FROM UNISTRUT. PROVIDE ONLY ONE ROOF PENETRATION FOR ALL WHIPS.

LOCATE ANCHORS AND WIRING/CONDUIT PENETRATIONS PER SIGN ATTACHMENT TEMPLATE PROVIDED BY WALMART

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CONSULTANTS

ISSUE BLOCK

NO.	DATE	DESCRIPTION

CHECKED BY: TRH ROA/VT
DRAWN BY: KM
PROTO CYCLE: 01/29/21
DOCUMENT DATE: 03/29/21

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STATE OF NEW MEXICO
TRAVIS R. HAGER
No. 6148
REGISTERED ARCHITECT
03/29/2021

EXTERIOR DETAILS

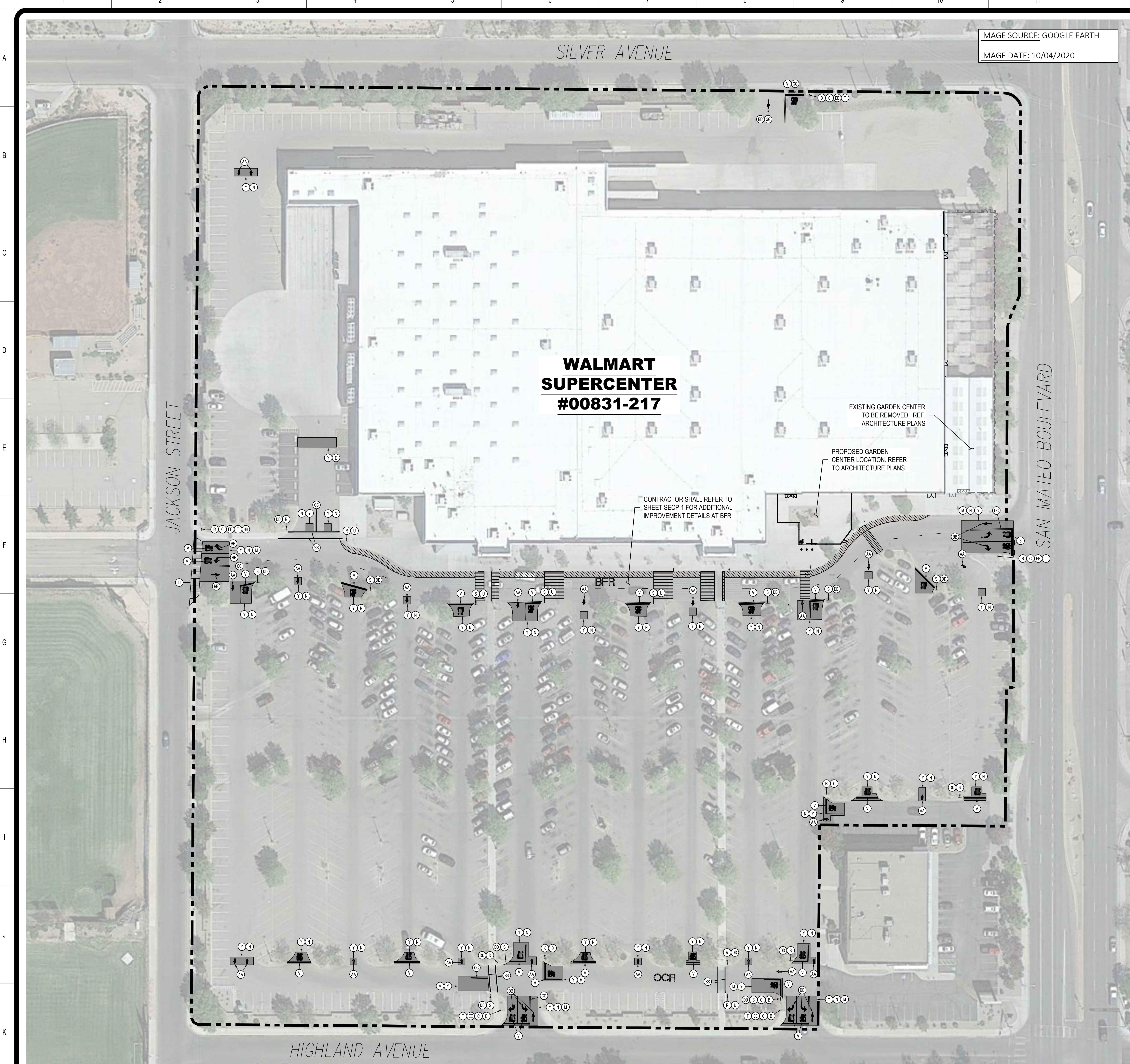


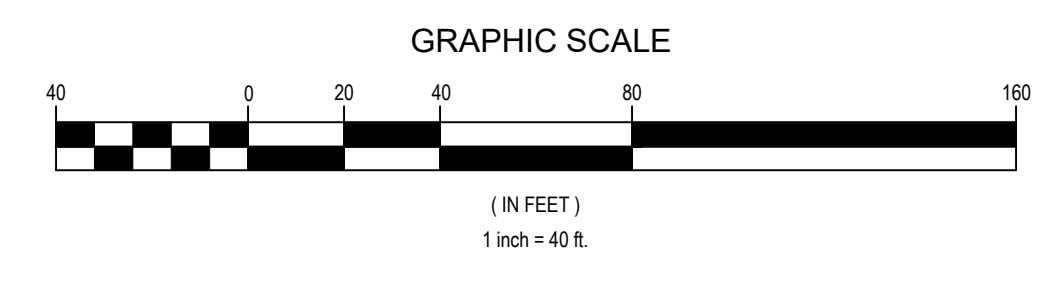
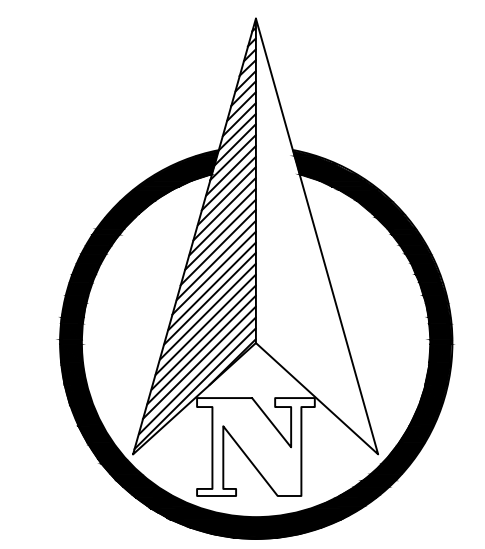
IMAGE SOURCE: GOOGLE EARTH
IMAGE DATE: 10/04/2020

SITE AND DEMOLITION LEGEND

- REFERENCE DETAIL SHEET
- (A) EXISTING PEDESTRIAN CROSSING SIGN TO BE REMOVED.
 - (B) EXISTING STOP SIGN TO BE REMOVED.
 - (C) EXISTING SIGN POST, BASE, AND BOLLARD BASE (WHERE APPLICABLE) TO BE REMOVED.
 - (D) EXISTING SIGN POST AND BASE TO REMAIN, BOLLARD (WHERE APPLICABLE) TO BE RE-PAINTED.
 - (E) EXISTING CROSSWALK STRIPING TO BE REMOVED.
 - (F) EXISTING YIELD PAVEMENT MARKING TO BE REMOVED.
 - (G) EXISTING CENTERLINE STRIPING TO BE REMOVED.
 - (H) EXISTING CENTERLINE STRIPING TO REMAIN AND BE RE-PAINTED.
 - (I) EXISTING SOLID DOUBLE YELLOW STRIPING TO BE REMOVED.
 - (J) EXISTING STOP SIGN TO REMAIN.
 - (L) EXISTING PEDESTRIAN CROSSING SIGN TO REMAIN.
 - (M) EXISTING STOP BAR AND STOP TEXT PAVEMENT MARKING TO BE REMOVED.
 - (N) EXISTING ARROW PAVEMENT MARKINGS TO BE REMOVED.
 - (P) EXISTING FIRE LANE STRIPING TO REMAIN AND BE RE-PAINTED.
 - (Q) EXISTING STOP SIGN TO BE RAISED TO MATCH CURRENT DETAILS/GUIDELINES.
 - (R) NEW "STOP HERE FOR PEDESTRIANS" (R1-5E) SIGN.
 - (S) NEW 30"x30" STOP SIGN.
 - (T) NEW 36"x36" STOP SIGN.
 - (U) NEW SIGN MOUNTING AND BASE WITH BOLLARD.
 - (V) NEW STOP TEXT AND STOP BAR PAVEMENT MARKINGS.
 - (W) NEW 4" WIDE PAINTED YELLOW STRIPES AT 45° @ 2'-0" O.C.
 - (X) NEW CROSSWALK MARKINGS - 6" WIDE PAINTED WHITE STRIPING PARALLEL TO DIRECTION OF TRAFFIC AT 2'-0" O.C. AND (3)-4" WIDE STRIPES PERPENDICULAR ON BOTH ENDS UNLESS NOTED OTHERWISE. ENTIRE CROSSWALK SHALL BE RE-STRIPED.
 - (Y) LIMITS OF SEAL COAT. APPLY SEAL COAT OVER WHERE STRIPING AND PAVEMENT MARKINGS WERE REMOVED AND WHERE NEW STRIPING AND PAVEMENT MARKINGS WILL BE APPLIED. APPLY NEW STRIPING AND PAVEMENT MARKINGS OVER SEAL COAT.
 - (Z) NEW 4" WIDE PAINTED YELLOW STRIPES - 4" LONG WITH 18" GAPS.
 - (AA) NEW OPEN ARROW PAVEMENT MARKINGS.
 - (BB) NEW SOLID ARROW PAVEMENT MARKINGS.
 - (CC) NEW 4" WIDE DOUBLE SOLID YELLOW STRIPE.
 - (DD) NEW SIGN MOUNTING AND BASE WITH BREAK AWAY POST.
 - (EE) NEW SIGN MOUNTING AND BASE WITH DOUBLE BREAK AWAY POSTS.
 - (FF) NEW FIRE LANE STRIPING.
 - (GG) EXISTING PAVEMENT MARKINGS/STRIPING TO BE INSPECTED AND REVISED/REFRESHED TO MATCH CURRENT DETAILS/GUIDELINES.
 - (HH) EXISTING VISIBILITY CONFLICT WITH SIGNAGE. CONTRACTOR SHALL TRIM LANDSCAPING AS REQUIRED TO CREATE UNOBSTRUCTED VIEW OF SIGNAGE.
 - (II) NEW "ONCOMING TRAFFIC DOES NOT STOP" PLAQUE.
 - (JJ) NEW "TRAFFIC FROM LEFT DOES NOT STOP" PLAQUE.
 - (KK) NEW "TRAFFIC FROM RIGHT DOES NOT STOP" PLAQUE.
 - (LL) NEW "CROSS TRAFFIC DOES NOT STOP" PLAQUE.
 - (MM) EXISTING "PICK-UP" PAVEMENT MARKINGS TO BE REMOVED.
 - (NN) EXISTING WHEEL STOP TO BE REUSED.
 - (OO) NEW WHEEL STOP. CONTRACTOR TO MATCH EXISTING.
 - (PP) NEW CHANNELIZATION AT OCP DOOR. SEE DETAIL.
 - (SS) NEW 8" SOLID WHITE LINE AT EDGE OF DECORATIVE CONCRETE.
 - (TT) RE-STRIP EXISTING ROW CROSSWALK STRIPING TO MEET CURRENT DETAILS/GUIDELINES.
 - (UU) EXISTING FIRE LANE STRIPING TO BE REMOVED.
 - (VV) EXISTING "PICK-UP" SIGNAGE TO BE REMOVED.
 - (WW) NEW 4" WIDE PAINTED YELLOW STALL STRIPE.
 - (XX) EXISTING PARKING STALL STRIPING TO BE REMOVED.
 - (YY) NEW TEMPORARY SIGNAGE. SEE DETAIL.
 - (ZZ) NEW PICKUP STALL NUMBERING. SEE DETAIL.

NOTES TO CONTRACTOR

1. BFR (BUILDING FRONTAGE ROAD)
OCR (OUTER CIRCULATION ROAD)
2. CONTRACTOR SHALL INSTALL NEW STOP BARS, SIGNS, AND TEXT TO MATCH CURRENT DETAILS AT THE LOCATIONS SHOWN ON THESE PLANS.
3. ALL SIGNS LOCATED ON THE BUILDING SIDE OF THE BFR SHALL BE INSTALLED ON A SINGLE POST.

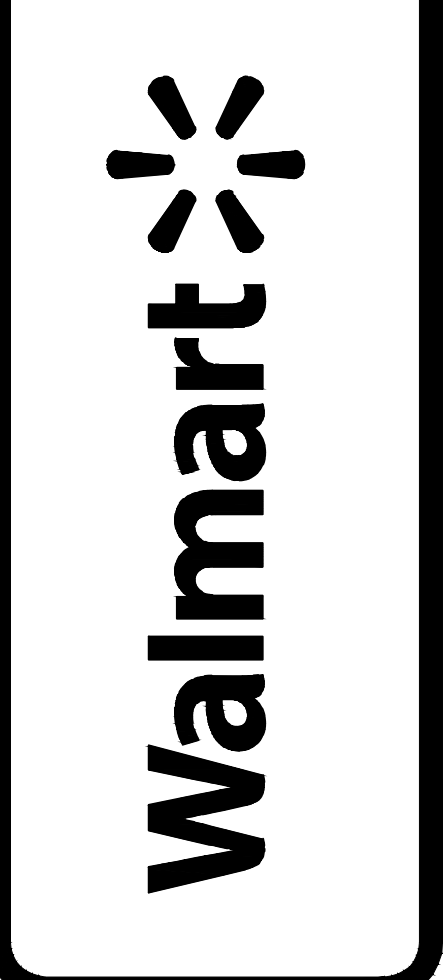


STOP SIGNS AND MARKINGS PLAN

REVISIONS	BY

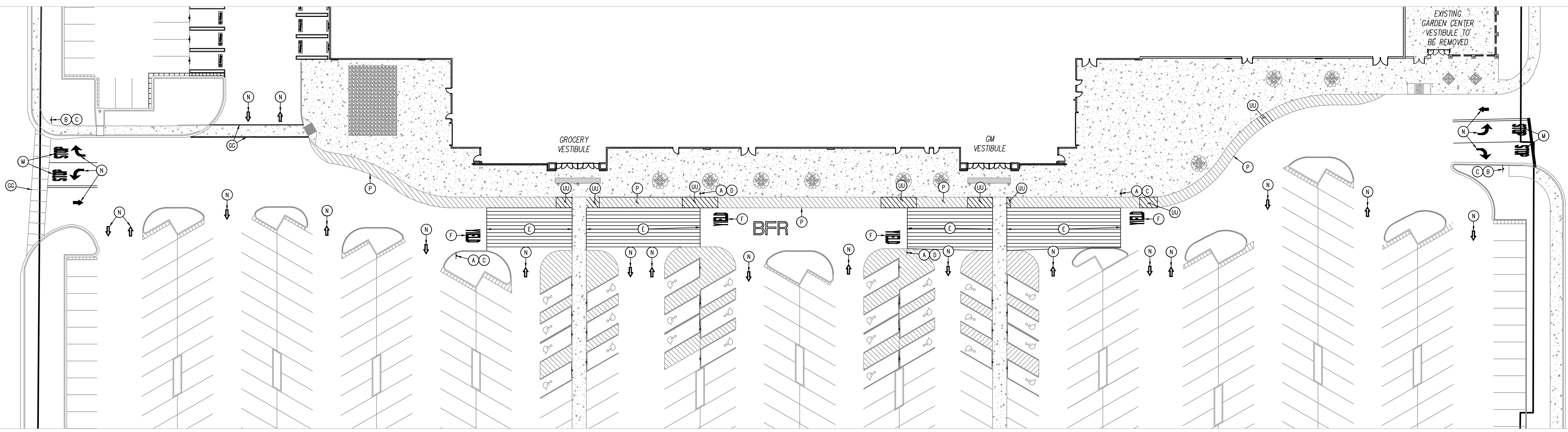


SUPERCENTER #00831-217
301 SAN MATEO BOULEVARD
ALBUQUERQUE (ZUNI), BERNALILLO COUNTY, NEW MEXICO
WAL-MART STORES, INC.
BENTONVILLE, AR

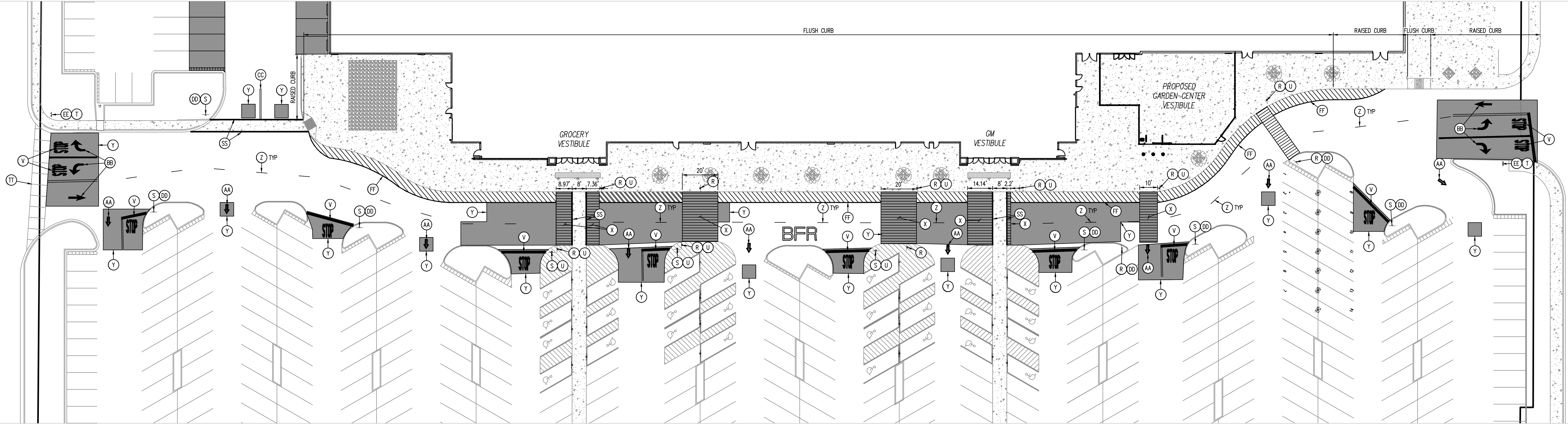


DRAWN	DJS
CHECKED	BDA
DATE	03/29/2021
SCALE	VARIES
JOB No.	SGA00831.20
SHEET	

SSM-1B



DEMOLITION PLAN



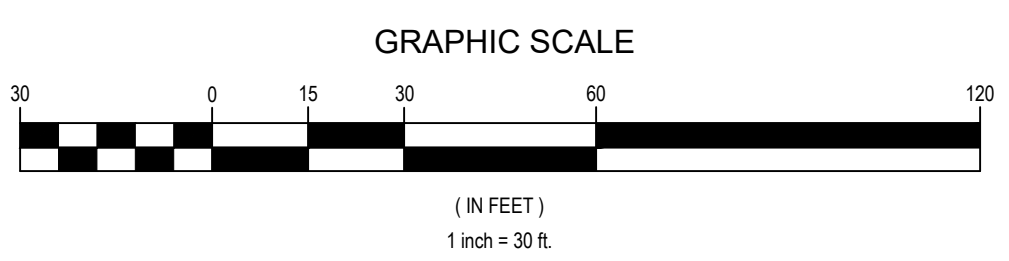
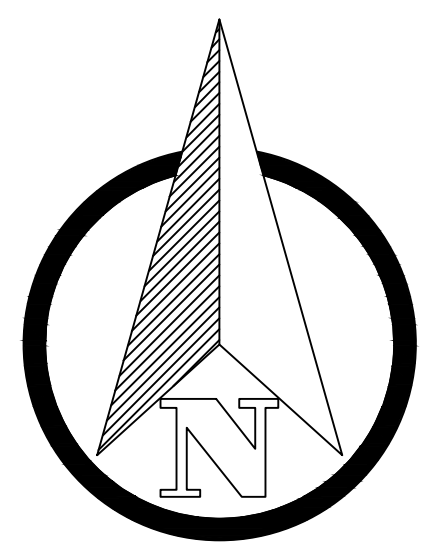
SITE CONSTRUCTION PLAN

NOTES TO CONTRACTOR:

- REFERENCE SITE CONSTRUCTION PLAN FOR SITE SPECIFIC DIMENSIONS OF CROSSWALK STRIPING AND LOCATION OF SIGNAGE.
- PROVIDE A COMPREHENSIVE CONSTRUCTION PHASING PLAN FOR THIS WORK TO THE STORE MANAGER 7 DAYS PRIOR TO STARTING ANY WORK. IT IS TO PROVIDE FOR DATES, TIMES AND DURATION OF LANE CLOSURES, TEMPORARY VEHICLE AND PEDESTRIAN TRAFFIC CONTROL.
- ALL EXISTING STRIPING AND PAVEMENT MARKINGS OR TEXT ALONG THE BFR (BUILDING FRONTAGE ROAD) SHALL BE REMOVED. GRIND OUT ANY DIRECTIONAL ARROWS OR STOP BARS/TEXT THAT ARE NOT CORRECTLY LOCATED OR INCONSISTENT WITH THE DETAILS PROVIDED. APPLY SEAL COAT TO THE COMPLETE EXTENT THAT THE STRIPING OR TEXT HAS BEEN REMOVED IN A SINGLE COMPLETE RECTANGLE TO COVER ALL REMOVED STRIPING (DO NOT APPLY SEAL COAT OVER EXISTING STRIPING OR CONCRETE). INSTALL NEW STRIPING AND SIGNAGE AS SHOWN ON THE SITE CONSTRUCTION PLAN.
- ALL SIGNS LOCATED ON THE BUILDING SIDE OF THE BFR SHALL BE INSTALLED ON A SINGLE POST WITH BOLLARD.

SITE AND DEMOLITION LEGEND

- REFERENCE DETAIL SHEET
- | | |
|---|---|
| (A) EXISTING PEDESTRIAN CROSSING SIGN TO BE REMOVED. | (AA) NEW OPEN ARROW PAVEMENT MARKINGS. |
| (B) EXISTING STOP SIGN TO BE REMOVED. | (BB) NEW SOLID ARROW PAVEMENT MARKINGS. |
| (C) EXISTING SIGN POST, BASE, AND BOLLARD BASE (WHERE APPLICABLE) TO BE REMOVED. | (CC) NEW 4" WIDE DOUBLE SOLID YELLOW STRIPE. |
| (D) EXISTING SIGN POST AND BASE TO REMAIN. BOLLARD (WHERE APPLICABLE) TO BE RE-PAINTED. | (CD) NEW SIGN MOUNTING AND BASE WITH BREAK AWAY POST. |
| (E) EXISTING CROSSWALK STRIPING TO BE REMOVED. | (CE) NEW SIGN MOUNTING AND BASE WITH DOUBLE BREAK AWAY POSTS. |
| (F) EXISTING YIELD PAVEMENT MARKING TO BE REMOVED. | (CF) NEW FIRE LANE STRIPING. |
| (G) EXISTING CENTERLINE STRIPING TO BE REMOVED. | (CG) EXISTING PAVEMENT MARKINGS/STRIPING TO BE INSPECTED AND REVISED/REFRESHED TO MATCH CURRENT DETAILS/GUIDELINES. |
| (H) EXISTING CENTERLINE STRIPING TO REMAIN AND BE RE-PAINTED. | (CH) EXISTING VISIBILITY CONFLICT WITH SIGNAGE. CONTRACTOR SHALL TRIM LANDSCAPING AS REQUIRED TO CREATE UNOBSTRUCTED VIEW OF SIGNAGE. |
| (I) EXISTING SOLID DOUBLE YELLOW STRIPING TO BE REMOVED. | (CI) NEW "ONCOMING TRAFFIC DOES NOT STOP" PLAQUE. |
| (J) EXISTING STOP SIGN TO REMAIN. | (CK) NEW "TRAFFIC FROM LEFT DOES NOT STOP" PLAQUE. |
| (K) EXISTING PEDESTRIAN CROSSING SIGN TO REMAIN. | (CL) NEW "TRAFFIC FROM RIGHT DOES NOT STOP" PLAQUE. |
| (L) EXISTING STOP BAR AND STOP TEXT PAVEMENT MARKING TO BE REMOVED. | (CM) NEW "CROSS TRAFFIC DOES NOT STOP" PLAQUE. |
| (M) EXISTING ARROW PAVEMENT MARKINGS TO BE REMOVED. | (CN) EXISTING "PICK-UP" PAVEMENT MARKINGS TO BE REMOVED. |
| (N) EXISTING FIRE LANE STRIPING TO REMAIN AND BE RE-PAINTED. | (CP) EXISTING WHEEL STOP TO BE REUSED. |
| (O) EXISTING STOP SIGN TO BE RAISED TO MATCH CURRENT DETAILS/GUIDELINES. | (CQ) NEW WHEEL STOP. CONTRACTOR TO MATCH EXISTING. |
| (P) NEW "STOP HERE FOR PEDESTRIANS" (R1-56) SIGN. | (CR) NEW CHANNELIZATION AT ODP DOOR. SEE DETAIL. |
| (Q) NEW 30"x30" STOP SIGN. | (CS) NEW 8" SOLID WHITE LINE AT EDGE OF DECORATIVE CONCRETE. |
| (R) NEW 36"x36" STOP SIGN. | (CT) RE-STRIPING EXISTING ROW CROSSWALK STRIPING TO MEET CURRENT DETAILS/GUIDELINES. |
| (S) NEW SIGN MOUNTING AND BASE WITH BOLLARD. | (CU) EXISTING FIRE LANE STRIPING TO BE REMOVED. |
| (T) NEW STOP TEXT AND STOP BAR PAVEMENT MARKINGS. | (CV) EXISTING "PICK-UP" SIGNAGE TO BE REMOVED. |
| (U) NEW 4" WIDE PAINTED YELLOW STRIPES AT 45° @ 2'-0" O.C. | (CW) NEW 4" WIDE PAINTED YELLOW STALL STRIPE. |
| (V) NEW CROSSWALK MARKINGS - 6" WIDE PAINTED WHITE STRIPING PARALLEL TO DIRECTION OF TRAFFIC AT 2'-0" O.C. AND (15'-0" WIDE STRIPE PERPENDICULAR ON BOTH ENDS UNLESS NOTED OTHERWISE. EXISTING CROSSWALK SHALL BE RE-STRIPED. | (CX) EXISTING PARKING STALL STRIPING TO BE REMOVED. |
| (W) LIMITS OF SEAL COAT. APPLY SEAL COAT OVER WHERE STRIPING AND PAVEMENT MARKINGS WERE REMOVED AND WHERE NEW STRIPING AND PAVEMENT MARKINGS WILL BE APPLIED. APPLY NEW STRIPING AND PAVEMENT MARKINGS OVER SEAL COAT. | (CY) NEW TEMPORARY SIGNAGE. SEE DETAIL. |
| (X) NEW 4" WIDE PAINTED YELLOW STRIPES - 6' LONG WITH 18" GAPS. | (CZ) NEW PICKUP STALL NUMBERING. SEE DETAIL. |



DEMOLITION AND SITE CONSTRUCTION PLAN

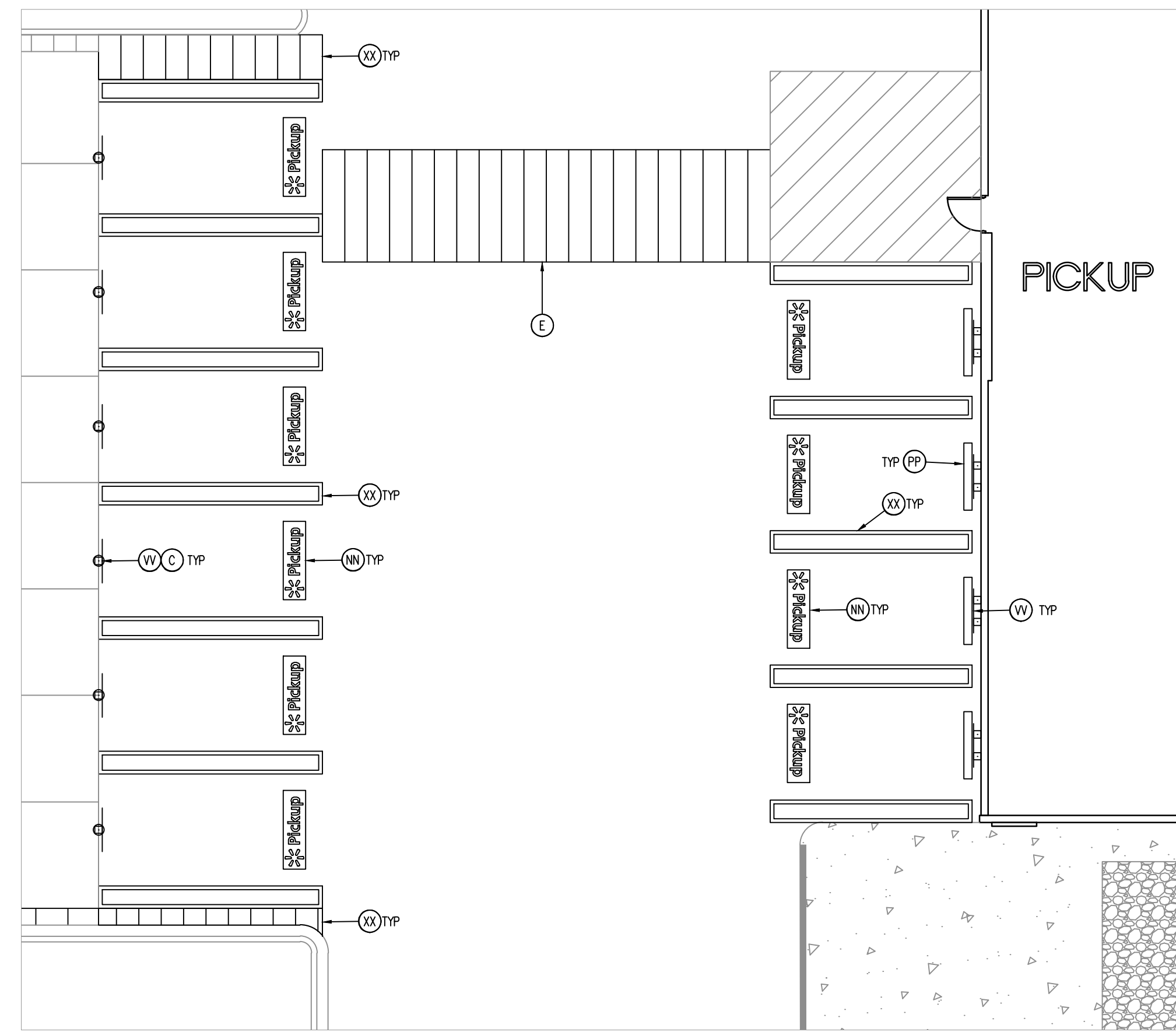
REVISIONS	BY

Galloway
 6002 S. Willow Drive, Suite 300
 Albuquerque, NM 87111
 505.770.8884
 GallowayUS.com

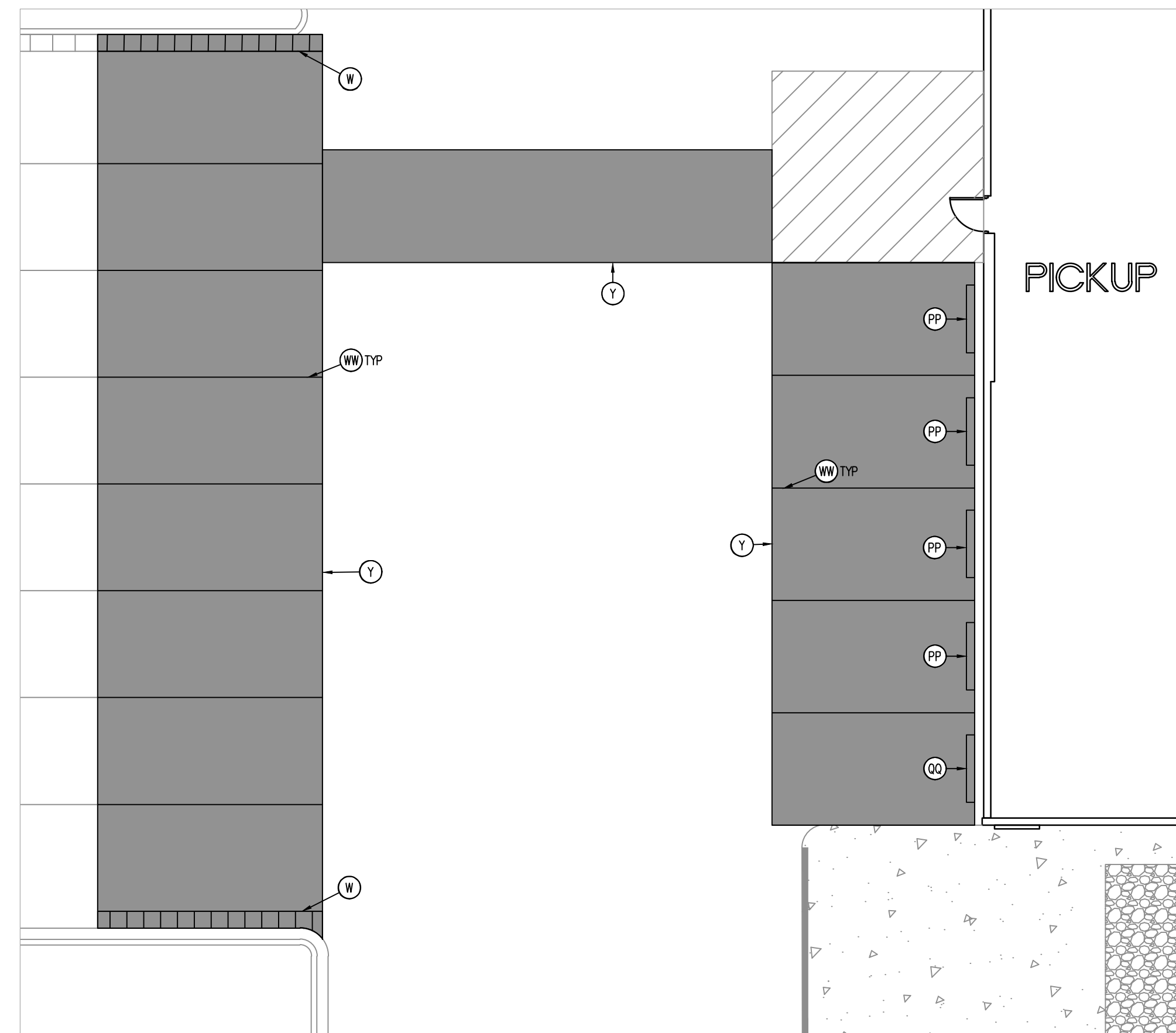
SUPERCENTER #00831-217
 301 SAN MATEO BOULEVARD
 ALBUQUERQUE (ZUNI), BERNALILLO COUNTY, NEW MEXICO
 WAL-MART STORES, INC.
 BENTONVILLE, AR

DRAWN	DJS
CHECKED	BOA
DATE	03/29/2021
SCALE	VARIABLES
JOB No.	SGA00831.20
SHEET	

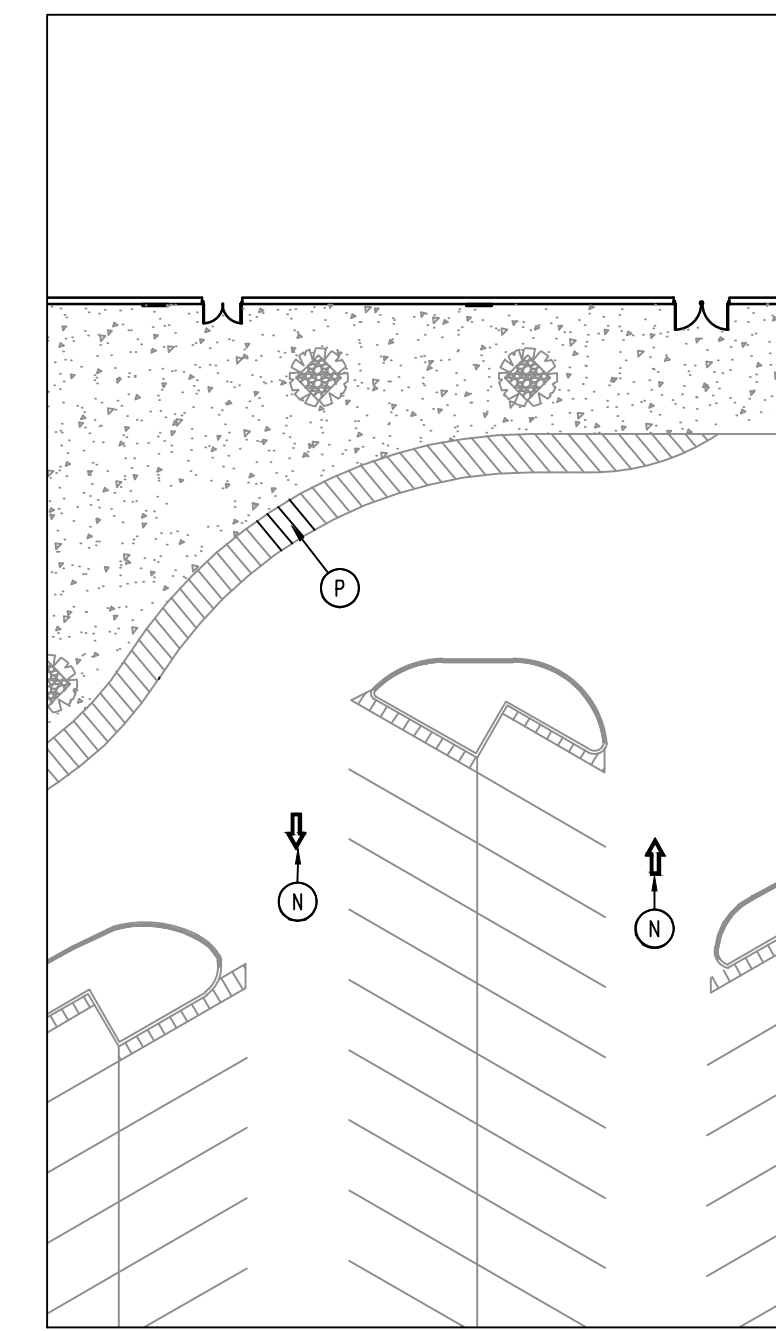
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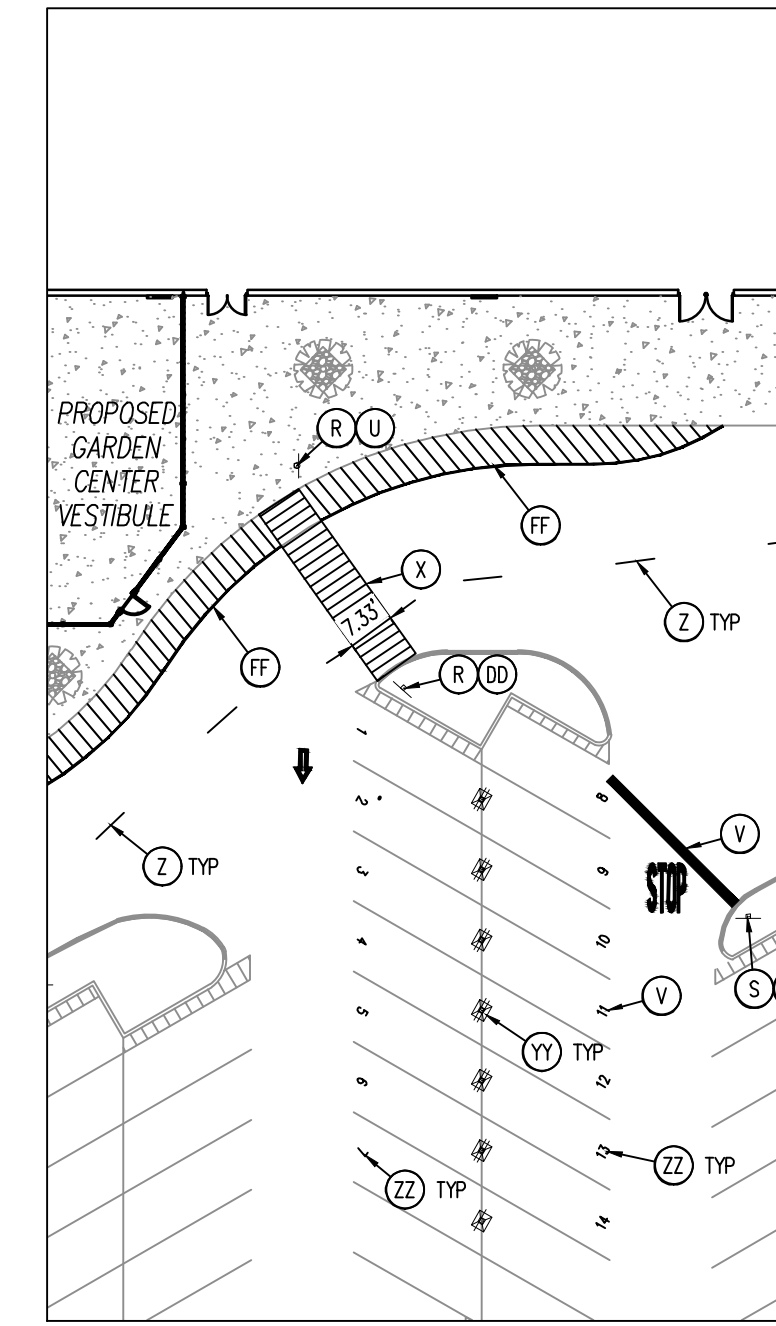
**EXISTING PICKUP
DEMOLITION PLAN**



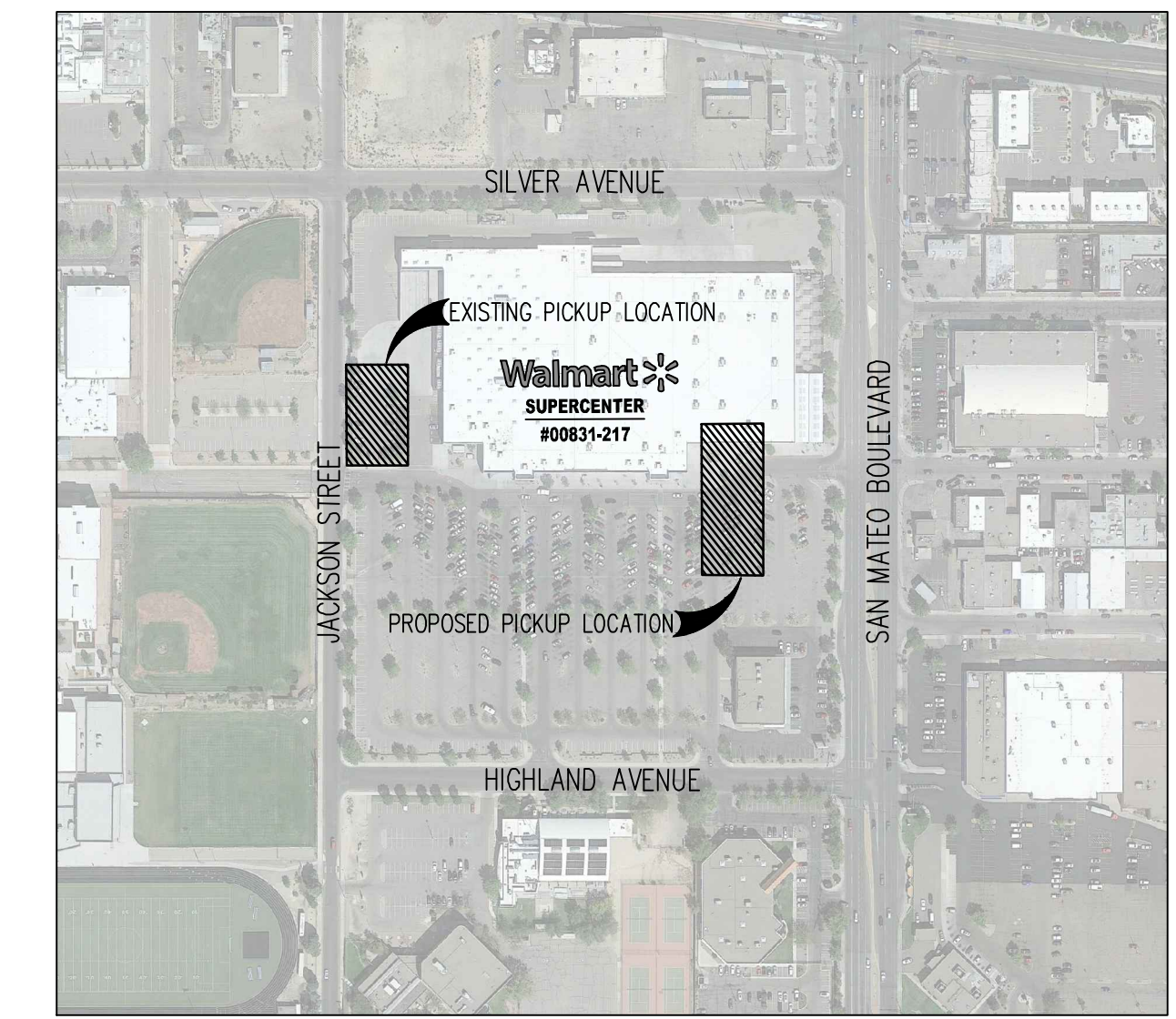
**EXISTING PICKUP SITE
CONSTRUCTION PLAN**



**PROPOSED PICKUP
DEMOLITION PLAN**



**PROPOSED PICKUP SITE
CONSTRUCTION PLAN**



KEY MAP
APPROX. 1" = 300'

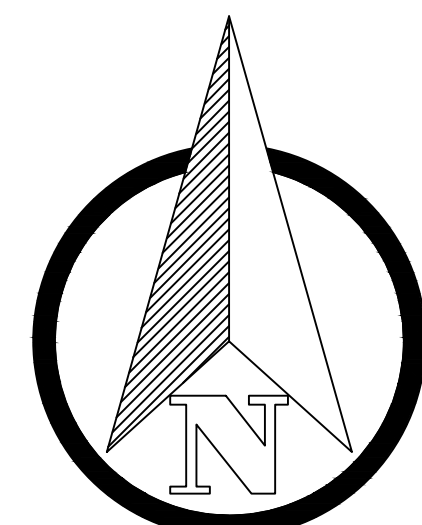
SITE AND DEMOLITION LEGEND

REFERENCE DETAIL SHEET

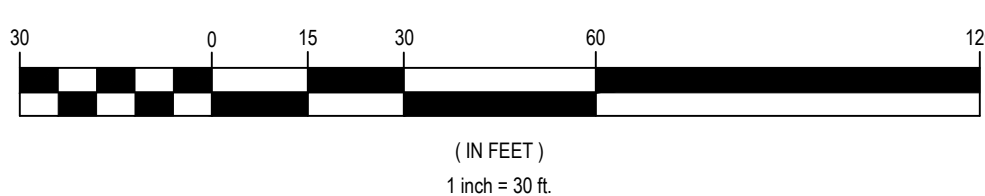
- (1) EXISTING PEDESTRIAN CROSSING SIGN TO BE REMOVED.
- (2) EXISTING STOP SIGN TO BE REMOVED.
- (3) EXISTING SIGN POST, BASE, AND BOLLARD BASE (WHERE APPLICABLE) TO BE REMOVED.
- (4) EXISTING SIGN POST AND BASE TO REMAIN. BOLLARD (WHERE APPLICABLE) TO BE RE-PAINTED.
- (5) EXISTING CROSSWALK STRIPING TO BE REMOVED.
- (6) EXISTING YIELD PAVEMENT MARKING TO BE REMOVED.
- (7) EXISTING CENTERLINE STRIPING TO BE REMOVED.
- (8) EXISTING CENTERLINE STRIPING TO REMAIN AND BE RE-PAINTED.
- (9) EXISTING SOLID DOUBLE YELLOW STRIPING TO BE REMOVED.
- (10) EXISTING STOP SIGN TO REMAIN.
- (11) EXISTING PEDESTRIAN CROSSING SIGN TO REMAIN.
- (12) EXISTING STOP BAR AND STOP TEXT PAVEMENT MARKING TO BE REMOVED.
- (13) EXISTING ARROW PAVEMENT MARKINGS TO BE REMOVED.
- (14) EXISTING FIRE LANE STRIPING TO REMAIN AND BE RE-PAINTED.
- (15) EXISTING STOP SIGN TO BE RAISED TO MATCH CURRENT DETAILS/GUIDELINES.
- (16) NEW "STOP HERE FOR PEDESTRIANS" (R1-58) SIGN.
- (17) NEW 30"x30" STOP SIGN.
- (18) NEW 36"x36" STOP SIGN.
- (19) NEW SIGN MOUNTING AND BASE WITH BOLLARD.
- (20) NEW STOP TEXT AND STOP BAR PAVEMENT MARKINGS.
- (21) NEW 4" WIDE PAINTED YELLOW STRIPES AT 45° @ 2'-0" O.C.
- (22) NEW CROSSWALK MARKINGS - 6" WIDE PAINTED WHITE STRIPING PARALLEL TO DIRECTION OF TRAFFIC AT 2'-0" O.C. AND (1)-4" WHITE STRIPES PERPENDICULAR ON BOTH ENDS UNLESS NOTED OTHERWISE. ENTIRE CROSSWALK SHALL BE RE-STRIPPED.
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- (24) NEW 4" WIDE PAINTED YELLOW STRIPES - 6" LONG WITH 18" GAPS.
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- (26) NEW SOLID ARROW PAVEMENT MARKINGS.
- (27) NEW 4" WIDE DOUBLE SOLID YELLOW STRIPE.
- (28) NEW SIGN MOUNTING AND BASE WITH BREAK AWAY POST.
- (29) NEW SIGN MOUNTING AND BASE WITH DOUBLE BREAK AWAY POSTS.
- (30) NEW FIRE LANE STRIPING.
- (31) EXISTING PAVEMENT MARKINGS/STRIPING TO BE INSPECTED AND REVISED/REFRESHED TO MATCH CURRENT DETAILS/GUIDELINES.
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- (34) NEW "TRAFFIC FROM LEFT DOES NOT STOP" PLAQUE.
- (35) NEW "TRAFFIC FROM RIGHT DOES NOT STOP" PLAQUE.
- (36) NEW "CROSS TRAFFIC DOES NOT STOP" PLAQUE.
- (37) EXISTING "TRUCK-LIP" PAVEMENT MARKINGS TO BE REMOVED.
- (38) EXISTING WHEEL STOP TO BE REUSED.
- (39) NEW WHEEL STOP. CONTRACTOR TO MATCH EXISTING.
- (40) NEW CHANNELIZATION AT OCP DOOR. SEE DETAIL.
- (41) NEW 6" SOLID WHITE LINE AT EDGE OF DECORATIVE CONCRETE.
- (42) RE-STRIPING EXISTING ROW CROSSWALK STRIPING TO MEET CURRENT DETAILS/GUIDELINES.
- (43) EXISTING FIRE LANE STRIPING TO BE REMOVED.
- (44) EXISTING "TRUCK-LIP" SIGNAGE TO BE REMOVED.
- (45) NEW 4" WIDE PAINTED YELLOW STALL STRIPE.
- (46) EXISTING PARKING STALL STRIPING TO BE REMOVED.
- (47) NEW TEMPORARY SIGNAGE. SEE DETAIL.
- (48) NEW PICKUP STALL NUMBERING. SEE DETAIL.

NOTES TO CONTRACTOR:

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2. PROVIDE A COMPREHENSIVE CONSTRUCTION PHASING PLAN FOR THIS WORK TO THE STORE MANAGER 7 DAYS PRIOR TO STARTING ANY WORK. IT IS TO PROVIDE FOR DATES, TIMES AND DURATION OF LANE CLOSURES, TEMPORARY VEHICLE AND PEDESTRIAN TRAFFIC CONTROL.
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4. ALL SIGNS LOCATED ON THE BUILDING SIDE OF THE BFR SHALL BE INSTALLED ON A SINGLE POST WITH BOLLARD.

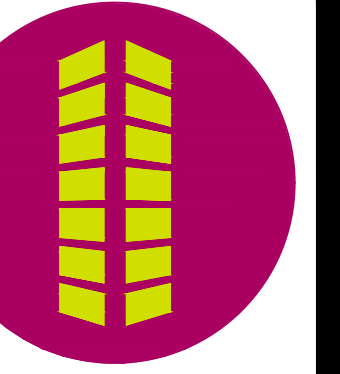


GRAPHIC SCALE



DEMOLITION AND SITE CONSTRUCTION PLAN

REVISIONS	BY



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6002 S. Wilbur Drive, Suite 300
Albuquerque, NM 87111
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GallowayUS.com



SUPERCENTER #00831-217
301 SAN MATEO BOULEVARD
ALBUQUERQUE (ZUNI), BERNALILLO COUNTY, NEW MEXICO
WAL-MART STORES, INC.
BENTONVILLE, AR



DRAWN	DJS
CHECKED	BOA
DATE	03/29/2021
SCALE	VARIABLES
JOB No.	SGA00831.20
SHEET	

SECP-2B

Reserved	Reserved	Reserved	Reserved	Reserved
1	2	3	4	5
Reserved	Reserved	Reserved	Reserved	Reserved
6	7	8	9	10
Reserved	Reserved	Reserved	Reserved	
11	12	13	14	

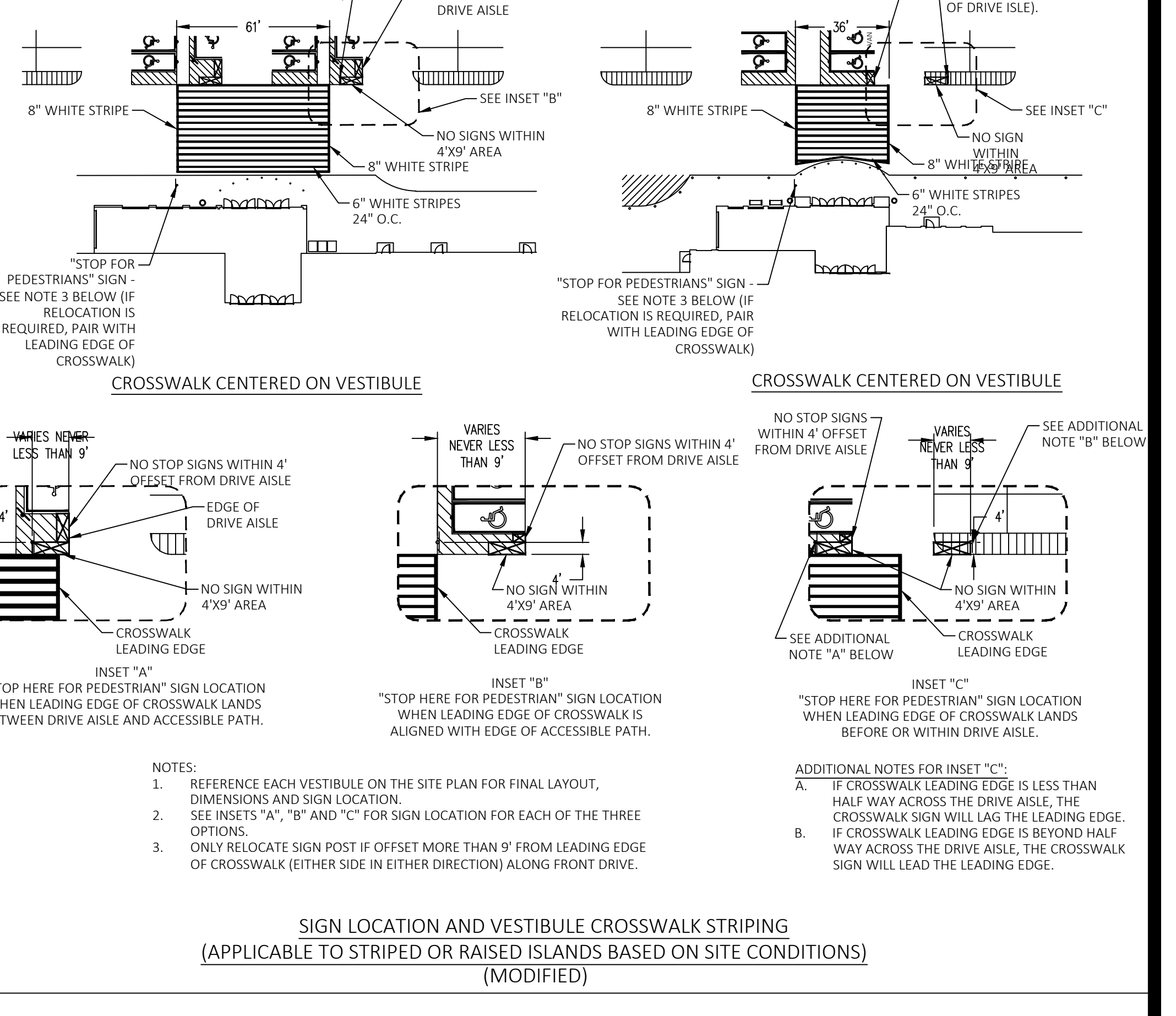
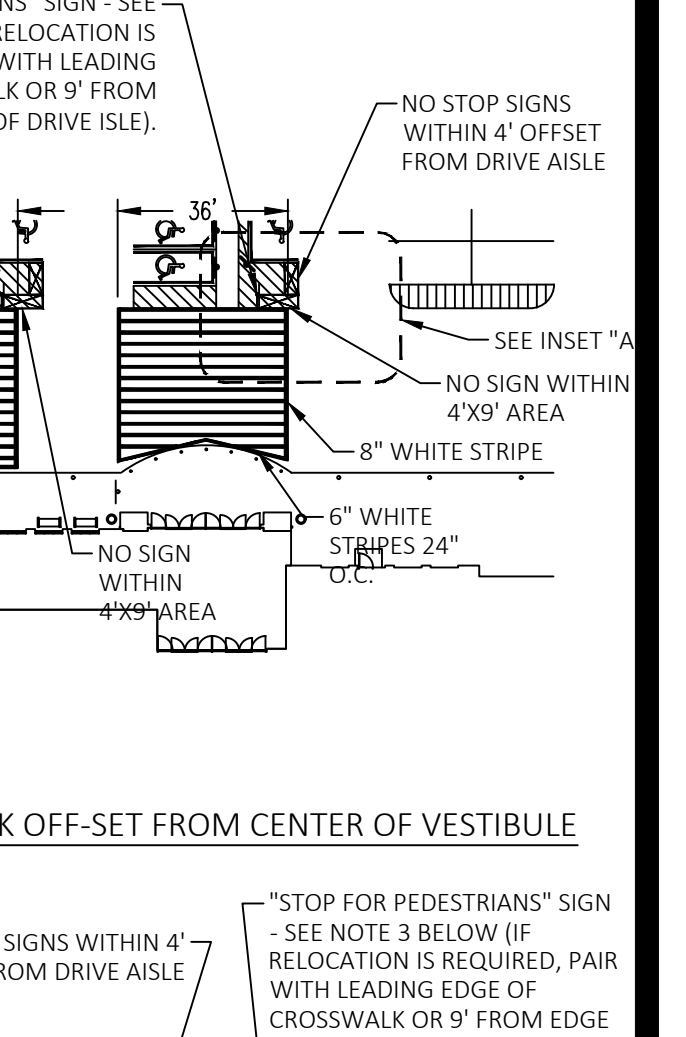
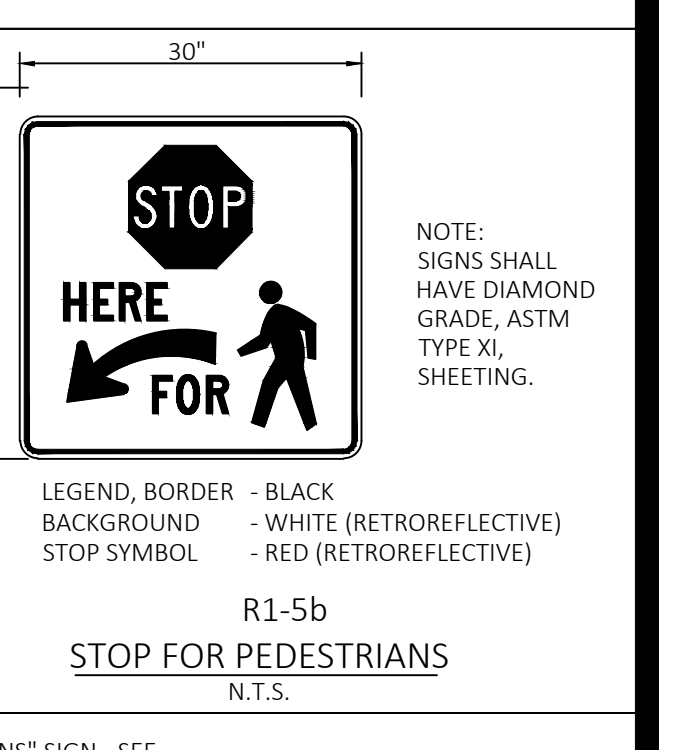
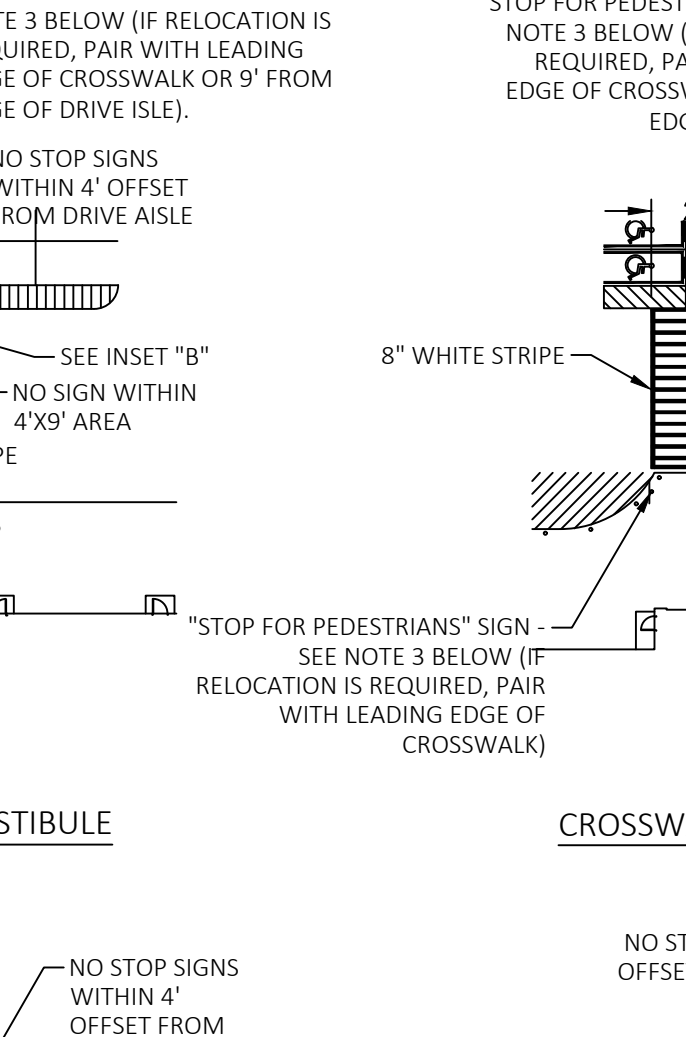
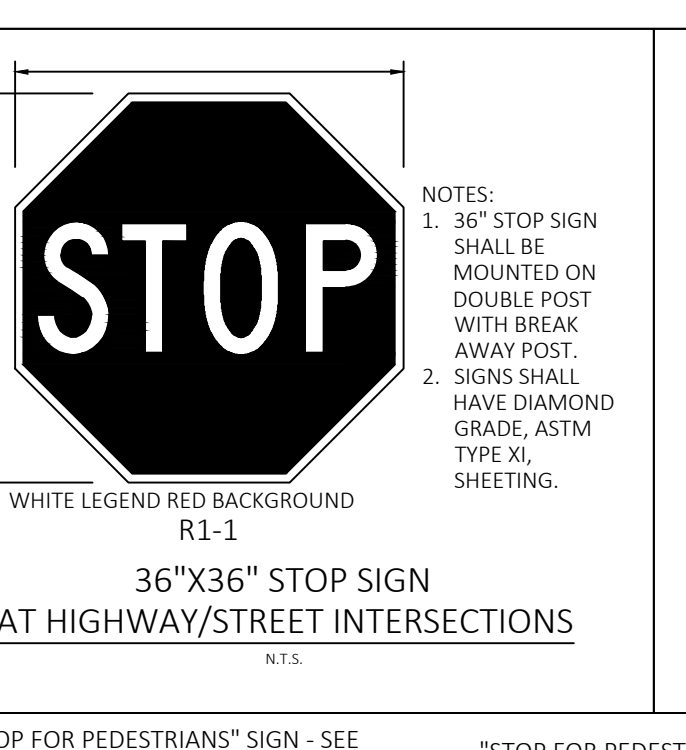
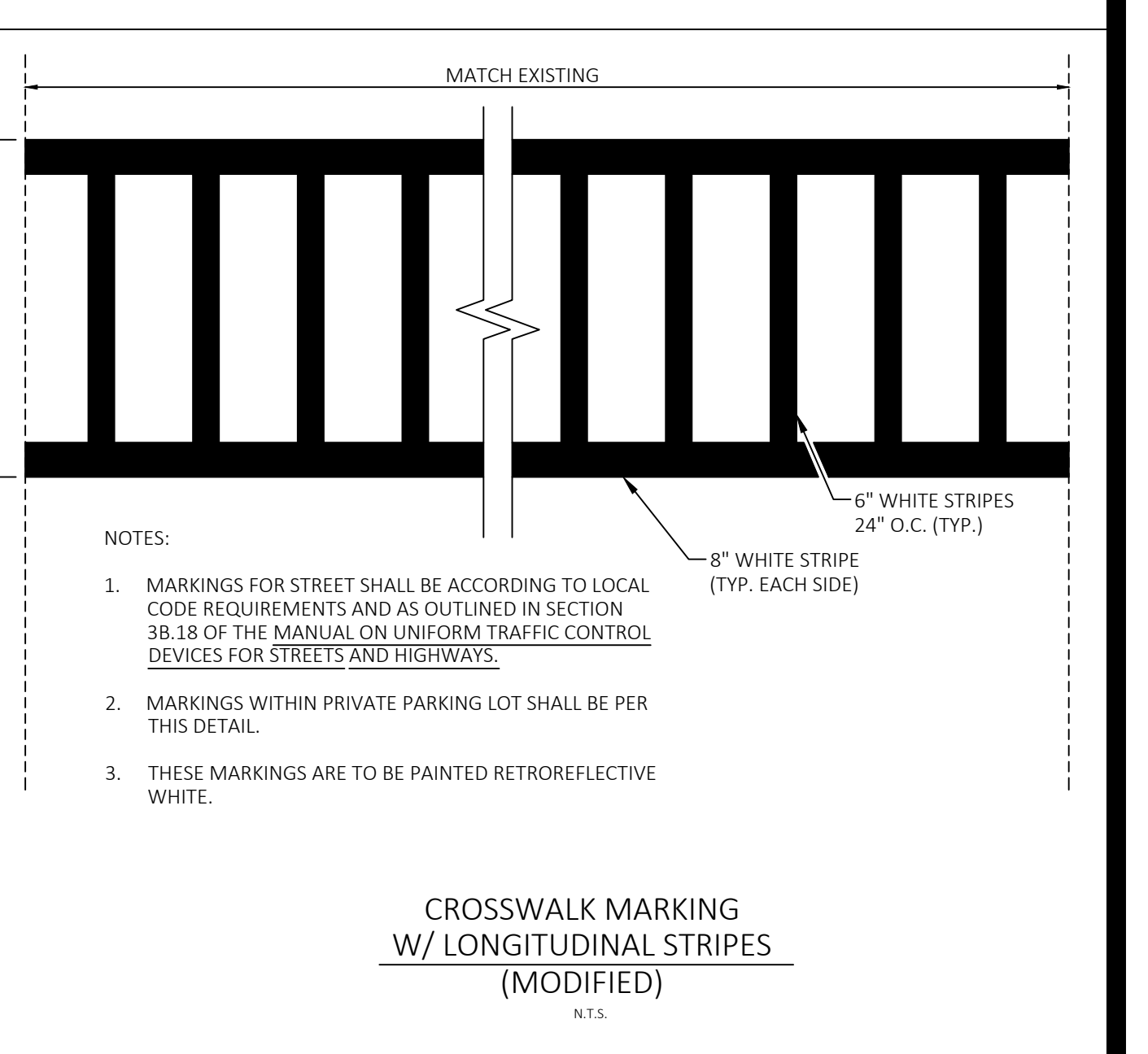
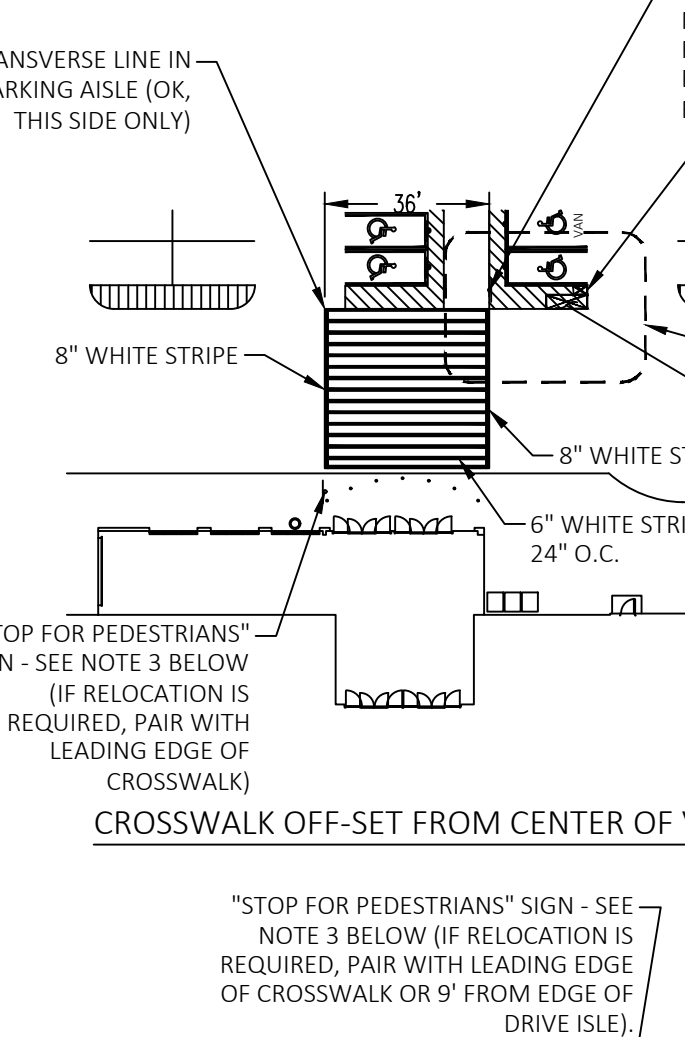
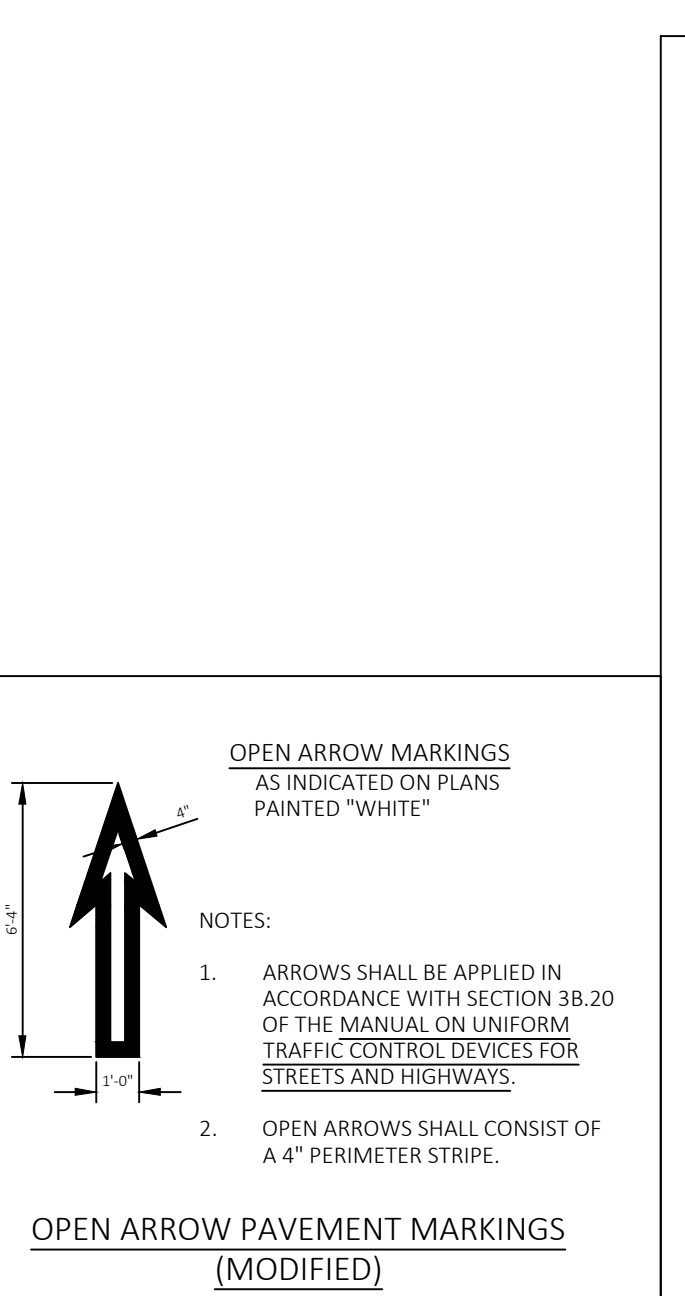
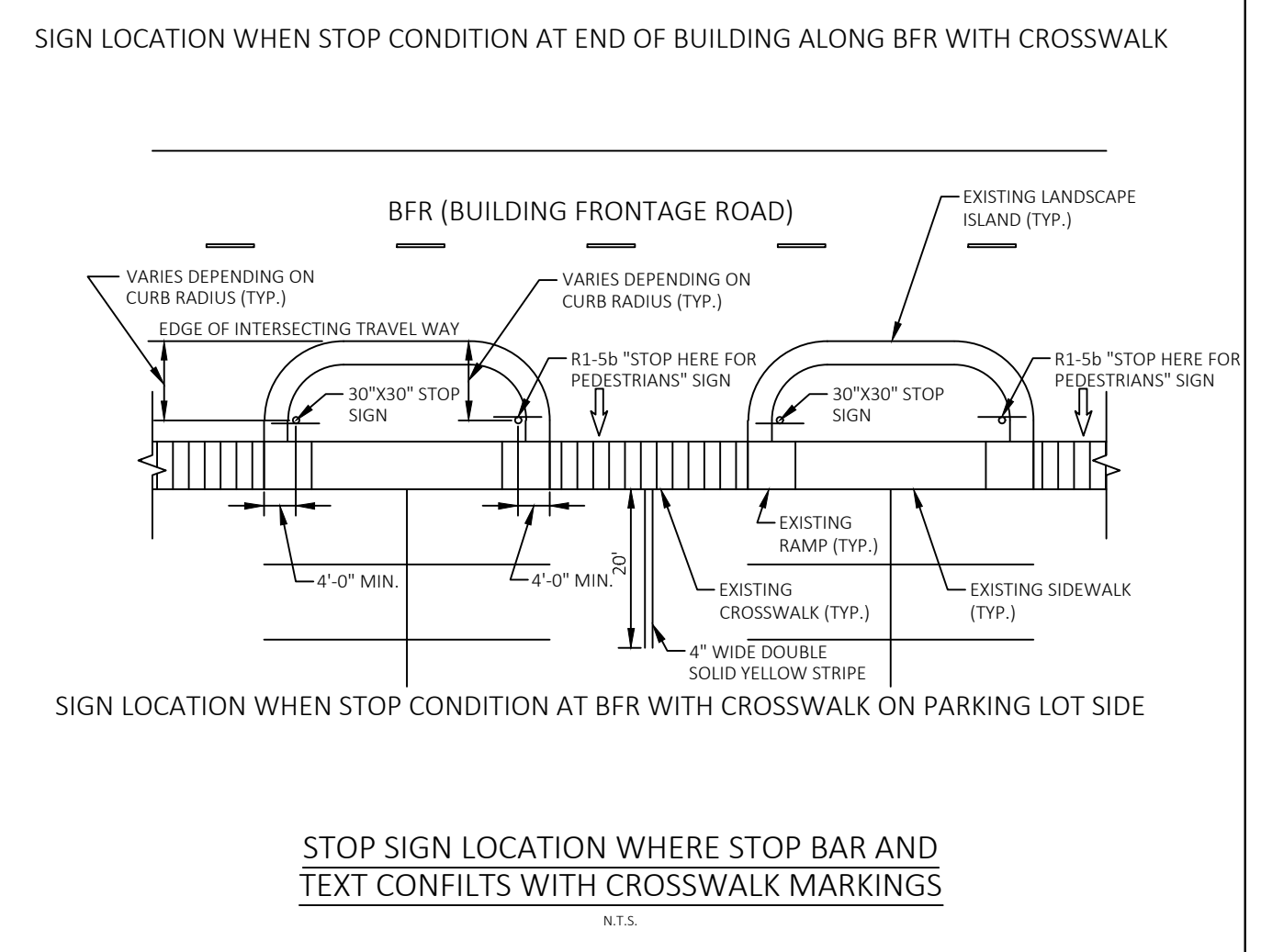
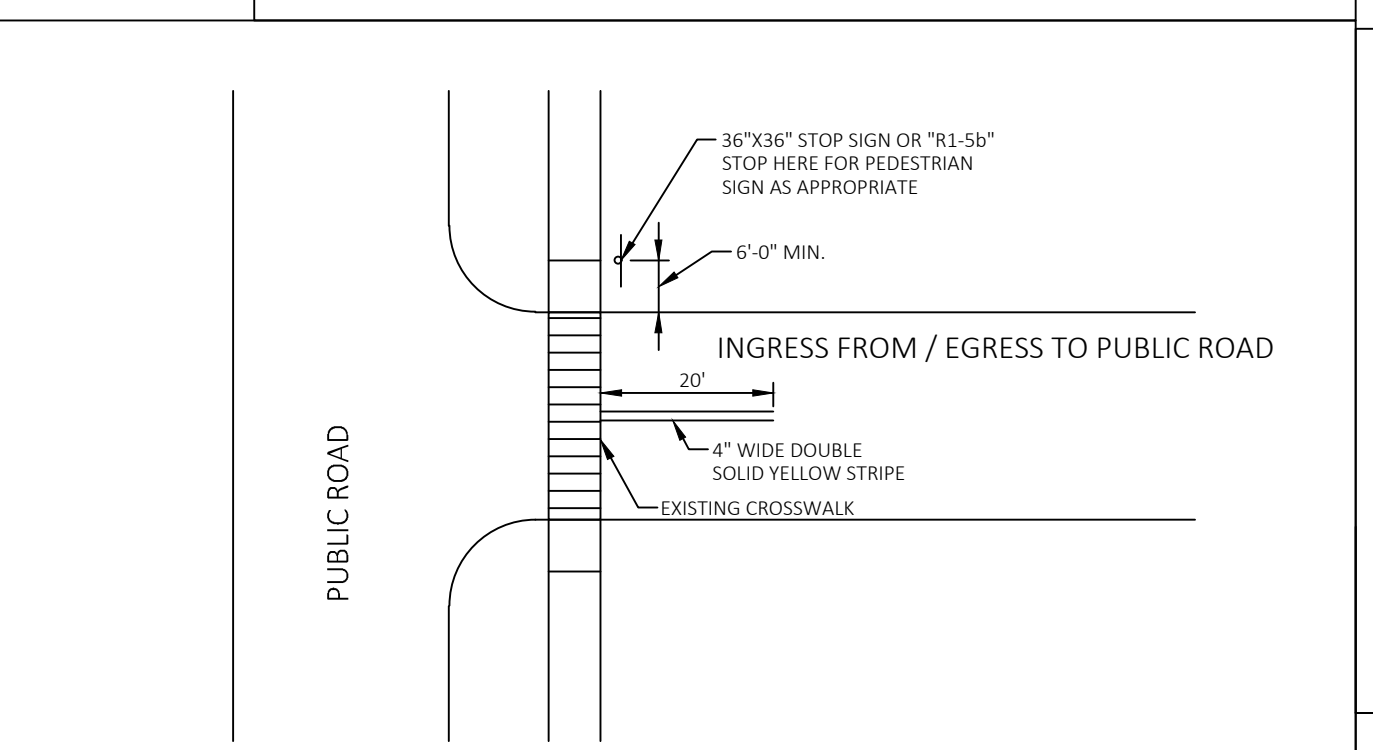
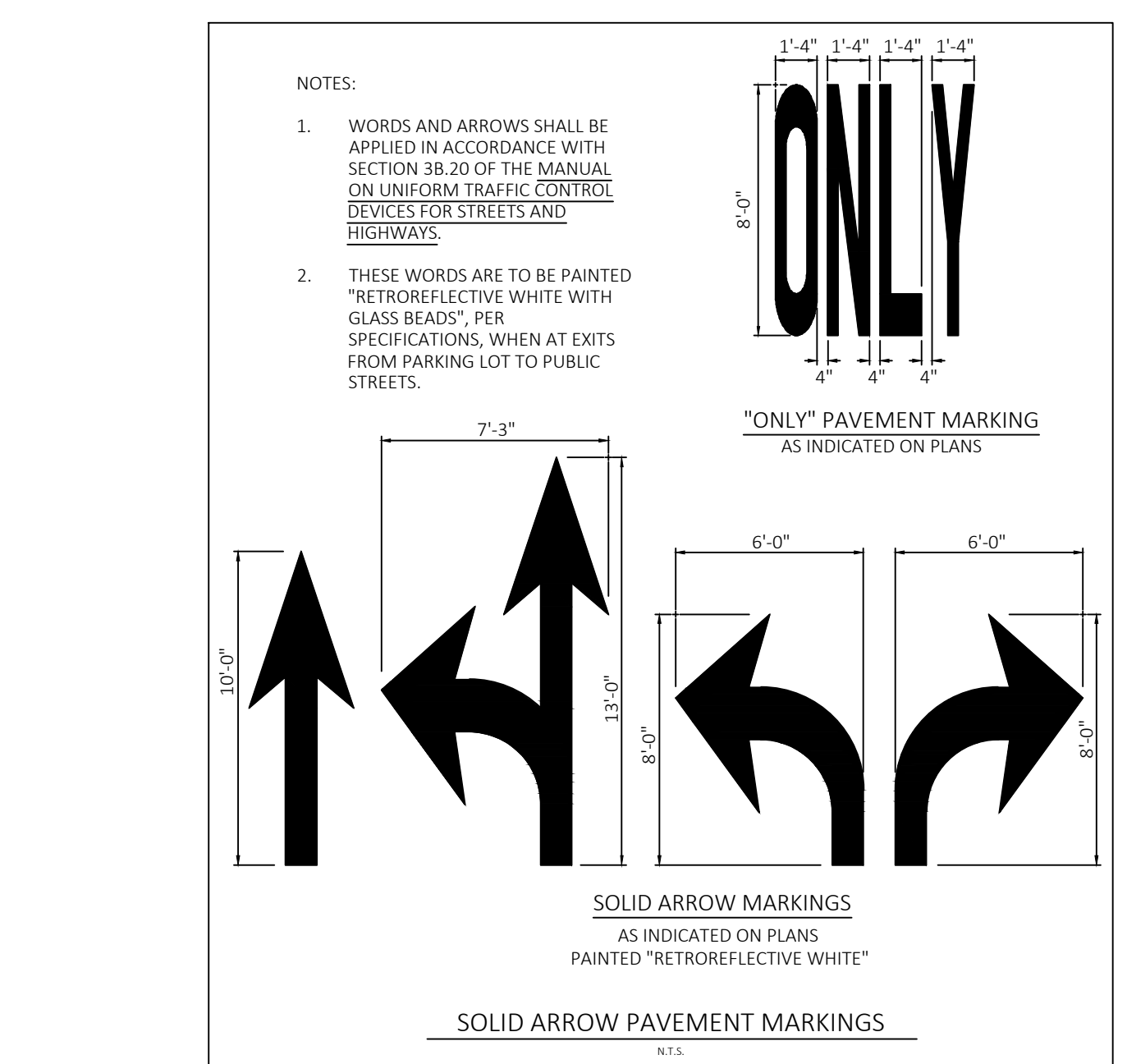
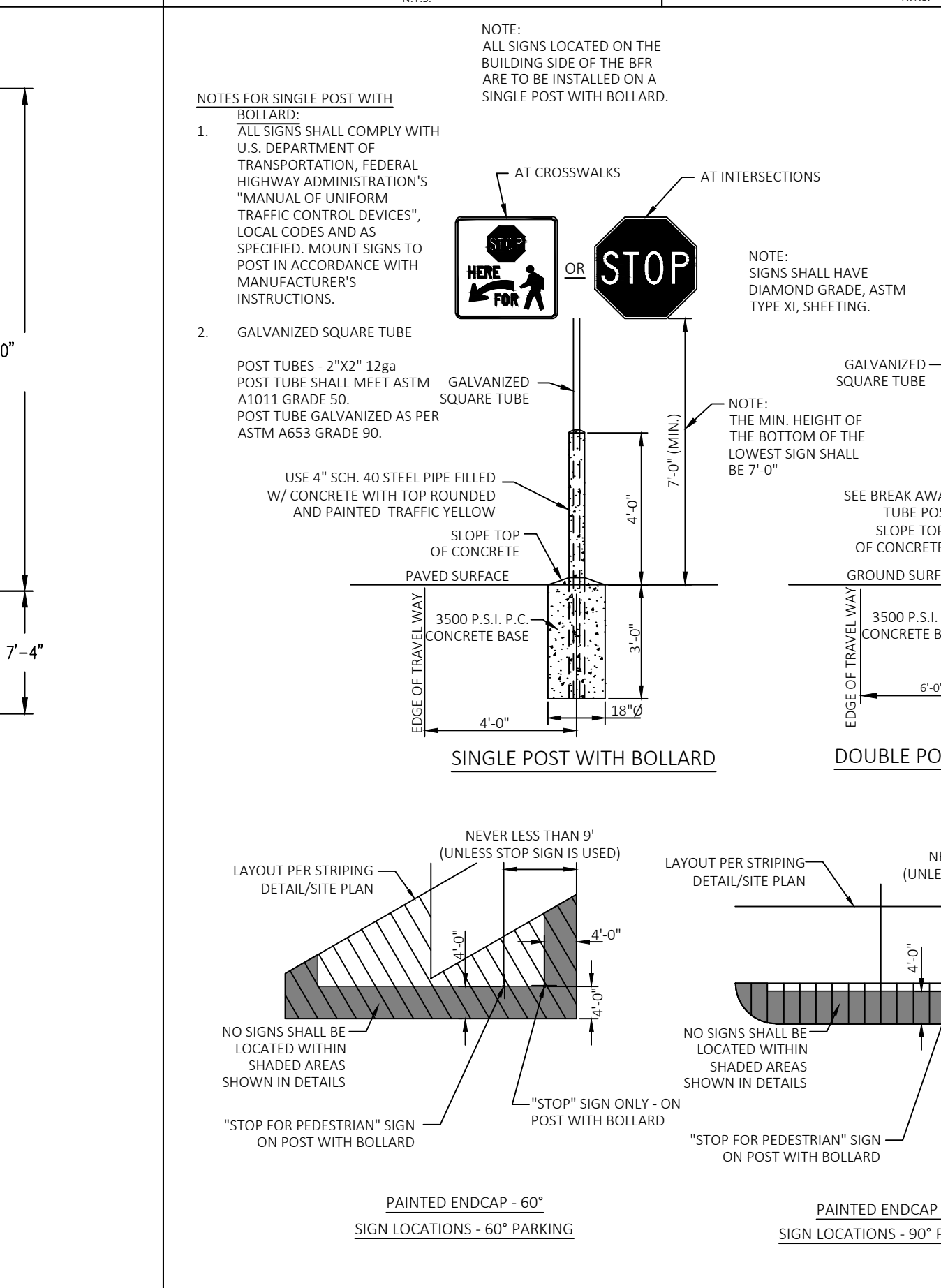
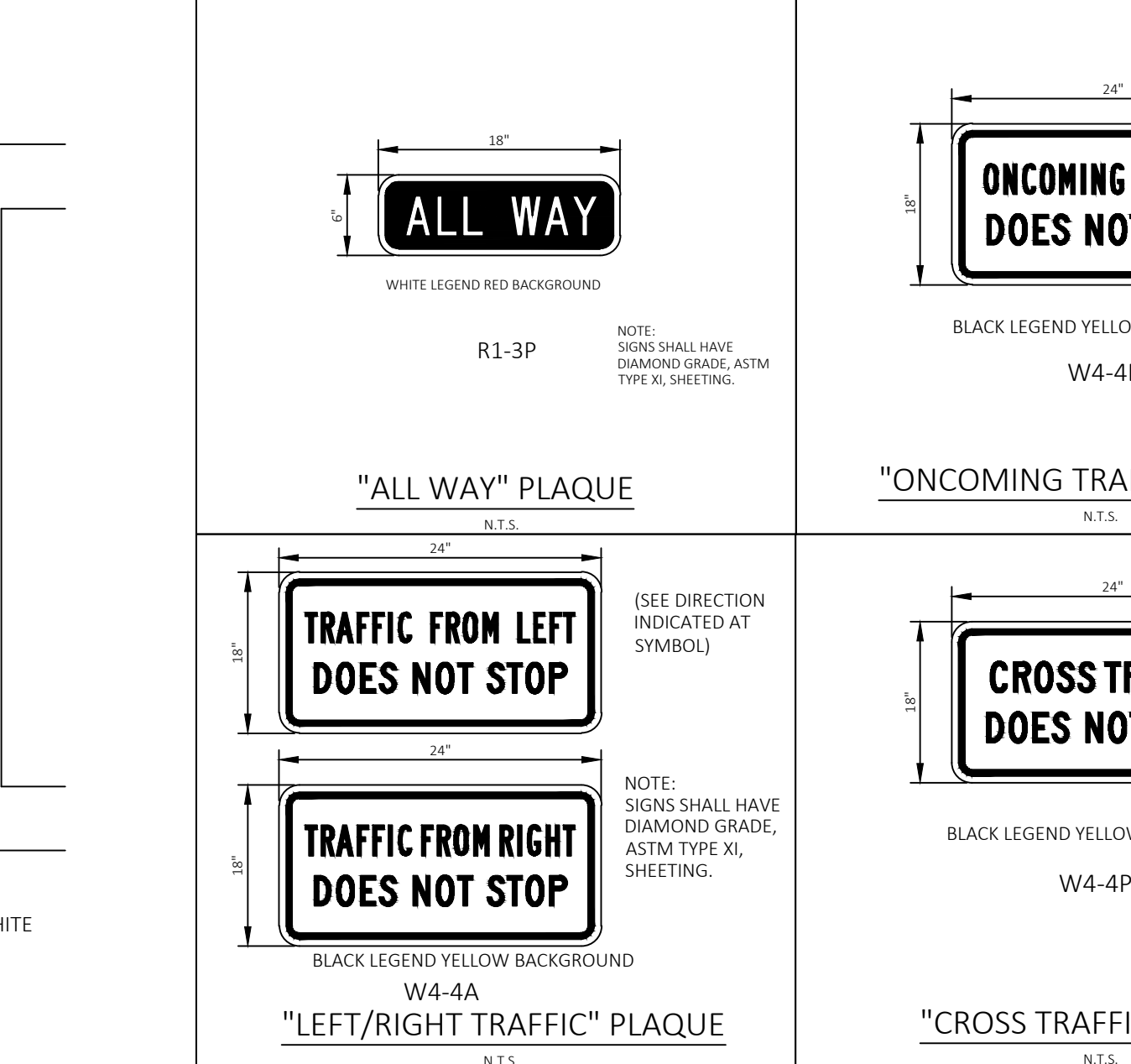
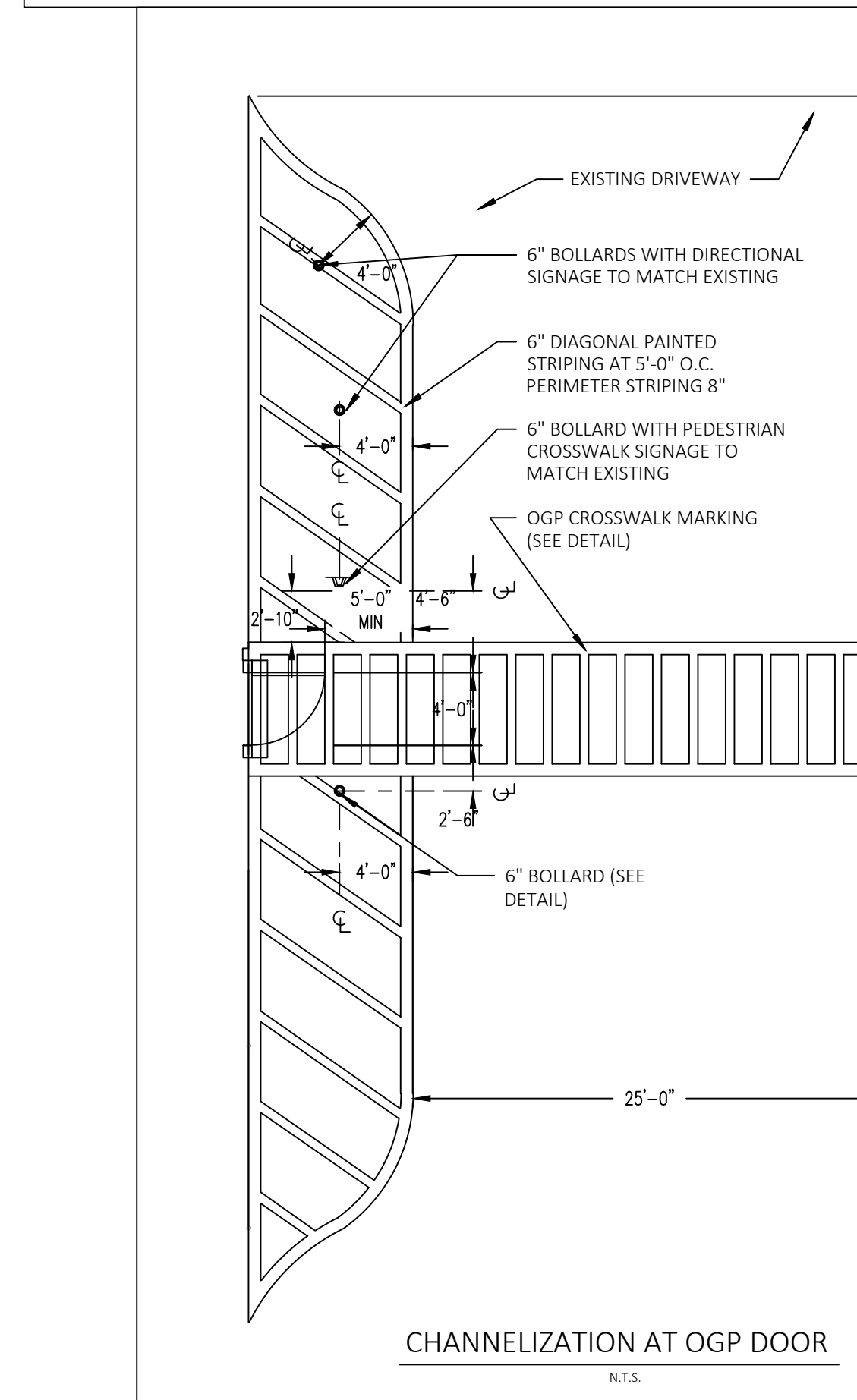
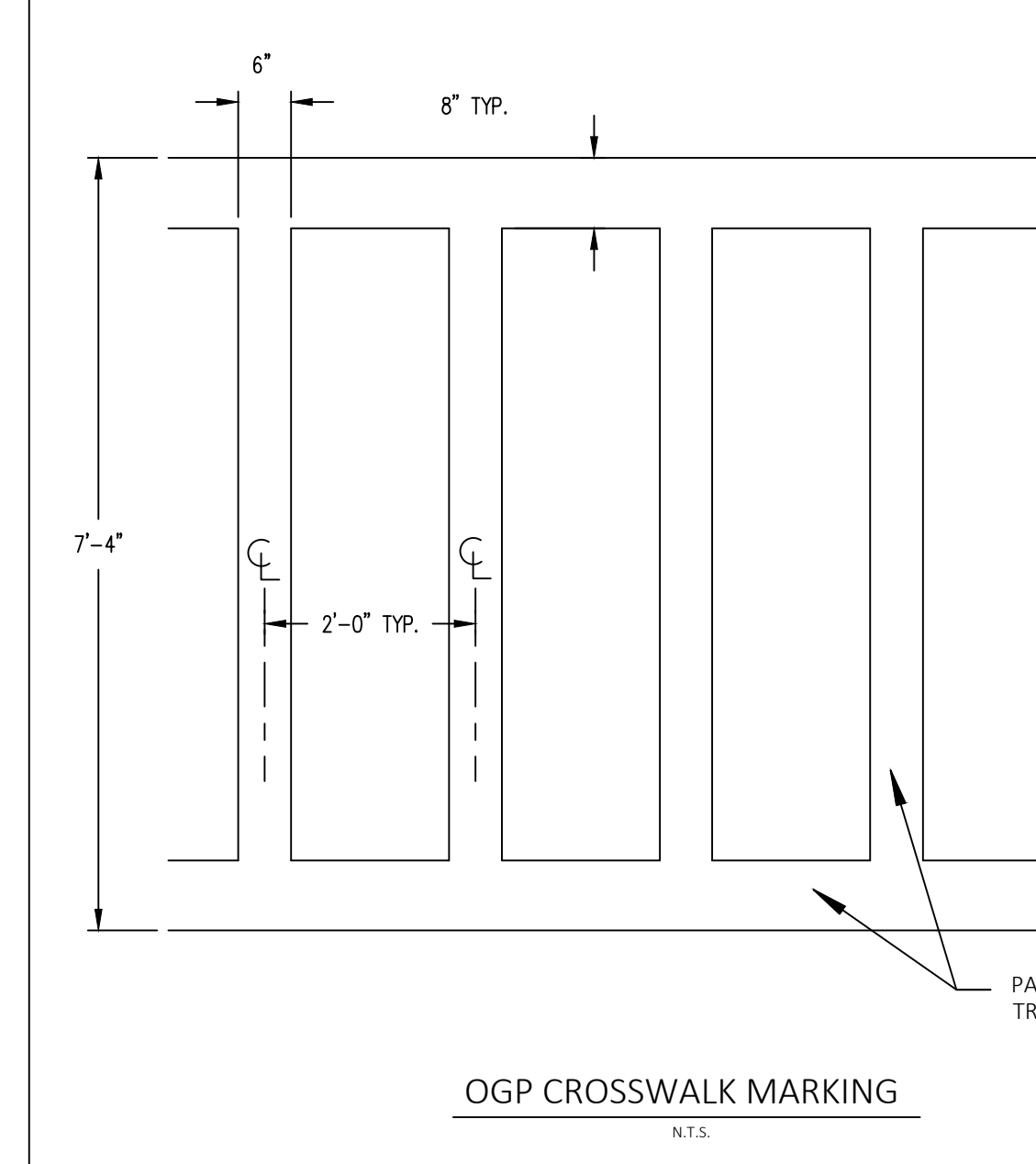
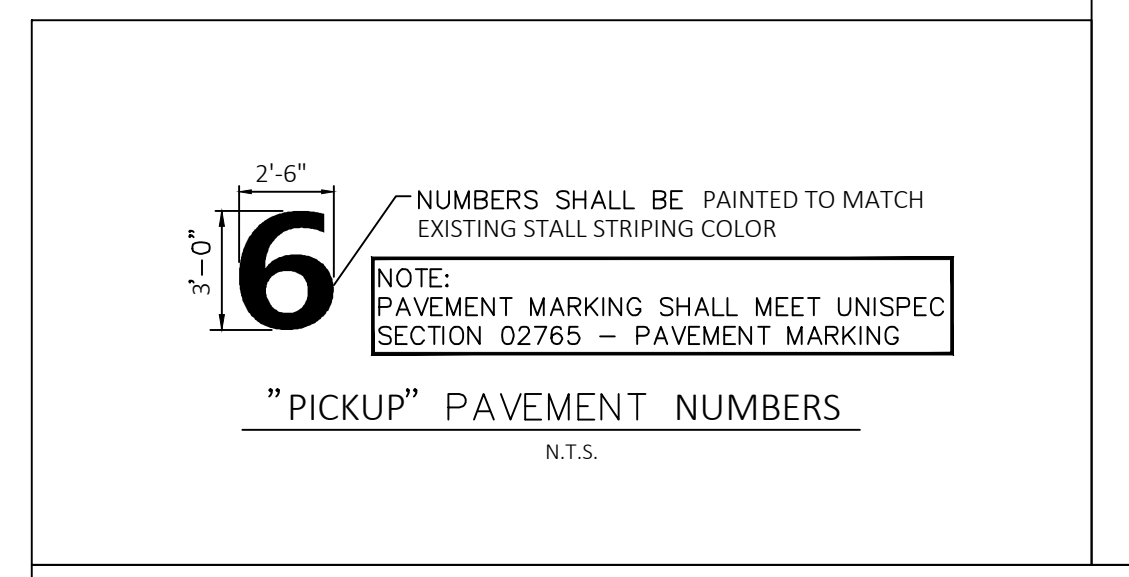
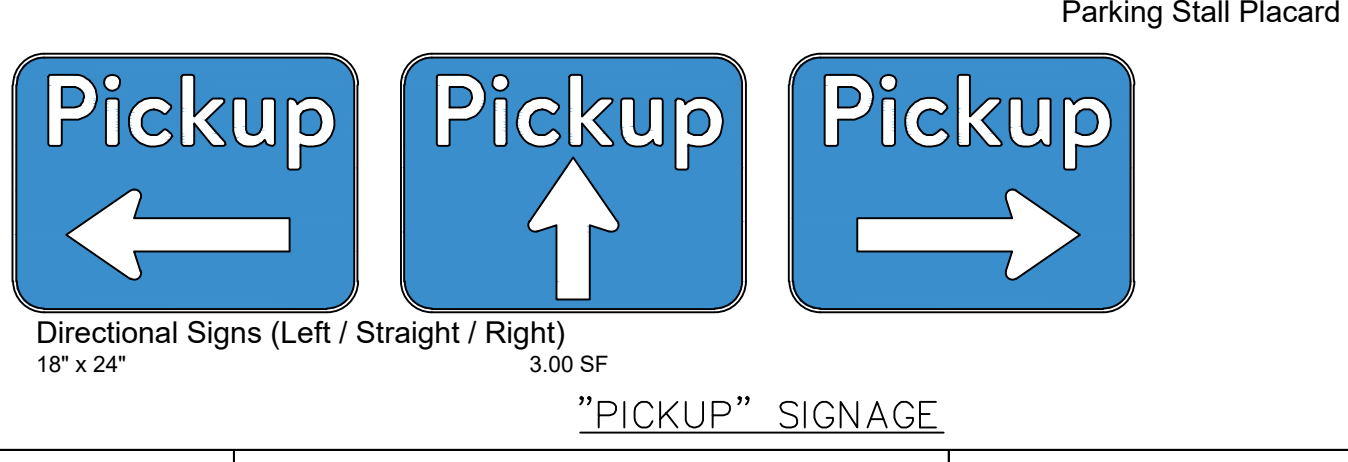
Stall Designation Signs
18" x 18" 2.25 SF

Logo Signs (Large)
Also Pickup Hours sign size
36" x 18"

Logo Signs (Small)
18" x 8" 1.00 SF

Call In Sign
18" x 8" 1.00 SF

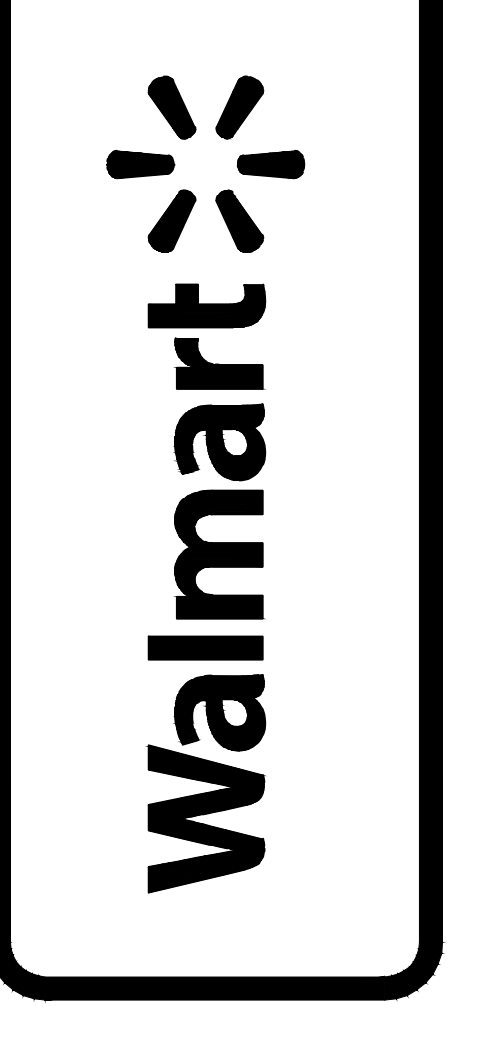
Parking Stall Placard
Reserved
1
For photos, please call: 555-555-5555



REVISIONS	BY

Galloway
25037
BRANDON ALLEY
PROFESSIONAL ENGINEER
03/26/2021

SUPERCENTER #00831-217
301 SAN MATEO BOULEVARD
ALBUQUERQUE (ZUNI), BERNALILLO COUNTY, NEW MEXICO
WAL-MART STORES, INC.
BENTONVILLE, AR



DRAWN	DJS
CHECKED	BDA
DATE	03/29/2021
SCALE	VARIABLES
JOB No.	SGA00831.20
SHEET	
SECPB/SSMB DETAILS	

SECP AND STOP SIGNS AND MARKINGS DETAIL SHEET

SITE DEMOLITION SPECIFICATION

PART 1 - GENERAL

1.1 SUMMARY

- A. Section Includes:
1. Demolition of structures, paving, and utilities.
2. Patching and filling voids created as a result of removals or demolition.

1.2 REGULATORY REQUIREMENTS

- A. Compliance with all laws, including Safety Laws, Environmental Laws, Stormwater Laws and Worker Verification Laws as well as requirements found within the Contract Documents and these Specifications, that pertain to Safety Compliance, Environmental Compliance, Stormwater Compliance and Worker Verification Compliance.
B. Notify affected utility companies before starting work and comply with their requirements.
C. Do not close or obstruct public or private roadways, sidewalks, or fire hydrants without appropriate permits or written authorization.
D. If hazardous, contaminated materials or other environmental related conditions are discovered, stop work immediately and notify the Wal-Mart Construction Manager for action to be taken.

1.3 PROJECT CONDITIONS

- A. Conditions existing at time of inspection for bidding purposes will be maintained by Owner as reasonably practical.
B. Unless otherwise indicated in Contract Documents or specified by the Owner, items of salvageable value to Contractor shall be removed from site and structures. Storage or sale of removed items on site will not be permitted and shall not interfere with other work specified.

PART 2 - PRODUCTS

2.1 FILL MATERIALS

- A. Fill material shall be aggregate fill materials consisting of stone, gravel, or sand free from debris, trash, frozen materials, roots, and other organic matter.

2.2 CONCRETE

- A. Mix concrete and deliver in accordance with ASTM C 94.
B. Design mix to produce normal weight concrete consisting of Portland cement, aggregate, water reducing admixture, air entraining admixture, and water to produce following:
1. Compressive Strength: 3,500 psi, minimum at 28 days, unless otherwise indicated on the Drawings.
2. Slump Range: 1 to 3-inches at time of placement
3. Air Entrainment: 5 to 8 percent

PART 3 - EXECUTION

3.1 PREPARATION

- A. Provide, erect, and maintain erosion control devices, temporary barriers, and security devices at locations indicated on Construction Drawings.
B. Protect existing landscaping materials, appurtenances, and structures, which are not to be demolished.
C. Prevent movement or settlement of adjacent structures.
D. Mark location of utilities.
E. For work on operating Walmart sites, prior to any underground excavation, contractor is expected to obtain current and representative underground utility plans from Walmart for private utilities that are not located by others.
F. Notify adjacent property owners of work that may affect their property, potential noise, utility outages, or other disruptions.

3.2 GENERAL DEMOLITION REQUIREMENTS

- A. Conduct demolition to minimize interference with adjacent structures or pavements to remain.
B. Cease operations immediately if adjacent structures appear to be in danger.
C. Conduct operations with minimum of interference to public or private access.
D. Sprinkle work with water to minimize dust.
E. Comply with governing regulations pertaining to environmental protection.
F. Clean adjacent structures and improvements of dust, dirt, and debris caused by demolition operations.

3.3 DEMOLITION

- A. Demolish site improvements designated to be removed as shown on the drawings.
B. Disconnect and cap or remove utilities to be abandoned as shown on the drawings.
C. Fill or remove piping and appurtenances as shown.
D. Demolish concrete and masonry in small sections.

3.4 PATCHING

- A. Where improvements are removed from paved areas, pavements shall be sawcut in straight lines at the perimeter and patched.
B. Pavement patches shall be paved with minimum 6" concrete, broom finished and flush with adjacent grades.

3.5 FILLING VOIDS

- A. Completely fill below grade areas and voids resulting from demolition or removal of structures, etc., using aggregate fill materials consisting of stone, gravel, or sand free from debris, trash, frozen materials, roots, and other organic matter.
B. Areas to be filled shall be free of standing water, frost, frozen or unsuitable material, trash, and debris prior to fill placement.
C. Place fill materials in lifts not to exceed 6 inches loose measure and compacted to 95 percent of maximum laboratory density per ASTM D698 with moisture content of not less than 1 percent below and not more than 3 percent above optimum moisture content.
D. Grade surface to match adjacent grades and to provide flow of surface drainage after fill placement and compaction.

3.6 DISPOSAL OF DEMOLISHED MATERIALS

- A. Remove from site debris, rubbish, and other materials resulting from demolition operations.
B. No burning of any material, debris, or trash on site or off site will be allowed.
C. Transport materials removed from demolished structures with appropriate vehicles and dispose off-site to areas that are approved for disposal by governing authorities and appropriate property owners.

END OF SECTION

PAVEMENT MARKINGS SPECIFICATION

PART 1 - GENERAL

1.1 SUMMARY

- A. Section Includes:
1. Painting and marking of pavements, curbs, and guard posts (bollards).

1.2 REFERENCES

- A. The publications listed below form a part of this specification to the extent referenced.
B. American Association of State Highway and Transportation (AASHTO):
1. AASHTO M247 - Glass Beads Used in Traffic Paints
2. AASHTO M248 - Ready-Mixed White and Yellow Traffic Paints
C. Master Painter's Institute (MPI):
1. MPI 32 - Traffic Marking Paint, Solvent Based.
2. MPI 97 - Traffic Marking Paint, Latex.
D. ASTM International (ASTM):
1. ASTM D4414 - Standard Practice for Measurement of Wet Film Thickness by Notched Gauges.
E. Federal Specifications (FS):
1. FS A-A-2886 - Paint, Traffic, Solvent Based (supersedes FS TT-P-85 and FS TT-P-115, Type I)
2. FS TT-B-1325 - Beads (Glass Spheres) Retro-Reflective
3. FS TT-P-1952 - Paint, Traffic And Airfield Marking, Waterborne

1.3 PROJECT CONDITIONS

- A. Maintain access for vehicular and pedestrian traffic as required for other construction activities. Utilize flagmen, barricades, warning signs, and warning lights as required.

PART 2 - PRODUCTS

2.1 MATERIALS

- A. Paint shall be waterborne or solvent borne, colors as shown or specified herein.
B. Waterborne Paint: Paints shall conform to FS TT-P-1952 and have MPI 97 approval.
C. Solvent Borne Paint: Paint shall conform to FS A-A-2886 or AASHTO M248 and have MPI 32 approval.
D. Glass Beads: AASHTO M 247, Type I or FS TT-B-1325, Type I, Gradation A.

PART 3 - EXECUTION

3.1 EXAMINATION

- A. Examine the work area and correct conditions detrimental to timely and proper completion of the work. Do not proceed until unsatisfactory conditions are corrected.

3.2 PREPARATION

- A. Sweep and clean surface to eliminate loose material and dust.
B. Where existing pavement markings are indicated on Construction Drawings to be removed or would interfere with adhesion of new paint, a motorized abrasive device or soda blasting shall be used to remove the markings.

3.3 CLEANING EXISTING PAVEMENT MARKINGS

- A. Remove existing pavement markings which are in good condition but interfere or conflict with the newly applied marking patterns and as noted on plans.
B. Deteriorated or obscured markings that are not misleading or confusing or do not interfere with the adhesion of the new marking material do not require removal.
C. Regulatory Compliance Supplement for management and disposal of hazardous wastes.

3.4 APPLICATION

- A. Apply two coats of same color of paint as specified below, at manufacturer's recommended rate, without addition of thinner, with maximum of 100 square feet per gallon or as required to provide a minimum wet film thickness of 15 mils and dry film thickness of 7 1/2 mils per coat.
B. Install pavement markings according to manufacturer's recommended procedures for the specified material.
C. Following items shall be painted with colors noted below:
1. Pedestrian Crosswalks: White
2. Exterior Sidewalk Curbs and Guard posts: Yellow
3. Exterior Light Pole Bases: Yellow (unless otherwise noted on Construction Detail).
4. Fire Lanes: Red or per local code.
5. Lane Striping where separating traffic moving in opposite directions: Yellow.
6. Lane Striping where separating traffic moving in the same direction: White.
7. ADA Symbols: Blue or per local code.
8. ADA parking space markings as shown on the drawings.
9. Parking Stall Striping: Yellow, unless otherwise noted on Construction Drawings.
10. Associate Parking Area: White, unless otherwise noted on Construction Drawings.
D. Apply glass beads at pedestrian crosswalk striping and at lane striping and arrows at driveways connecting to public streets.

3.5 FIELD QUALITY CONTROL

- A. Field quality control shall be the responsibility of the Contractor. Field quality control testing and inspection shall be at the discretion of the Contractor as necessary to assure compliance with Contract requirements.

3.6 CLEANING

- A. Waste materials shall be removed at the end of each workday. Upon completion of the work, all containers and debris shall be removed from the site. Paint spots upon adjacent surfaces shall be carefully removed by approved procedures that will not damage the surfaces and the entire job left clean and acceptable.

END OF SECTION

TRAFFIC SIGNS AND SIGNALS SPECIFICATION

PART 1 - GENERAL

1.1 SUMMARY

- A. Section Includes:
1. Traffic control signs.
B. Related Requirements:
1. Section 09900 - Painting. Painting for painted posts where shown on the Drawings.

1.2 REFERENCES

- A. The publications listed below form a part of this specification to the extent referenced.
B. ASTM International (ASTM):
1. ASTM A53 - Pipe, Steel, Black and Hot_Dipped, Zinc_Coated Welded and Seamless.
2. ASTM C94 - Ready Mix Concrete
3. ASTM D4956 - Retroreflective Sheeting for Traffic Control.
C. US Department of Transportation, Federal Highway Administration:
1. Manual on Uniform Traffic Control Devices (MUTCD).

PART 2 - PRODUCTS

2.1 SIGNS

- A. Conform to US Department of Transportation MUTCD. Sign classification, type, size, and color shall be as shown on the drawings
B. Retroreflectivity: Microprismatic type, diamond grade reflective sheeting conforming to ASTM D 4956, Type XI.

2.2 POSTS

- A. Square Post: Square tubular steel sign post, galvanized, 12 ga, perforated full-length with 7/16 inch holes on four sides. Post size shall be as shown on the Drawings.
B. Steel Pipe: ASTM A 53, Type E (electric-resistance welded) or Type S (seamless), Grade B, Schedule 40, size as shown on the Drawings.

2.3 CONCRETE

- A. Mix concrete and deliver in accordance with ASTM C 94.
B. Design mix to produce normal weight concrete consisting of Portland cement, aggregate, water reducing admixture, air entraining admixture, and water to produce following:
1. Compressive Strength: 3,500 psi, minimum at 28 days, unless otherwise indicated on the Drawings.
2. Slump Range: 1 to 3-inches at time of placement
3. Air Entrainment: 5 to 8 percent

PART 3 - EXECUTION

3.1 PREPARATION

- A. Field verify underground utilities prior to sign installation. Primary utilities of concern of shallow depths are lawn sprinkler systems, electric, telephone, fiber optic, cable and gas.

3.2 INSTALLATION

- A. Install signs as shown on the Drawings and in accordance with MUTCD and manufacturer's instructions.
B. Install signs of the type and at locations shown on the Drawings.
C. Install posts of the type as shown on the drawing.
D. Where shown as painted, field paint steel pipe posts in accordance with Section 09900.

END OF SECTION

SEAL COAT SHALL BE APPLIED WHERE EXISTING MARKINGS ARE REMOVED.

SMALL PROJECT SEAL COAT SPECIFICATION:

IN GENERAL:

- CRACK FILLING AND OIL SPOT TREATMENTS ARE NOT REQUIRED PRIOR TO SEAL COAT. OTHER THAN THESE EXCEPTIONS, PREPARE AND CLEAN AREA TO BE SEAL COATED CONSISTENT WITH MANUFACTURER'S INSTRUCTIONS AND SPECIFICATION.

APPROVED MATERIALS:

- 1) STAR PRODUCTS
MICRO-PAVE PRO-BLEND WITH ADDED SAND
SINGLE COAT
2) SEAL MASTER
POLYMER MODIFIED MASTERSEAL WITH ADDED SAND
SINGLE COAT
3) GEM SEAL BLACK DIAMOND XL
WITH ADDED SAND
SINGLE COAT

MATERIALS IDENTIFIED IN SPECIFICATION SECTION 02787 CAN BE USED. COAL TAR BASED SEAL COAT MATERIALS IN ANY FORM ARE PROHIBITED.

Table with 2 columns: REVISIONS, BY. Multiple empty rows for revision tracking.



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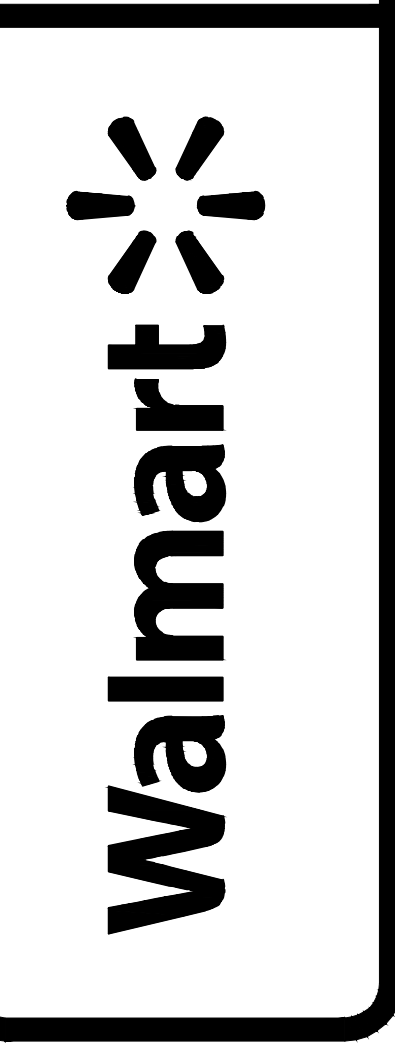


Table with 2 columns: DRAWN, DIS, CHECKED, BDA, DATE, SCALE, VARIES, JOB No., SHEET. Values: 03/29/2021, SGA00831.20

SPECIFICATIONS SHEET

CSS-1B

SEAL COAT SPECIFICATION
PART 1 - GENERAL

1.1 SUMMARY

- A. Section Includes:
1. Seal coats using a polymer-modified asphalt emulsion blended with fine aggregate.
- B. Related Requirements:
1. Site Demolition Specification
 2. Pavement Markings Specification
 3. Traffic Signs and Signals Specification

1.2 REFERENCES

- A. The publications listed below form a part of this specification to the extent referenced. Publications are referenced within the text by the basic designation only.
- B. ASTM International (ASTM)
1. ASTM C 136 - Method of Sieve Analysis of Fine and Coarse Aggregate
 2. ASTM D 217 - Method for Cone Penetration of Lubricating Grease
 3. ASTM D 244 - Test Methods for Emulsified Asphalts
 4. ASTM D 562 - Method for Consistency of Paints Measuring Krebs Unit (KU) Viscosity Using a Stormer-Type Viscometer
 5. ASTM D 977 - Emulsified Asphalt
 6. ASTM D 2397 - Cationic Emulsified Asphalt
 7. ASTM D 2042 - Method for solubility of Asphalt Materials in Trichloroethylene
 8. ASTM D 3910 - Practice for Design, Testing, and Construction of Slurry Seal
 9. ASTM D 6690 - Joint and Crack Sealants, Hot Applied, for Concrete and Asphalt Pavements

1.3 ADMINISTRATIVE REQUIREMENTS

- A. Pre-installation Meeting: Convene a pre-installation meeting at the site at least two weeks prior to commencing work of this Section. Require attendance of parties directly affecting work of this Section, including, but not limited to, the store manager, Contractor, and job foreman.
1. Contact Wal-Mart Construction Manager three weeks prior to pre-installation conference to confirm schedule.
 2. Record discussions of meeting and decisions, agreements reached, and furnish copy of record to each party attending. Review foreseeable methods and procedures related to paving work, including the following:
 - a. Review preparation and installation procedures and coordinating and scheduling required with related work (including all required striping).
 - b. Review proposed sources of materials.
 - c. Tour, inspect, and discuss condition of existing pavement and other preparatory work such as patching and crack sealing. If crack sealing is needed (reference section 2.4.C below) or other areas of pavement distress are noted during tour, submit appropriate RFI to project team for review.
 - d. Review requirements for protecting paving work, including restriction and redirection of traffic during installation and curing period.
 - e. Review and finalize construction schedule and verify availability of materials, installer's personnel, equipment, traffic control devices, and facilities needed to make progress and avoid delays.
 - f. Review paving requirements (drawings, specifications, and other contract documents).
 - g. Review weather and forecasted weather conditions, and procedures for coping with unfavorable conditions.
 - h. Review health and safety precautions relating to handling and placement of seal coat.

1.4 QUALITY ASSURANCE

- A. Contractor Qualifications: The seal coat applicator shall have not less than 3 years documented experience in the application of emulsion seal coats.

1.5 SITE CONDITIONS

- A. Weather Limitations: Apply seal coat only under the following weather conditions:
1. The atmospheric temperature is between 50 and 90 F and is expected to remain above 50 F for 24 hours.
 2. Pavement temperature is above 55 F.
 3. Surface is dry and no moisture is expected within 24 hours.
 4. Weather and wind conditions are such that overspray is preventable and will allow proper curing and opening to traffic within a reasonable time.
- B. Maintain access for vehicular and pedestrian traffic as required by the Wal-Mart Store and Construction Manager. Utilize temporary striping, flagmen, barricades, warning signs, and warning lights as required.

PART 2 - PRODUCTS

2.1 MATERIALS

- A. Aggregate: Aggregate shall be 100 percent passing the No. 16 (1.18 mm) sieve when tested in accordance with ASTM C 136. Aggregate shall consist of hard, washed, dry natural or manufactured particles free of dust, trash, clay, organic materials or other contaminants.
- B. Asphalt Emulsion: Comply with ASTM D977 or ASTM D2397 for SS-1h or CSS-1h. The penetration of the residue from the distillation test shall be 20 to 60. Clay stabilized emulsion, with a pH not greater than 7.0, and solids content not less than 45 percent may be used. The polymer material shall be milled or blended into the asphalt or emulsifier solution prior to the emulsification process. The minimum amount and type of polymer modifier shall be determined by the laboratory performing the mix design.
- C. Coal Tar: Coal tar emulsion or coal tar/asphalt emulsion shall not be used as a substitute for asphalt emulsion.
- D. Water: Water shall be potable and free of harmful soluble salts or reactive chemicals and any other contaminants and at least 50 F.
- E. Additives: Additives shall be included and approved as part of the mix design and be compatible with the other components of the mix.
- F. Crack Sealant: Crack sealant shall conform to ASTM D6690, Type II or higher and compatible with the specified seal coat emulsion.

2.2 COMPOSITION

- A. Composition. Seal coat shall consist of a mixture of the specified emulsion, water, aggregate, and additives and be proportioned to meet the requirements shown in the following Table 1.

TABLE 1 - Undiluted Seal Coat Design Properties

Method	Minimum	Maximum
Weight (per gallon), ASTM D 244, lbs	9.0	
Cone Penetration, ASTM D 217, mm	340	700
% Non-Volatile ¹	50	
% Non-Volatile Residue Soluble in Trichloroethylene, ASTM D 2042	10	35
Wet Track Abrasion Loss, ASTM D 3910, g		35
Viscosity, ASTM D 562, KU	75	
Dried Film Color	Black	

¹Weigh 10 g of homogeneous product into a previously tared, small ointment can. Place in an oven at 325°F for 90 minutes. Cool, reweigh and calculate non-volatile residue as a percent of the original mass.

2.3 EQUIPMENT

- A. Distributors. Distributors or spray units used for the spray application of the seal coat shall be self-propelled and capable of uniformly applying 0.10 to 0.30 gallons per square yard of material over the required width of application. Distributors shall be equipped with tachometers, pressure gauges, and volume measuring devices. The mix tank shall have a mechanically powered, full sweep, mixer with sufficient power to move and homogeneously mix the entire contents of the tank.
- B. Spray Nozzles. Nozzles shall be free from clogs and debris and set at the same angle.
- C. Mixing Equipment. The mixing machine shall have a continuous flow mixing unit capable of accurately delivering a predetermined proportion of aggregate, water, and emulsion, and of discharging the thoroughly mixed product on a continuous basis. The mixing unit shall be capable of thoroughly blending all ingredients together and discharging the material without segregation.
- D. Spreading Equipment. Spreading equipment shall be a mechanical type squeegee/brush distributor attached to the mixing machine, equipped with flexible material in contact with the surface to prevent loss of slurry from the spreader box. It shall be maintained to prevent loss of slurry on varying grades and adjusted to assure uniform spread. There shall be a lateral control device and a flexible strike off capable of being adjusted to lay the slurry at the specified rate of application. The spreader box shall have an adjustable width. The box shall be kept clean. Emulsion and aggregate build up on the box shall not be permitted.
- E. Clean equipment with a petroleum solvent if previously used with a different material.
- F. Hand Squeegee or Brush Application. Hand spreading application shall be used only in places not accessible to the mechanized equipment or to accommodate neat trim work at curbs, etc. Material that is applied by hand shall meet the same standards as that applied by machine.
- G. Calibration. Spreading equipment shall be provided with a method of calibration by the manufacturer. Equipment shall be calibrated to assure that it will produce and apply a mix that conforms to the job mix formula. Calibrations shall be made with the approved job materials prior to application of the seal coat.

2.4 PREPARATION

- A. Remove all existing striping in areas subject to seal coating as noted in plans. Reference applicable specification section in Site Demolition.
- B. Remediate distressed areas of existing pavement by saw-cutting and removing existing pavement, regrading and compacting the underlying base course and replacing with full depth asphalt at locations and as shown on the drawings.
1. Repairs not specifically shown on the plans but considered necessary by the contractor, store manager or construction manager (CM) shall be identified and submitted as an RFI to the project team prior to commencement of repairs.
 2. Repairs submitted by RFI and approved shall be performed as directed by the CEC. Cost for such work directed and performed will be paid for in accordance with the "Changes in the Work" Clause of the General Conditions.
- C. Longitudinal and traverse cracks in excess of 0.25 inch, but less than 1 inch shall be sealed with a crack sealant. Cracks that contain weed or other live vegetable matter shall be treated with a locally approved, non-oil based sterilant prior to applying the crack filler.
- D. Existing crack sealants in the parking lot shall be evaluated for compatibility with the specified emulsion. If not compatible with each other they can't be used together. Immediately prior to applying the seal coat, the surface shall be cleared of all loose material, dirt, dust, grease, oil, vegetation and other objectionable material. If water is used, cracks shall be allowed to dry thoroughly before applying the seal coat.
- E. Protect existing manholes, inlets, vaults, valve boxes, meter boxes, etc. as necessary to maintain free accessibility upon completion of seal coat application. Surfaces adjacent to seal coat application areas such as sidewalks, curb and/or gutter, storefronts, etc. shall be protected by use of felt paper anchored with clean aggregate, or by shielding components with plywood during application.
- F. Coordinate limits of seal coat application operations with Owner's Construction Manager and Store Manager to avoid interruption to store operations. Protect adjacent areas of the parking lot outside of current seal coat application limits to avoid tracking onto adjacent areas. Partition off limits of current seal coat operations until surface is traffic ready.
- G. Coordinate with Store Manager to deactivate lawn sprinkler systems least 48 hours prior to placing the seal coat and remain off for at least 24 hours after the seal coat application.

2.5 APPLICATION

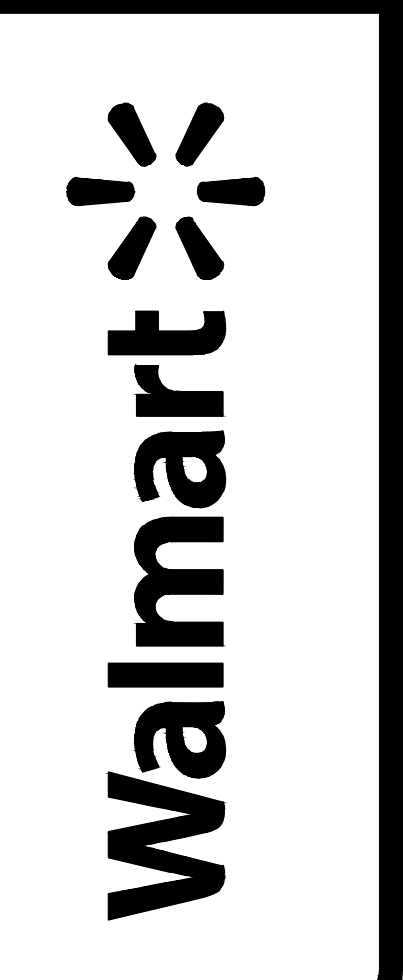
- A. Apply seal coat at a total rate (undiluted) of 0.17gal./SY.
- B. Dampen pavement with a fog spray of water if ambient temperatures exceed 80°F. No standing water shall remain on the surface.
- C. Apply the coat uniformly in a manner such that the combined application of the coat equals the total rate specified above.
- D. Suspend application when the distribution tank has less than 100 gallons left and refill to prevent irregular patterns or misses.
- E. The coat shall be allowed to dry and cure initially a minimum of 2-4 hours before applying any markings. The initial drying shall allow evaporation of water of the applied mixture, resulting in the coating being able to sustain light foot traffic. The initial curing shall enable the mixture to withstand vehicle traffic without damage to the seal coat.
- F. The finished surface shall present a uniform texture with no streaks.
- G. The single coat shall be allowed to dry a minimum of eight hours in dry daylight conditions before opening to traffic, and initially cure enough to support vehicular traffic without damage to the seal coat.
- H. Where marginal weather conditions exist during the eight hour drying time, additional drying time shall be allowed. The length of time shall be as specified by the supplier. The surface shall be checked after the additional drying time for trafficability before opening the section to vehicle traffic.

END OF SECTION

REVISIONS	BY



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CSS-2B



Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

SUBDIVISIONS	<input type="checkbox"/> Final Sign off of EPC Site Plan(s) (Form P2)	<input type="checkbox"/> Variance for Carport within setback(s) (Form V)
<input type="checkbox"/> Major - Preliminary Plat (Form P1)	<input checked="" type="checkbox"/> Amendment to Site Plan (Form P2) (FORM P3)	<input type="checkbox"/> Vacation of Public Right-of-way (Form V)
<input type="checkbox"/> Minor - Preliminary/Final Plat (Form S2)	MISCELLANEOUS APPLICATIONS	<input type="checkbox"/> Vacation of Public Easement(s) DRB (Form V)
<input type="checkbox"/> Major - Final Plat (Form S1)	<input type="checkbox"/> Extension of Infrastructure List (Form S1)	<input type="checkbox"/> Vacation of Private Easement(s) (Form V)
<input type="checkbox"/> Amendment to Preliminary Plat (Form S2)	<input type="checkbox"/> Amendment to Infrastructure List (Form P1)	PRE-APPLICATIONS
<input type="checkbox"/> Extension of Preliminary Plat (Form S1)	<input type="checkbox"/> Variance - Temporary Deferral of SW (Form P2)	<input type="checkbox"/> Sketch Plat Review and Comment (Form P2)
	<input type="checkbox"/> Variance - Sidewalk Waiver (Form V)	
SITE PLANS	<input type="checkbox"/> Variance to IDO (Form V)	APPEAL
<input type="checkbox"/> DRB Site Plan (Form P2)	<input type="checkbox"/> Variance to DPM (Form V)	<input type="checkbox"/> Decision of DRB (Form A)

BRIEF DESCRIPTION OF REQUEST

we are wanting to restripe some parking stalls for the online grocery pickup program.

APPLICATION INFORMATION

Applicant: Kristen Spillman	Phone: 413-236-3480
Address: 6700 Antioch Plaza, Ste 250	Email: kristen.spillman@hrv.com
City: MERRIAM	State: KS
Professional Agent (if any): LOCAL AGENT: GOLDEN ASSOCIATES LLC, BOB GOLDEN	Zip: 66204
Address: 7131 CROSSWINDS TRL NW	Phone: 505-898-0321
City: ALBUQUERQUE	State: NM
Proprietary Interest in Site: LOCAL CORRECTIONS TO SUBMITTAL	List all owners: WALMART STORES, BENTONVILLE, AR

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.: 1/A	Block: 21	Unit:
Subdivision/Addition: Walmart & valley view	MRGCD Map No.:	UPC Code: 101705748609742010
Zone Atlas Page(s): K-17-Z	Existing Zoning: C-2; MX-M	Proposed Zoning: NO CHANGE
# of Existing Lots: 1	# of Proposed Lots: NO CHANGE	Total Area of Site (acres): 17.61 acres

LOCATION OF PROPERTY BY STREETS SITE ADDRESS: 301 SAN MATEO BLVD SE, ABQ, NM 87108

Site Address/Street: on San Mateo	Between: Silver Ave	and: Highland Ave
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CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

01128-01407 (project 1001525); AA02AA-01385, 9-19-2002
1007935, 1009243, 1001620

Signature: <i>Kristen Spillman</i>	Date: 5/3/2019
Printed Name: Kristen Spillman	<input checked="" type="checkbox"/> Applicant or <input type="checkbox"/> Agent

FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees	Case Numbers	Action	Fees
SI-2019-00133	ASP	\$50.00			

Meeting/Hearing Date:	Fee Total: \$50.00
Staff Signature: <i>[Signature]</i>	Date: 5-15-19
	Project # PR-2019-002434



Planning Department
600 2nd NW
Albuquerque, NM 87102

Re: Walmart 0831 @ 301 San Mateo Blvd. SE Albuquerque, NM
BP-2019-14845

To Whom it may concern,

Walmart's Online Grocery Pickup (OGP) proposed scope of work includes ten (10) parking stalls to be used by customers who place their order by phone and arrive on site to receive their order. Customers do not exit their vehicle when they park as a Walmart associate has approximately five minutes to deliver the order to the waiting customer. Due to the typical 10'-0" OGP clear width stall, a net loss of four (4) existing parking stalls will be removed. Per the most current approved site plan, Sheet #4, dated 5/6/02, the Site Data information shows a minimum parking count requirement of 943 spaces, with 955 spaces provided. With a net loss of 4 existing spaces, the updated current parking count will now consist of 951 spaces. The Conditions noted in the Official Notification Of Decision, per File #01128-01407 (Project 1001525), dated 11/16/2001, are all still valid and will not be compromised regarding the proposed OGP scope of work.

Thank you,

Kristen Spillman
BRR Architecture
913-236-3480
Kristen.spillman@brrarch.com

www.brrarch.com

6700 Antioch Plaza, Suite 300, Merriam, KS 66204 MAIN 913.262.9095
Kansas City - Bentonville - Phoenix - San Francisco - Philadelphia - Atlanta - Austin - Miami - Los Angeles - Chicago

FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS

A single PDF file of the complete application including all plans and documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD.

INFORMATION REQUIRED FOR ALL ADMINISTRATIVE DECISIONS OR AMENDMENTS

- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled

ARCHEOLOGICAL CERTIFICATE

- Archaeological Compliance Documentation Form with property information section completed
- Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)

MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)
- Three (3) copies of all applicable sheets of the approved Site Plan being amended, folded
- Copy of the Official Notice of Decision associated with the prior approval
- Three (3) copies of the proposed Site Plan, with changes circled and noted
Refer to the Site Plan Checklist for information needed on the proposed Site Plan.

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-5. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.


MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(1)(a)
- Three (3) copies of all applicable sheets of the approved Site Development Plan being amended, folded
- Copy of the Official Notice of Decision associated with the prior approval
- Three (3) copies of the proposed Site Development Plan, with changes circled and noted
Refer to the Site Plan Checklist for information needed on the proposed Site Plan.

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-5. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

ALTERNATIVE SIGNAGE PLAN

- Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)
- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(F)(4)(c)
- Required notices with content per IDO Section 14-16-6-4(K)(6)
 - Office of Neighborhood Coordination notice inquiry response and proof of emailed notice to affected Neighborhood Association representatives
 - Sign Posting Agreement

<p><i>I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.</i></p>	
<p>Signature: <i>Kristen Spillman</i></p>	<p>Date: <i>5/3/19</i></p>
<p>Printed Name: <i>Kristen Spillman</i></p>	<p><input checked="" type="checkbox"/> Applicant or <input type="checkbox"/> Agent</p>
<p>FOR OFFICIAL USE ONLY</p>	
<p>Project Number: <i>PR-2019-003434</i></p>	<p>Case Numbers: <i>SI-2019-00133</i></p>
	
<p>Staff Signature: <i>[Signature]</i></p>	
<p>Date: <i>5-15-19</i></p>	



City of Albuquerque
Planning Department
Development Services Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: November 16, 2001

OFFICIAL NOTIFICATION OF DECISION

Wal-Mart Stores, Inc.
2001 S.E. 10th Street
Bentonville, AR 72712

FILE: 01128-01407 (Project 1001525)

LEGAL DESCRIPTION: Request approval of a site development plan for building permit for Lot 1 & Tract A, Block 21, Wal-mart Addition & Valley View Addition, zoned C-2, located on San Mateo Blvd. between Silver Avenue and Highland Avenue, containing approximately 17.61 acres. (K-17) Lola Bird, Staff Planner

On November 15, 2001, the Environmental Planning Commission voted to approve 01128-01407, a Site Development Plan for Building Permit, based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This is a request for an amendment to a site development plan for building permit for a C-2 Shopping Center site, located on San Mateo Boulevard, between Highland and Silver Avenues, SE.
2. The applicant is proposing to expand the existing Wal-Mart store from 117,272 sf to 210,342 sf. The proposed 93,070 sf expansion will require the removal of the existing 106-unit apartment complex located on Jackson between Silver and Coal Avenues.
3. This request for a site development plan amendment is generally in conformance with the goals and polices of the *Comprehensive Plan*, specifically by improving the quality of the visual environment, by locating a commercial use within an existing commercially zoned area and by redeveloping an existing shopping center site. This submittal generally provides significant visual improvements for the subject site, including enhanced site landscaping and building façade treatments.
3. The submittal will be adequate with some changes and additions.

CONDITIONS:

1. The submittal of this site plan to the DRB shall meet all EPC conditions. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.

OFFICIAL NOTIFICATION OF DECISION

01128-01407 (Project 10015...)

November 16, 2001

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2. Pedestrian/Bicycle amenities:

- a. Employee lockers and showers for bicycle commuters shall be provided by this development.
- b. Wherever a pedestrian walkway or sidewalk crosses a vehicular drive aisle or curb-cut, it shall be at least six feet wide, of a paving material other than asphalt, and striped with white paint.
- c. Thirty-seven (37) customer bicycle parking spaces are required.
- d. Fourteen (14) secure bicycle parking spaces for employees are required.
- e. Fourteen (14) employee lockers and a shower for bicycle commuters shall be provided.

3. Landscaping:

- a. The landscape plan shall comply with the City's Street Tree Ordinance which requires that street trees be planted 25 feet on center or clustered, but with the same number of trees.
- b. As required by the City's Zoning Code all trees shall be of a minimum 2" in caliper at the time of planting (Section 14-16-3-10-F-1).
- c. All planting beds or landscape areas 36 sf or greater shall achieve at least 75% live, vegetative cover, which includes shrubs and/or live groundcovers. Tree canopies do not count towards the 75 percent requirement.
- d. The landscape plan shall include details of a typical parking aisle planting beds.
- e. The landscape plan shall show trees, shrubs and groundcovers to be planted in proposed 5'x 5' planters located along the building's front (south) façade. In addition, trees planted 25 feet on center in 5'x 5' planter or canopies and portals shall be provided for the entire length of the building's front façade.
- f. All plants to be provided along the building's front façade should be clearly shown and identified on the site plan.
- g. The landscape plan shall be modified to accurately show existing vegetation. In addition, the landscape plan shall note the developers intention to preserve the existing landscaping along Jackson Street and Silver Avenue.
- h. A 2 ½ foot to 3 foot garden wall matching the building architecture and/or landscape berm shall be provided in the landscape buffer wherever parking faces the street.

4. Architecture:

- a. An outdoor patio space that is a minimum 250-500 square feet, with tables and seating should be provided. This area should have adequate shading provided by trees and/or a shade structure that integrates with the building architecture.

.. OFFICIAL NOTIFICATION OF DECISION

Of 128-01407 (Project 100-25)

November 16, 2001

Page 3

- b. Additional articulation of the rear (north) façade is needed to break up the façade, specifically, the rear building wall elevation shall have an offset of at least 3 foot that is at least 3 feet wide, every 100 feet minimum.
- c. Additional plantings of a 60/40 mixture of evergreen and deciduous trees and shrubs shall be provided within the landscape buffer provided along Jackson Street to screen the rear of the building from the public right of way.
- d. Where the truck delivery area is visible from San Mateo, additional plantings of a 60/40 mixture of evergreen and deciduous trees and shrubs shall be planted in the landscape buffer for visual screening of the loading area.

5. Parking/Site:

- a. The use of parking spaces for long-term storage shall be prohibited. The sidewalks or the pedestrian plazas in front of the building shall be limited to 50% for the display of merchandise and 50% clear path for pedestrians.
- b. The height of all fixtures shall be limited to 30 feet.
- c. The location of all existing and proposed cart corals shall be shown on the site plan and at least one cart corral per parking aisle shall be provided.
- d. The plan should be corrected to accurately reflect calculations for ADA accessible spaces.

6. Public Works conditions of approval:

- a. The site access, circulation patterns, structure orientation / configurations must be constructed to the satisfaction of the Traffic Engineer.
- b. Location of walls and fences must meet the clear sight distance requirements.

IF YOU WISH TO APPEAL THIS DECISION, YOU MUST DO SO BY NOVEMBER 30, 2001 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATOR COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED.

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If it decides that all City plans, policies and ordinances have not been properly followed, it shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

OFFICIAL NOTIFICATION OF DECISION

01128-01407 (Project 1001545)

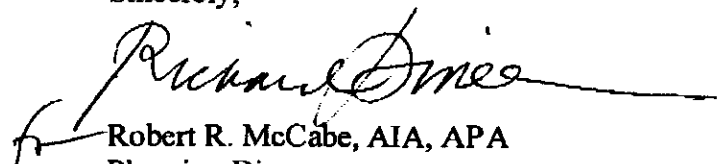
November 16, 2001

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YOU WILL RECEIVE NOTIFICATION IF ANY OTHER PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC.

Sincerely,


Robert R. McCabe, AIA, APA
Planning Director

RM/RD/nat

cc: Tierra West LLC, 8509 Jefferson NE, Albuquerque, NM 87113
Claude L. Lewis, Highland Merchant's Assoc., 465 Jefferson NE, Albuquerque, NM 87108
Katy Fuchs, Highland Merchants Assoc., 306 Quincy NE, Albuquerque, NM 87108
Sharon Criswell, 308 Quincy NE, Albuquerque, NM 87108
Claude L. Lewis, 465 Jefferson NE, Albuquerque, NM 87108

NOTE:
DAMAGE/ REMOVAL OF EXISTING TREES/ VEGETATION IS PROHIBITED WITHOUT WRITTEN CONSENT FROM THE AHJ AND WALMART CONSTRUCTION MANAGER. IF THE RELOCATION OF SITE DIRECTIONAL SIGNAGE IS REQUIRED, COORDINATE WITH THE WALMART CONSTRUCTION MANAGER FOR NEW LOCATION.

NOTE:
THIS SHEET IS A COPY OF THE AVAILABLE AS-BUILT SITE PLAN FOR THIS PROJECT. THIS SHEET IS PROVIDED FOR ADDITIONAL INFORMATION ON THE ASSUMED EXISTING CONDITIONS AT THE PROJECT SITE. THE ARCHITECT OF RECORD HAS NOT MADE MODIFICATION TO THIS SHEET OR INFORMATION BEYOND THE AREA OF PROPOSED WORK AND CANNOT BE HELD RESPONSIBLE FOR THE ACCURACY OF THE CONDITIONS ILLUSTRATED.

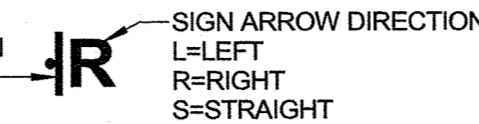
ARCHITECTURAL FINISH FLOOR = 100.00'
NOTE:
FINISH FLOOR ELEVATION AT ALL EXTERIOR DOORS = 100.00'
UNLESS NOTED OTHERWISE

REFER TO SPEC SECTION 01500 FOR DETAILS AND REQUIREMENTS FOR STORMWATER POLLUTION CONTROLS AND SITE STORAGE OF MATERIALS AND EQUIPMENT. DEVIATION(S) FROM DETAILS SHOWN MUST BE SUBMITTED FOR APPROVAL IN ACCORDANCE WITH SPEC SECTION 01330.

NOTE:
THIS IMAGE IS THE LATEST GOOGLE MAPS. INFORMATION IS ASSUMED EXISTING CONDITIONS AT THE PROJECT SITE. THE ARCHITECT OF RECORD HAS NOT VISITED THE SITE TO CONFIRM AND CANNOT BE HELD RESPONSIBLE FOR THE ACCURACY OF THE CONDITIONS ILLUSTRATED.

SIGNAGE LEGEND

DIRECTIONAL SIGN REF 2-SP1.1



DIRECTIONAL SIGN SCHEDULE

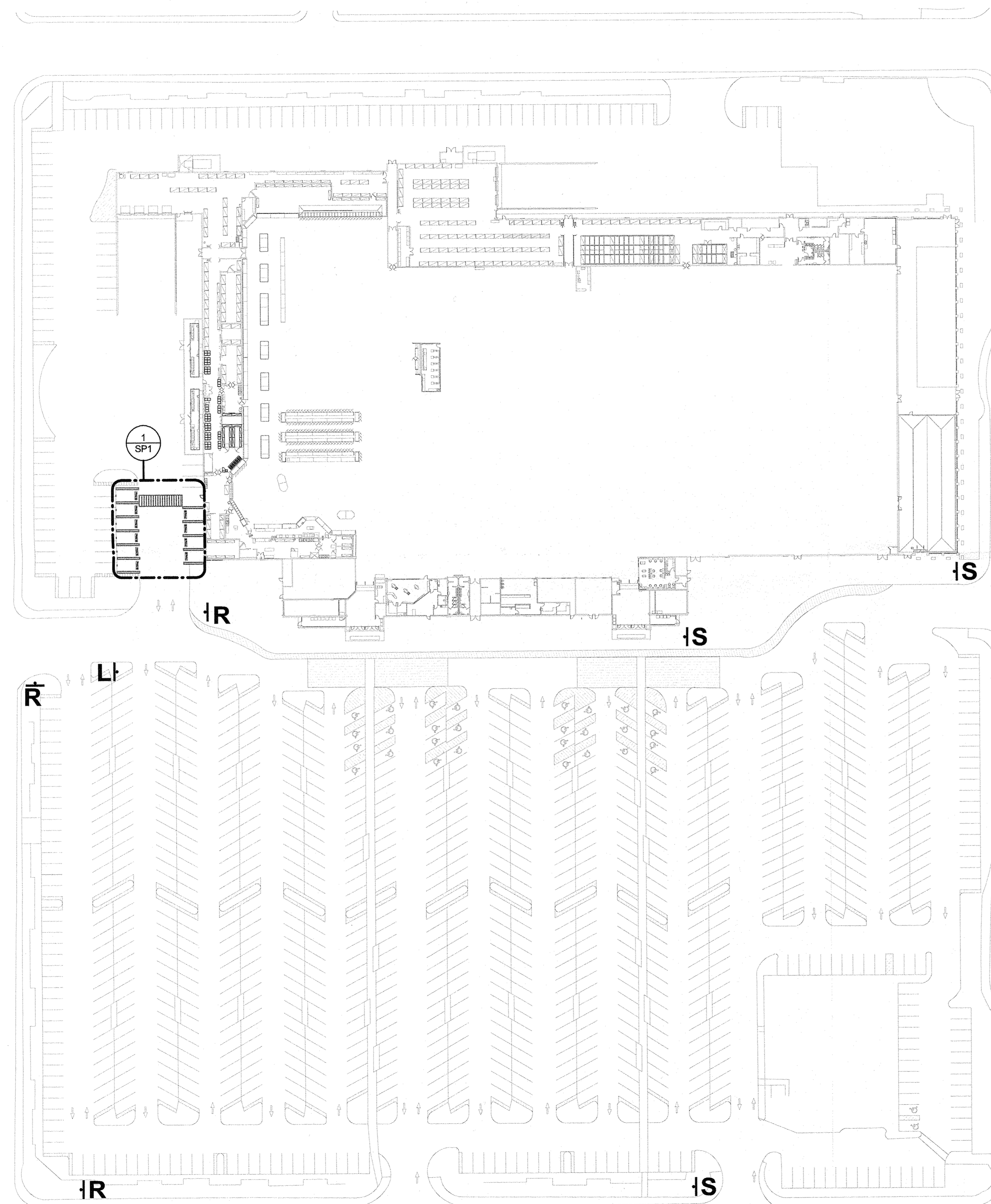
ARROW	NUMBER	MOUNTING TYPE
PICKUP DIRECTIONAL SIGN-LEFT	1	Pole
PICKUP DIRECTIONAL SIGN-RIGHT	3	Pole
PICKUP DIRECTIONAL SIGN-STRAIGHT	3	Pole

SHEET NOTES

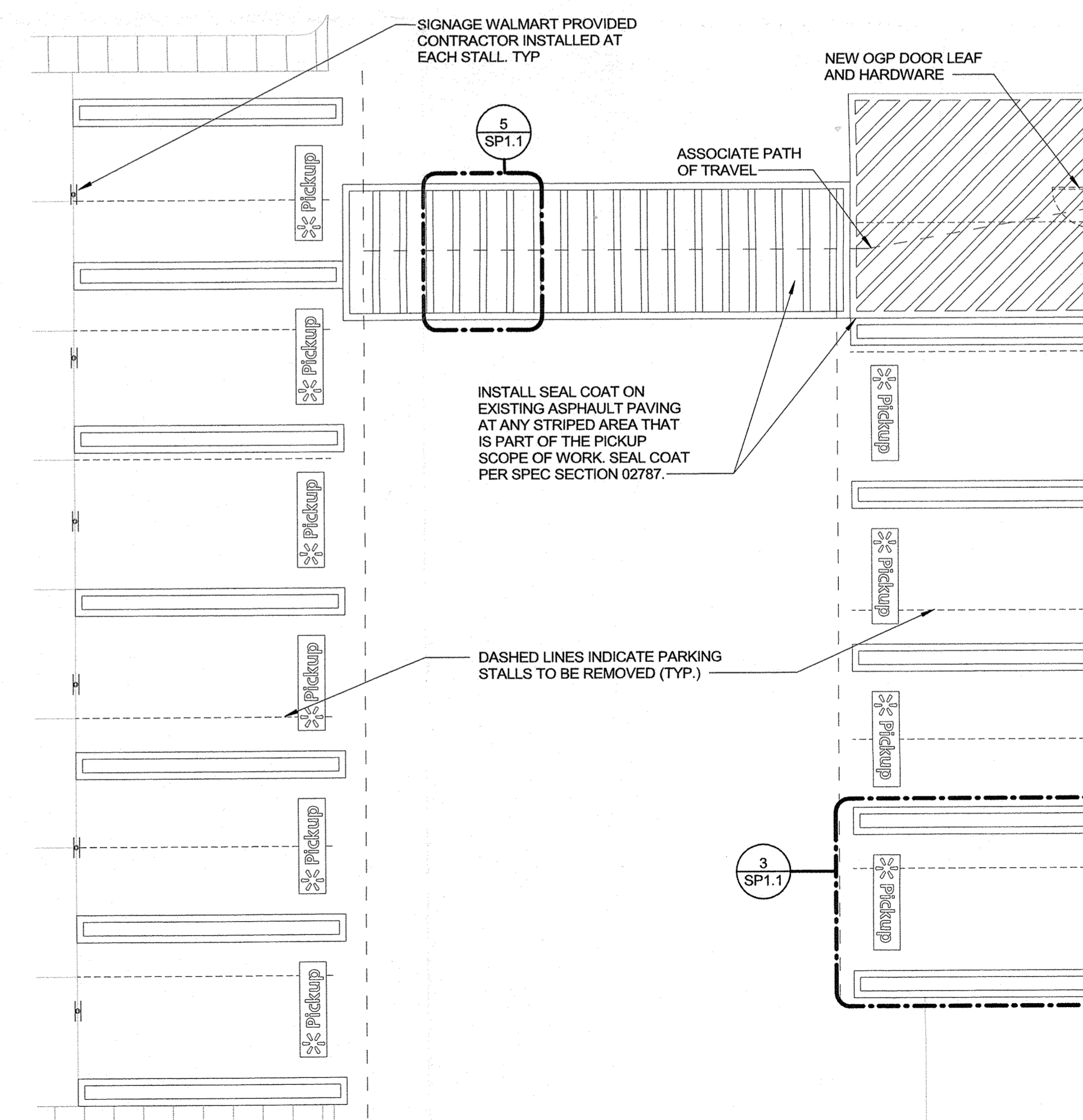
- GC TO REPLACE ANY MISSING, DISTURBED OR DEAD LANDSCAPE MATERIALS ADJACENT TO CANOPY OR DIRECTION SIGNS.
- ON PROJECTS WHERE PICKUP IS IN OPERATION AND PICKUP SIGNAGE EXISTS ON SITE. VERIFY THAT SIGN LOCATIONS MATCH THE NEW PROPOSED SIGN LOCATIONS SHOWN IN THIS SET. REMOVE ANY EXISTING PICKUP SIGNS THAT DO NOT MATCH THE SIGN TYPES AND LOCATIONS PROVIDED IN THIS SET. CONSULT WITH WM CONSTRUCTION MANAGER PRIOR TO REMOVING EXISTING PICKUP SIGNAGE. PATCH AND REPAIR PAVEMENT TO MATCH EXISTING AND PROVIDE FLUSH WITH EXISTING TOP OF PAVEMENT.

ADMINISTRATIVE AMENDMENT

FILE # 00733 PROJECT # 007434
Restriping, signage and other changes for new loading area.
06 June 2019
APPROVED BY _____ DATE _____



2 SITE DIRECTIONAL SIGNAGE PLAN
1" = 60'-0"



1 PICKUP SITE PARKING
1/8" = 1'-0"



ARCHITECT OF RECORD:
RICHARD A. MAJORS, JR.
6700 ANTECH PLAZA
SUITE 300
MIRAMONTE, KS 66204
www.brrarch.com
TEL: 913-262-9095
FAX: 913-262-9044

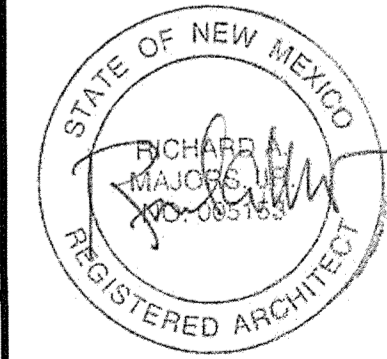
STIPULATION FOR REUSE
THIS DRAWING WAS PREPARED FOR USE ON A SPECIFIC SITE AT: _____
CONTINGENT UPON THE ARCHITECT'S REVIEW AND APPROVAL OF THE PROJECT. IT IS NOT TO BE REUSED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT OF RECORD. THE ARCHITECT OF RECORD IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION SHOWN ON THIS DRAWING IF IT IS REUSED ON ANOTHER PROJECT WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT OF RECORD.

CONSULTANTS

Walmart
ALBUQUERQUE, NM
301 SAN MATEO BLVD SE
STORE NO: 0831-238
JOB NUMBER: 9854447

ISSUE BLOCK

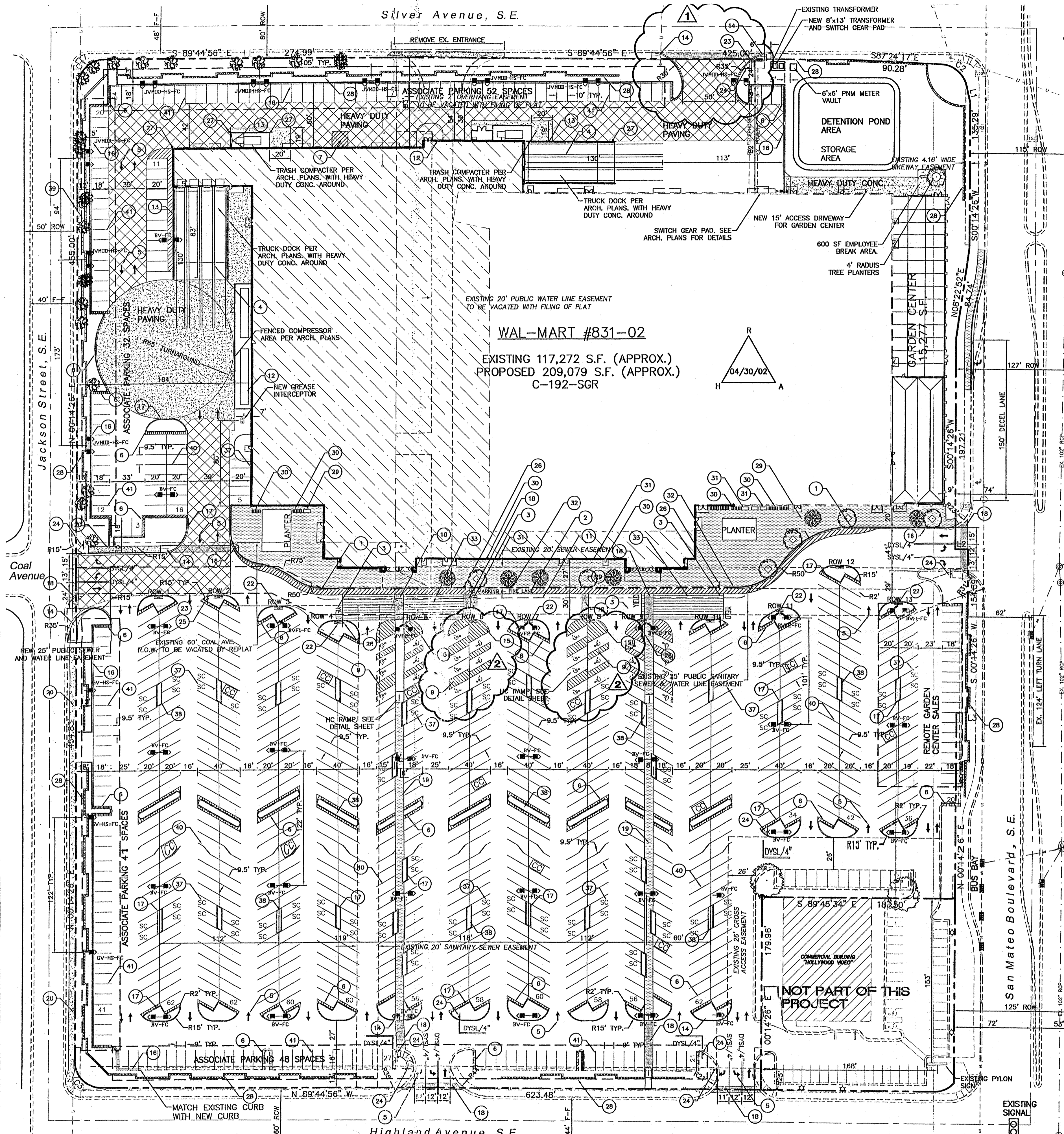
CHECKED BY: *SM*
DRAWN BY: SR
IPROTO: 03/29/19
DOCUMENT DATE: 04/12/19



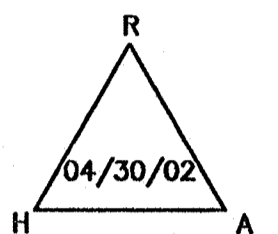
SITE PLAN

SHEET: SP1

Silver Avenue, S.E.



WAL-MART #831-02
 EXISTING 117,272 S.F. (APPROX.)
 PROPOSED 209,079 S.F. (APPROX.)
 C-192-SGR



- DIMENSIONS SHOWN ARE TO FACE OF CURB UNLESS NOTED OTHERWISE.
- EXISTING SPEED BUMPS TO REMAIN AND TO BE REPAINTED TRAFFIC YELLOW.
- EIGHT EXISTING CART CORRALS TO REMAIN AND TO BE REPAINTED TRAFFIC YELLOW. CONTRACTOR TO INSTALL FIVE NEW CART CORRALS PER PLANS.
- ALL EXISTING LIGHT FIXTURES ARE TO BE REMOVED AND REPLACED WITH NEW 1000 WATT FIXTURE PER WAL-MART SPECIFICATIONS, UNLESS OTHERWISE NOTED.
- NEW AND REPLACEMENT LIGHTING SHALL BE FULL CUT OFF FIXTURES (i.e. SHOE BOX) TO MINIMIZE FUGITIVE LIGHT.
- AVERAGE LIGHT LEVELS SHALL BE LIMITED TO 2 FOOT CANDLES WITH MAXIMUM LEVELS LIMITED TO 16 FOOT CANDLES AS MEASURED FROM 4 FEET ABOVE THE SURFACE LEVEL OF ANY POINT ON THE SITE. LUMINAIRES SHALL HAVE GLARE CUT OFF ANGLES OF MAXIMUM.
- LIGHT POLES SHALL BE A MAXIMUM OF 30' FEET WITH FULL CUT OFF LIGHT FIXTURES. LIGHT FIXTURES SHALL BE A MAXIMUM OF 30' WITH FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS.
- THERE SHALL BE NO BACKLIT, PLASTIC, OR VINYL AWNINGS OR ILLUMINATED PLASTIC BANDING ON SIGNAGE.
- INDOOR OR SECURED (FENCED AND GATED) BICYCLE STORAGE SHALL BE PROVIDED FOR EMPLOYEES OF THE BUSINESS.
- BUILDING SETBACKS ARE PER APPROVED SITE PLAN WITH THE CITY OF ALBUQUERQUE
- EXISTING BUS ROUTE IS ON SAN MATEO BOULEVARD AND NOT ON SITE.
- ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM NEARBY PROPERTIES. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
- COAL AVENUE IS TO BE VACATED UPON APPROVAL BY THE CITY OF ALBUQUERQUE AND REPLACED INTO ONE LOT.
- LOCKERS AND SHOWERS FOR BICYCLE COMMUTERS SHALL BE PROVIDED AS FOLLOWS:
 A. 37 CUSTOMER BICYCLE SPACES
 B. 14 SECURE EMPLOYEE BICYCLE LOCKER SPACES
 C. 14 EMPLOYEE LOCKERS
 D. ONE SHOWER
- USE OF PARKING SPACES FOR LONG TERM PARKING IS PROHIBITED. THE SIDEWALKS OR PEDESTRIAN PLAZA IN FRONT OF THE BUILDING SHALL BE LIMITED TO 50% DISPLAY MERCHANDISE AND 50% CLEAR PATH FOR PEDESTRIANS.
- SETBACK ARE ESTABLISHED AT EPC APPROVAL.
- REFER TO ARCH. PLANS FOR SITE LIGHTING ELECTRICAL PLAN.

SITE DATA

PROPOSED USAGE:	EXISTING WAL-MART	PROPOSED EXPANSION
LOT AREA:	598,125 SF (13.7311 ACRES)	766,948 SF (17.6067 ACRE)
BUILDING AREA:	117,272 SF	117,272 SF
EXPANSION:	-	92,232 SF
TOTAL:	-	209,504 SF w/GARDEN CENTER
LANDSCAPING:	-	82,347 SF
PROVIDED:	-	83,491 SF
REQUIRED:	69,731 SF	955 SPACES
PARKING PROVIDED:	818 SPACES	1048 SPACES
PARKING REQUIRED:	666 SPACES	943 SPACES
LESS 10% BUS CREDIT	-	4.5%
PARKING RATIO:	6.98	4.97
PARKING RATIO: WITHOUT GARDEN CENTER	-	-
HC PARKING PROVIDED:	18 SPACES	20 SPACES (6 VAN)
HC PARKING REQUIRED:	12 SPACES	12 SPACES
	6 SPACES VAN ACCESSIBLE	6 SPACES VAN ACCESSIBLE
BIKE SPACES PROVIDED:	-	54 SPACES
BIKE SPACES REQUIRED:	-	51 SPACES

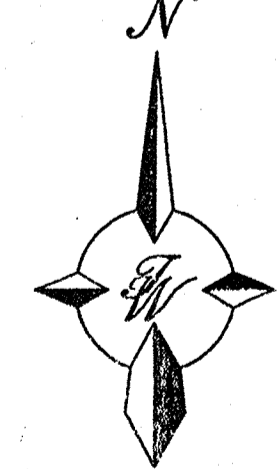
PAINT STRIPING LEGEND

- SWSL/4" - SINGLE WHITE SOLID LINE / 4" WIDE
- SYSL/4" - SINGLE YELLOW SOLID LINE / 4" WIDE EACH
- DYSL/4" - DOUBLE YELLOW SOLID LINE / 4" WIDE EACH
- SYSL/10" - SINGLE YELLOW SOLID LINE / 10" WIDE
- SWDL/4" - SINGLE WHITE DASHED LINE / 4" WIDE
- SWSL/24" - SINGLE WHITE SOLID LINE / 24" WIDE

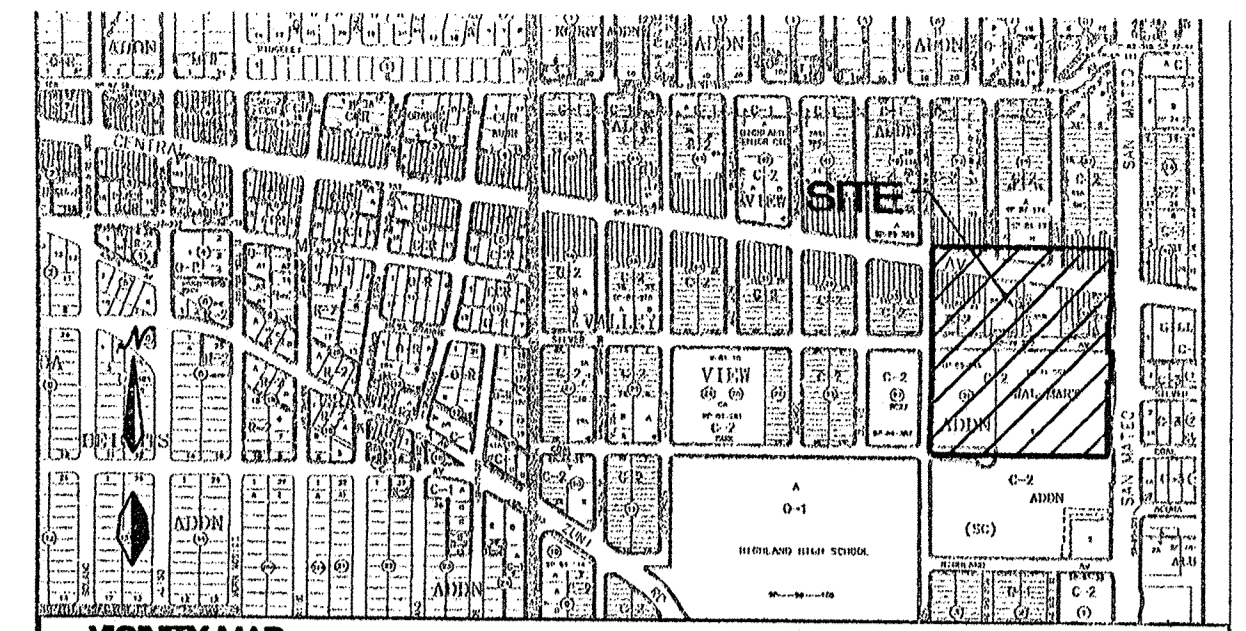
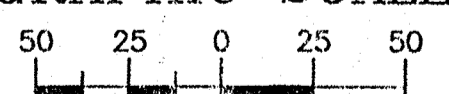
LEGEND

- EXISTING CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- PROPOSED EASEMENT
- PROPOSED SCREEN WALL
- PROPOSED SCREEN WALL
- PROPOSED SIDEWALK
- STANDARD ASPHALT PAVING AREA
- HEAVY ASPHALT PAVING AREA
- HEAVY CONCRETE AREA
- PATTERN CONCRETE AREA
- PROPOSED PARKING LOT LIGHTING
- PROPOSED BOLLARD
- PROPOSED PEDESTRIAN CROSSWALK
- PROPOSED CART CORRALS
- ASSOCIATE PARKING AREA
- BIKE RACK
- BIKE LOCKER

1001525 ADMINISTRATIVE APPROVED
 DEVELOPMENT PLAN AMENDMENT
FILE NO. AA-01325
 High rise entrance with 4
 multi-level parking structure
 Cynthia Chung 3/19/02
 PLANNING DIRECTOR
 NOTE: For Public Hearing Requirements



GRAPHIC SCALE



LEGAL DESCRIPTION:
 Lots One and Two, Wal-Mart Addition AND Lot "A", Block Twenty-One, Valley View Addition, Wal-Mart Stores East, Inc.

SITE LEGEND

- 6' WIDE FIRE LANE WITH 6" WIDE PAINTED TRAFFIC RED STRIPING AT 45' TYPICAL CURB TO BE PAINTED TRAFFIC RED AT THESE LOCATIONS. (SHT 18 OF 24)
- "NO PARKING-FIRE LANE" PAINTED TRAFFIC YELLOW ON PAVEMENT AT 80' O.C. LETTERS TO BE A MINIMUM 2'-0" TALL. (SHT 18 OF 24)
- "YIELD" PAINTED YELLOW ON PAVEMENT TYPICAL. (SHT 17 OF 24)
- PROVIDE (2) 4" WIDE YELLOW STRIPES @ 10' O.C. x 130' LONG CENTER ON DOCK DOORS
- PAINTED DIRECTIONAL ARROW TYPICAL. (SHT 17 OF 24)
- 2'-0" LOADING ZONE AT ALL CURBED PARKING SPACES. 4" PAINTED YELLOW STRIPING AT 2'-0" O.C. PERPENDICULAR TO PARKING SPACE.
- 10' x 15' STRIPED AREA PAINTED SYSL/4" AT 45' @ 2'-0" O.C. AT JIB CRANE LOCATION. SEE ARCH. PLANS
- FIRE LANE STRIPING SHALL BE 6" RED STRIPES WITH 4" INCH WHITE LETTERS READING "NO PARKING FIRE LANE" STRIPING SHALL BE PLACED ON FACE OF CURB WHENEVER POSSIBLE, OR AS SPECIFIED BY LOCAL CODES. (SHT 18 OF 24)
- ACCESSIBLE PARKING SPACE TYPICAL. SEE DETAIL SHEET FOR ACCESSIBLE PARKING SPACE SIZE, SIGN AND SYMBOL ("VAN"-INDICATES VAN ACCESSIBLE SPACE). (SHT 17 OF 24)
- RAMPED PAVEMENT AT VESTIBULE TO BE FLUSH WITH TOP OF SIDEWALK AT 5.0% MAX. SLOPE. REFER TO ARCHITECTURAL PLANS.
- EXIT PORCH. SEE ARCHITECTURAL PLAN FOR EXACT SIZE, LOCATION FOR STOODS, STAIRS AND/OR RAMPS THAT MAY BE REQUIRED. RAMP FLUSH W/ TOP OF STOOD.
- 16'x119' COMPRESSOR CONCRETE COMPACTOR PAD. REFER TO ARCHITECTURAL PLAN FOR EXACT LOCATION AND SLOPE.
- SCREEN WALL PER ARCH. PLANS
- UNIDIRECTIONAL HC RAMP. (SHT 19 OF 24)
- PAINTED ISLAND TYPICAL UNLESS NOTED OTHERWISE. STRIPES SHALL BE PAINTED SYSL/4" AT 2'-0" O.C. PERPENDICULAR TO THE PARKING SPACE.
- 6" CONCRETE CURB AND GUTTER TYPICAL.
- 6" CONCRETE HEADER CURB TYPICAL (SHT 17 OF 24)
- 6" WIDE SLIGHTLY RAISED CONCRETE PEDESTRIAN CROSSWALK. PAINTED WHITE (SHT 17)
- 8" WIDE RAISED CONCRETE SIDEWALK TYPICAL (SHT 17 OF 24)
- 6" CONCRETE SIDEWALK TYPICAL.
- ANGLE INDICATOR SIGNS TYPICAL (SHT 17 OF 24)
- "TRUCK ROUTE" SIGN. SEE PLAN FOR LOCATION.
- "STOP" SIGN. SEE PLAN FOR LOCATION.
- "NO TRUCKS" SIGN. SEE PLAN FOR LOCATION.
- PEDESTRIAN CROSSING SIGN W10-2 AND W10-2p TYPICAL AT PEDESTRIAN CROSSWALKS AS NOTED ON PLANS.
- 6" DIA. PIPE BOLLARD TYPICAL (SHT 19 OF 24)
- 3' HIGH SCREEN WALL (SHT 17 OF 24)
- 5'x5' TREE PLANTER SEE SHEET 18 FOR DETAILS
- (B) 5 SPACE BIKE RACK TYPICAL (SHT 19 OF 24)
- BIKE LOCKERS (7 UNITS, 14 TOTAL LOCKERS SPACES). (SHT 17 OF 24)
- ZERO CURB PER ARCH. SECTIONS
- PEDESTRIAN CROSSWALK WITH 4" WIDE PAINTED YELLOW STRIPING PARALLEL TO DIRECTION OF TRAFFIC AT 2'-0" O.C. UNLESS NOTED OTHERWISE. SEE SITE PLAN FOR WIDTH.
- PROPOSED LIGHTING.
- CART CORRALS TYPICAL (SHT 19 OF 24)
- PROPOSED HC RAMP. (SHT 19 OF 24)
- SMALL CAR MARKER, "COMPACT" PAINTED YELLOW ON PAVEMENT TYPICAL.
- TREE PLANTER TYPICAL (SHT 18 OF 24)
- RETAINING WALL TYPICAL (SHT 18 OF 24)
- 4" SOLID YELLOW CUSTOMER PARKING STRIPING.
- 4" SOLID WHITE ASSOCIATE PARKING STRIPING

CURVE TABLE

CURVE	LENGTH	RADIUS	TANGENT	DELTA	CHORD BEARING	CHORD LENGTH
C1	39.27	25.00	25.00	90°00'38"	S45°14'45"W	35.36
C2	32.85	25.00	19.12	74°49'42"	N49°59'26"W	30.38
C3	39.27	25.00	25.00	90°00'01"	S44°44'58"E	35.36

NO.	DATE	REVISIONS	BY
1	08/14/02	CHANGES PARALLEL HC PARKING TO PERP. PARKING, ADDED 2 SPACES	BDG
1	06/24/02	MOVED ENTRANCE 9.5' TO THE EAST TO AVOID POWER POLE	BDG

ENGINEER'S SEAL

ALBUQUERQUE WAL-MART EXPANSION, N.M. 831-02

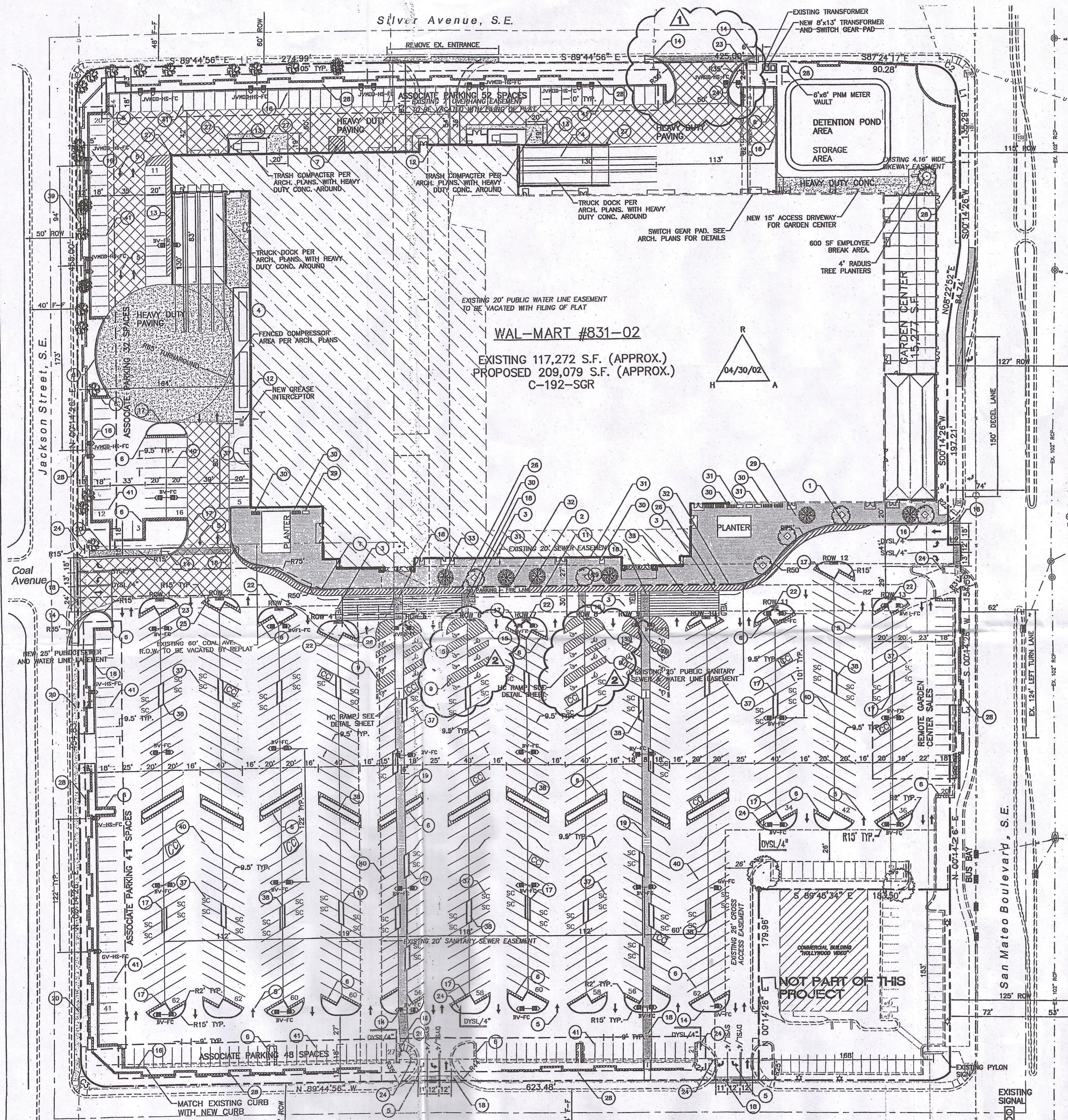
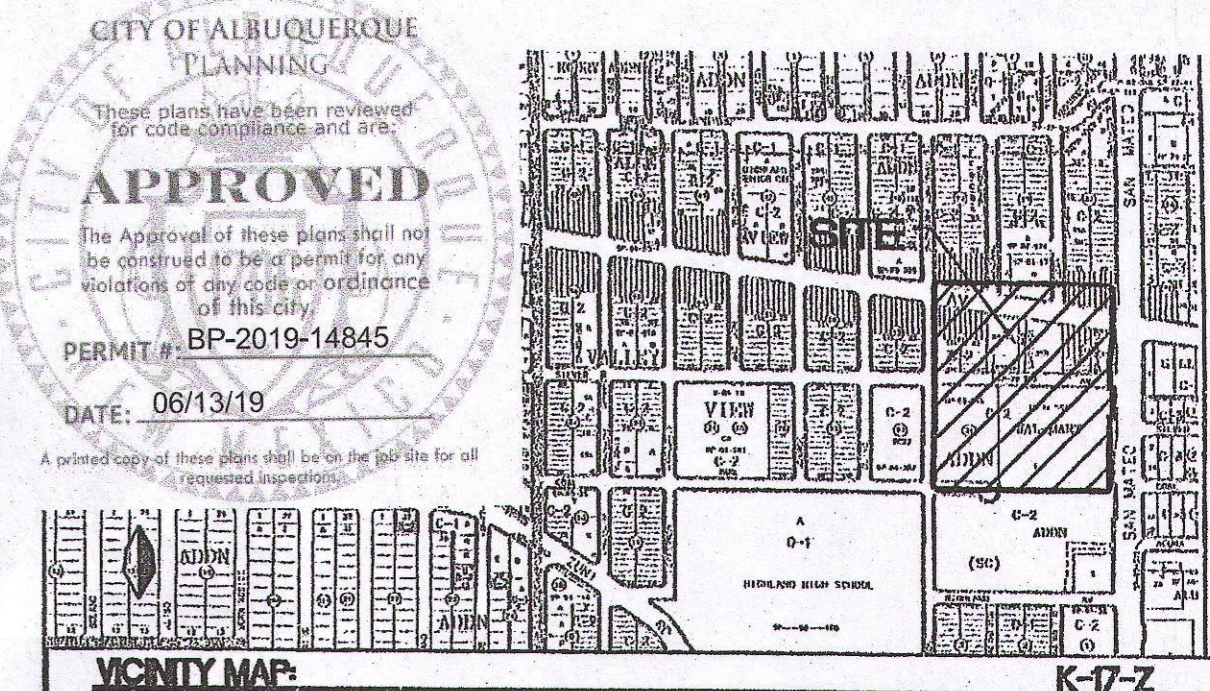
SITE PLAN FOR BUILDING PERMIT

TERRA WEST, LLC
 8508 JEFFERSON NE
 ALBUQUERQUE, NEW MEXICO 87113
 (505)858-3100

DRAWN BY: BDG
 DATE: 05/06/02
 2083SP.DWG
 SHEET # **4**
 JOB # 200083

REVALD R. BOHANNAN
 P.E. #7868

Silver Avenue, S.E.



- DIMENSIONS SHOWN ARE TO FACE OF CURB UNLESS NOTED OTHERWISE.
- EXISTING SPEED BUMPS TO REMAIN AND TO BE REPAINTED TRAFFIC YELLOW.
- EXISTING CART CORRALS TO REMAIN AND TO BE REPAINTED TRAFFIC YELLOW. CONTRACTOR TO INSTALL FIVE NEW CART CORRALS PER PLAN.
- ALL EXISTING LIGHT FIXTURES ARE TO BE REMOVED AND REPLACED WITH NEW 1000 WATT FIXTURE PER WAL-MART SPECIFICATIONS, UNLESS OTHERWISE NOTED.
- NEW AND REPLACEMENT LIGHTING SHALL BE FULL CUT OFF FIXTURES (I.E. SHOE BOX) TO MINIMIZE FUGITIVE LIGHT.
- AVERAGE LIGHT LEVELS SHALL BE LIMITED TO 2 FOOT CANDLES WITH MAXIMUM LEVELS LIMITED TO 16 FOOT CANDLES AS MEASURED FROM 4 FEET ABOVE THE SURFACE LEVEL OF ANY POINT ON THE SITE. LUMINAIRES SHALL HAVE GLARE CUT OFF ANGLES OF MAXIMUM.
- LIGHT POLES SHALL BE A MAXIMUM OF 30' FEET WITH FULL CUT OFF LIGHT FIXTURES. LIGHT FIXTURES SHALL BE A MAXIMUM OF 30' WITH FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS.
- THERE SHALL BE NO BACKLIT, PLASTIC, OR VINYL AWNINGS OR ILLUMINATED PLASTIC BANDING ON SIGNAGE.
- INDOOR OR SECURED (FENCED AND GATED) BICYCLE STORAGE SHALL BE PROVIDED FOR EMPLOYEES OF THE BUSINESS.
- BUILDING SETBACKS ARE PER APPROVED SITE PLAN WITH THE CITY OF ALBUQUERQUE
- EXISTING BUS ROUTE IS ON SAN MATEO BOULEVARD AND NOT ON SITE.
- ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM NEARBY PROPERTIES. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
- COAL AVENUE IS TO BE VACATED UPON APPROVAL BY THE CITY OF ALBUQUERQUE AND REPLACED INTO ONE LOT.
- EMPLOYEE LOCKERS AND SHOWERS FOR BICYCLE COMMUTERS SHALL BE PROVIDED AS FOLLOWS:
 - A. 37 CUSTOMER BICYCLE SPACES
 - B. 14 SECURE EMPLOYEE BICYCLE LOCKER SPACES
 - C. 14 EMPLOYEE LOCKERS
 - D. ONE SHOWER
- USE OF PARKING SPACES FOR LONG TERM PARKING IS PROHIBITED. THE SIDEWALKS OR PEDESTRIAN PLAZA IN FRONT OF THE BUILDING SHALL BE LIMITED TO 50% DISPLAY MERCHANDISE AND 50% CLEAR PATH FOR PEDESTRIANS.
- SETBACK ARE ESTABLISHED AT EPC APPROVAL.
- REFER TO ARCH. PLANS FOR SITE LIGHTING ELECTRICAL PLAN.

LEGAL DESCRIPTION:
Lots One and Two, Wal-Mart Addition AND Lot "A", Block Twenty-One, Valley View Addition, Wal-Mart Stores East, Inc.

SITE LEGEND

- 6" WIDE FIRE LANE WITH 6" WIDE PAINTED TRAFFIC RED STRIPING AT 45° TYPICAL. CURB TO BE PAINTED TRAFFIC RED AT THESE LOCATIONS. (SHT 16 OF 24)
- "NO PARKING-FIRE LANE" PAINTED TRAFFIC YELLOW ON PAVEMENT AT 80° O.C. LETTERS TO BE A MINIMUM 2'-0" TALL. (SHT 18 OF 24)
- "YIELD" PAINTED YELLOW ON PAVEMENT TYPICAL. (SHT 17 OF 24)
- PROVIDE (2) 4" WIDE YELLOW STRIPES @ 10' O.C. x 130' LONG CENTER ON DOCK DOORS
- PAINTED DIRECTIONAL ARROW TYPICAL. (SHT 17 OF 24)
- 2'-0" LOADING ZONE AT ALL CURBED PARKING SPACES. 4" PAINTED YELLOW STRIPING AT 2'-0" O.C. PERPENDICULAR TO PARKING SPACE.
- 10' X 15' STRIPED AREA PAINTED SYS1/4" AT 45° @ 2'-0" O.C. AT JOB CRANE LOCATION. SEE ARCH. PLANS
- FIRE LANE STRIPING SHALL BE 6" RED STRIPES WITH 4" INCH WHITE LETTERS READING "NO PARKING FIRE LANE" STRIPING SHALL BE PLACED ON FACE OF CURB WHENEVER POSSIBLE, OR AS SPECIFIED BY LOCAL CODES. (SHT 18 OF 24)
- ACCESSIBLE PARKING SPACE TYPICAL. SEE DETAIL SHEET FOR ACCESSIBLE PARKING SPACE SIZE, SIGN AND SYMBOL ("VAN" INDICATES VAN ACCESSIBLE SPACE). (SHT 17 OF 24)
- RAMPED PAVEMENT AT VESTIBULE TO BE FLUSH WITH TOP OF SIDEWALK AT 5.0% MAX. SLOPE. REFER TO ARCHITECTURAL PLANS.
- EXIT PORCH. SEE ARCHITECTURAL PLAN FOR EXACT SIZE, LOCATION FOR STOODS, STAIRS AND/OR RAMPS THAT MAY BE REQUIRED. RAMP FLUSH W/ TOP OF STOOP.
- 18"x11" COMPRESSOR CONCRETE COMPACTOR PAD. REFER TO ARCHITECTURAL PLAN FOR EXACT LOCATION AND SLOPE.
- SCREEN WALL PER ARCH. PLANS
- UNIDIRECTIONAL HC RAMP. (SHT 19 OF 24)
- PAINTED ISLAND TYPICAL UNLESS NOTED OTHERWISE. STRIPES SHALL BE PAINTED SYS1/4" AT 2'-0" O.C. PERPENDICULAR TO THE PARKING SPACE.
- 6" CONCRETE CURB AND GUTTER TYPICAL.
- 6" CONCRETE HEADER CURB TYPICAL. (SHT 17 OF 24)
- 6" WIDE SLIGHTLY RAISED CONCRETE PEDESTRIAN CROSSWALK. PAINTED WHITE (SHT 17)
- 6" WIDE RAISED CONCRETE SIDEWALK TYPICAL. (SHT 17 OF 24)
- 6" CONCRETE SIDEWALK TYPICAL.
- aisle indicator signs typical (SHT 17 OF 24)
- "TRUCK ROUTE" SIGN. SEE PLAN FOR LOCATION.
- "STOP" SIGN. SEE PLAN FOR LOCATION.
- "NO TRUCKS" SIGN. SEE PLAN FOR LOCATION.
- PEDESTRIAN CROSSING SIGN W10-2 AND W10-2p TYPICAL AT PEDESTRIAN CROSSWALKS AS NOTED ON PLANS.
- 6" DIA. PIPE BOLLARD TYPICAL. (SHT 19 OF 24)
- 3' HIGH SCREEN WALL. (SHT 17 OF 24)
- 5'x5' TREE PLANTER SEE SHEET 18 FOR DETAILS
- (8) 5 SPACE BIKE RACK TYPICAL. (SHT 19 OF 24)
- BIKE LOCKERS (7 UNITS, 14 TOTAL LOCKER SPACES). (SHT 17 OF 24)
- ZERO CURB PER ARCH. SECTIONS
- PEDESTRIAN CROSSWALK WITH 4" WIDE PAINTED YELLOW STRIPING PARALLEL TO DIRECTION OF TRAFFIC AT 2'-0" O.C. UNLESS NOTED OTHERWISE. SEE SITE PLAN FOR WIDTH.
- PROPOSED LIGHTING.
- CART CORRALS TYPICAL. (SHT 19 OF 24)
- PROPOSED HC RAMP. (SHT 19 OF 24)
- SMALL CAR MARKER, "COMPACT" PAINTED YELLOW ON PAVEMENT TYPICAL.
- TREE PLANTER TYPICAL. (SHT 18 OF 24)
- RETAINING WALL TYPICAL. (SHT 18 OF 24)
- 4" SOLID YELLOW CUSTOMER PARKING STRIPING.
- 4" SOLID WHITE ASSOCIATE PARKING STRIPING.

SITE DATA

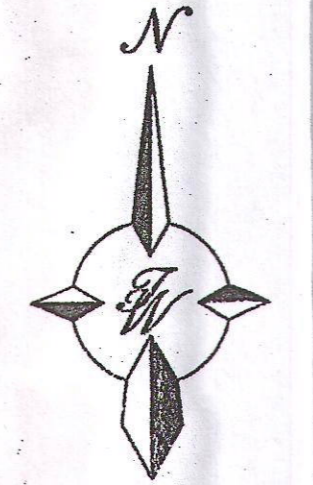
PROPOSED USAGE:	EXISTING WAL-MART	PROPOSED EXPANSION
LOT AREA:	598,125 SF (13.7311 ACRES)	766,948 SF (17.6067 ACRES)
BUILDING AREA:	117,272 SF	117,272 SF
EXPANSION:	-	92,232 SF
TOTAL:	-	209,504 SF w/GARDEN CENTER
LANDSCAPING:	-	82,347 SF
PROVIDED:	-	97,481 SF
REQUIRED:	69,731 SF	-
PARKING PROVIDED:	818 SPACES	955 SPACES
PARKING REQUIRED:	666 SPACES	1048 SPACES
LESS 10% BUS CREDIT:	-	943 SPACES
PARKING RATIO:	6.98	4.55
PARKING RATIO: WITHOUT GARDEN CENTER:	-	4.91
HC PARKING PROVIDED:	18 SPACES	20 SPACES (8 VAN)
HC PARKING REQUIRED:	12 SPACES	12 SPACES
	6 SPACES VAN ACCESSIBLE	6 SPACES VAN ACCESSIBLE
BIKE SPACES PROVIDED:	-	54 SPACES
BIKE SPACES REQUIRED:	-	51 SPACES

PAINT STRIPING LEGEND

- SWSL 1/4" - SINGLE WHITE SOLID LINE / 4" WIDE
- SYSL 1/4" - SINGLE YELLOW SOLID LINE / 4" WIDE EACH
- DYSL 1/4" - DOUBLE YELLOW SOLID LINE / 4" WIDE EACH
- SYSL 1/2" - SINGLE YELLOW SOLID LINE / 1/2" WIDE
- SWDL 1/4" - SINGLE WHITE DASHED LINE / 4" WIDE
- SWSL 24" - SINGLE WHITE SOLID LINE / 24" WIDE

LEGEND

- EXISTING CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- PROPOSED EASEMENT
- PROPOSED SCREEN WALL
- PROPOSED SCREEN WALL
- PROPOSED SIDEWALK
- STANDARD ASPHALT PAVING AREA
- HEAVY ASPHALT PAVING AREA
- HEAVY CONCRETE AREA
- PATTERN CONCRETE AREA
- PROPOSED PARKING LOT LIGHTING
- PROPOSED BOLLARD
- PROPOSED PEDESTRIAN CROSSWALK
- PROPOSED CART CORRALS
- ASSOCIATE PARKING AREA
- BIKE RACK
- BIKE LOCKER



GRAPHIC SCALE
SCALE: 1"=50'

CURVE TABLE

CURVE	LENGTH	RADIUS	TANGENT	DELTA	CHORD BEARING	CHORD LENGTH
C1	39.27	25.00	25.00	90°00'38"	S45°14'45"W	35.38
C2	32.65	25.00	19.12	74°48'42"	N49°59'28"W	30.38
C3	39.27	25.00	25.00	90°00'01"	S44°44'56"E	35.38

NO.	DATE	REVISIONS	BY
1	06/14/02	CHANGES PARALLEL HC PARKING TO PERP. PARKING, ADDED 2 SPACES	BDG
1	06/24/02	MOVED ENTRANCE 9.5' TO THE EAST TO AVOID POWER POLE	BDG

ADMINISTRATIVE AMENDMENT
FILE #00047 PROJECT #00047
New wall sign and accent paint.
Feb 2020
APPROVED BY DATE

ENGINEER'S SEAL

ALBUQUERQUE WAL-MART EXPANSION, N/A: 831-02

SITE PLAN FOR BUILDING PERMIT

TERRA WEST, LLC
8509 JEFFERSON NE
ALBUQUERQUE, NEW MEXICO 87113
(505)858-3100

AA SHEET 2-019

DRAWN BY: BDG
DATE: 05/06/02
2083SP.DWG
SHEET # 4
JOB # 230083

RODOLFO R. BOHANNAN
P.E. #7868

SIGNAGE SCHEDULE

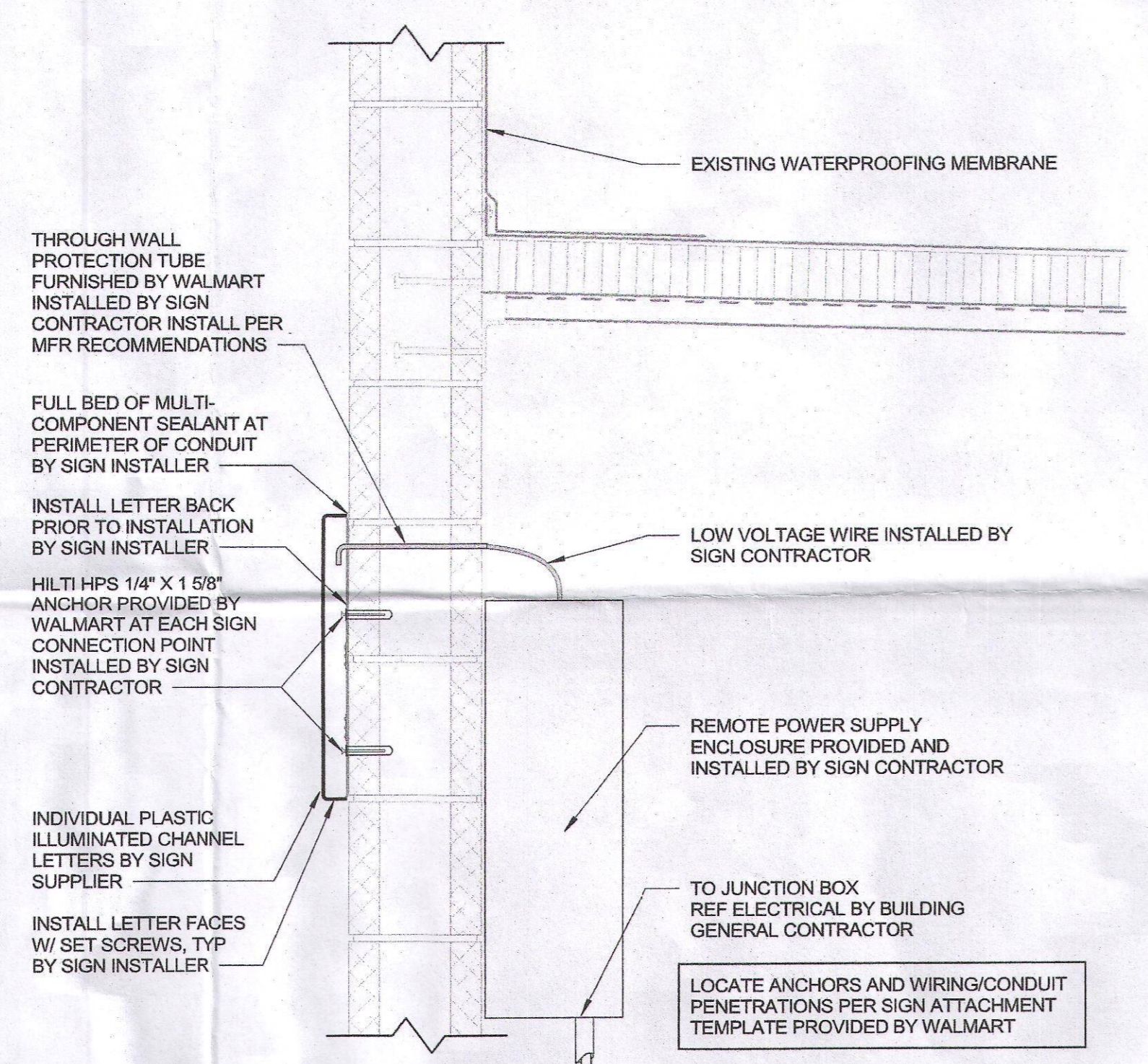
SIGNAGE LOCATION	QTY	LIGHTED	COLOR	SIZE	INDIVIDUAL AREA	TOTAL AREA
FRONT SIGNAGE						
Walmart (EXISTING)	1	LED	WHITE	5'-6"		
Spark (EXISTING)	1	LED	YELLOW	8'-0"		298.00 SF
Pickup (NEW)	1	LED	WHITE	2'-6"		
Spark (NEW)	1	LED	YELLOW	4'-3"		65.43 SF
Market & Pharmacy (EXISTING)	1	N/A	WHITE	2'-6"	102.74 SF	102.74 SF
Home & Living (EXISTING)	1	N/A	WHITE	2'-6"	72.59 SF	72.59 SF
Outdoor Living (EXISTING)	1	N/A	WHITE	2'-6"	77.31 SF	77.31 SF
TOTAL FRONT SIGNAGE						616.07 SF

COLOR LEGEND

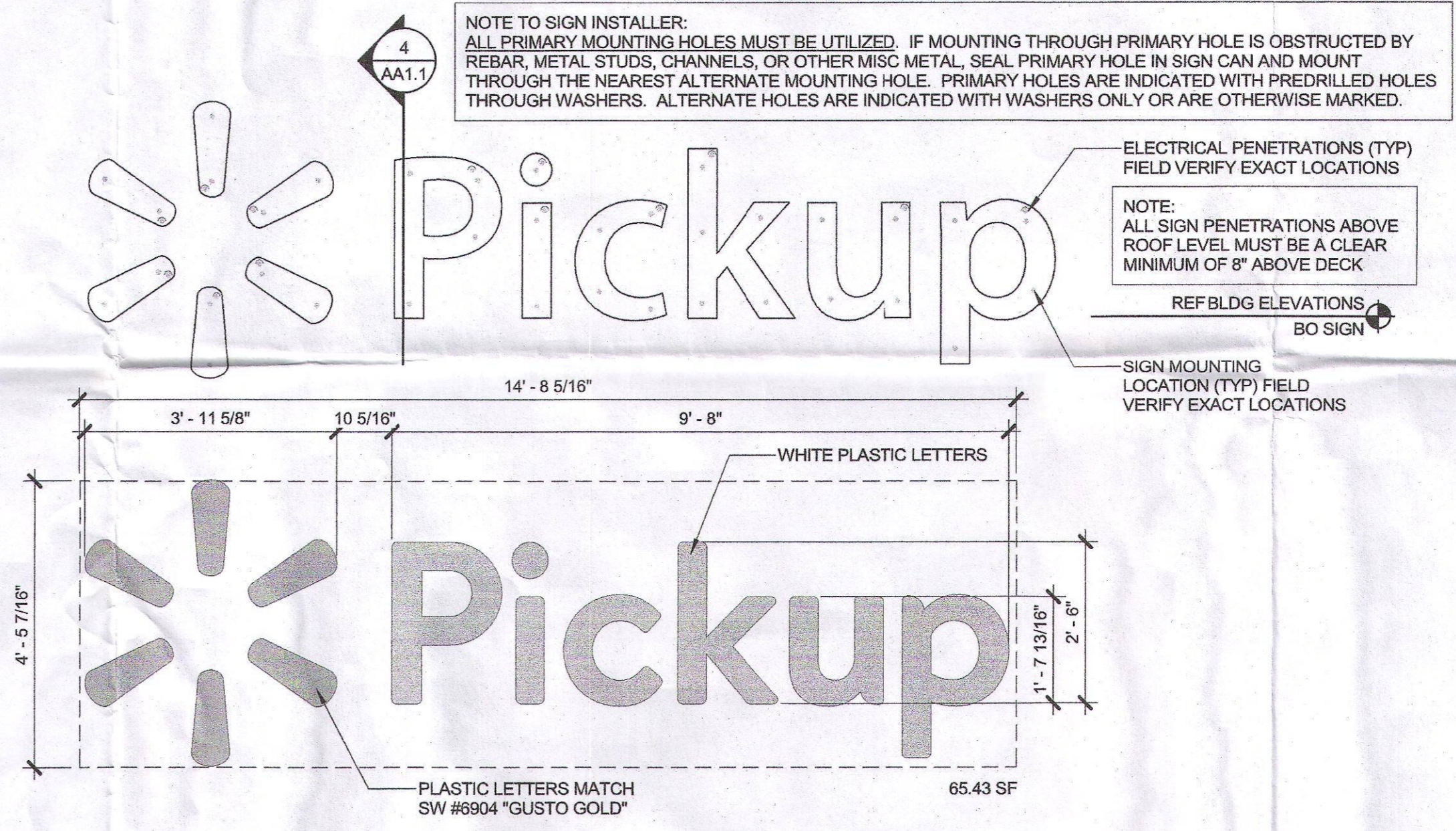
P126U	KNOCKOUT ORANGE SW#6885 (URETHANE)
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SHEET NOTES

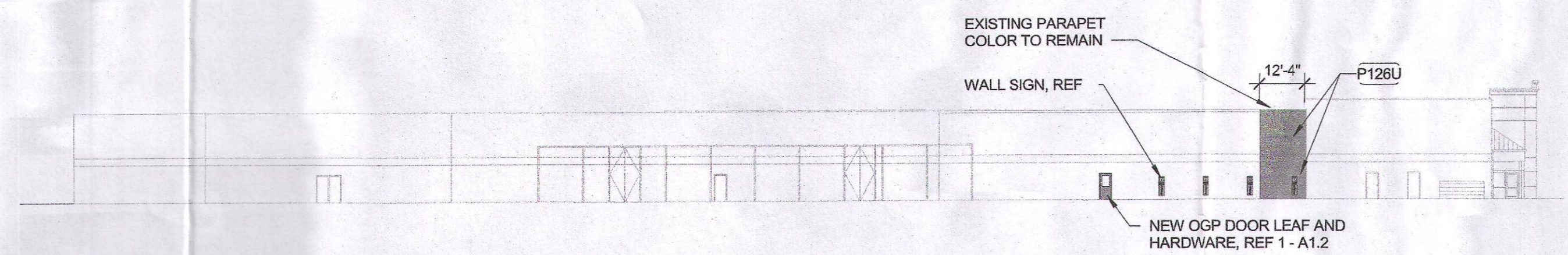
- POWER WASH EXTERIOR WALLS TO BE PAINTED PRIOR TO PAINTING PATCH AND REPAIR EXTERIOR WALL SURFACES, DAMAGED OR EXPOSED DUE TO REMOVAL OF BUILDING MOUNTED ITEMS, TO MATCH ADJACENT AS REQUIRED.
 - DO NOT PAINT WALL PACK LIGHT HOUSINGS
- SIGNAGE GENERAL NOTES**
- CANOPY AND BUILDING SIGNAGE FURNISHED BY WALMART, INSTALLED BY OTHERS. SITE DIRECTIONAL PLACARDS FURNISHED BY WALMART, INSTALLED BY G.C.; POLE FURNISHED AND INSTALLED BY G.C. PAVEMENT PAINT FURNISHED AND INSTALLED BY G.C.
 - GENERAL CONTRACTOR RESPONSIBILITIES:
 - REMOVE EXISTING BUILDING SIGNAGE AS INDICATED.
 - BY END OF FIRST WEEK OF CONSTRUCTION, REVIEW EXISTING CONSTRUCTION WHERE SIGN(S) WILL BE INSTALLED. IF EXISTING CONDITIONS DO NOT MATCH SIGN ATTACHMENT DETAILS SHOWN, REQUEST APPROVAL FROM CONSTRUCTION MANAGER TO SUBMIT RFI IN ACCORDANCE WITH SECTION 01255. NOTE DIFFERENCES IN CONSTRUCTION, INCLUDING DIMENSIONS, AND INCLUDE PHOTOGRAPHS FOR CLARIFICATION.
 - PROVIDE JUNCTION BOXES AND CIRCUITRY TO NEW "Pickup" AND "Spark" SIGNAGE.
 - VERIFY VOLTAGE AT CIRCUITS FEEDING LIGHTED SIGNAGE. REFER TO ELECTRICAL.
 - MAKE FINAL TERMINATIONS ON LIGHTED SIGNAGE.
 - INSTALL CHECK-IN KIOSKS & COORDINATE W/ VENDOR.
 - FOR SPECIAL PROJECTS, WHEN REQUIRED BY AHJ, G.C. IS RESPONSIBLE TO ACQUIRE SEPARATE PERMITS(S) FOR INSTALLATION OF SITE SIGNS. FOR REM PROJECTS, FOLLOW REM SIGN STANDARDS FOR PERMITS AND INSTALLATION.
 - ALL SIGN PLACARDS FURNISHED BY WALMART AND INSTALLED BY GENERAL CONTRACTOR. ALL PAINT FOR PAVEMENT MARKINGS ARE SUPPLIED AND PAINTED BY THE GENERAL CONTRACTOR.
 - FOR REMODEL PROJECTS, THE GC SHALL CONTACT THE WALMART SIGN SHOP WITH QUANTITIES AND TYPES OF PARKING STALL SIGNS AND WAY FINDING SIGNS NEEDED. CONTRACTOR TO PLACE ORDER AT LEAST 3 WEEKS IN ADVANCE OF THE OGP LAUNCH DATE. ORDER SHALL BE SENT VIA EMAIL TO GETTY THOMAS (Getty.Thomas@walmart.com) AND BRAD KEENER (Bradley.Keener@walmart.com). REQUEST SHALL CONTAIN A DELIVERY ADDRESS, DESIRED DELIVERY DATE, AND ANY SITE SPECIFIC SIGN SIZE AND/OR COLORS BASED ON APPROVED PLANS.
 - SIGNAGE CONTRACTOR RESPONSIBILITIES:
 - FURNISH SPECIFIED CONDUIT FOR LIGHTED SIGNAGE.
 - MAKE REQUIRED EXTERIOR WALL PENETRATIONS, INSTALL CONDUIT, AND SEAL PENETRATIONS PER SPECIFICATION SECTION 07900.
 - INSTALL SIGNAGE PER DETAILS ON THIS SHEET.



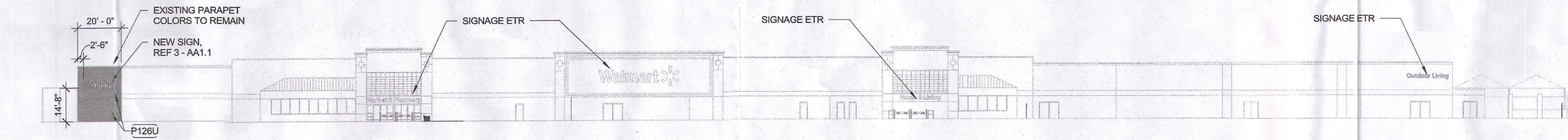
4 SIGN ATTACHMENT
1 1/2" = 1'-0"



3 SIGNAGE
1/2" = 1'-0"



2 SIDE ELEVATION
1" = 30'-0"



1 FRONT ELEVATION
1" = 30'-0"



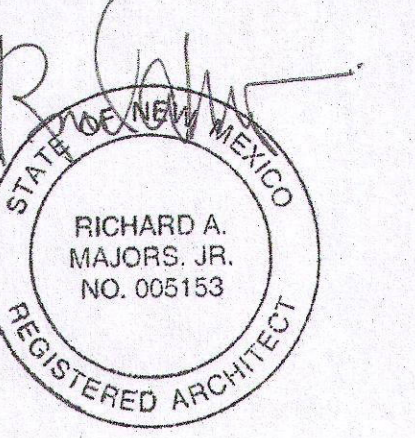
ARCHITECT OF RECORD:
RICHARD A. MAJORS, JR.
6750 ANTOCH BLVD
SUITE 300
MESA, AZ 85204
www.brrarch.com
TEL 913-262-9095
FAX 913-262-9044

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CONSULTANTS

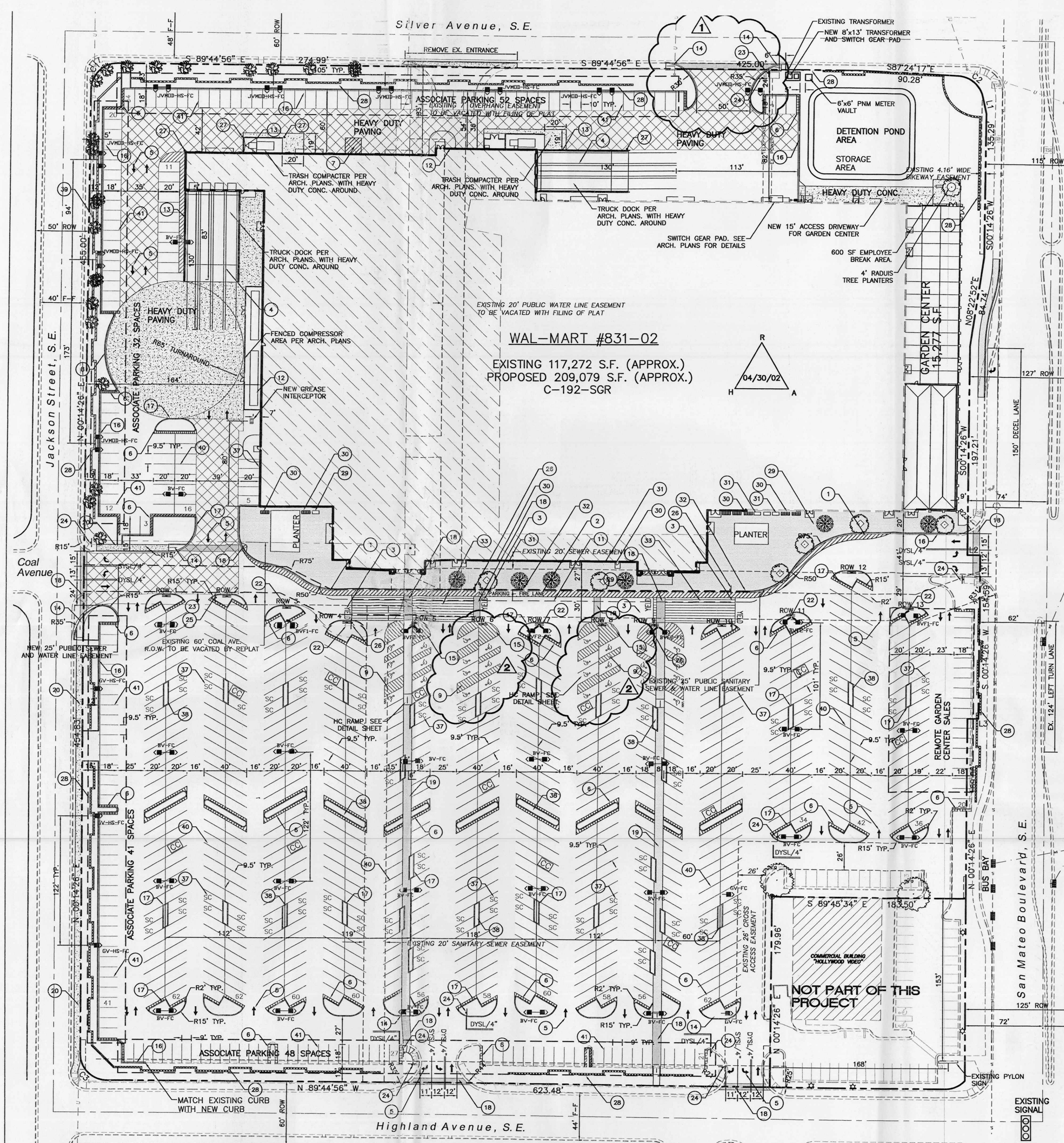
Walmart
ALBUQUERQUE, NM
301 SAN MATEO BLVD SE
STORE NO. 0831-238
JOB NUMBER: 98644477
03/29/19

CHECKED BY: *[Signature]*
DRAWN BY: SR
PROTO: 03/29/19
DOCUMENT DATE: 01/23/20



ELEVATIONS AND SIGNAGE

SHEET: AA1.1



WAL-MART #831-02
 EXISTING 117,272 S.F. (APPROX.)
 PROPOSED 209,079 S.F. (APPROX.)
 C-192-SGR

- DIMENSIONS SHOWN ARE TO FACE OF CURB UNLESS NOTED OTHERWISE.
- EXISTING SPEED BUMPS TO REMAIN AND TO BE REPAINTED TRAFFIC YELLOW.
- EIGHT EXISTING CART CORRALS TO REMAIN AND TO BE REPAINTED TRAFFIC YELLOW. CONTRACTOR TO INSTALL FIVE NEW CART CORRALS PER PLANS.
- ALL EXISTING LIGHT FIXTURES ARE TO BE REMOVED AND REPLACED WITH NEW 1000 WATT FIXTURE PER WAL-MART SPECIFICATIONS, UNLESS OTHERWISE NOTED.
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- AVERAGE LIGHT LEVELS SHALL BE LIMITED TO 2 FOOT CANDLES WITH MAXIMUM LEVELS LIMITED TO 16 FOOT CANDLES AS MEASURED FROM 4 FEET ABOVE THE SURFACE LEVEL OF ANY POINT ON THE SITE. LUMINAIRES SHALL HAVE GLARE CUT OFF ANGLES OF MAXIMUM.
- LIGHT POLES SHALL BE A MAXIMUM OF 30' FEET WITH FULL CUT OFF LIGHT FIXTURES. LIGHT FIXTURES SHALL BE A MAXIMUM OF 30' WITH FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS.
- THERE SHALL BE NO BACKLIT, PLASTIC, OR VINYL AWINGS OR ILLUMINATED PLASTIC BANDING ON SIGNAGE.
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 D. ONE SHOWER
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- SETBACK ARE ESTABLISHED AT EPC APPROVAL.
- REFER TO ARCH. PLANS FOR SITE LIGHTING ELECTRICAL PLAN.

SITE DATA

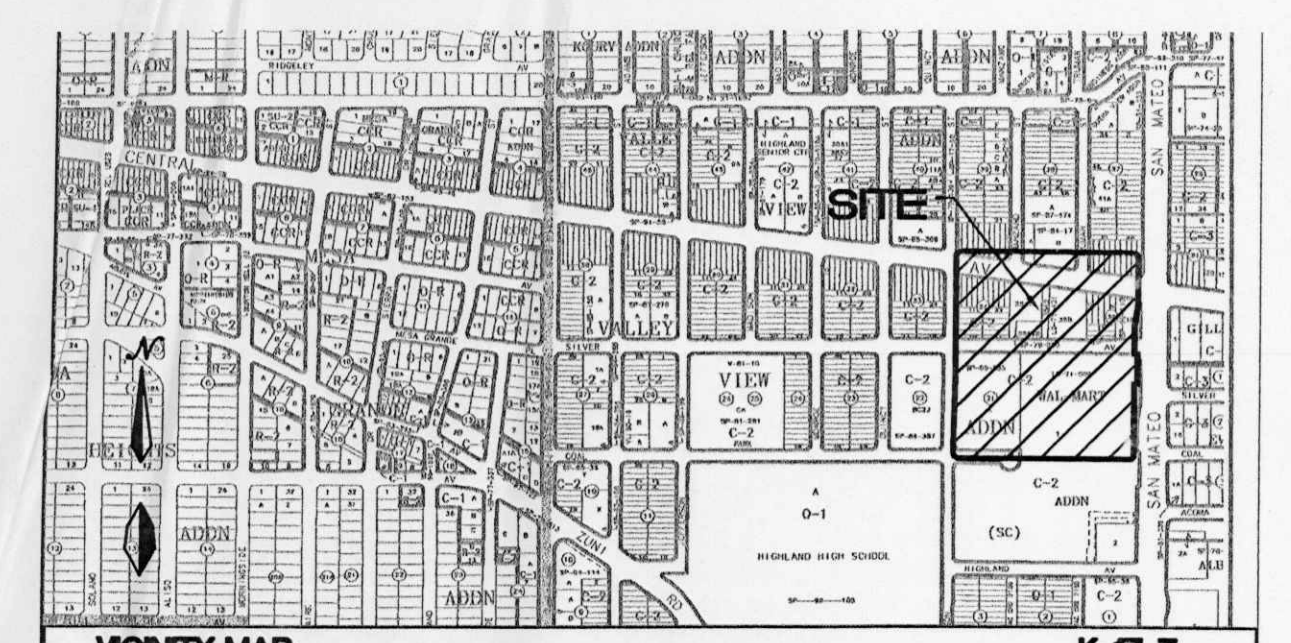
PROPOSED USAGE:	EXISTING WAL-MART	PROPOSED EXPANSION
LOT AREA:	598,125 SF (13.7311 ACRES)	766,948 SF (17.6067 ACRE)
BUILDING AREA:	117,272 SF	117,272 SF
EXPANSION:	-	92,232 SF
TOTAL:	-	209,504 SF w/GARDEN CENTER
LANDSCAPING:	-	82,347 SF
PROVIDED:	69,731 SF	955 SPACES
REQUIRED:	69,731 SF	1048 SPACES
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PARKING REQUIRED:	666 SPACES	4.55
LESS 10% BUS CREDIT	-	4.91
PARKING RATIO:	6.98	4.91
PARKING RATIO: WITHOUT GARDEN CENTER	-	-
HC PARKING PROVIDED:	18 SPACES	20 SPACES (8 VAN)
HC PARKING REQUIRED:	12 SPACES	6 SPACES VAN ACCESSIBLE
BIKE SPACES PROVIDED:	-	54 SPACES
BIKE SPACES REQUIRED:	-	51 SPACES

- PAINT STRIPING LEGEND**
- SWSL/4" - SINGLE WHITE SOLID LINE / 4" WIDE
 - SYSL/4" - SINGLE YELLOW SOLID LINE / 4" WIDE EACH
 - DYSL/4" - DOUBLE YELLOW SOLID LINE / 4" WIDE EACH
 - SYSL/10" - SINGLE YELLOW SOLID LINE / 10" WIDE
 - SWDL/4" - SINGLE WHITE DASHED LINE / 4" WIDE
 - SWSL/24" - SINGLE WHITE SOLID LINE / 24" WIDE

LEGEND

- EXISTING CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- PROPOSED EASEMENT
- PROPOSED SCREEN WALL
- PROPOSED SCREEN WALL
- PROPOSED SIDEWALK
- STANDARD ASPHALT PAVING AREA
- HEAVY ASPHALT PAVING AREA
- HEAVY CONCRETE AREA
- PATTERN CONCRETE AREA
- PROPOSED PARKING LOT LIGHTING
- PROPOSED BOLLARD
- PROPOSED PEDESTRIAN CROSSWALK
- PROPOSED CART CORRALS
- ASSOCIATE PARKING AREA
- BIKE RACK
- BIKE LOCKER

GRAPHIC SCALE
 50 25 0 25 50
 SCALE: 1"=50'



VICINITY MAP
LEGAL DESCRIPTION:
 Lots One and Two, Wal-Mart Addition AND Lot "A", Block Twenty-One, Valley View Addition, Wal-Mart Stores East, Inc.

- SITE LEGEND**
- 6" WIDE FIRE LANE WITH 6" WIDE PAINTED TRAFFIC RED STRIPING AT 45° TYPICAL CURB TO BE PAINTED TRAFFIC RED AT THESE LOCATIONS. (SHT 18 OF 24)
 - "NO PARKING-FIRE LANE" PAINTED TRAFFIC YELLOW ON PAVEMENT AT 80° O.C. LETTERS TO BE A MINIMUM 2'-0" TALL. (SHT 18 OF 24)
 - "YIELD" PAINTED YELLOW ON PAVEMENT TYPICAL. (SHT 17 OF 24)
 - PROVIDE (2) 4" WIDE YELLOW STRIPES @ 10' O.C. x 130' LONG CENTER ON DOCK DOORS
 - PAINTED DIRECTIONAL ARROW TYPICAL. (SHT 17 OF 24)
 - 2'-0" LOADING ZONE AT ALL CURBED PARKING SPACES. 4" PAINTED YELLOW STRIPING AT 2'-0" O.C. PERPENDICULAR TO PARKING SPACE.
 - 10' x 15' STRIPED AREA PAINTED SYSL/4" AT 45° @ 2'-0" O.C. AT JIB CRANE LOCATION. SEE ARCH. PLANS
 - FIRE LANE STRIPING SHALL BE 6" RED STRIPES WITH 4" INCH WHITE LETTERS READING "NO PARKING FIRE LANE" STRIPING SHALL BE PLACED ON FACE OF CURB WHENEVER POSSIBLE, OR AS SPECIFIED BY LOCAL CODES. (SHT 18 OF 24)
 - ACCESSIBLE PARKING SPACE TYPICAL. SEE DETAIL SHEET FOR ACCESSIBLE PARKING SPACE SIZE, SIGN AND SYMBOL ("VAN"-INDICATES VAN ACCESSIBLE SPACE). (SHT 17 OF 24)
 - RAMPED PAVEMENT AT VESTIBULE TO BE FLUSH WITH TOP OF SIDEWALK AT 5.0% MAX. SLOPE. REFER TO ARCHITECTURAL PLANS.
 - EXIT PORCH. SEE ARCHITECTURAL PLAN FOR EXACT SIZE, LOCATION FOR STOODS, STAIRS AND/OR RAMPS THAT MAY BE REQUIRED. RAMP FLUSH W/ TOP OF STOOD.
 - 16"x119" COMPRESSOR CONCRETE COMPACTOR PAD. REFER TO ARCHITECTURAL PLAN FOR EXACT LOCATION AND SLOPE.
 - SCREEN WALL PER ARCH. PLANS
 - UNIDIRECTIONAL HC RAMP. (SHT 19 OF 24)
 - PAINTED ISLAND TYPICAL UNLESS NOTED OTHERWISE. STRIPES SHALL BE PAINTED SYSL/4" AT 2'-0" O.C. PERPENDICULAR TO THE PARKING SPACE.
 - 6" CONCRETE CURB AND GUTTER TYPICAL.
 - 6" CONCRETE HEADER CURB TYPICAL (SHT 17 OF 24)
 - 6" WIDE SLIGHTLY RAISED CONCRETE PEDESTRIAN CROSSWALK. PAINTED WHITE (SHT 17)
 - 8" WIDE RAISED CONCRETE SIDEWALK TYPICAL. (SHT 17 OF 24)
 - 6" CONCRETE SIDEWALK TYPICAL.
 - aisle indicator signs typical (SHT 17 OF 24)
 - "TRUCK ROUTE" SIGN. SEE PLAN FOR LOCATION.
 - "STOP" SIGN. SEE PLAN FOR LOCATION.
 - "NO TRUCKS" SIGN. SEE PLAN FOR LOCATION.
 - PEDESTRIAN CROSSING SIGN W10-2 AND W10-2p TYPICAL AT PEDESTRIAN CROSSWALKS AS NOTED ON PLANS.
 - 6" DIA. PIPE BOLLARD TYPICAL. (SHT 19 OF 24)
 - 3' HIGH SCREEN WALL. (SHT 17 OF 24)
 - 5'x5' TREE PLANTER SEE SHEET 18 FOR DETAILS
 - (8) 5 SPACE BIKE RACK TYPICAL (SHT 19 OF 24)
 - BIKE LOCKERS (7 UNITS, 14 TOTAL LOCKER SPACES). (SHT 17 OF 24)
 - ZERO CURB PER ARCH. SECTIONS
 - PEDESTRIAN CROSSWALK WITH 4" WIDE PAINTED YELLOW STRIPING PARALLEL TO DIRECTION OF TRAFFIC AT 2'-0" O.C. UNLESS NOTED OTHERWISE. SEE SITE PLAN FOR WIDTH.
 - PROPOSED LIGHTING.
 - CART CORRALS TYPICAL (SHT 19 OF 24)
 - PROPOSED HC RAMP. (SHT 19 OF 24)
 - SMALL CAR MARKER, "COMPACT" PAINTED YELLOW ON PAVEMENT TYPICAL.
 - TREE PLANTER TYPICAL (SHT 18 OF 24)
 - RETAINING WALL TYPICAL (SHT 18 OF 24)
 - 4" SOLID YELLOW CUSTOMER PARKING STRIPING.
 - 4" SOLID WHITE ASSOCIATE PARKING STRIPING

1001525 ADMINISTRATIVE APPROVED
 DEVELOPMENT PLAN AMENDMENT
 02AA
 FILE NO. AA-01385
 Shift near entrance east & Meloy's Building Parking Signage
 9/19/02
 PLAN NO. DIRECTOR'S OFFICE
 Note: Per Public Works Department

CURVE TABLE

CURVE	LENGTH	RADIUS	TANGENT	DELTA	CHORD BEARING	CHORD LENGTH
C1	39.27	25.00	25.00	90°00'38"	S45°14'45"W	35.36
C2	32.85	25.00	19.12	74°49'42"	N49°59'28"W	30.38
C3	39.27	25.00	25.00	90°00'01"	S44°44'56"E	35.36

REVISIONS

NO.	DATE	REMARKS	BY
1	08/14/02	CHANGES PARALLEL HC PARKING TO PERP. PARKING, ADDED 2 SPACES	BDG
1	06/24/02	MOVED ENTRANCE 9.5' TO THE EAST TO AVOID POWER POLE	BDG

ENGINEER'S SEAL
 RONALD R. BOHANNAN
 P.E. #7868

ALBUQUERQUE WAL-MART EXPANSION, NM: 831-02

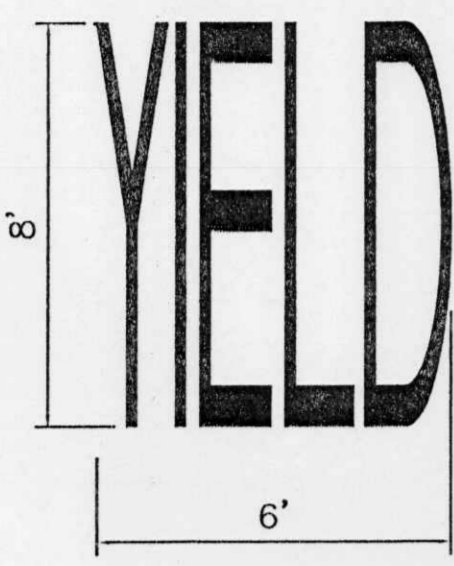
SITE PLAN FOR BUILDING PERMIT

TERRA WEST, LLC
 8509 JEFFERSON NE
 ALBUQUERQUE, NEW MEXICO 87113
 (505)858-3100

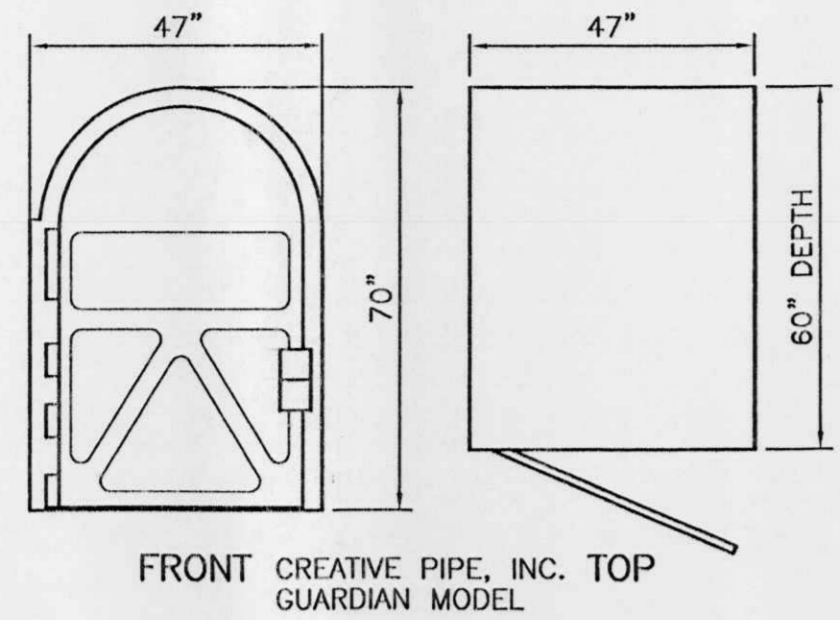
DRAWN BY BDG
DATE 05/06/02
208JSP.DWG

SHEET #
4
JOB # 200083

NOTE:
 1. WORDS AND ARROWS FOR DRIVEWAYS SHALL BE APPLIED ACCORDING TO REQUIREMENTS AS OUTLINED IN SECTION 3B OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREET AND HIGHWAYS.
 2. THESE WORDS AND ARROWS ARE TO BE PAINTED REFLECTIVE WHITE.

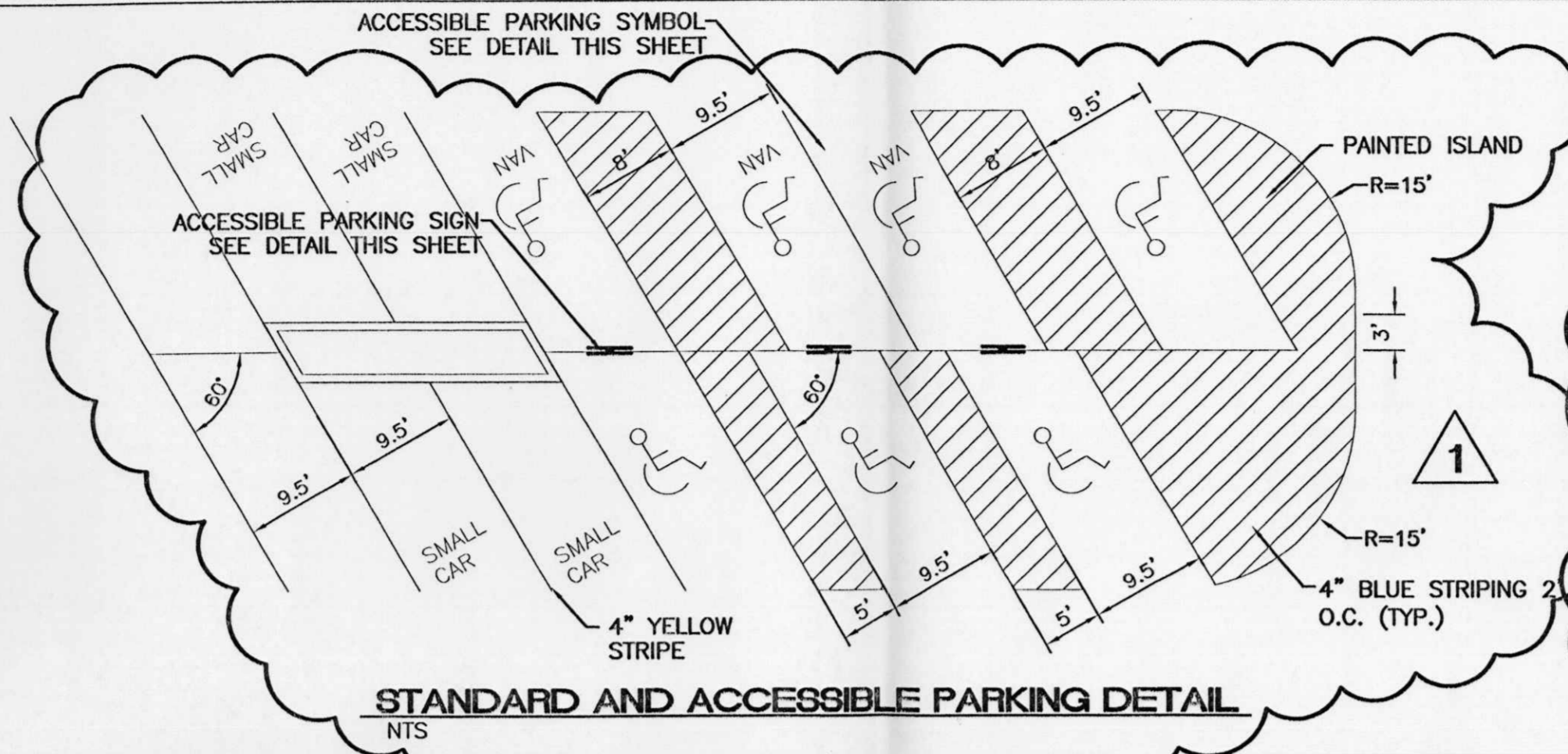


YIELD MARKER
 SCALE: NTS

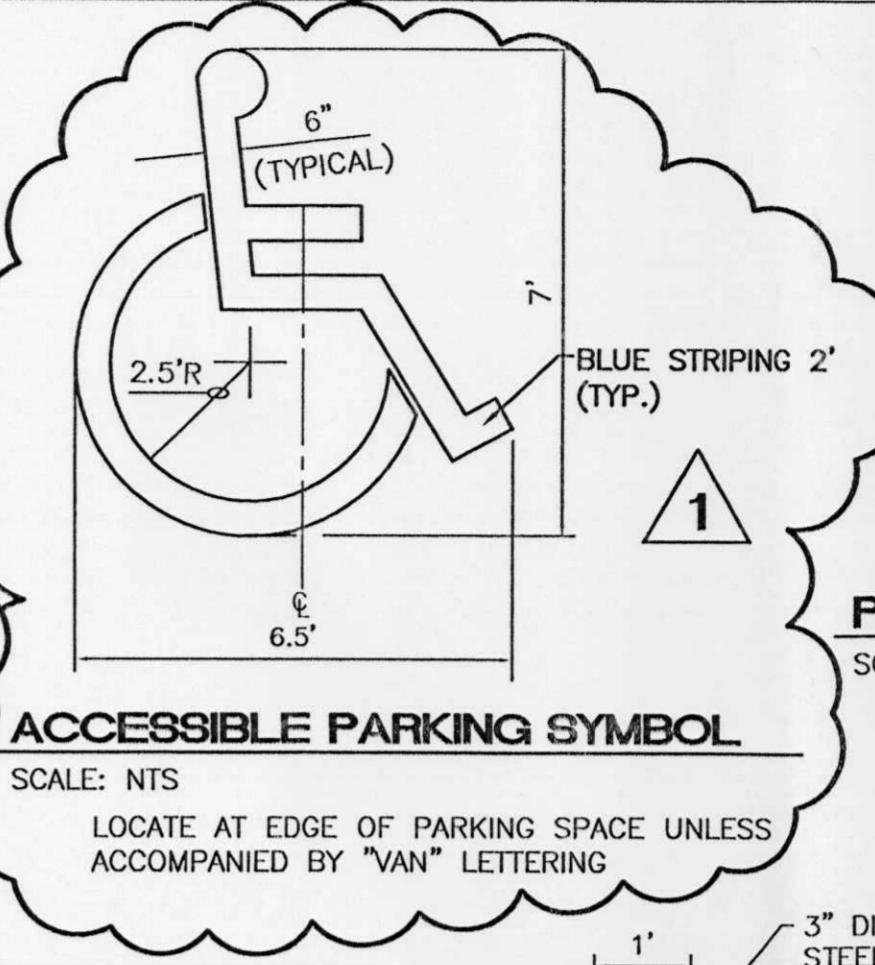


FRONT CREATIVE PIPE, INC. TOP GUARDIAN MODEL

BIKE LOCKER DETAIL
 NTS



STANDARD AND ACCESSIBLE PARKING DETAIL
 NTS



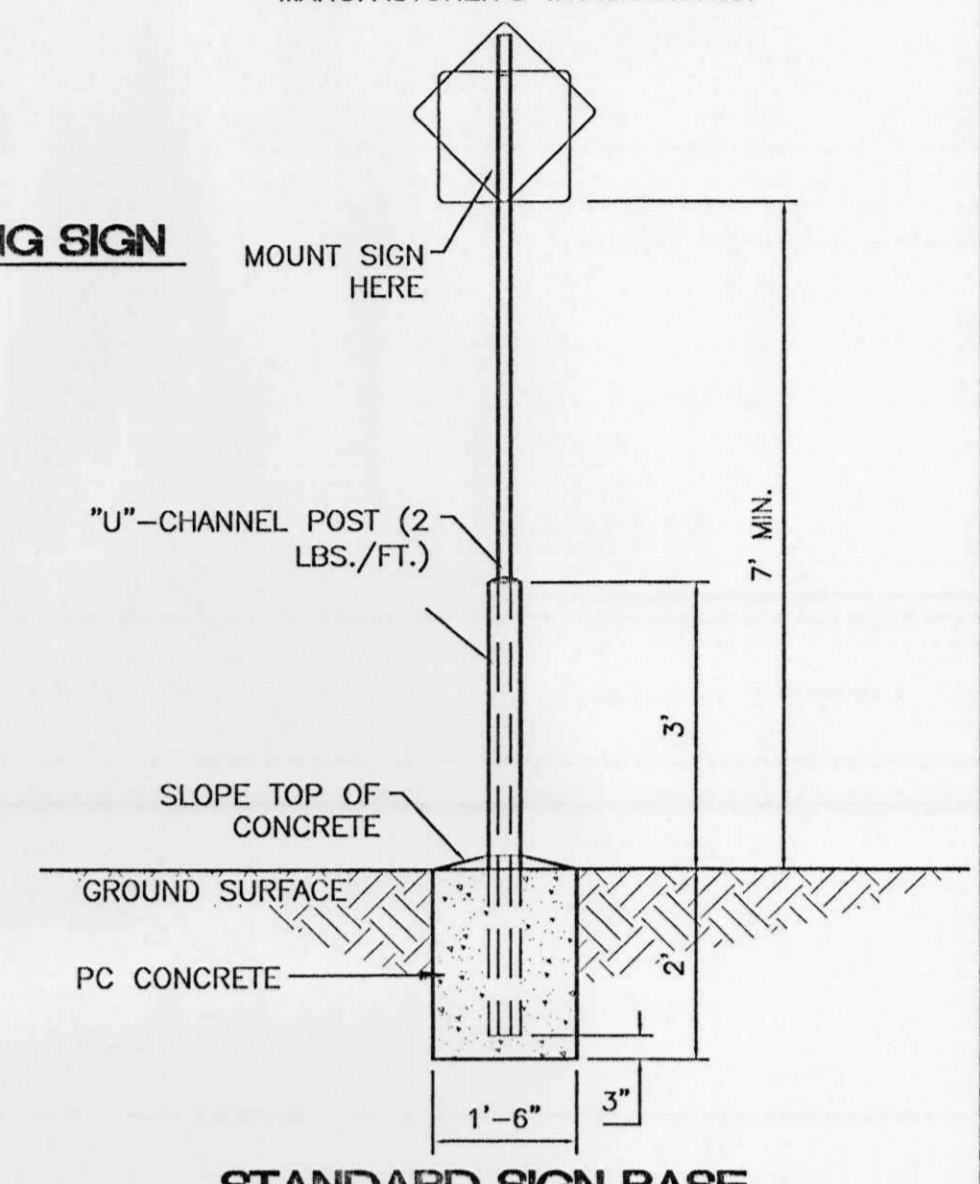
ACCESSIBLE PARKING SYMBOL
 SCALE: NTS
 LOCATE AT EDGE OF PARKING SPACE UNLESS ACCOMPANIED BY "VAN" LETTERING



BLACK LEGEND ON YELLOW BACKGROUND (W11A-2) (W11A-2P)

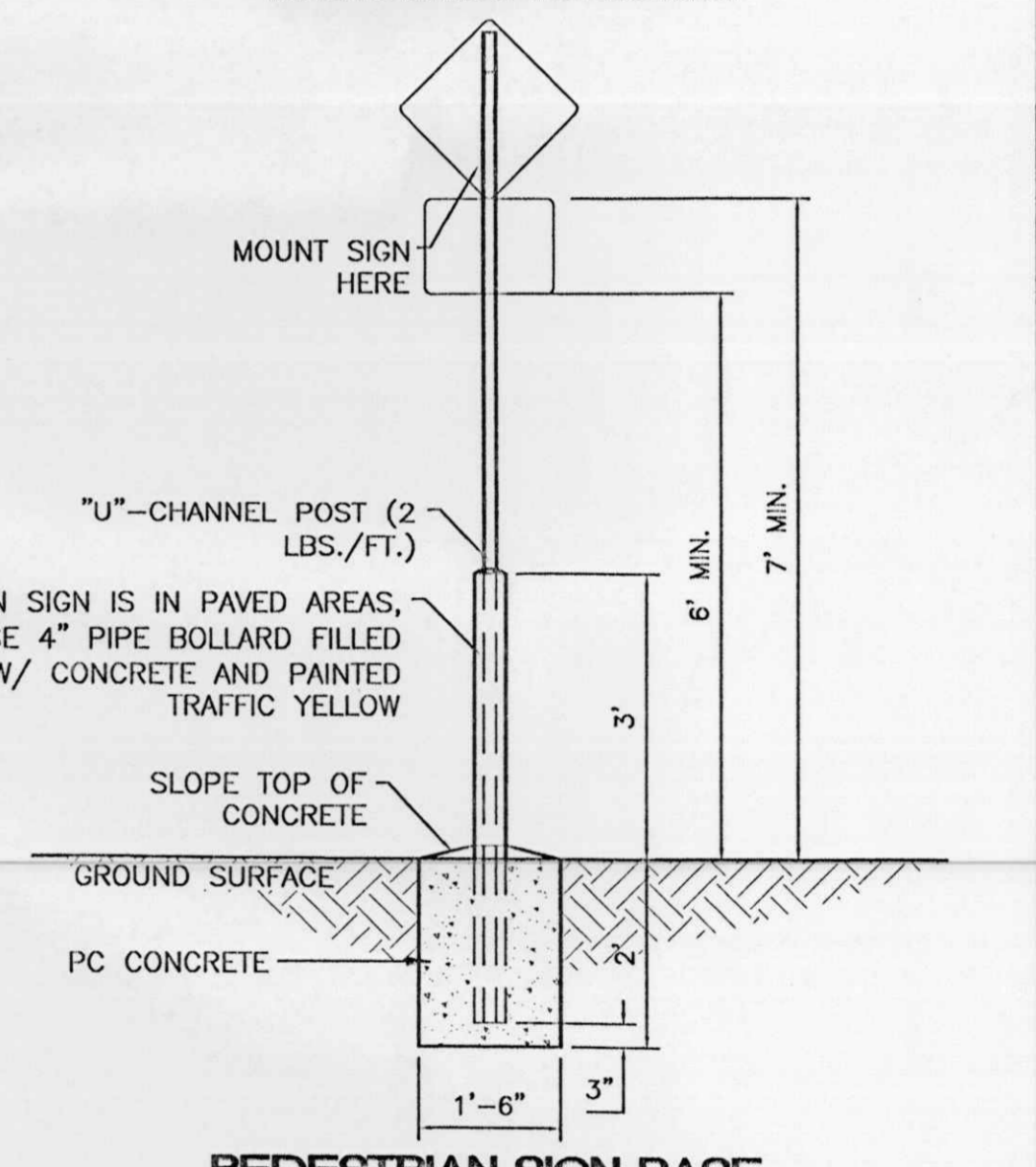
PEDESTRIAN CROSSING SIGN
 SCALE: NTS

ALL SIGNS SHALL COMPLY WITH U.S. DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION'S "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES", LOCAL CODES AND AS SPECIFIED. MOUNT SIGNS TO POST IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.

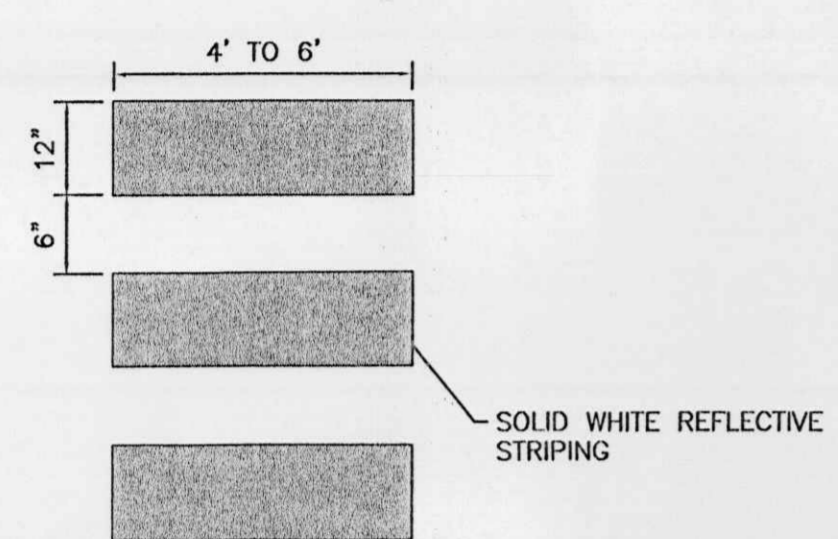


STANDARD SIGN BASE
 SCALE: 1/2"=1'

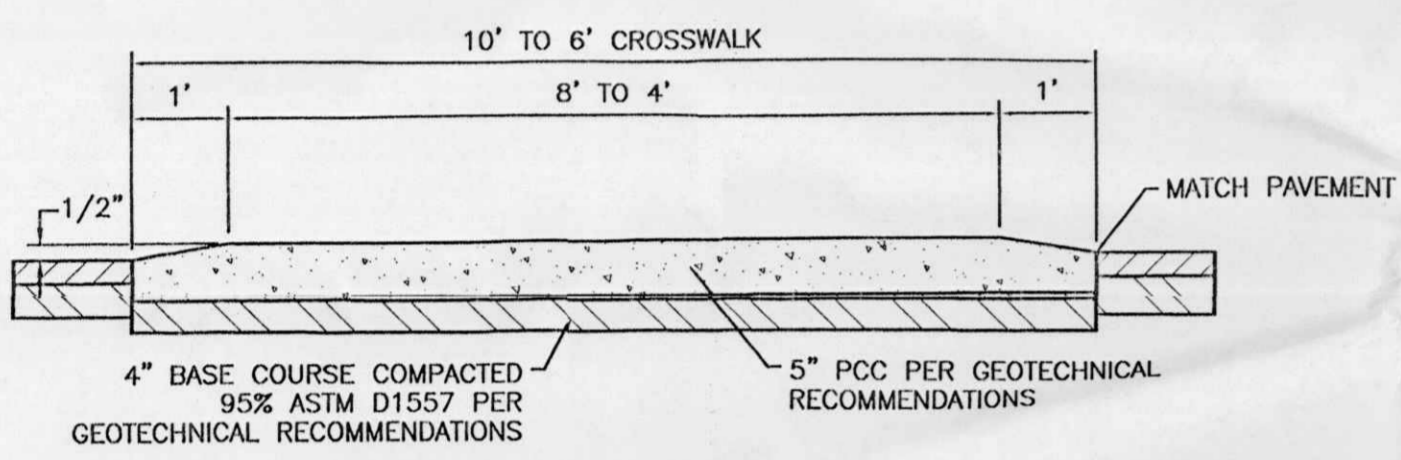
ALL SIGNS SHALL COMPLY WITH U.S. DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION'S "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES", LOCAL CODES AND AS SPECIFIED. MOUNT SIGNS TO POST IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.



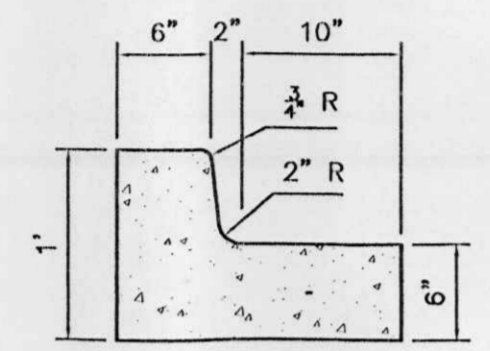
PEDESTRIAN SIGN BASE
 SCALE: 1/2"=1'



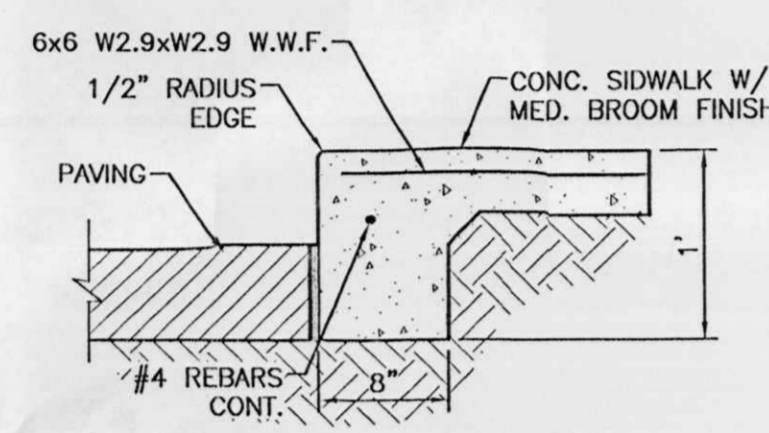
CROSSWALK PLAN VIEW



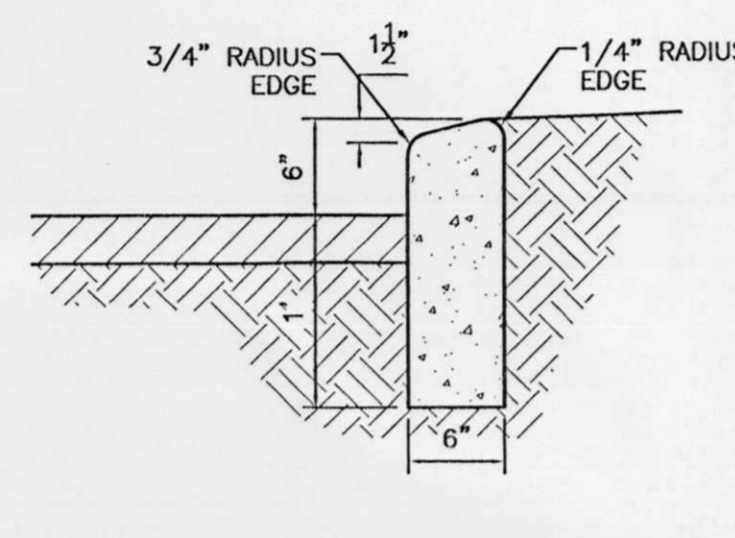
RAISED CROSSWALK
 SCALE: 1/2"=1'



6 IN. CURB AND GUTTER
 SCALE: 1"=1'



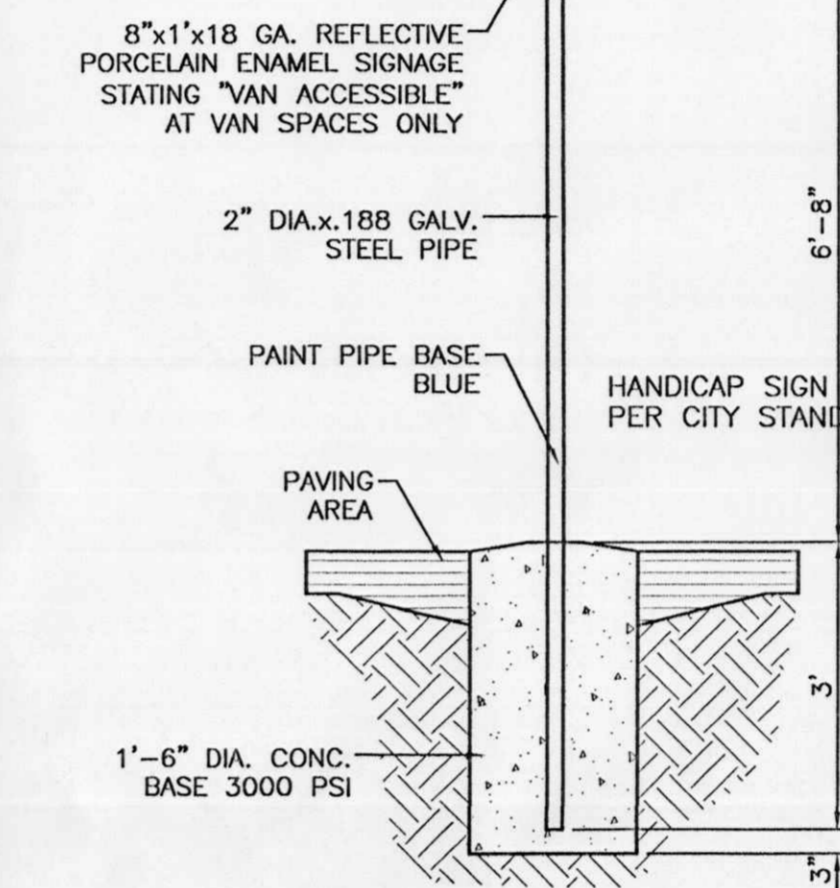
DETAIL-TURNDOWN CURB
 1" = 1'-0"



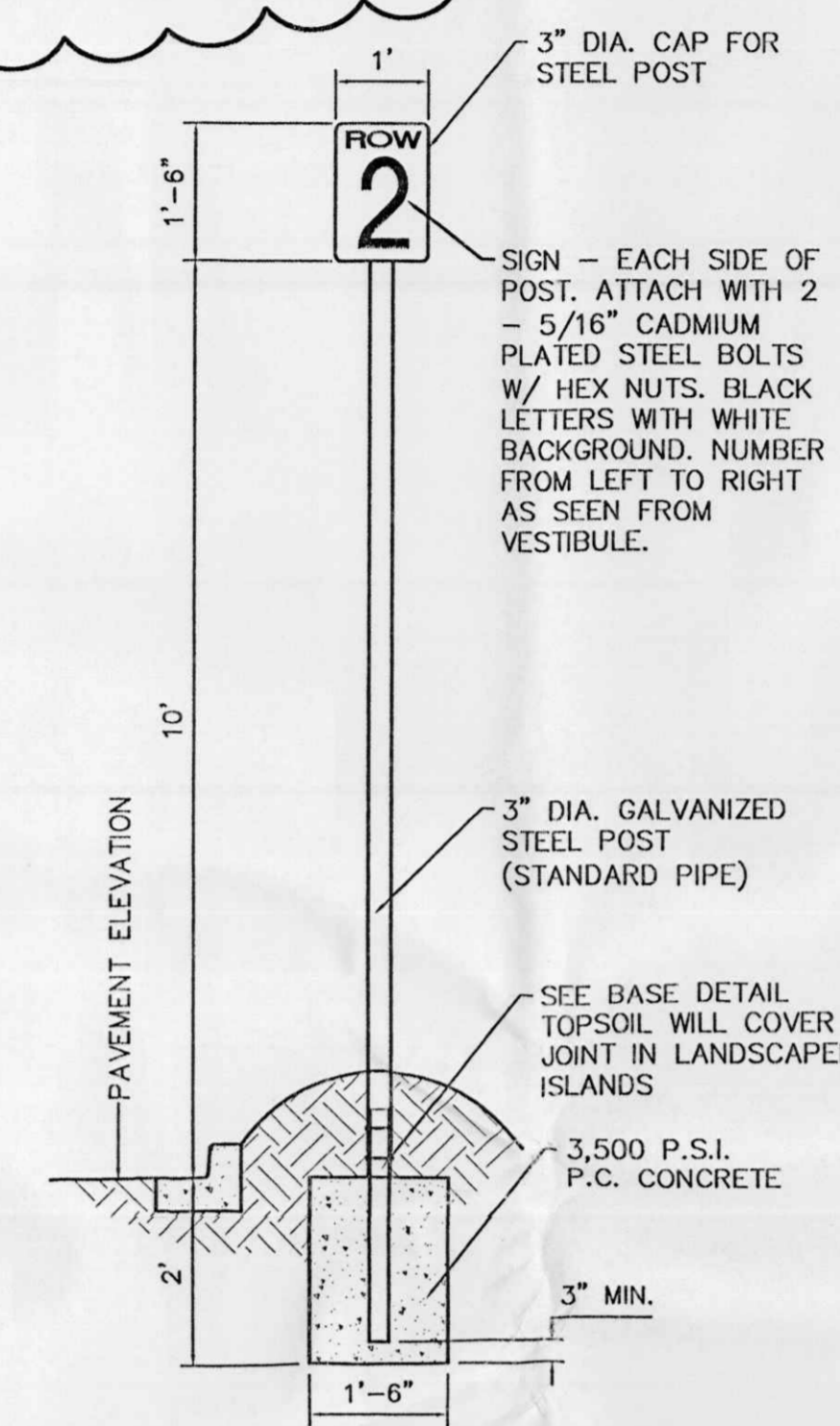
6" HEADER CURB DETAIL
 1"=1'

CURB GENERAL NOTES:
 1. ALL CURBS TO BE CONSTRUCTED OF PORTLAND CEMENT CONCRETE, PER WAL-MART SPECIFICATIONS.
 2. PROVIDE CONTRACTION JTS. 12' MAX., SPACING, 1/2" EXP. JTS. AT CURB RETURNS AND AT A MAX. SPACING OF 120' BETWEEN CURB RETURNS AND EACH SIDE OF SEPARATELY CONSTRUCTED DRIVEWAYS. CONTRACTION JTS. SHALL BE EITHER SAWED OR TOoled A MINIMUM OF 1" DEEP AT FINISHED FACES.
 3. ALL EDGES SHALL BE EDGED WITH A 3/8" RADIUS EDGING TOOL.
 4. 1/4" ISOLATION JOINT SHALL BE PLACED BETWEEN SIDEWALK AND CURB WHEN CAST ADJACENT TO EACH OTHER.

1'-6"x1'x18 GA. REFLECTIVE PORCELAIN ENAMEL STANDARD "HANDICAP PARKING" SIGN WITH IDENTIFICATION SYMBOL BOLT TO STEEL TUBE WITH 3/8" CADMIUM PLATED BOLTS, NUTS, & WASHERS.

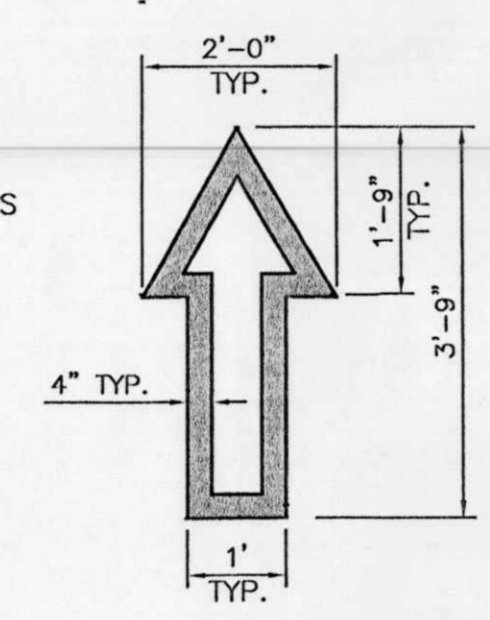


HANDICAP SIGN
 SCALE: 1/2"=1'

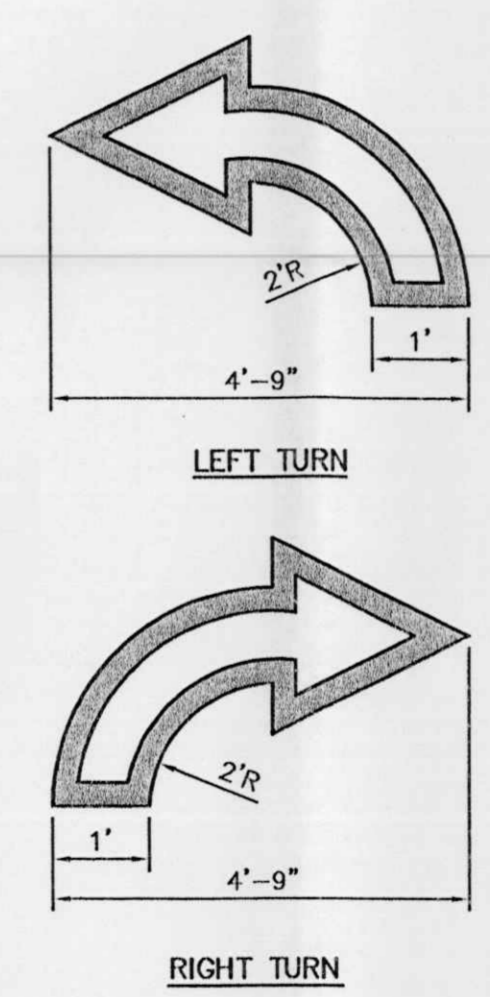


AISLE SIGN IN LANDSCAPE ISLAND
 SCALE: 1/2"=1'

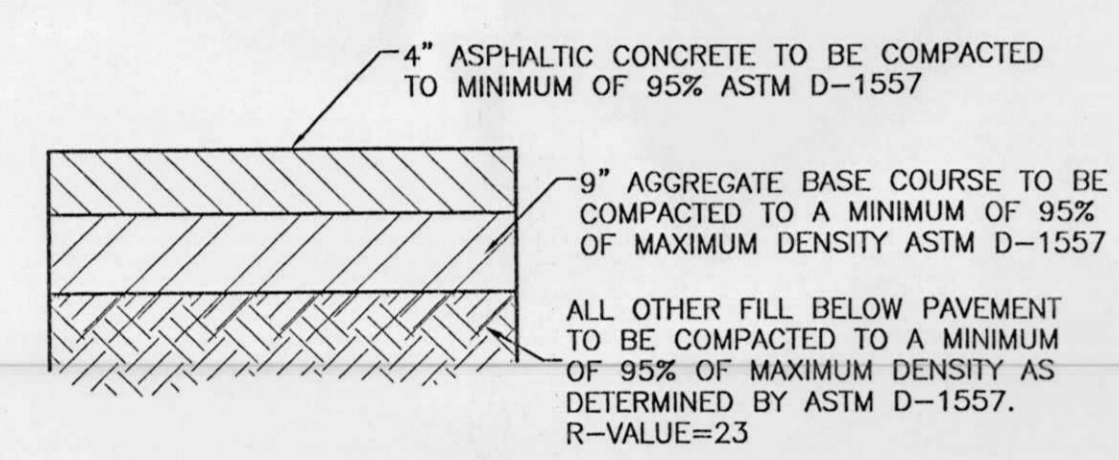
GENERAL NOTES:
 1. ALL CONCRETE IS TO BE 3000 PSI @ 28 DAYS.
 2. MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
 3. BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
 4. ALL BARS ARE TO BE GRADE 60, ASTM 615.
 5. TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
 6. DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO V-BARS. SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
 7. USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 16'.



NOTE: ALL TRAFFIC FLOW ARROWS TO BE REFLECTIVE YELLOW PAINT PER SPECS.

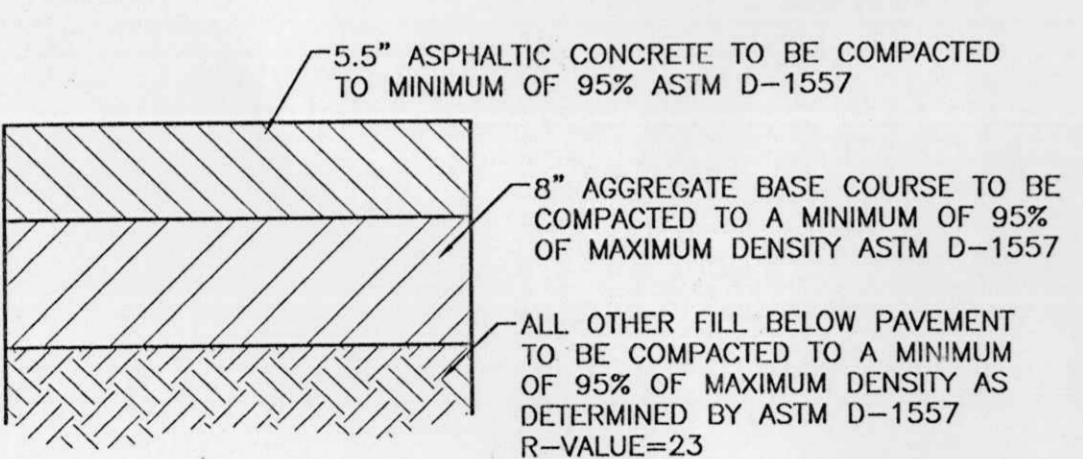


LEFT TURN
 RIGHT TURN



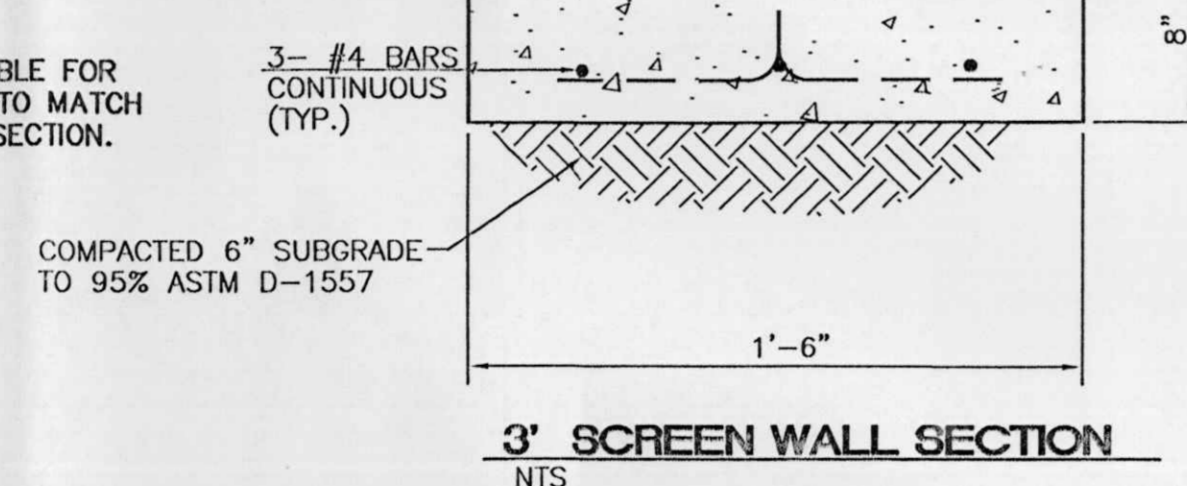
OPTIONAL 6.5" FULL DEPTH ASPHALT SECTION MAY BE USED.
NOTE: CONTRACTOR IS RESPONSIBLE FOR ADJUSTING SUBGRADE ELEVATION TO MATCH SELECTED ALTERNATE PAVEMENT SECTION.

DESIGNATED BY

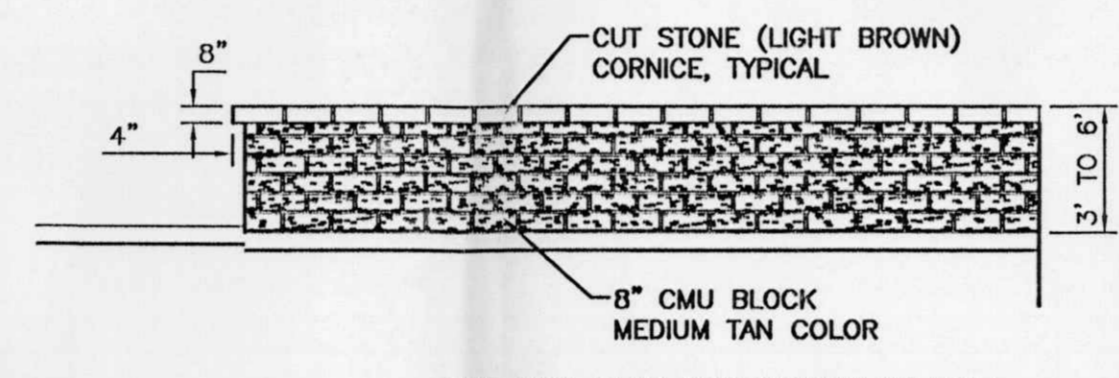


OPTIONAL 8" FULL DEPTH ASPHALT SECTION MAY BE USED.
NOTE: CONTRACTOR IS RESPONSIBLE FOR ADJUSTING SUBGRADE ELEVATION TO MATCH SELECTED ALTERNATE PAVEMENT SECTION.

DESIGNATED BY

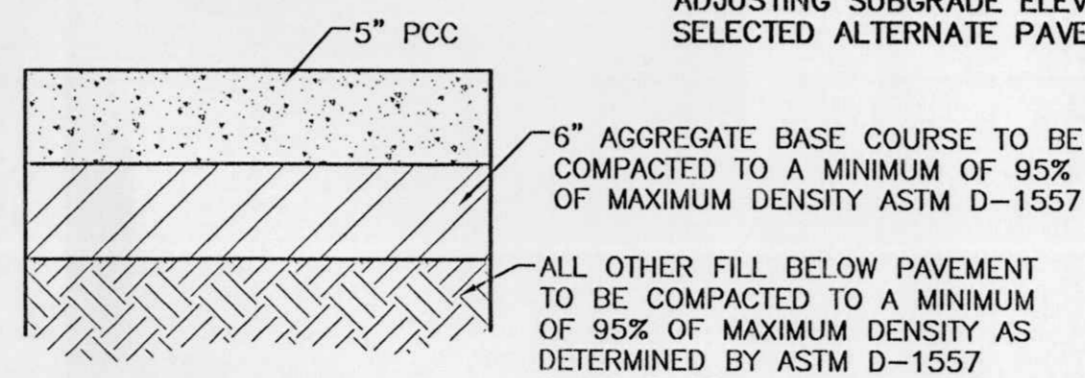


3' SCREEN WALL SECTION
 NTS

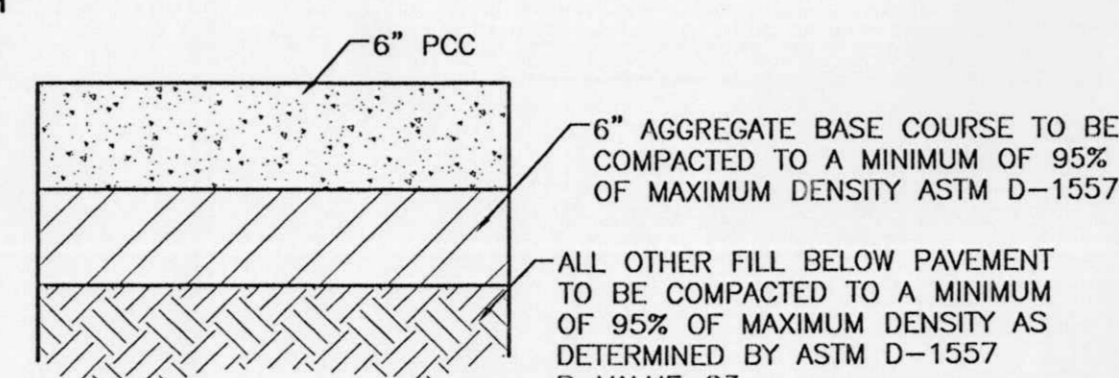


SCREEN WALL DETAIL (TYP.)
 NTS

NOTE: CONTRACTOR IS RESPONSIBLE FOR ADJUSTING SUBGRADE ELEVATION TO MATCH SELECTED ALTERNATE PAVEMENT SECTION.



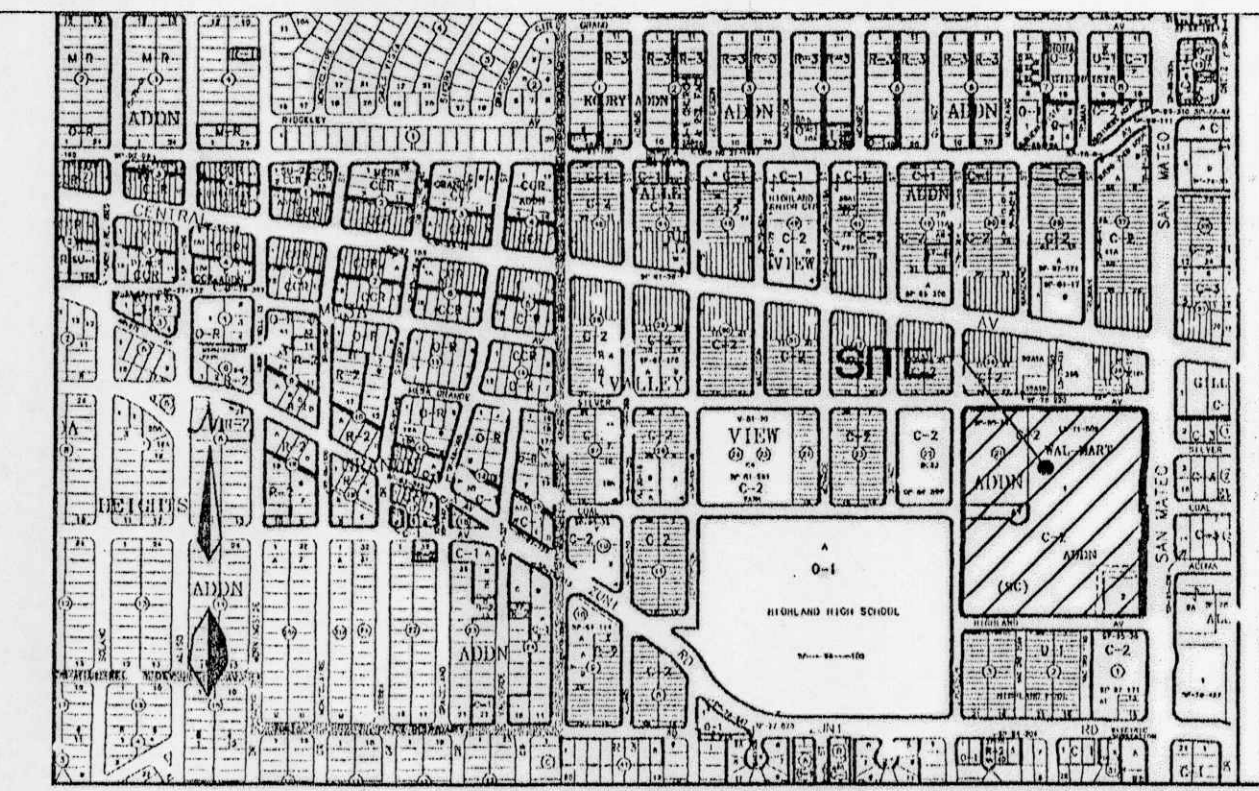
STANDARD CONCRETE SECTION
 1" = 1' DESIGNATED BY



HEAVY CONCRETE SECTION
 1" = 1' DESIGNATED BY

1	08/14/02	REMOVED PARALLEL PARKING, CHANGED STRIPING TO BLUE PAINT	BDG
NO.	DATE	REMARKS	BY
REVISIONS			
ENGINEER'S SEAL	ALBUQUERQUE WAL-MART EXPANSION, NM: 831-02		DRAWN BY BDG
			DATE 04/12/02
			DETAILS.DWG
			SHEET # 18
TERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100			JOB # 200083
RONALD R. BOHANNAN P.E. #7868			

PROPOSED WAL--MART EXPANSION #831-02 SAN MATEO BOULEVARD ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO



VICINITY MAP ZONE ATLAS K-17-Z
SCALE NONE

SITING NOTES:

1. THE SITING FOR THE WAL--MART PORTION OF THIS PROJECT SHALL MEET OR EXCEED THE "WAL--MART STANDARD SITING SPECIFICATIONS."
2. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICES.

GOVERNMENT PERMIT AGENCIES

CITY OF ALBUQUERQUE
DEVELOPMENT REVIEW BOARD
FOR SITE PLAN AND BUILDING PERMIT
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ABQ., NM 87103
(505) 924-3868

CITY OF ALBUQUERQUE
HYDROLOGY DRAINAGE APPROVAL
LOREN MENZ
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ABQ., NM 87103
(505) 924-3999

CITY OF ALBUQUERQUE
BUILDING DIVISION FOR BUILDING PERMIT
DAVID STEELE
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ABQ., NM 87103
(505) 924-3868

CITY OF ALBUQUERQUE
DESIGN REVIEW COMMITTEE
KEVIN BRODRICK
P.O. BOX 1293
ABQ., NM 87103
(505) 924-3992

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ROGER GREEN

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JOE DUNLOP

POWER COMPANY
PNM - ELECTRIC AND GAS
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(505) 259-8462
TONY MACHAC

TELEPHONE COMPANY
QWEST COMMUNICATIONS
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PO BOX 1355 STATION 700
ABQ., NM 87103-1355
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JOSEPH MARTINEZ

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RAYMOND HARRIS & ASSOCIATES ARCHITECTS
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TOMAS NEGRETE

SURVEYOR
PRECISION SURVEYS, INC.
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LARRY MEDRANO

GEOTECH
KLEINFELDER
4905 HAWKINS N.E.
ABQ., NM 87109
(505) 344-7373
JOHN NORTH

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8509 JEFFERSON N.E.
ABQ., NM 87113
(505) 858-3100
RON BOHANNAN

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KEVIN BRODRICK

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CITY OF ALBUQUERQUE
ZONING DEPARTMENT
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JACK BAYSE

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CITY OF ALBUQUERQUE
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ENVIRONMENTAL HEALTH DEPARTMENT
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ABQ., NM 87103
(505) 768-2600
RICHARD MITZELFELT

FIRE DEPARTMENT
CITY OF ALBUQUERQUE
FIRE DEPARTMENT
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ABQ., NM 87103
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JESSE MOLINA

CABLE
COMCAST
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ABQ., NM 87107
(505) 761-6221
ROBERT MARTINEZ

FIBER OPTICS
ESPIRE
505 MARQUETTE N.E., SUITE 1605
ABQ., NM 87103
(505) 998-2274
JOHN MAREZ

GST
3830 SINGER BOULEVARD N.E., SUITE 1000
ABQ., NM 87109
(505) 938-7339
ROYAL HARRISON

MCI
3700 SINGER BOULEVARD N.E., SUITE A
ABQ., NM 87109
(505) 346-4470
MICHAEL WOODMAN

INDEX TO DRAWINGS

1. SITE PLAN FOR BUILDING PERMIT
2. LANDSCAPE PLAN
3. GRADING AND DRAINAGE PLAN
- 3A. GRADING DETAILS
- 3B. GRADING DETAILS
4. MASTER UTILITY PLAN
5. ELEVATIONS
6. DETAILS
7. DETAILS
8. DETAILS
9. DETAILS
10. DETAILS

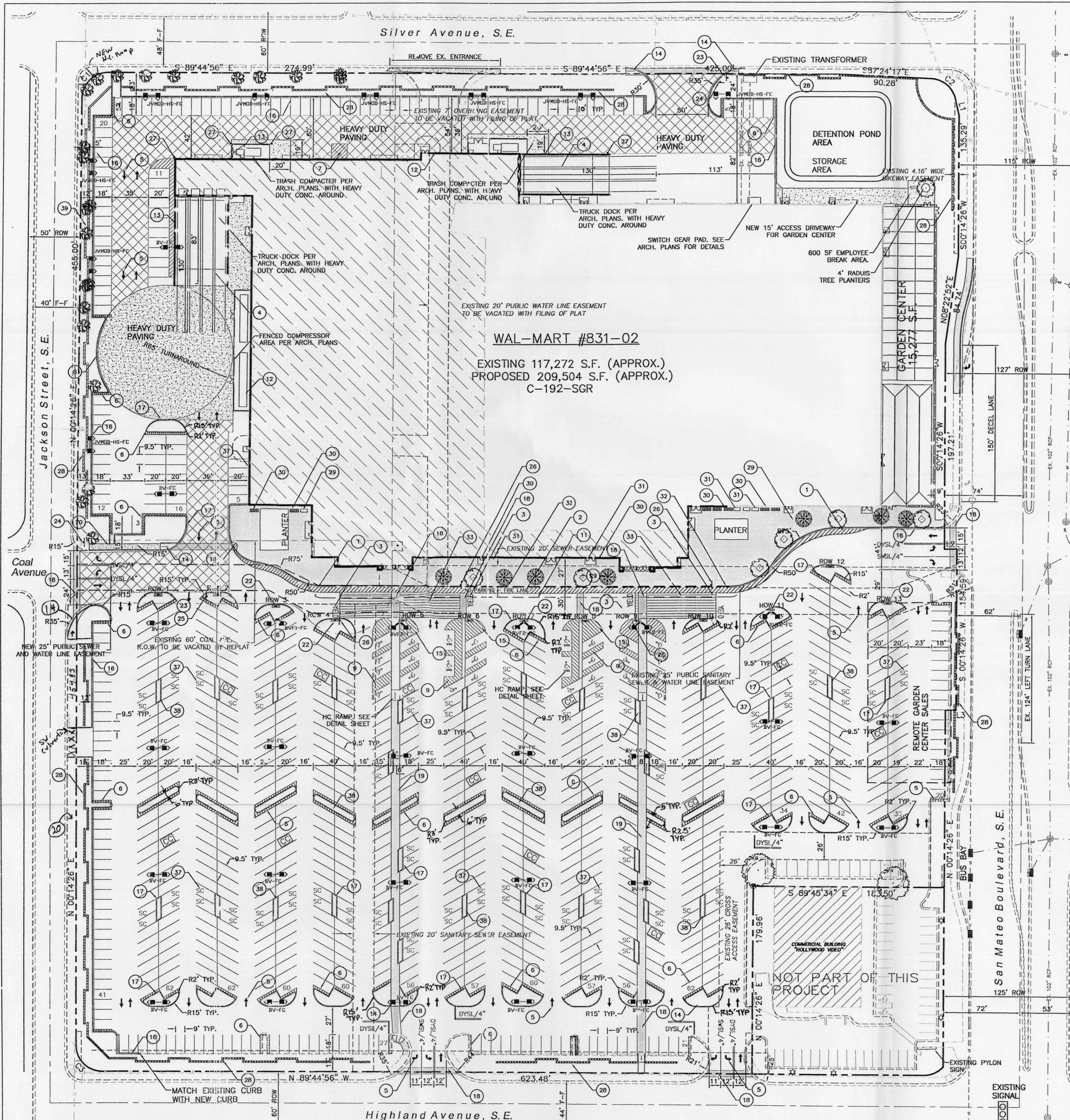
DEVELOPER

WAL--MART EAST, INC.
702 SW 8th STREET
BENTONVILLE, AR 72716
CONTACT: MOHSEN GHADIMKHANI
PHONE: (501) 273-4940

TIERRA WEST, LLC
EXPRESSLY RESERVES THE COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN ANY MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF TIERRA WEST DEVELOPMENT MANAGEMENT SERVICES.

NO.	DATE	REMARKS	BY
		REVISIONS	

	ALBUQUERQUE WAL-MART EXPANSION, NM: 831-02	DRAWN BY: BDG DATE: 03/07/02 2083COV1.DWG
	<p>8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505) 858-3100</p>	SHEET # JOB # 200083



WAL-MART #831-02
 EXISTING 117,272 S.F. (APPROX.)
 PROPOSED 209,504 S.F. (APPROX.)
 C-192-SGR

SITE PLAN NOTES

- DIMENSIONS SHOWN ARE TO FACE OF CURB UNLESS NOTED OTHERWISE.
- EXISTING SPEED BUMPS TO REMAIN AND TO BE REPAINTED TRAFFIC YELLOW.
- EIGHT EXISTING CART CORRALS TO REMAIN AND TO BE REPAINTED TRAFFIC YELLOW. CONTRACTOR TO INSTALL FIVE NEW CART CORRALS PER PLANS.
- ALL EXISTING LIGHT FIXTURES ARE TO BE REMOVED AND REPLACED WITH NEW 1000 WATT FIXTURE PER WAL-MART SPECIFICATIONS, UNLESS OTHERWISE NOTED.
- NEW AND REPLACEMENT LIGHTING SHALL BE FULL CUT OFF FIXTURES (I.e. SHOE BOX) TO MINIMIZE FUGITIVE LIGHT.
- AVERAGE LIGHT LEVELS SHALL BE LIMITED TO 2 FOOT CANDLES WITH MAXIMUM LEVELS LIMITED TO 16 FOOT CANDLES AS MEASURED FROM 4 FEET ABOVE THE SURFACE LEVEL OF ANY POINT ON THE SITE. LUMINAIRES SHALL HAVE GLARE CUT OFF ANGLES OF MAXIMUM.
- LIGHT POLES SHALL BE A MAXIMUM OF 30' FEET WITH FULL CUT OFF LIGHT FIXTURES. LIGHT FIXTURES SHALL BE A MAXIMUM OF 30' WITH FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS.
- THERE SHALL BE NO BACKLIT, PLASTIC, OR VINYL AWNINGS OR ILLUMINATED PLASTIC BANDING ON SIGNAGE.
- INDOOR OR SECURED (FENCED AND GATED) BICYCLE STORAGE SHALL BE PROVIDED FOR EMPLOYEES OF THE BUSINESS.
- BUILDING SETBACKS ARE PER APPROVED SITE PLAN WITH THE CITY OF ALBUQUERQUE.
- EXISTING BUS ROUTE IS ON SAN MATEO BOULEVARD AND NOT ON SITE.
- ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM NEARBY PROPERTIES. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
- COAL AVENUE IS TO BE VACATED UPON APPROVAL BY THE CITY OF ALBUQUERQUE AND REPLACED INTO ONE LOT.
- EMPLOYEE LOCKERS AND SHOWERS FOR BICYCLE COMMUTERS SHALL BE PROVIDED AS FOLLOWS:
 A. 37 CUSTOMER BICYCLE SPACES
 B. 14 SECURE EMPLOYEE BICYCLE LOCKER SPACES
 C. 14 EMPLOYEE LOCKERS
 D. ONE SHOWER
- USE OF PARKING SPACES FOR LONG TERM PARKING IS PROHIBITED. THE SIDEWALKS OR PEDESTRIAN PLAZA IN FRONT OF THE BUILDING SHALL BE LIMITED TO 50% DISPLAY MERCHANDISE AND 50% CLEAR PATH FOR PEDESTRIANS.
- SETBACK ARE ESTABLISHED AT EPC APPROVAL.
- PUBLIC PEDESTRIAN ACCESS EASEMENTS SHALL BE GRANTED FOR ALL HANDICAP RAMPS ENCROACHMENTS.

SITE DATA

PROPOSED USAGE:	EXISTING WAL-MART	PROPOSED EXPANSION
LOT AREA:	598,125 SF (13.7311 ACRES)	766,948 SF (17.6067 ACRES)
BUILDING AREA:	117,272 SF	117,272 SF
EXPANSION:	-	92,232 SF
TOTAL:	-	209,504 SF w/GARDEN CENTER
LANDSCAPING:	-	82,347 SF
PROVIDED:	-	83,491 SF
REQUIRED:	69,731 SF	83,491 SF
PARKING PROVIDED:	818 SPACES	953 SPACES
PARKING REQUIRED:	666 SPACES	1048 SPACES
LESS 10% BUS CREDIT	-	943 SPACES
PARKING RATIO:	6.98	4.55
PARKING RATIO: WITHOUT GARDEN CENTER	-	4.91
HC PARKING PROVIDED:	18 SPACES	18 SPACES (8 VAN)
HC PARKING REQUIRED:	12 SPACES	12 SPACES
	6 SPACES VAN ACCESSIBLE	6 SPACES VAN ACCESSIBLE
BIKE SPACES PROVIDED:	-	54 SPACES
BIKE SPACES REQUIRED:	-	51 SPACES

PROJECT NUMBER: 1001525

This plan is consistent with the specific site development plan approved by the Environmental Planning Commission (EPC) on 12/15/01 and that the findings and conditions in the Official Notice of Decision have been complied with:

SITE DEVELOPMENT PLAN

Traffic Engineer, Transportation Division	4/25/02
William E. Infante	Date
Parks & General Services Department	3/2/02
Don R. Stone	Date
Public Works, Water Utilities Division	5/1/02
Bradley S. Buehler	Date
City Engineer, Engineering Division / AMAFCA	3/26/02
Solid Waste	4/2/02
	Date

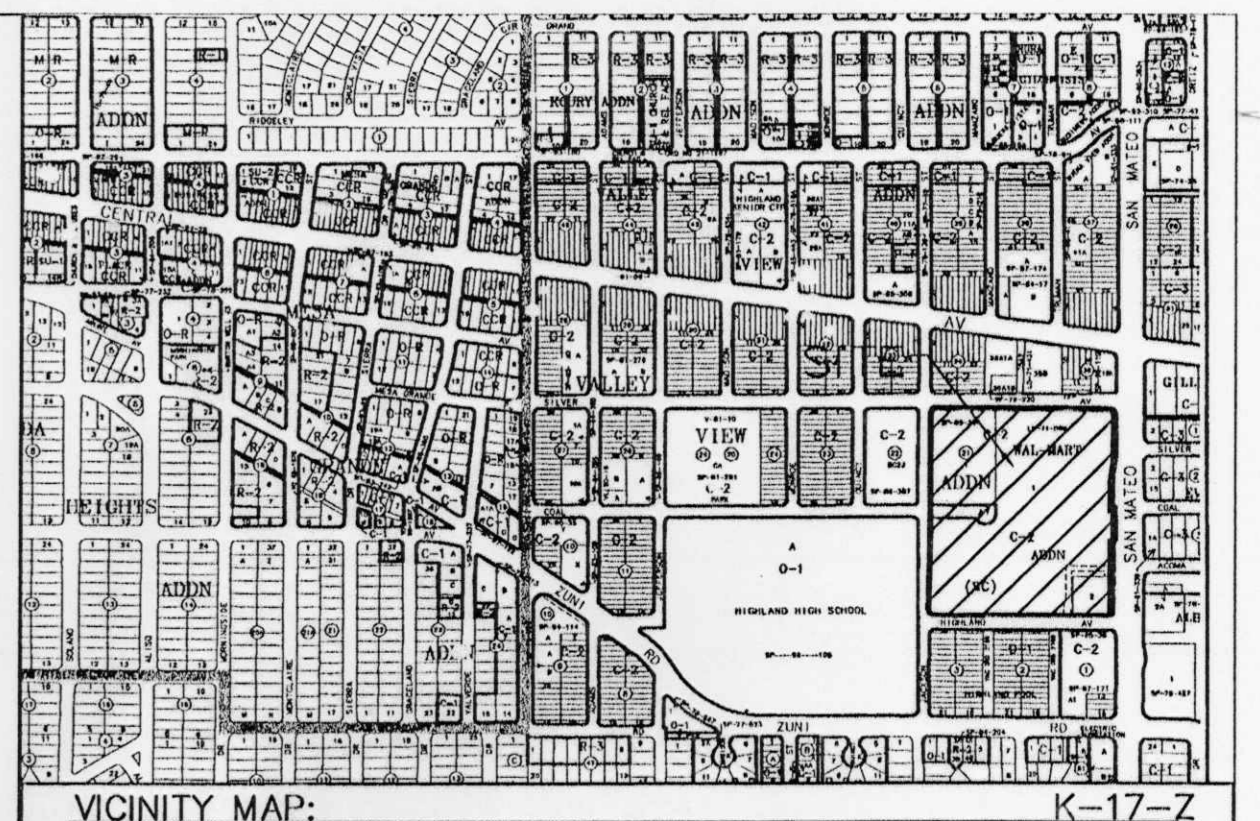
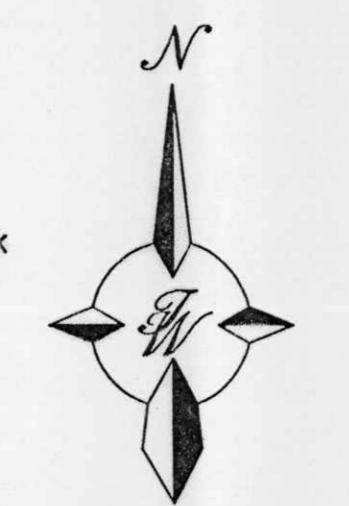
APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.

City Planner, Albuquerque County Planning Division

PLNZ (10/06) 4/96

LEGEND

- EXISTING CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- PROPOSED EASEMENT
- PROPOSED SCREEN WALL
- PROPOSED SCREEN WALL
- PROPOSED SIDEWALK
- STANDARD ASPHALT PAVING AREA
- HEAVY ASPHALT PAVING AREA
- HEAVY CONCRETE AREA
- PATTERN CONCRETE AREA
- PROPOSED PARKING LOT LIGHTING
- PROPOSED BOLLARD
- PROPOSED PEDESTRIAN CROSSWALK
- PROPOSED CART CORRAL
- ASSOCIATE PARKING AREA
- BIKE RACK
- BIKE LOCKER



LEGAL DESCRIPTION:
 Lots One and Two, Wal-Mart Addition AND Lot "A", Block Twenty-One, Valley View Addition, Wal-Mart Stores East, Inc.

SITE LEGEND

- 6" WIDE FIRE LANE WITH 6" WIDE PAINTED TRAFFIC RED STRIPING AT 45° TYPICAL. CURB TO BE PAINTED TRAFFIC RED AT THESE LOCATIONS. (SHT 7 OF 10)
- "NO PARKING-FIRE LANE" STRIPING SHALL BE PLACED ON FACE OF CURB. LETTERS TO BE A MINIMUM 2'-0" TALL. (SHT 7 OF 10)
- "YIELD" PAINTED YELLOW ON PAVEMENT TYPICAL. (SHT 6 OF 10)
- PROVIDE (2) 4" WIDE YELLOW STRIPES @ 10' O.C. x 130' LONG CENTER ON DOCK DOORS
- PAINTED DIRECTIONAL ARROW TYPICAL. (SHT 6 OF 10)
- 2'-0" LOADING ZONE AT ALL CURBED PARKING SPACES. 4" PAINTED YELLOW STRIPING AT 2'-0" O.C. PERPENDICULAR TO PARKING SPACE.
- 10' X 15' STRIPED AREA PAINTED SVSL/4" AT 45° @ 2'-0" O.C. AT JIB CRANE LOCATION. SEE ARCH. PLANS
- FIRE LANE STRIPING SHALL BE 6" RED STRIPES WITH 4" INCH WHITE LETTERS READING "NO PARKING FIRE LANE" STRIPING SHALL BE PLACED ON FACE OF CURB WHENEVER POSSIBLE, OR AS SPECIFIED BY LOCAL CODES. (SHT 7 OF 10)
- ACCESSIBLE PARKING SPACE TYPICAL. SEE DETAIL SHEET FOR ACCESSIBLE PARKING SPACE SIZE, SIGN AND SYMBOL ("VAN"-INDICATES VAN ACCESSIBLE SPACE). (SHT 6 OF 10)
- RAMPED PAVEMENT AT VESTIBULE TO BE FLUSH WITH TOP OF SIDEWALK AT 5.0% MAX. SLOPE. REFER TO ARCHITECTURAL PLANS.
- EXIT PORCH. SEE ARCHITECTURAL PLAN FOR EXACT SIZE, LOCATION FOR STAIRS, STAIRS AND/OR RAMPS THAT MAY BE REQUIRED. RAMP FLUSH W/ TOP OF STOOP.
- 16'x11' COMPRESSOR CONCRETE COMPACTOR PAD. REFER TO ARCHITECTURAL PLAN FOR EXACT LOCATION AND SLOPE.
- SCREEN WALL PER ARCH. PLANS
- UNIDIRECTIONAL HC RAMP. (SHT 8 OF 10)
- PAINTED ISLAND TYPICAL UNLESS NOTED OTHERWISE. STRIPES SHALL BE PAINTED SVSL/4" AT 2'-0" O.C. PERPENDICULAR TO THE PARKING SPACE.
- 6" CONCRETE CURB AND GUTTER TYPICAL.
- 6" CONCRETE HEADER CURB TYPICAL. (SHT 6 OF 10)
- 6" WIDE SLIGHTLY RAISED CONCRETE PEDESTRIAN CROSSWALK. PAINTED WHITE (SHT 6 OF 10). NO RAISED CROSSWALKS ARE ALLOWED AT STREET ENTRANCES.
- 8" WIDE RAISED CONCRETE SIDEWALK TYPICAL. (SHT 6 OF 10)
- 6" CONCRETE SIDEWALK TYPICAL.
- ASLE INDICATOR SIGNS TYPICAL. (SHT 6 OF 10)
- "TRUCK ROUTE" SIGN. SEE PLAN FOR LOCATION.
- "STOP" SIGN. SEE PLAN FOR LOCATION. (24" WHITE STOP BAR TO BE 30" AT ALL STOP SIGN LOCATIONS.)
- "NO TRUCKS" SIGN. SEE PLAN FOR LOCATION.
- PEDESTRIAN CROSSING SIGN W10-2 AND W10-2p TYPICAL AT PEDESTRIAN CROSSWALKS AS NOTED ON PLANS.
- 6" DIA. PIPE BOLLARD TYPICAL. (SHT 8 OF 10)
- 3' HIGH SCREEN WALL. (SHT 6 OF 10)
- 5'x5' TREE PLANTER SEE SHEET 7 FOR DETAILS
- (8) 5 SPACE BIKE RACK TYPICAL. (SHT 8 OF 10)
- BIKE LOCKERS (7 UNITS, 14 TOTAL LOCKERS SPACES). (SHT 6 OF 10)
- ZERO CURB PER ARCH. SECTIONS
- PEDESTRIAN CROSSWALK WITH 4" WIDE PAINTED YELLOW STRIPING PARALLEL TO DIRECTION OF TRAFFIC AT 2'-0" O.C. UNLESS NOTED OTHERWISE. SEE SITE PLAN FOR WIDTH.
- PROPOSED LIGHTING.
- CART CORRALS TYPICAL. (SHT 8 OF 10)
- PROPOSED HC RAMP. (SHT 8 OF 10)
- SMALL CAR MARKER, "COMPACT" PAINTED YELLOW ON PAVEMENT TYPICAL.
- TREE PLANTER TYPICAL. (SHT 7 OF 10)
- RETAINING WALL TYPICAL. (SHT 7 OF 10)

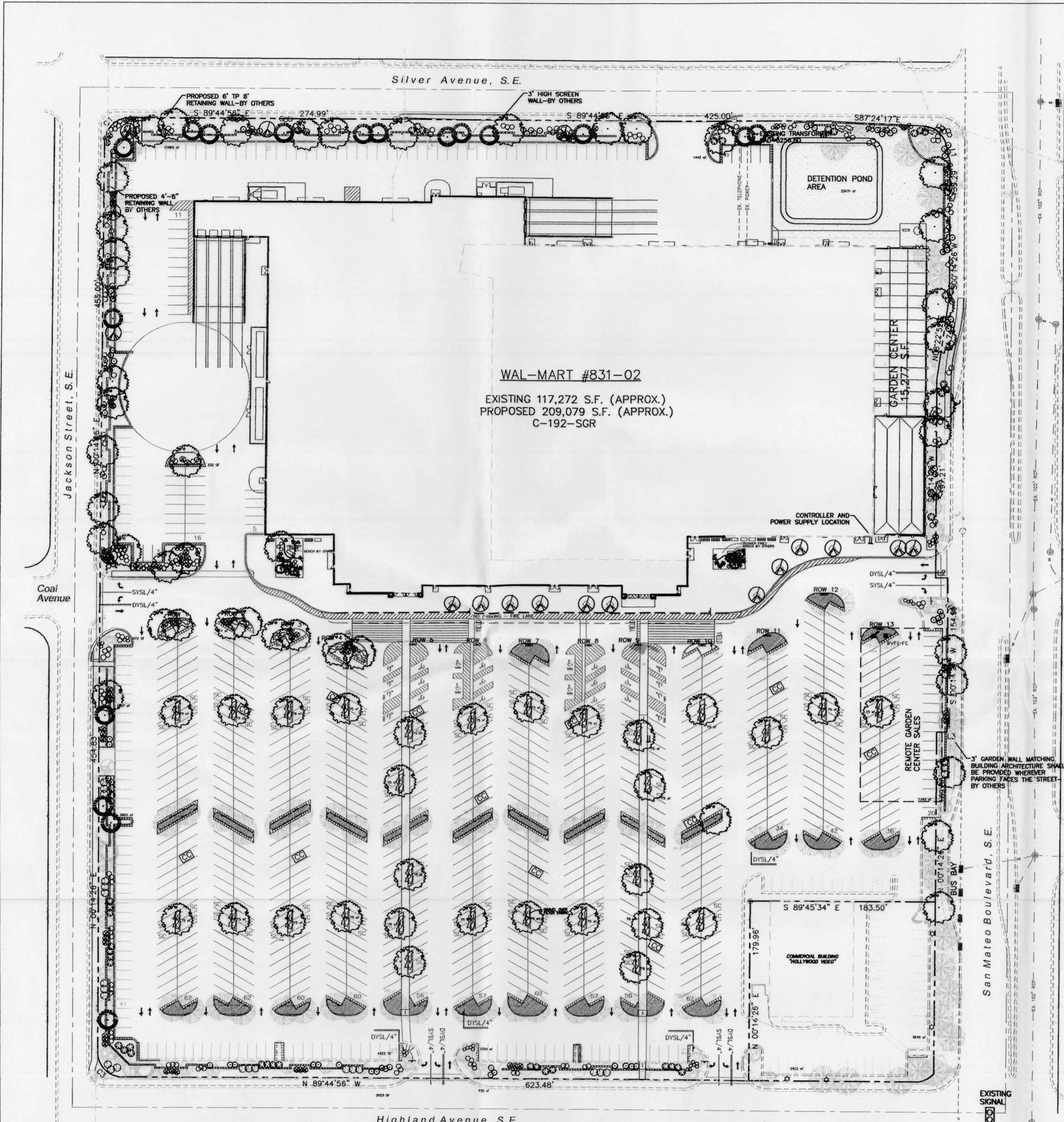
PAINT STRIPING LEGEND

- SWSL/4" - SINGLE WHITE SOLID LINE / 4" WIDE
- SVSL/4" - SINGLE YELLOW SOLID LINE / 4" WIDE EACH
- DYSL/4" - DOUBLE YELLOW SOLID LINE / 4" WIDE EACH
- SYSL/10" - SINGLE YELLOW SOLID LINE / 10" WIDE EACH
- SWDL/4" - SINGLE WHITE DASHED LINE / 4" WIDE
- SWSL/24" - SINGLE WHITE SOLID LINE / 24" WIDE

CURVE TABLE

CURVE	LENGTH	RADIUS	TAN. ANG.	DELTA	CHORD BEARING	CHORD LENGTH
C1	39.27	25.00	25.00	90°00'38"	S45°14'45"W	35.36
C2	32.65	25.00	19.12	74°49'42"	N49°59'28"W	30.38
C3	39.27	25.00	25.00	90°00'38"	S44°44'56"E	35.36

ENGINEER'S SEAL	ALBUQUERQUE WAL-MART EXPANSION, NM: 831-02	DRAWN BY: BDG
	SITE PLAN FOR BUILDING PERMIT	DATE: 03/19/02
		2083PBB.DWG
		SHEET # 1
	TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	JOB # 99-079



GENERAL NOTES:

1. ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERIAL, FREE OF PESTS AND DISEASE.
2. ALL PLANTS MUST BE CONTAINER GROWN OR BALLED AND BUR LAPPED AS INDICATED IN THE PLANT LIST.
3. ALL TREES MUST BE STRAIGHT TRUNKED AND FULL HEADED AND MEET ALL REQUIREMENTS SPECIFIED.
4. ALL PLANTS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE, DURING, AND AFTER INSTALLATION.
5. ALL TREES MUST BE GUYED OR STAKED AS SHOWN IN THE DETAILS.
6. ALL PLANTING AREAS MUST BE COMPLETELY MULCHED AS SPECIFIED.
7. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCURS AS A RESULT OF THE LANDSCAPE CONSTRUCTION.
8. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS BEFORE PRICING THE WORK.
9. THE CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAINING ALL PLANTING (INCLUDING BUT NOT LIMITED TO: WATERING, SPRAYING, MULCHING, FERTILIZING, ETC.) OF THE PLANTING AREAS AND LAWN UNTIL THE WORK IS ACCEPTED IN TOTAL BY THE OWNER.
10. THE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE (1) YEAR BEGINNING ON THE DATE OF TOTAL ACCEPTANCE. THE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS BEFORE OR AT THE END OF THE GUARANTEE PERIOD.
11. THE ARCHITECT SHALL APPROVE THE STAKING LOCATION OF ALL PLANT MATERIAL PRIOR TO INSTALLATION.
12. AFTER BEING DUG AT THE NURSERY SOURCE, ALL TREES IN LEAF SHALL BE ACCLIMATED FOR TWO (2) WEEKS UNDER A MIST SYSTEM PRIOR TO INSTALLATION.
13. ANY PLANT MATERIAL WHICH DIES, TURNS BROWN, OR DEFOLIATES (PRIOR TO TOTAL ACCEPTANCE OF THE WORK) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE AND MEETING ALL PLANT LIST SPECIFICATIONS.
14. STANDARDS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK" REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL.
15. ALL SHRUB, GROUND COVER AND SEASONAL COLOR ANNUAL PLANTING BEDS ARE TO BE COMPLETELY COVERED WITH HARDWOOD MULCH TO A MINIMUM DEPTH OF FOUR INCHES.
16. LOCATIONS OF EXISTING BURIED UTILITY LINES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATIONS OF UTILITY LINES AND ADJACENT TO THE WORK AREA. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL UTILITY LINES DURING THE CONSTRUCTION PERIOD.
17. SAFE, CLEARLY MARKED PEDESTRIAN AND VEHICULAR ACCESS TO ALL ADJACENT PROPERTIES MUST BE MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS.
18. DURING THE GROWING SEASON ALL ANNUALS SHALL REMAIN IN A HEALTHY, VITAL CONDITION THROUGHOUT THE CONSTRUCTION PERIOD.
19. ALL PLANT MATERIALS QUANTITIES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE COVERAGE OF ALL PLANTING BEDS AT SPACING SHOWN.
20. ALL DISTURBED AREAS ARE TO RECEIVE 4" OF TOP SOIL BY GRADING CONTRACTOR, MULCH, AND WATER UNTIL A HEALTHY STAND OF GRASS IS OBTAINED. THIS IS EXCLUDING ALL LANDSCAPED ISLANDS AND ENTRANCE AREAS.
21. REFER TO WALMART SPECIFICATIONS FOR ALL INFORMATION NEEDED FOR IMPLEMENTATION OF PLANTING PLANS.

STREET TREE REQUIREMENTS

Street trees required under the City Of Albuquerque Street Tree Ordinance are as follows:

Name of Street **SAN MATEO**
 Required # **30** Provided # **32**

IRRIGATION NOTES:
 Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field.

Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

LANDSCAPE NOTES:

Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque, Water Conservation Landscaping and Water Waste Ordinance, planting restriction approach.

Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance. Water management is the sole responsibility of the Property Owner.

All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping, and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

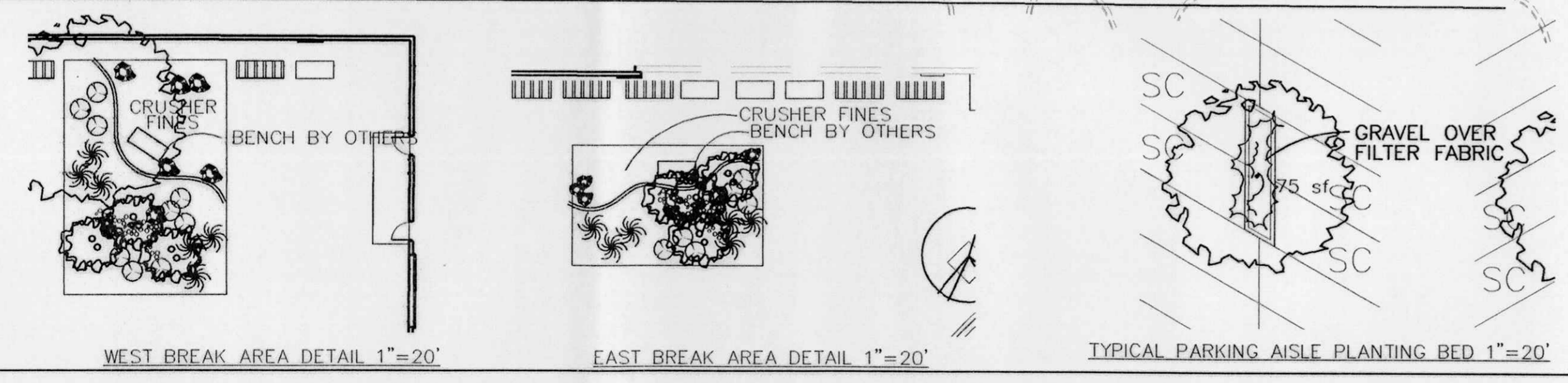
Plant beds shall achieve 75% live ground cover at maturity.

PLANT LEGEND

- EXISTING HONEY LOCUST
- EXISTING ORNAMENTAL PEAR
- EXISTING CHITALPA
- EXISTING PURPLE LEAF PLUM
- EXISTING EVERGREEN TREE
- EXISTING LANDSCAPING
- ASH (H) OR HONEY LOCUST (H) 74
Fraxinus pennsylvanica
Gleditsia triacanthos
2" Cal.
- AUSTRIAN PINE (H) 17
Pinus nigra
6-8"
- FLOWERING PEAR (H) 22
Pyrus spp.
1 1/2" Cal.
- WASHINGTON HAWTHORN (H) 6
Crataegus phoenopyrum
15 Gal.
- INDIAN HAWTHORN (M) 76
Raphiolepis indica
5 Gal.
- RUSSIAN SAGE (M) 75
Perovskia atriplicifolia
5 Gal.
- APACHE PLUME (L) 80
Fallugia paradoxa
5 Gal.
- MAIDEN GRASS (M) 12
Miscanthus sinensis
5 Gal. 16sf
- AUTUMN SAGE (M) 125
Salvia greggii
2 Gal.
- CHAMISA (L) 55
Chrysothamnus nauseosus
1 Gal.
- WILDFLOWER 90
1 Gal. 4sf
- TAM JUNIPER (M) 117
Juniperus sabinia
5 Gal.
- GRAVEL TO MATCH EXISTING WITH FILTER FABRIC 85,124 sf
- OVERSIZED GRAVEL & BOULDERS 15
- COMMERCIAL GRADE STEEL EDGE

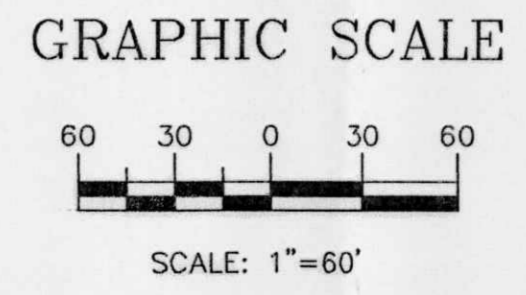
LANDSCAPE CALCULATIONS

NET LANDSCAPE AREA	
TOTAL LOT AREA	767,993 square feet
TOTAL EXISTING BUILDINGS AREA	117,272 square feet
TOTAL PROPOSED BUILDINGS AREA	92,232 square feet
OFFSITE AREA	0 square feet
NET LOT AREA	558,489 square feet
LANDSCAPE REQUIREMENT	15%
TOTAL LANDSCAPE REQUIREMENT	83,773 square feet
TOTAL LANDSCAPE PROVIDED	95,408 square feet
TOTAL EXISTING LS PROVIDED	10,284 square feet
TOTAL NEW LS PROPOSED	85,124 square feet

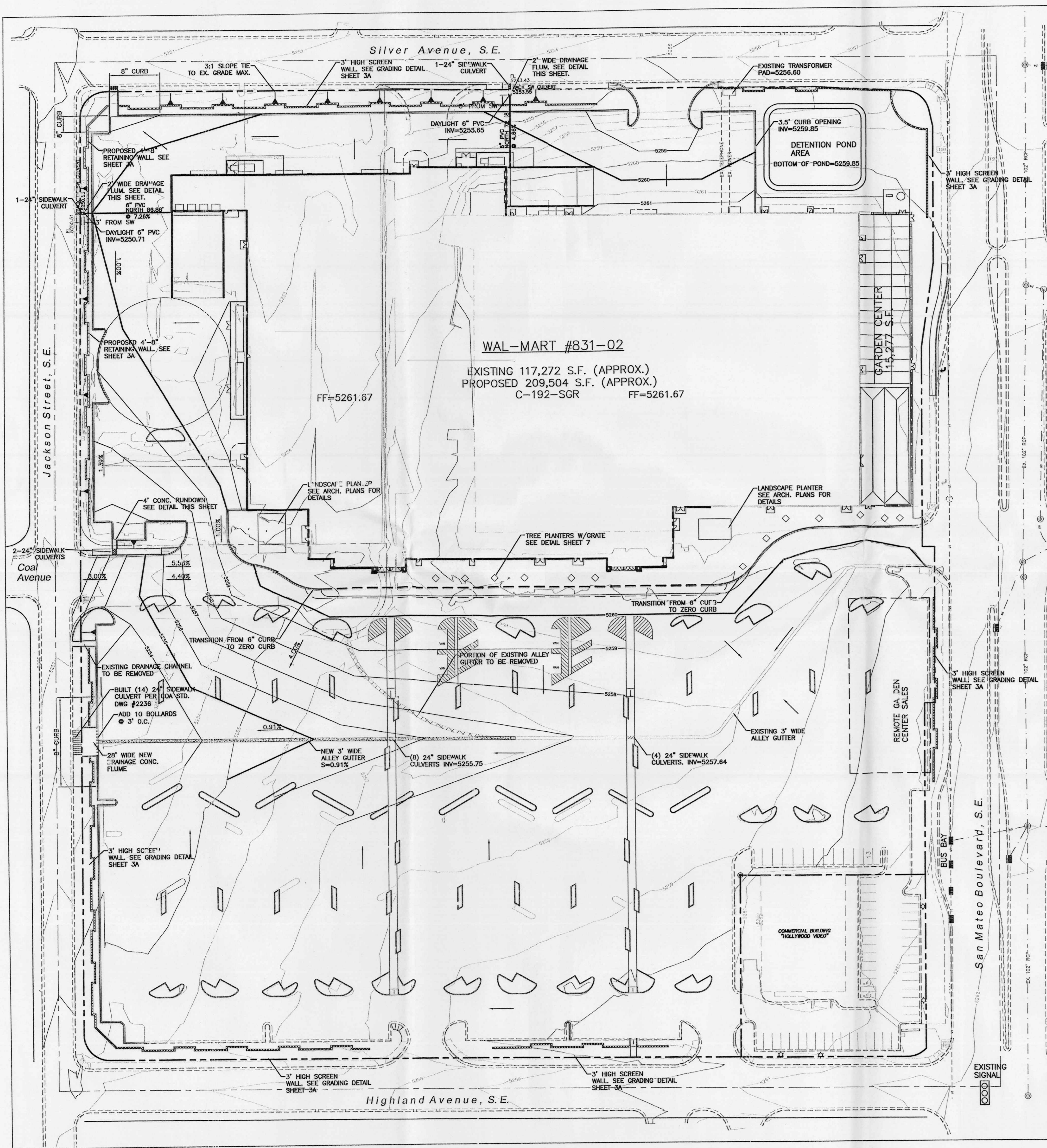


The Hilltop
 LANDSCAPE ARCHITECTS & CONTRACTORS
 Cont. Lic. #26458
 7909 Edith N.E.
 Albuquerque, NM 87184
 Ph. (505) 898-9690
 Fax (505) 898-7737
 it@hilltoplandscaping.com

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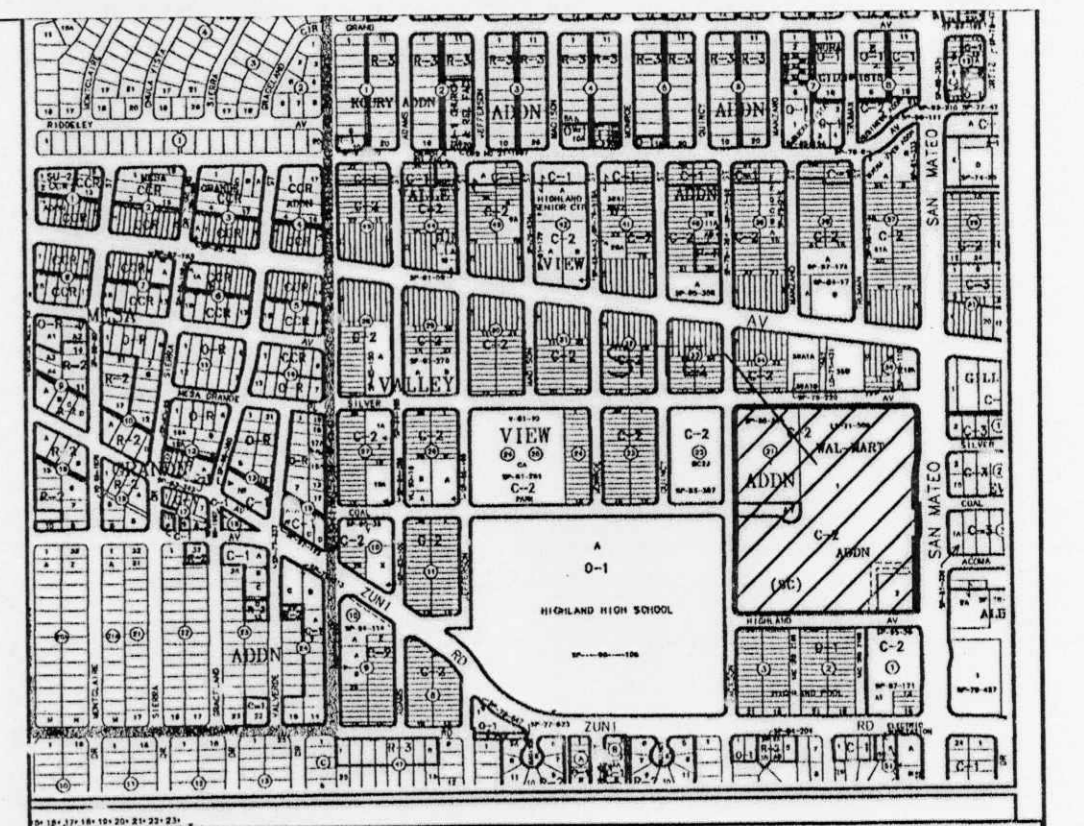


LANDSCAPE ARCHITECT'S SEAL	ALBUQUERQUE WAL-MART EXPANSION, NM: 831-02	DRAWN BY BDG
	LANDSCAPE PLAN	DATE 05/15/02
		20B3LP.DWG
		SHEET # 5/2
	TIERRA WEST, I.L.C. 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	
JAMES DEFLOM #0007		



SITE GRADING NOTES

- THE EARTHWORK FOR ALL BUILDING FOUNDATIONS AND SLABS SHALL BE IN ACCORDANCE WITH ARCHITECTURAL BUILDING PLANS AND SPECIFICATIONS.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.
- PRECAST STRUCTURES MAY BE USED AT CONTRACTORS OPTION.
- STORM PIPE SHALL BE AS FOLLOWS UNLESS OTHERWISE NOTED:
 TYPE 1: RCP, CLASS III PER ASTM C-76, WITH FLEXIBLE PLASTIC BITUMEN GASKETS AT JOINTS.
 TYPE 2: SPIRAL RIB METAL PIPE TYPE 1R, GALVANIZED, ALUMINIZED, OR BITUMINOUS COATED AS SPECIFIED ON CONSTRUCTION DRAWINGS. ONLY PERMITTED WHEN SPECIFICALLY INDICATED ON CONSTRUCTION DRAWINGS. PIPE ENDS SHALL BE RE-CORRUGATED AND INSTALLED WITH SEMI-CORRUGATED HUGGER-TYPE BANDS AND "O" RING GASKETS IN ACCORDANCE WITH PIPE MANUFACTURER'S INSTALLATION REQUIREMENTS. SPIRAL RIB METAL PIPE MUST COMPLY WITH ASTM A 760 TYPE 1R, ACCEPTABLE MANUFACTURER: CONTECH, INC. "ULTRA FLO OR ULTRA FLO II", CALDWELL CULVERT CO. "SMOOTH RIB", OR APPROVED EQUAL.
 TYPE 3: POLY VINYL CHLORIDE (PVC) IN ACCORDANCE WITH ASTM D 1784
- EXISTING DRAINAGE STRUCTURES TO BE INSPECTED AND REPAIRED AS NEEDED, AND EXISTING PIPES TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS.
- EXISTING GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT INTERVALS.
- PROPOSED GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT INTERVALS.
- IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
- ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATER TIGHT.
- ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING LIDS. MANHOLES IN UNPAVED AREAS SHALL BE 6" ABOVE FINISH GRADE. LIDS SHALL BE LABELED "STORM SEWER".
- THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE GENERAL N.P.D.E.S. PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
- CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
- CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
- TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY BY ANY LAND SURVEYORS, IF CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, HE SHALL HAVE MADE, AT HIS EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW.
- ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3:1 OR STEEPER. CONTRACTOR SHALL USE NATIVE SEEDING IN DISTURBED AREAS IN ACCORDANCE WITH CITY/COUNTY SPECIFICATIONS UNTIL A HEALTHY STAND OF VEGETATION IS OBTAINED.
- CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND E.C.
- ALL STORM STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED MORTAR INVERT FROM INVERT IN TO INVERT OUT.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL UTILITIES AND NOTIFYING THE APPROPRIATE UTILITY COMPANY PRIOR TO BEGINNING CONSTRUCTION.
- CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING STORM SEWER STRUCTURES, PIPES, AND ALL UTILITIES PRIOR TO CONSTRUCTION.
- SITWORK SHALL MEET OR EXCEED WAL-MART SITE SPECIFICATIONS.
- ALL CONCRETE TO HAVE A MINIMUM 28 DAY COMPRESSION STRENGTH OF 3000 PSI.
- CONTRACTOR SHALL REFER TO GEOTECHNICAL INVESTIGATION PREPARED BY KLEINFELDER, PROJECT #09-000045 6/21/2000. (FOR INFORMATION ONLY)

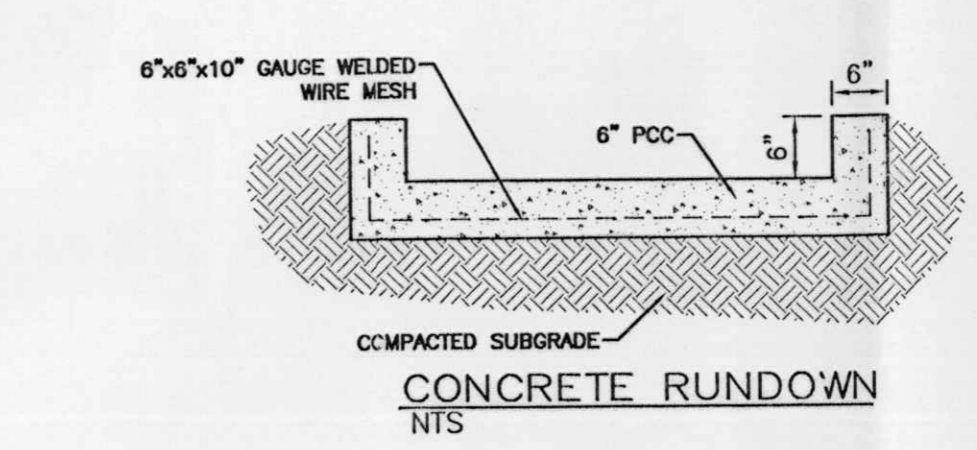
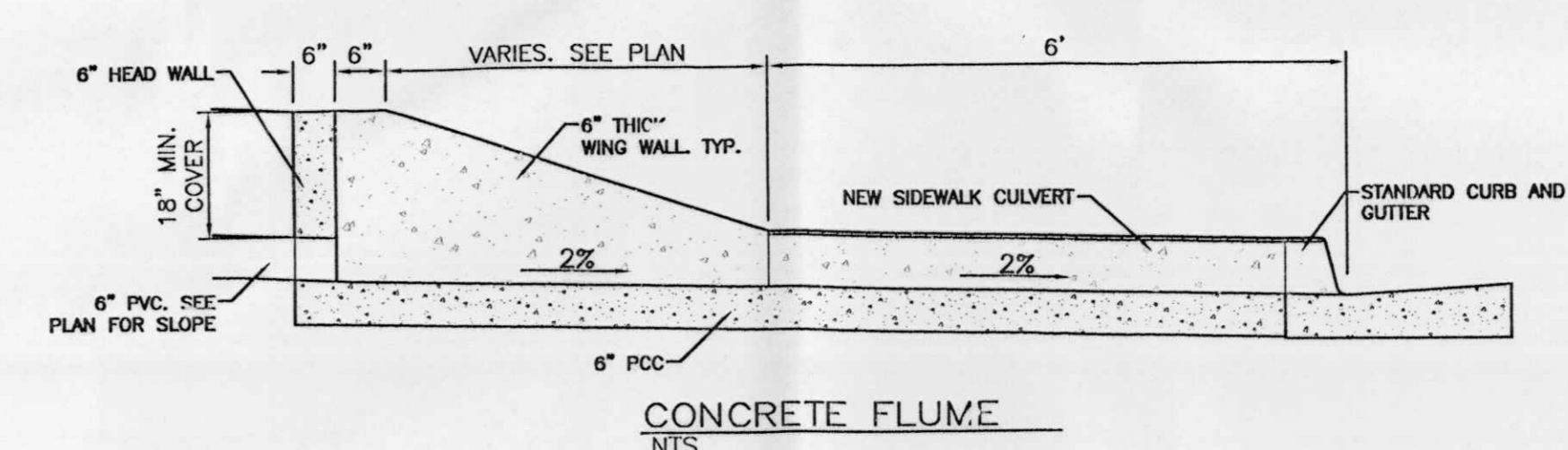


VICINITY MAP: K-21-Z

FIRM MAP: 35001C0358 D AND 35001C0359

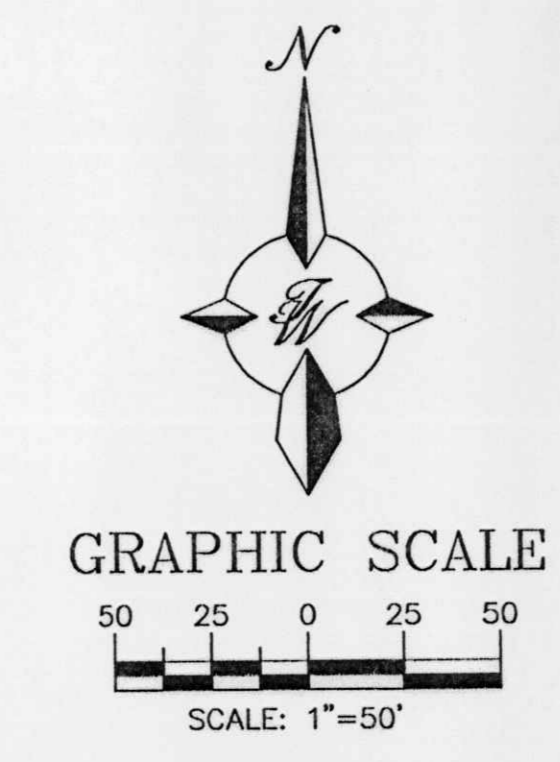
LEGAL DESCRIPTION:
 Lots One and Two, Wal-Mart Addition AND Lot "A" Block Twenty-One, Valley View Addition, Wal-Mart Stores East, Inc.

BENCHMARK:
 A.C.S. MONUMENT "5-K18A"
 2" BRASS TABLET (FOUND IN PLACE)
 NEW MEXICO STATE PLANE COORDINATES
 CENTRAL ZONE-N.A.D. 1927)
 X=401,022.37
 Y=1,483,557.05
 EL=5277.510
 G-G=0.99965880
 DELTA ALPHA ANGLE=-0°11'24"

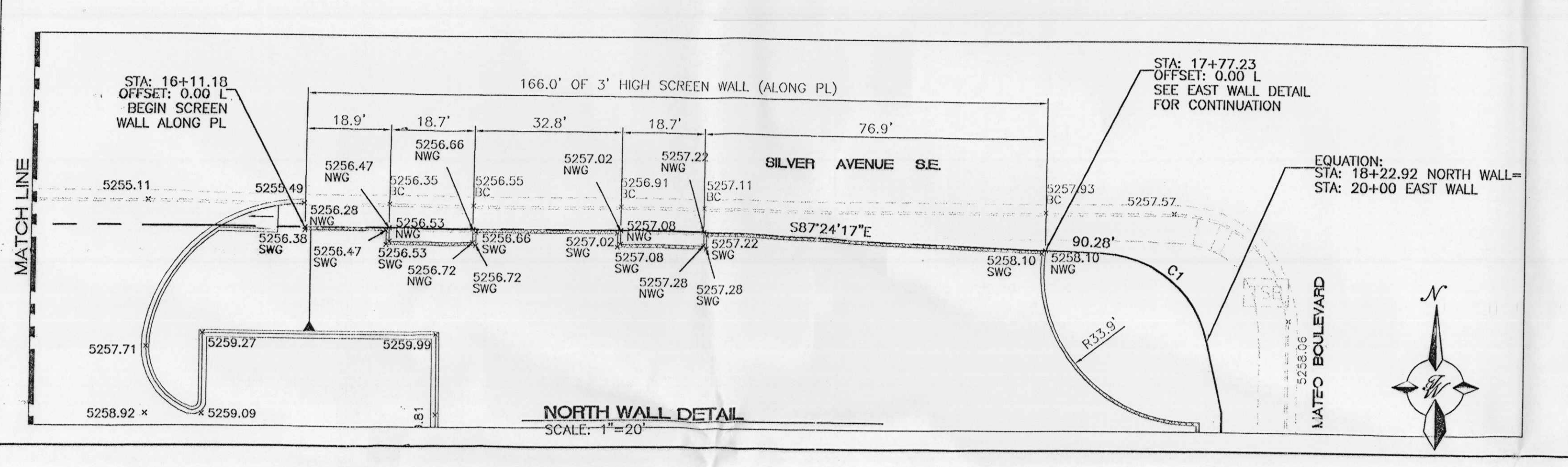
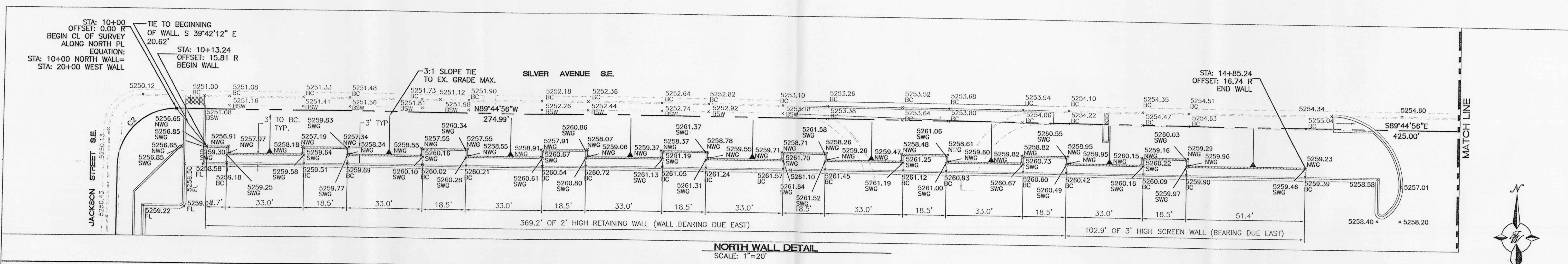


LEGEND

	EXISTING CURB
	FUTURE IMPROVEMENTS
	EXISTING BUILDING
	PROPOSED EXPANSION
	PROPOSED CURB
	BOUNDARY LINE
	GRADE CHANGE
	x 5257.73 PROPOSED GRADE ELEVATION
	x 5257.18 EXISTING GRADE ELEVATION



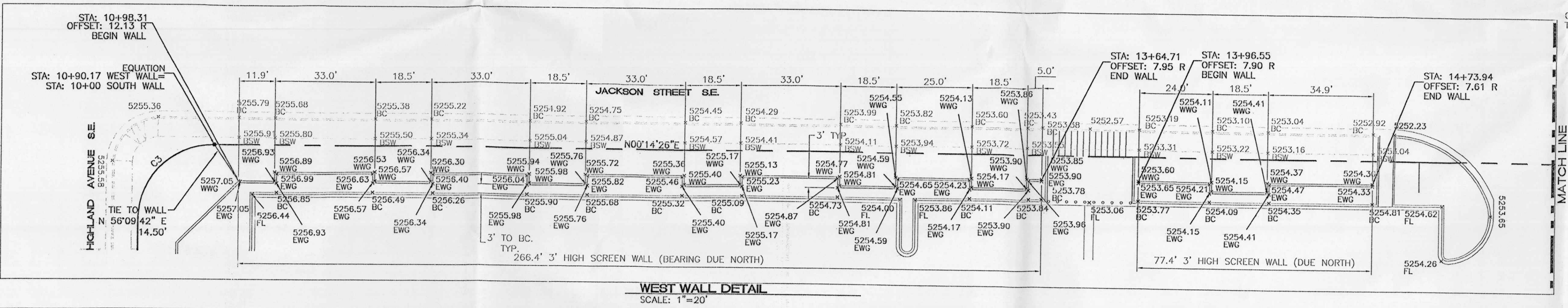
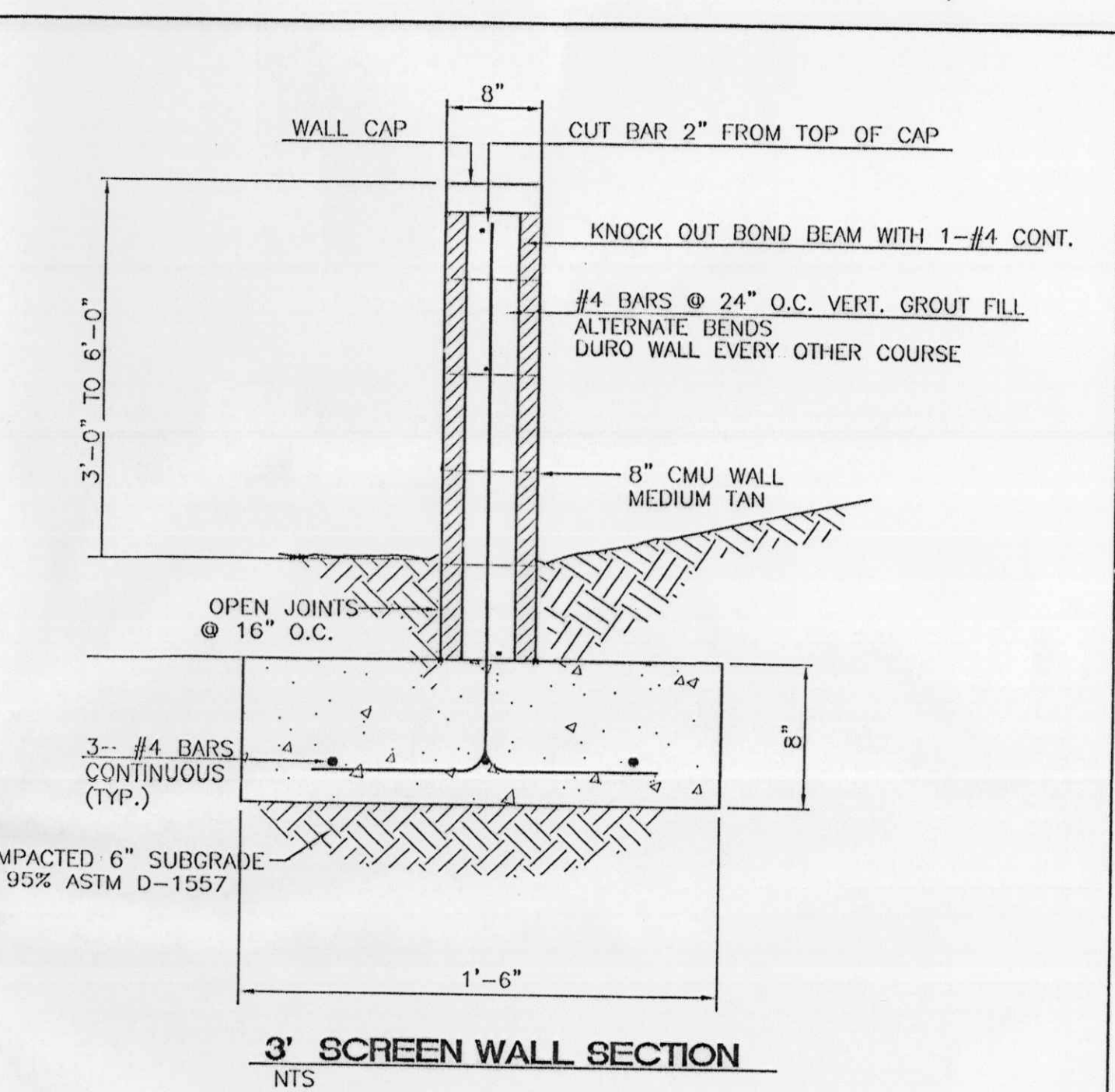
 ENGINEER'S SEAL RONALD R. BOHANNAN P.E. #7868	ALBUQUERQUE WAL-MART EXPANSION, NM: 831-02	DRAWN BY BDG DATE 03/19/02
	GRADING AND DRAINAGE PLAN	20830R1b.DWG
 TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)656-3100	SHEET # 3	JOB # 2000B3



GENERAL NOTES:

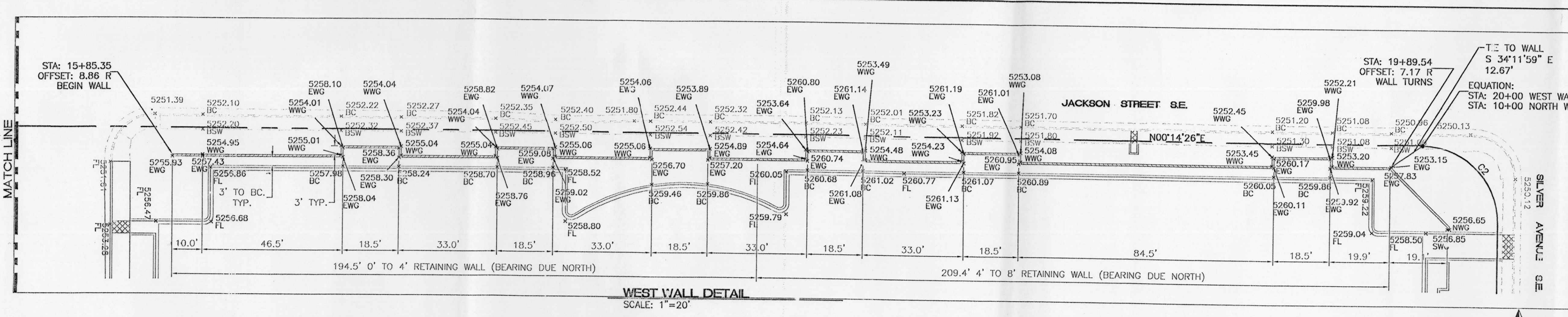
1. ALL CONCRETE IS TO BE 3000 PSI @ 28 DAYS.
2. MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
3. BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
4. ALL BARS ARE TO BE GRADE 60, ASTM 615.
5. TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
6. DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO V-BARS, SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
7. USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 16'.

SCREEN WALL DETAIL (TYP.)
NTS



CURVE TABLE

CURVE	LENGTH	RADIUS	TANGENT	DELTA	CHORD BEARING	CHORD LENGTH
C1	32.65	25.00	19.12	74°49'42"	N49°59'26"W	30.38
C2	39.27	25.00	25.00	90°00'38"	S45°14'45"W	35.36
C3	39.27	25.00	25.00	90°00'01"	S44°44'56"E	35.36



LEGEND

- EXISTING CURB
- PROPOSED CURB
- BOUNDARY LINE
- GROUND GRADE AT WEST WALL FACE
- GROUND GRADE AT EAST WALL FACE
- GROUND GRADE AT NORTH WALL FACE
- GROUND GRADE AT SOUTH WALL FACE
- GROUND GRADE AT BACK OF SIDEWALK
- GROUND GRADE AT BACK OF CURB

NOTE:
1. SEE SHEET 3B FOR RETAINING WALL DETAILS.

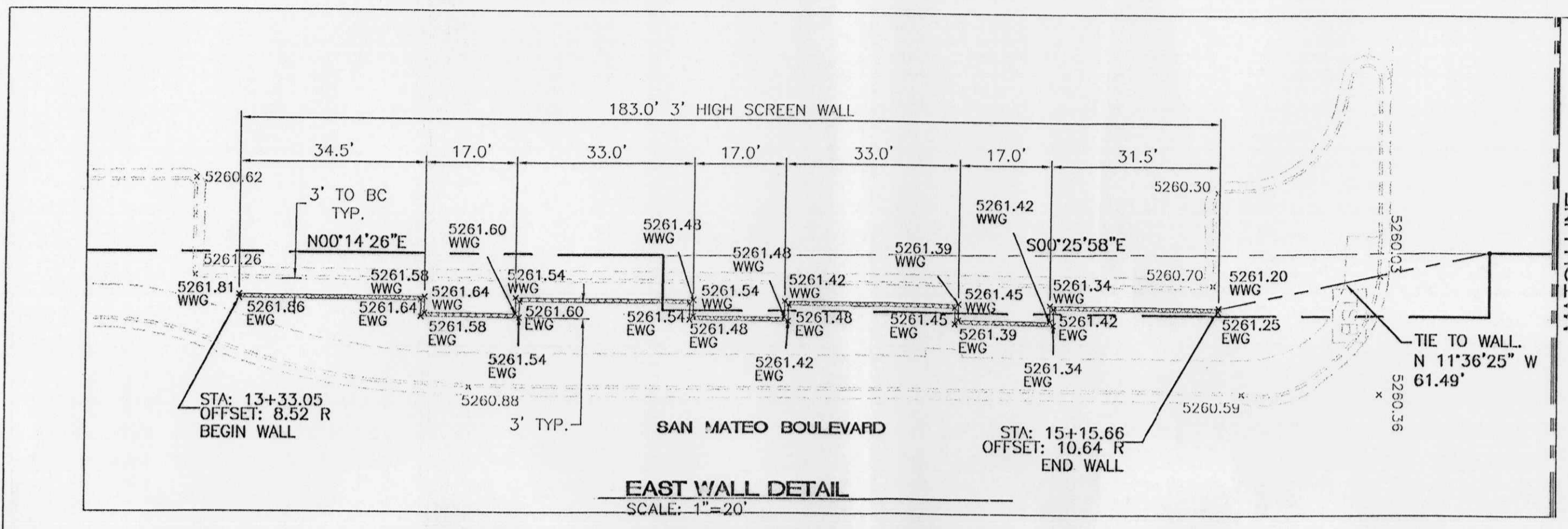
ENGINEER'S SEAL
RONALD R. BOHANNAN
P.E. #7888

ALBUQUERQUE WAL-MART EXPANSION, NM: 831-02

GRADING DETAILS

TERRA WEST, L.L.C.
8509 JEFFERSON NE
ALBUQUERQUE, NEW MEXICO 87113
(505)858-3100

DRAWN BY BDG
DATE 03/05/02
20B3GRDET.DWG
SHEET # 3A
JOB # 200083



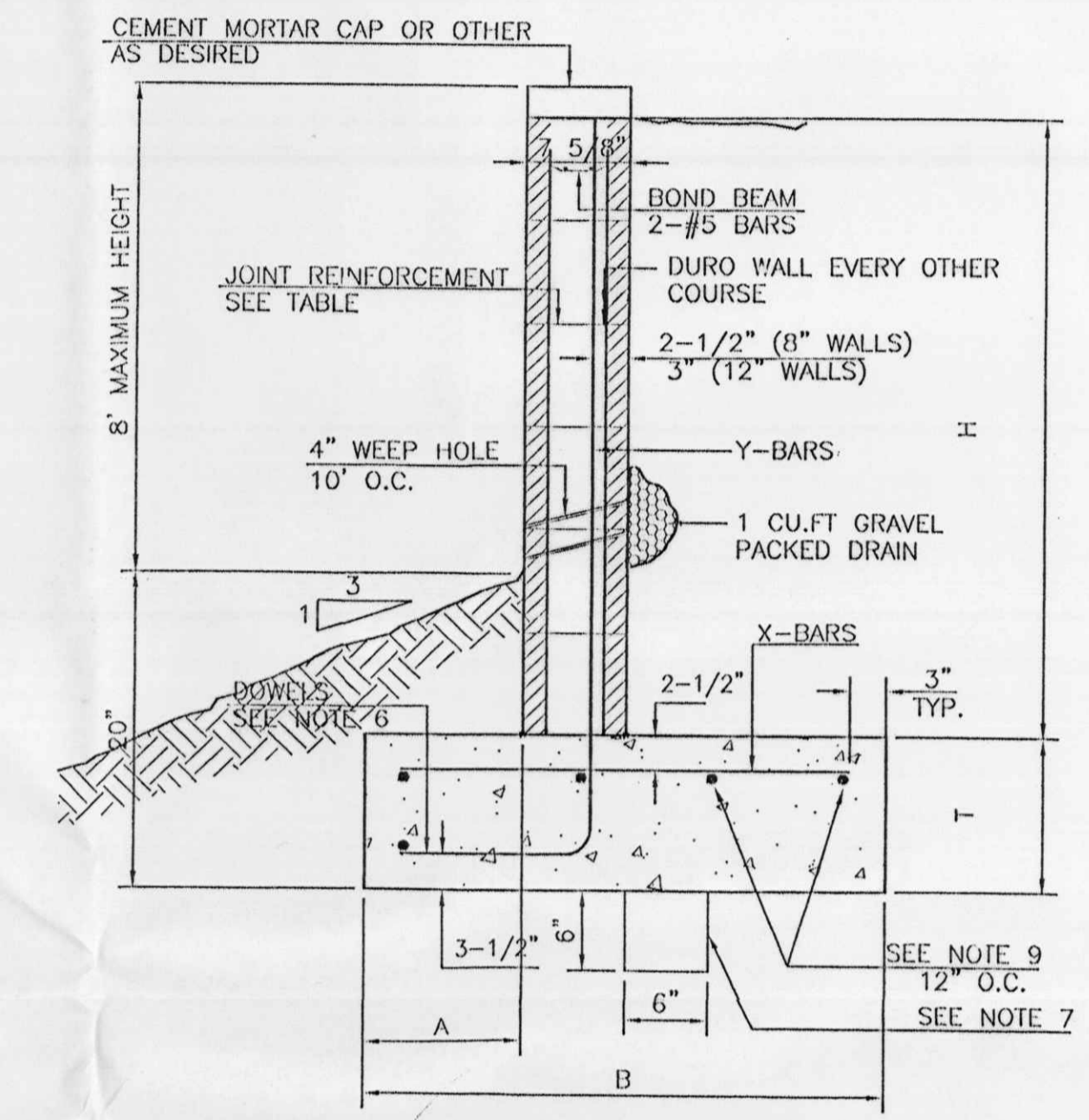
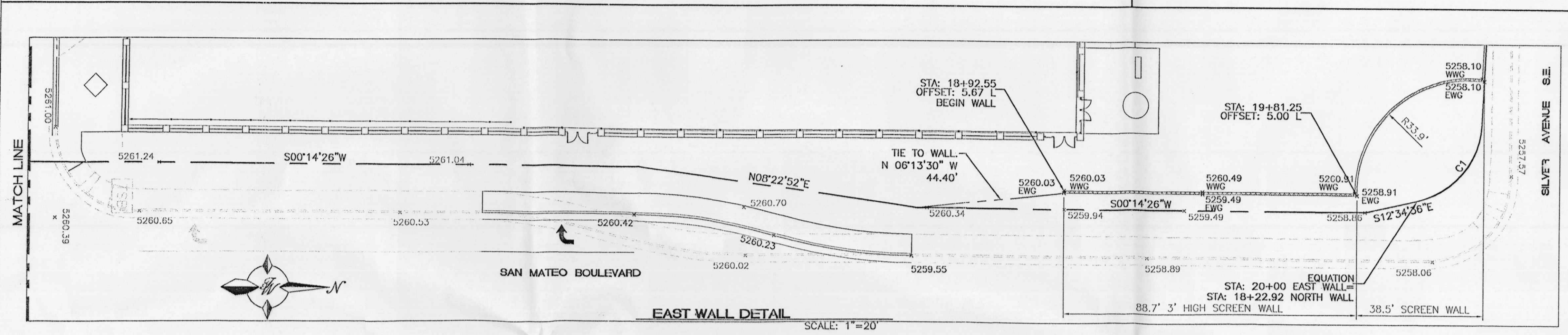
8 INCH REINFORCED CONCRETE MASONRY WALL

H	X	A	B	T	Y-BARS	X-BARS
ft.-in.	ft.-in.	in.	ft.-in.	in.		
2'-0"	1'-1"	8"	2'-4"	9"	#3 @32" O.C.	#3 @27" O.C.
2'-6"	1'-9"	8"	2'-9"	9"	#4 @32" O.C.	#3 @27" O.C.
3'-0"	2'-5"	8"	2'-4"	9"	#3 @32" O.C.	#3 @27" O.C.
4'-0"	3'-1"	10"	2'-9"	9"	#4 @32" O.C.	#3 @27" O.C.
4'-8"	3'-10"	12"	3'-4"	10"	#4 @16" O.C.	#4 @30" O.C.
5'-4"	4'-6"	14"	3'-8"	10"	#4 @16" O.C.	#4 @25" O.C.
6'-0"	5'-3"	16"	4'-2"	12"	#6 @24" O.C.	#4 @25" O.C.

12 INCH REINFORCED CONCRETE MASONRY WALL

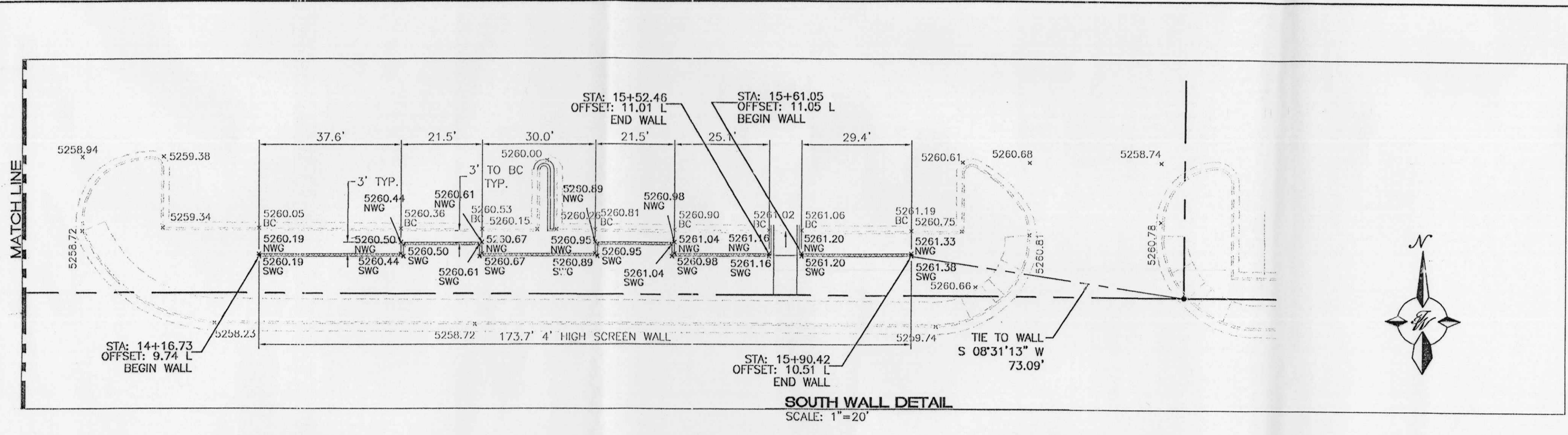
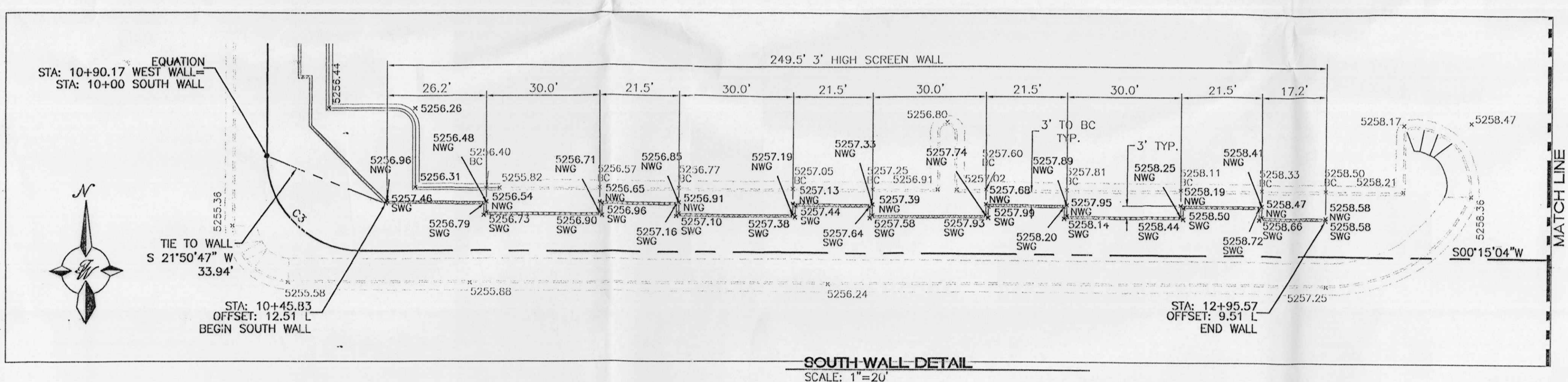
H	X	A	B	T	Y-BARS	X-BARS
ft.-in.	ft.-in.	in.	ft.-in.	in.		
5'-4"	4'-8"	14"	3'-8"	10"	#4 @24" O.C.	#3 @25" O.C.
6'-0"	5'-4"	15"	4'-2"	12"	#4 @16" O.C.	#4 @30" O.C.
6'-8"	6'-0"	16"	4'-6"	12"	#6 @24" O.C.	#4 @22" O.C.
7'-4"	6'-8"	18"	4'-10"	12"	#5 @16" O.C.	#5 @26" O.C.
8'-0"	7'-4"	20"	5'-4"	12"	#7 @24" O.C.	#5 @21" O.C.
8'-8"	8'-0"	20"	5'-8"	12"	#7 @16" O.C.	#5 @21" O.C.

- GENERAL NOTES:**
- ALL CONCRETE IS TO BE 4000 PSI @ 28 DAYS.
 - MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM. D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
 - BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
 - ALL BARS ARE TO BE GRADE 60, ASTM 615.
 - TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
 - DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO V-BARS, SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
 - PROVIDE KEY FOR 8" AND 12" WALLS WHERE H EXCEEDS 6'-0" USE EITHER EXPANSION JOINTS ON 20" CENTERS OR PILASTERS EVERY 16'.
 - #3 BARS TO BE USED ON WALLS LESS THAN 2'-8" IN HEIGHT. #4 BARS TO BE USED ON WALLS GREATER THAN OR EQUAL TO 2'-8" X BARS TO BE USED ON WALLS EXCEEDING 2'-8"
 - BOND BEAM, 1-#4 BARS FOR WALLS UNDER 3'-4", 2-#4 BARS FOR WALLS UNDER 5'-4", 2-#5 BARS FOR WALLS OVER 5'-4".



RETAINING WALL DETAIL
NTS

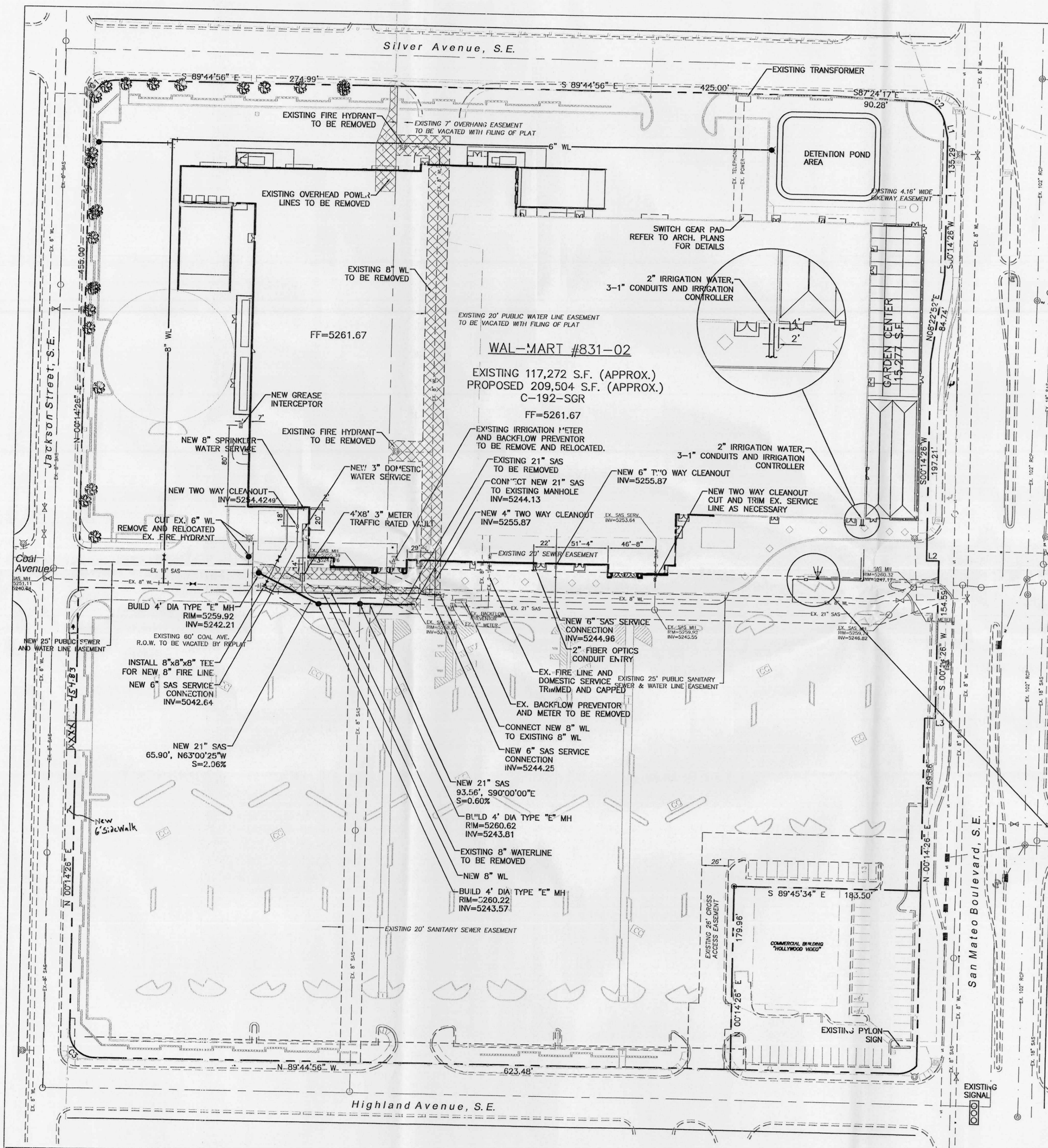
NOTE:
1. SEE SHEET 3A FOR SCREEN WALL DETAILS.



LEGEND

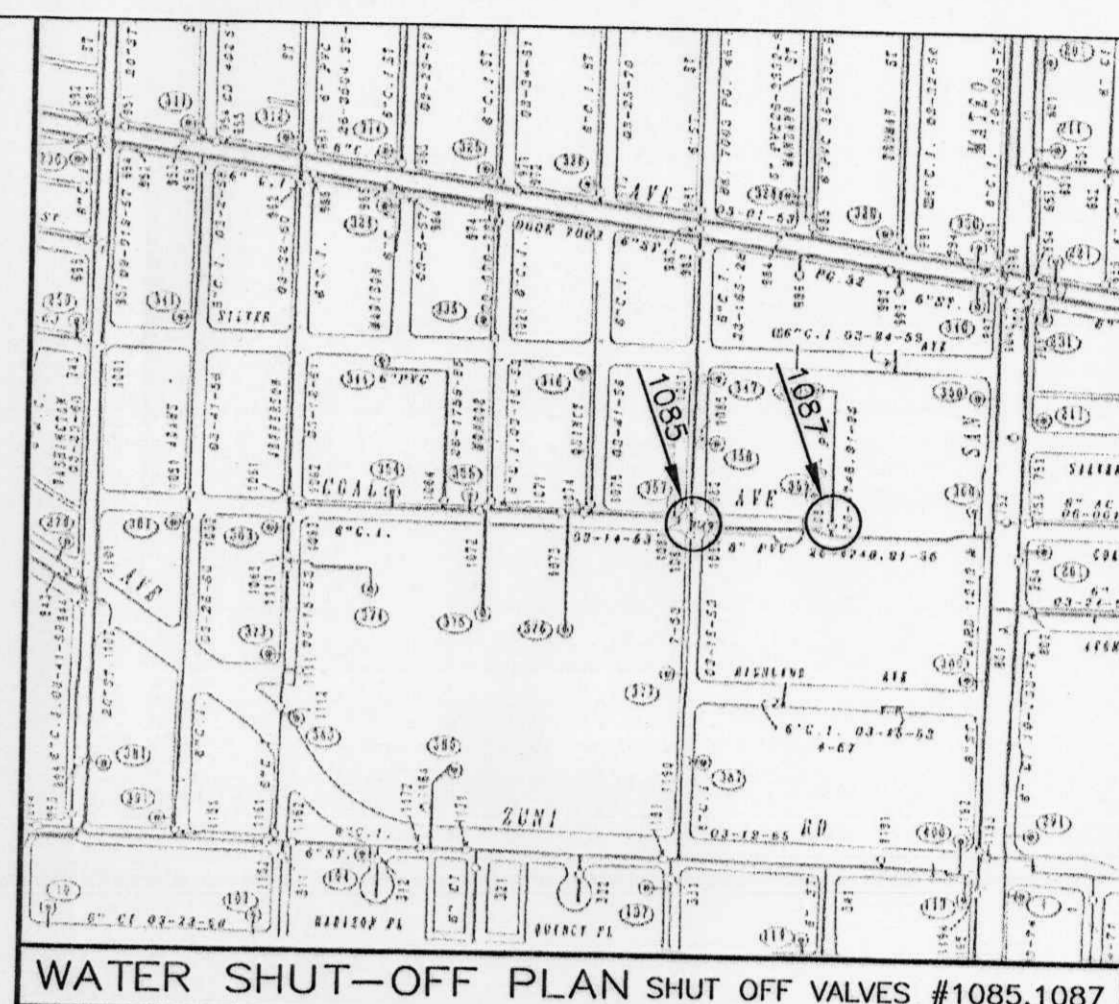
	EXISTING CURB
	PROPOSED CURB
	BOUNDARY LINE
	GROUND GRADE AT WEST WALL FACE
	GROUND GRADE AT EAST WALL FACE
	GROUND GRADE AT NORTH WALL FACE
	GROUND GRADE AT SOUTH WALL FACE
	GROUND GRADE AT BACK OF SIDEWALK
	GROUND GRADE AT BACK OF CURB

 RONALD R. BOHANNON P.E. #7868	ALBUQUERQUE WAL-MART EXPANSION, NM: 831-02	DRAWN BY BDC DATE 03/05/02 208JGRDET.DWG
	GRADING DETAILS	SHEET # 3B
TERRA WEST, L.L.C. 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100		JOB # 200083



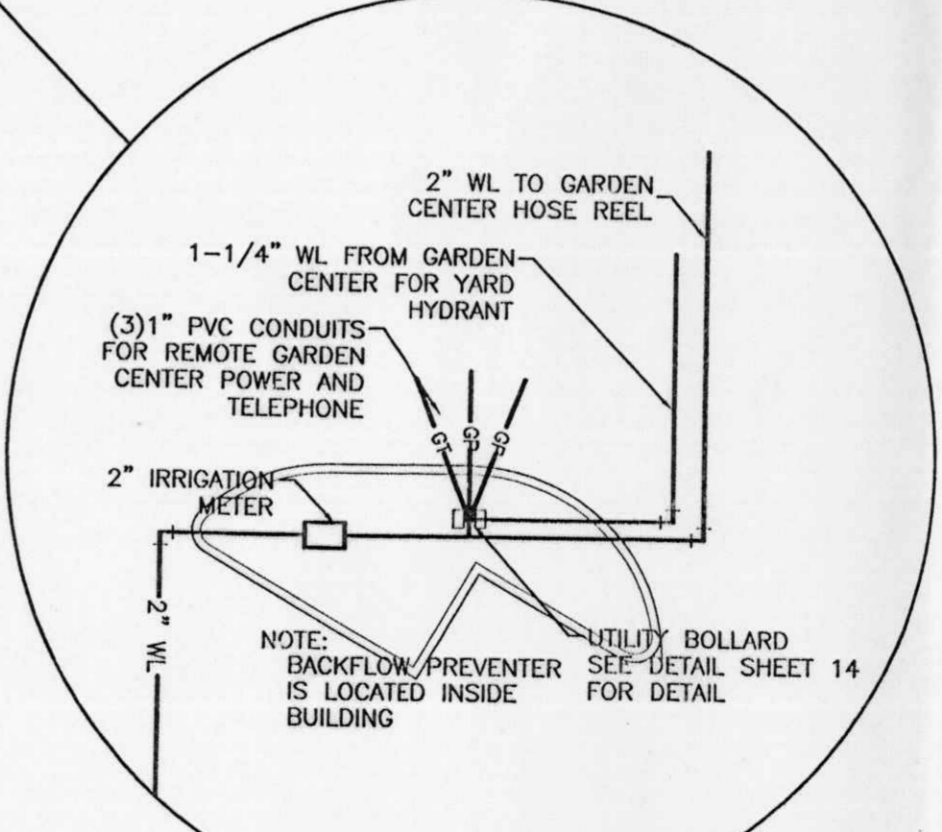
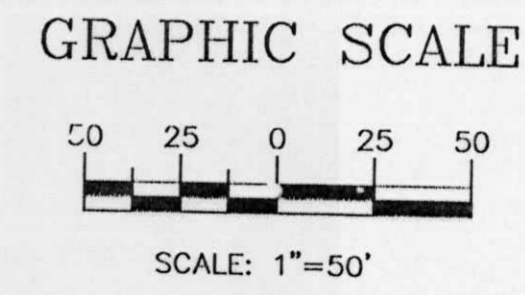
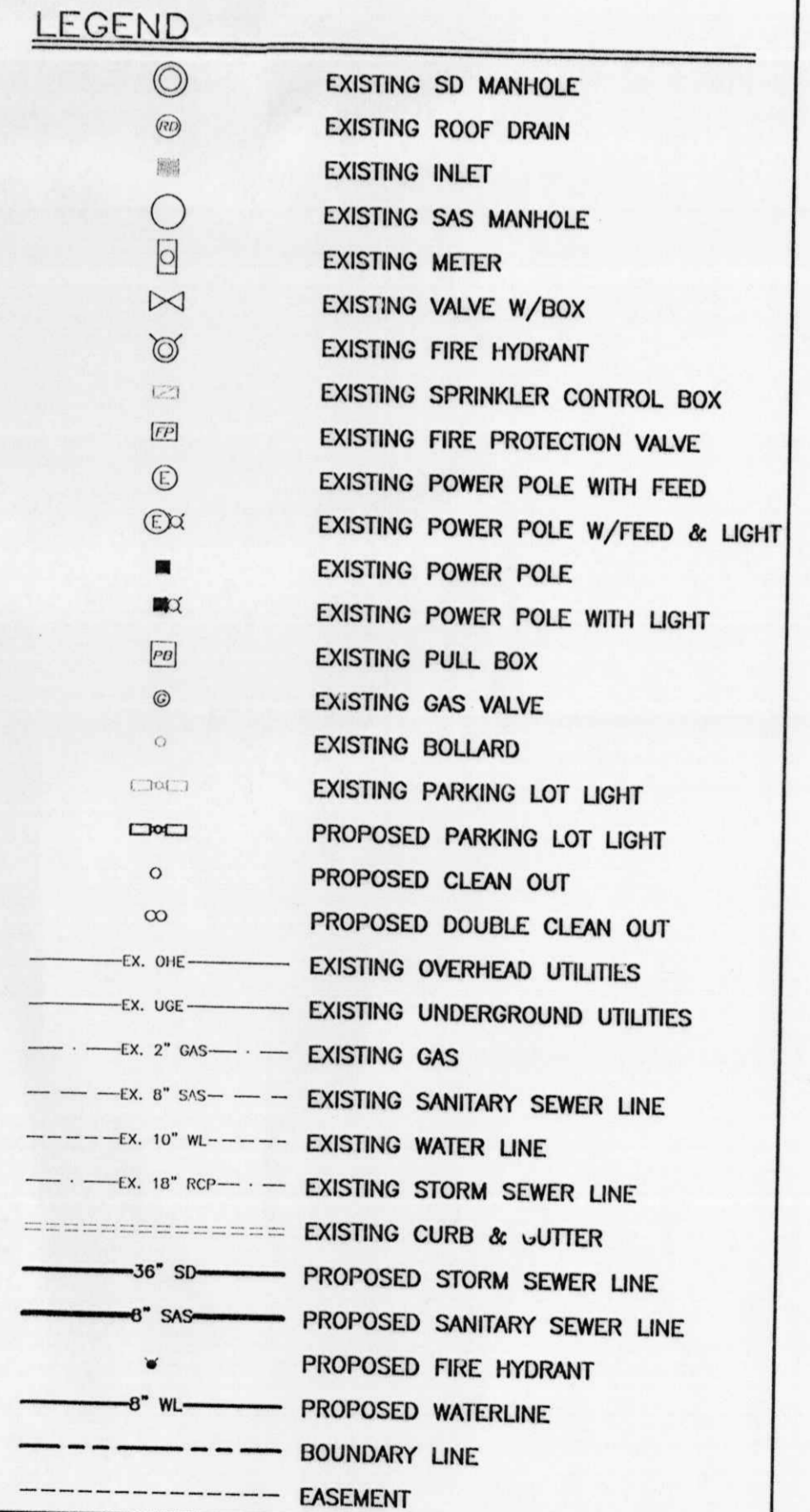
SITE UTILITY NOTES

- CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING UTILITY DURING CONSTRUCTION AT NO COST TO THE OWNER.
- SEE SPECIFICATIONS FOR BACKFILLING AND COMPACTION REQUIREMENTS ON UTILITY TRENCHES.
- ALL FILL MATERIAL IS TO BE IN PLACE, AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
- CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITIES INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE.
- SANITARY SEWER PIPE AND MANHOLE SHALL BE AS FOLLOWS:
 - 8" PVC SDR35 PER ASTM D 3034, FOR PIPES LESS THAN 12' DEEP
 - 8" PVC SDR26 PER ASTM D 3034, FOR PIPES MORE THAN 12' DEEP
 - DUCTILE IRON PIPE PER AWWA C150
 - MANHOLES SHALL BE PRECAST CONCRETE W/BOOTS (TRAFFIC MODEL RING & COVER)
- WATERLINES SHALL BE AS FOLLOWS:
 - A. 4" AND LARGER SHALL BE C-900 CLASS 150 PVC PER ASTM 2241. VALVES SHALL BE M&H RESILIENT SEAT AND M.J. GATE VALVES.
 - B. ALL FIRE HYDRANTS SHALL BE M&H MODEL 129 (3 WAY)(BRASS SEAT) 5 1/4" VALVE OPENING, 4" BURY, M.J. FOOT, 2-2 1/2 HOSE NOZZLES, 1-4 1/2" STEAMER NOZZLE.
- ALL WATER JOINTS ARE TO BE MECHANICAL JOINTS WITH THRUST BLOCKING AS CALLED OUT IN SPECIFICATIONS.
- ALL UTILITIES SHOULD BE KEPT TEN (10') APART (PARALLEL) OR WHEN CROSSING 18" VERTICAL CLEARANCE (OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE).
- CONTRACTOR SHALL GROUT AROUND ALL PIPE ENTRANCES TO SANITARY SEWER MANHOLES WITH NON-SHRINKING GROUT TO ASSURE CONNECTION IS WATER TIGHT.
- IN THE EVENT OF A VERTICAL CONFLICT BETWEEN WATERLINES, SANITARY SEWER, STORM LINES AND GAS LINES (EXISTING AND PROPOSED), THE SANITARY LINE SHALL BE DUCTILE IRON PIPE WITH MECHANICAL JOINTS AT LEAST 10 FEET ON BOTH SIDES OF CROSSING. THE WATERLINE SHALL HAVE MECHANICAL JOINTS WITH APPROPRIATE THRUST BLOCKING AS REQUIRED TO PROVIDE A MINIMUM OF 18" CLEARANCE. MEETING REQUIREMENTS OF ANSI A21.10 OR ANSI 21.11 (AWWA C-151) (CLASS 50).
- LINES UNDERGROUND SHALL BE INSTALLED, INSPECTED AND APPROVED BEFORE BACKFILLING.
- TOPS OF EXISTING MANHOLES SHALL BE RAISED AS NECESSARY TO BE FLUSH WITH PROPOSED PAVEMENT ELEVATIONS WITH WATER TIGHT LIDS.
- ALL CONCRETE FOR ENCASUREMENTS SHALL HAVE A MINIMUM 28 DAY COMPRESSION STRENGTH AT 3000 P.S.I.
- DRAWINGS DO NOT PURPORT TO SHOW ALL EXISTING UTILITIES.
- EXISTING UTILITIES SHALL BE VERIFIED IN FIELD PRIOR TO INSTALLATION OF ANY NEW LINES.
- REFER TO INTERIOR PLUMBING DRAWINGS FOR TIE-IN OF ALL UTILITIES.
- CONTRACTOR IS RESPONSIBLE FOR COMPLYING TO THE SPECIFICATIONS OF THE LOCAL AUTHORITIES (CITY OF ALBUQUERQUE) WITH REGARDS TO MATERIALS AND INSTALLATION OF THE WATER AND SEWER LINES.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE CONTRACTOR IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICE.
- CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS AND SPECIFICATIONS FOR ACTUAL LOCATION OF ALL UTILITY ENTRANCES TO INCLUDE SANITARY SEWER LATERALS, DOMESTIC AND FIRE PROTECTION WATER SERVICE, ELECTRICAL, TELEPHONE, AND GAS SERVICE. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES, IN SUCH A MANNER AS TO AVOID CONFLICTS AND ASSURE PROPER DEPTHS ARE ACHIEVED AS WELL AS COORDINATING WITH CITY UTILITY REQUIREMENTS AS TO LOCATION AND SCHEDULING FOR TIE-INS/CONNECTIONS PRIOR TO CONNECTING TO EXISTING UTILITIES.
- THE CONTRACTOR SHALL CONDUCT ALL REQUIRED TESTS TO THE SATISFACTION OF THE RESPECTIVE UTILITY COMPANIES AND THE OWNER'S INSPECTING AUTHORITIES.
- CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST STANDARDS OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING, AND OTHER MEANS OF PROTECTION. THIS TO INCLUDE BUT NOT LIMITED TO ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE TO COMPLY WITH PERFORMANCE CRITERIA FOR OSHA.
- THE INSTALLATION OR REPAIR OF ANY UNDERGROUND FACILITIES OR PIPING WHICH CONNECTS TO OR FURNISHES WATER FOR THE FIRE PROTECTION SPRINKLER SYSTEM SHALL BE PERFORMED ONLY BY A LICENSED UTILITY CONTRACTOR, FIRE PROTECTION SPRINKLER CONTRACTOR, OR LICENSED PLUMBER. SEE O.C.G.A. TITLE 26-11-7-(c). A COPY OF THE LICENSE OR CERTIFICATE OF COMPETENCY SHALL BE PROVIDED TO THE INSPECTOR AT THE FINAL INSPECTION.
- UTILITY WORK TO BE DONE IN FRONT OF STORE TO BE COORDINATED WITH WAL-MART CONSTRUCTION MANAGER. FRONT UTILITY WORK WILL BE DONE AT NIGHT IF NOT LOCATED BEHIND CONSTRUCTION FENCE.
- CONTRACTOR TO RELOCATE LIGHT POLE AND REPLACE LUMINAIRS AS INDICATED. CONTRACTOR TO BUILD NEW POLE BASE AND STUB WIRE AS NEEDED.
- REFER TO BUILDING PLANS FOR SITE LIGHTING ELECTRICAL PLAN.
- REFER TO SHEET 12 FOR SERVICE STATION UTILITIES.



- NOTES:**
- ONLY WATER SYSTEMS PERSONNEL ARE AUTHORIZED TO OPERATE VALVES.
 - NOTIFY CITY OF ALBUQUERQUE, WATER SYSTEMS DIVISION (PHONE 857-8200) FIVE (5) WORKING DAYS IN ADVANCE OF NEEDING EXECUTION OF THE WATER SHUT OFF PLAN
 - APPROXIMATE SHUT OFF TIME WILL BE 24 HOURS. CONTRACTOR IS TO MAKE THE WATER CONNECTION DURING THE WAL-MART OFF HOURS.
 - SHUTOFF THE VALVES INDICATED IN THE ABOVE PLAN
 - SEE IRRIGATION PLANS FOR IRRIGATION IMPROVEMENTS AND DETAILS

- CITY UTILITY NOTES:**
- PNM IS RESPONSIBLE FOR RELOCATION AND/OR ABANDONMENT OF THESE LINES AND PULL BOXES AS SHOWN.
 - GAS COMPANY IS RESPONSIBLE FOR RELOCATION OF THEIR LINES AS SHOWN.
 - COMCAST IS RESPONSIBLE FOR RELOCATION OF THEIR LINES AND MANHOLES AS SHOWN.

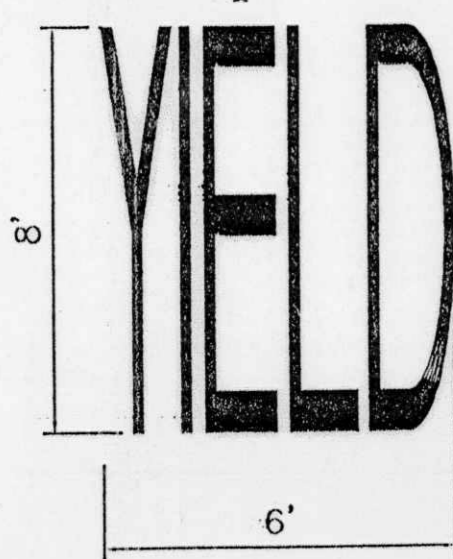


ADD PLANS CHECKING OFFICE
824-3611
APPROVED
R.C. Jones 4-2-02

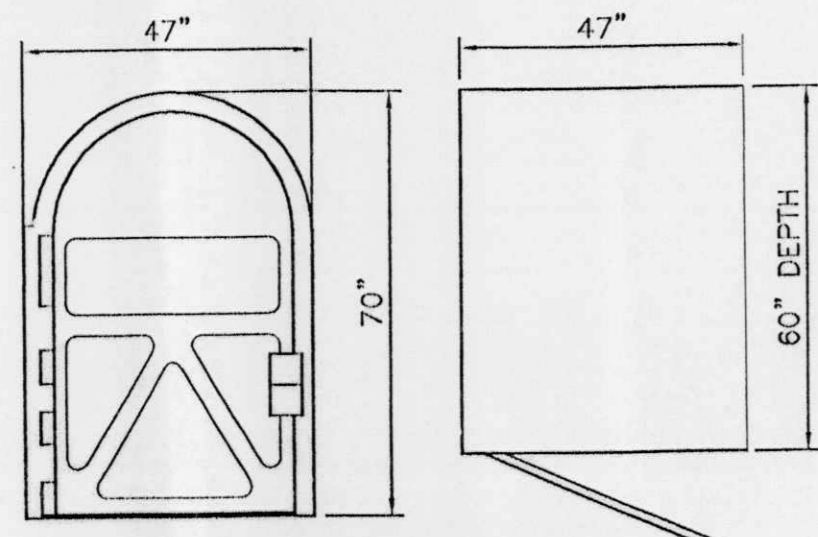
ENGINEER'S SEAL	ALBUQUERQUE WAL-MART EXPANSION, NM: 831-02	DRAWN BY BDC
	MASTER UTILITY PLAN	DATE 03/14/02
		2083Mub.DWG
		SHEET # 4
		JOB # 200083
TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100		

NOTE:

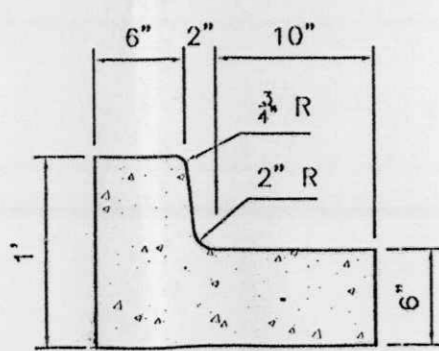
- WORDS AND ARROWS FOR DRIVEWAYS SHALL BE APPLIED ACCORDING TO REQUIREMENTS AS OUTLINED IN SECTION 3B OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREET AND HIGHWAYS.
- THESE WORDS AND ARROWS ARE TO BE PAINTED REFLECTIVE WHITE.



YIELD MARKER
SCALE: NTS



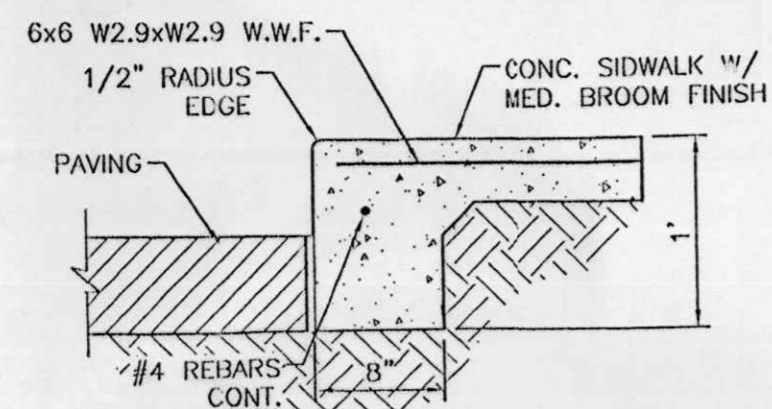
BIKE LOCKER DETAIL
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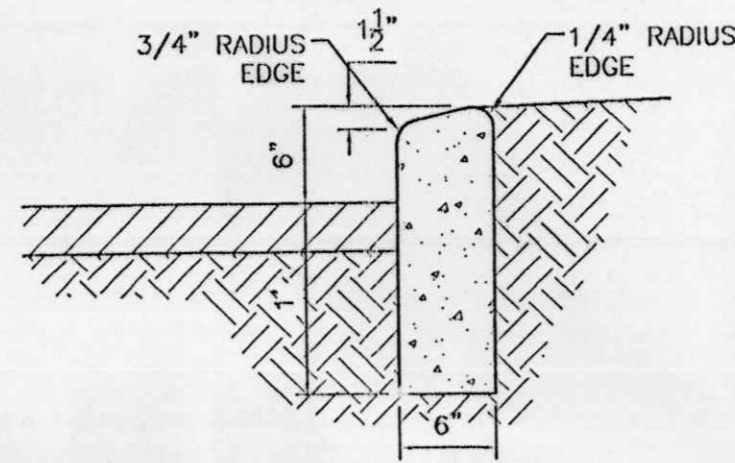
6 IN. CURB AND GUTTER
SCALE: 1"=1'

CURB GENERAL NOTES:

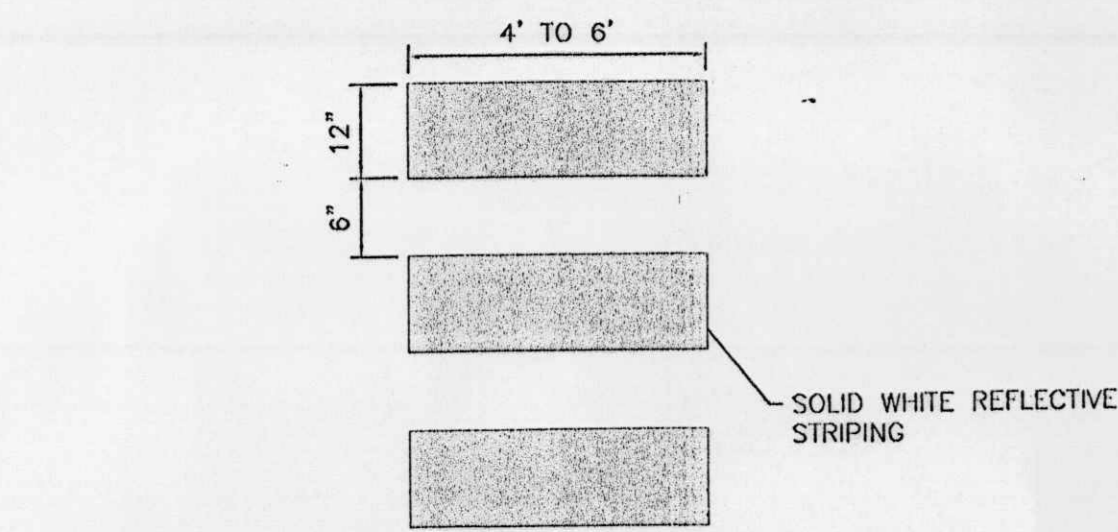
- ALL CURBS TO BE CONSTRUCTED OF PORTLAND CEMENT CONCRETE, PER WAL-MART SPECIFICATIONS.
- PROVIDE CONTRACTION JTS. 12' MAX., SPACING, 1/2" EXP. JTS. AT CURB RETURNS AND AT A MAX. SPACING OF 120' BETWEEN CURB RETURNS AND EACH SIDE OF SEPARATELY CONSTRUCTED DRIVEWAYS. CONTRACTION JTS., SHALL BE EITHER SAWED OR TOOLED A MINIMUM OF 1" DEEP AT FINISHED FACES.
- ALL EDGES SHALL BE EDGED WITH A 3/8" RADIUS EDGING TOOL.
- 1/4" ISOLATION JOINT SHALL BE PLACED BETWEEN SIDEWALK AND CURB WHEN CAST ADJACENT TO EACH OTHER.



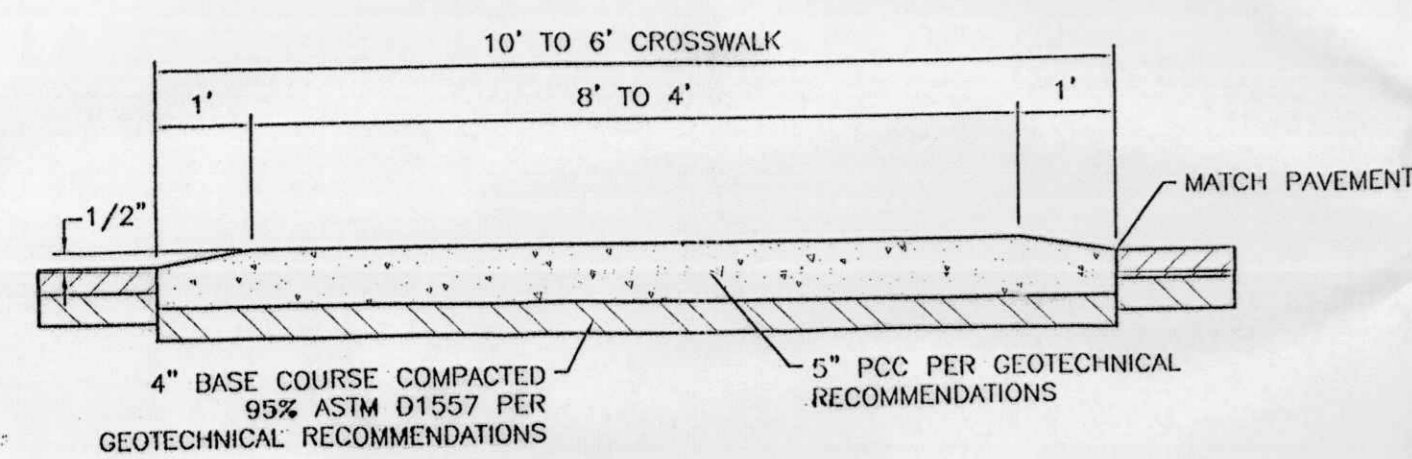
DETAIL-TURNDOWN CURB
1" = 1'-0"



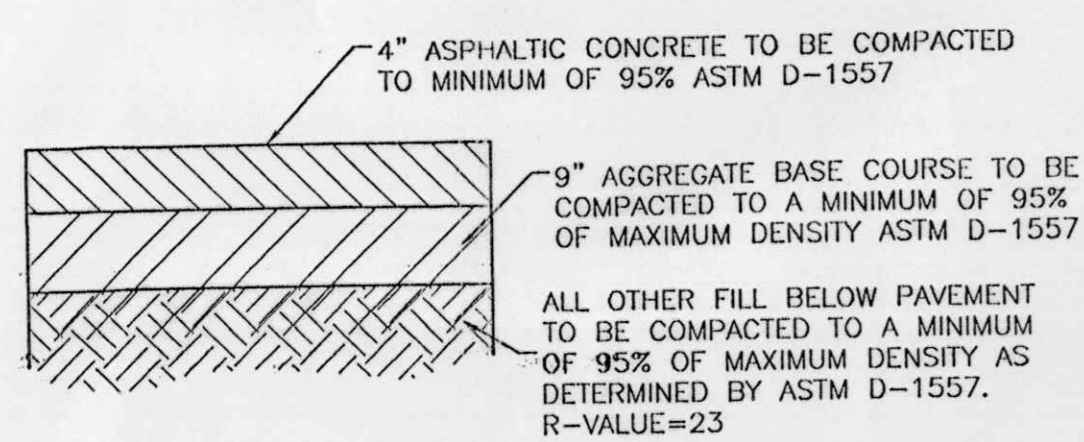
6" HEADER CURB DETAIL
1"=1'



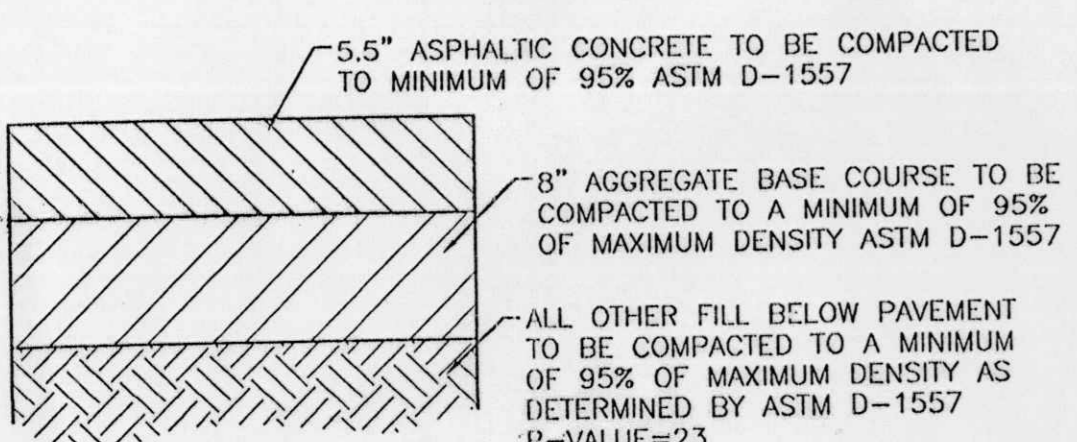
CROSSWALK PLAN VIEW



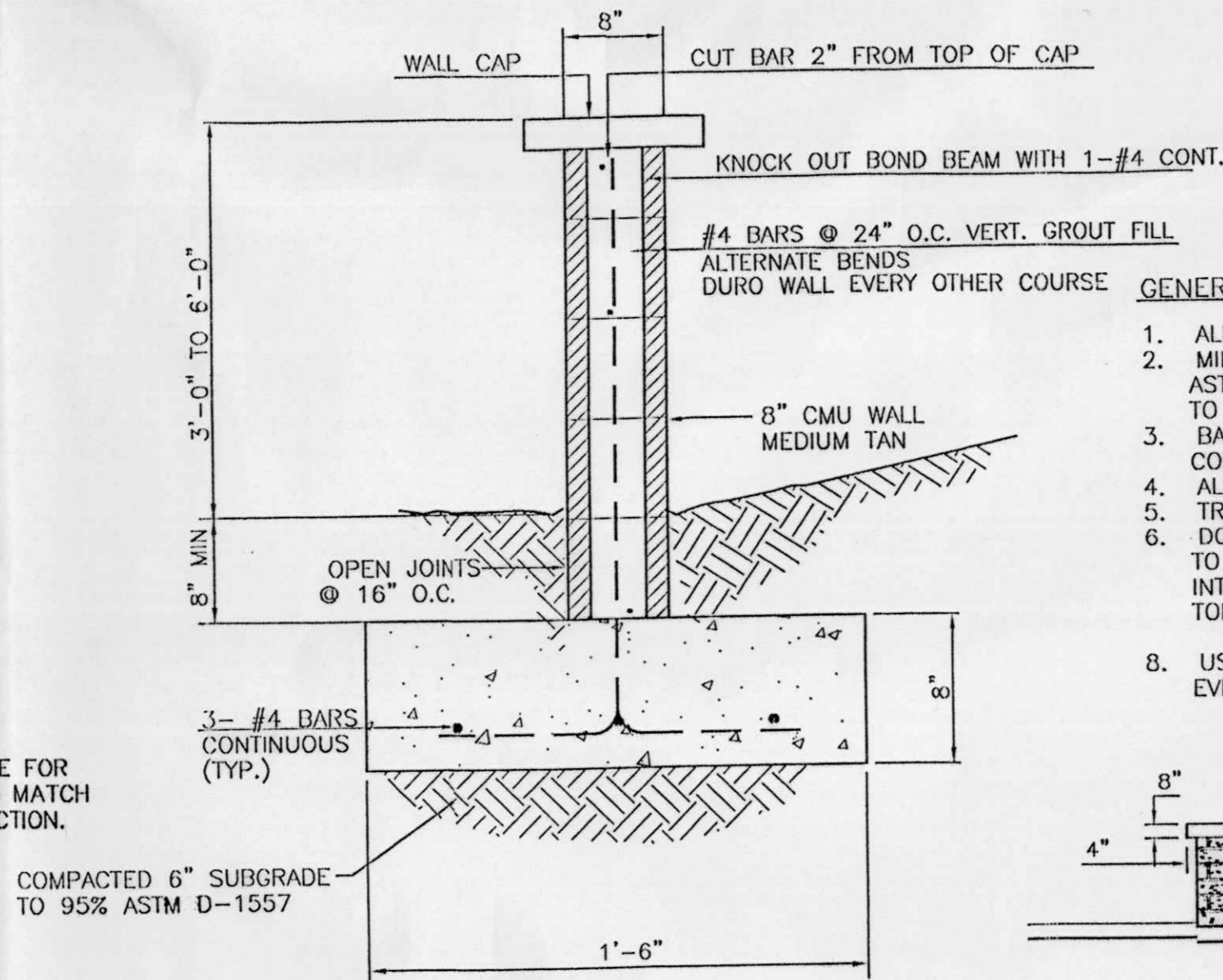
RAISED CROSSWALK
SCALE: 1/2"=1'



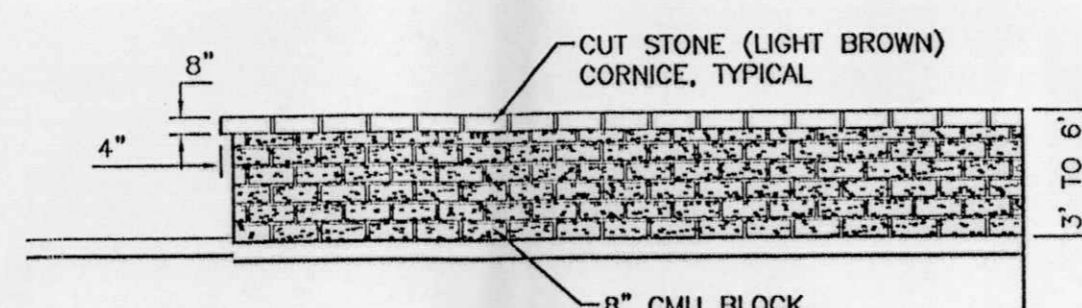
AUTOMOBILE PARKING TYPICAL PAVING SECTION
1" = 1' DESIGNATED BY [Symbol]



AUTOMOBILE DRIVEWAYS AND AREAS SUBJECT TO SEMI-TRUCKS TYPICAL PAVING SECTION
1" = 1' DESIGNATED BY [Symbol]

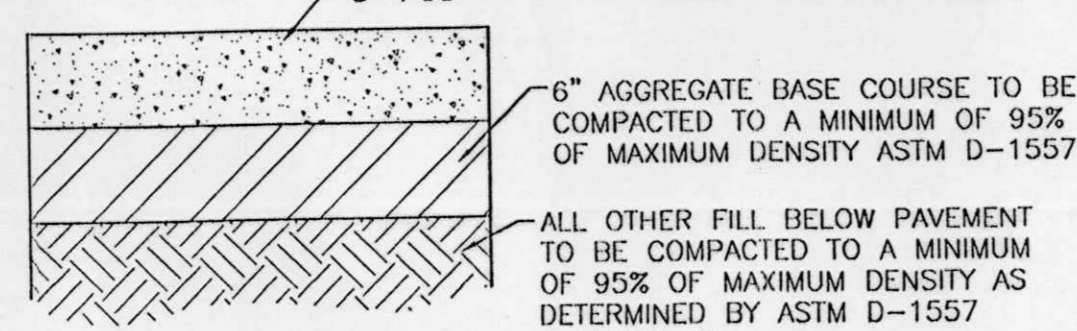


3' SCREEN WALL SECTION
NTS

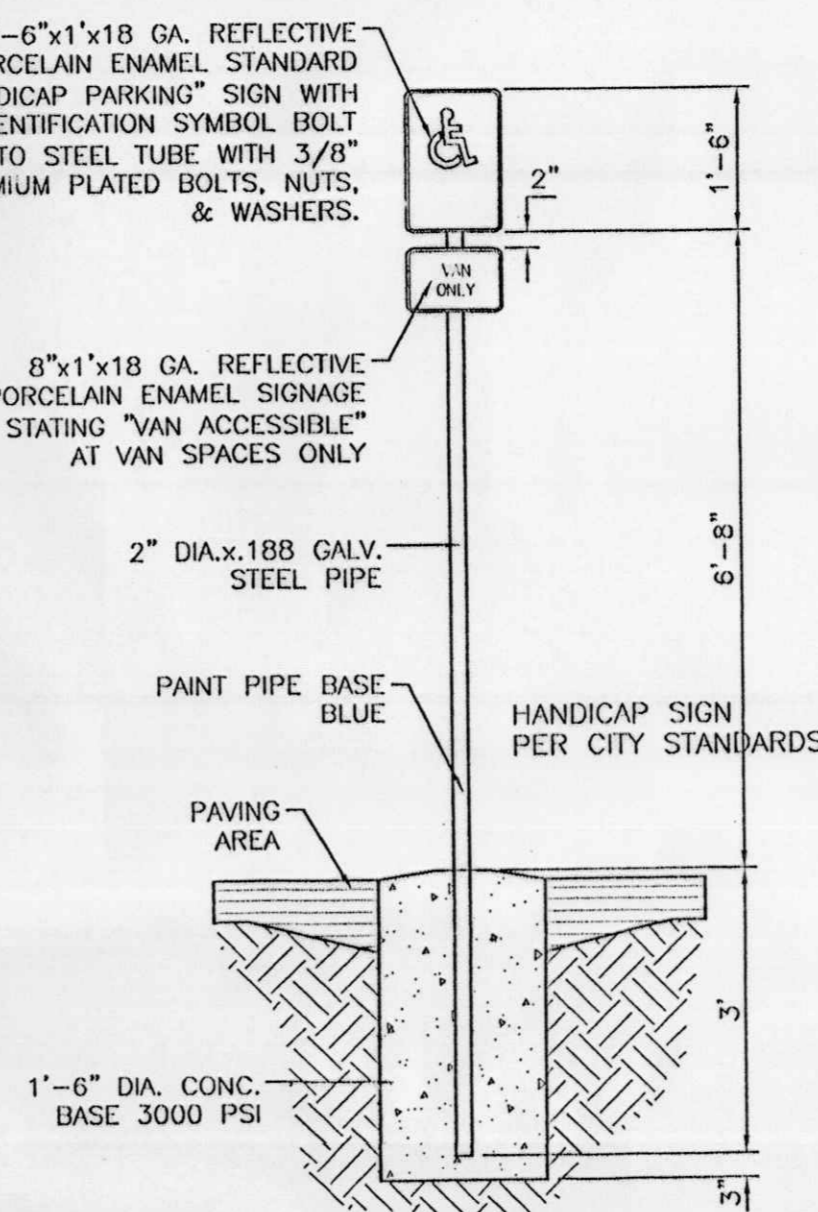


SCREEN WALL DETAIL (TYP.)
NTS

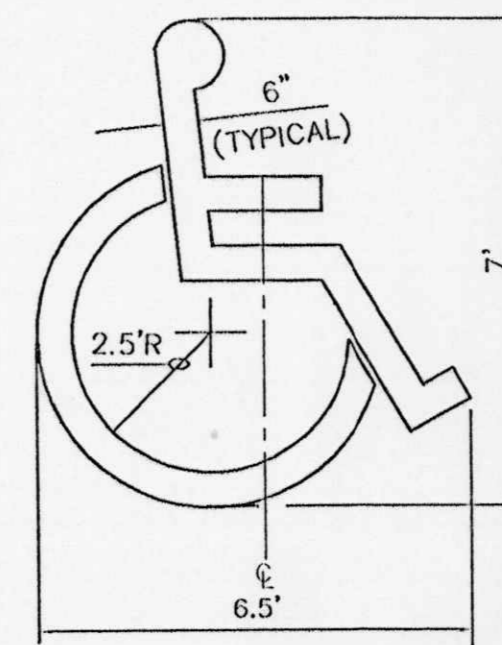
NOTE: CONTRACTOR IS RESPONSIBLE FOR ADJUSTING SUBGRADE ELEVATION TO MATCH SELECTED ALTERNATE PAVEMENT SECTION.



STANDARD CONCRETE SECTION
1" = 1' DESIGNATED BY [Symbol]

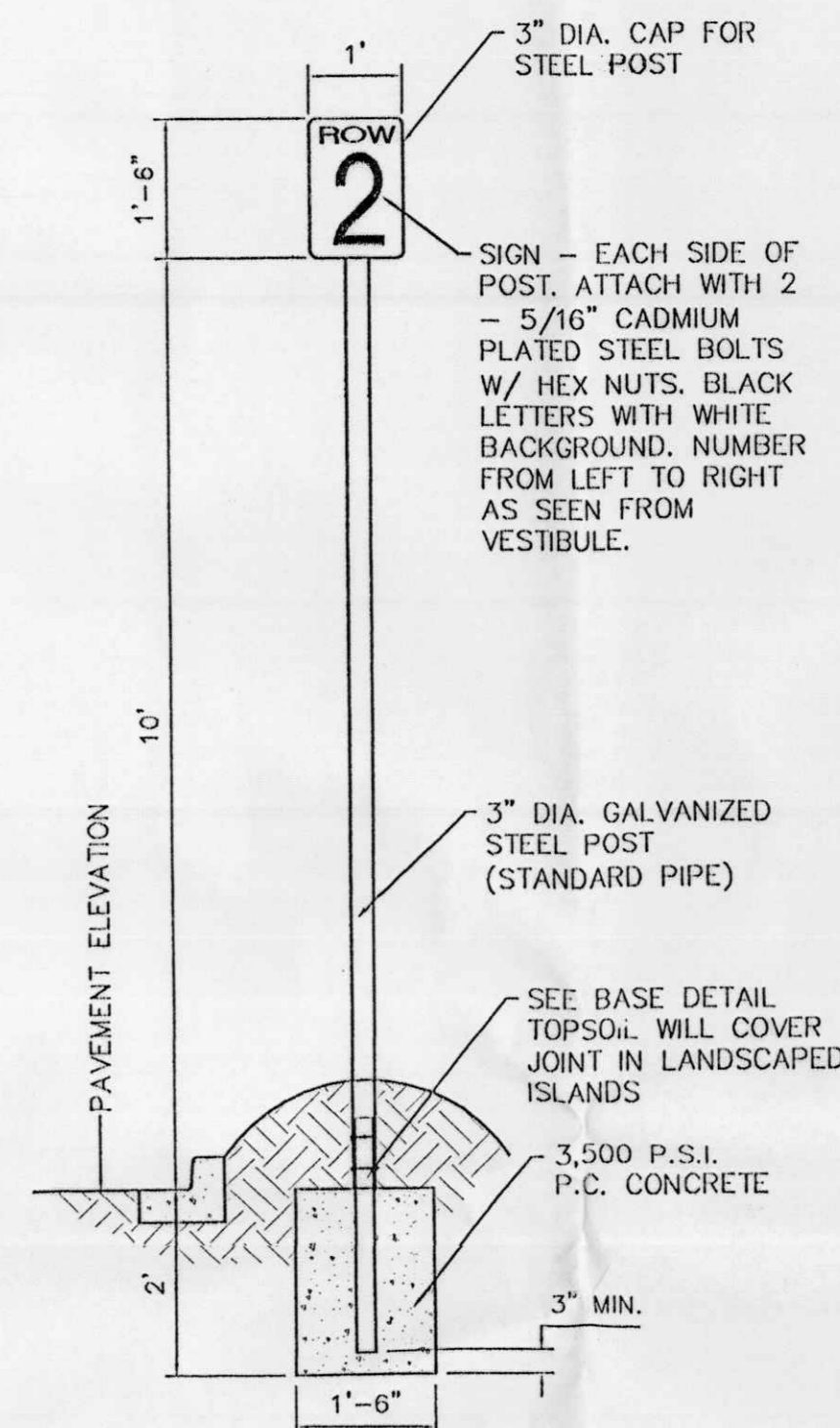


HANDICAP SIGN
SCALE: 1/2"=1'

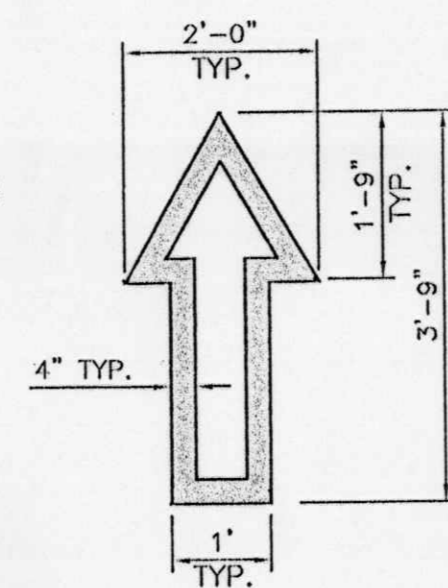


ACCESSIBLE PARKING SYMBOL
SCALE: NTS

LOCATE AT EDGE OF PARKING SPACE UNLESS ACCOMPANIED BY "VAN" LETTERING



AISLE SIGN IN LANDSCAPE ISLAND
SCALE: 1/2"=1'

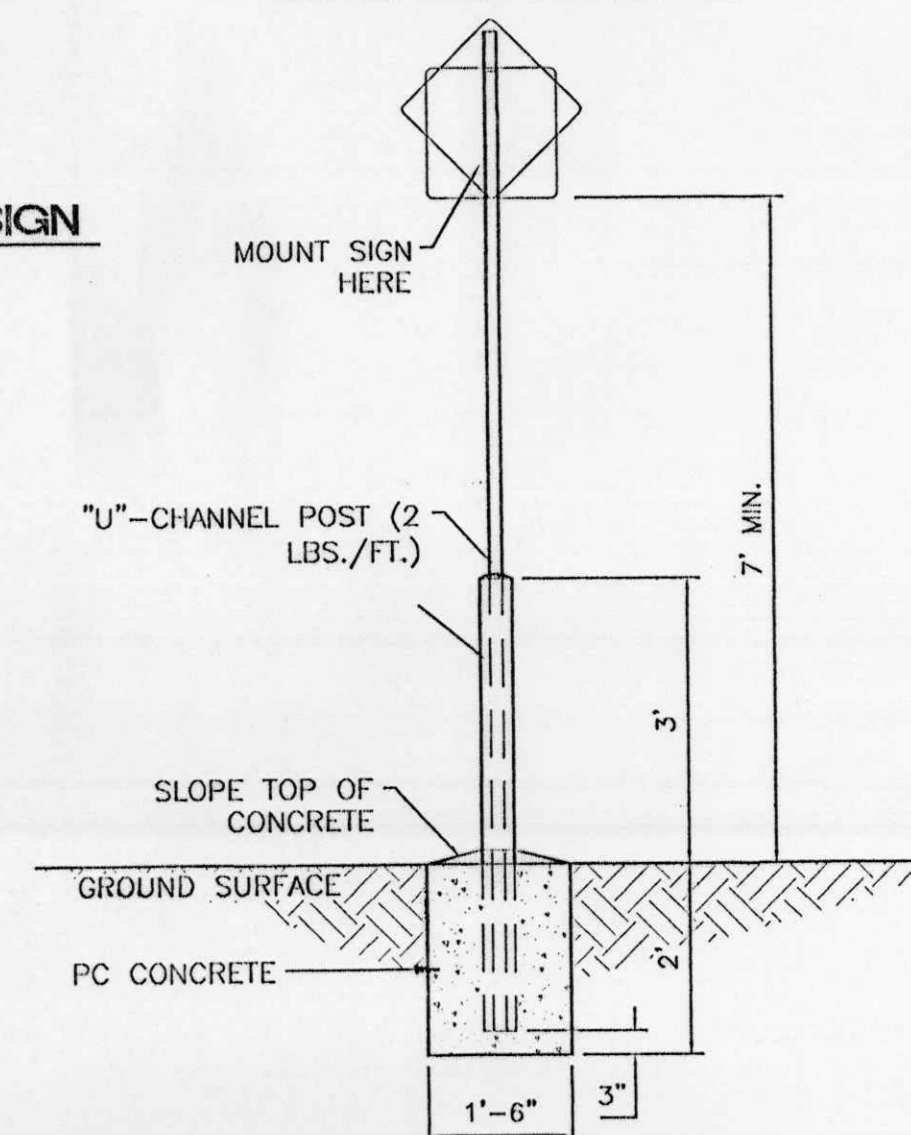


NOTE: ALL TRAFFIC FLOW ARROWS TO BE REFLECTIVE YELLOW PAINT PER SPECS.



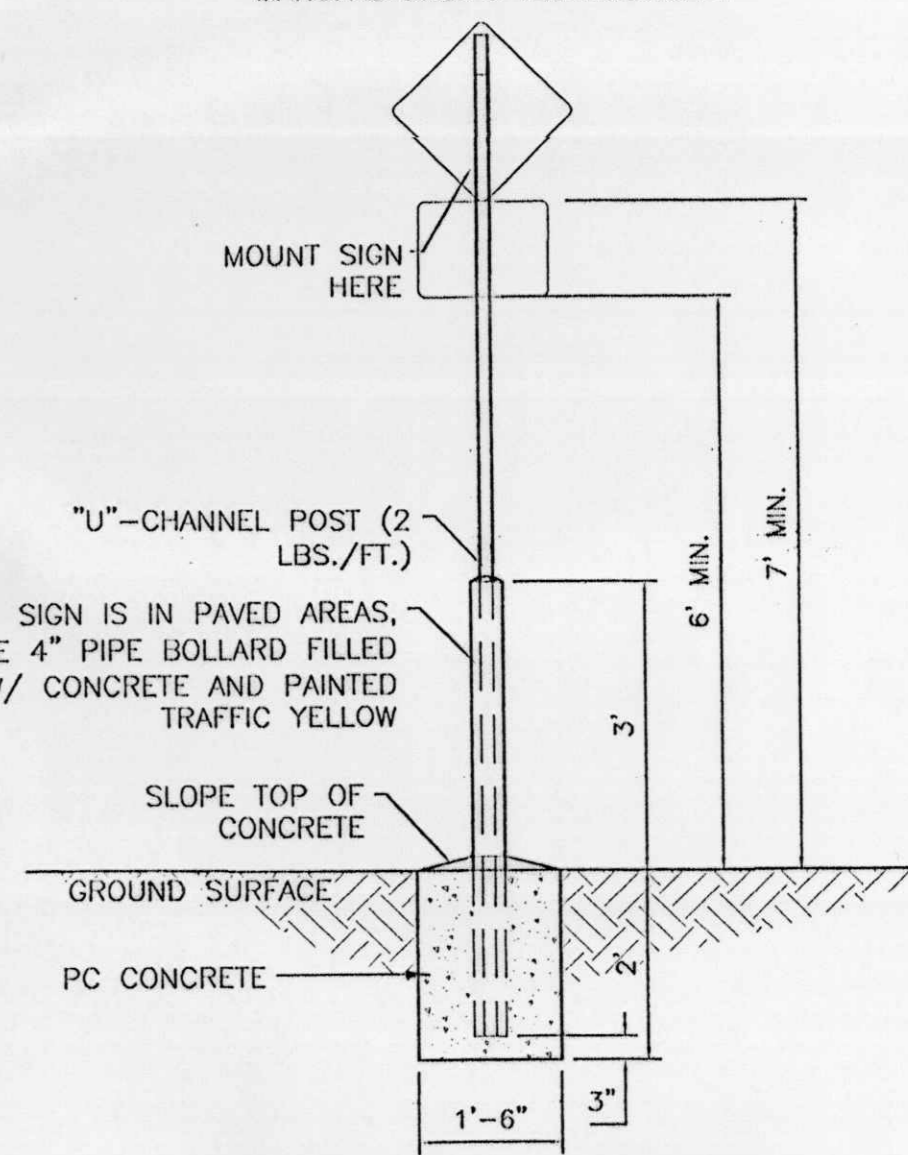
PEDESTRIAN CROSSING SIGN
SCALE: NTS

BLACK LEGEND ON YELLOW BACKGROUND (W1A-2) (W1A-2P)



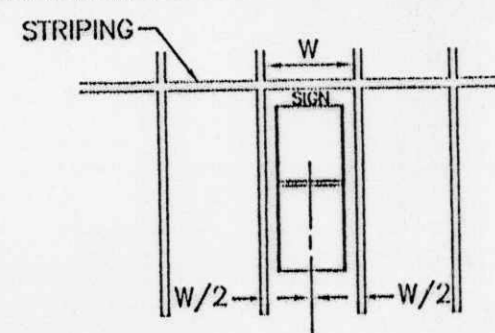
STANDARD SIGN BASE
SCALE: 1/2"=1'

ALL SIGNS SHALL COMPLY WITH U.S. DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION'S "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES", LOCAL CODES AND AS SPECIFIED. MOUNT SIGNS TO POST IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.



PEDESTRIAN SIGN BASE
SCALE: 1/2"=1'

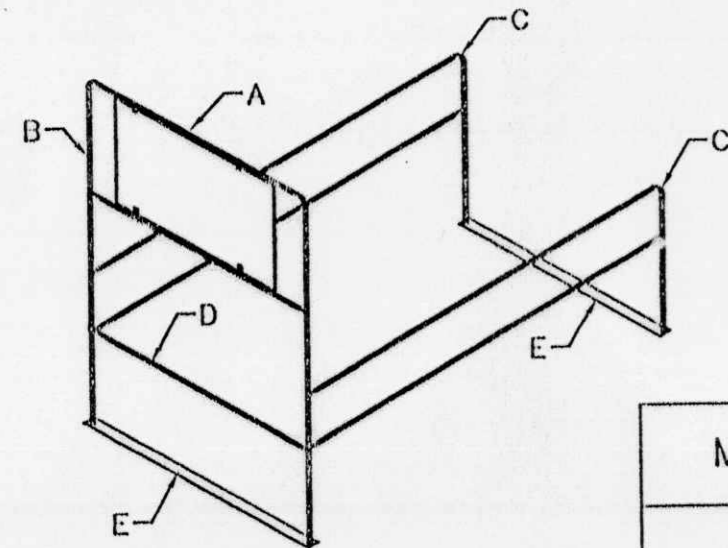
NO.	DATE	REMARKS	BY
REVISIONS			
ENGINEER'S SEAL		DRAWN BY BDG	
ALBUQUERQUE WAL-MART EXPANSION, NM: 831-02		DATE 01/18/02	
DETAILS		DETAILS.DWG	
THEIRIA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100		SHEET # 6	
RONALD R. BOHANWAN P.E. #7868		JOB # 990031	



TOOLS REQUIRED
9" BOX WRENCH AND/OR SOCKET.
HAMMER

INSTALLATION INSTRUCTIONS:

1. Select level area in parking lot.
2. Lay bottom plates (E) approx. 15" apart parallel.
3. Attach side rails (C) to bottom plates (E). A top with hammer may be required.
4. Attach stop bar (D) to inside of rail (C) with 6" bolt and lock nut (F).
5. Mount (B) into side rails (C) by sleeving the wedged pieces together. A slight top may be required.

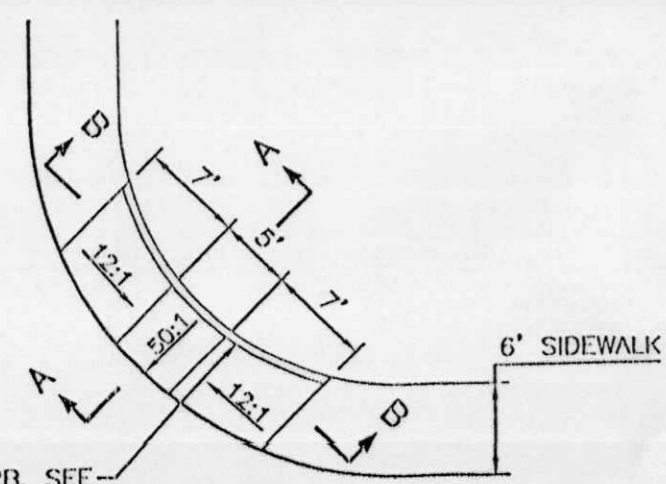


NOTE: CART CORRALS WILL BE PROVIDED BY WAL-MART, PER SPECIFICATIONS. TO BE ASSEMBLED AND INSTALLED BY THE CONTRACTOR.

MODEL	DESCRIPTION	DIMENSIONS	APPX. CAP.	WEIGHT
102	2-BAY, 1 WAY ENTRY CORRAL W/2' x 4' UNDERHUNG SIGN	60"W x 10'D x 8'H	20 CARTS	150#
103	1-BAY, 1 WAY ENTRY CORRAL W/2' x 4' UNDERHUNG SIGN	36"W x 10'D x 8'H	10 CARTS	152#
104	3-BAY, 1 WAY ENTRY CORRAL W/2' x 4' UNDERHUNG SIGN	80"W x 10'D x 8'H	45 CARTS	250#

SINGLE CART CORRAL DETAIL

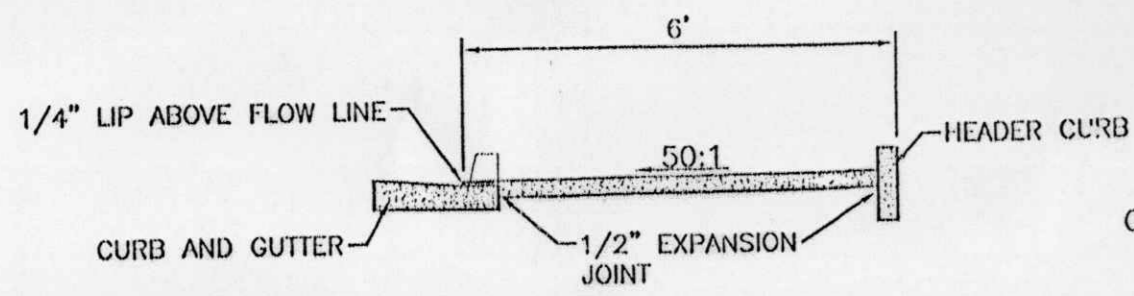
NTS



WHEELCHAIR RAMP DETAIL (TYP.)

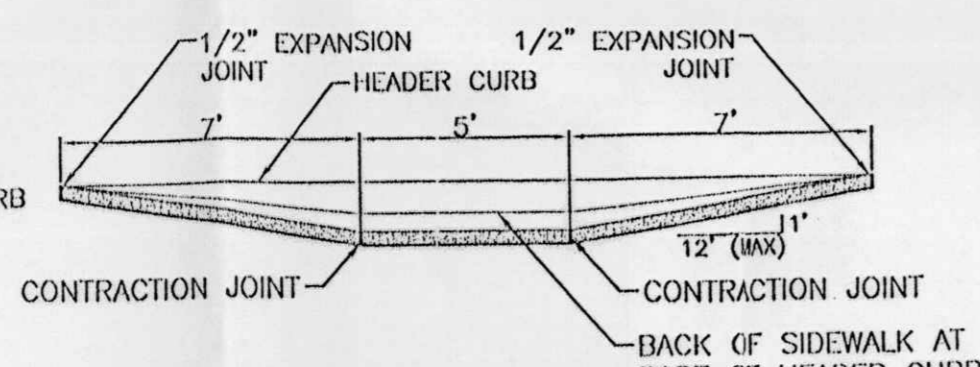
NTS

- GENERAL NOTES:**
1. SURFACE TEXTURE OF CURB ACCESS RAMPS SHALL BE OBTAINED BY HEAVY BROOMING, TRANSVERSE TO THE SLOPE OF THE RAMP.
 2. GUTTER FLOW LINE PROFILE SHALL BE MAINTAINED THROUGH THE AREA OF THE RAMP.
 3. CONSTRUCT PER A.D.A. STANDARDS.



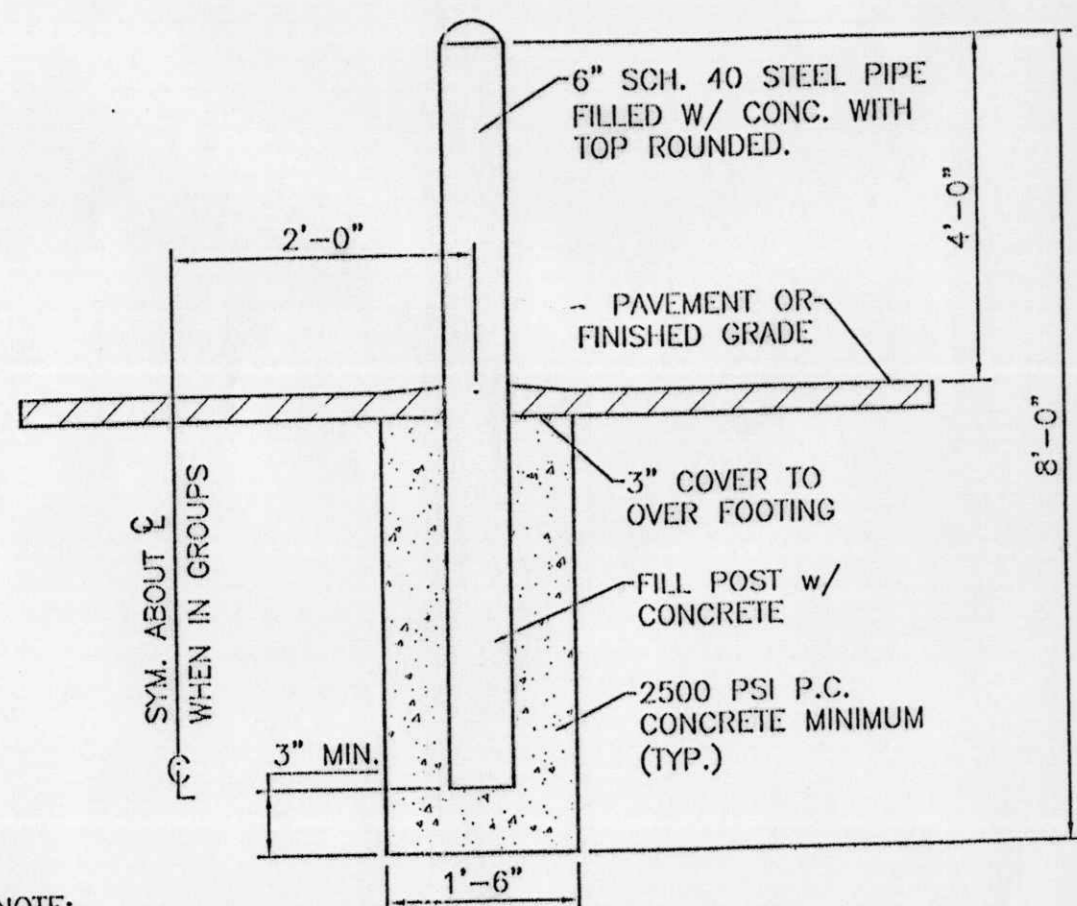
SECTION A-A

NTS



SECTION B-B

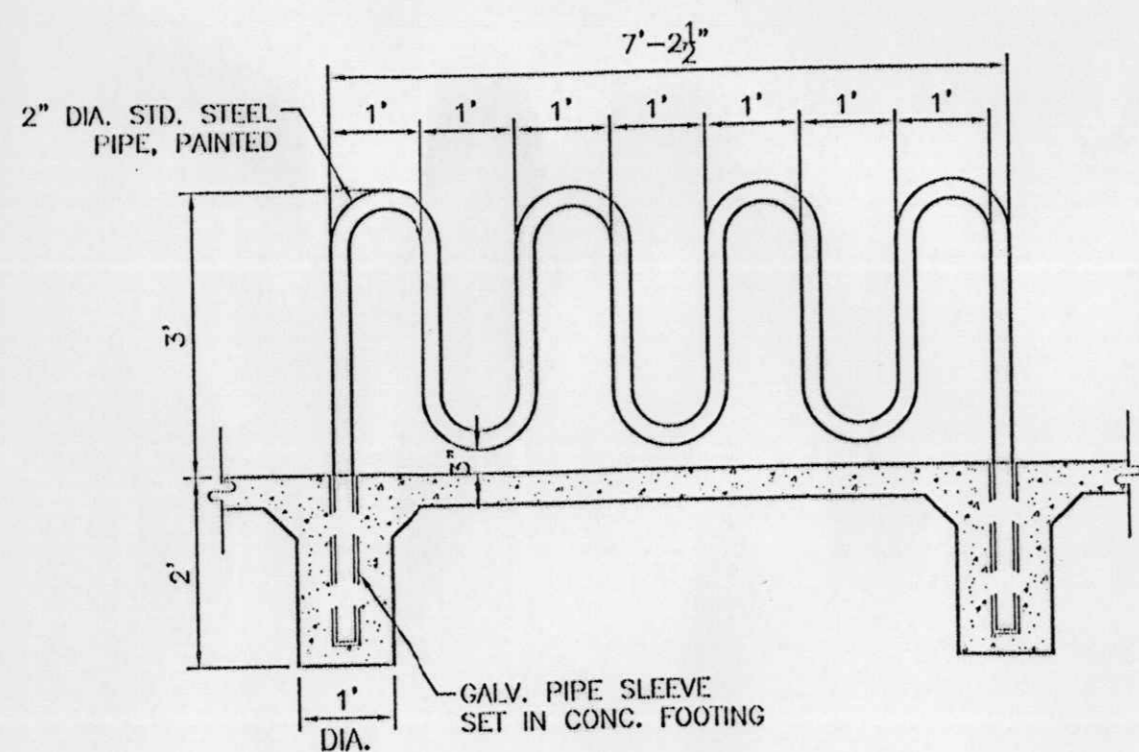
NTS



NOTE: ALL PIPES SHALL BE PAINTED TRAFFIC RED

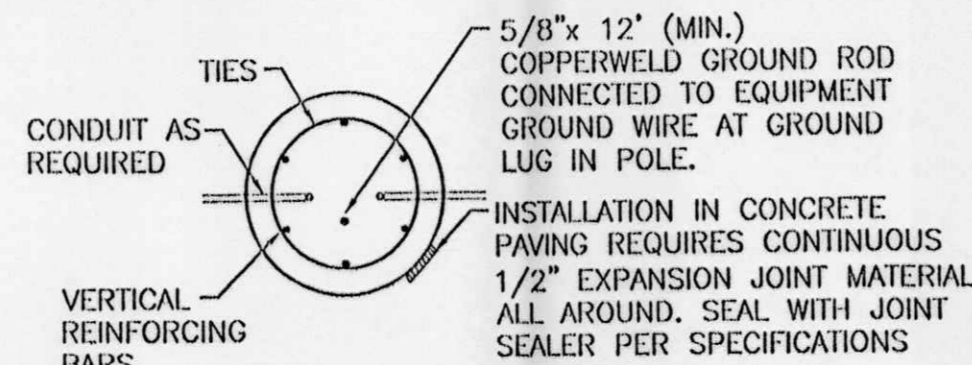
BOLLARD DETAIL

SCALE: NTS

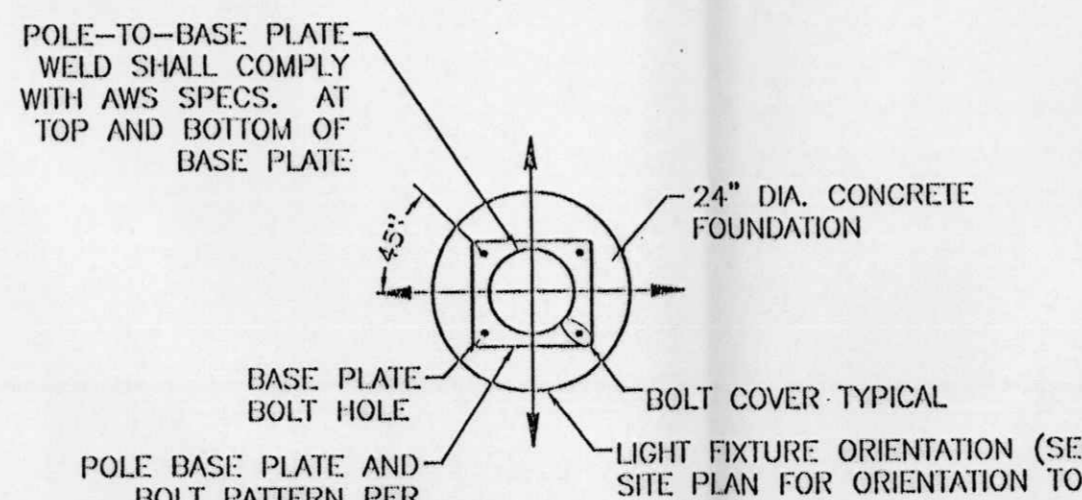


BIKE RACK DETAIL

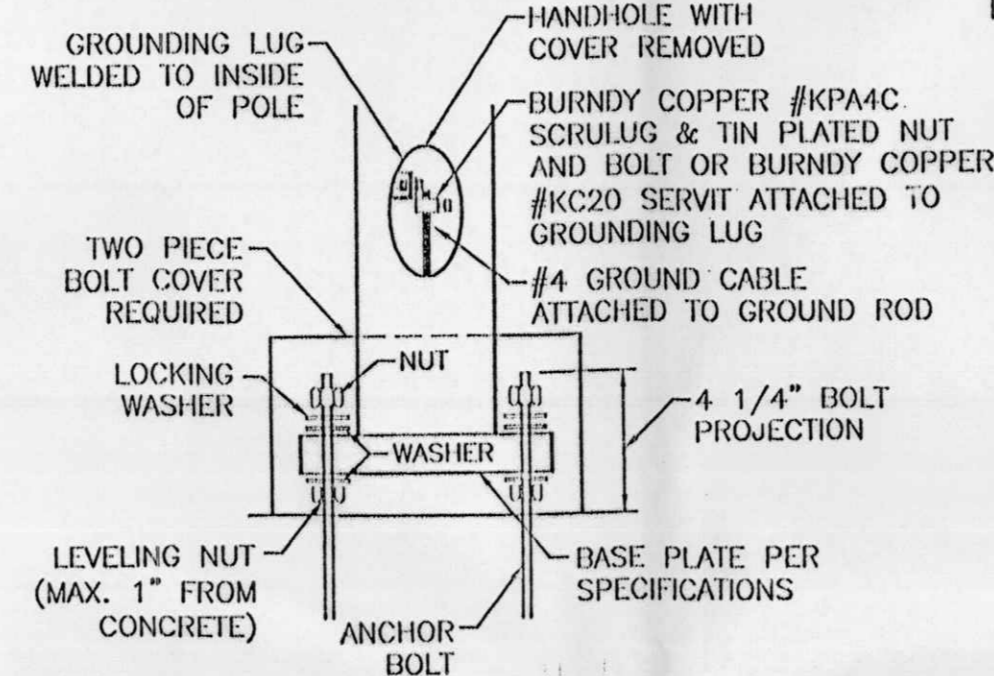
SCALE: 1/2"=1'



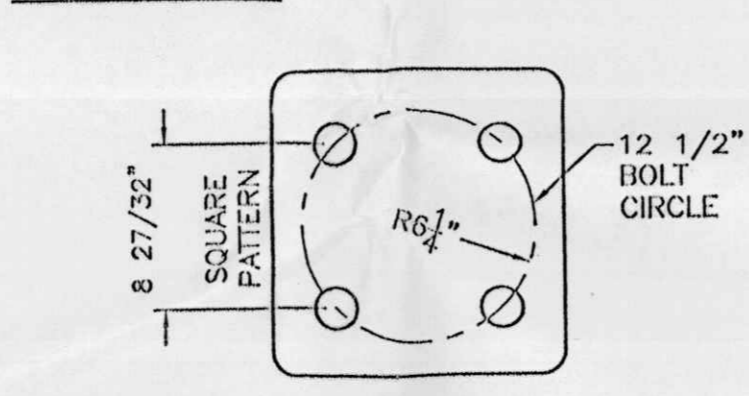
SECTION "A-A"



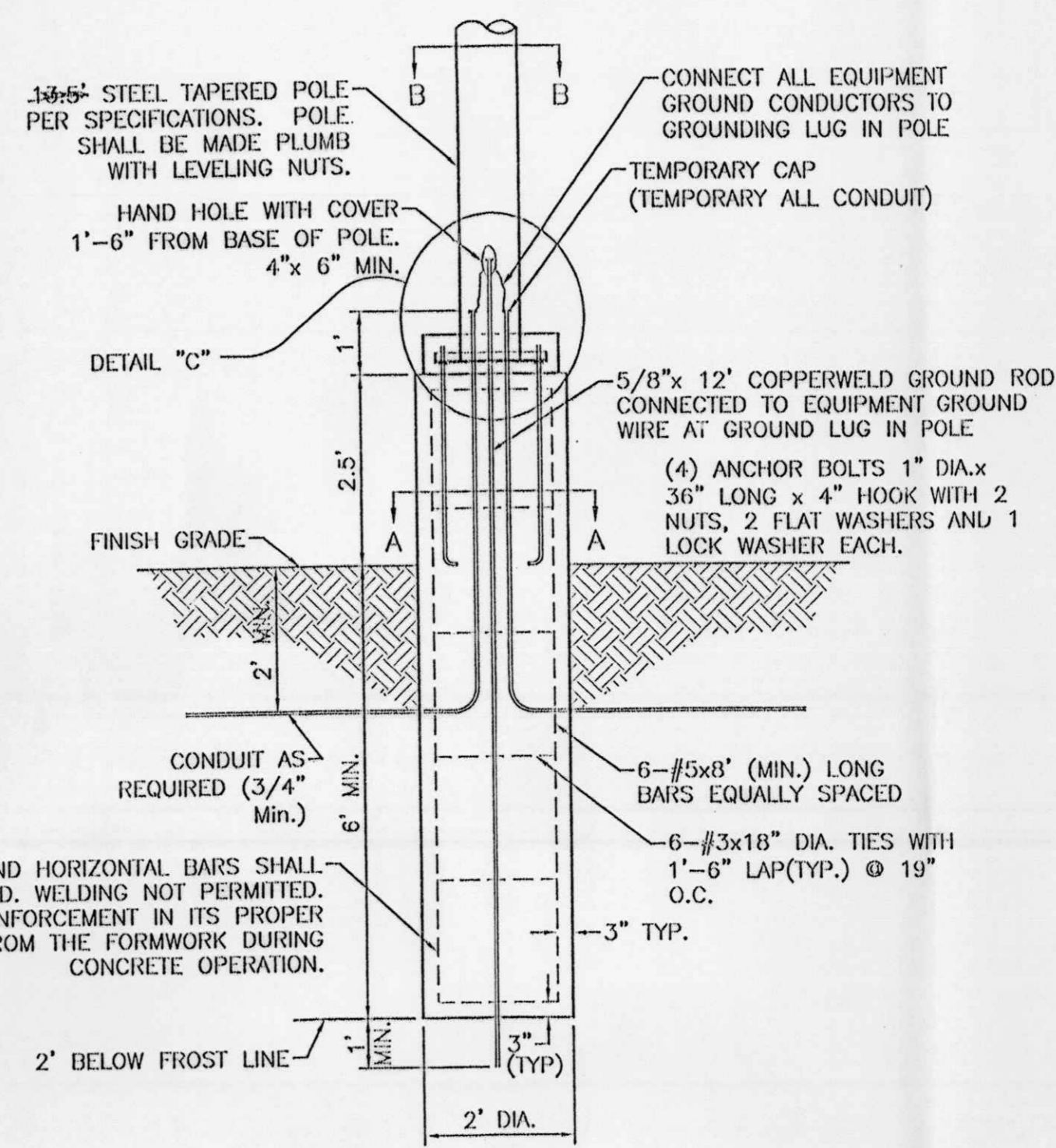
SECTION "B-B"



DETAIL "C"



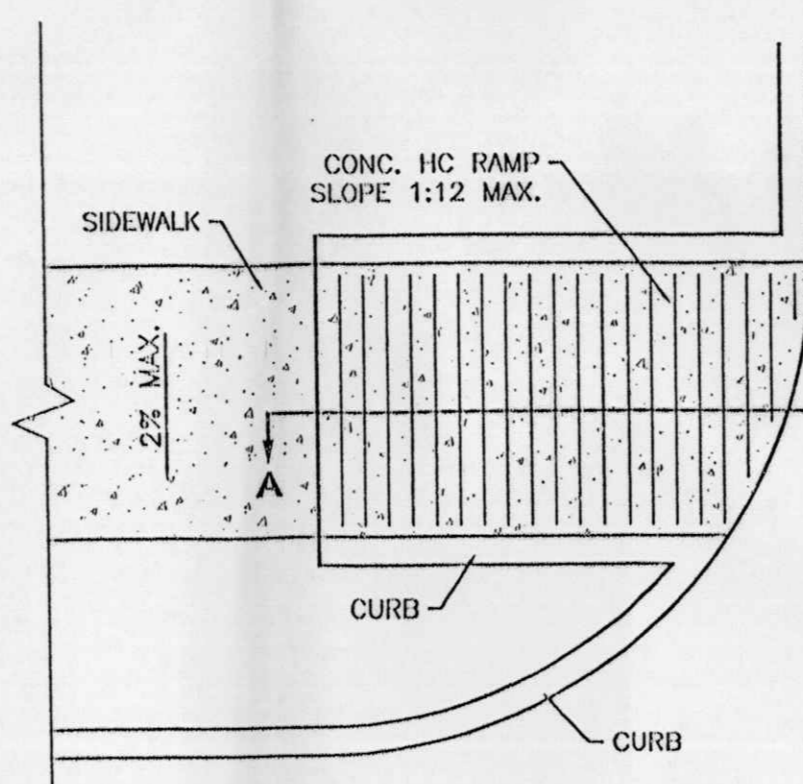
TYPICAL ANCHOR BOLT SPACING



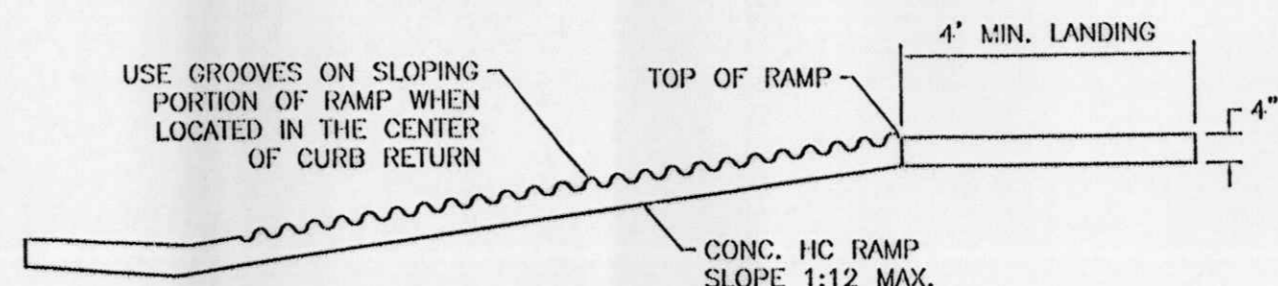
- NOTES:**
1. 3500 PSI MIN. 28 DAY COMPRESSIVE STRENGTH CONCRETE WITH GRADE 60 REINFORCING STEEL.
 2. IF WATER IS PRESENT IN HOLE, REMOVE BEFORE POURING CONCRETE.
 3. FOUNDATION EXCAVATION SHALL BE BY 24" AUGER IN UNDISTURBED OR PROPERLY COMPACTED FILL PER SPECIFICATIONS.
 4. FOUNDATION SHALL HAVE A MINIMUM ALLOWABLE END BEARING OF 2000 PSF.
 5. FOUNDATION HAS BEEN DESIGNED FOR A COHESIVE SOIL BASED ON A MINIMUM COHESIVE VALUE OF 1000 PSF.
 6. FOUNDATION HAS BEEN DESIGNED FOR A GRANULAR SOIL BASED ON A MINIMUM LATERAL SOIL PRESSURE OF 1000 PSF, UTILIZING AASHO FIGURE 1.8.2C(4) OF "EMBEDMENT OF POSTS WITH OVERTURNING LOADS".
 7. EXPOSED CONCRETE SHALL BE PAINTED TRAFFIC YELLOW.
 8. DETAIL FOR 39' POLE WITH MAX. FIXTURE EPA 4.6 SQ.FT.

TYPICAL LIGHTING POLE BASE DETAIL

NTS



PLAN



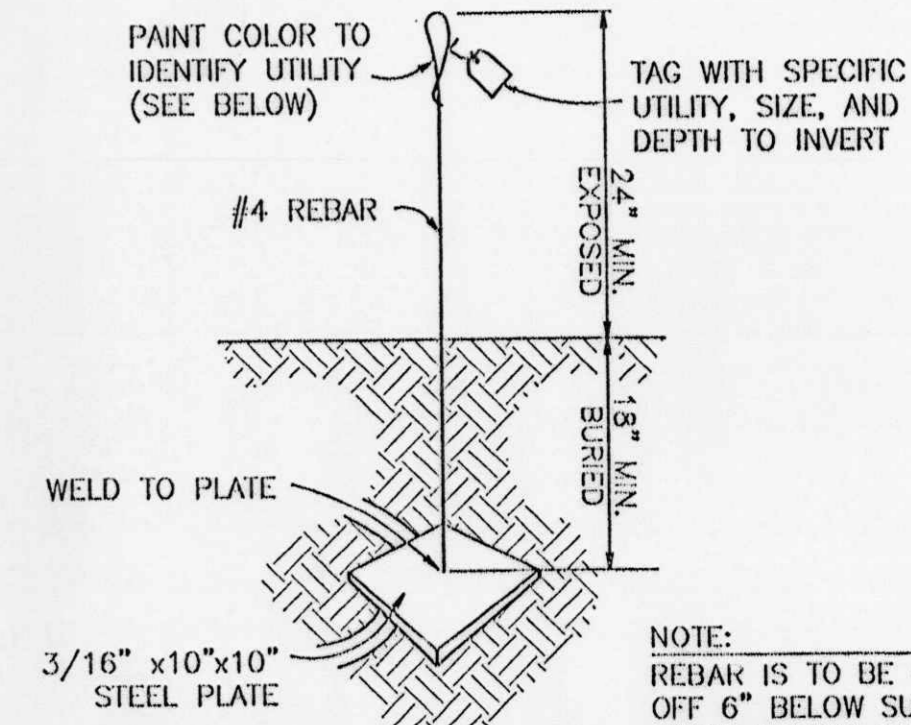
SECTION A-A

UNIDIRECTIONAL HC RAMP

SCALE: NTS

NOTES:

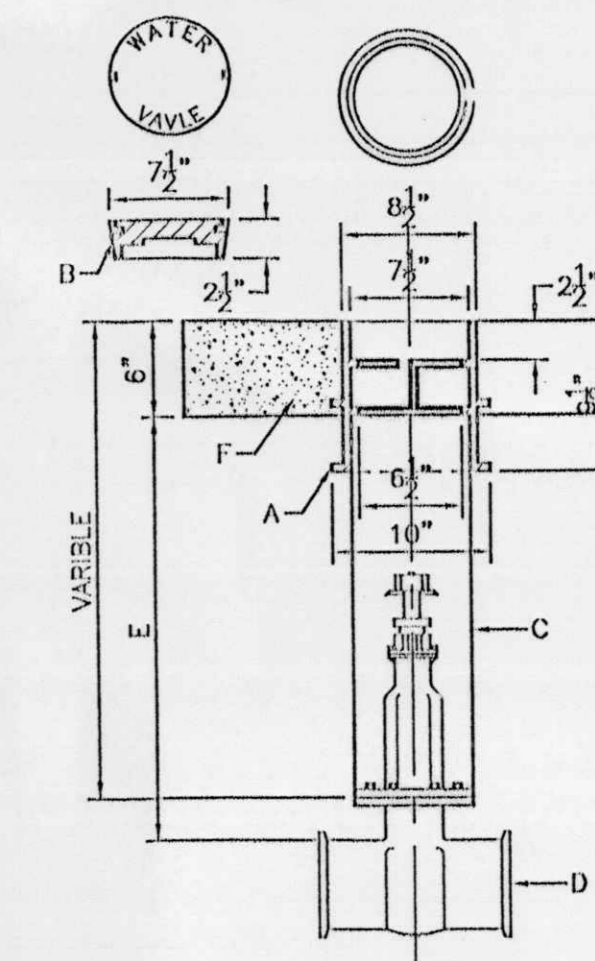
1. THE SURFACE OF RAMP AND SIDES SHALL HAVE A TRANSVERSE BROOMED SURFACE TEXTURE ROUGHER THAN THE SURROUNDING SIDEWALK.
2. THE RAMP SHALL BE GROOVED IN A TRANSVERSE PATTERN WITH 1/4" GROOVES APPROXIMATELY 1-1/2" O.C. SEE SECTION A-A.
3. THE BOTTOM OF THE RAMP SHALL HAVE A 1/4" LIP OF 45°.
4. RAMP SIDE SLOPE VARIES UNIFORMLY FROM A MAXIMUM OF UP TO 10% AT CURB TO CONFORM WITH LONGITUDINAL SIDEWALK SLOPE ADJACENT TO TOP OF THE RAMP.
5. CONSTRUCT PER A.D.A. STANDARDS.



USE AT CAPPED END OF ALL UTILITY SERVICE CONNECTIONS TO/FROM SAM'S CLUB, WAL-MART STORES & SUPERCENTERS

UTILITY	COLOR
SEWER	GREEN
WATER	BLUE
STORM DRAIN	WHITE
ELECTRICAL	RED
GAS	YELLOW
TELECO/CATV	ORANGE
FUTURE SITE LIGHTING	PINK
FIBER OPTIC (GAS STATION)	PURPLE

TYPICAL UTILITY MARKER



GATE VALVE DETAIL

NTS

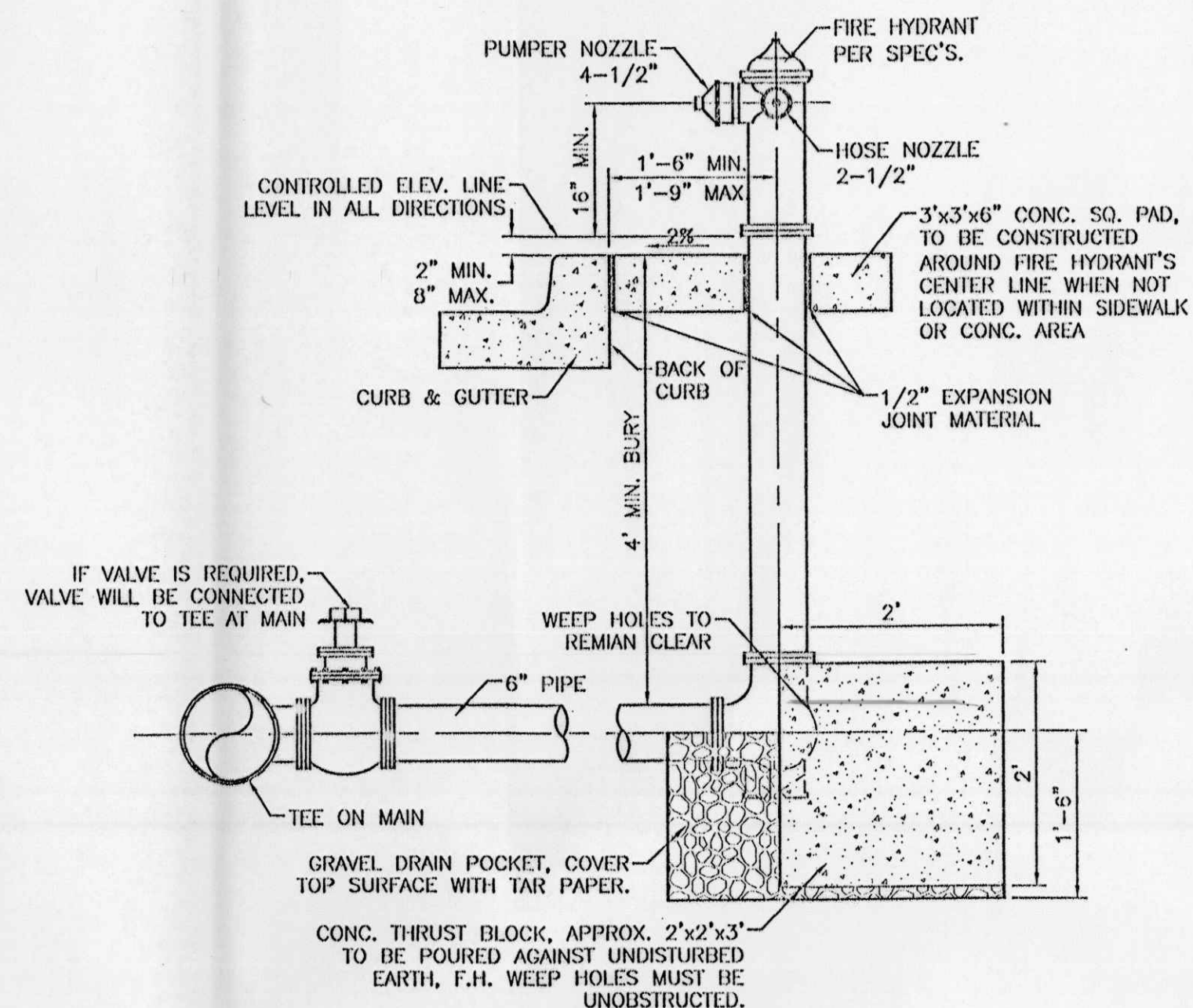
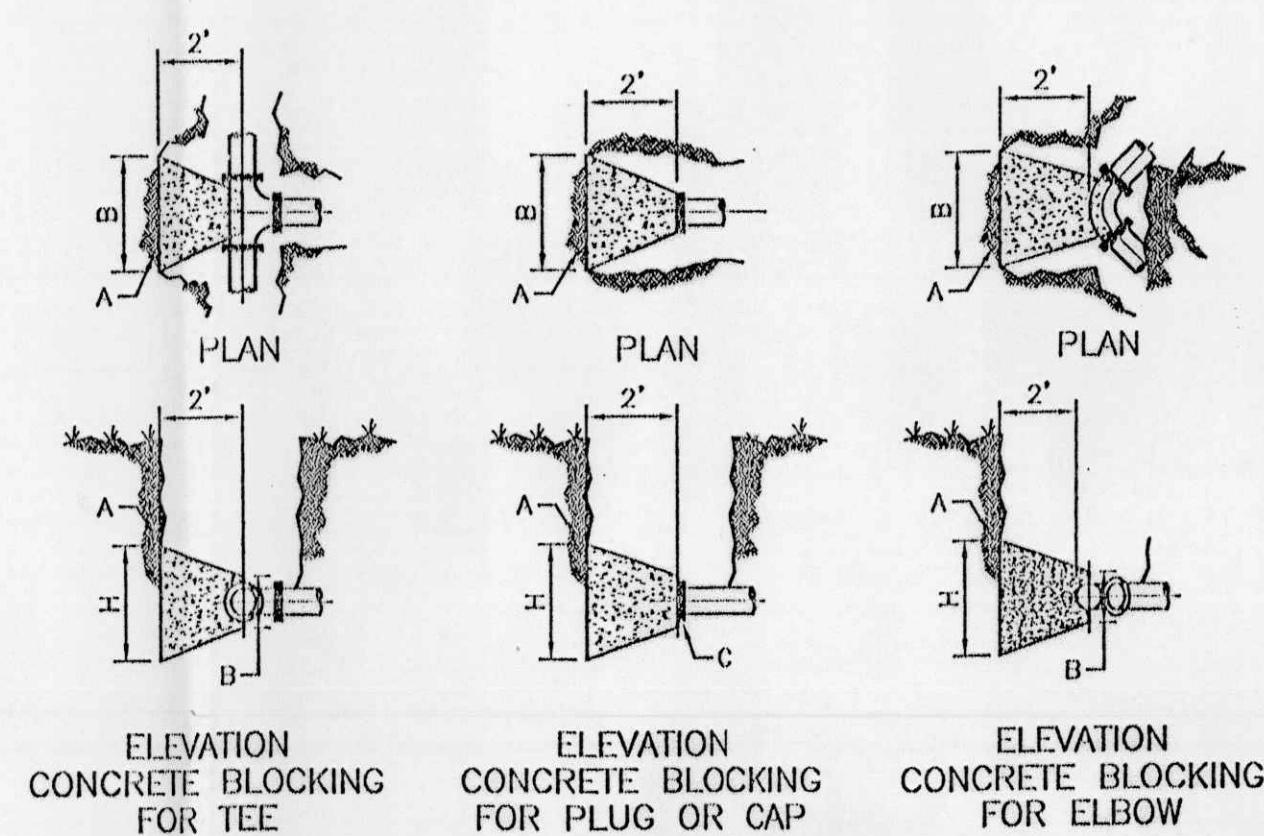
- CONSTRUCTION NOTES:**
- A. CAST VALVE BOX.
 - B. VALVE BOX LID (LOCKING LID OPTIONAL).
 - C. 6" PVC C-900 PIPE (LENGTH VARIES)
 - D. NEW OR EXISTING VALVE
 - E. COMPACTED BACKFILL SOIL OR BASE COURSE MATERIAL (95% CONFACTION).
 - F. CONCRETE COLLAR (2'x2'x6") TO BE TAPPED IN UNPAVED ROADWAYS.

NO.	DATE	REVISIONS	BY
REVISIONS			
ENGINEER'S SEAL		ALBUQUERQUE WAL-MART EXPANSION, NM: 831-02	
DRAWN BY		DATE	
DETAILS.DWG		09-26-2001	
SHEET #		8	
TERRA WEST, LLC		JOB #	
8509 JEFFERSON NE		990031	
ALBUQUERQUE, NEW MEXICO 87113			
(505)858-3100			
RONALD R. BOHANNAN			
P.E. #7868			

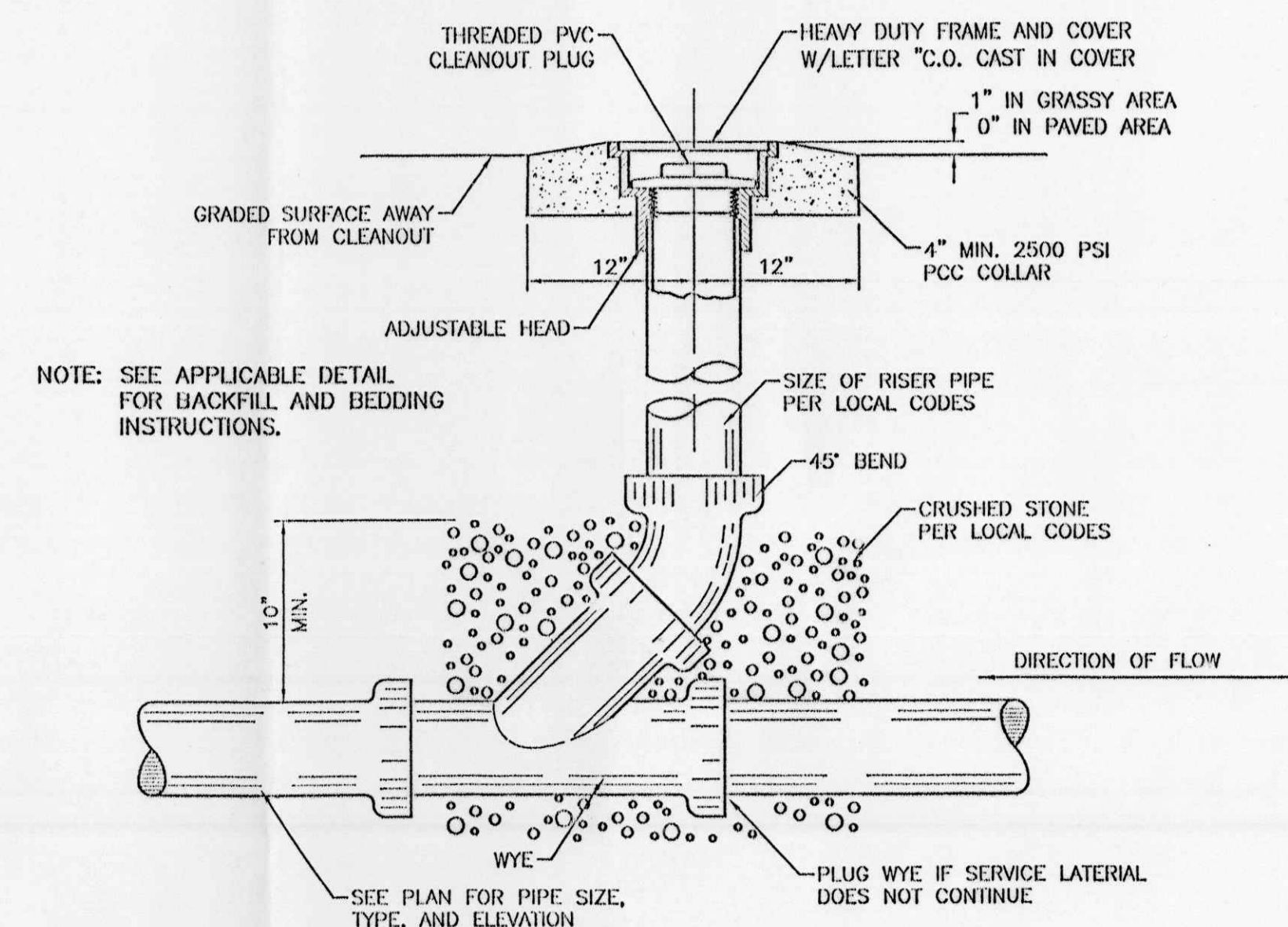
PIPE SIZE	ELBOW ANGLE	ELBOW (B) DIM.	ELBOW (H) DIM.	TEE OR PLUG (B) DIM.	TEE OR PLUG (H) DIM.
4"	90°, 45°	2'	2'	2'	2'
4"	22.5°, 11.25°	2'	2'	2'	2'
6"	90°, 45°	2'	2'	2'	2'
6"	22.5°, 11.25°	2'	2'	2'	2'
8"	90°	3'	3'	3'	3'
8"	45°	2'	2'	2'	2'
8"	22.5°, 11.25°	2'	2'	2'	2'
10"	90°	3'-6"	3'-6"	3'	3'
10"	45°	3'	3'	3'	3'
10"	22.5°, 11.25°	2'	2'	2'	2'
12"	90°	4'	4'	3'-6"	3'-6"
12"	45°	3'-6"	3'-6"	3'-6"	3'-6"
12"	22.5°, 11.25°	2'	2'	2'	2'
14"	90°	5'	5'	4'	4'
14"	45°	3'-6"	3'-6"	3'-6"	3'-6"
14"	22.5°, 11.25°	3'	3'	3'	3'

CONSTRUCTION NOTE:
 A. UNDISTURBED EARTH
 B. O.D. OF PIPE + 6"
 C. O.D. OF CAP OR PLUG, MIN. 12"x12"

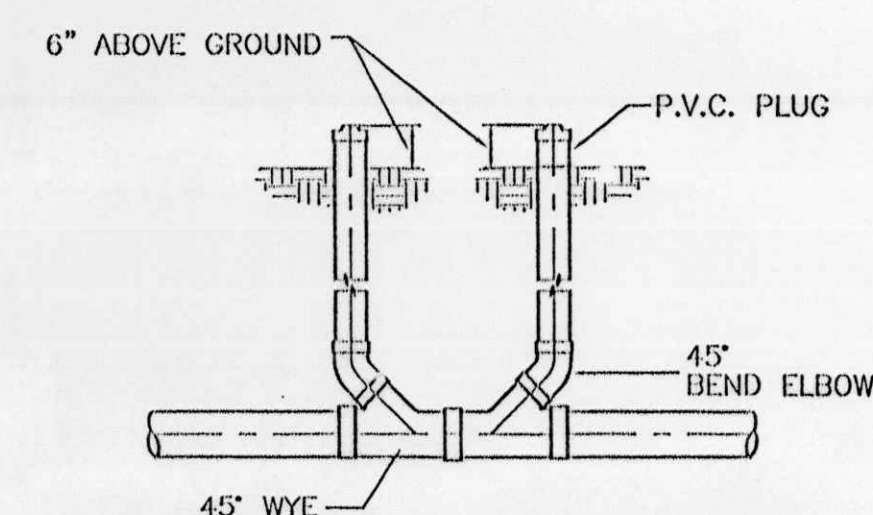
CONCRETE BLOCKING DESIGN
 NTS PER COA STD DWG #2320



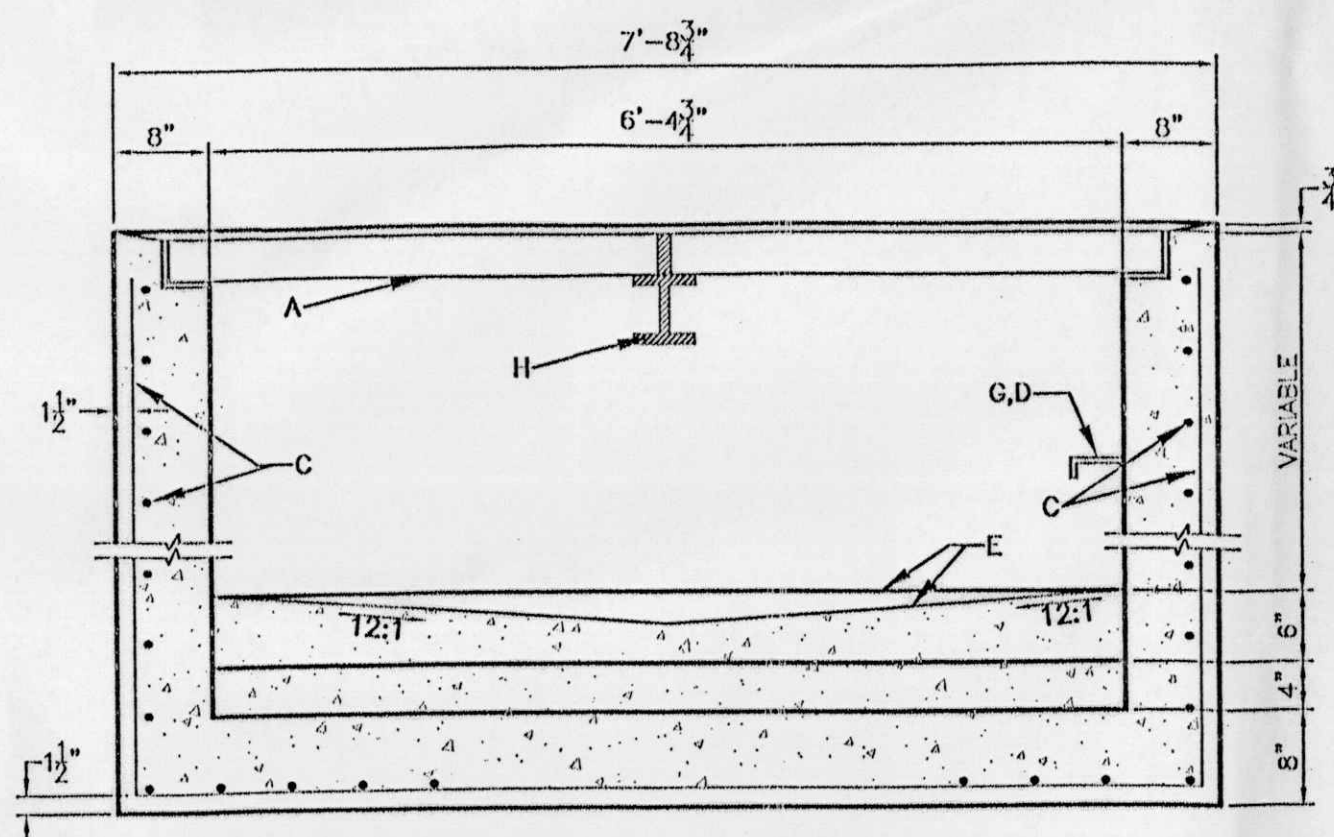
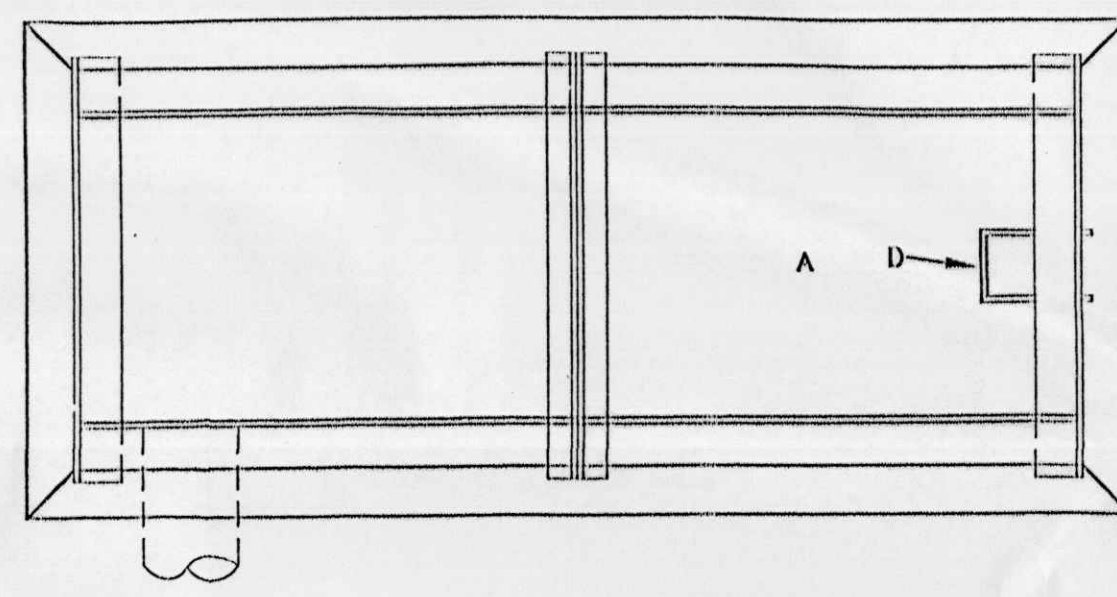
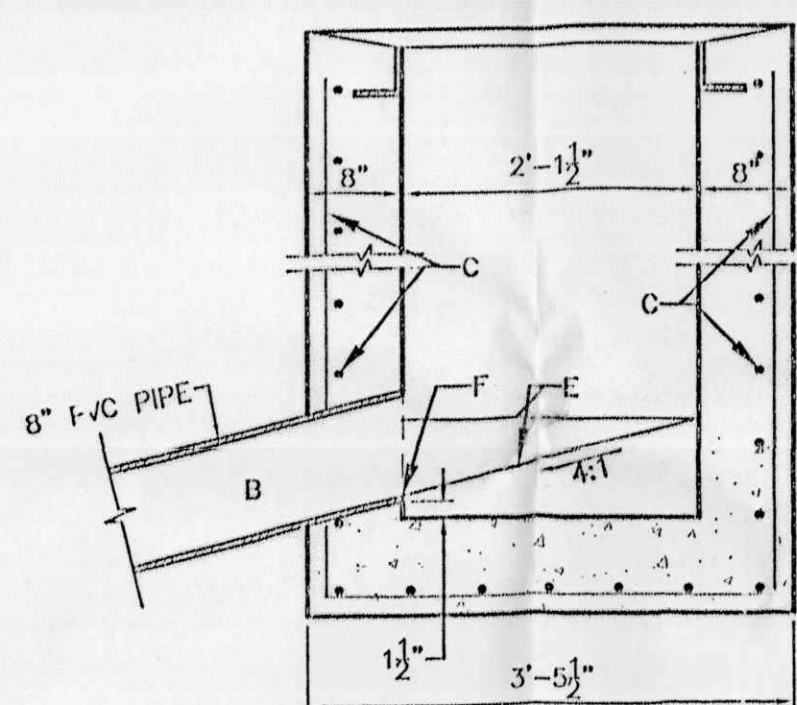
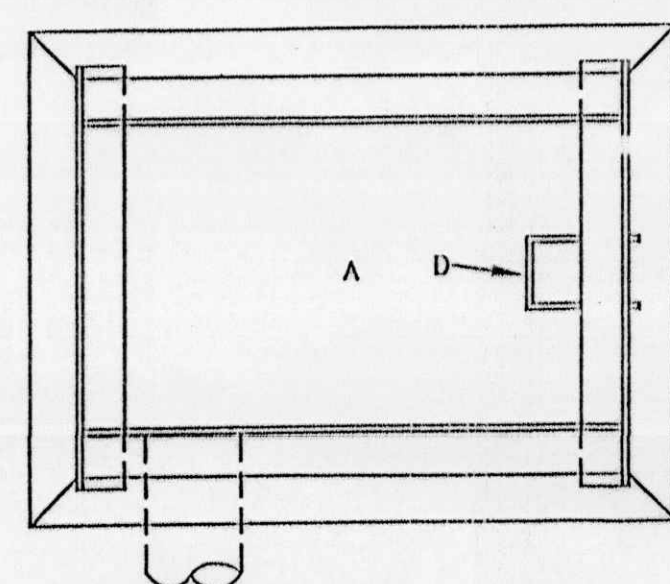
FIRE HYDRANT SETTING WITH BLOCKING DETAIL
 SCALE: 3/4"=1' PER COA STD DWG #2340



SANITARY SEWER CLEAN-OUT
 NTS



DOUBLE CLEAN-OUT
 NTS



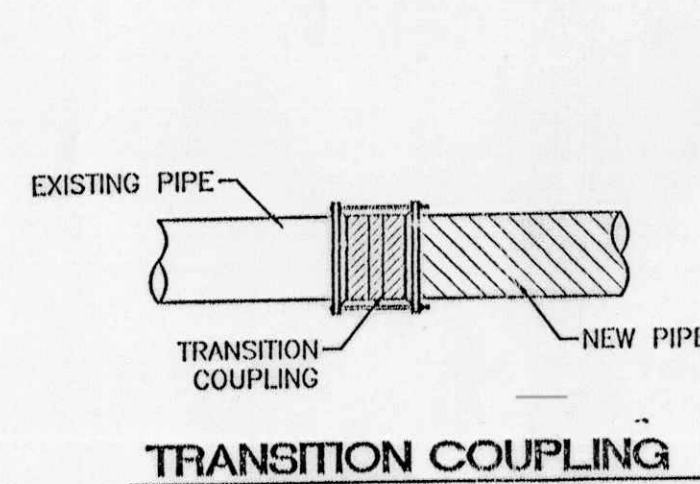
GENERAL NOTES:

1. STORM INLET CUTTER TRANSITION WILL BE SHOWN ON THE CONSTRUCTION PLANS.
2. OUTLET PIPE, PER DESIGN REQUIREMENT.
3. FOR FRAME & GRATING, SEE DWG. 2216, 2220 & 2221

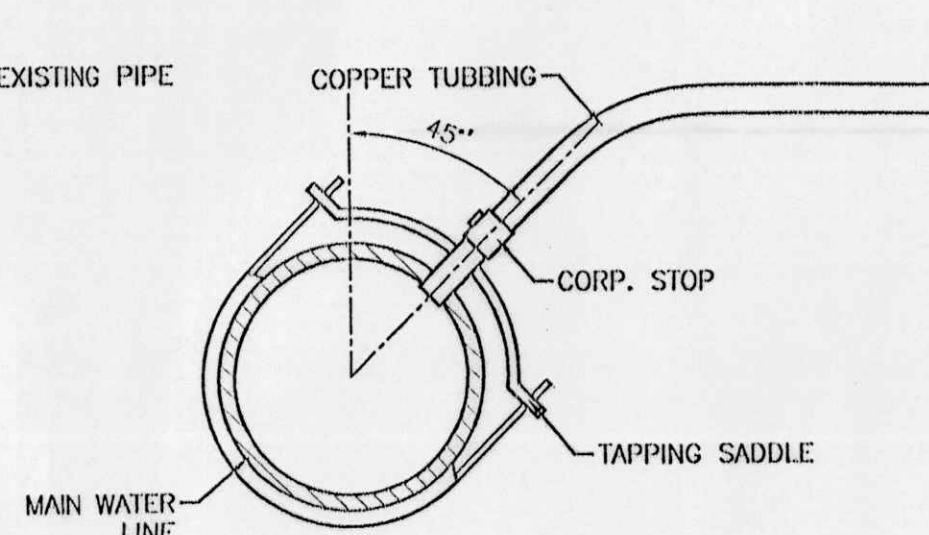
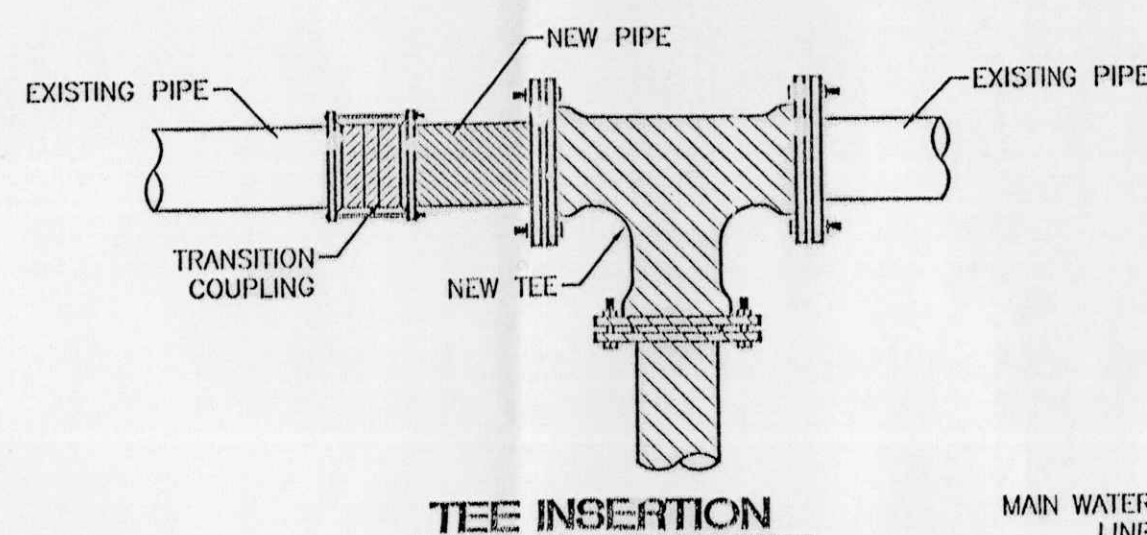
CONSTRUCTION NOTES:

- A. FRAME & GRATE
- B. CUT ONE HORIZONTAL AND ONE VERTICAL BAR MAX. AT PIPE OPENING.
- C. NO. 4 BARS @ 6" O.C. EACH WAY
- D. USE STANDARD STEPS, SEE DWG 2229.
- E. CONC. FILL, SEE NOTE C DWG 2201
- F. INVERT PER DESIGN
- G. INSTALL STEPS ON DOWNSTREAM FACE
- H. CENTER SUPPORT ASSEMBLY

SINGLE "D" INLET
 NTS PER COA STD DWG #2320



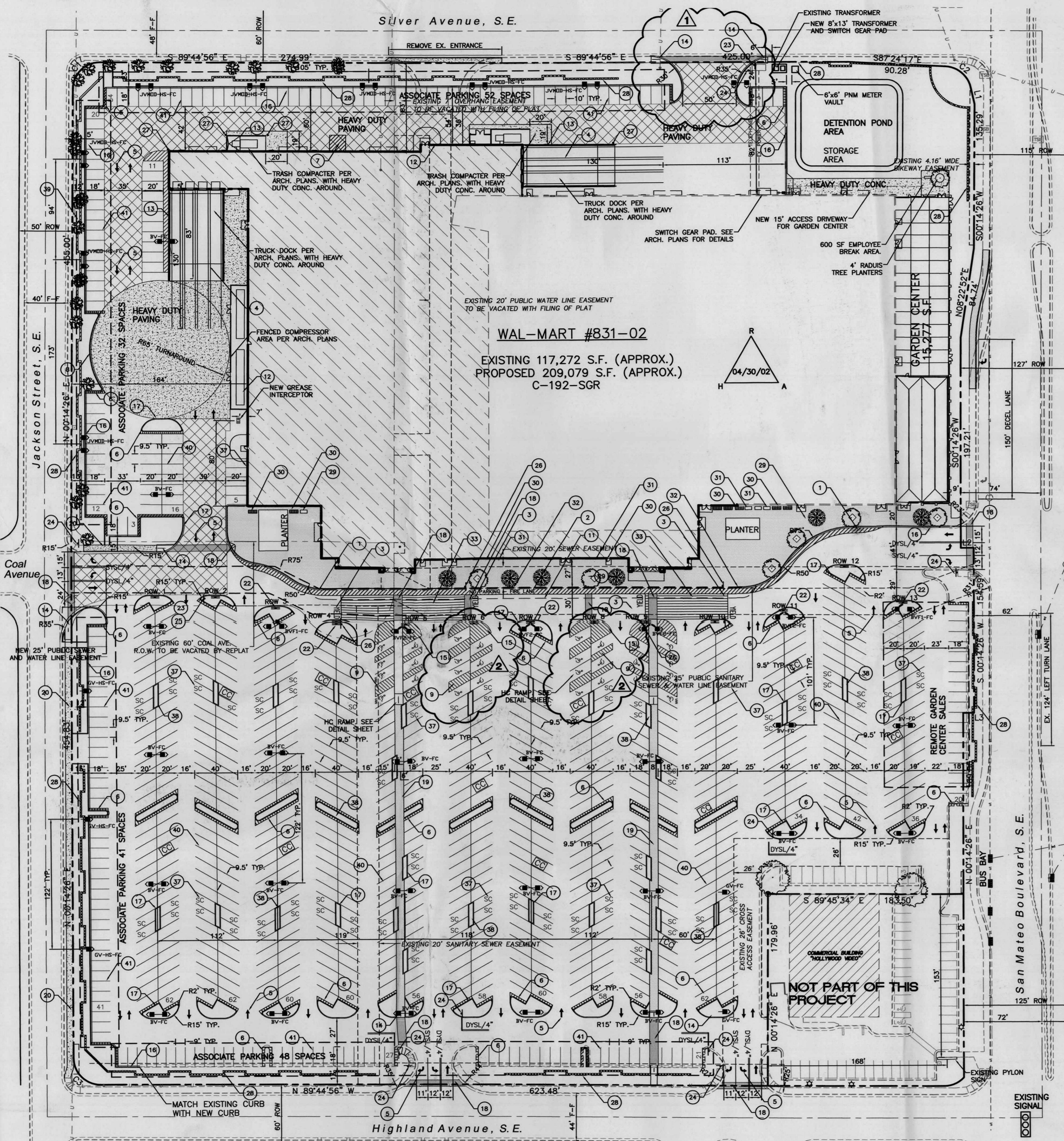
WATER CONNECTION DETAILS
 NTS



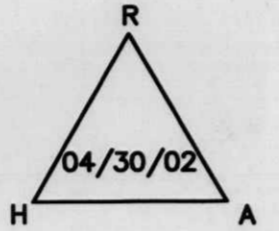
SERVICE TAP CONNECTION

NO.	DATE	REMARKS	BY
REVISIONS			
ENGINEER'S SEAL		ALBUQUERQUE WAL-MART EXPANSION, NM: 831-02	DRAWN BY BDG
		DETAILS	DATE 09-26-2001
			DETAILS.DWG
			SHEET #
			9
RONALD R. BOHANNAN P.E. #7868		TERRA WEST, L.L.C. 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)958-3100	JOB # 990031

Silver Avenue, S.E.



WAL-MART #831-02
EXISTING 117,272 S.F. (APPROX.)
PROPOSED 209,079 S.F. (APPROX.)
C-192-SGR



- DIMENSIONS SHOWN ARE TO FACE OF CURB UNLESS NOTED OTHERWISE.
- EXISTING SPEED BUMPS TO REMAIN AND TO BE REPAINTED TRAFFIC YELLOW.
- EIGHT EXISTING CART CORRALS TO REMAIN AND TO BE REPAINTED TRAFFIC YELLOW. CONTRACTOR TO INSTALL FIVE NEW CART CORRALS PER PLANS.
- ALL EXISTING LIGHT FIXTURES ARE TO BE REMOVED AND REPLACED WITH NEW 1000 WATT FIXTURE PER WAL-MART SPECIFICATIONS, UNLESS OTHERWISE NOTED.
- NEW AND REPLACEMENT LIGHTING SHALL BE FULL CUT OFF FIXTURES (i.e. SHOE BOX) TO MINIMIZE FUGITIVE LIGHT.
- AVERAGE LIGHT LEVELS SHALL BE LIMITED TO 2 FOOT CANDLES WITH MAXIMUM LEVELS LIMITED TO 16 FOOT CANDLES AS MEASURED FROM 4 FEET ABOVE THE SURFACE LEVEL OF ANY POINT ON THE SITE. LUMINARIES SHALL HAVE GLARE CUT OFF ANGLES OF MAXIMUM.
- LIGHT POLES SHALL BE A MAXIMUM OF 30' FEET WITH FULL CUT OFF LIGHT FIXTURES. LIGHT FIXTURES SHALL BE A MAXIMUM OF 30" WITH FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS.
- THERE SHALL BE NO BACKLIT, PLASTIC, OR VINYL AWNINGS OR ILLUMINATED PLASTIC BANDING ON SIGNAGE.
- INDOOR OR SECURED (FENCED AND GATED) BICYCLE STORAGE SHALL BE PROVIDED FOR EMPLOYEES OF THE BUSINESS.
- BUILDING SETBACKS ARE PER APPROVED SITE PLAN WITH THE CITY OF ALBUQUERQUE
- EXISTING BUS ROUTE IS ON SAN MATEO BOULEVARD AND NOT ON SITE.
- ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM NEARBY PROPERTIES. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
- COAL AVENUE IS TO BE VACATED UPON APPROVAL BY THE CITY OF ALBUQUERQUE AND RELATED INTO ONE LOT.
- EMPLOYEE LOCKERS AND SHOWERS FOR BICYCLE COMMUTERS SHALL BE PROVIDED AS FOLLOWS:
A. 37 CUSTOMER BICYCLE SPACES
B. 14 SECURE EMPLOYEE BICYCLE LOCKER SPACES
C. 14 EMPLOYEE LOCKERS
D. ONE SHOWER
- USE OF PARKING SPACES FOR LONG TERM PARKING IS PROHIBITED. THE SIDEWALKS OR PEDESTRIAN PLAZA IN FRONT OF THE BUILDING SHALL BE LIMITED TO 50% DISPLAY MERCHANDISE AND 50% CLEAR PATH FOR PEDESTRIANS.
- SETBACK ARE ESTABLISHED AT EPC APPROVAL.
- REFER TO ARCH. PLANS FOR SITE LIGHTING ELECTRICAL PLAN.

SITE DATA

PROPOSED USAGE:	EXISTING WAL-MART	PROPOSED EXPANSION
LOT AREA:	598,125 SF (13.7311 ACRES)	766,948 SF (17.6067 ACRE)
BUILDING AREA:	117,272 SF	117,272 SF
EXPANSION:	-	92,232 SF
TOTAL:	-	209,504 SF w/GARDEN CENTER
LANDSCAPING:	-	82,347 SF
PROVIDED:	-	83,491 SF
REQUIRED:	69,731 SF	955 SPACES
PARKING PROVIDED:	818 SPACES	1048 SPACES
PARKING REQUIRED:	666 SPACES	943 SPACES
LESS 10% BUS CREDIT	-	4,55
PARKING RATIO:	6.98	4.91
PARKING RATIO: WITHOUT GARDEN CENTER	-	-
HC PARKING PROVIDED:	18 SPACES	20 SPACES (8 VAN)
HC PARKING REQUIRED:	12 SPACES	12 SPACES
	6 SPACES VAN ACCESSIBLE	6 SPACES VAN ACCESSIBLE
BIKE SPACES PROVIDED:	-	54 SPACES
BIKE SPACES REQUIRED:	-	51 SPACES

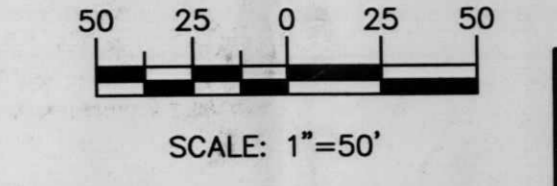
PAINT STRIPING LEGEND

- SWSL/4" - SINGLE WHITE SOLID LINE / 4" WIDE
- SYSL/4" - SINGLE YELLOW SOLID LINE / 4" WIDE EACH
- DYSL/4" - DOUBLE YELLOW SOLID LINE / 4" WIDE EACH
- SYSL/10" - SINGLE YELLOW SOLID LINE / 10" WIDE
- SWDL/4" - SINGLE WHITE DASHED LINE / 4" WIDE
- WSL/24" - SINGLE WHITE SOLID LINE / 24" WIDE

LEGEND

- EXISTING CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- PROPOSED EASEMENT
- PROPOSED SCREEN WALL
- PROPOSED SCREEN WALL
- PROPOSED SIDEWALK
- STANDARD ASPHALT PAVING AREA
- HEAVY ASPHALT PAVING AREA
- HEAVY CONCRETE AREA
- PATTERN CONCRETE AREA
- PROPOSED PARKING LOT LIGHTING
- PROPOSED BOLLARD
- PROPOSED PEDESTRIAN CROSSWALK
- PROPOSED CART CORRALS
- ASSOCIATE PARKING AREA
- BIKE RACK
- BIKE LOCKER

GRAPHIC SCALE



LEGAL DESCRIPTION
Lots One and Two, Wal-Mart Addition AND Lot "A", Block Twenty-One, Valley View Addition, Wal-Mart Stores East, Inc.

SITE LEGEND

- 6" WIDE FIRE LANE WITH 6" WIDE PAINTED TRAFFIC RED STRIPING AT 45° TYPICAL CURB TO BE PAINTED TRAFFIC RED AT THESE LOCATIONS. (SHT 18 OF 24)
- "NO PARKING-FIRE LANE" PAINTED TRAFFIC YELLOW ON PAVEMENT AT 80' O.C. LETTERS TO BE A MINIMUM 2'-0" TALL. (SHT 18 OF 24)
- "YIELD" PAINTED YELLOW ON PAVEMENT TYPICAL. (SHT 17 OF 24)
- PROVIDE (2) 4" WIDE YELLOW STRIPES @ 10' O.C. x 130' LONG CENTER ON DOCK DOORS
- PAINTED DIRECTIONAL ARROW TYPICAL. (SHT 17 OF 24)
- 2'-0" LOADING ZONE AT ALL CURBED PARKING SPACES. 4" PAINTED YELLOW STRIPING AT 2'-0" O.C. PERPENDICULAR TO PARKING SPACE.
- 10' X 15' STRIPED AREA PAINTED SYSL/4" AT 45° @ 2'-0" O.C. AT JB CRANE LOCATION. SEE ARCH. PLANS
- FIRE LANE STRIPING SHALL BE 6" RED STRIPES WITH 4" INCH WHITE LETTERS READING "NO PARKING FIRE LANE" STRIPING SHALL BE PLACED ON FACE OF CURB WHENEVER POSSIBLE, OR AS SPECIFIED BY LOCAL CODES. (SHT 18 OF 24)
- ACCESSIBLE PARKING SPACE TYPICAL. SEE DETAIL SHEET FOR ACCESSIBLE PARKING SPACE SIZE, SIGN AND SYMBOL ("VAN"-INDICATES VAN ACCESSIBLE SPACE). (SHT 17 OF 24)
- RAMPED PAVEMENT AT VESTIBULE TO BE FLUSH WITH TOP OF SIDEWALK AT 5.0% MAX. SLOPE. REFER TO ARCHITECTURAL PLANS.
- EXIT PORCH. SEE ARCHITECTURAL PLAN FOR EXACT SIZE, LOCATION FOR STOOPS, STAIRS AND/OR RAMPS THAT MAY BE REQUIRED. RAMP FLUSH W/ TOP OF STOOP.
- 16'x119' COMPRESSOR CONCRETE COMPACTOR PAD. REFER TO ARCHITECTURAL PLAN FOR EXACT LOCATION AND SLOPE.
- SCREEN WALL PER ARCH. PLANS
- UNIDIRECTIONAL HC RAMP. (SHT 19 OF 24)
- PAINTED ISLAND TYPICAL UNLESS NOTED OTHERWISE. STRIPES SHALL BE PAINTED SYSL/4" AT 2'-0" O.C. PERPENDICULAR TO THE PARKING SPACE.
- 6" CONCRETE CURB AND GUTTER TYPICAL.
- 6" CONCRETE HEADER CURB TYPICAL. (SHT 17 OF 24)
- 6" WIDE SLIGHTLY RAISED CONCRETE PEDESTRIAN CROSSWALK. PAINTED WHITE (SHT 17)
- 8' WIDE RAISED CONCRETE SIDEWALK TYPICAL. (SHT 17 OF 24)
- 6" CONCRETE SIDEWALK TYPICAL.
- aisle indicator signs typical (SHT 17 OF 24)
- "TRUCK ROUTE" SIGN. SEE PLAN FOR LOCATION.
- "STOP" SIGN. SEE PLAN FOR LOCATION.
- "NO TRUCKS" SIGN. SEE PLAN FOR LOCATION.
- PEDESTRIAN CROSSING SIGN W10-2 AND W10-2p TYPICAL AT PEDESTRIAN CROSSWALKS AS NOTED ON PLANS.
- 6" DIA. PIPE BOLLARD TYPICAL. (SHT 19 OF 24)
- 3' HIGH SCREEN WALL. (SHT 17 OF 24)
- 5'x5' TREE PLANTER SEE SHEET 18 FOR DETAILS
- (8) 5 SPACE BIKE RACK TYPICAL. (SHT 19 OF 24)
- BIKE LOCKERS (7 UNITS, 14 TOTAL LOCKERS SPACES). (SHT 17 OF 24)
- ZERO CURB PER ARCH. SECTIONS
- PEDESTRIAN CROSSWALK WITH 4" WIDE PAINTED YELLOW STRIPING PARALLEL TO DIRECTION OF TRAFFIC AT 2'-0" O.C. UNLESS NOTED OTHERWISE. SEE SITE PLAN FOR WIDTH.
- PROPOSED LIGHTING.
- CART CORRALS TYPICAL. (SHT 19 OF 24)
- PROPOSED HC RAMP. (SHT 19 OF 24)
- SMALL CAR MARKER, "COMPACT" PAINTED YELLOW ON PAVEMENT TYPICAL.
- TREE PLANTER TYPICAL. (SHT 18 OF 24)
- RETAINING WALL TYPICAL. (SHT 18 OF 24)
- 4" SOLID YELLOW CUSTOMER PARKING STRIPING.
- 4" SOLID WHITE ASSOCIATE PARKING STRIPING

1001525 ADMINISTRATIVE APPROVAL
DEVELOPMENT PLAN AMENDMENT
FILE NO. AA-0299
01385
Shift near entrance east &
Modify Handicap Parking amount
Cynthia Dominguez 9/19/02
PLANNING DIRECTOR DATE
Note: Per Public Works Requirements
BPM

CURVE TABLE

CURVE	LENGTH	RADIUS	TANGENT	DELTA	CHORD BEARING	CHORD LENGTH
C1	38.27	25.00	25.00	90°00'38"	S45°14'45"W	35.36
C2	32.65	25.00	19.12	74°49'42"	N49°58'26"W	30.38
C3	38.27	25.00	25.00	90°00'01"	S44°44'56"E	35.36

REVISIONS

NO.	DATE	REVISIONS	BY
1	08/14/02	CHANGES PARALLEL HC PARKING TO PERP. PARKING, ADDED 2 SPACES	BDG
1	08/24/02	MOVED ENTRANCE 9.5' TO THE EAST TO AVOID POWER POLE	BDG

ENGINEER'S SEAL

ALBUQUERQUE WAL-MART EXPANSION, NM: 831-02

SITE PLAN FOR BUILDING PERMIT

TERRA WEST, LLC
8509 JEFFERSON NE
ALBUQUERQUE, NEW MEXICO 87113
(505)858-3100

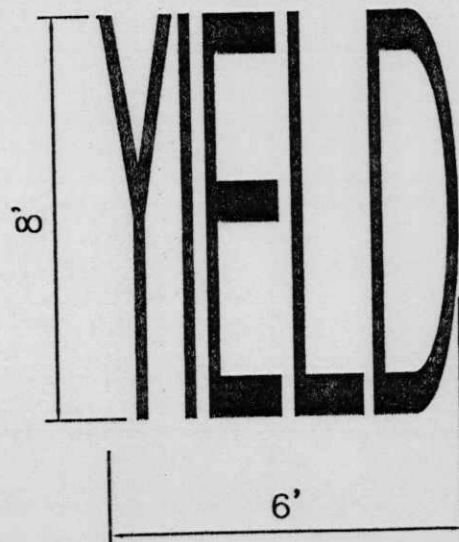
DRAWN BY: BDG
DATE: 05/06/02
2083SP.DWG
SHEET #: 4
JOB #: 200083

RONALD R. BOHANNAN
P.E. #7868

1001525

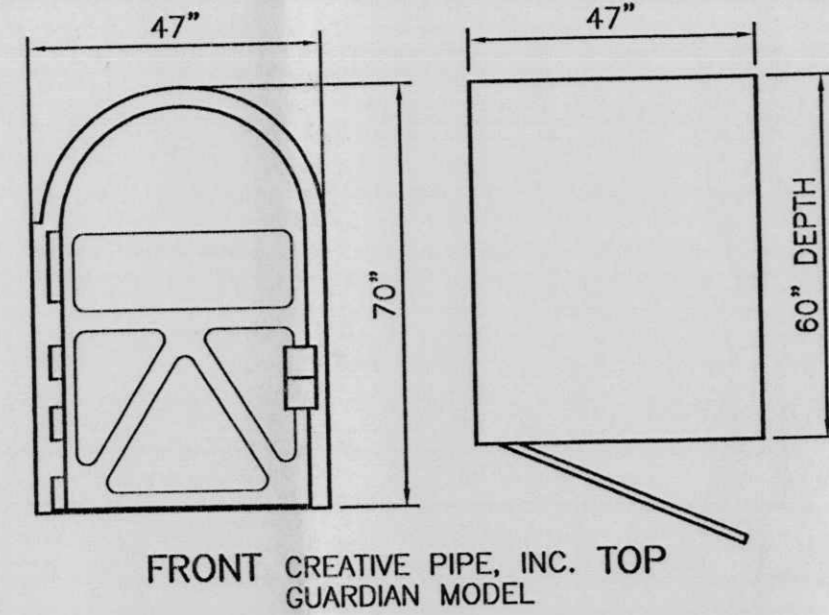
NOTE:

- WORDS AND ARROWS FOR DRIVEWAYS SHALL BE APPLIED ACCORDING TO REQUIREMENTS AS OUTLINED IN SECTION 3B OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREET AND HIGHWAYS.
- THESE WORDS AND ARROWS ARE TO BE PAINTED REFLECTIVE WHITE.



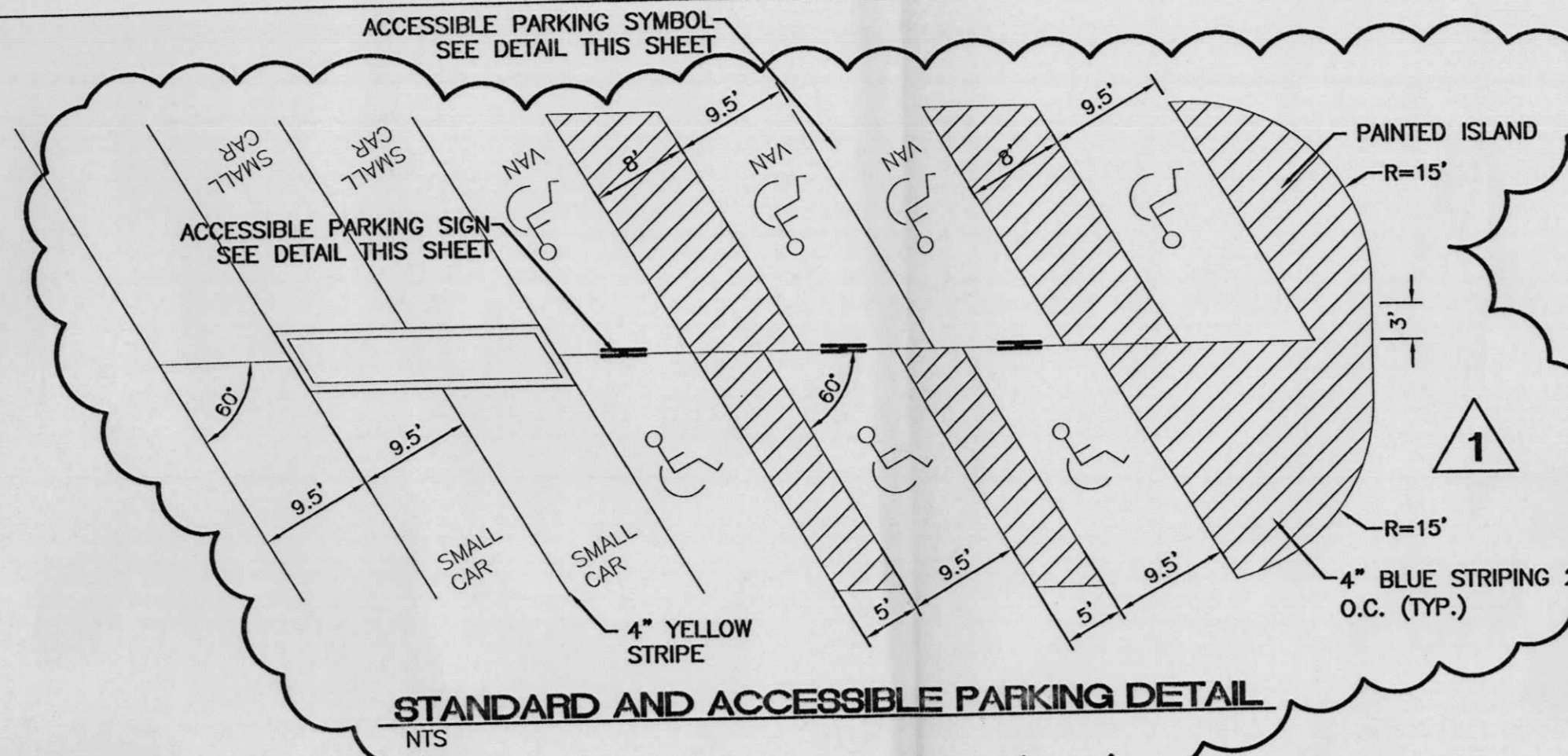
YIELD MARKER

SCALE: NTS



BIKE LOCKER DETAIL

NTS



STANDARD AND ACCESSIBLE PARKING DETAIL

NTS

ACCESSIBLE PARKING SYMBOL

SCALE: NTS

LOCATE AT EDGE OF PARKING SPACE UNLESS ACCOMPANIED BY "VAN" LETTERING

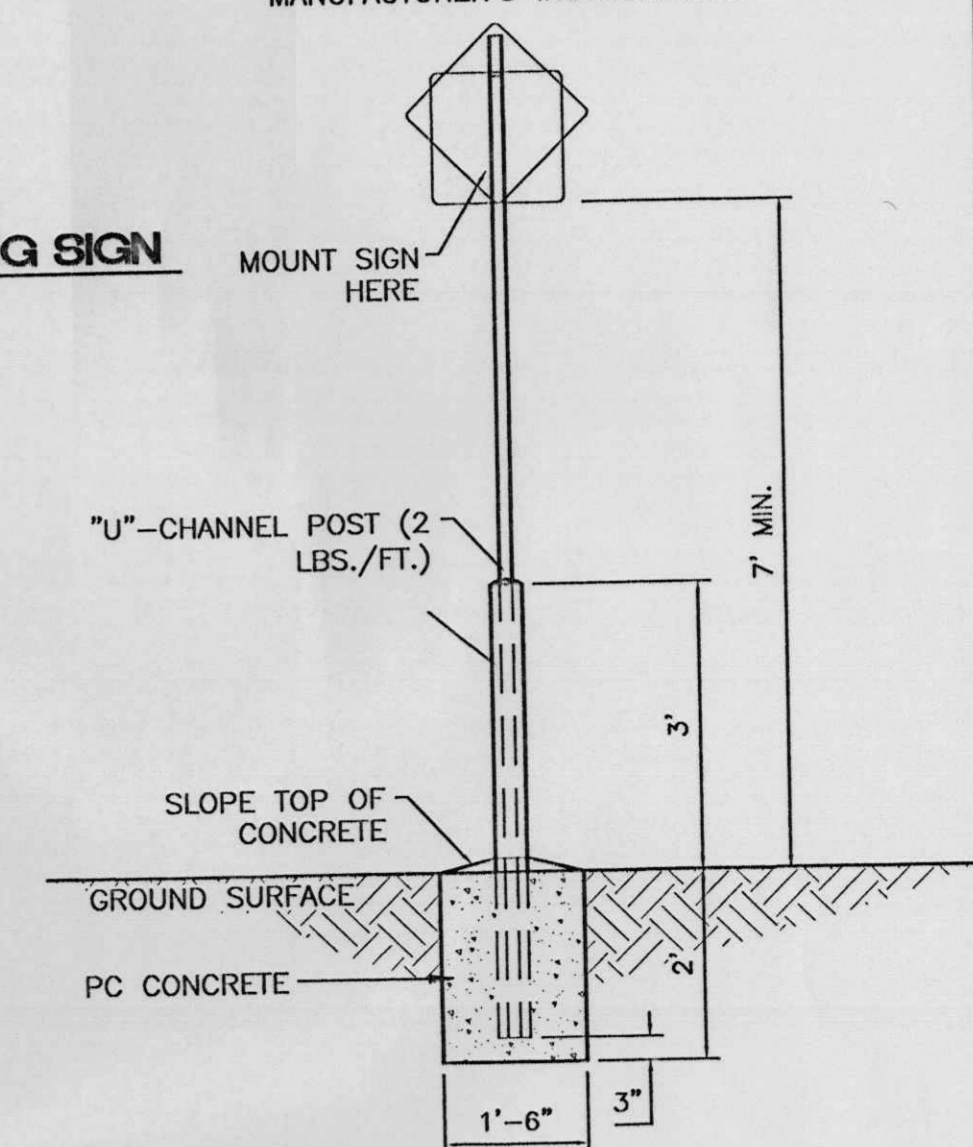


PEDESTRIAN CROSSING SIGN

SCALE: NTS

BLACK LEGEND ON YELLOW BACKGROUND (W11A-2) (W11A-2P)

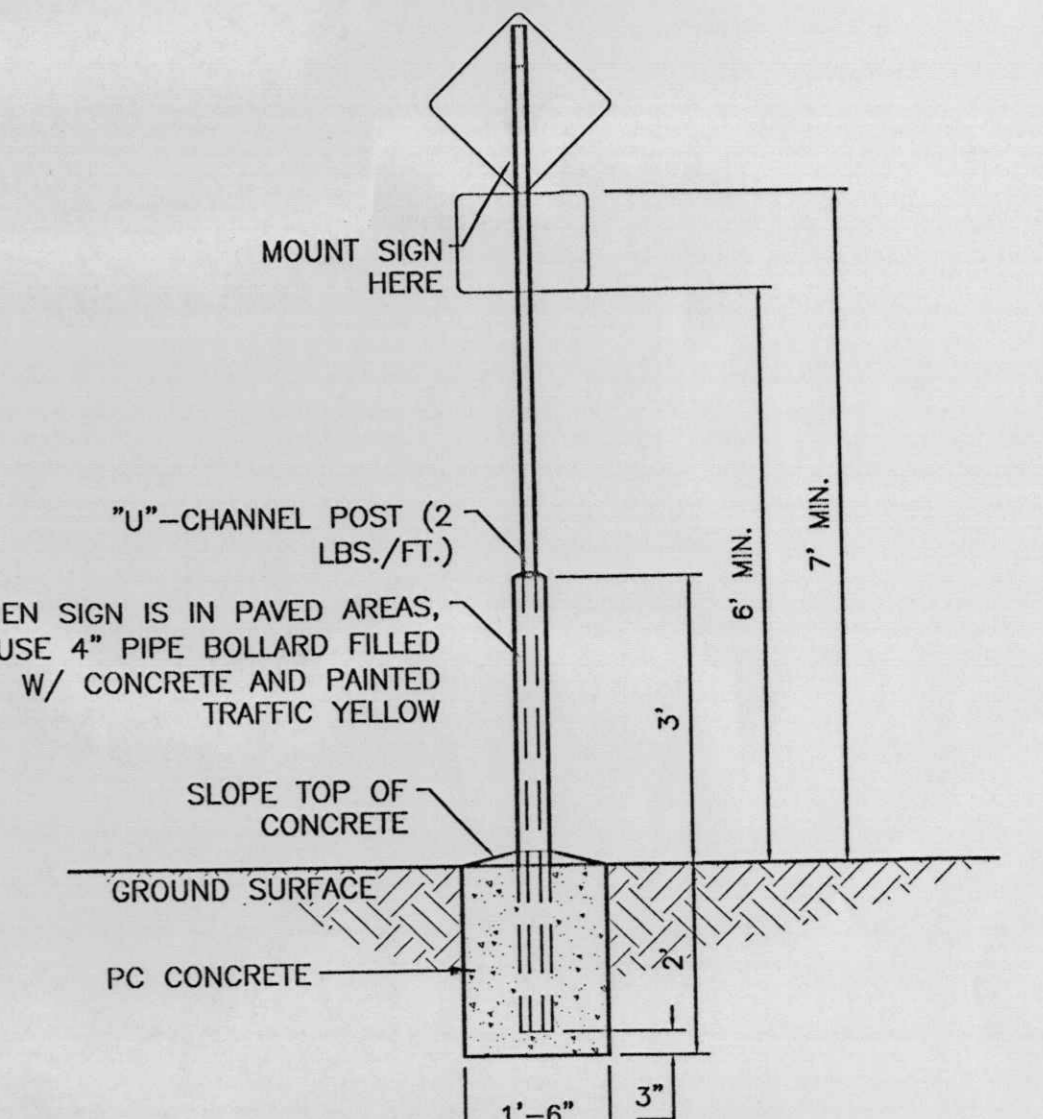
ALL SIGNS SHALL COMPLY WITH U.S. DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION'S "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES", LOCAL CODES AND AS SPECIFIED. MOUNT SIGNS TO POST IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.



STANDARD SIGN BASE

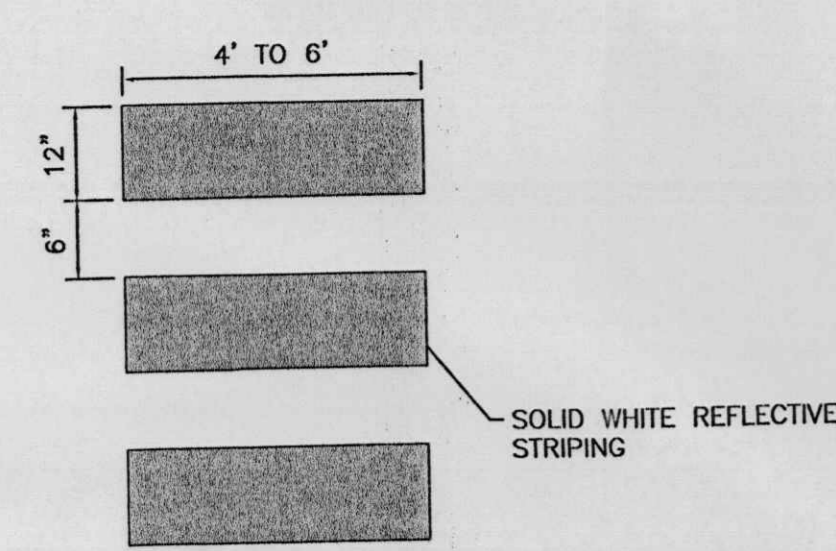
SCALE: 1/2"=1'

ALL SIGNS SHALL COMPLY WITH U.S. DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION'S "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES", LOCAL CODES AND AS SPECIFIED. MOUNT SIGNS TO POST IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.

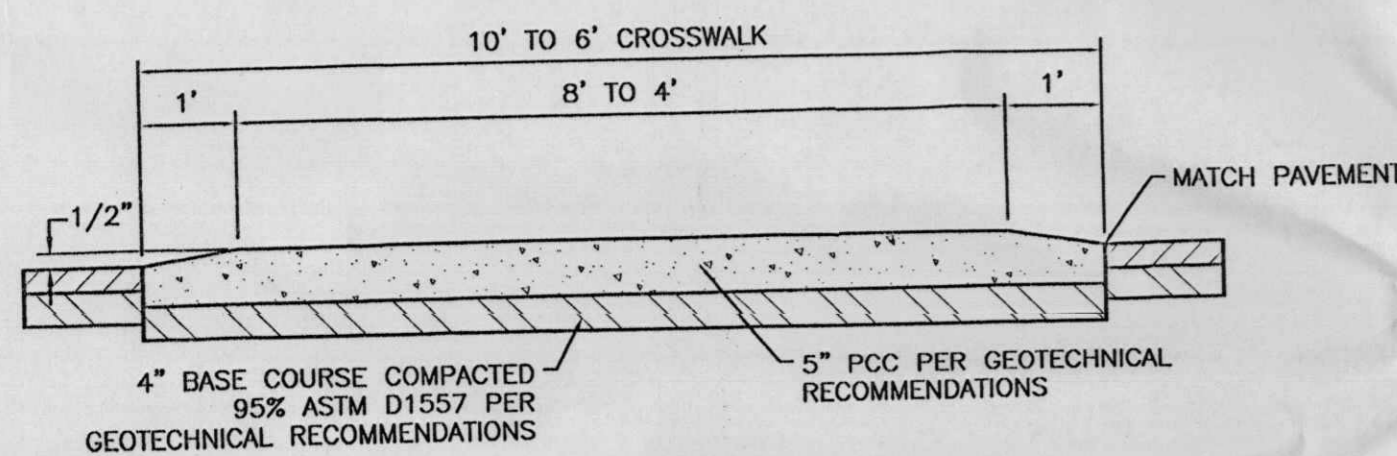


PEDESTRIAN SIGN BASE

SCALE: 1/2"=1'

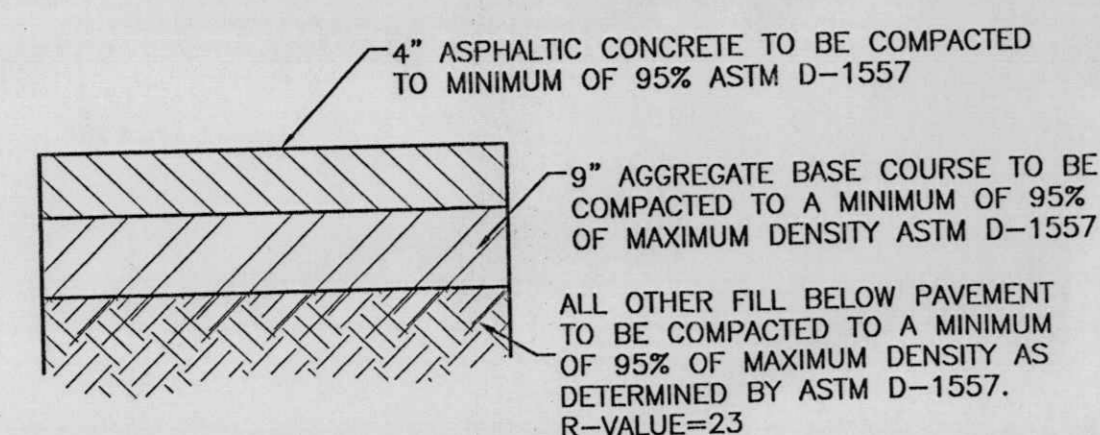


CROSSWALK PLAN VIEW



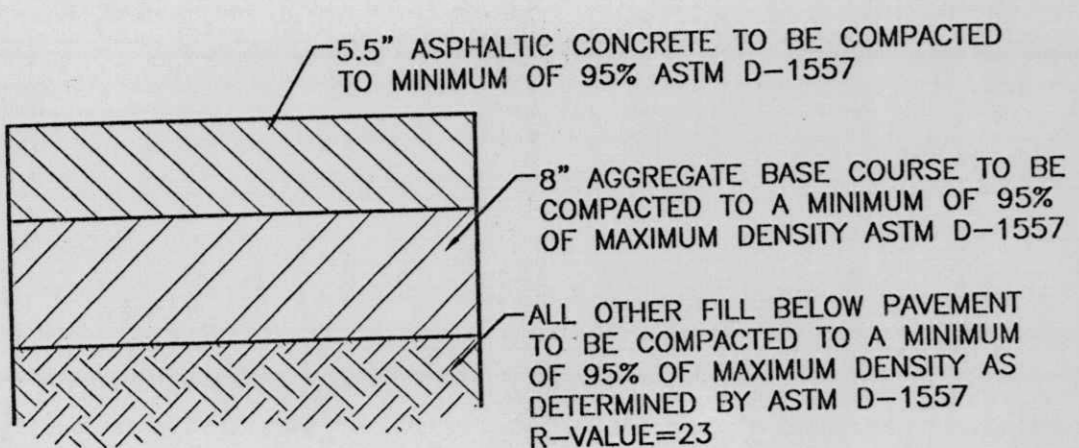
RAISED CROSSWALK

SCALE: 1/2"=1'



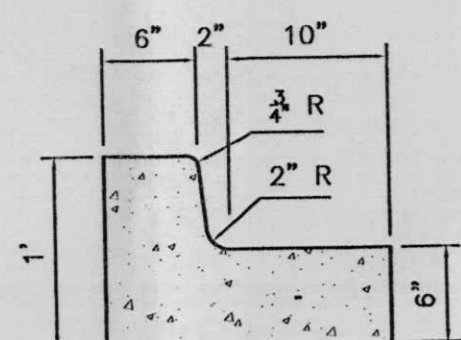
AUTOMOBILE PARKING TYPICAL PAVING SECTION

1" = 1' DESIGNATED BY



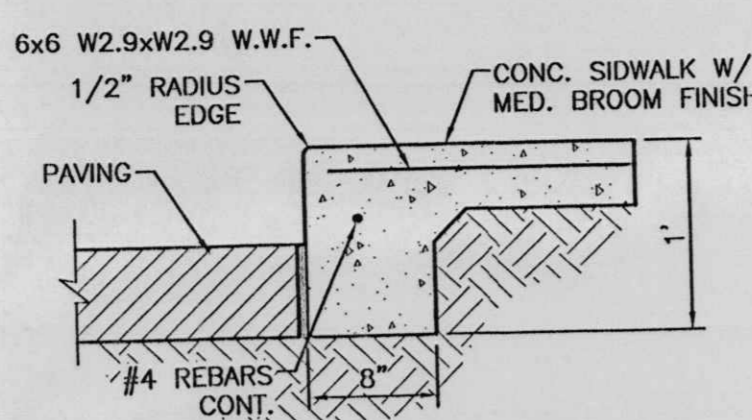
AUTOMOBILE DRIVEWAYS AND AREAS SUBJECT TO SEMI-TRUCKS TYPICAL PAVING SECTION

1" = 1' DESIGNATED BY



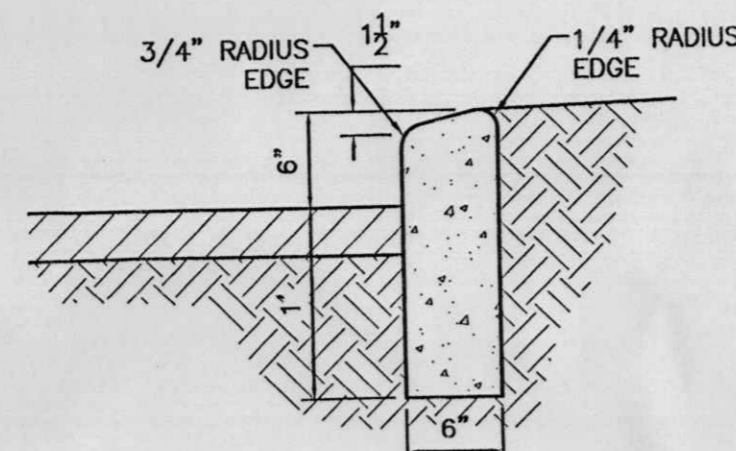
6 IN. CURB AND GUTTER

SCALE: 1"=1'



DETAIL-TURNDOWN CURB

1" = 1'-0"

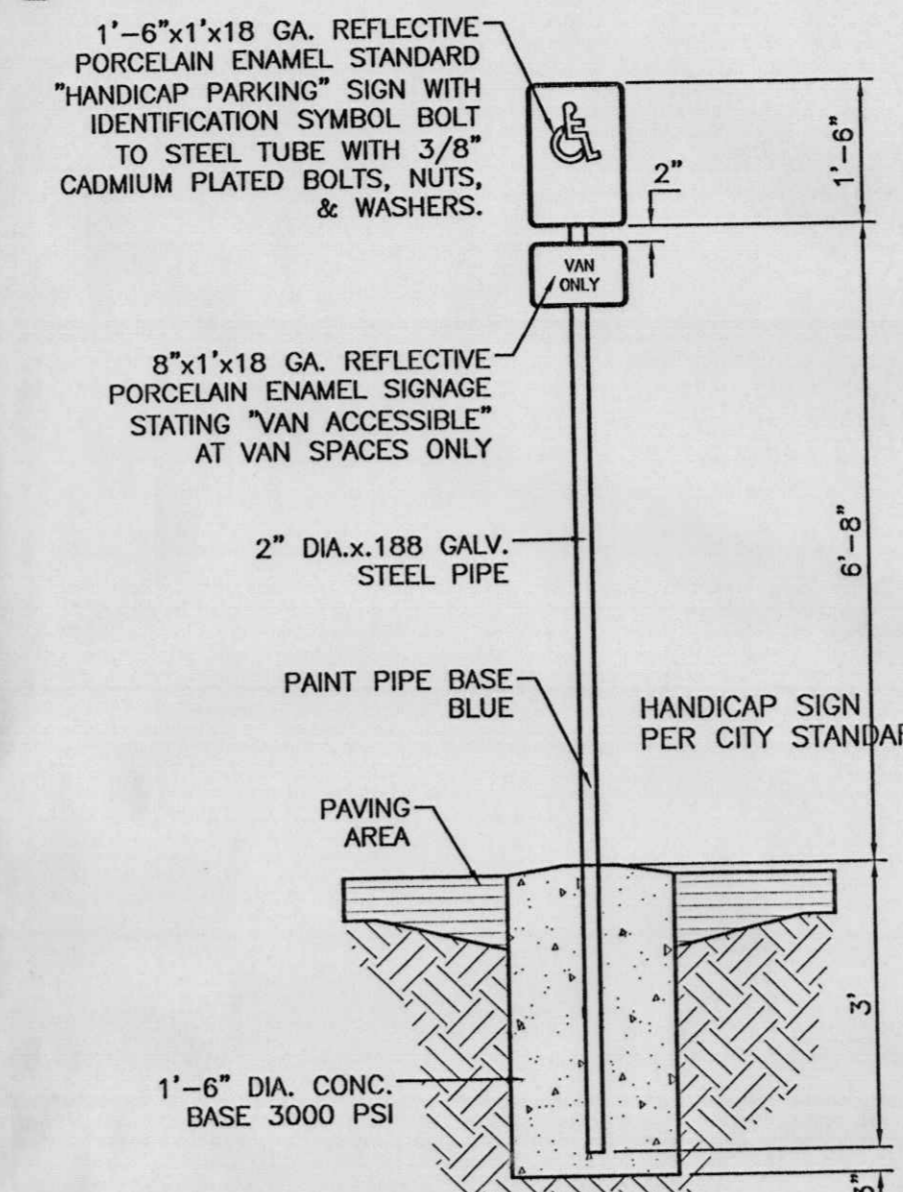


6" HEADER CURB DETAIL

1"=1'

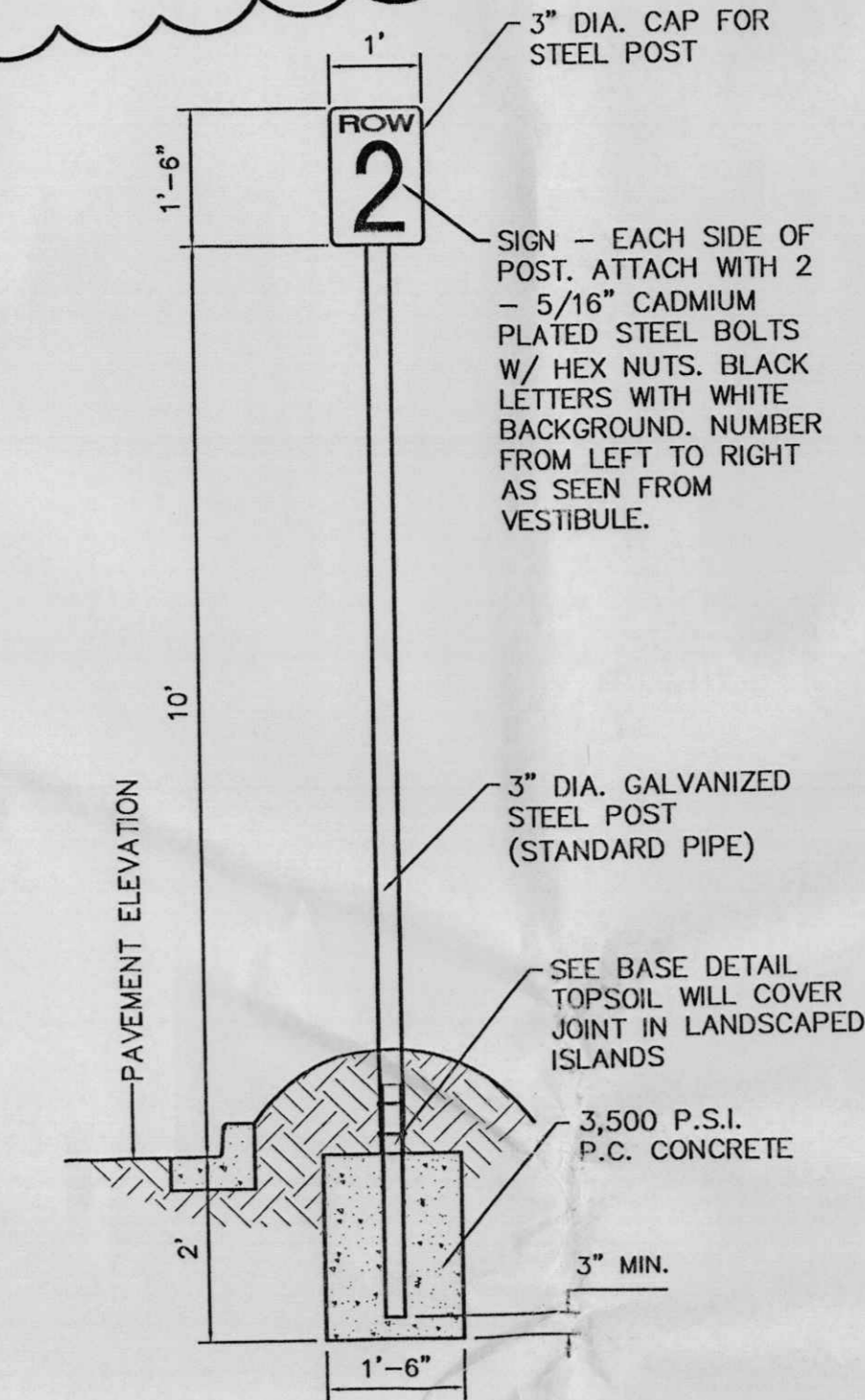
CURB GENERAL NOTES:

- ALL CURBS TO BE CONSTRUCTED OF PORTLAND CEMENT CONCRETE, PER WAL-MART SPECIFICATIONS.
- PROVIDE CONTRACTION JTS. 12' MAX. SPACING, 1/2" EXP. JTS. AT CURB RETURNS AND AT A MAX. SPACING OF 120" BETWEEN CURB RETURNS AND EACH SIDE OF SEPARATELY CONSTRUCTED DRIVEWAYS. CONTRACTION JTS. SHALL BE EITHER SAWED OR TOOLED A MINIMUM OF 1" DEEP AT FINISHED FACES.
- ALL EDGES SHALL BE EDGED WITH A 3/8" RADUIS EDGING TOOL.
- 1/4" ISOLATION JOINT SHALL BE PLACED BETWEEN SIDEWALK AND CURB WHEN CAST ADJACENT TO EACH OTHER.



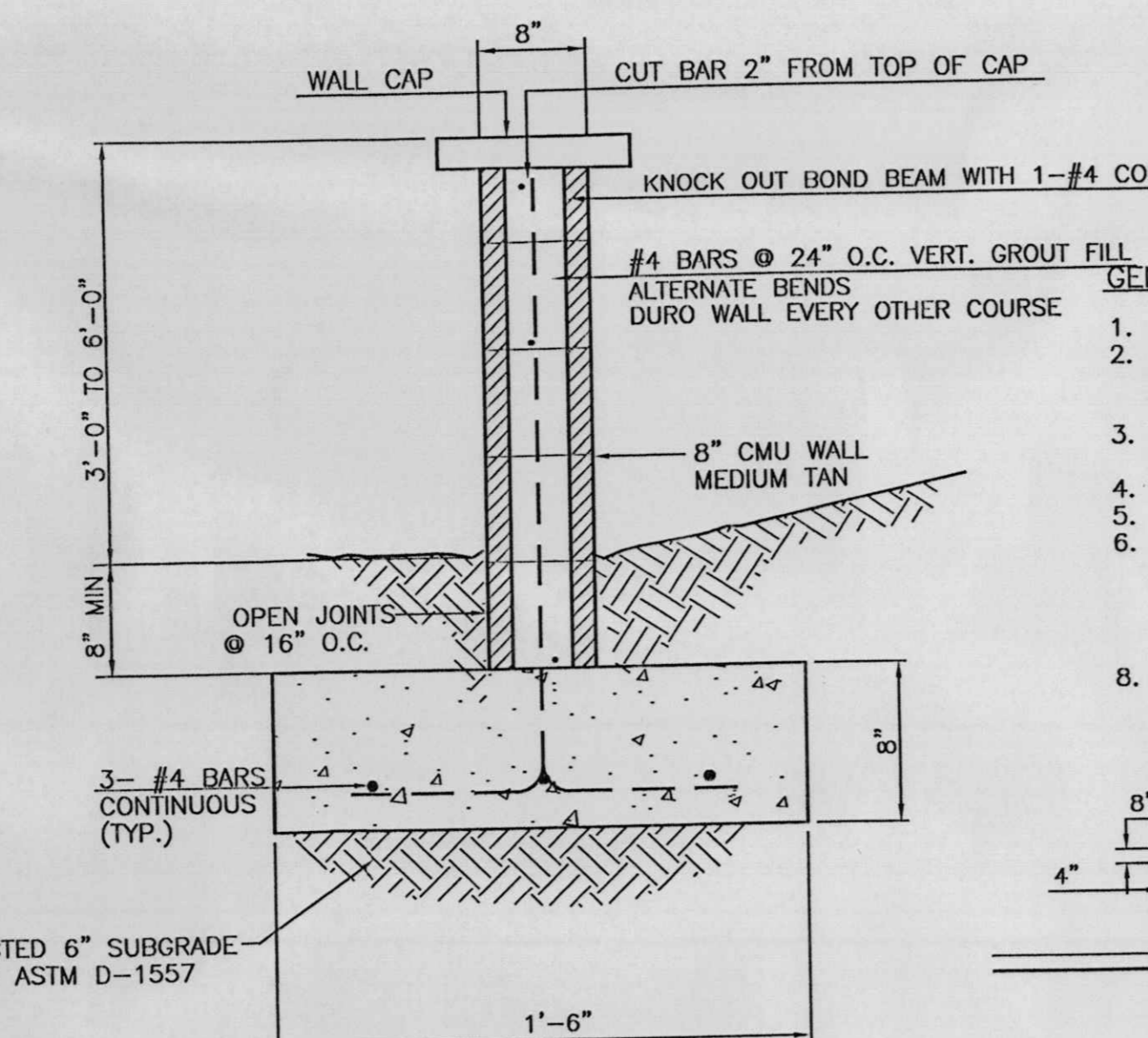
HANDICAP SIGN

SCALE: 1/2"=1'



AISLE SIGN IN LANDSCAPE ISLAND

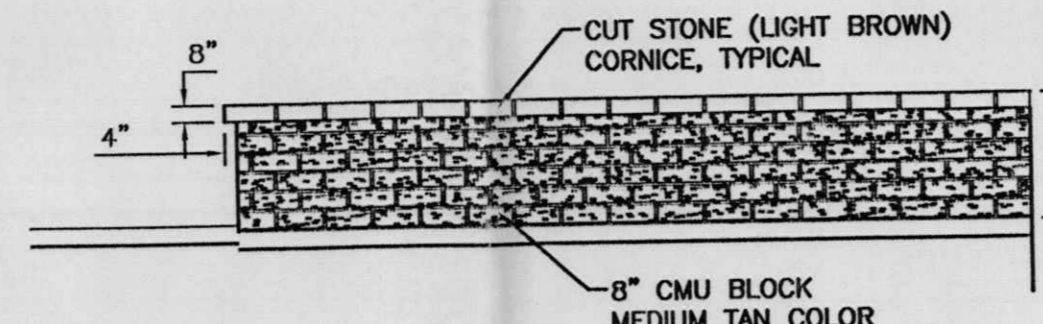
SCALE: 1/2"=1'



3' SCREEN WALL SECTION

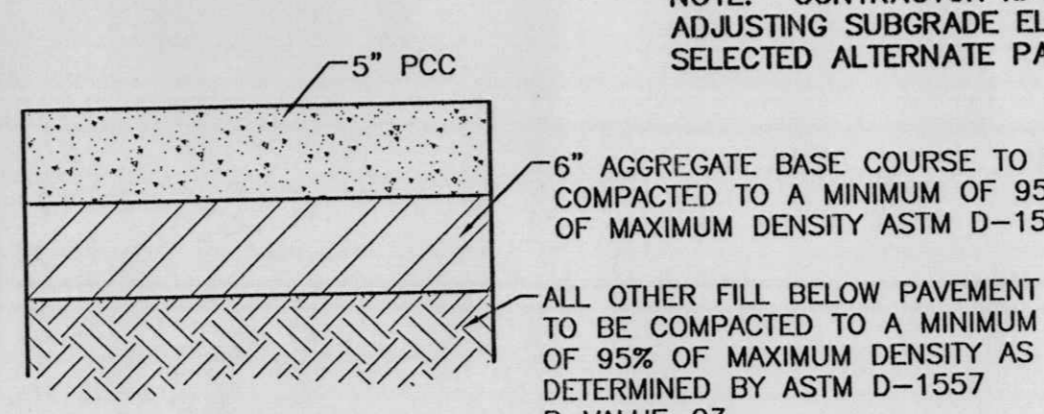
NTS

- GENERAL NOTES:**
- ALL CONCRETE IS TO BE 3000 PSI @ 28 DAYS.
 - MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM. D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
 - BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
 - ALL BARS ARE TO BE GRADE 60, ASTM 615.
 - TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
 - DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO V-BARS, SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
 - USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PLASTERS EVERY 16'.



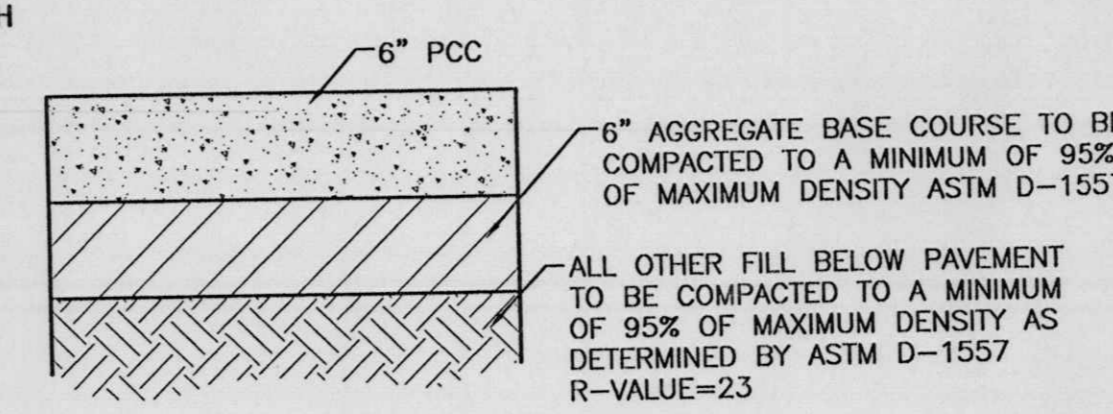
SCREEN WALL DETAIL (TYP.)

NTS



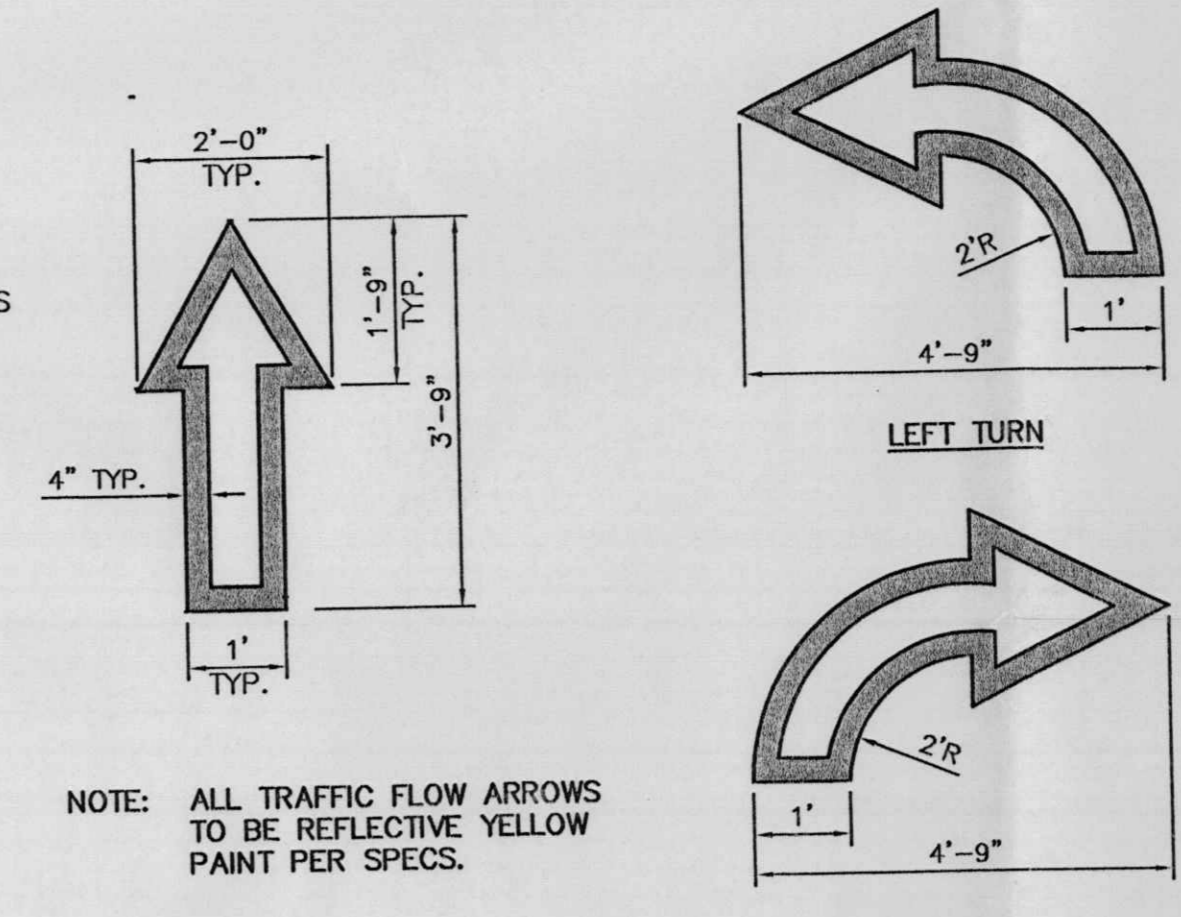
STANDARD CONCRETE SECTION

1" = 1' DESIGNATED BY



HEAVY CONCRETE SECTION

1" = 1' DESIGNATED BY



NOTE: ALL TRAFFIC FLOW ARROWS TO BE REFLECTIVE YELLOW PAINT PER SPECS.

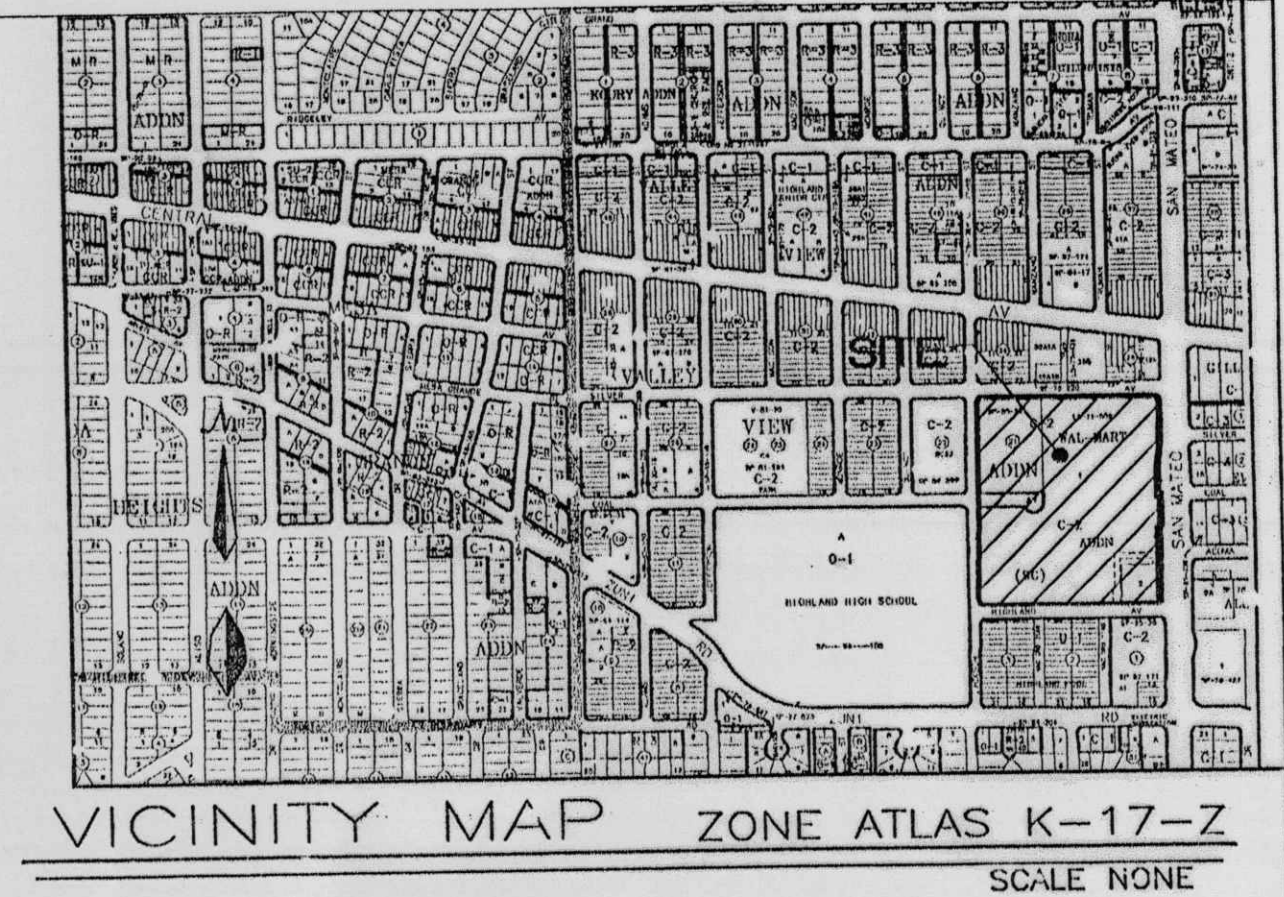
REVISIONS			
NO.	DATE	REMARKS	BY
1	08/14/02	REMOVED PARALLEL PARKING, CHANGED STRIPING TO BLUE PAINT	BDG

ENGINEER'S SEAL	ALBUQUERQUE WAL-MART EXPANSION, NM- 831-02	DRAWN BY BDG
		DATE 04/12/02
		DETAILS.DWG
		SHEET # 18
		JOB # 200083

TIERRA WEST, L.L.C.
8509 JEFFERSON NE
ALBUQUERQUE, NEW MEXICO 87113
(505)858-3100

RONALD R. BOHANNAN
P.E. #7868

PROPOSED
WAL-MART EXPANSION
#831-02
SAN MATEO BOULEVARD
ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO



- SITWORK NOTES:**
1. THE SITWORK FOR THE WAL-MART PORTION OF THIS PROJECT SHALL MEET OR EXCEED THE "WAL-MART STANDARD SITWORK SPECIFICATIONS."
 2. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICES.

PROJECT CONTACT LIST:

WATER COMPANY
 CITY OF ALBUQUERQUE
 P.O. BOX 1293
 ABQ., NM 87103
 (505) 924-3862
 ROGER GREEN

SANITARY SEWER COMPANY
 CITY OF ALBUQUERQUE
 P.O. BOX 1293
 ABQ., NM 87103
 (505) 924-3862
 ROGER GREEN

GAS COMPANY
 PNM - ELECTRIC AND GAS
 4201 EDITH BLVD NE
 ABQ., NM 87107
 (505) 259-8462
 JOE DUNLOP

POWER COMPANY
 PNM - ELECTRIC AND GAS
 4201 EDITH BLVD NE
 ABQ., NM 87107
 (505) 259-8462
 TONY MACHAC

TELEPHONE COMPANY
 QWEST COMMUNICATIONS
 201 THIRD ST NW
 PO BOX 1355 STATION 700
 ABQ., NM 87103-1355
 (505) 245-6846
 JOSEPH MARTINEZ

ARCHITECT
 RAYMOND HARRIS & ASSOCIATES ARCHITECTS
 211 N. RECORD STR. SUITE 222
 DALLAS, TX 75202
 (214) 749-0626
 TOMAS NEGRETE

SURVEYOR
 PRECISION SURVEYS, INC.
 8414-D JEFFERSON ST., N.E.
 ABQ., NM 87113
 (505) 856-5700
 LARRY MEDRANO

GEOTECH
 KLEINFELDER
 4905 HAWKINS N.E.
 ABQ., NM 87109
 (505) 344-7373
 JOHN NORTH

LOCAL ENGINEER'S OFFICE
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 ABQ., NM 87113
 (505) 858-3100
 RON BOHANNAN

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 DESIGN REVIEW COMMITTEE
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 ABQ., NM 87103
 (505) 924-3992
 KEVIN BRODRICK

LOCAL ZONING OFFICE
 CITY OF ALBUQUERQUE
 ZONING DEPARTMENT
 P.O. BOX 1293
 ABQ., NM 87103
 (505) 924-3850
 JACK BAYSE

DEPARTMENT OF ENVIRONMENTAL PROTECTION
 CITY OF ALBUQUERQUE
 ENVIRONMENTAL HEALTH DEPARTMENT
 P.O. BOX 1293
 ABQ., NM 87103
 (505) 768-2600
 RICHARD MITZELFELT

HEALTH DEPARTMENT
 CITY OF ALBUQUERQUE
 ENVIRONMENTAL HEALTH DEPARTMENT
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 ABQ., NM 87103
 (505) 768-2600
 RICHARD MITZELFELT

FIRE DEPARTMENT
 CITY OF ALBUQUERQUE
 FIRE DEPARTMENT
 P.O. BOX 1293
 ABQ., NM 87103
 (505) 924-3612
 JESSE MOLINA

CABLE
 COMCAST
 4611 MONTBEL LOOP N.E.
 ABQ., NM 87107
 (505) 761-6221
 ROBERT MARTINEZ

FIBER OPTICS
 ESPIRE
 505 MARQUETTE N.E., SUITE 1605
 ABQ., NM 87103
 (505) 998-2274
 JOHN MAREZ

GST
 3830 SINGER BOULEVARD N.E., SUITE 1000
 ABQ., NM 87109
 (505) 938-7339
 ROYAL HARRISON

MCI
 3700 SINGER BOULEVARD N.E., SUITE A
 ABQ., NM 87109
 (505) 346-4470
 MICHAEL WOODMAN

GOVERNMENT PERMIT AGENCIES

CITY OF ALBUQUERQUE
 DEVELOPMENT REVIEW BOARD
 FOR SITE PLAN AND BUILDING PERMIT
 JANET STEPHENS
 P.O. BOX 1293
 ABQ., NM 87103
 (505) 924-3860

CITY OF ALBUQUERQUE
 HYDROLOGY DRAINAGE APPROVAL
 LOREN MEINZ
 P.O. BOX 1293
 ABQ., NM 87103
 (505) 924-3999

CITY OF ALBUQUERQUE
 BUILDING DIVISION FOR BUILDING PERMIT
 DAVID STEELE
 P.O. BOX 1293
 ABQ., NM 87103
 (505) 924-3860

CITY OF ALBUQUERQUE
 DESIGN REVIEW COMMITTEE
 KEVIN BRODRICK
 P.O. BOX 1293
 ABQ., NM 87103
 (505) 924-3992

DEVELOPER

WAL-MART EAST, INC.
 702 SW 8th STREET
 BENTONVILLE, AR 72716
 CONTACT: MOHSEN GHADIMKHANI
 PHONE: (501) 273-4940

TIERRA WEST, LLC
 EXPRESSLY RESERVES THE COMMON LAW COPYRIGHT AND
 OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS
 ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN
 ANY MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED
 TO ANY THIRD PARTY WITHOUT OBTAINING THE EXPRESS
 WRITTEN PERMISSION AND CONSENT OF TIERRA WEST
 DEVELOPMENT MANAGEMENT SERVICES.

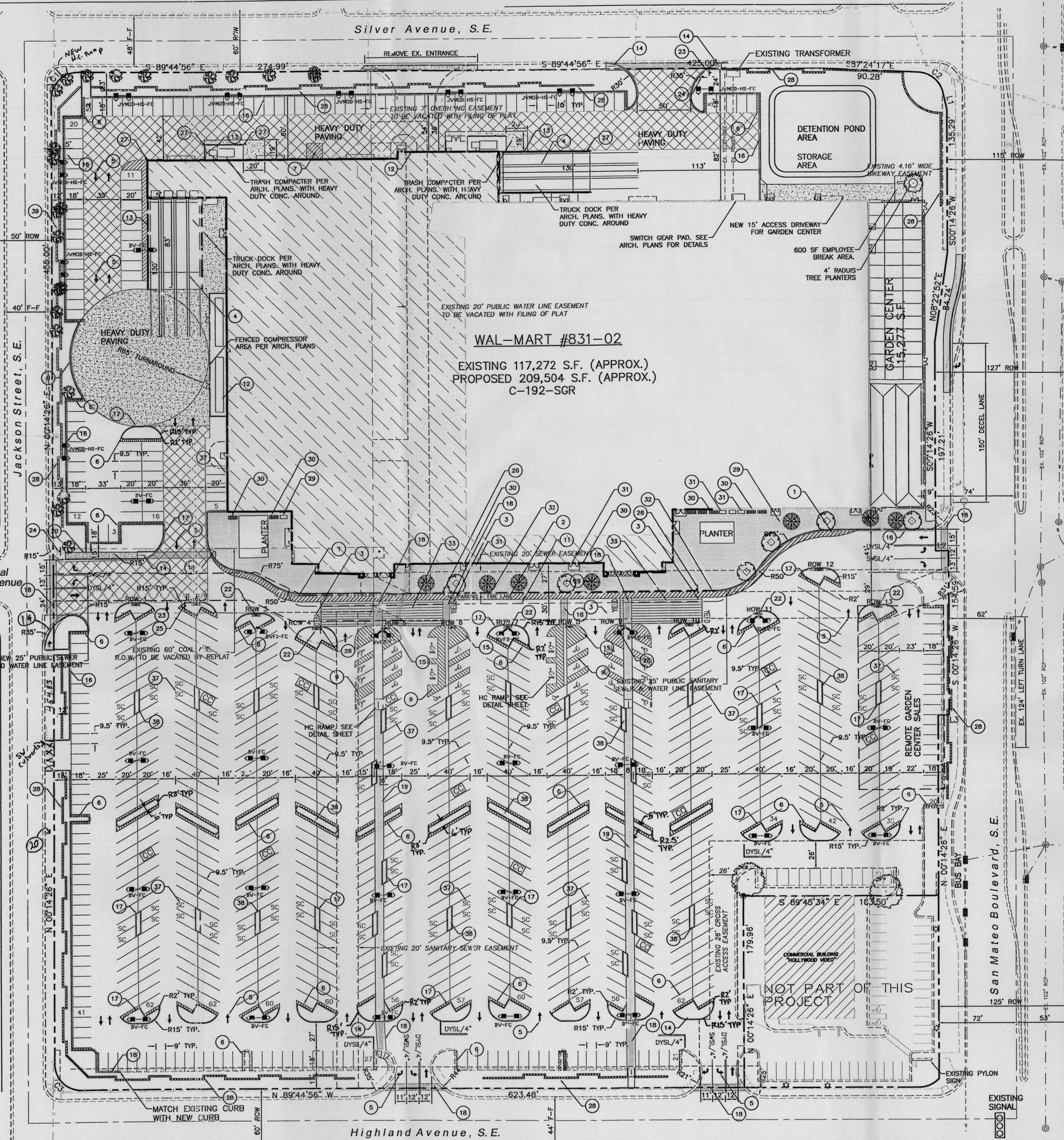
INDEX TO DRAWINGS

1. SITE PLAN FOR BUILDING PERMIT
2. LANDSCAPE PLAN
3. GRADING AND DRAINAGE PLAN
- 3A. GRADING DETAILS
- 3B. GRADING DETAILS
4. MASTER UTILITY PLAN
5. ELEVATIONS
6. DETAILS
7. DETAILS
8. DETAILS
9. DETAILS
10. DETAILS

NO.	DATE	REMARKS	BY

	ALBUQUERQUE WAL-MART EXPANSION, NM: 831-02	DRAWN BY BDG DATE 03/07/02
		2003COV1.DWG SHEET #
TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505) 858-3100		JOB # 200083

Silver Avenue, S.E.



WAL-MART #831-02
EXISTING 117,272 S.F. (APPROX.)
PROPOSED 209,504 S.F. (APPROX.)
C-192-SGR

SITE PLAN NOTES

- DIMENSIONS SHOWN ARE TO FACE OF CURB UNLESS NOTED OTHERWISE.
- EXISTING SPEED BUMPS TO REMAIN AND TO BE REPAINTED TRAFFIC YELLOW.
- EIGHT EXISTING CART CORRALS TO REMAIN AND TO BE REPAINTED TRAFFIC YELLOW. CONTRACTOR TO INSTALL FIVE NEW CART CORRALS PER PLANS.
- ALL EXISTING LIGHT FIXTURES ARE TO BE REMOVED AND REPLACED WITH NEW 1000 WATT FIXTURE PER WAL-MART SPECIFICATIONS, UNLESS OTHERWISE NOTED.
- NEW AND REPLACEMENT LIGHTING SHALL BE FULL CUT OFF FIXTURES (i.e. SHOE BOX) TO MINIMIZE FUGITIVE LIGHT.
- AVERAGE LIGHT LEVELS SHALL BE LIMITED TO 2 FOOT CANDLES WITH MAXIMUM LEVELS LIMITED TO 16 FOOT CANDLES AS MEASURED FROM 4 FEET ABOVE THE SURFACE LEVEL OF ANY POINT ON THE SITE. LUMINARIES SHALL HAVE GLARE CUT OFF ANGLES OF MAXIMUM.
- LIGHT POLES SHALL BE A MAXIMUM OF 30 FEET WITH FULL CUT OFF LIGHT FIXTURES. LIGHT FIXTURES SHALL BE A MAXIMUM OF 30' WITH FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS.
- THERE SHALL BE NO BACKLIT, PLASTIC, OR VINYL AWNINGS OR ILLUMINATED PLASTIC BANDING ON SIGNAGE.
- INDOOR OR SECURED (FENCED AND GATED) BICYCLE STORAGE SHALL BE PROVIDED FOR EMPLOYEES OF THE BUSINESS.
- BUILDING SETBACKS ARE PER APPROVED SITE PLAN WITH THE CITY OF ALBUQUERQUE
- EXISTING BUS ROUTE IS ON SAN MATEO BOULEVARD AND NOT ON SITE.
- ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM NEARBY PROPERTIES. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
- COAL AVENUE IS TO BE VACATED UPON APPROVAL BY THE CITY OF ALBUQUERQUE AND REPLACED INTO ONE LOT.
- EMPLOYEE LOCKERS AND SHOWERS FOR BICYCLE COMMUTERS SHALL BE PROVIDED AS FOLLOWS:
A. 37 CUSTOMER BICYCLE SPACES
B. 14 SECURE EMPLOYEE BICYCLE LOCKER SPACES
C. 14 EMPLOYEE LOCKERS
D. ONE SHOWER
- USE OF PARKING SPACES FOR LONG TERM PARKING IS PROHIBITED. THE SIDEWALKS OR PEDESTRIAN PLAZA IN FRONT OF THE BUILDING SHALL BE LIMITED TO 50% DISPLAY MERCHANDISE AND 50% CLEAR PATH FOR PEDESTRIANS.
- PUBLIC PEDESTRIAN ACCESS EASEMENTS SHALL BE GRANTED FOR ALL HANDICAP RAMPS ENCROACHMENTS

SITE DATA

PROPOSED USAGE:	EXISTING WAL-MART	PROPOSED EXPANSION
LOT AREA:	598,125 SF (13.7311 ACRES)	766,948 SF (17.6067 ACRE)
BUILDING AREA:	117,272 SF	117,272 SF
EXPANSION:	-	92,232 SF
TOTAL:	-	209,504 SF w/GARDEN CENTER
LANDSCAPING:	-	82,347 SF
PROVIDED:	-	83,491 SF
REQUIRED:	69,731 SF	83,491 SF
PARKING PROVIDED:	818 SPACES	953 SPACES
PARKING REQUIRED:	1048 SPACES	1048 SPACES
LESS 10% BUS CREDIT	-	943 SPACES
PARKING RATIO:	6.98	4.55
PARKING RATIO: WITHOUT GARDEN CENTER	-	4.91
HC PARKING PROVIDED:	18 SPACES	18 SPACES (8 VAN)
HC PARKING REQUIRED:	12 SPACES	12 SPACES
	-	6 SPACES VAN ACCESSIBLE
BIKE SPACES PROVIDED:	-	54 SPACES
BIKE SPACES REQUIRED:	-	51 SPACES

PROJECT NUMBER: 1001525

This plan is consistent with the specific site development plan approval by the Environmental Planning Commission (EPC) on 11/15/01 and that the findings and conditions in the Official Notice, Notification of Decision have been complied with:

SITE DEVELOPMENT PLAN

Traffic Engineer, Transportation Division
Date: 4/25/02

William E. Penland
Date: 3/20/02

Public Works, Water Utilities Division
Date: 5/1/02

Bradley S. Biglan
Date: 3/20/02

City Engineer, Engineering Division / AMAFCA
Date: 4-2-02

Solid Waste
Date: 5/16/02

APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.
Date: 5/16/02

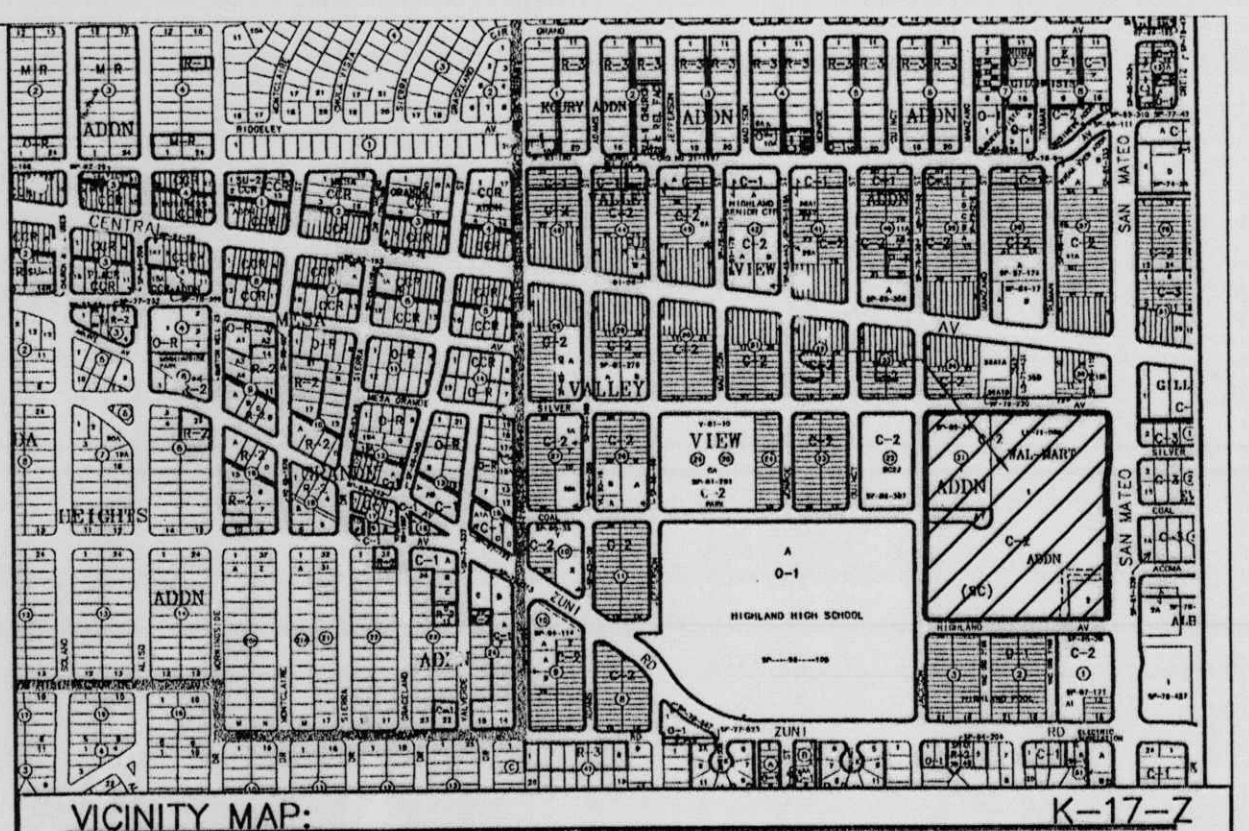
City Planner, Albuquerque
Date: 5/16/02

City Planning Division
Date: 5/16/02

PLNZ (10/06) 4/96

LEGEND

- EXISTING CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- PROPOSED EASEMENT
- PROPOSED SCREEN WALL
- PROPOSED SCREEN WALL
- PROPOSED SIDEWALK
- STANDARD ASPHALT PAVING AREA
- HEAVY ASPHALT PAVING AREA
- HEAVY CONCRETE AREA
- PATTERN CONCRETE AREA
- PROPOSED PARKING LOT LIGHTING
- PROPOSED BOLLARD
- PROPOSED PEDESTRIAN CROSSWALK
- PROPOSED CART CORRALS
- ASSOCIATE PARKING AREA
- BIKE RACK
- BIKE LOCKER



LEGAL DESCRIPTION:
Lots One and Two, Wal-Mart Addition AND Lot "A", Block Twenty-One, Valley View Addition, Wal-Mart Stores East, Inc.

SITE LEGEND

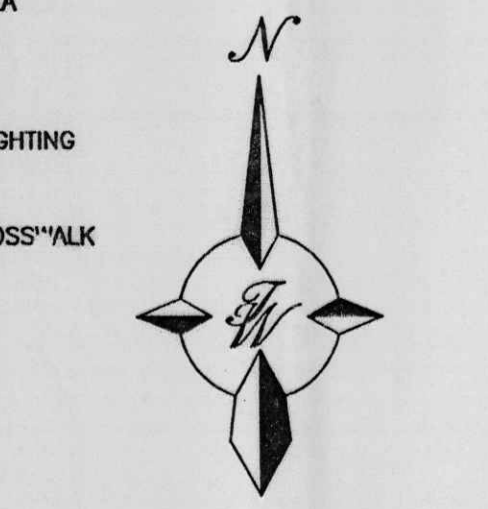
- 6" WIDE FIRE LANE WITH 6" WIDE PAINTED TRAFFIC RED STRIPING AT 45° TYPICAL CURB TO BE PAINTED TRAFFIC RED AT THESE LOCATIONS. (SHT 7 OF 10)
- "NO PARKING-FIRE LANE" PAINTED TRAFFIC YELLOW ON PAVEMENT AT 80' O.C. LETTERS TO BE A MINIMUM 2'-0" TALL (SHT 7 OF 10)
- "YIELD" PAINTED YELLOW ON PAVEMENT TYPICAL (SHT 6 OF 10)
- PROVIDE (2) 4" WIDE YELLOW STRIPES @ 10' O.C. x 130' LONG CENTER ON DOCK DOORS
- PAINTED DIRECTIONAL ARROW TYPICAL (SHT 6 OF 10)
- 2'-0" LOADING ZONE AT ALL CURBED PARKING SPACES. 4" PAINTED YELLOW STRIPING AT 2'-0" O.C. PERPENDICULAR TO PARKING SPACE.
- 10' x 15' STRIPED AREA PAINTED SYSL/4" AT 45° @ 2'-0" O.C. AT JOB CRANE LOCATION. SEE ARCH. PLANS
- FIRE LANE STRIPING SHALL BE 6" RED STRIPES WITH 4" INCH WHITE LETTERS READING "NO PARKING FIRE LANE" STRIPING SHALL BE PLACED ON FACE OF CURB WHENEVER POSSIBLE, OR AS SPECIFIED BY LOCAL CODES. (SHT 7 OF 10)
- ACCESSIBLE PARKING SPACES: SEE DETAIL SHEET FOR ACCESSIBLE PARKING SPACE SIZE, SIGN AND SYMBOL ("VAN" INDICATES VAN ACCESSIBLE SPACE). (SHT 6 OF 10)
- RAMPED PAVEMENT AT VESTIBULE TO BE FLUSH WITH TOP OF SIDEWALK AT 5.0% MAX. SLOPE. REFER TO ARCHITECTURAL PLANS.
- EXIT PORCH. SEE ARCHITECTURAL PLAN FOR EXACT SIZE, LOCATION FOR STOOPS, STAIRS AND/OR RAMPS THAT MAY BE REQUIRED. RAMP FLUSH W/ TOP OF STOOP.
- 16"x11" COMPRESSOR CONCRETE COMPACTOR PAD. REFER TO ARCHITECTURAL PLAN FOR EXACT LOCATION AND SLOPE.
- SCREEN WALL PER ARCH. PLANS
- UNIDIRECTIONAL HC RAMP. (SHT 8 OF 10)
- PAINTED ISLAND TYPICAL UNLESS NOTED OTHERWISE. STRIPES SHALL BE PAINTED SYSL/4" AT 2'-0" O.C. PERPENDICULAR TO THE PARKING SPACE.
- 6" CONCRETE CURB AND GUTTER TYPICAL
- 6" CONCRETE HEADER CURB TYPICAL (SHT 6 OF 10)
- 6" WIDE SLIGHTLY RAISED CONCRETE PEDESTRIAN CROSSWALK. PAINTED WHITE (SHT 6 OF 10) NO RAISED CROSSWALKS ARE ALLOWED AT STREET ENTRANCES.
- 8" WIDE RAISED CONCRETE SIDEWALK TYPICAL (SHT 6 OF 10)
- 6" CONCRETE SIDEWALK TYPICAL
- ANGLE INDICATOR SIGNS TYPICAL (SHT 6 OF 10)
- "TRUCK ROUTE" SIGN. SEE PLAN FOR LOCATION.
- "STOP" SIGN. SEE PLAN FOR LOCATION. (24" WHITE STOP BAR TO BE BUILT AT ALL STOP SIGN LOCATIONS.
- "NO TRUCKS" SIGN. SEE PLAN FOR LOCATION.
- PEDESTRIAN CROSSING SIGN W1a-2 and W1a-2p TYPICAL AT PEDESTRIAN CROSSWALKS AS NOTED ON PLANS.
- 6" DIA. PIPE BOLLARD TYPICAL (SHT 8 OF 10)
- 3' HIGH SCREEN WALL (SHT 6 OF 10)
- 5"x5" TREE PLANTER SEE SHEET 7 FOR DETAILS
- (B) 5 SPACE BIKE RACK TYPICAL (SHT 8 OF 10)
- BIKE LOCKERS (7 UNITS, 14 TOTAL LOCKER SPACES). (SHT 6 OF 10)
- ZERO CURB PER ARCH. SECTIONS
- PEDESTRIAN CROSSWALK WITH 4" WIDE PAINTED YELLOW STRIPING PARALLEL TO DIRECTION OF TRAFFIC AT 2'-0" O.C. UNLESS NOTED OTHERWISE. SEE SITE PLAN FOR WIDTH.
- PROPOSED LIGHTING.
- CART CORRALS TYPICAL (SHT 8 OF 10)
- PROPOSED HC RAMP. (SHT 8 OF 10)
- SMALL CAR MARKER, "COMPACT" PAINTED YELLOW ON PAVEMENT TYPICAL.
- TREE PLANTER TYPICAL (SHT 7 OF 10)
- RETAINING WALL TYPICAL (SHT 7 OF 10)

PAINT STRIPING LEGEND

- SWSL/4" - SINGLE WHITE SOLID LINE / 4" WIDE
- YSYL/4" - SINGLE YELLOW SOLID LINE / 4" WIDE EACH
- DYSL/4" - DOUBLE YELLOW SOLID LINE / 4" WIDE EACH
- YSL/10" - SINGLE YELLOW SOLID LINE / 10" WIDE
- SWDL/4" - SINGLE WHITE DASHED LINE / 4" WIDE
- SWSL/24" - SINGLE WHITE SOLID LINE / 24" WIDE

CURVE TABLE

CURVE	LENGTH	RADIUS	TAN-ANG	DELTA	CHORD BEARING	CHORD LENGTH
C1	39.27	25.00	25.00	90°00'38"	S45°14'45"W	35.36
C2	32.65	25.00	19.12	74°49'42"	N49°59'26"W	30.38
C3	39.27	25.00	25.00	90°00'01"	S44°44'56"E	35.36



ENGINEER'S SEAL

ALBUQUERQUE WAL-MART EXPANSION, NM: 831-02

SITE PLAN FOR BUILDING PERMIT

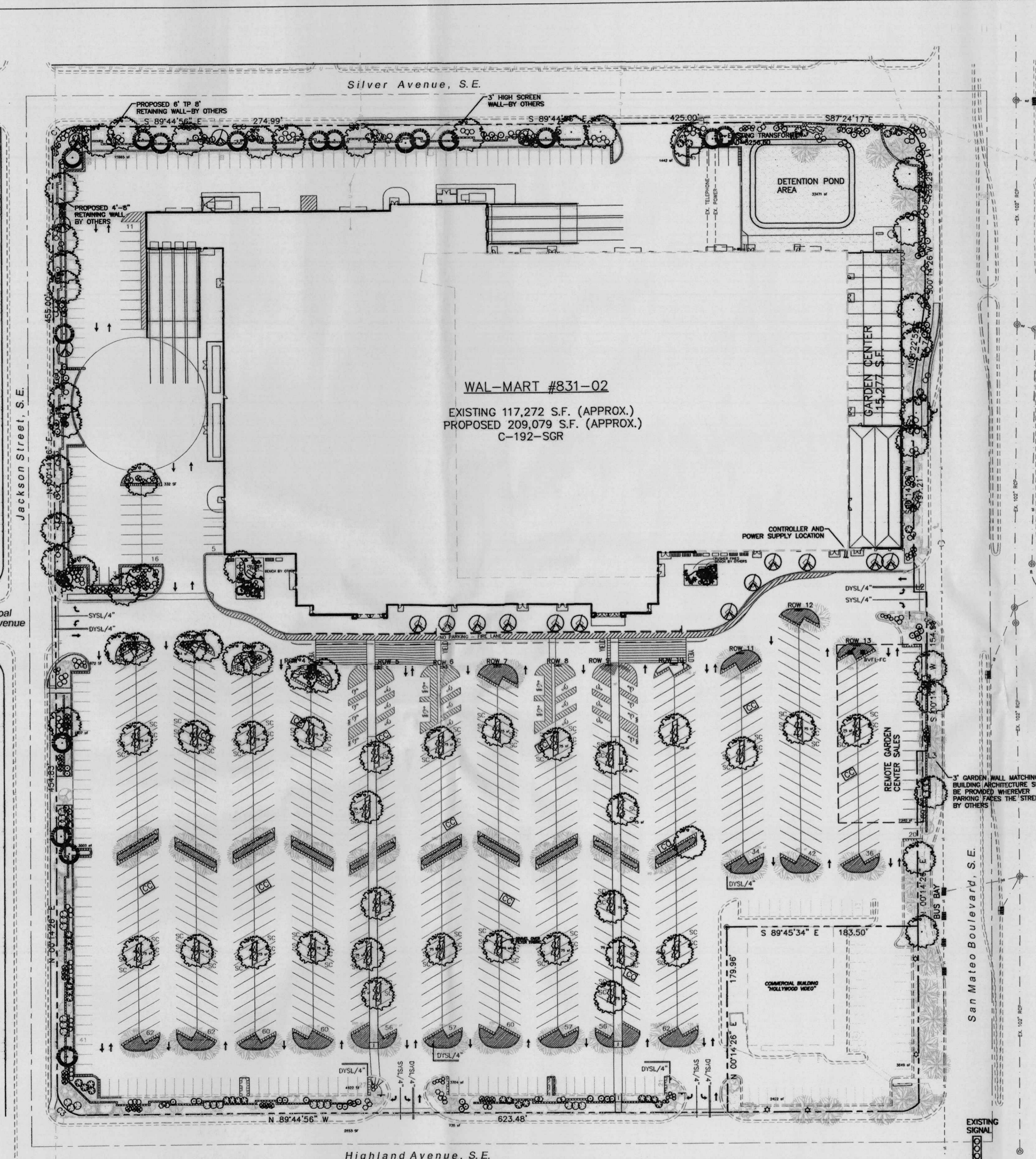
TERRA WEST, L.L.C.
8509 JEFFERSON NE
ALBUQUERQUE, NEW MEXICO 87113
(505)858-3100

DRAWN BY: BDG
DATE: 03/19/02
2083SPB.DWG

SHEET # 1

JOB # 99,029

RONALD R. BOHANNAN
P.E. #7888



GENERAL NOTES:

1. ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERIAL, FREE OF PESTS AND DISEASE.
2. ALL PLANTS MUST BE CONTAINER GROWN OR BALLED AND BUR LAPPED AS INDICATED IN THE PLANT LIST.
3. ALL TREES MUST BE STRAIGHT TRUNKED AND FULL HEADED AND MEET ALL REQUIREMENTS SPECIFIED.
4. ALL PLANTS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE, DURING, AND AFTER INSTALLATION.
5. ALL TREES MUST BE GUYED OR STAKED AS SHOWN IN THE DETAILS.
6. ALL PLANTING AREAS MUST BE COMPLETELY MULCHED AS SPECIFIED.
7. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCURS AS A RESULT OF THE LANDSCAPE CONSTRUCTION.
8. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS BEFORE PRICING THE WORK.
9. THE CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAINING ALL PLANTING (INCLUDING BUT NOT LIMITED TO: WATERING, SPRAYING, MULCHING, FERTILIZING, ETC.) OF THE PLANTING AREAS AND LAWN UNTIL THE WORK IS ACCEPTED IN TOTAL BY THE OWNER.
10. THE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE (1) YEAR BEGINNING ON THE DATE OF TOTAL ACCEPTANCE. THE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS BEFORE OR AT THE END OF THE GUARANTEE PERIOD.
11. THE ARCHITECT SHALL APPROVE THE STAKING LOCATION OF ALL PLANT MATERIAL PRIOR TO INSTALLATION.
12. AFTER BEING DUG AT THE NURSERY SOURCE, ALL TREES IN LEAF SHALL BE ACCLIMATED FOR TWO (2) WEEKS UNDER A MIST SYSTEM PRIOR TO INSTALLATION.
13. ANY PLANT MATERIAL WHICH DIES, TURNS BROWN, OR DEFOOLIATES (PRIOR TO TOTAL ACCEPTANCE OF THE WORK) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE AND MEETING ALL PLANT LIST SPECIFICATIONS.
14. STANDARDS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK" REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL.
15. ALL SHRUB, GROUND COVER AND SEASONAL COLOR ANNUAL PLANTING BEDS ARE TO BE COMPLETELY COVERED WITH HARDWOOD MULCH TO A MINIMUM DEPTH OF FOUR INCHES.
16. LOCATIONS OF EXISTING BURIED UTILITY LINES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATIONS OF UTILITY LINES AND ADJACENT TO THE WORK AREA. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL UTILITY LINES DURING THE CONSTRUCTION PERIOD.
17. SAFE, CLEARLY MARKED PEDESTRIAN AND VEHICULAR ACCESS TO ALL ADJACENT PROPERTIES MUST BE MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS.
18. DURING THE GROWING SEASON ALL ANNUALS SHALL REMAIN IN A HEALTHY, VITAL CONDITION THROUGHOUT THE CONSTRUCTION PERIOD.
19. ALL PLANT MATERIALS QUANTITIES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE COVERAGE OF ALL PLANTING BEDS AT SPACING SHOWN.
20. ALL DISTURBED AREAS ARE TO RECEIVE 4" OF TOP SOIL BY GRADING CONTRACTOR, MULCH, AND WATER UNTIL A HEALTHY STAND OF GRASS IS OBTAINED. THIS IS EXCLUDING ALL LANDSCAPED ISLANDS AND ENTRANCE AREAS.
21. REFER TO WALMART SPECIFICATIONS FOR ALL INFORMATION NEEDED FOR IMPLEMENTATION OF PLANTING PLANS.

STREET TREE REQUIREMENTS

Street trees required under the City Of Albuquerque Street Tree Ordinance are as follows:

Name of Street SAN MATEO
Required #30 Provided # 32

IRRIGATION NOTES:
Irrigation shall be a complete underground system with trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field.

Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

LANDSCAPE NOTES:

Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque, Water Conservation Landscaping and Water Waste Ordinance, planting restriction approach.

Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance. Water management is the sole responsibility of the Property Owner.

All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping, and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

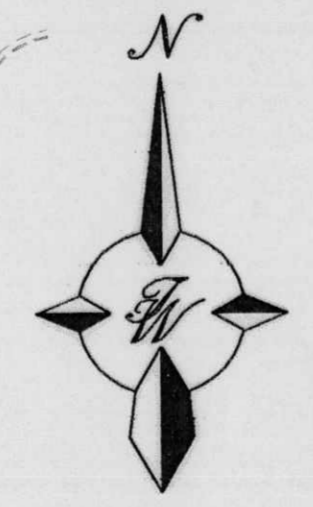
PLANT LEGEND

- EXISTING HONEY LOCUST
- EXISTING ORNAMENTAL PEAR
- EXISTING CHITALPA
- EXISTING PURPLE LEAF PLUM
- EXISTING EVERGREEN TREE
- EXISTING LANDSCAPING
- ASH (H) OR HONEY LOCUST (H) 74
Fraxinus pennsylvanica
Gleditsia triacanthos
2" Cal.
- AUSTRIAN PINE (H) 17
Pinus nigra
6"-8"
- FLOWERING PEAR (H) 22
Pyrus spp.
1 1/2" Cal.
- WASHINGTON HAWTHORN (H) 6
Crataegus phaenopyrum
15 Gal.
- INDIAN HAWTHORN (M) 76
Raphiolepis indica
5 Gal.
- RUSSIAN SAGE (M) 75
Perovskia atriplicifolia
5 Gal.
- APACHE PLUME (L) 80
Folgia paradoxa
5 Gal.
- MAIDEN GRASS (M) 12
Miscanthus sinensis
5 Gal. 16sf
- AUTUMN SAGE (M) 125
Salvia greggii
2 Gal.
- CHAMISA (L) 55
Chrysothamnus nauseosus
1 Gal.
- WILDFLOWER 90
1 Gal. 4sf
- TAM JUNIPER (M) 117
Juniperus sabinia
5 Gal.
- GRAVEL TO MATCH EXISTING WITH FILTER FABRIC 85,124 sf
- OVERSIZED GRAVEL & BOULDERS 15
- COMMERCIAL GRADE STEEL EDGE

LANDSCAPE CALCULATIONS

NET LANDSCAPE AREA	
TOTAL LOT AREA	767,993 square feet
TOTAL EXISTING BUILDINGS AREA	117,272 square feet
TOTAL PROPOSED BUILDINGS AREA	92,232 square feet
OFFSITE AREA	0 square feet
NET LOT AREA	558,489 square feet
LANDSCAPE REQUIREMENT	15% square feet
TOTAL LANDSCAPE REQUIREMENT	83,773 square feet
TOTAL LANDSCAPE PROVIDED	95,408 square feet
TOTAL EXISTING LS PROVIDED	10,284 square feet
TOTAL NEW LS PROPOSED	85,124 square feet

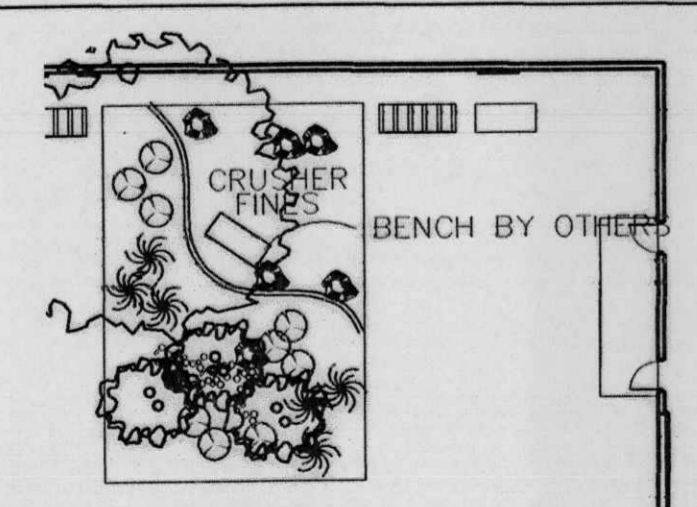
The Hilltop
LANDSCAPE ARCHITECTS & CONTRACTORS
Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9690
Ph. (505) 898-7737
it@hilltoplandscaping.com



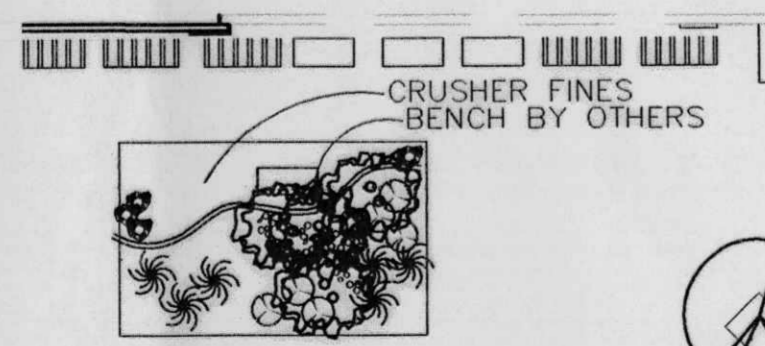
GRAPHIC SCALE



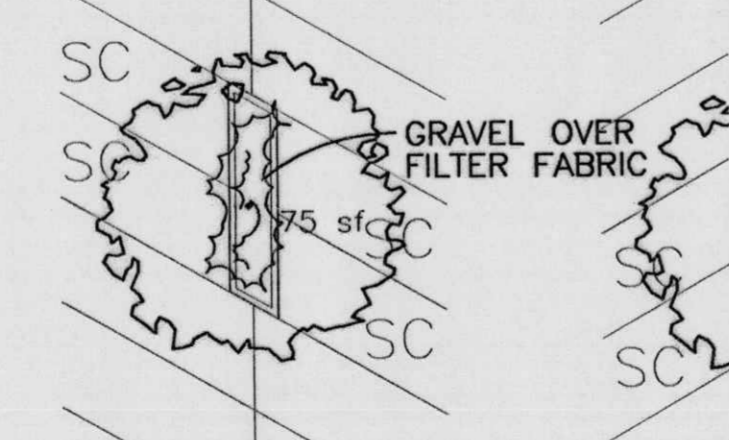
SCALE: 1"=60'



WEST BREAK AREA DETAIL 1"=20'

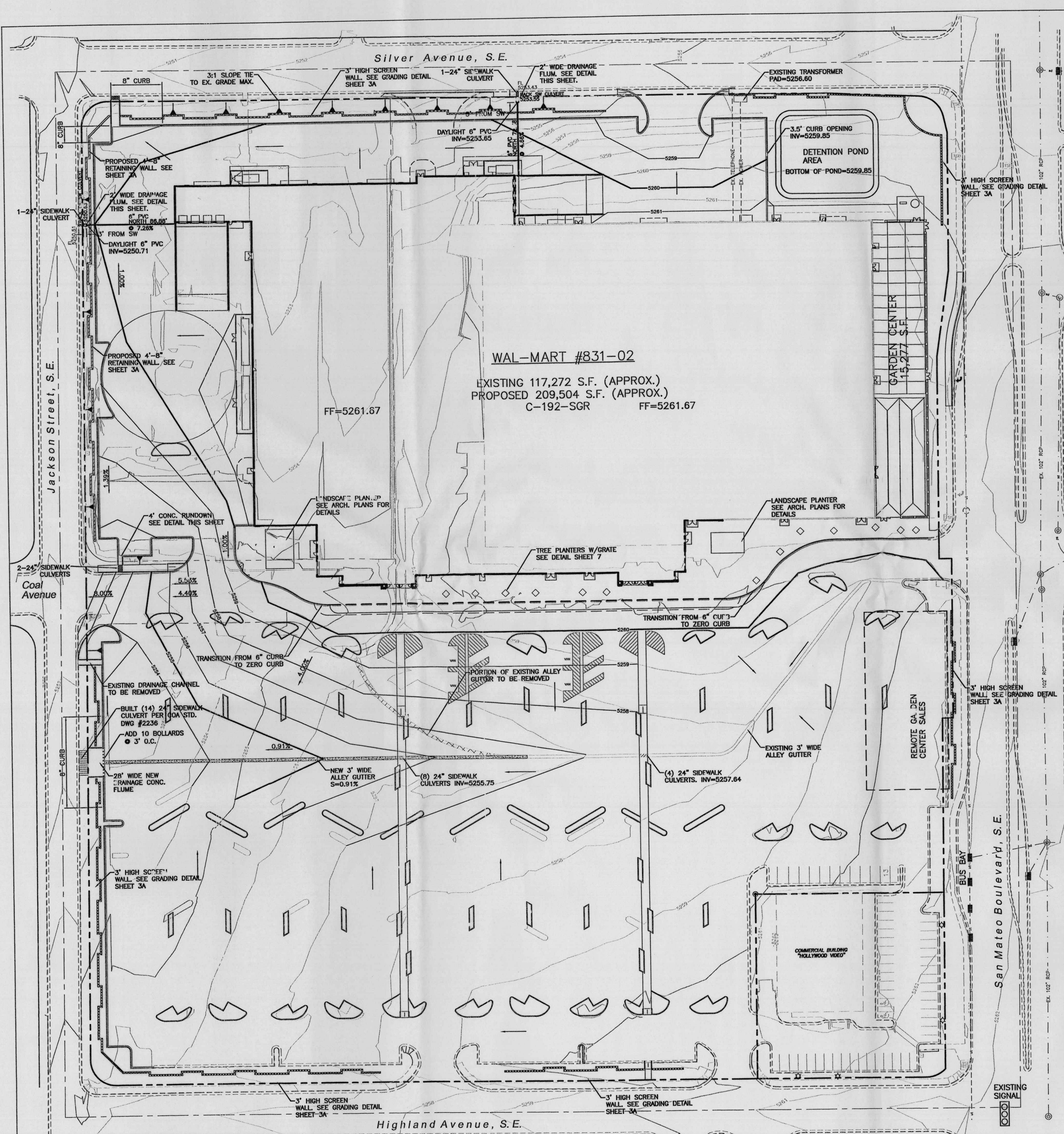


EAST BREAK AREA DETAIL 1"=20'



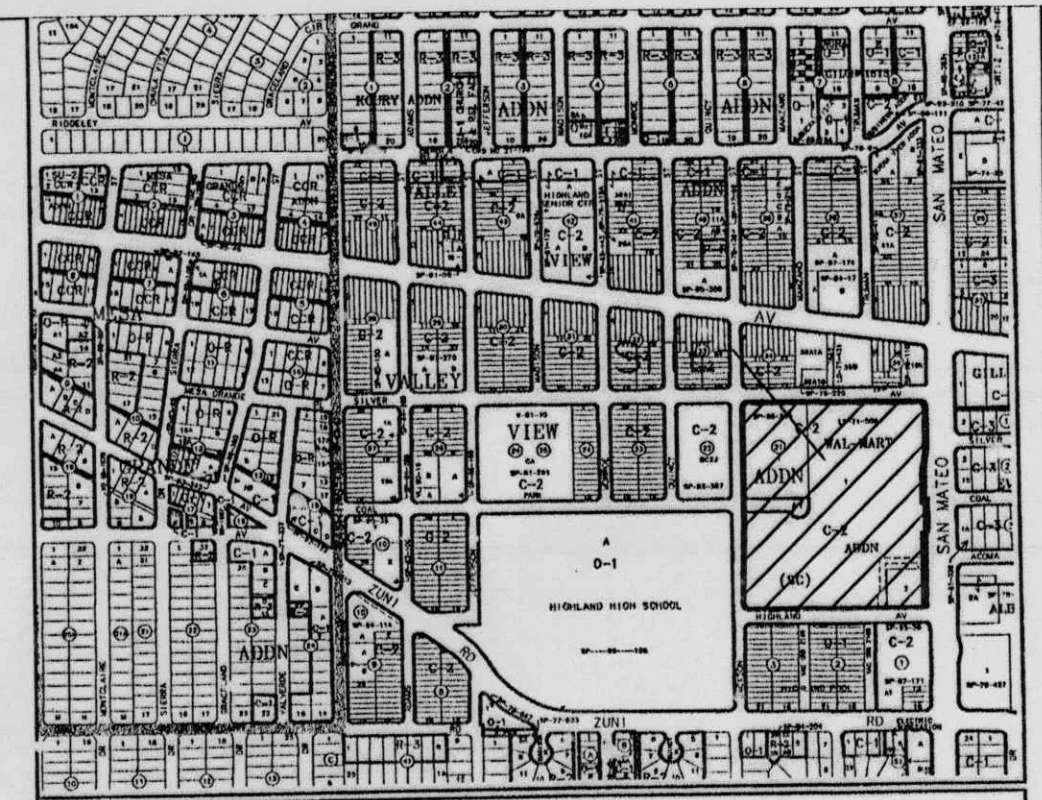
TYPICAL PARKING AISLE PLANTING BED 1"=20'

LANDSCAPE ARCHITECT'S SEAL	ALBUQUERQUE WAL-MART EXPANSION, NM: 831-02	DRAWN BY BDG
	LANDSCAPE PLAN	DATE 05/15/02
		2083LP.DWG
		SHEET # 5/2
 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505) 858-3100		
JAMES DEFLON #0007		



SITE GRADING NOTES

1. THE EARTHWORK FOR ALL BUILDING FOUNDATIONS AND SLABS SHALL BE IN ACCORDANCE WITH ARCHITECTURAL BUILDING PLANS AND SPECIFICATIONS.
2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
3. ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.
4. PRECAST STRUCTURES MAY BE USED AT CONTRACTORS OPTION.
5. STORM PIPE SHALL BE AS FOLLOWS UNLESS OTHERWISE NOTED:
 TYPE 1: RCP, CLASS III PER ASTM C-76, WITH FLEXIBLE PLASTIC BITUMEN GASKETS AT JOINTS.
 TYPE 2: SPIRAL RIB METAL PIPE TYPE 1R, GALVANIZED, ALUMINIZED, OR BITUMINOUS COATED AS SPECIFIED ON CONSTRUCTION DRAWINGS. PIPE ENDS SHALL BE SPECIFICALLY INDICATED ON CONSTRUCTION DRAWINGS. HUGGER-TYPE BANDS RE-CORRUGATED AND INSTALLED WITH SEMI-CORRUGATED HUGGER-TYPE BANDS AND 70" RING GASKETS IN ACCORDANCE WITH PIPE MANUFACTURER'S INSTALLATION REQUIREMENTS. SPIRAL RIB METAL PIPE MUST COMPLY WITH ASTM A 760 TYPE 1R, ACCEPTABLE MANUFACTURER: CONTECH, INC., ULTRA FLO OR ULTRA FLO II, CALDWELL CULVERT CO. "SMOOTH RIB", OR APPROVED EQUAL.
 TYPE 3: POLY VINYL CHLORIDE (PVC) IN ACCORDANCE WITH ASTM D 1784
6. EXISTING DRAINAGE STRUCTURES TO BE INSPECTED AND REPAIRED AS NEEDED, AND EXISTING PIPES TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS.
7. EXISTING GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT INTERVALS
8. PROPOSED GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT INTERVALS.
9. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
10. ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT.
11. ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING LIDS. MANHOLES IN UNPAVED AREAS SHALL BE 6" ABOVE FINISH GRADE. LIDS SHALL BE LABELED "STORM SEWER".
12. THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE GENERAL N.P.D.E.S. PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
13. CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
14. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
15. TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY BY ANY LAND SURVEYORS, IF CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, HE SHALL HAVE MADE, AT HIS EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW.
16. ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3H:1V OR STEEPER. CONTRACTOR SHALL USE NATIVE SEEDING IN DISTURBED AREAS IN ACCORDANCE WITH CITY/COUNTY SPECIFICATIONS UNTIL A HEALTHY STAND OF VEGETATION IS OBTAINED.
17. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
18. ALL STORM STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED MORTAR INVERT FROM INVERT IN TO INVERT OUT.
19. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL UTILITIES AND NOTIFYING THE APPROPRIATE UTILITY COMPANY PRIOR TO BEGINNING CONSTRUCTION.
20. CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING STORM SEWER STRUCTURES, PIPES, AND ALL UTILITIES PRIOR TO CONSTRUCTION.
21. SITEWORK SHALL MEET OR EXCEED WAL-MART SITE SPECIFICATIONS.
22. ALL CONCRETE TO HAVE A MINIMUM 28 DAY COMPRESSION STRENGTH OF 3000 PSI.
23. CONTRACTOR SHALL REFER TO GEOTECHNICAL INVESTIGATION PREPARED BY KLEINFELDER, PROJECT #59-000045 8/21/2000. (FOR INFORMATION ONLY)

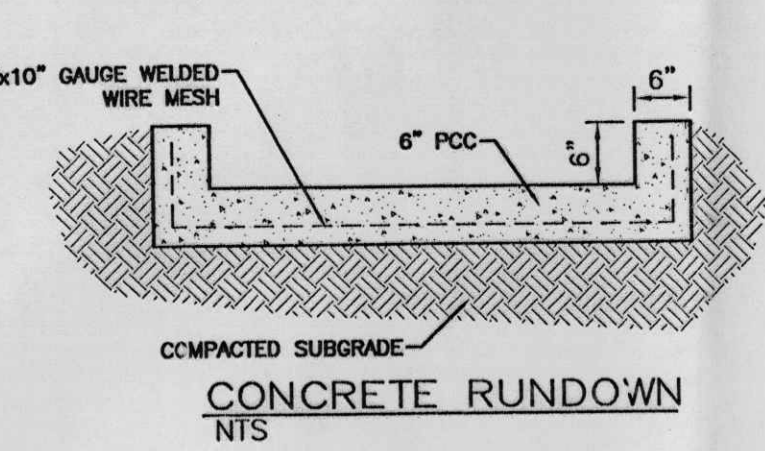
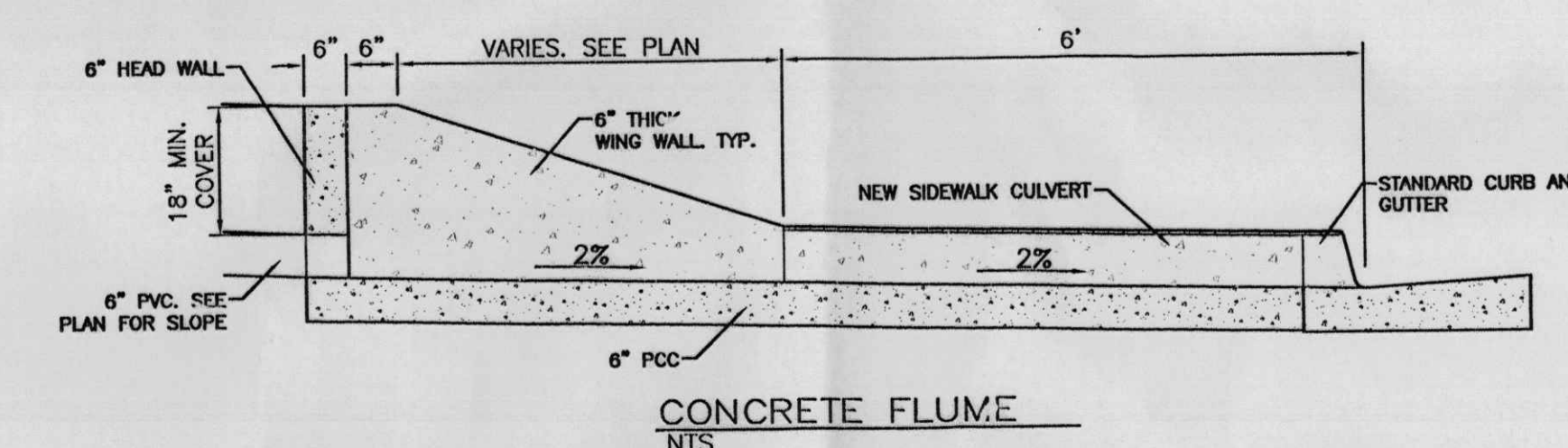


VICINITY MAP: K-21-Z

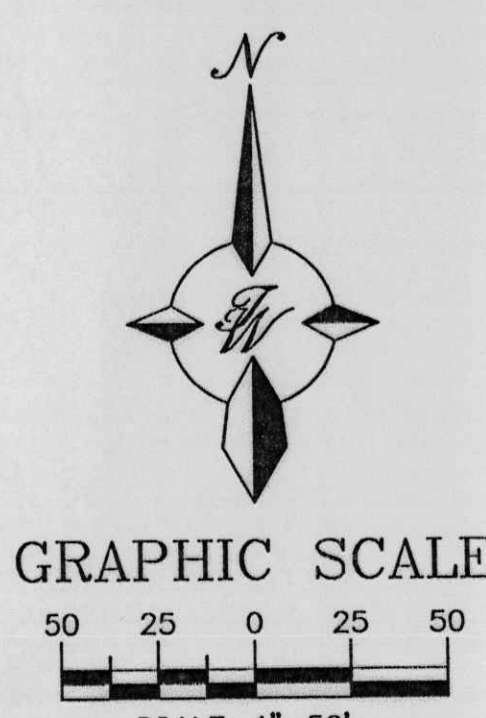
FIRM MAP: 35001C0358 D AND 35001C0359

LEGAL DESCRIPTION:
 Lots One and Two, Wal-Mart Addition AND Lot "A" Block Twenty-One, Valley View Addition, Wal-Mart Stores East, Inc.

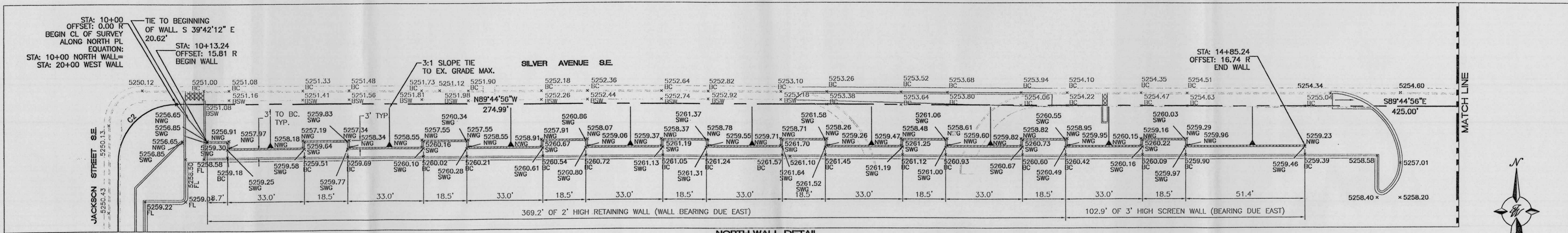
BENCHMARK:
 A.C.S. MONUMENT "5-K18A"
 2" BRASS TABLET
 (FOUND IN PLACE)
 (NEW MEXICO STATE PLANE COORDINATES
 CENTRAL ZONE-N.A.D. 1927)
 X=401,022.37
 Y=1,483,557.05
 EL=5277.510
 C-G=0.99965880
 DELTA ALPHA ANGLE=-0°11'24"



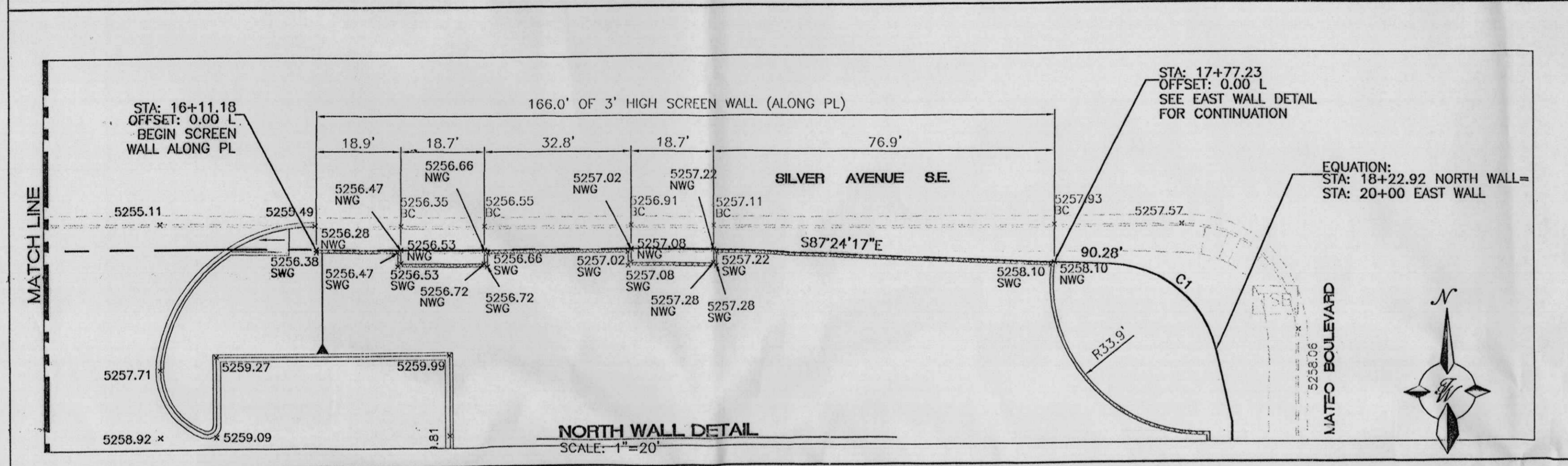
- LEGEND**
- EXISTING CURB
 - FUTURE IMPROVEMENTS
 - EXISTING BUILDING
 - PROPOSED EXPANSION
 - PROPOSED CURB
 - BOUNDARY LINE
 - Grade CHANGE
 - PROPOSED GRADE ELEVATION
 - EXISTING GRADE ELEVATION



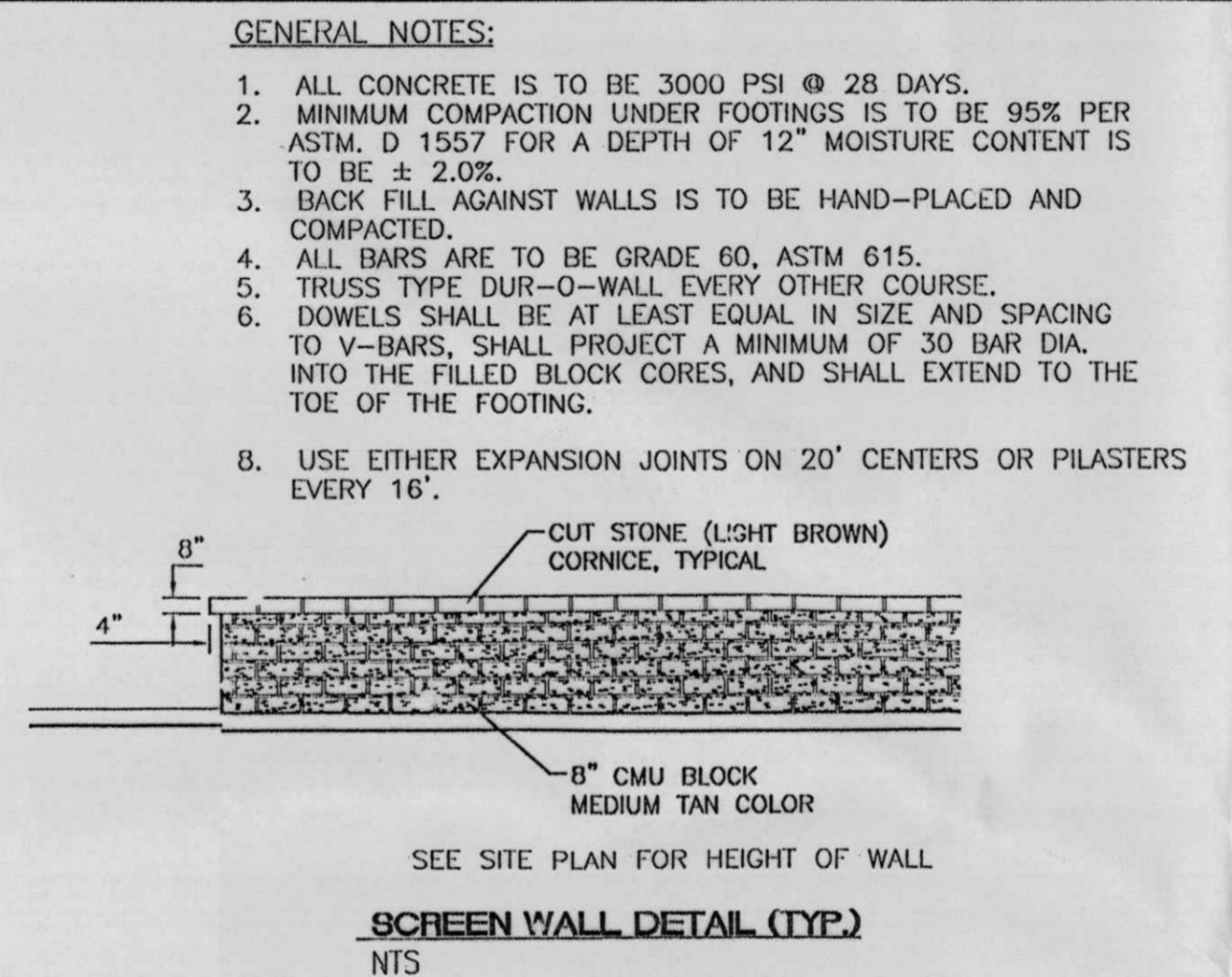
	ENGINEER'S SEAL ALBUQUERQUE WAL-MART EXPANSION, NM: 831-02	DRAWN BY BDG
	GRADING AND DRAINAGE PLAN	DATE 03/19/02
	SHEET # 3	JOB # 200083



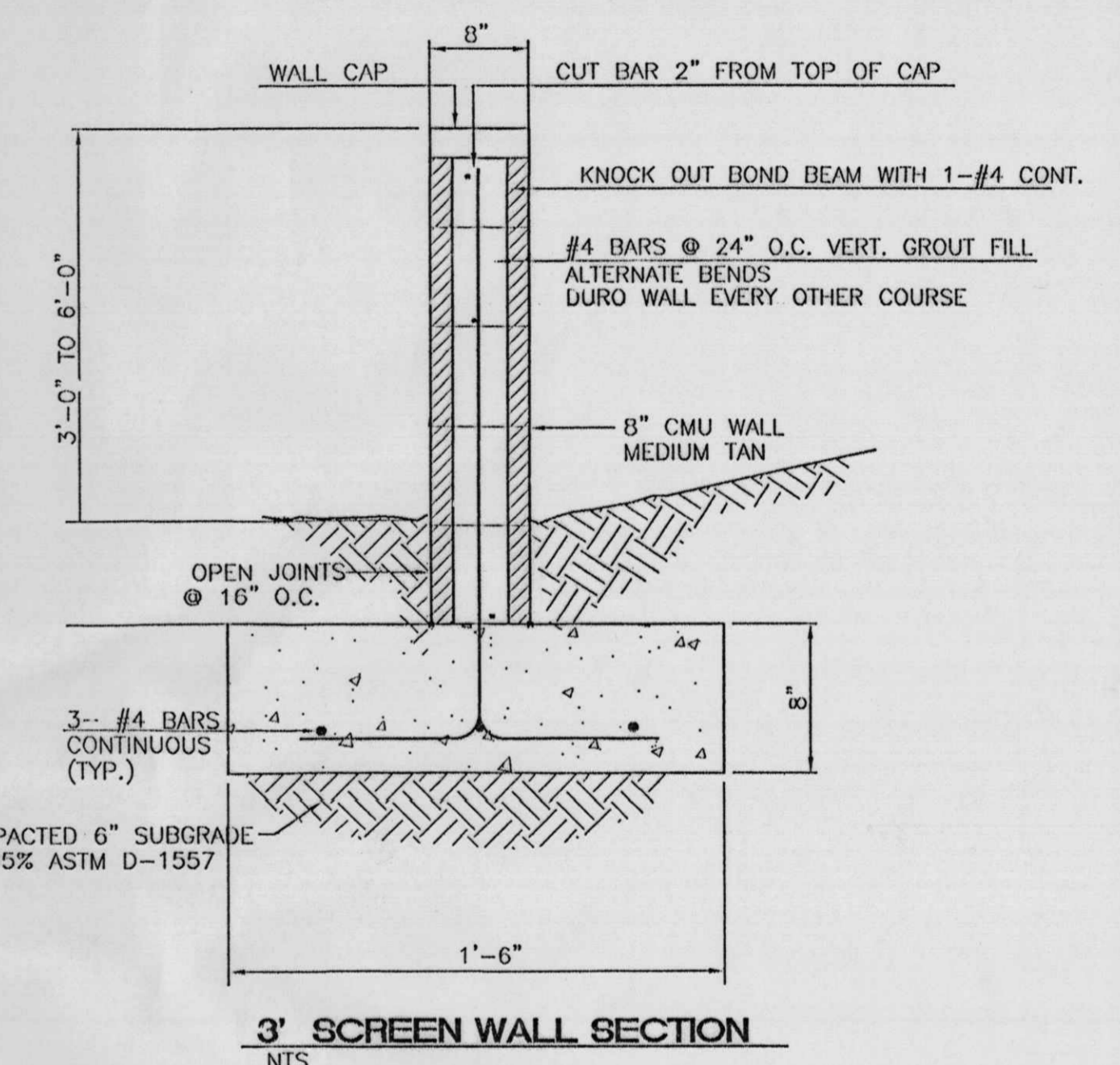
NORTH WALL DETAIL
SCALE: 1"=20'



NORTH WALL DETAIL
SCALE: 1"=20'

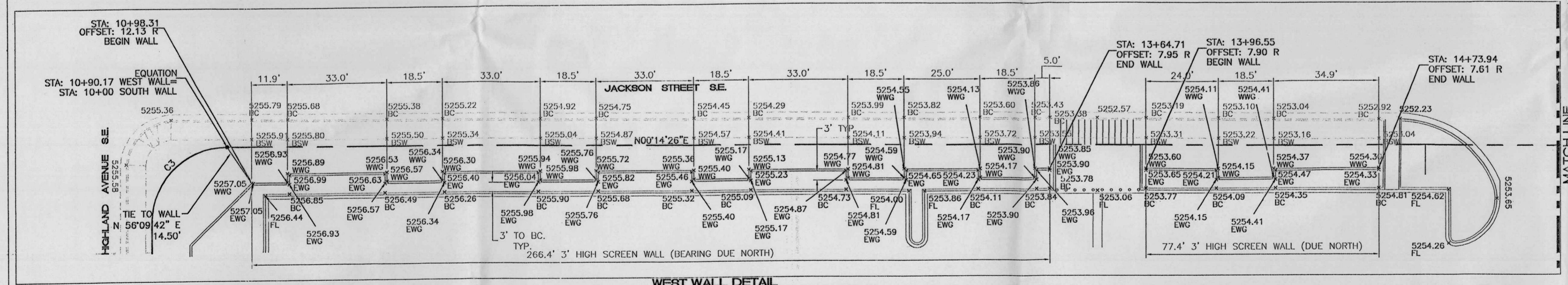


SCREEN WALL DETAIL (TYP.)
NTS

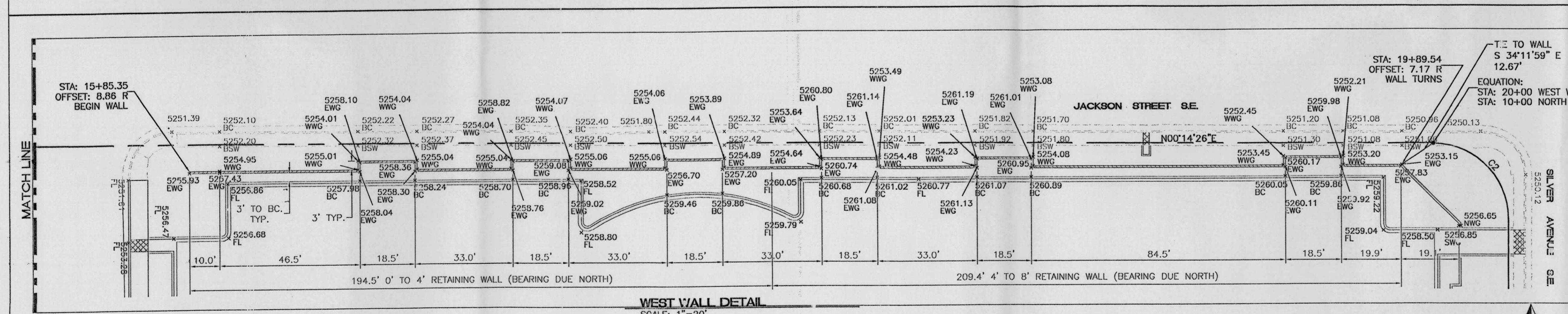


3' SCREEN WALL SECTION
NTS

CURVE TABLE						
CURVE	LENGTH	RADIUS	TANGENT	DELTA	CHORD BEARING	CHORD LENGTH
C1	32.65	25.00	19.12	74°49'42"	N49°59'26"W	30.38
C2	39.27	25.00	25.00	90°00'38"	S45°14'45"W	35.36
C3	39.27	25.00	25.00	90°00'01"	S44°44'56"E	35.36



WEST WALL DETAIL
SCALE: 1"=20'



WEST WALL DETAIL
SCALE: 1"=20'

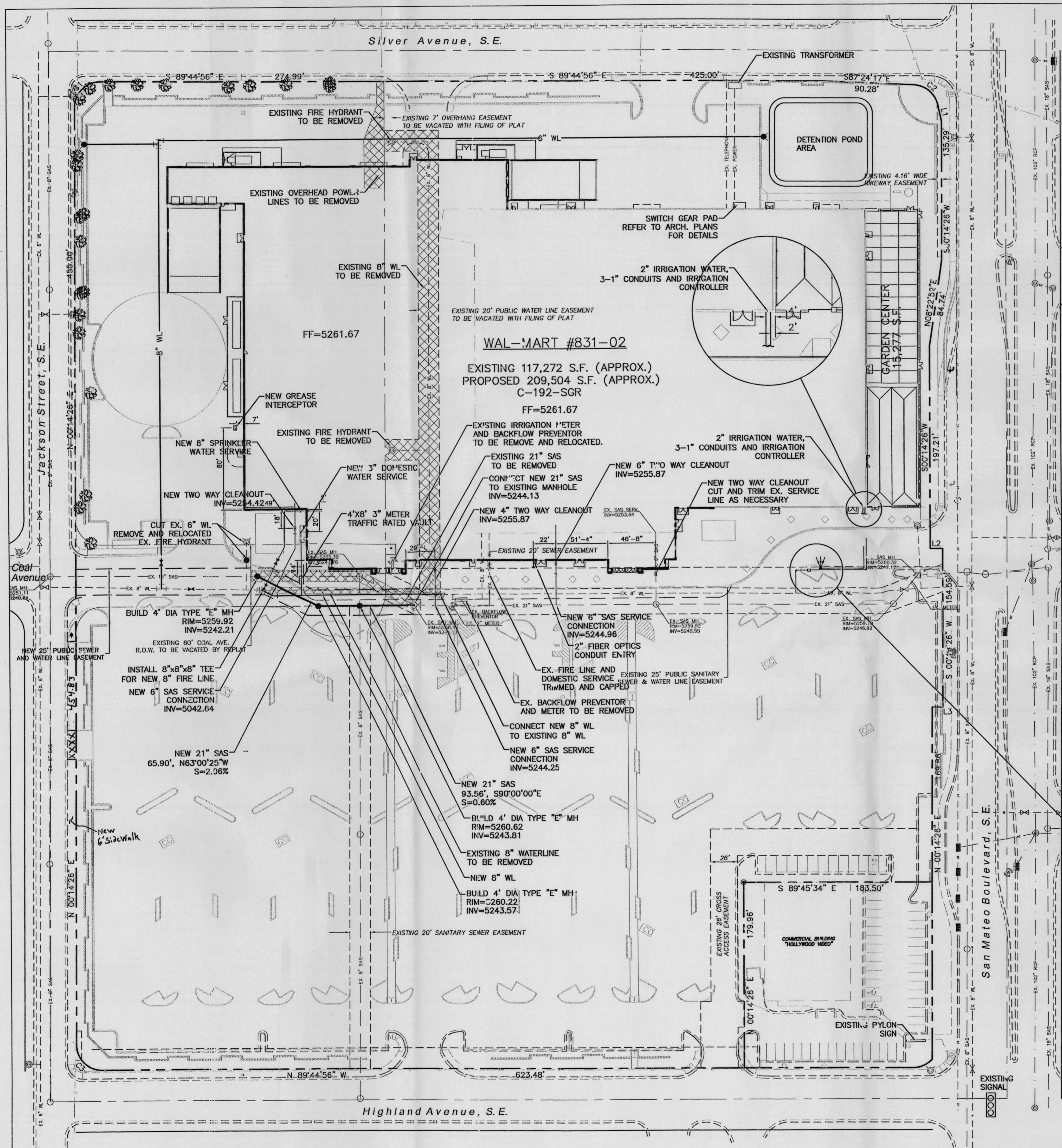
LEGEND

- EXISTING CURB
- PROPOSED CURB
- BOUNDARY LINE
- GROUND GRADE AT WEST WALL FACE
- GROUND GRADE AT EAST WALL FACE
- GROUND GRADE AT NORTH WALL FACE
- GROUND GRADE AT SOUTH WALL FACE
- GROUND GRADE AT BACK OF SIDEWALK
- GROUND GRADE AT BACK OF CURB

NOTE:
1. SEE SHEET 3B FOR RETAINING WALL DETAILS.

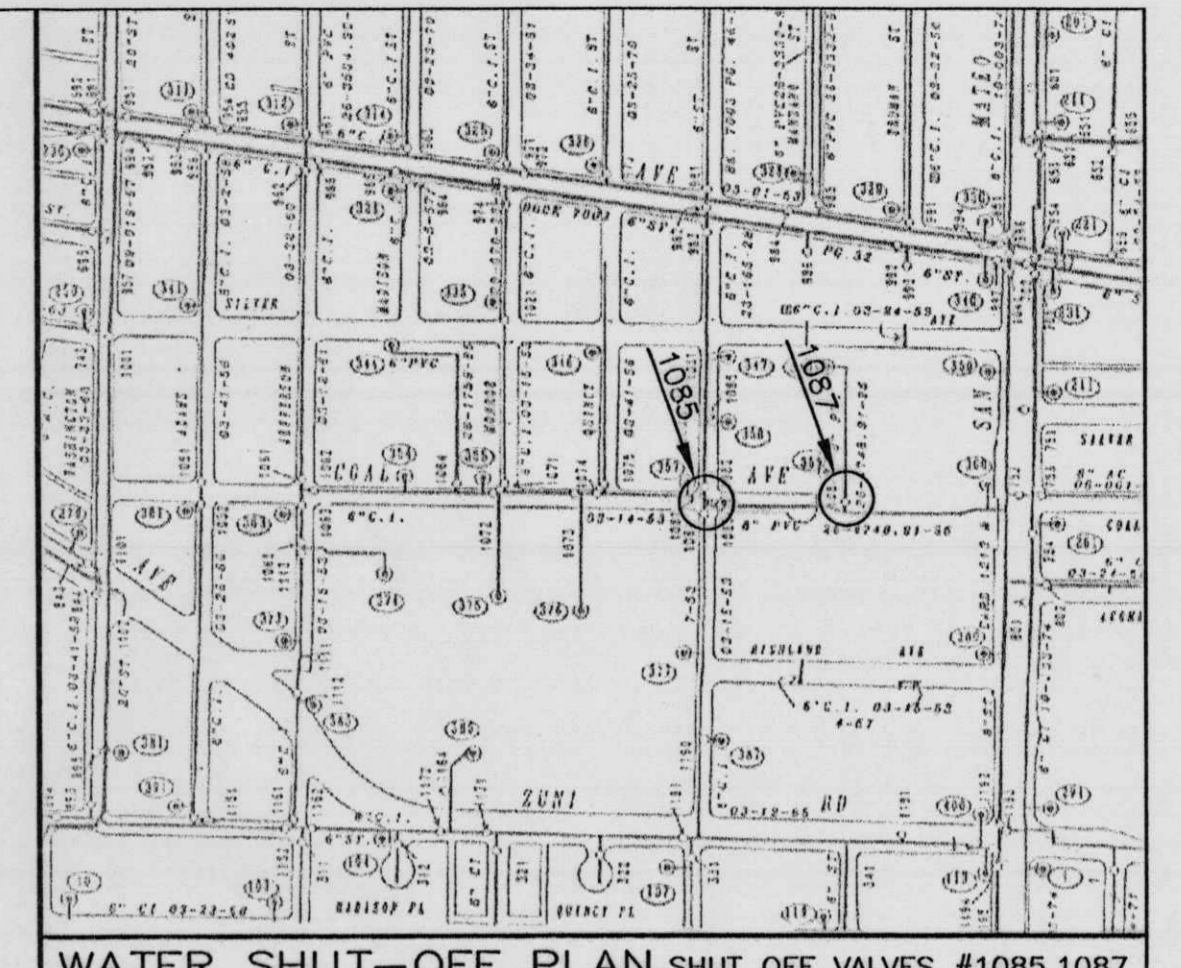
ENGINEER'S SEAL

ALBUQUERQUE WAL-MART EXPANSION, NM: 831-02
GRADING DETAILS
 TIERRA WEST, LLC
 8509 JEFFERSON NE
 ALBUQUERQUE, NEW MEXICO 87113
 (505)858-3100
 DRAWN BY BDG
 DATE 03/05/02
 20B3GRDET.DWG
 SHEET # **3A**
 JOB # 200083



SITE UTILITY NOTES

- CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING UTILITY DURING CONSTRUCTION AT NO COST TO THE OWNER.
- SEE SPECIFICATIONS FOR BACKFILLING AND COMPACTION REQUIREMENTS ON UTILITY TRENCHES.
- ALL FILL MATERIAL IS TO BE IN PLACE, AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
- CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITIES INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE.
- SANITARY SEWER PIPE AND MANHOLE SHALL BE AS FOLLOWS:
 - 8" PVC SDR35 PER ASTM D 3034, FOR PIPES LESS THAN 12' DEEP
 - 8" PVC SDR26 PER ASTM D 3034, FOR PIPES MORE THAN 12' DEEP
 - 6" PVC SCHEDULE 40
 - DUCTILE IRON PIPE PER AWWA C150
 - MANHOLES SHALL BE PRECAST CONCRETE W/BOOTS (TRAFFIC MODEL RING & COVER)
- WATERLINES SHALL BE AS FOLLOWS:
 - A. 4" AND LARGER SHALL BE C-900 CLASS 150 PVC PER ASTM 2241.
 - B. ALL FIRE HYDRANTS SHALL BE M&H MODEL 129 (3 WAY)(BRASS SEAT) 5 1/4" VALVE OPENING, 4" BURY, M.J. FOOT, 2-2 1/2 HOSE NOZZLES, 1-4 1/2" STEAMER NOZZLE.
- ALL WATER JOINTS ARE TO BE MECHANICAL JOINTS WITH THRUST BLOCKING AS CALLED OUT IN SPECIFICATIONS.
- ALL UTILITIES SHOULD BE KEPT TEN (10') APART (PARALLEL) OR WHEN CROSSING 18" VERTICAL CLEARANCE (OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE.)
- CONTRACTOR SHALL GROUT AROUND ALL PIPE ENTRANCES TO SANITARY SEWER MANHOLES WITH NON-SHRINKING GROUT TO ASSURE CONNECTION IS WATER TIGHT.
- IN THE EVENT OF A VERTICAL CONFLICT BETWEEN WATERLINES, SANITARY LINES, STORM LINES AND GAS LINES (EXISTING AND PROPOSED), THE SANITARY LINE SHALL BE DUCTILE IRON PIPE WITH MECHANICAL JOINTS AT LEAST 10 FEET ON BOTH SIDES OF CROSSING, THE WATERLINE SHALL HAVE MECHANICAL JOINTS WITH APPROPRIATE THRUST BLOCKING AS REQUIRED TO PROVIDE A MINIMUM OF 18" CLEARANCE. MEETING REQUIREMENTS OF ANSI A21.10 OR ANSI 21.11 (AWWA C-151) (CLASS 50).
- LINES UNDERGROUND SHALL BE INSTALLED, INSPECTED AND APPROVED BEFORE BACKFILLING.
- TOPS OF EXISTING MANHOLES SHALL BE RAISED AS NECESSARY TO BE FLUSH WITH PROPOSED PAVEMENT ELEVATIONS WITH WATER TIGHT LIDS.
- ALL CONCRETE FOR ENCASUREMENTS SHALL HAVE A MINIMUM 28 DAY COMPRESSION STRENGTH AT 3000 P.S.I.
- DRAWINGS DO NOT PURPORT TO SHOW ALL EXISTING UTILITIES.
- EXISTING UTILITIES SHALL BE VERIFIED IN FIELD PRIOR TO INSTALLATION OF ANY NEW LINES.
- REFER TO INTERIOR PLUMBING DRAWINGS FOR TIE-IN OF ALL UTILITIES.
- CONTRACTOR IS RESPONSIBLE FOR COMPLYING TO THE SPECIFICATIONS OF THE LOCAL AUTHORITIES (CITY OF ALBUQUERQUE) WITH REGARDS TO MATERIALS AND INSTALLATION OF THE WATER AND SEWER LINES.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICE.
- CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS AND SPECIFICATIONS FOR ACTUAL LOCATION OF ALL UTILITY ENTRANCES TO INCLUDE SANITARY SEWER LATERALS, DOMESTIC AND FIRE PROTECTION WATER SERVICE, ELECTRICAL, TELEPHONE, AND GAS SERVICE. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES, IN SUCH A MANNER AS TO AVOID CONFLICTS AND ASSURE PROPER DEPTHS ARE ACHIEVED AS WELL AS COORDINATING WITH CITY UTILITY REQUIREMENTS AS TO LOCATION AND SCHEDULING FOR TIE-INS/CONNECTIONS PRIOR TO CONNECTING TO EXISTING UTILITIES.
- THE CONTRACTOR SHALL CONDUCT ALL REQUIRED TESTS TO THE SATISFACTION OF THE RESPECTIVE UTILITY COMPANIES AND THE OWNER'S INSPECTING AUTHORITIES.
- CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST STANDARDS OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING, AND OTHER MEANS OF PROTECTION. THIS TO INCLUDE BUT NOT LIMITED FOR ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE TO COMPLY WITH PERFORMANCE CRITERIA FOR OSHA.
- THE INSTALLATION OR REPAIR OF ANY UNDERGROUND FACILITIES OR PIPING WHICH CONNECTS TO OR FURNISHES WATER FOR THE FIRE PROTECTION SPRINKLER SYSTEM SHALL BE PERFORMED ONLY BY A LICENSED UTILITY CONTRACTOR, FIRE PROTECTION SPRINKLER CONTRACTOR, OR LICENSED PLUMBER. SEE O.C.G.A. TITLE 25-11-7-(g). A COPY OF THE LICENSE OR CERTIFICATE OF COMPETENCY SHALL BE PROVIDED TO THE INSPECTOR AT THE FINAL INSPECTION.
- UTILITY WORK TO BE DONE IN FRONT OF STORE TO BE COORDINATED WITH WAL-MART CONSTRUCTION MANAGER. FRONT UTILITY WORK WILL BE DONE AT NIGHT IF NOT LOCATED BEHIND CONSTRUCTION FENCE.
- CONTRACTOR TO RELOCATE LIGHT POLE AND REPLACE LUMINAIRES AS INDICATED. CONTRACTOR TO BUILD NEW POLE BASE AND STUB WIRE AS NEEDED.
- REFER TO BUILDING PLANS FOR SITE LIGHTING ELECTRICAL PLAN.
- REFER TO SHEET 12 FOR SERVICE STATION UTILITIES.



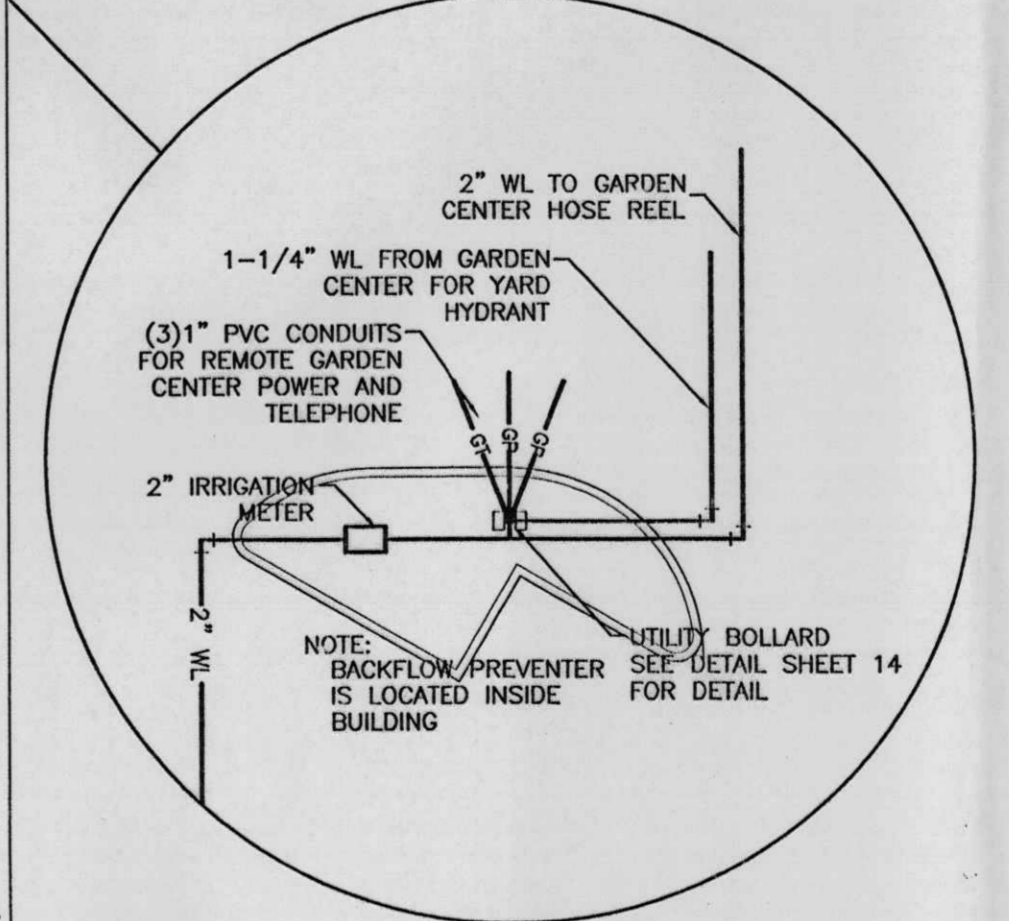
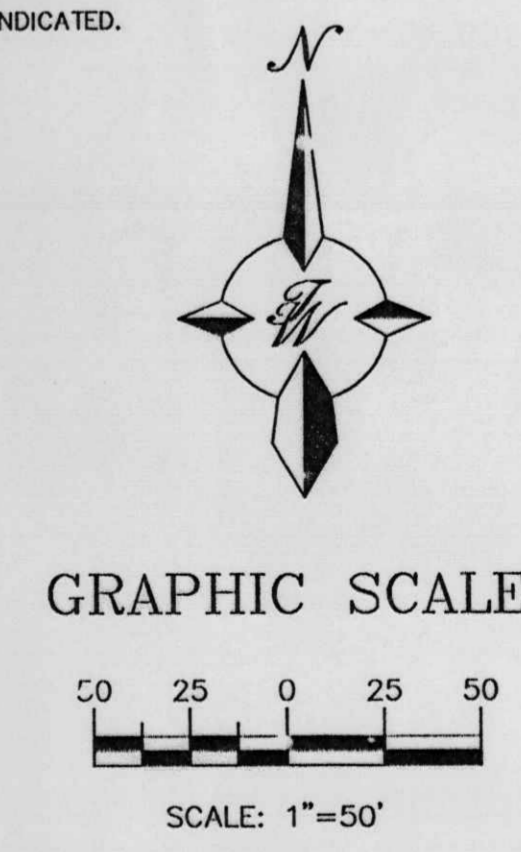
WATER SHUT-OFF PLAN SHUT OFF VALVES #1085,1087

- NOTES:**
- ONLY WATER SYSTEMS PERSONNEL ARE AUTHORIZED TO OPERATE VALVES.
 - NOTIFY CITY OF ALBUQUERQUE, WATER SYSTEMS DIVISION (PHONE 857-8200) FIVE (5) WORKING DAYS IN ADVANCE OF NEEDING EXECUTION OF THE WATER SHUT OFF PLAN
 - APPROXIMATE SHUT OFF TIME WILL BE 24 HOURS. CONTRACTOR IS TO MAKE THE WATER CONNECTION DURING THE WAL-MART OFF HOURS.
 - SHUTOFF THE VALVES INDICATED IN THE ABOVE PLAN
 - SEE IRRIGATION PLANS FOR IRRIGATION IMPROVEMENTS AND DETAILS

- CITY UTILITY NOTES:**
- PNM IS RESPONSIBLE FOR RELOCATION AND/OR ABANDONMENT OF THERE LINES AND PULL BOXES AS SHOWN.
 - GAS COMPANY IS RESPONSIBLE FOR RELOCATION OF THEIR LINES AS SHOWN.
 - COMCAST IS RESPONSIBLE FOR RELOCATION OF THEIR LINES AND MANHOLES AS SHOWN.

LEGEND

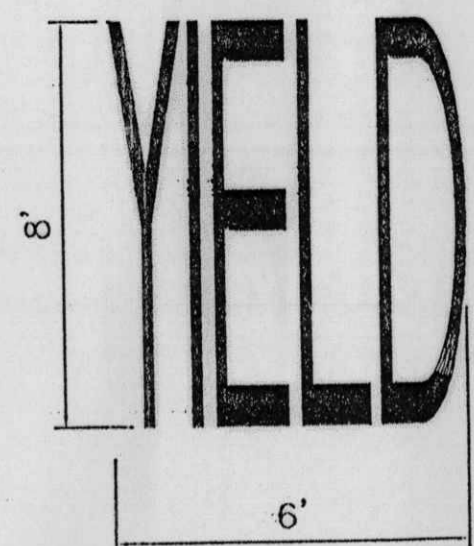
	EXISTING SD MANHOLE
	EXISTING ROOF DRAIN
	EXISTING INLET
	EXISTING SAS MANHOLE
	EXISTING METER
	EXISTING VALVE W/BOX
	EXISTING FIRE HYDRANT
	EXISTING SPRINKLER CONTROL BOX
	EXISTING FIRE PROTECTION VALVE
	EXISTING POWER POLE WITH FEED
	EXISTING POWER POLE W/FEED & LIGHT
	EXISTING POWER POLE
	EXISTING POWER POLE WITH LIGHT
	EXISTING PULL BOX
	EXISTING GAS VALVE
	EXISTING BOLLARD
	EXISTING PARKING LOT LIGHT
	PROPOSED PARKING LOT LIGHT
	PROPOSED CLEAN OUT
	PROPOSED DOUBLE CLEAN OUT
	EXISTING OVERHEAD UTILITIES
	EXISTING UNDERGROUND UTILITIES
	EXISTING GAS
	EXISTING 8" SAS
	EXISTING SANITARY SEWER LINE
	EXISTING WATER LINE
	EXISTING STORM SEWER LINE
	EXISTING CURB & GUTTER
	PROPOSED STORM SEWER LINE
	PROPOSED SANITARY SEWER LINE
	PROPOSED FIRE HYDRANT
	PROPOSED WATERLINE
	BOUNDARY LINE
	EASEMENT



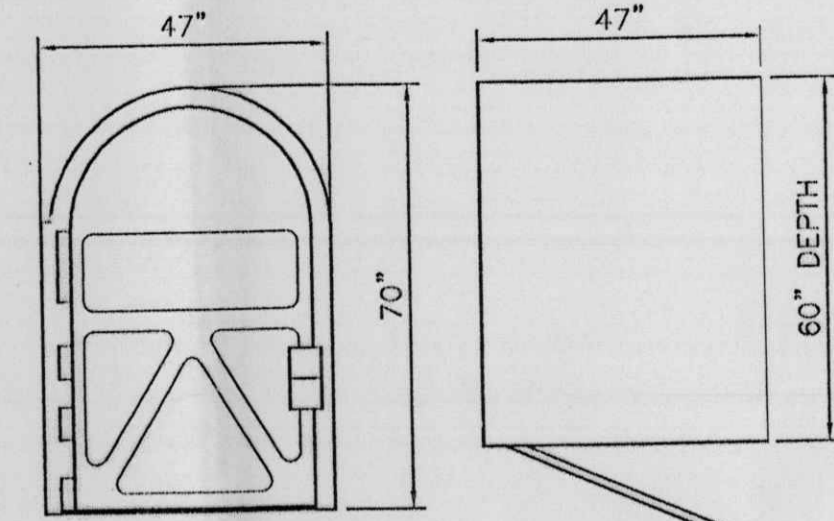
APD PLANS CHECKING OFFICE
924-3611
APPROVED
R.C. Jones 4-2-02
SUBMITTAL & DATE

 ENGINEER'S SEAL RONALD R. BOHANNON P.E. #7868	ALBUQUERQUE WAL-MART EXPANSION, NM: 831-02	DRAWN BY BDC
	MASTER UTILITY PLAN	DATE 03/14/02
TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	2083MUB.DWG	SHEET # 4
		JOB # 200083

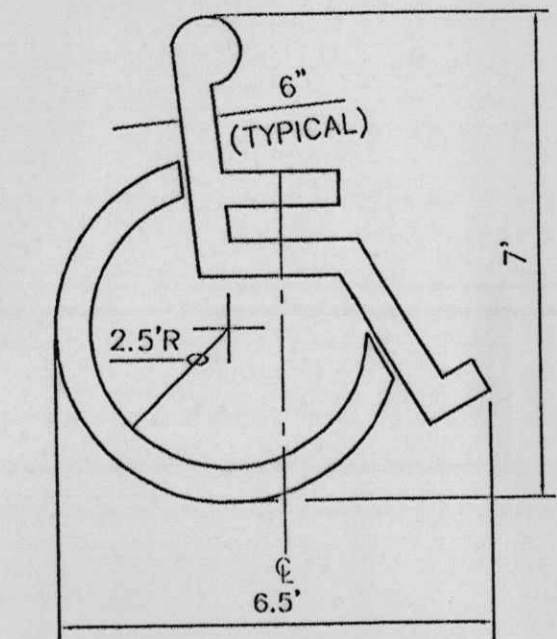
- NOTE:
- WORDS AND ARROWS FOR DRIVEWAYS SHALL BE APPLIED ACCORDING TO REQUIREMENTS AS OUTLINED IN SECTION 3B OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREET AND HIGHWAYS.
 - THESE WORDS AND ARROWS ARE TO BE PAINTED REFLECTIVE WHITE.



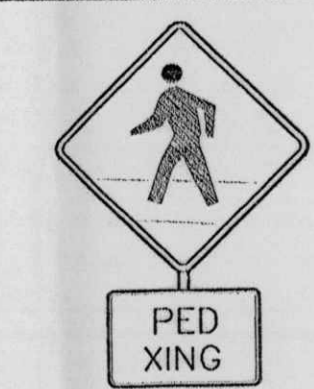
YIELD MARKER
SCALE: NTS



BIKE LOCKER DETAIL
NTS

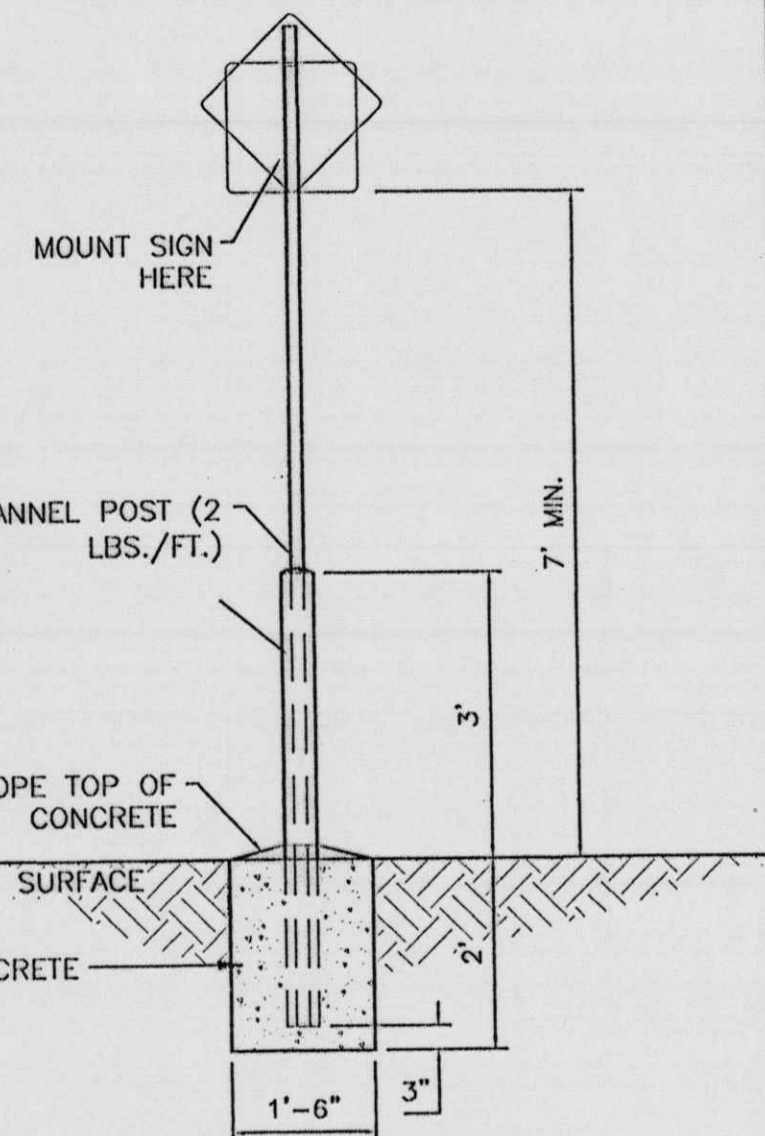


ACCESSIBLE PARKING SYMBOL
SCALE: NTS
LOCATE AT EDGE OF PARKING SPACE UNLESS ACCOMPANIED BY 'VAN' LETTERING



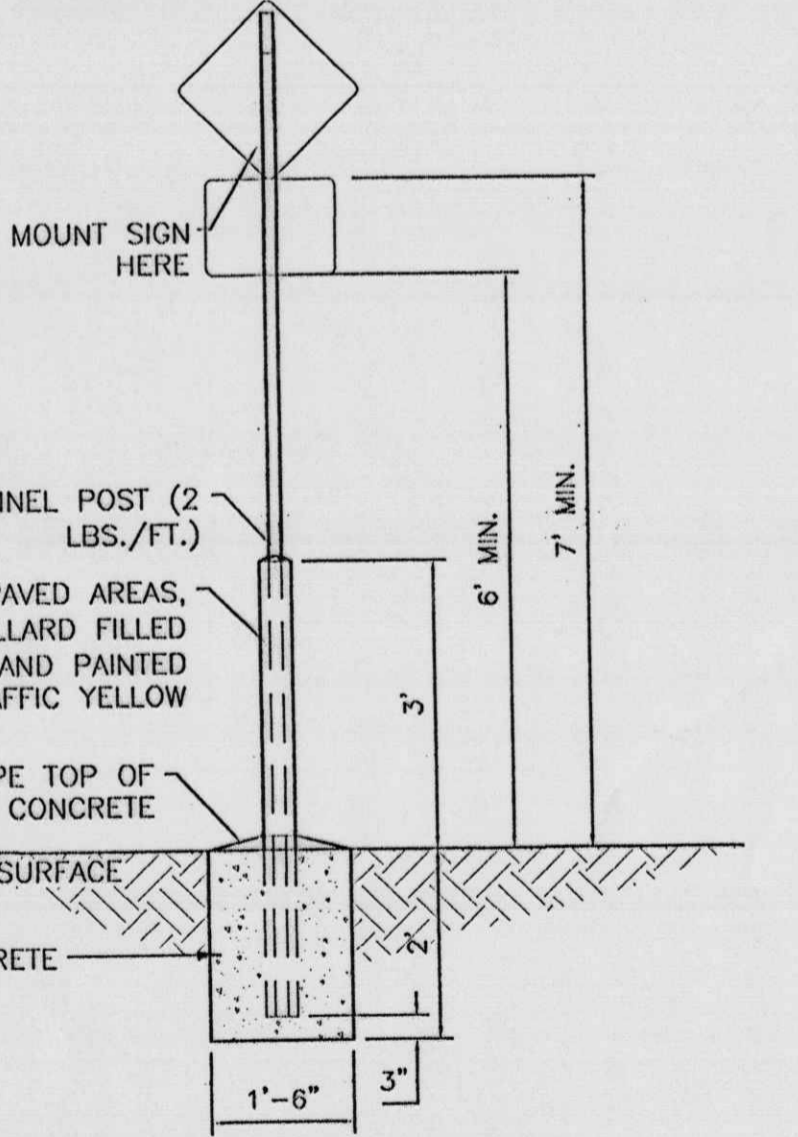
BLACK LEGEND ON YELLOW BACKGROUND (W11A-2) (W11A-2P)
PEDESTRIAN CROSSING SIGN
SCALE: NTS

ALL SIGNS SHALL COMPLY WITH U.S. DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION'S "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES", LOCAL CODES AND AS SPECIFIED. MOUNT SIGNS TO POST IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.

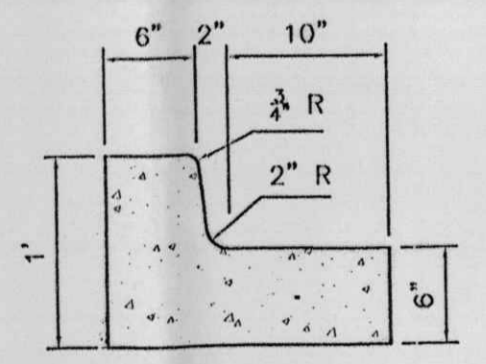


STANDARD SIGN BASE
SCALE: 1/2"=1'

ALL SIGNS SHALL COMPLY WITH U.S. DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION'S "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES", LOCAL CODES AND AS SPECIFIED. MOUNT SIGNS TO POST IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.

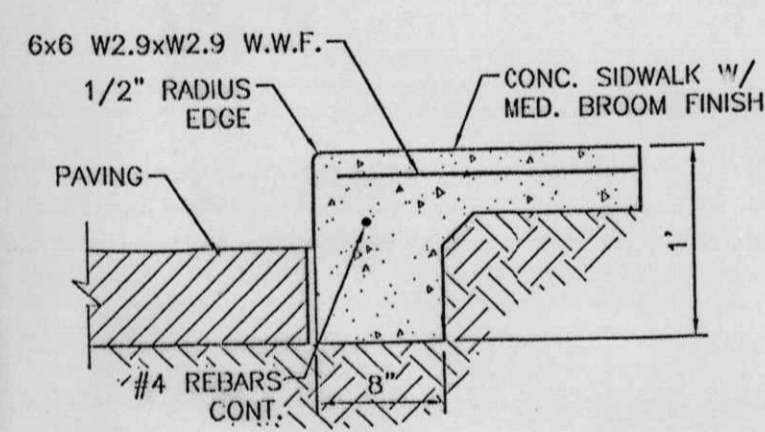


PEDESTRIAN SIGN BASE
SCALE: 1/2"=1'

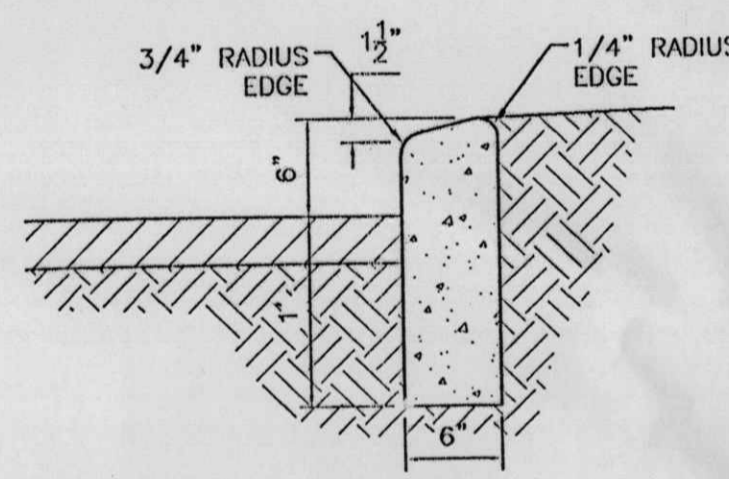


6 IN. CURB AND GUTTER
SCALE: 1"=1'

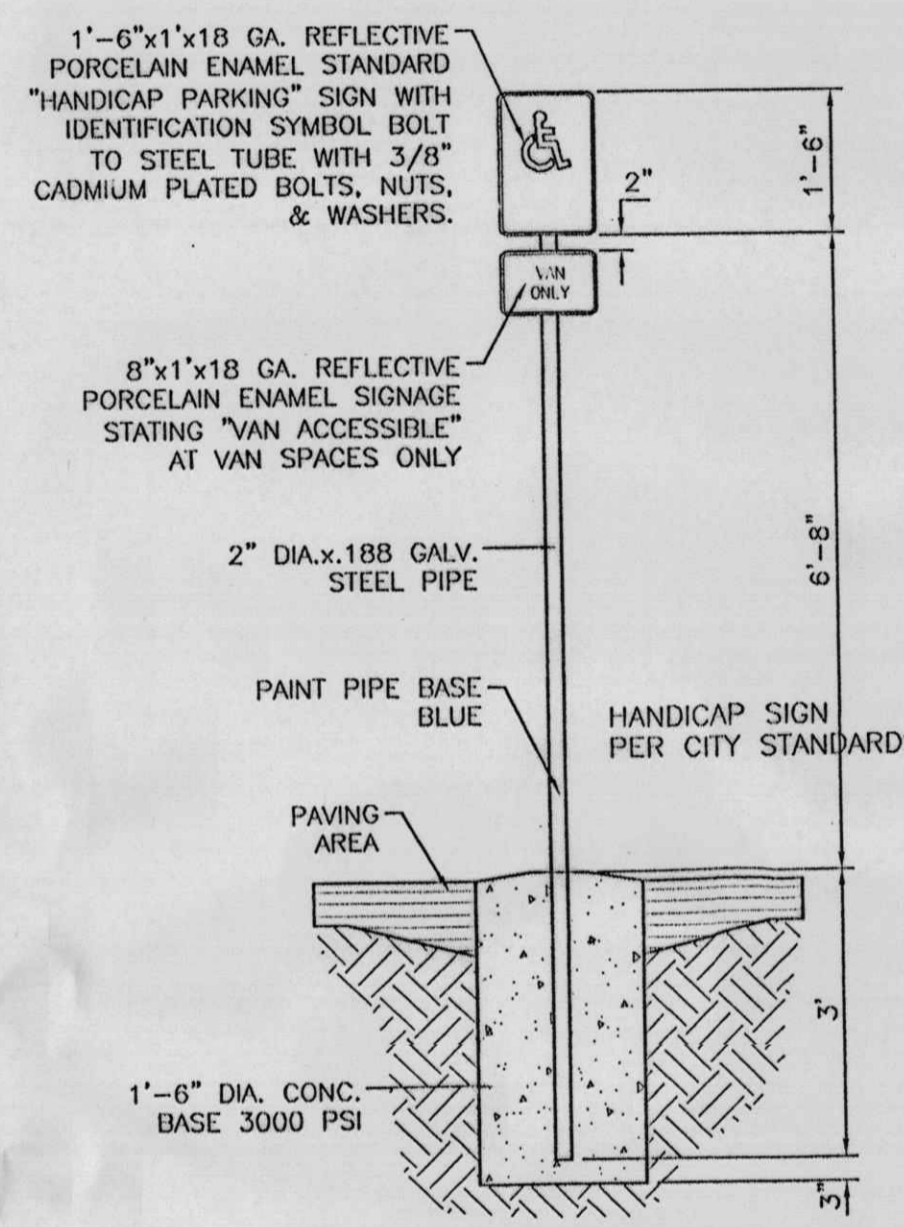
- CURB GENERAL NOTES:**
- ALL CURBS TO BE CONSTRUCTED OF PORTLAND CEMENT CONCRETE, PER WAL-MART SPECIFICATIONS.
 - PROVIDE CONTRACTION JTS. 12' MAX., SPACING, 1/2" EXP. JTS. AT CURB RETURNS AND AT A MAX. SPACING OF 120' BETWEEN CURB RETURNS AND EACH SIDE OF SEPARATELY CONSTRUCTED DRIVEWAYS. CONTRACTION JTS., SHALL BE EITHER SAWED OR TOOLED A MINIMUM OF 1" DEEP AT FINISHED FACES.
 - ALL EDGES SHALL BE EDGED WITH A 3/8" RADIUS EDGING TOOL.
 - 1/4" ISOLATION JOINT SHALL BE PLACED BETWEEN SIDEWALK AND CURB WHEN CAST ADJACENT TO EACH OTHER.



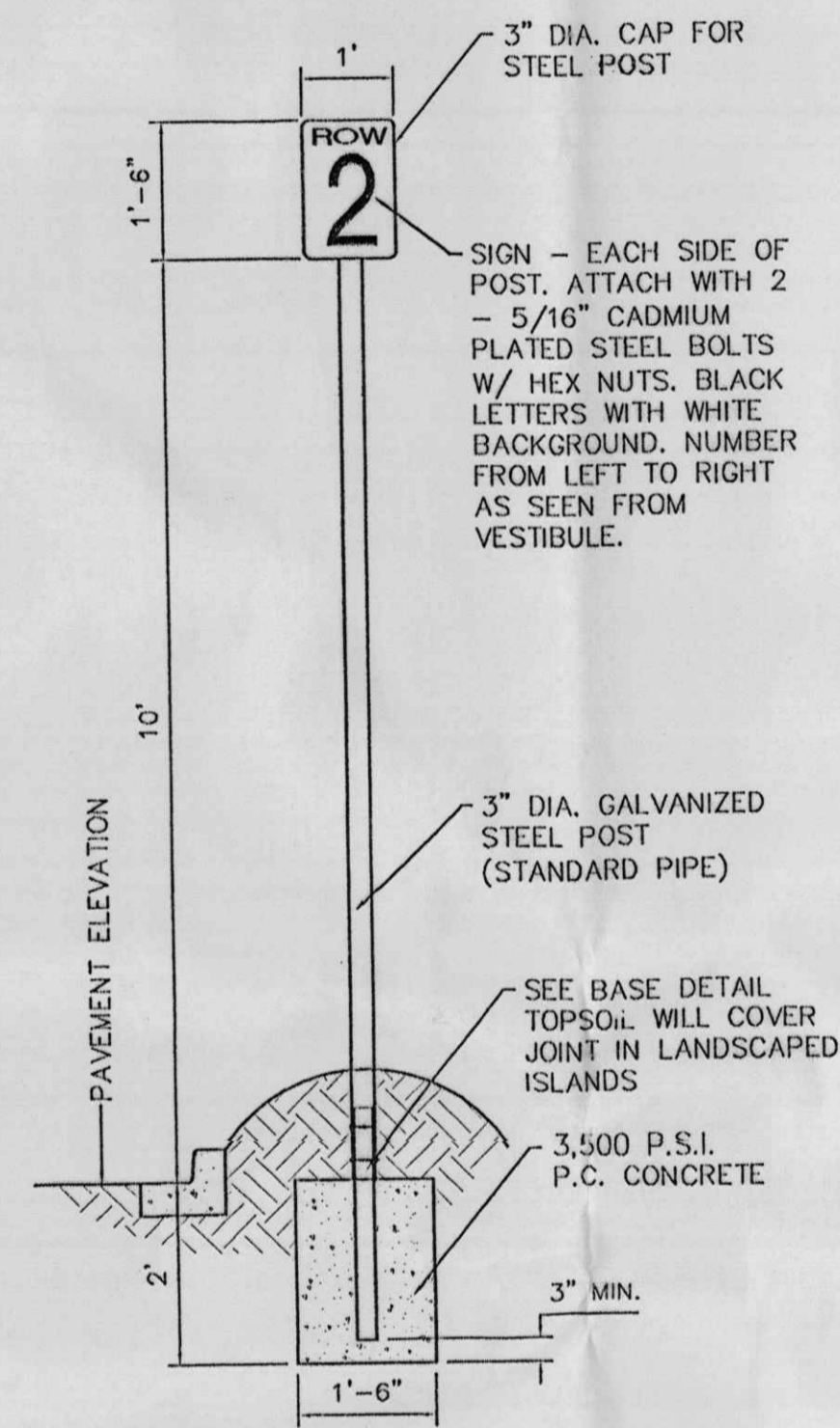
DETAIL--TURNDOWN CURB
1" = 1'-0"



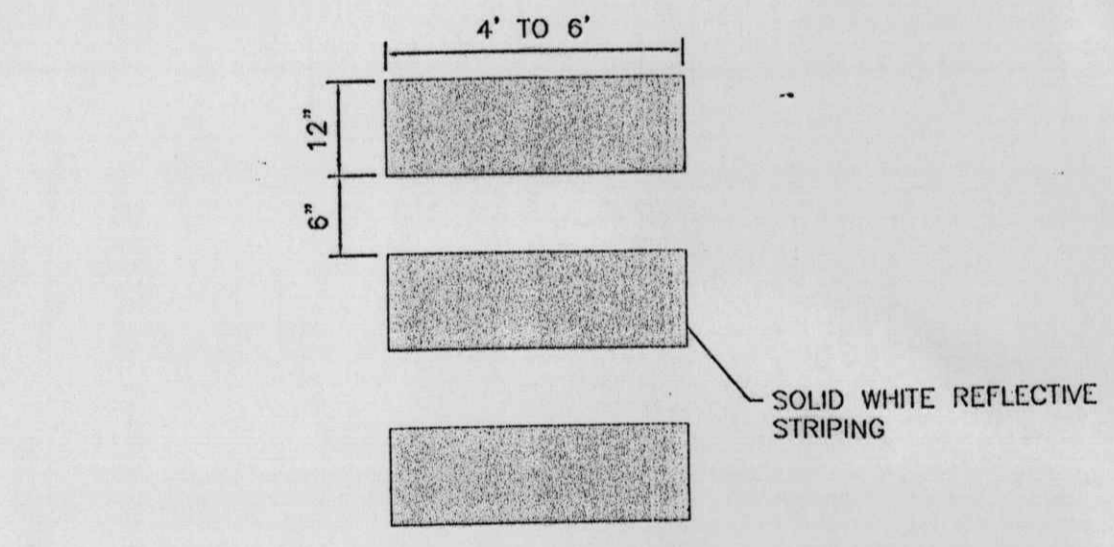
6" HEADER CURB DETAIL
1"=1'



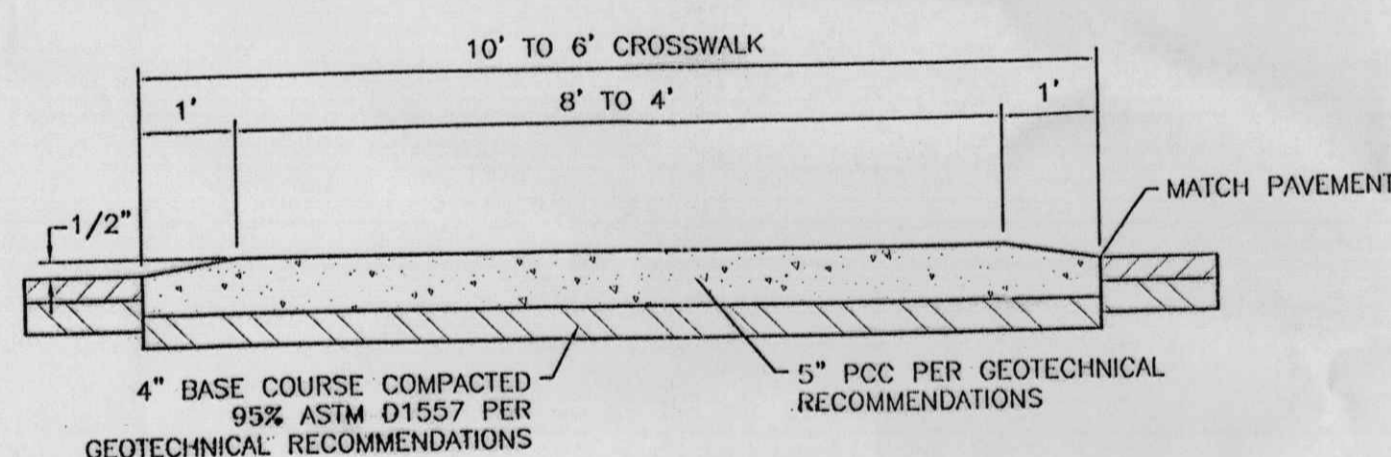
HANDICAP SIGN
SCALE: 1/2"=1'



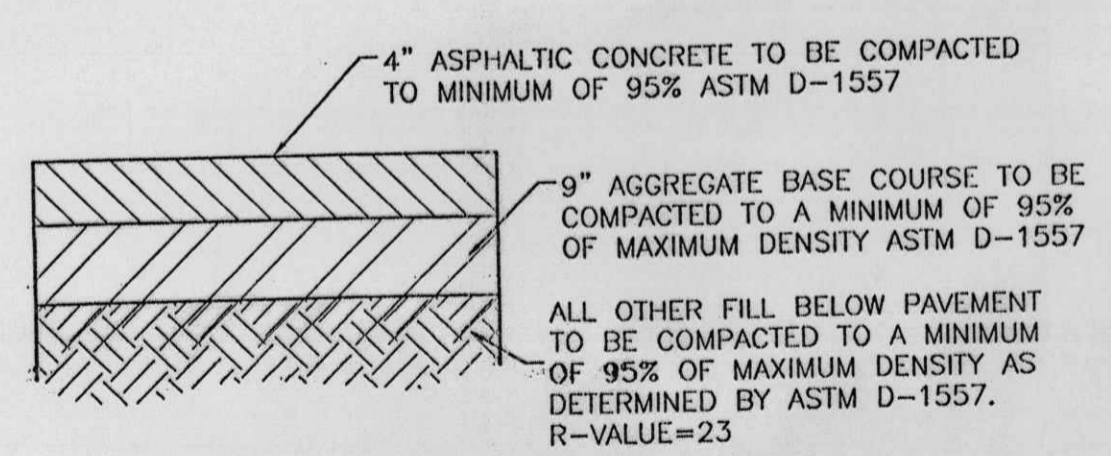
AISLE SIGN IN LANDSCAPE ISLAND
SCALE: 1/2"=1'



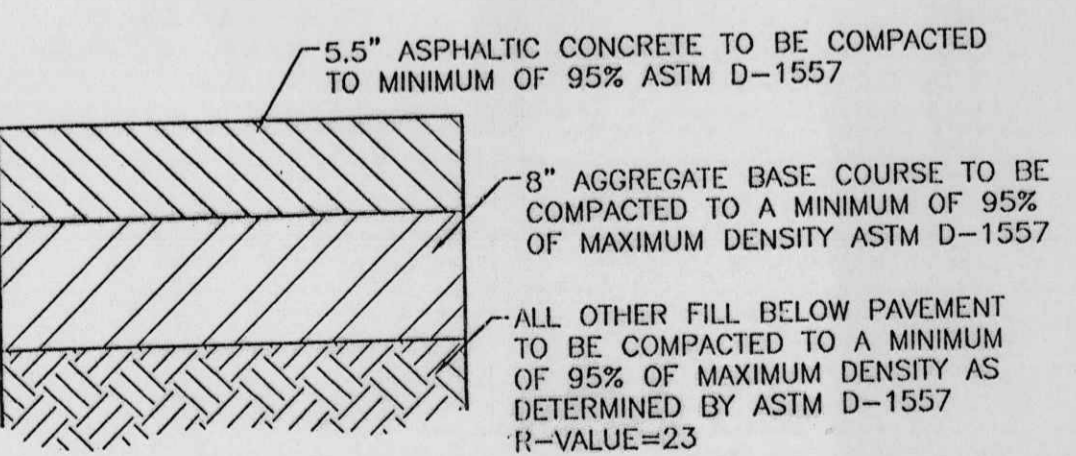
CROSSWALK PLAN VIEW



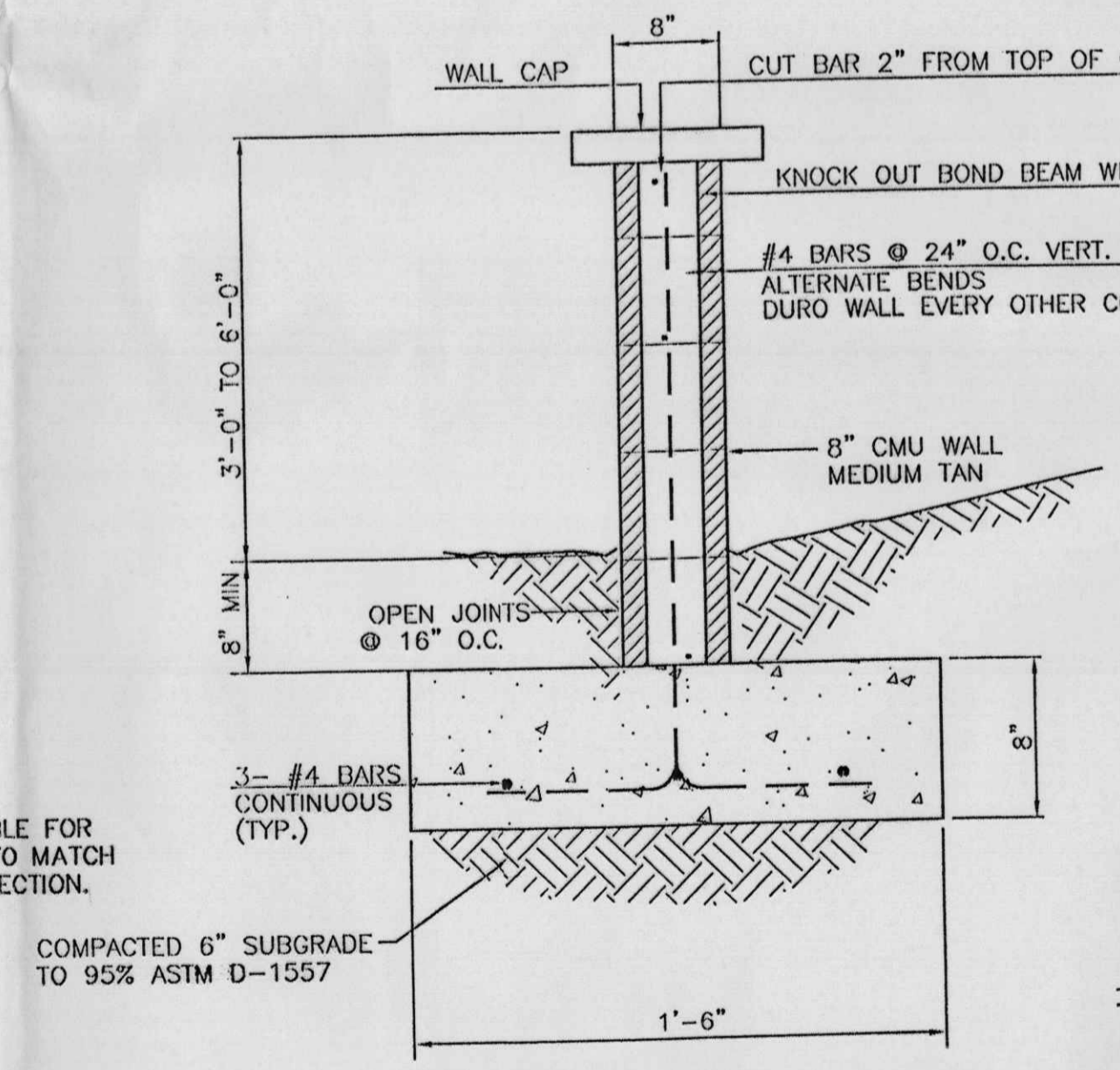
RAISED CROSSWALK
SCALE: 1/2"=1'



AUTOMOBILE PARKING TYPICAL PAVING SECTION
1" = 1' DESIGNATED BY [Symbol]

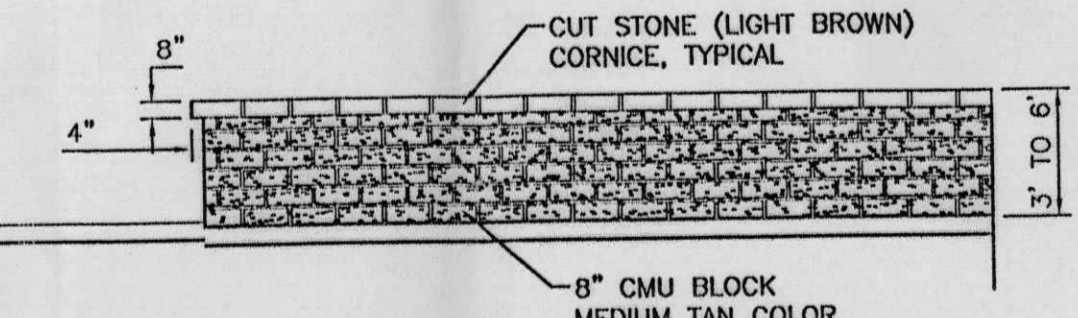


AUTOMOBILE DRIVEWAYS AND AREAS SUBJECT TO SEMI-TRUCKS TYPICAL PAVING SECTION
1" = 1' DESIGNATED BY [Symbol]

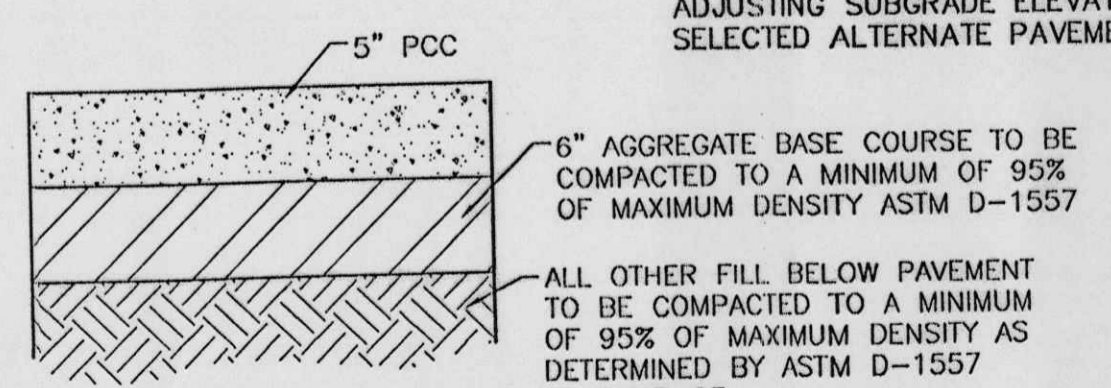


3' SCREEN WALL SECTION
NTS

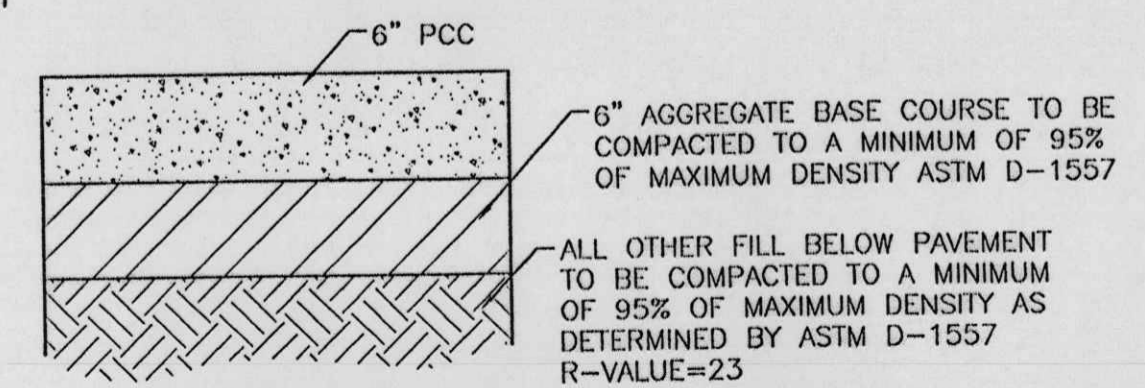
- GENERAL NOTES:**
- ALL CONCRETE IS TO BE 3000 PSI @ 28 DAYS.
 - MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM. D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
 - BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
 - ALL BARS ARE TO BE GRADE 60, ASTM 615.
 - TRUSS TYPE DURO-WALL EVERY OTHER COURSE.
 - DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO V-BARS, SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
 - USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 16'.



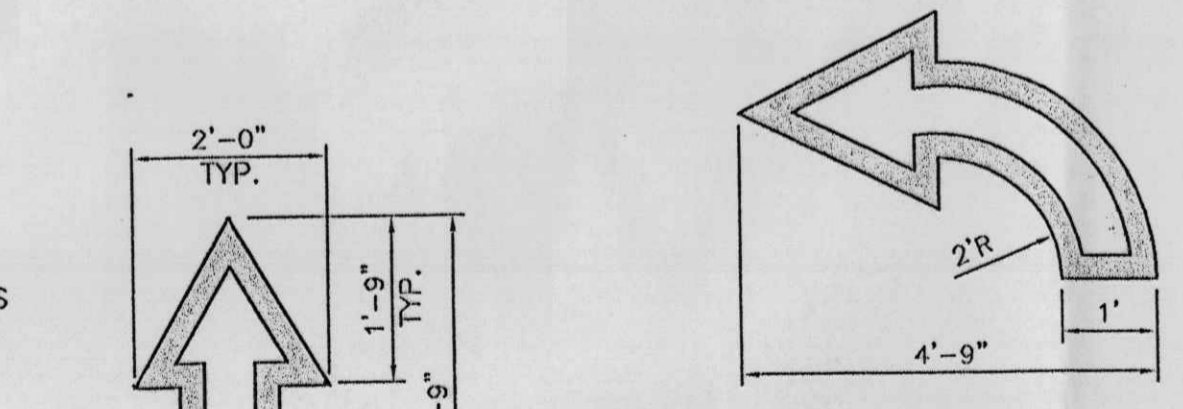
SCREEN WALL DETAIL (TYP.)
NTS



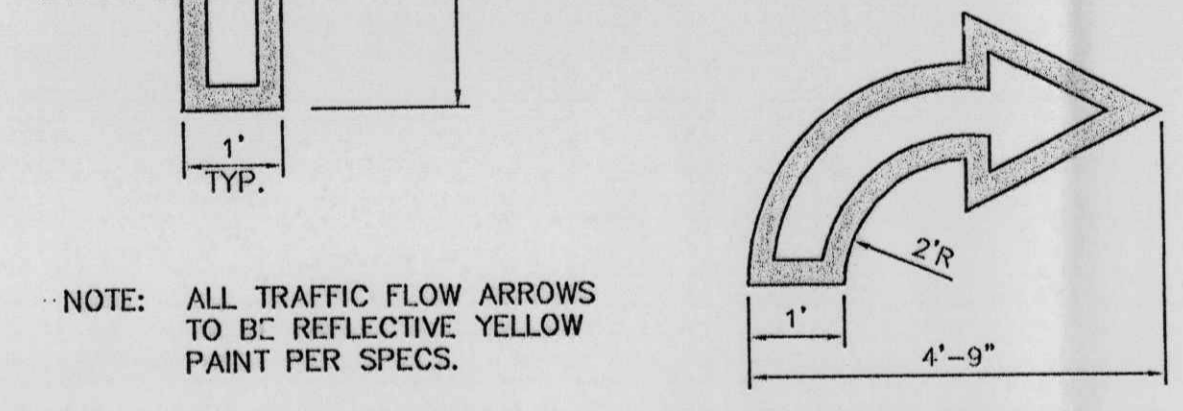
STANDARD CONCRETE SECTION
1" = 1' DESIGNATED BY [Symbol]



HEAVY CONCRETE SECTION
1" = 1' DESIGNATED BY [Symbol]



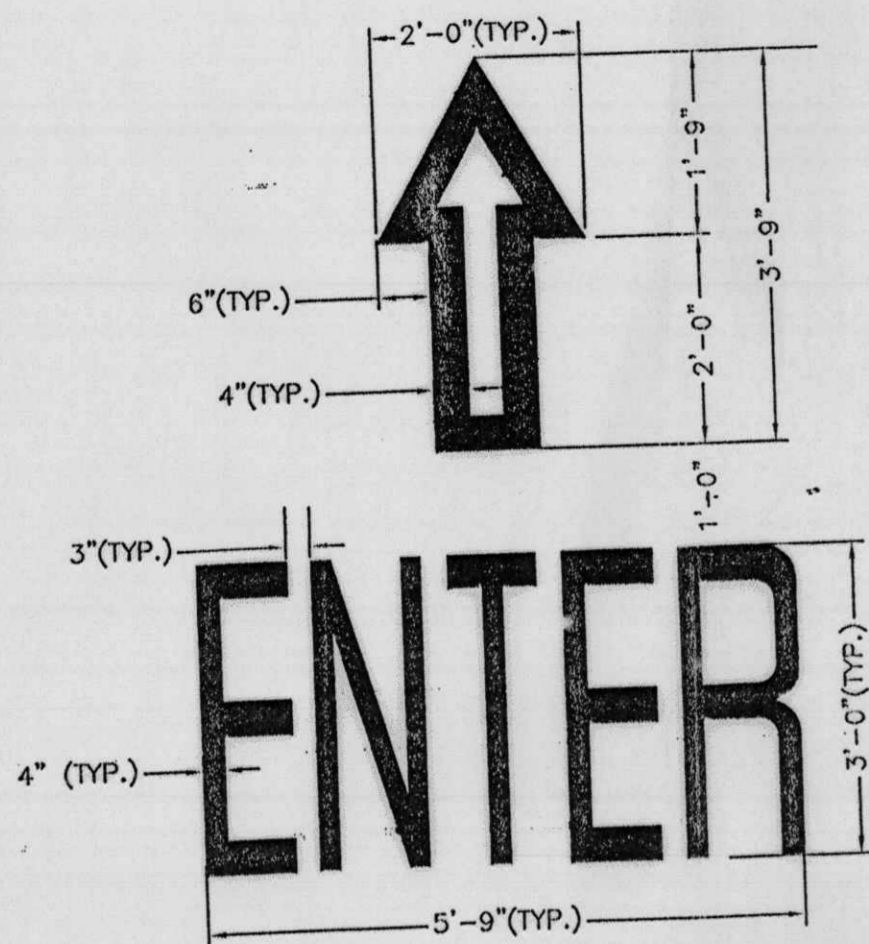
LEFT TURN



RIGHT TURN

NOTE: ALL TRAFFIC FLOW ARROWS TO BE REFLECTIVE YELLOW PAINT PER SPECS.

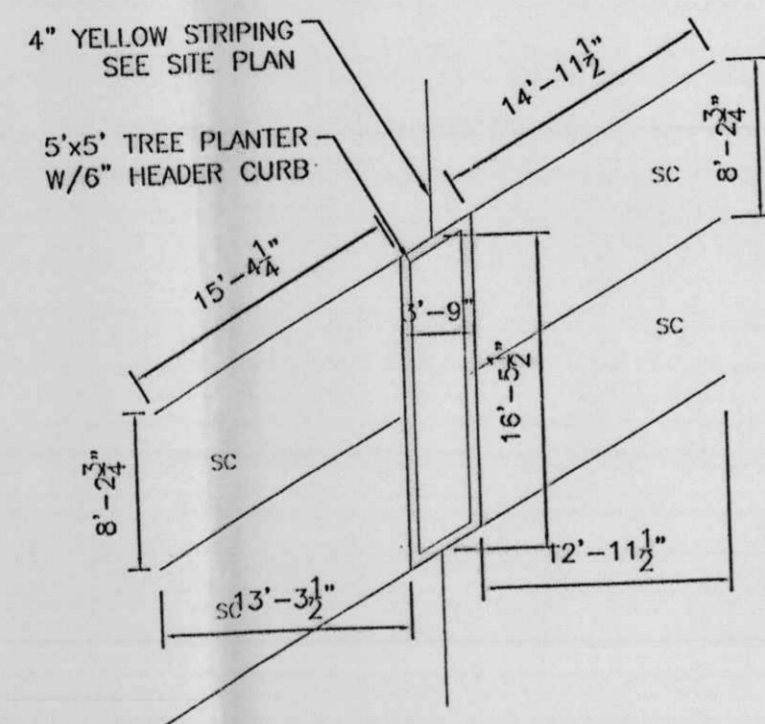
NO.	DATE	REMARKS	BY
REVISIONS			
ENGINEER'S SEAL		ALBUQUERQUE WAL-MART EXPANSION, NM: 831-02	
		DRAWN BY BDG	
		DATE 01/18/02	
		DETAILS.DWG	
		SHEET #	
		6	
		JOB # 990031	
RON-LD R. BOHANNAN P.E. #7868		TIENNA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	



ENTER MARKER

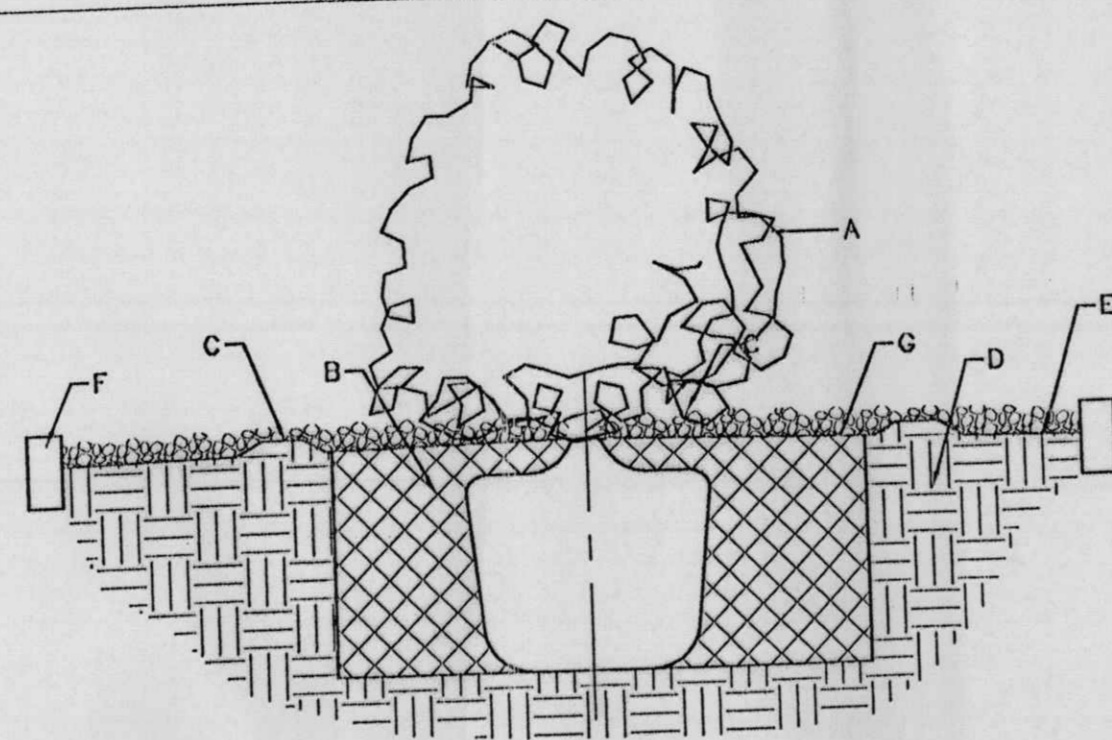
SCALE: NTS

NOTE: ALL TRAFFIC FLOW ARROWS TO BE SOLID YELLOW REFLECTIVE TRAFFIC PAINT PER DIMENSIONS ABOVE.



ELONGATED TREE PLANTER

SCALE: NTS



GENERAL NOTES:

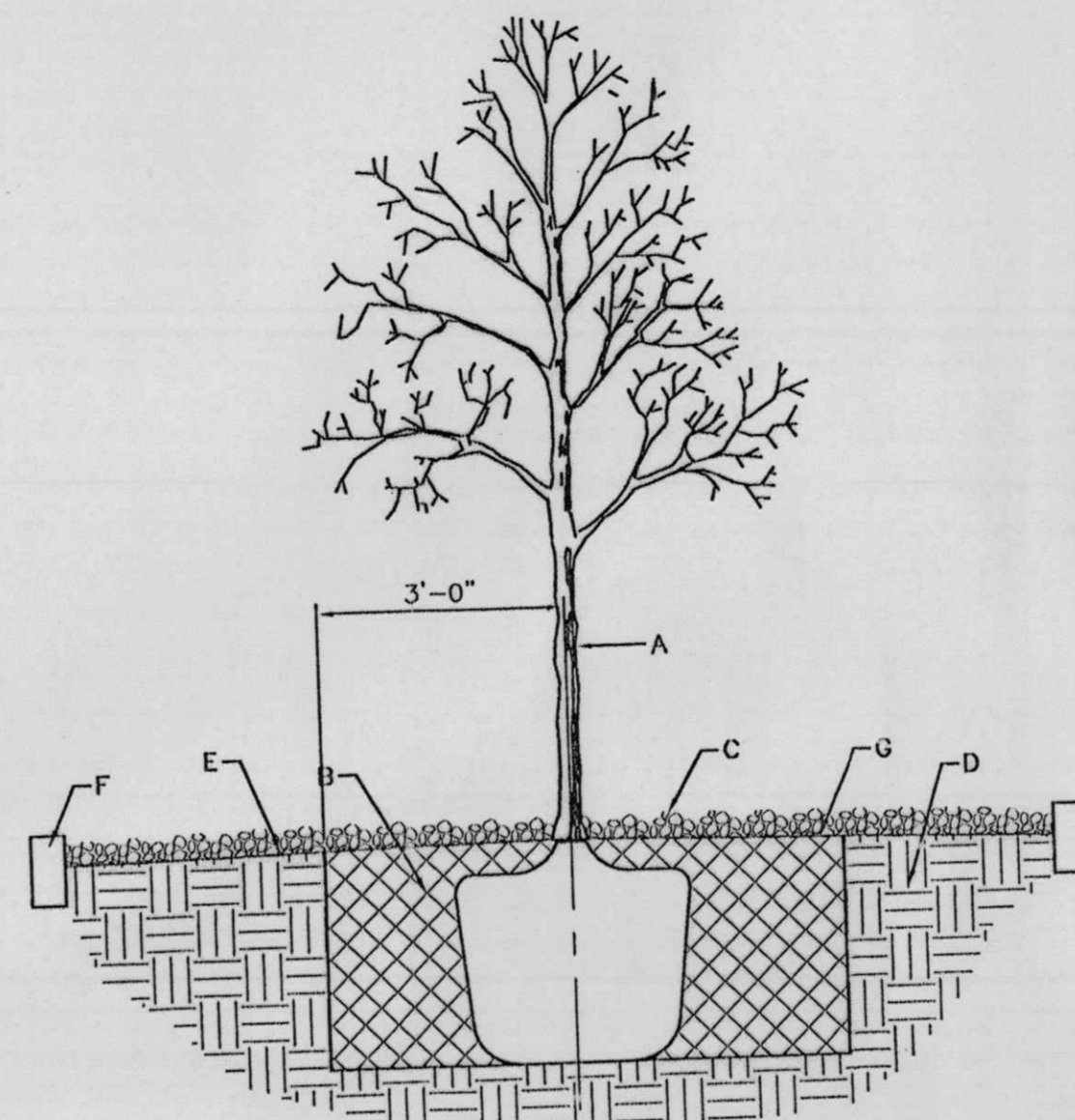
1. ROOTBALL SHALL BE PLACED ON DISTURBED SOIL TO PREVENT TREE FROM SETTLING.
2. TOP OF ROOTBALL INDICATES LEVEL AT WHICH TREE WAS GROWN AND DUG, THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED, THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.
3. PRIOR TO BACKFILL TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.
4. PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.

CONSTRUCTION NOTES:

- A. SHRUB
- B. BACKFILL WITH EXISTING SOIL
- C. CREATE EARTH BERM TO FORM RETENTION BASIN
- D. 4" DEEP 3/4" CRUSHED GREY GRAVEL
- E. FINISH GRADE 4" BELOW TOP OF CURB
- F. UNDISTURBED SOIL
- G. FILTER FABRIC
- H. STANDARD 6" CURB

SHRUB IN GRAVEL

SCALE: NTS



GENERAL NOTES:

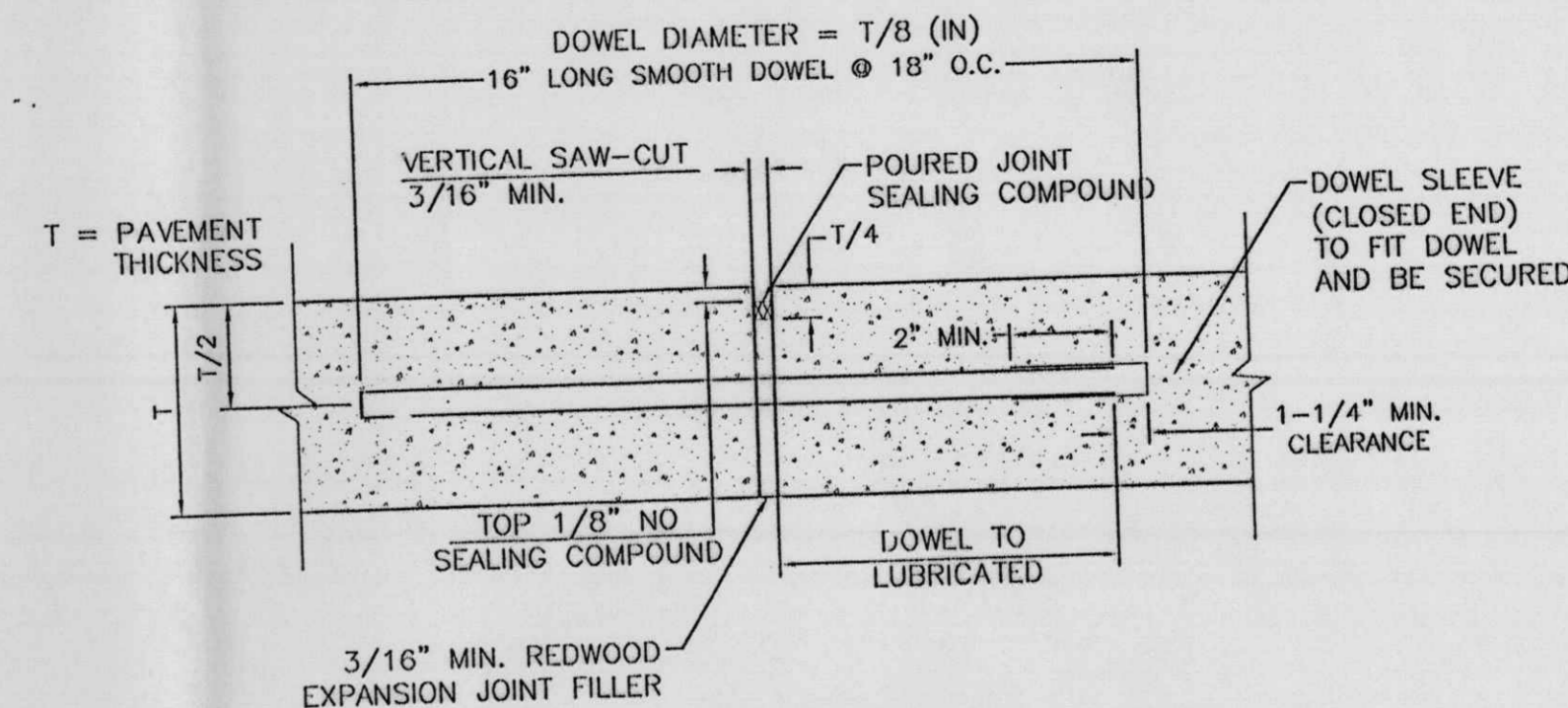
1. ROOTBALL SHALL BE PLACED ON DISTURBED SOIL TO PREVENT TREE FROM SETTLING.
2. TOP OF ROOTBALL INDICATES LEVEL AT WHICH TREE WAS GROWN AND DUG, THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED, THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.
3. PRIOR TO BACKFILL TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.
4. PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.

CONSTRUCTION NOTES:

- A. TREE
- B. BACKFILL WITH EXISTING SOIL
- C. 4" DEEP 3/4" CRUSHED GREY GRAVEL
- D. UNDISTURBED SOIL
- E. FILTER FABRIC
- F. STANDARD 6" CURB
- G. FINISH GRADE 4" BELOW TOP OF CURB

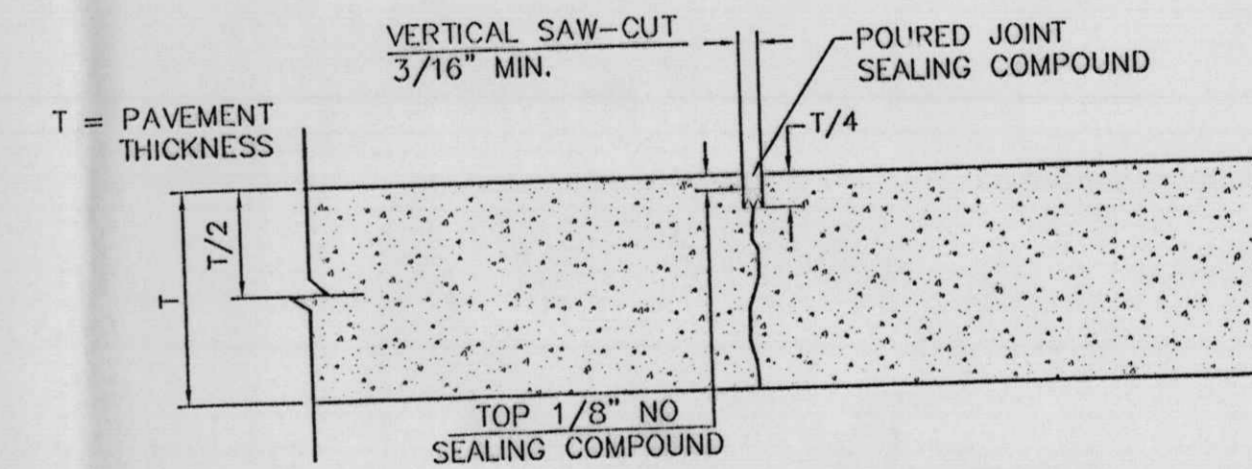
TREE PLANTING

SCALE: NTS

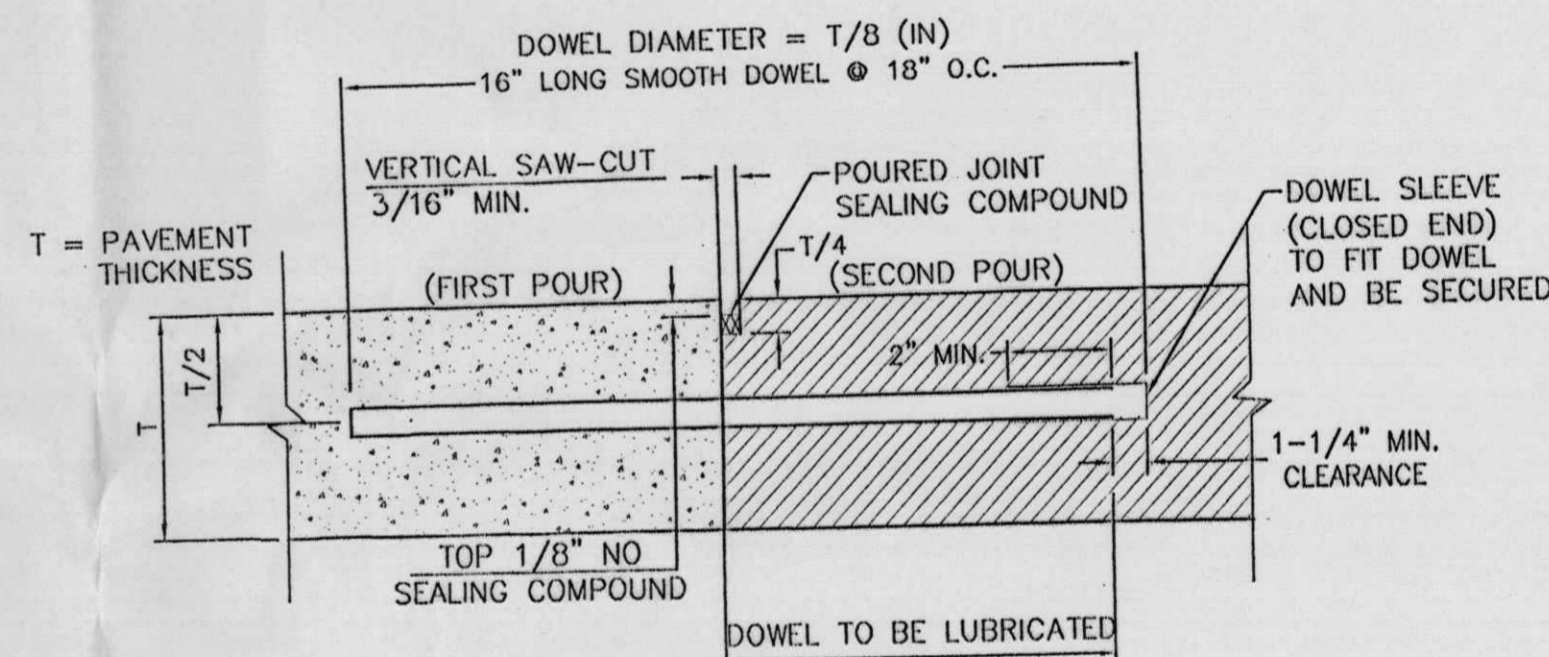


NOTE:
1. DOWELS SHALL BE SUPPORTED BY AN APPROVED DEVICE.

TRANSVERSE EXPANSION JOINT

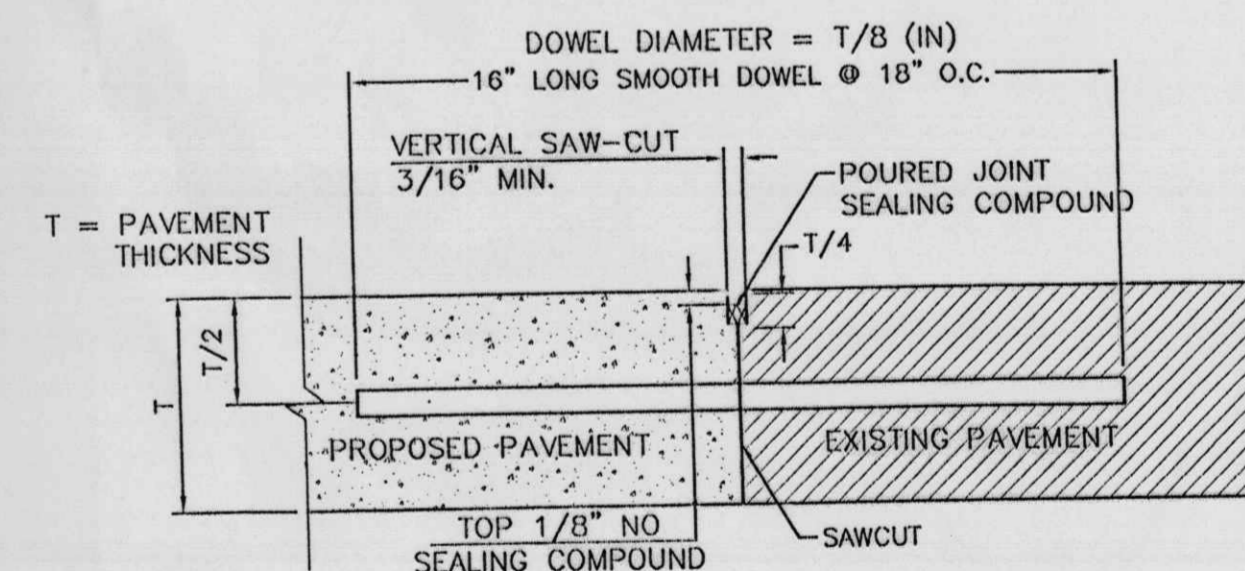


CONTRACTION JOINT



NOTE:
1. DOWELS SHALL BE SUPPORTED BY AN APPROVED DEVICE.

CONSTRUCTION JOINT

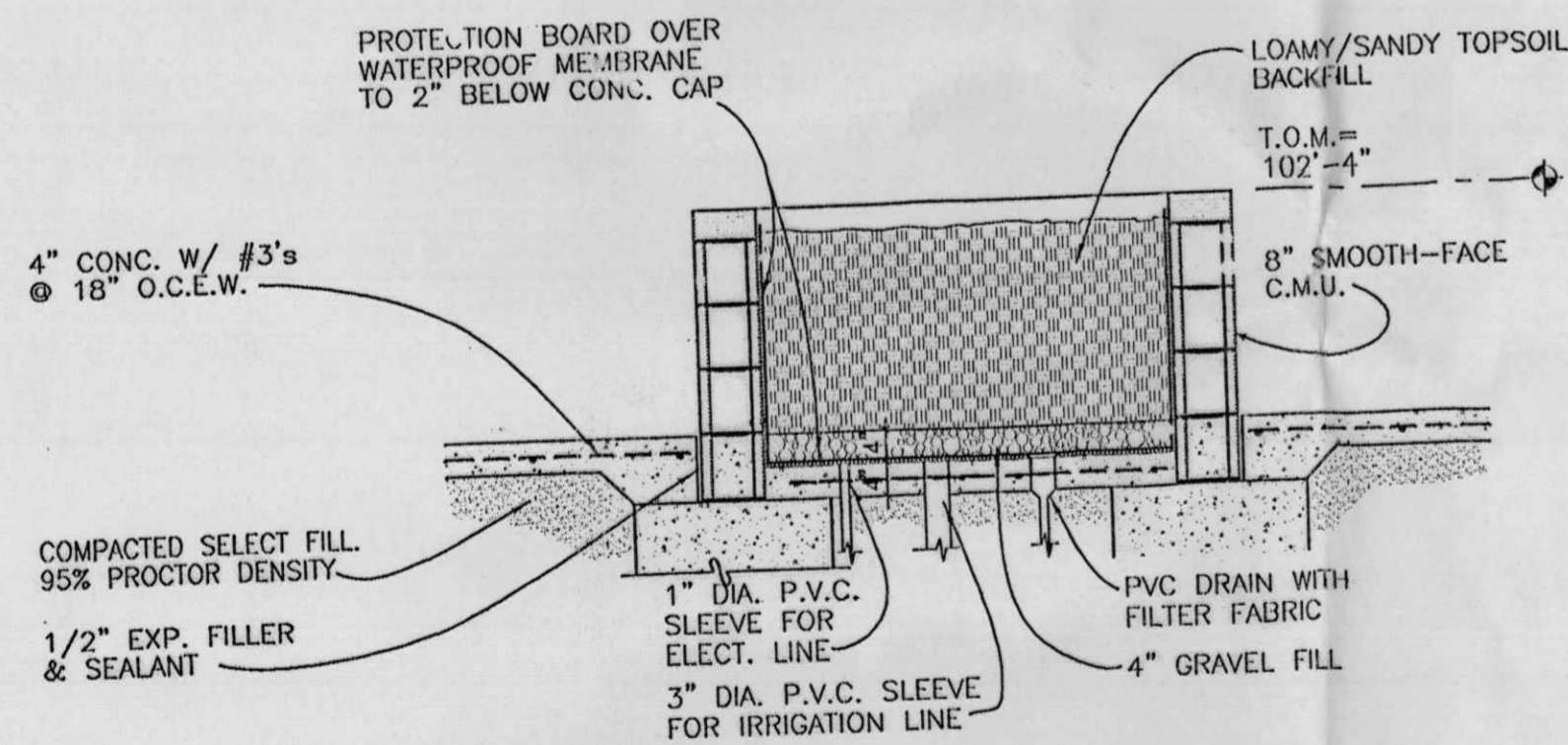


NOTE:
1. DOWEL BARS SHALL BE DRILLED INTO PAVEMENT HORIZONTALLY BY USE OF A MECHANICAL RIG.
2. DRILLING BY HAND IS NOT ACCEPTABLE. PUSHING DOWEL BARS INTO GREEN CONCRETE IS NOT ACCEPTABLE.

BUTT JOINT

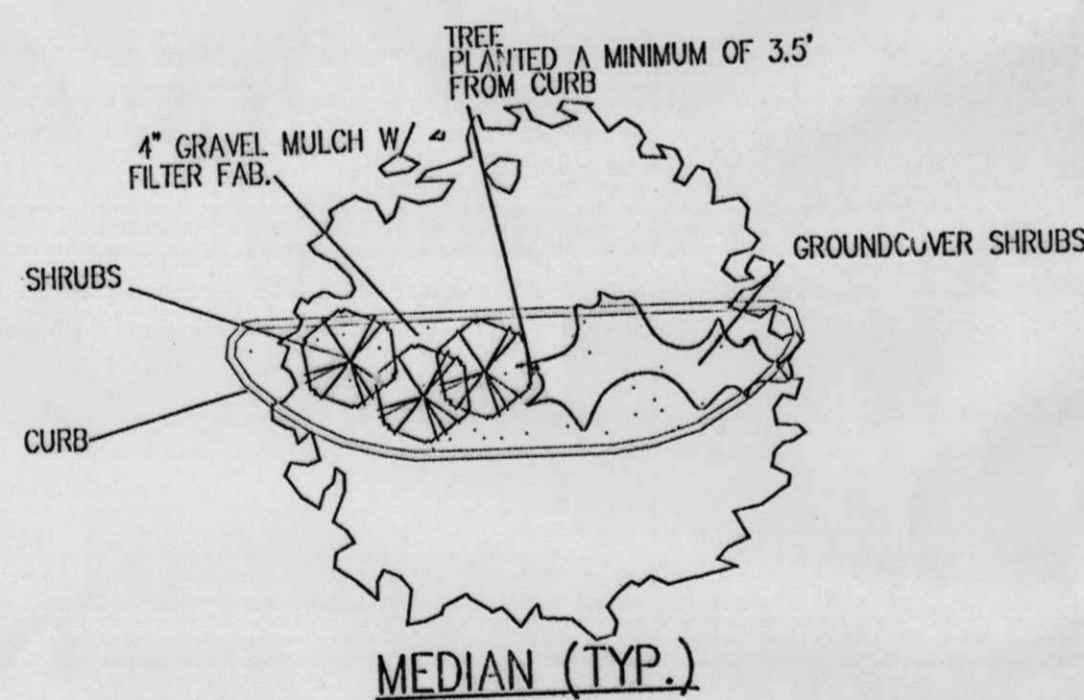
CONCRETE JOINT DETAILS

NTS

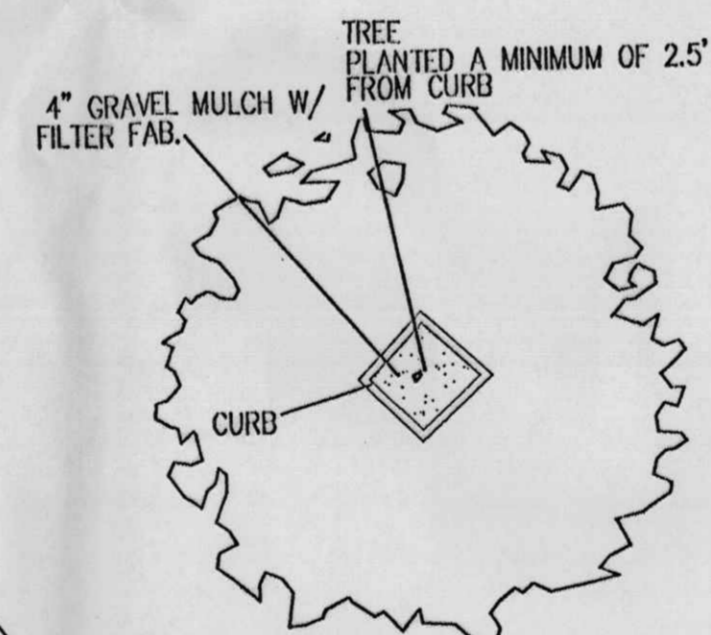


STORE FRONT TREE PLANTER DETAIL

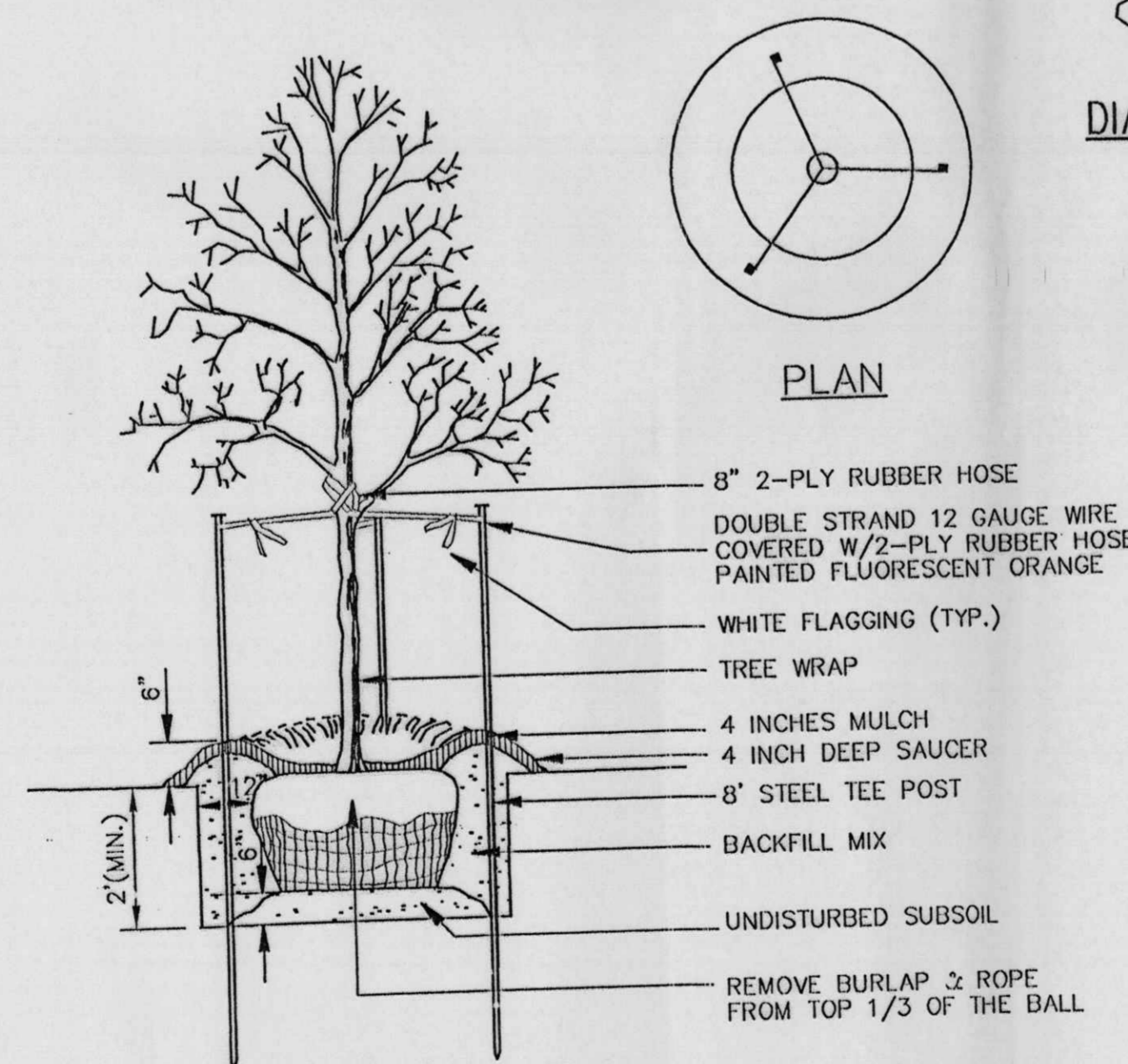
SCALE: NTS



MEDIAN (TYP.)



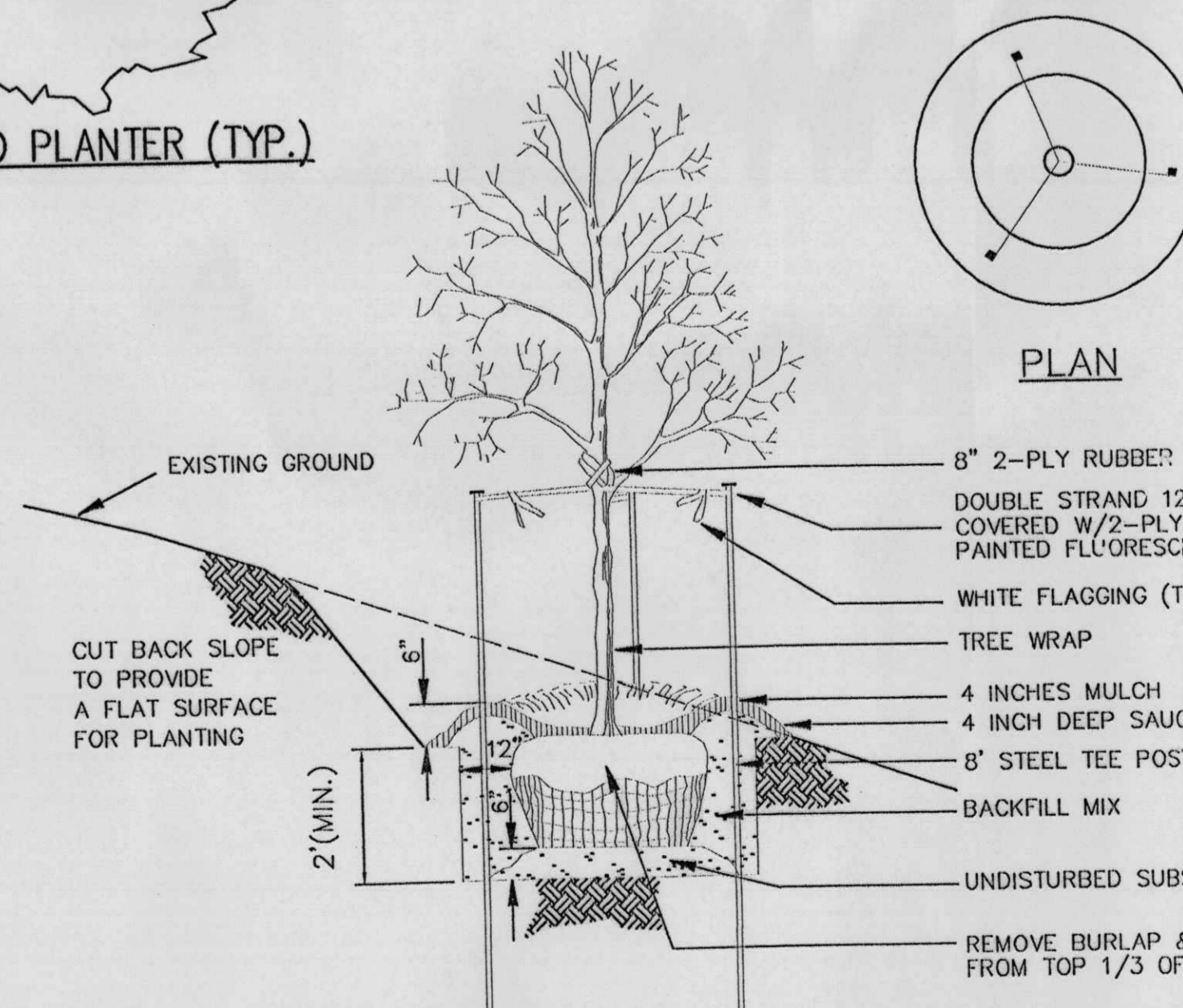
DIAMOND PLANTER (TYP.)



TREE PLANTING

SCALE: NTS

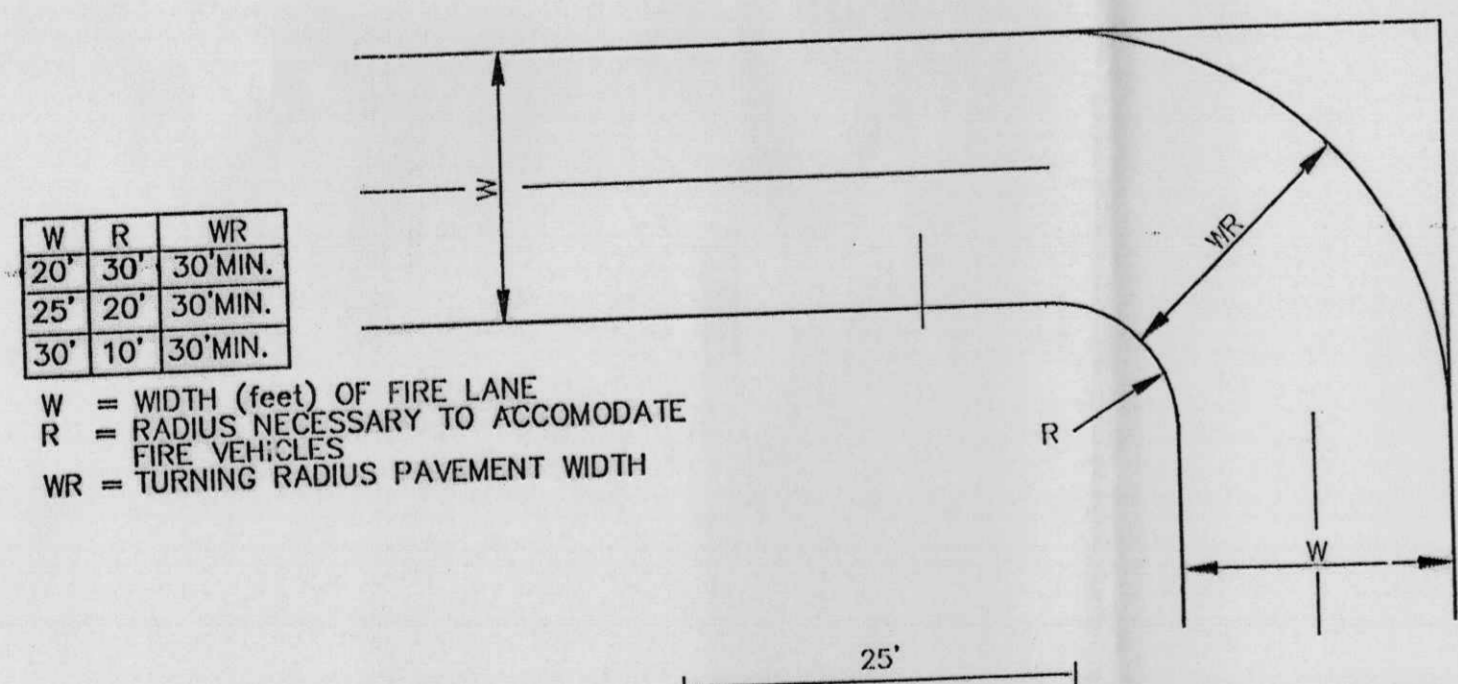
NOTE: SEE LANDSCAPE NOTES FOR THE TYPE OF MULCH MATERIAL TO USE.



TREE PLANTING ON SLOPE

SCALE: NTS

NOTE: SEE LANDSCAPE NOTES FOR THE TYPE OF MULCH MATERIAL TO USE.

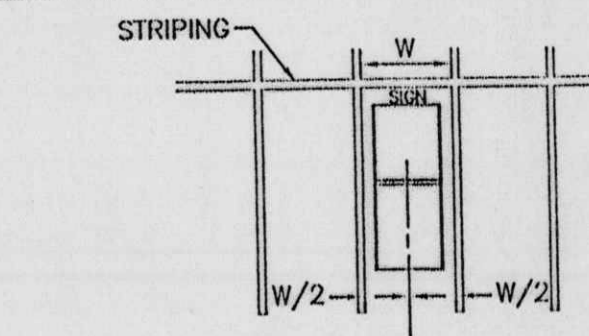


NO PARKING FIRE LANE
FIRE LANE STRIPING SHALL BE 6" RED STRIPES WITH 4" INCH WHITE LETTERS READING "NO PARKING FIRE LANE" STRIPING SHALL BE PLACED ON FACE OF CURB WHENEVER POSSIBLE, OR AS SPECIFIED BY LOCAL CODES.

NO PARKING FIRE LANE
"NO PARKING FIRE LANE" STRIPING ALONG FACE OF CURB

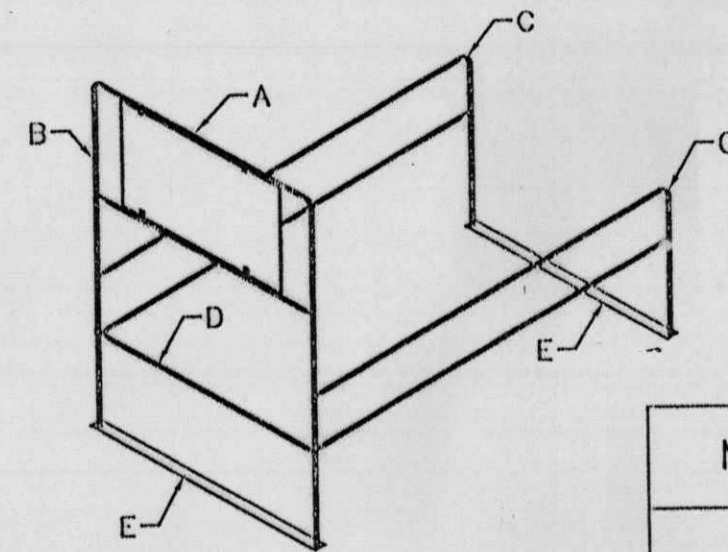
SCALE: NTS

NO.	DATE	REMARKS	BY
REVISIONS			
ENGINEER'S SEAL		ALBUQUERQUE WAL-MART EXPANSION, NM: 831-02	
DRAWN BY		BDG	
DATE		03-07-2002	
DETAILS.DWG		SHEET #	
		7	
RONALD R. BOHANNAN P.E. #7868		TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	
		JOB # 990031	



TOOLS REQUIRED
 9" BOX WRENCH AND/OR SOCKET.
 HAMMER

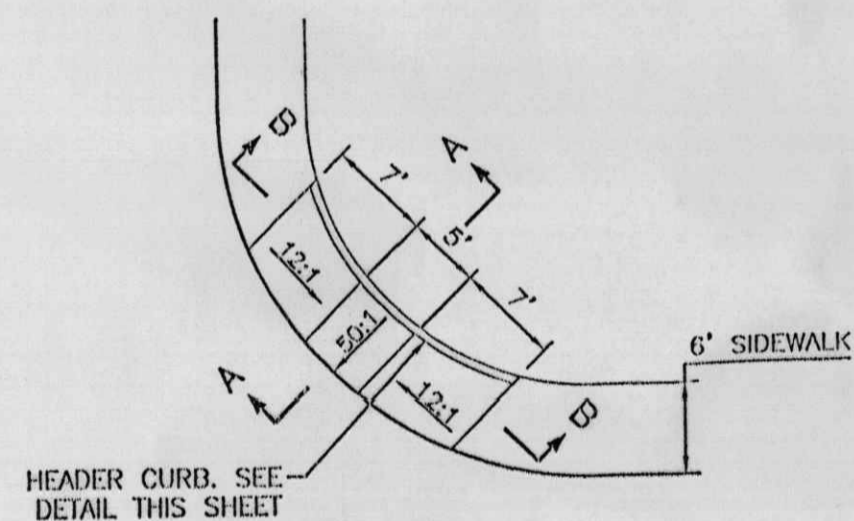
- INSTALLATION INSTRUCTIONS:**
1. Select level area in parking lot.
 2. Lay bottom plates (E) approx. 15' apart parallel.
 3. Attach side rails (C) to bottom plates (E). A tap with hammer may be required.
 4. Attach stop bar (D) to inside of rail (C) with 6" bolt and lock nut (F).
 5. Mount (B) into side rails (C) by steeing the wedged pieces together. A slight tap may be required.



MODEL	DESCRIPTION	DIMENSIONS	APPX. CAP.	WEIGHT
102	2-BAY, 1 WAY ENTRY CORRAL W/2' x 4' UNDERHUNG SIGN	60"W x 10'D x 8'H	20 CARTS	150#
103	1-BAY, 1 WAY ENTRY CORRAL W/2' x 4' UNDERHUNG SIGN	36"W x 10'D x 8'H	10 CARTS	152#
104	3-BAY, 1 WAY ENTRY CORRAL W/2' x 4' UNDERHUNG SIGN	80"W x 10'D x 8'H	45 CARTS	250#

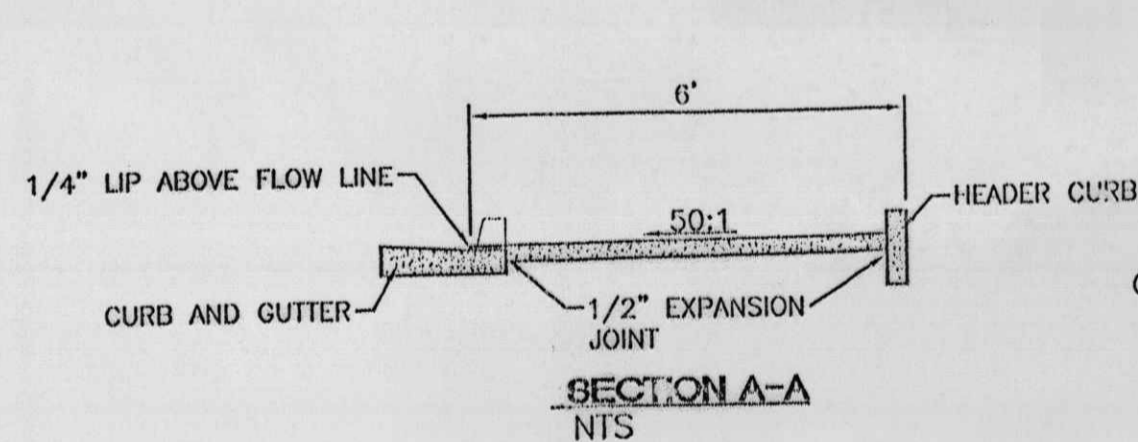
NOTE: CART CORRALS WILL BE PROVIDED BY WAL-MART. PER SPECIFICATIONS, TO BE ASSEMBLED AND INSTALLED BY THE CONTRACTOR.

SINGLE CART CORRAL DETAIL
 NTS

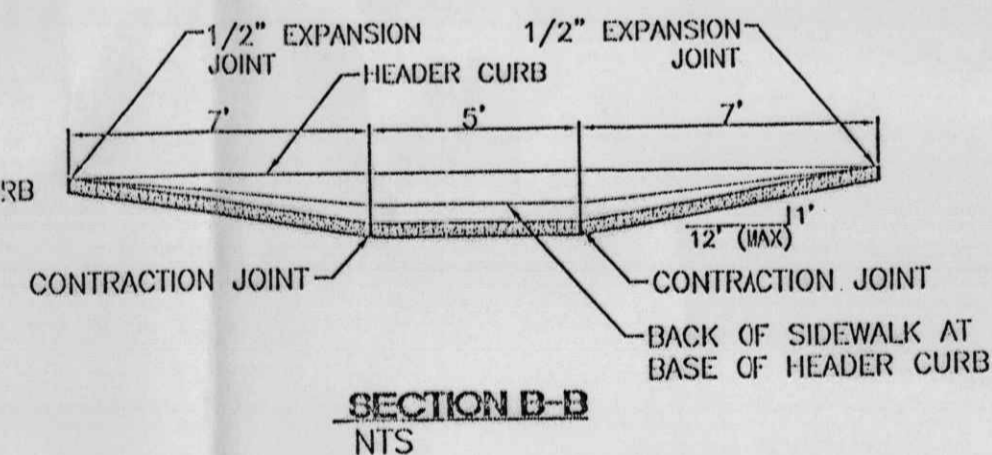


WHEEL CHAIR RAMP DETAIL (TYP.)
 NTS

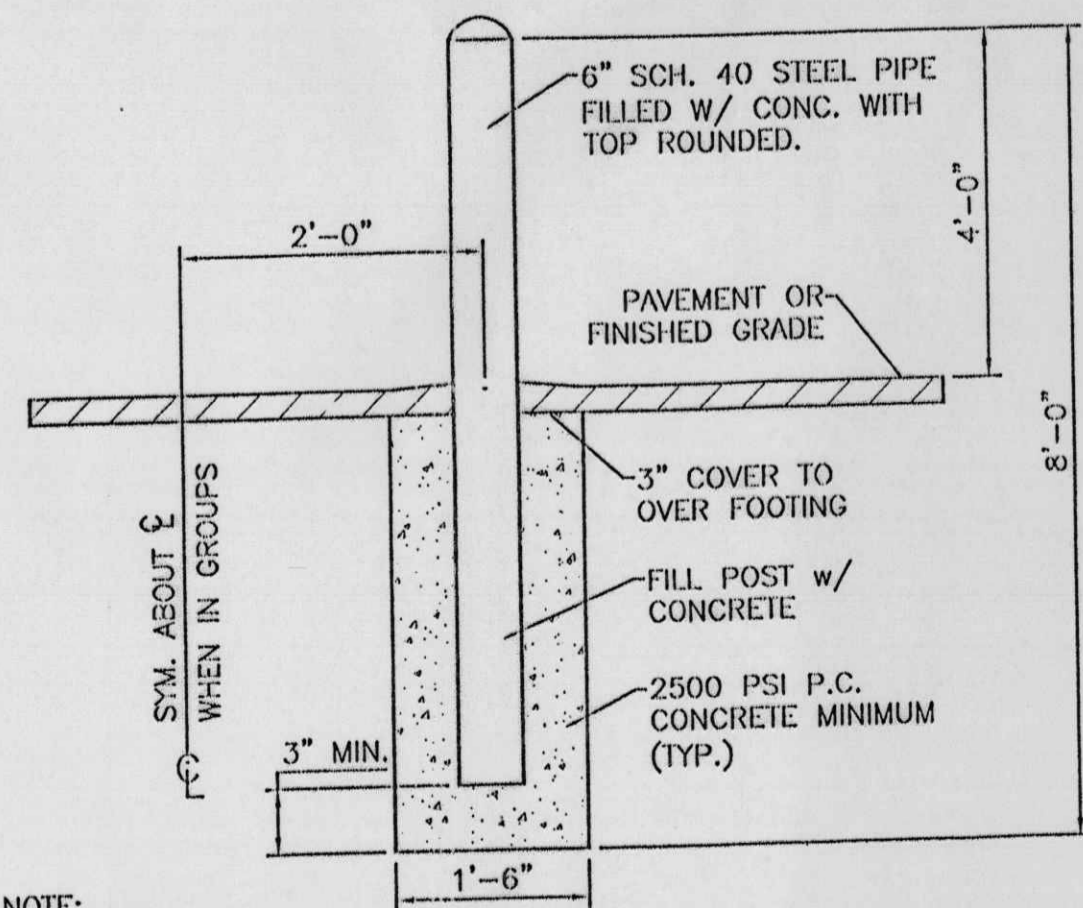
- GENERAL NOTES:**
1. SURFACE TEXTURE OF CURB ACCESS RAMPS SHALL BE OBTAINED BY HEAVY BROOMING, TRANSVERSE TO THE SLOPE OF THE RAMP.
 2. GUTTER FLOW LINE PROFILE SHALL BE MAINTAINED THROUGH THE AREA OF THE RAMP.
 3. CONSTRUCT PER A.D.A. STANDARDS.



SECTION A-A
 NTS

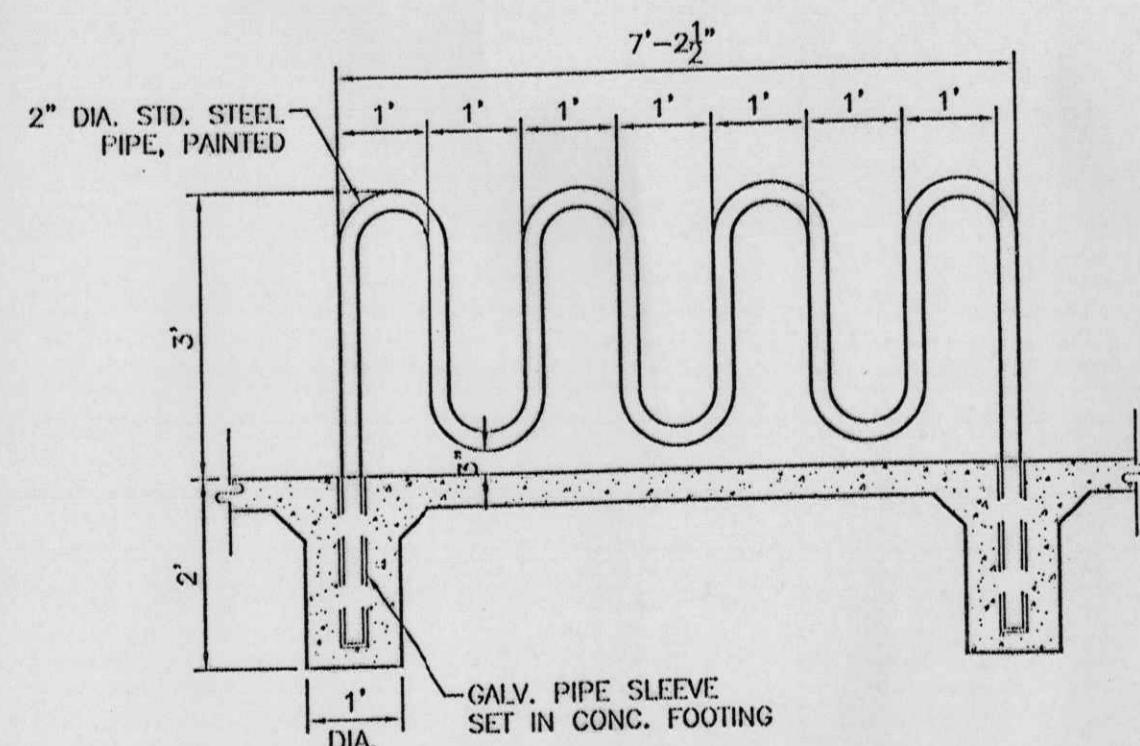


SECTION B-B
 NTS

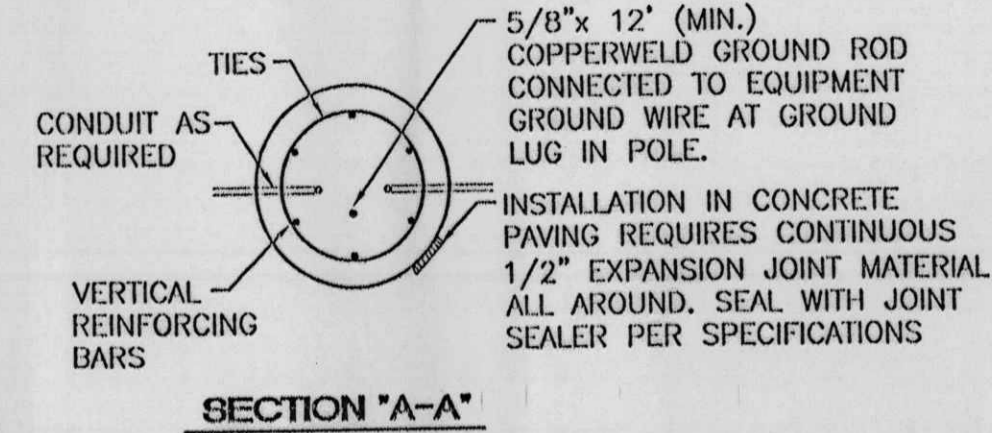


NOTE: ALL PIPES SHALL BE PAINTED TRAFFIC RED

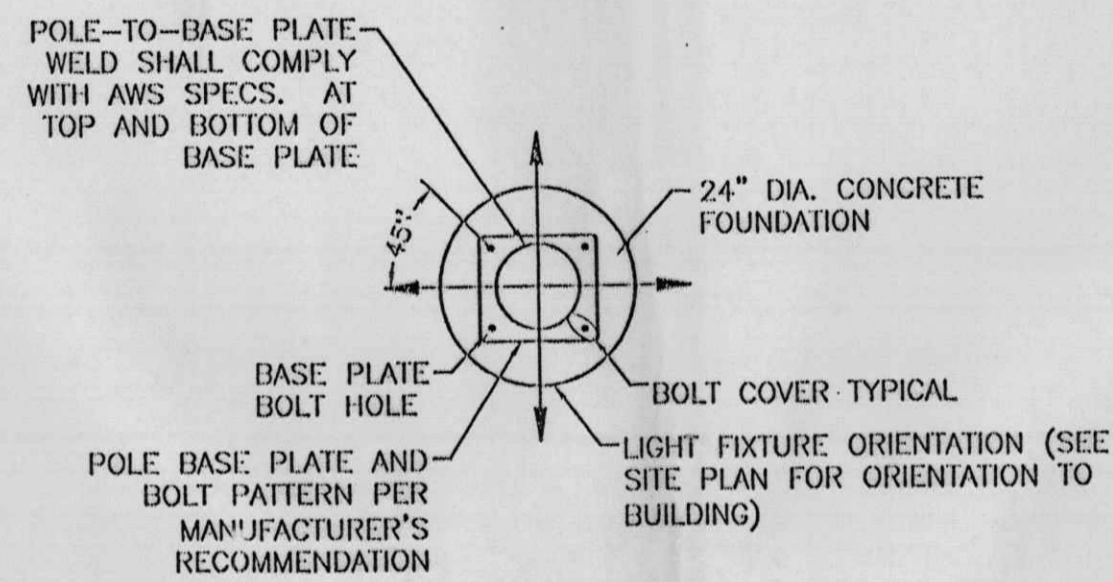
BOLLARD DETAIL
 SCALE: NTS



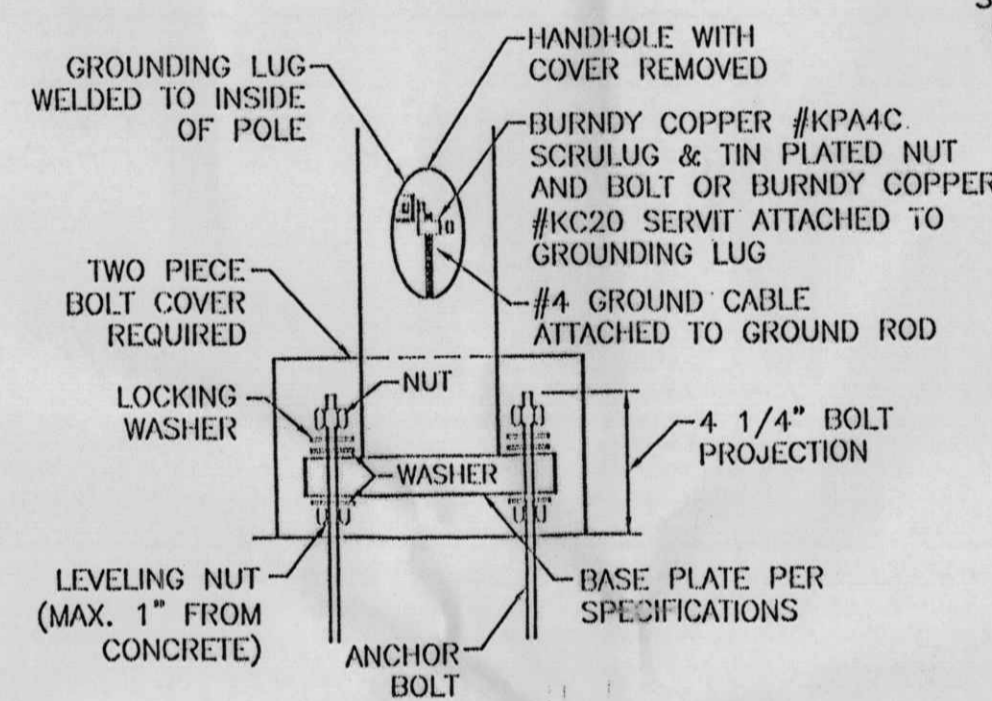
BIKE RACK DETAIL
 SCALE: 1/2"=1'



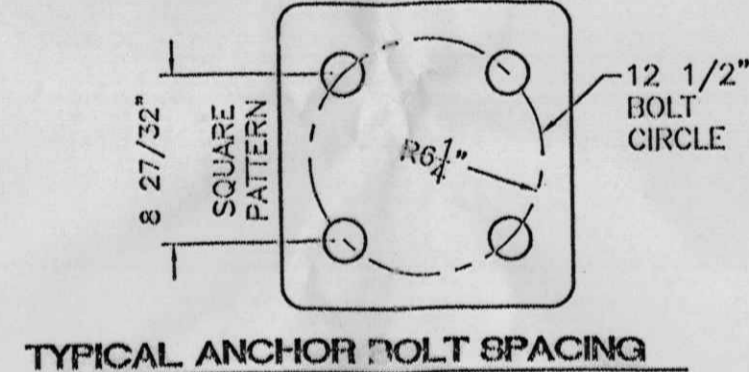
SECTION "A-A"



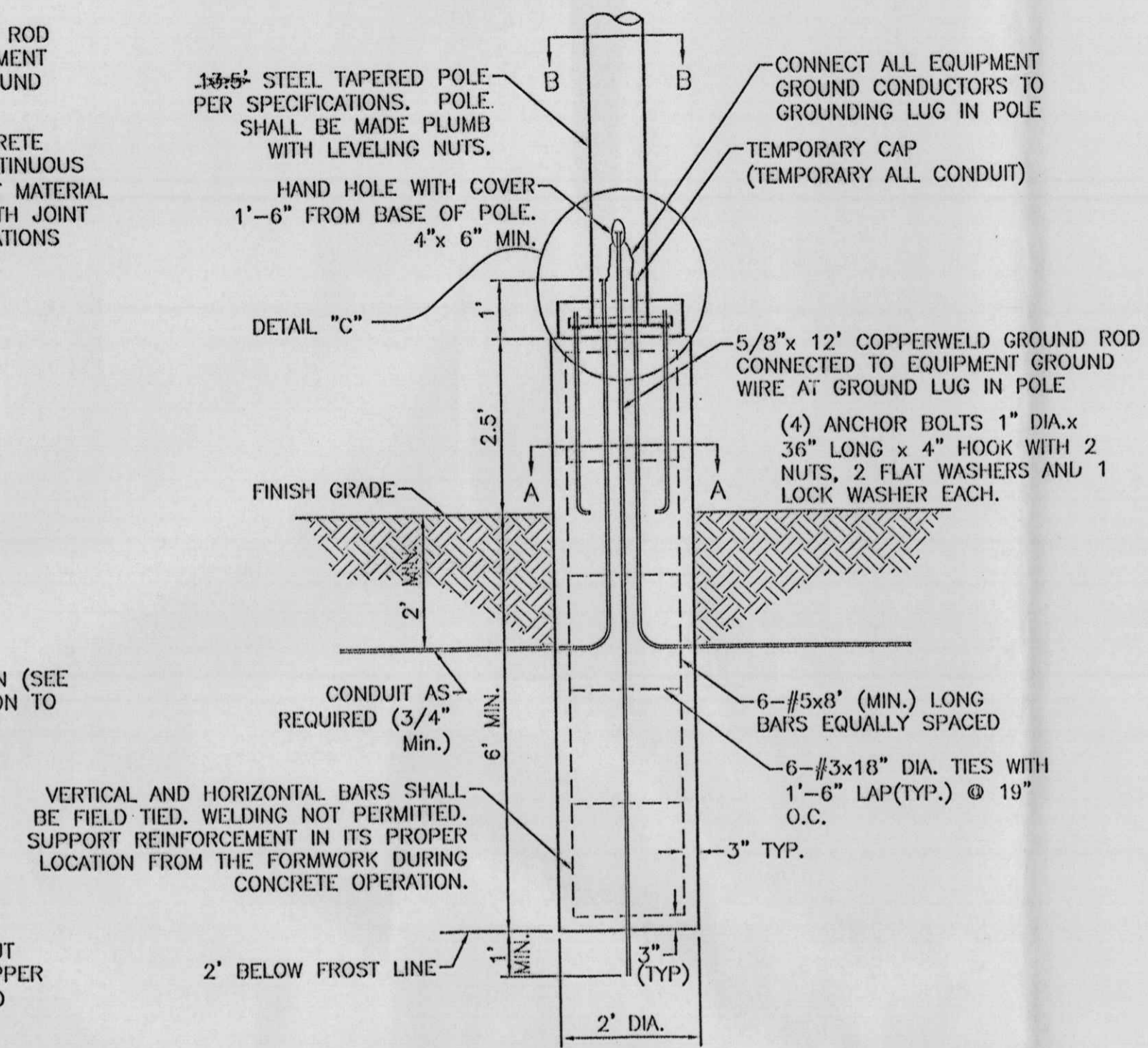
SECTION "B-B"



DETAIL "C"

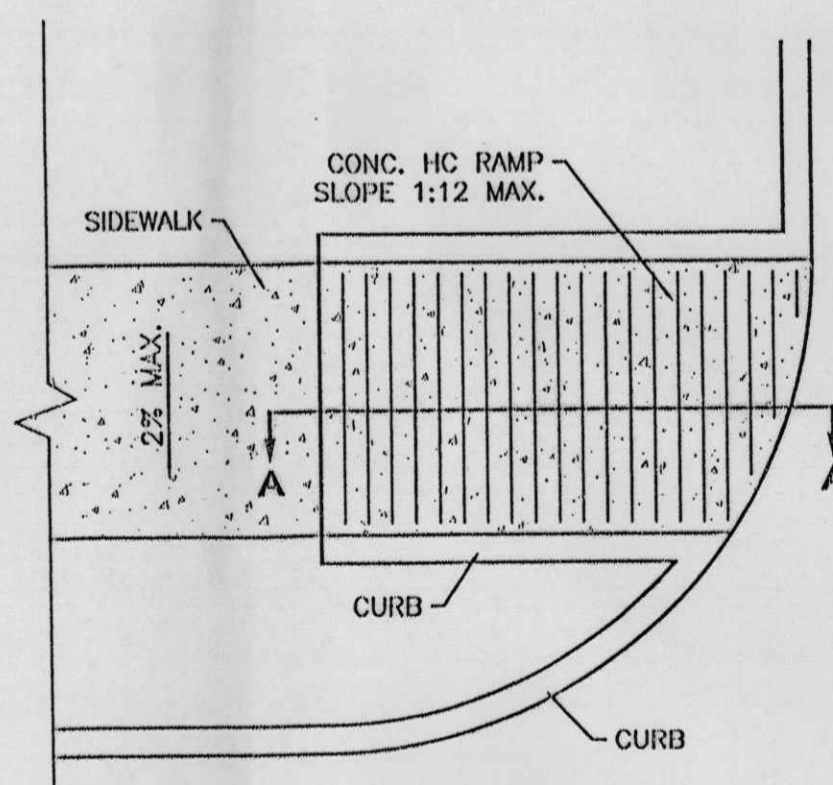


TYPICAL ANCHOR BOLT SPACING

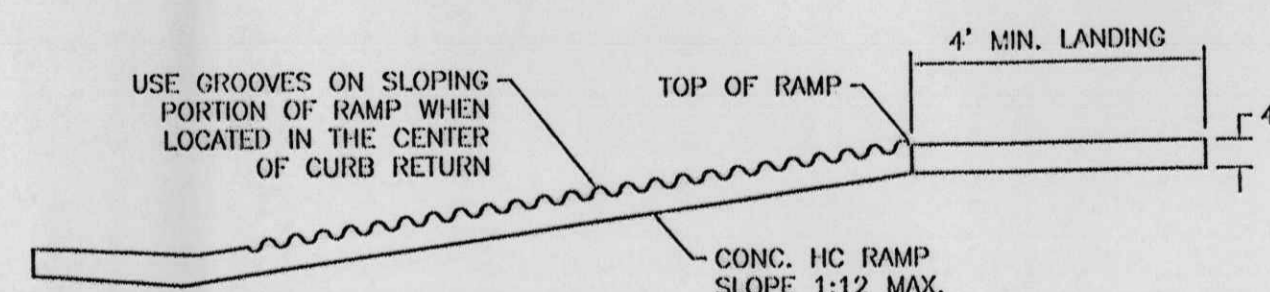


TYPICAL LIGHTING POLE BASE DETAIL
 NTS

- NOTES:**
1. 3500 PSI MIN. 28 DAY COMPRESSIVE STRENGTH CONCRETE WITH GRADE 60 REINFORCING STEEL.
 2. IF WATER IS PRESENT IN HOLE, REMOVE BEFORE POURING CONCRETE.
 3. FOUNDATION EXCAVATION SHALL BE BY 24" AUGER IN UNDISTURBED OR PROPERLY COMPACTED FILL PER SPECIFICATIONS.
 4. FOUNDATION SHALL HAVE A MINIMUM ALLOWABLE END BEARING OF 2000 PSF.
 5. FOUNDATION HAS BEEN DESIGNED FOR A COHESIVE SOIL BASED ON A MINIMUM COHESIVE VALUE OF 1000 PSF.
 6. FOUNDATION HAS BEEN DESIGNED FOR A GRANULAR SOIL BASED ON A MINIMUM LATERAL SOIL PRESSURE OF 1000 PSF, UTILIZING AASHTO FIGURE 1.8.2C(4) OF "EMBEDMENT OF POSTS WITH OVERTURNING LOADS".
 7. EXPOSED CONCRETE SHALL BE PAINTED TRAFFIC YELLOW.
 8. DETAIL FOR 39' POLE WITH MAX. FIXTURE EPA 4.6 SQ.FT.



PLAN

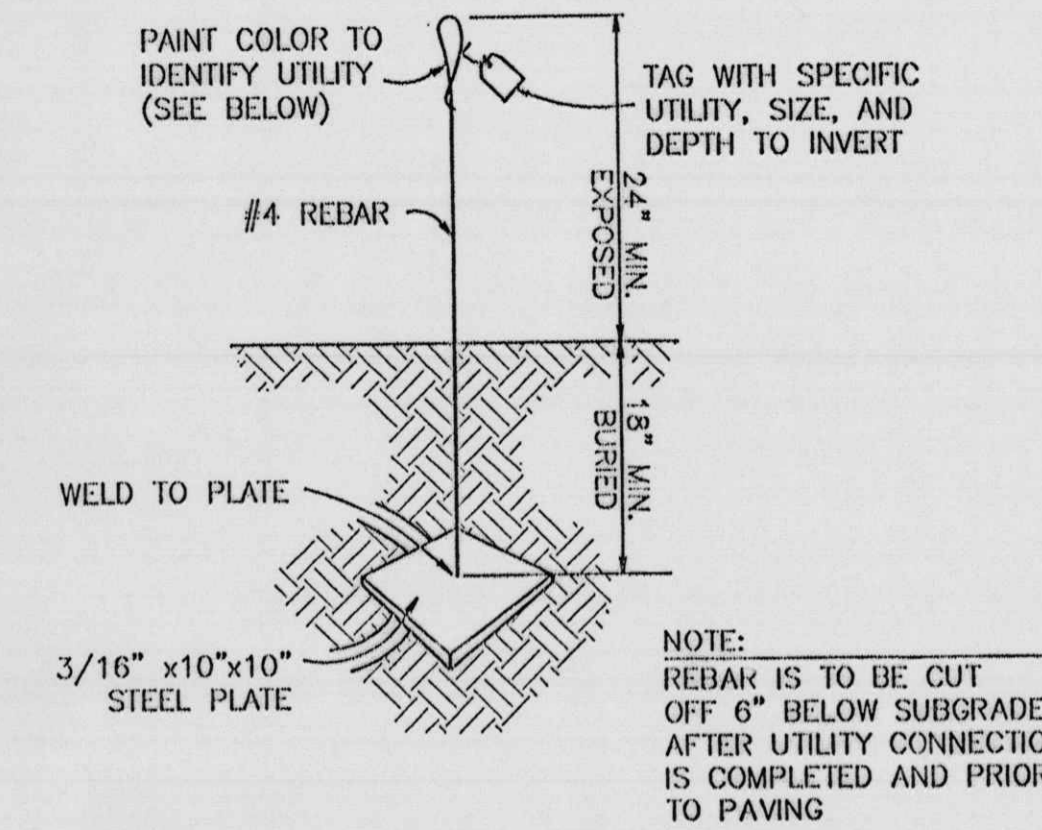


SECTION A-A

UNIDIRECTIONAL HC RAMP
 SCALE: NTS

NOTES:

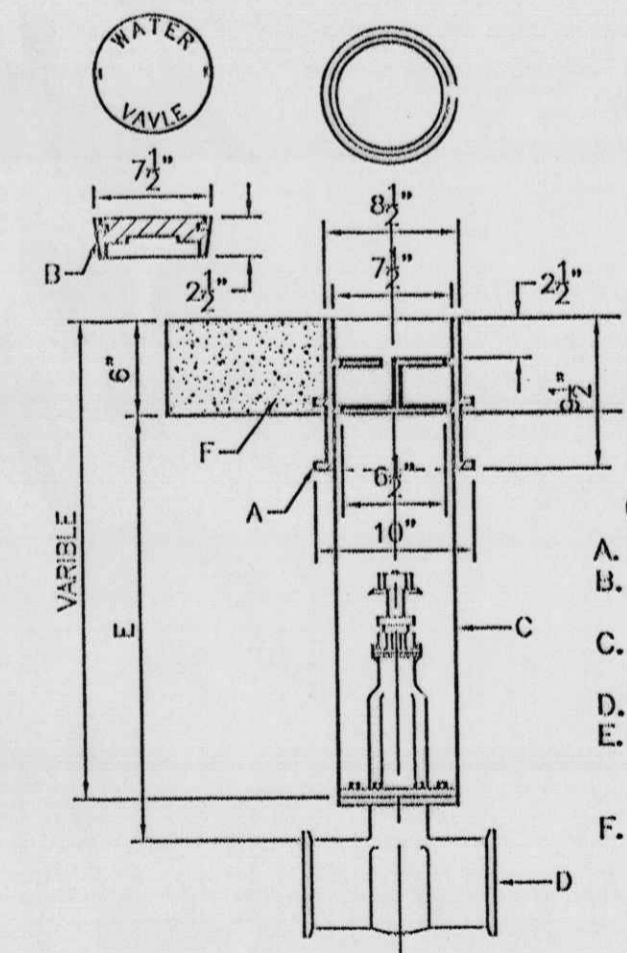
1. THE SURFACE OF RAMP AND SIDES SHALL HAVE A TRANSVERSE BROOMED SURFACE TEXTURE ROUGHER THAN THE SURROUNDING SIDEWALK.
2. THE RAMP SHALL BE GROOVED IN A TRANSVERSE PATTERN WITH 1/4" GROOVES APPROXIMATELY 1-1/2" O.C. SEE SECTION A-A.
3. THE BOTTOM OF THE RAMP SHALL HAVE A 1/4" LIP OF 45°.
4. RAMP SIDE SLOPE VARIES UNIFORMLY FROM A MAXIMUM OF UP TO 10% AT CURB TO CONFORM WITH LONGITUDINAL SIDEWALK SLOPE ADJACENT TO TOP OF THE RAMP.
5. CONSTRUCT PER A.D.A. STANDARDS.



USE AT CAPPED END OF ALL UTILITY SERVICE CONNECTIONS TO/FROM SAM'S CLUB, WAL-MART STORES & SUPERCENTERS

UTILITY	COLOR
SEWER	GREEN
WATER	BLUE
STORM DRAIN	WHITE
ELECTRICAL	RED
GAS	YELLOW
TELCO/CATV	ORANGE
FUTURE SITE LIGHTING	PINK
FIBER OPTIC (GAS STATION)	PURPLE

TYPICAL UTILITY MARKER



GATE VALVE DETAIL
 NTS

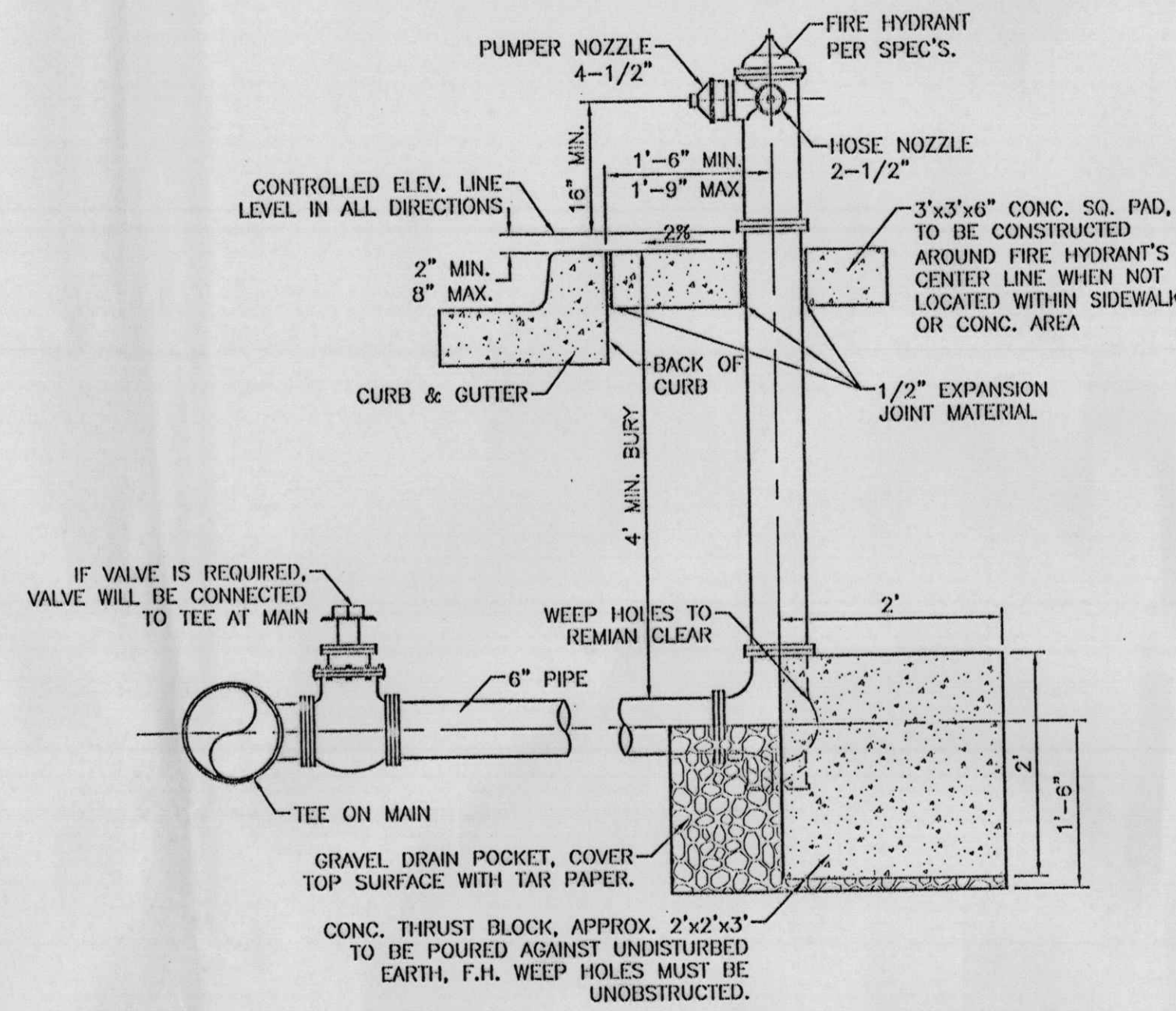
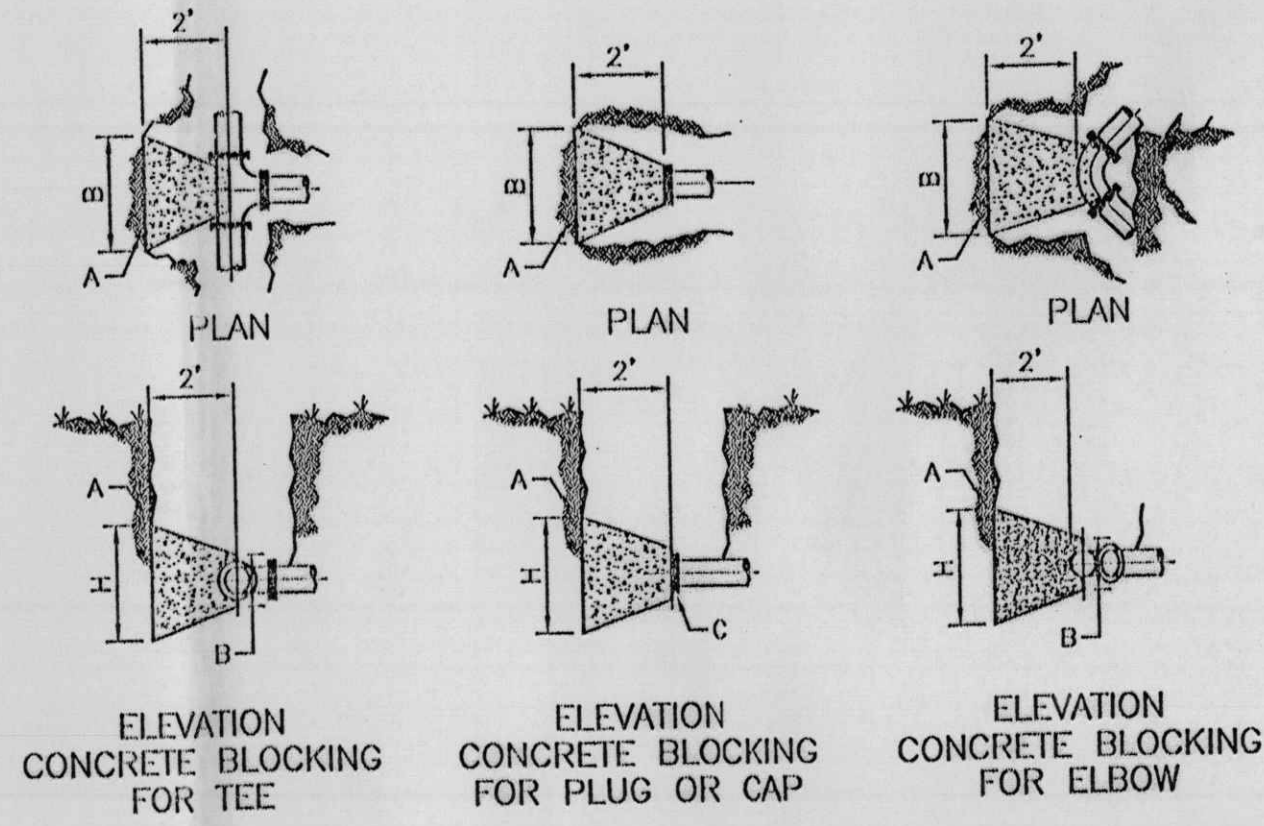
- CONSTRUCTION NOTES:**
- A. CAST VALVE BOX.
 - B. VALVE BOX LID (LOCKING LID OPTIONAL).
 - C. 6" PVC C-900 PIPE (LENGTH VARIES)
 - D. NEW OR EXISTING VALVE COMPACTED BACKFILL, SOIL OR BASE COURSE MATERIAL (95% COMPACTION).
 - F. CONCRETE COLLAR (2'x2'x6") TO BE TAPPED IN UNPAVED ROADWAYS.

NO.	DATE	REMARKS	BY
REVISIONS			
ENGINEER'S SEAL		ALBUQUERQUE WAL-MART EXPANSION, NM: 831-02	DRAWN BY BDG
		DETAILS	DATE 09-26-2001
		TIENNA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)958-3100	DETAILS.DWG
			SHEET # 8
RONALD R. BOHANNAN P.E. #7868			JOB # 990031

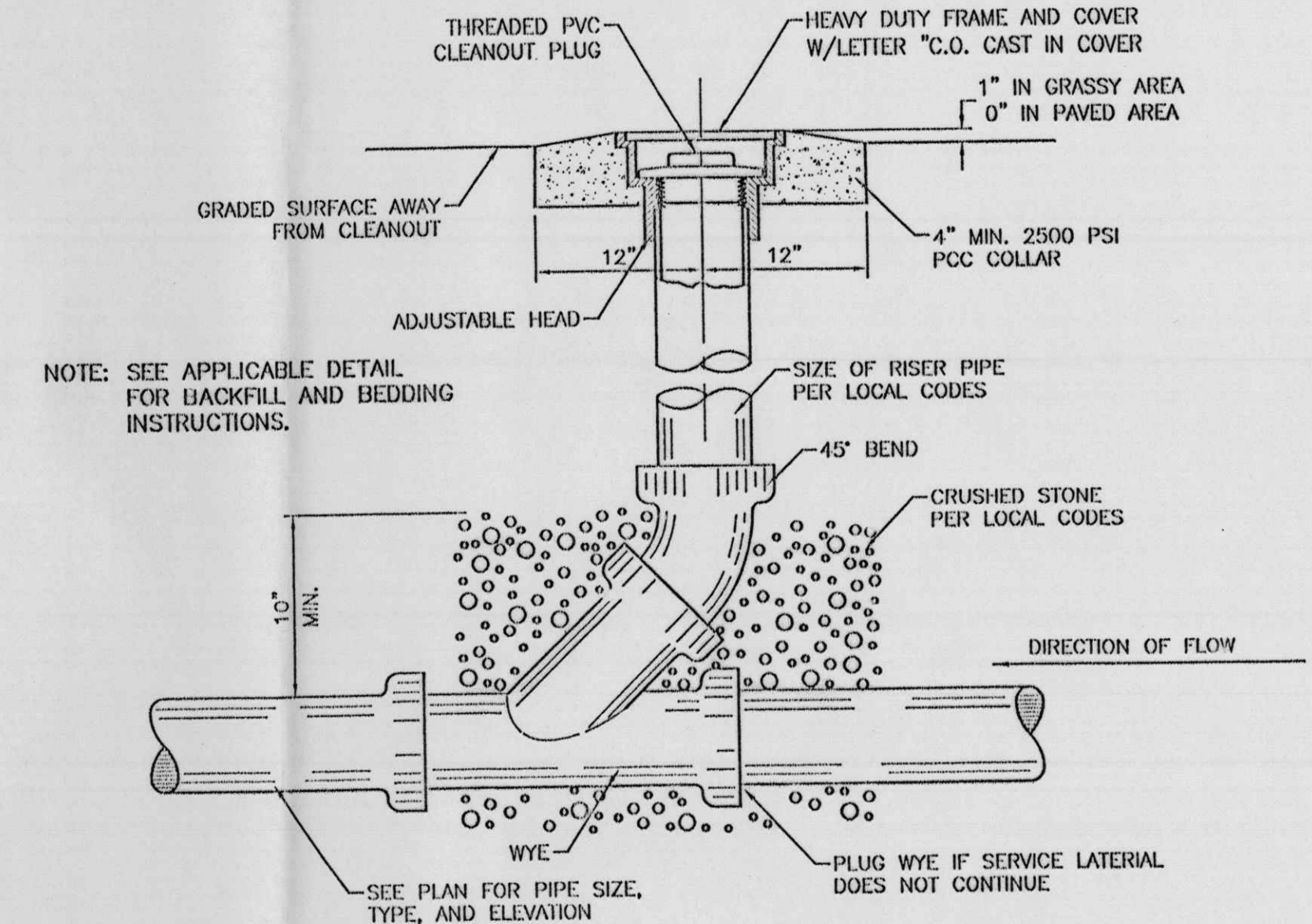
PIPE SIZE	ELBOW ANGLE	ELBOW (B) DIM.	ELBOW (H) DIM.	TEE OR PLUG (B) DIM.	TEE OR PLUG (H) DIM.
4"	90°, 45°	2'	2'	2'	2'
4"	22.5°, 11.25°	2'	2'	2'	2'
6"	90°, 45°	2'	2'	2'	2'
6"	22.5°, 11.25°	2'	2'	2'	2'
8"	90°	3'	3'	3'	3'
8"	45°	2'	2'	3'	3'
8"	22.5°, 11.25°	2'	2'	3'	3'
10"	90°	3'-6"	3'-6"	3'	3'
10"	45°	3'	3'		
10"	22.5°, 11.25°	2'	2'		
12"	90°	4'	4'	3'-6"	3'-6"
12"	45°	3'-6"	3'-6"		
12"	22.5°, 11.25°	2'	2'		
14"	90°	5'	5'	4'	4'
14"	45°	3'-6"	3'-6"		
14"	22.5°, 11.25°	3'	3'		

CONSTRUCTION NOTES:
A. UNDISTURBED EARTH
B. O.D. OF PIPE +6"
C. O.D. OF CAP OR PLUG, MIN. 12"x12"

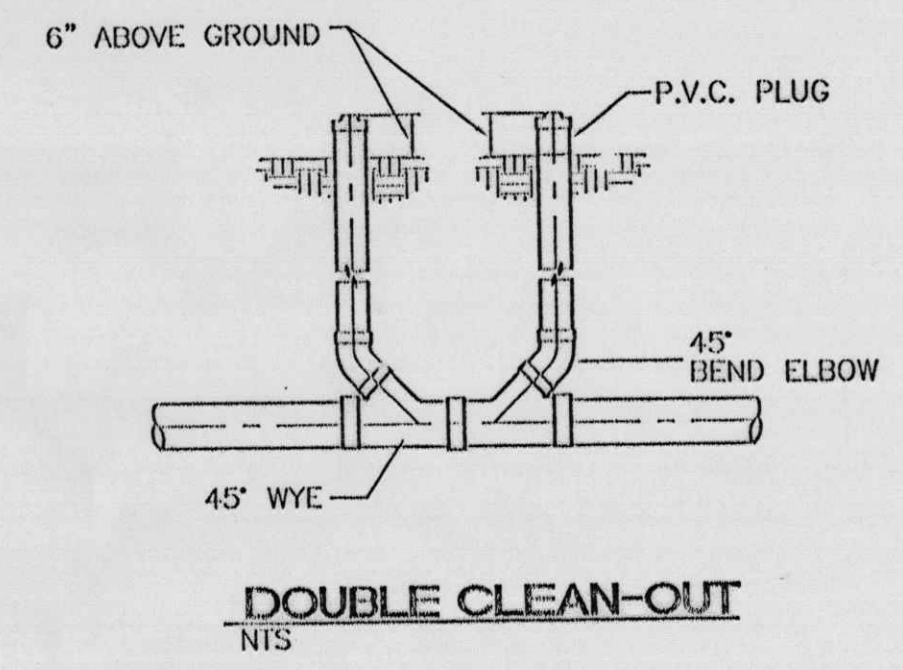
CONCRETE BLOCKING DESIGN
NTS PER COA STD DWG #2320



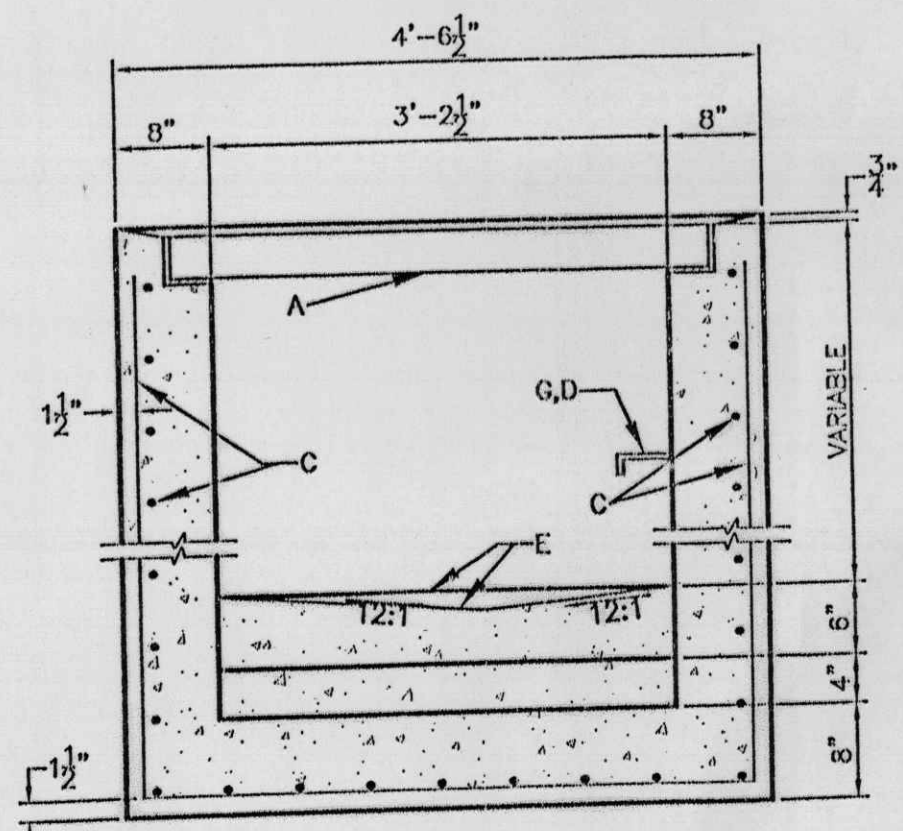
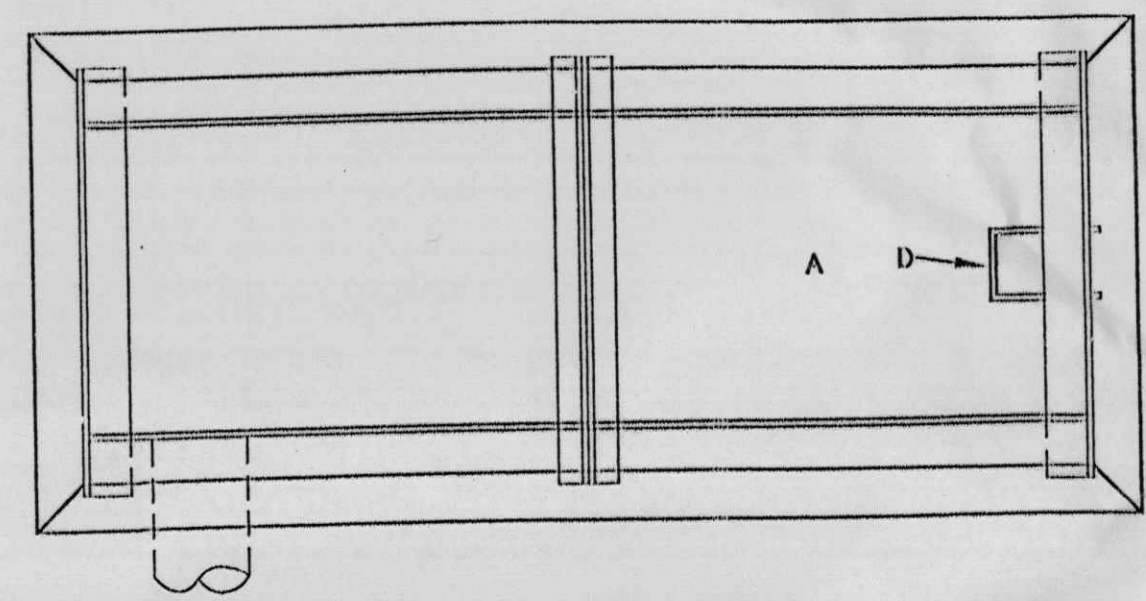
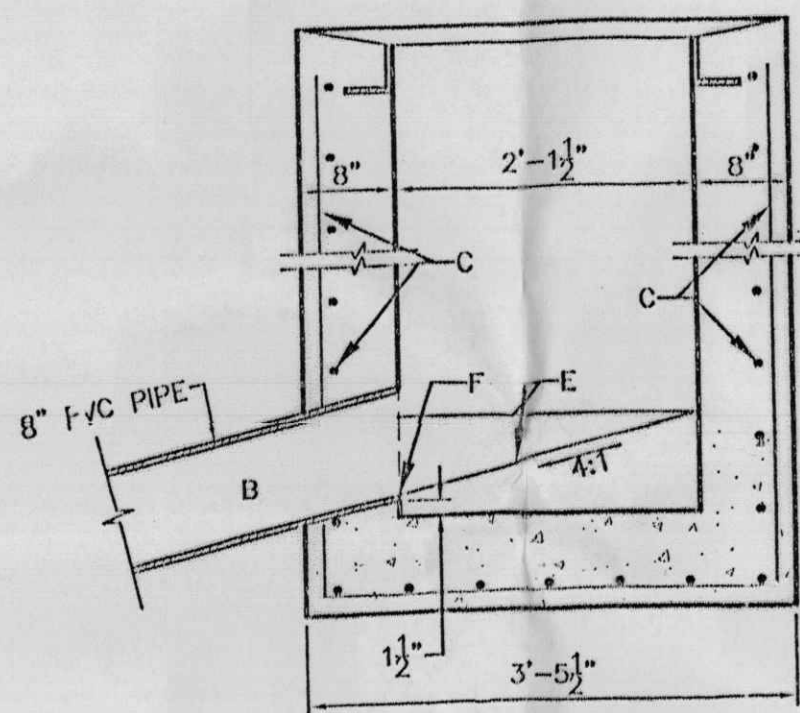
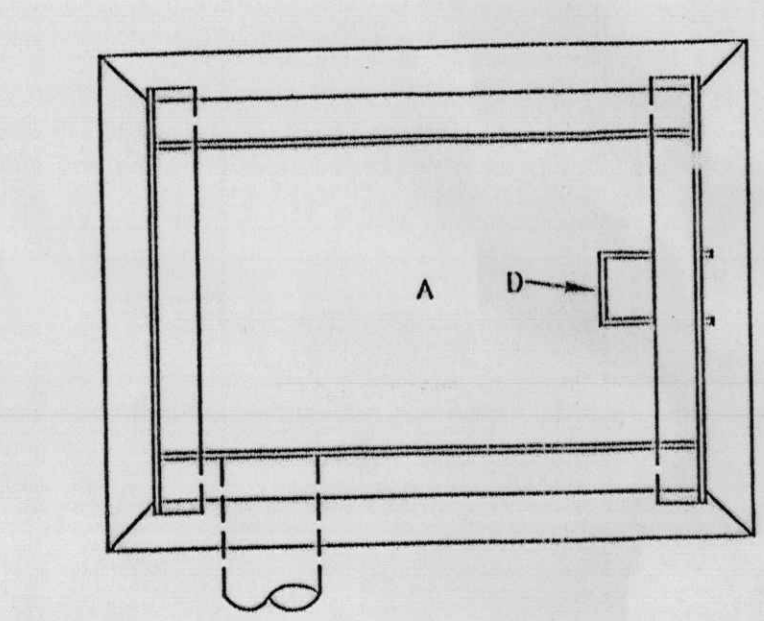
FIRE HYDRANT SETTING WITH BLOCKING DETAIL
SCALE: 3/4"=1" PER COA STD DWG #2340



SANITARY SEWER CLEAN-OUT
NTS



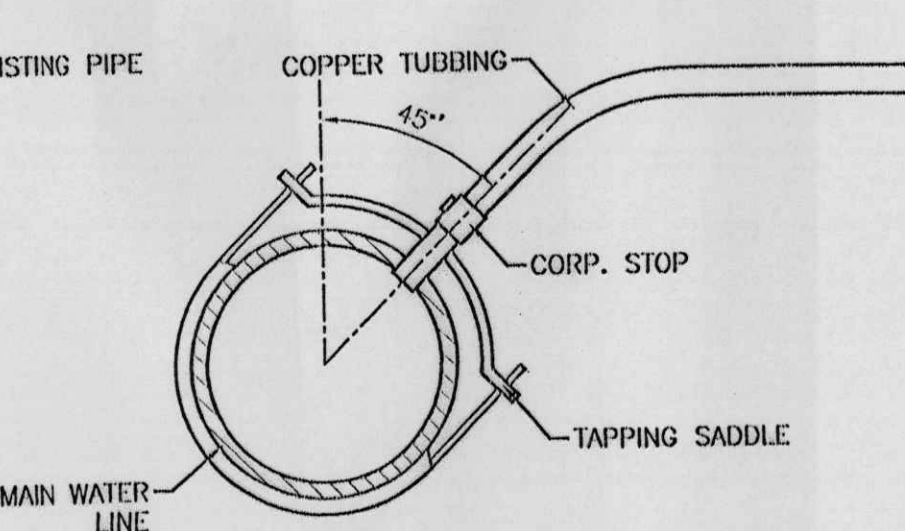
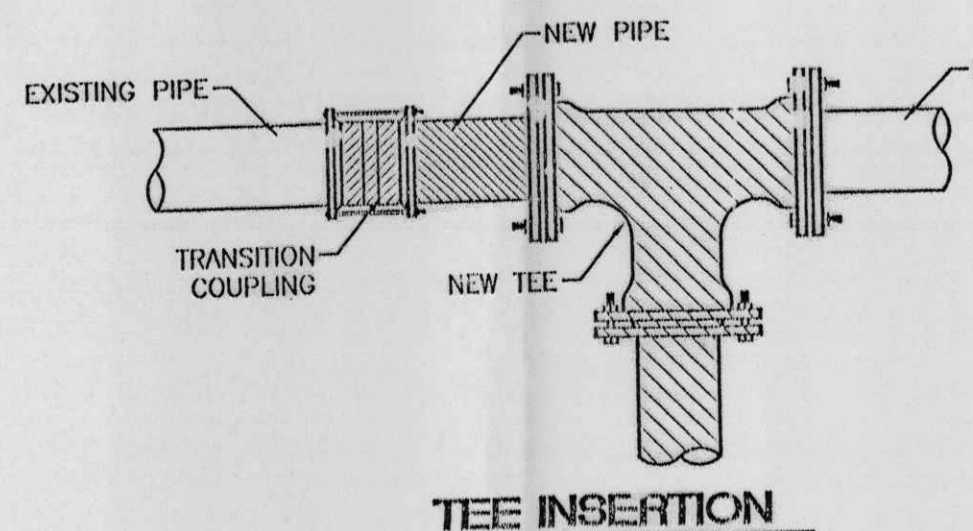
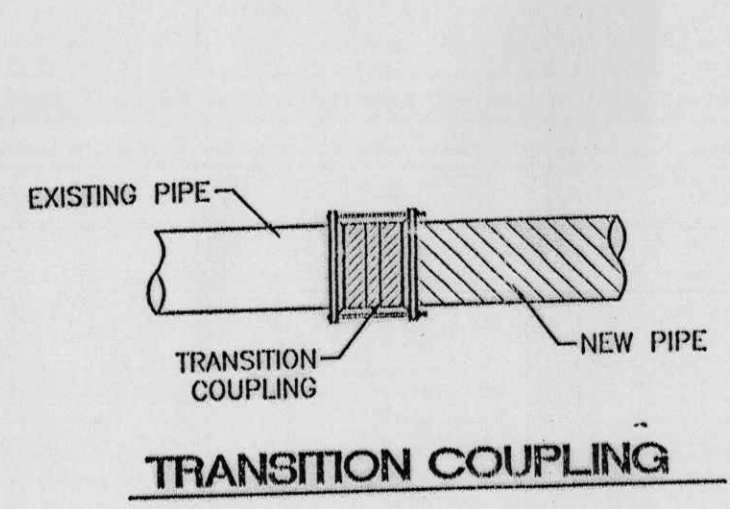
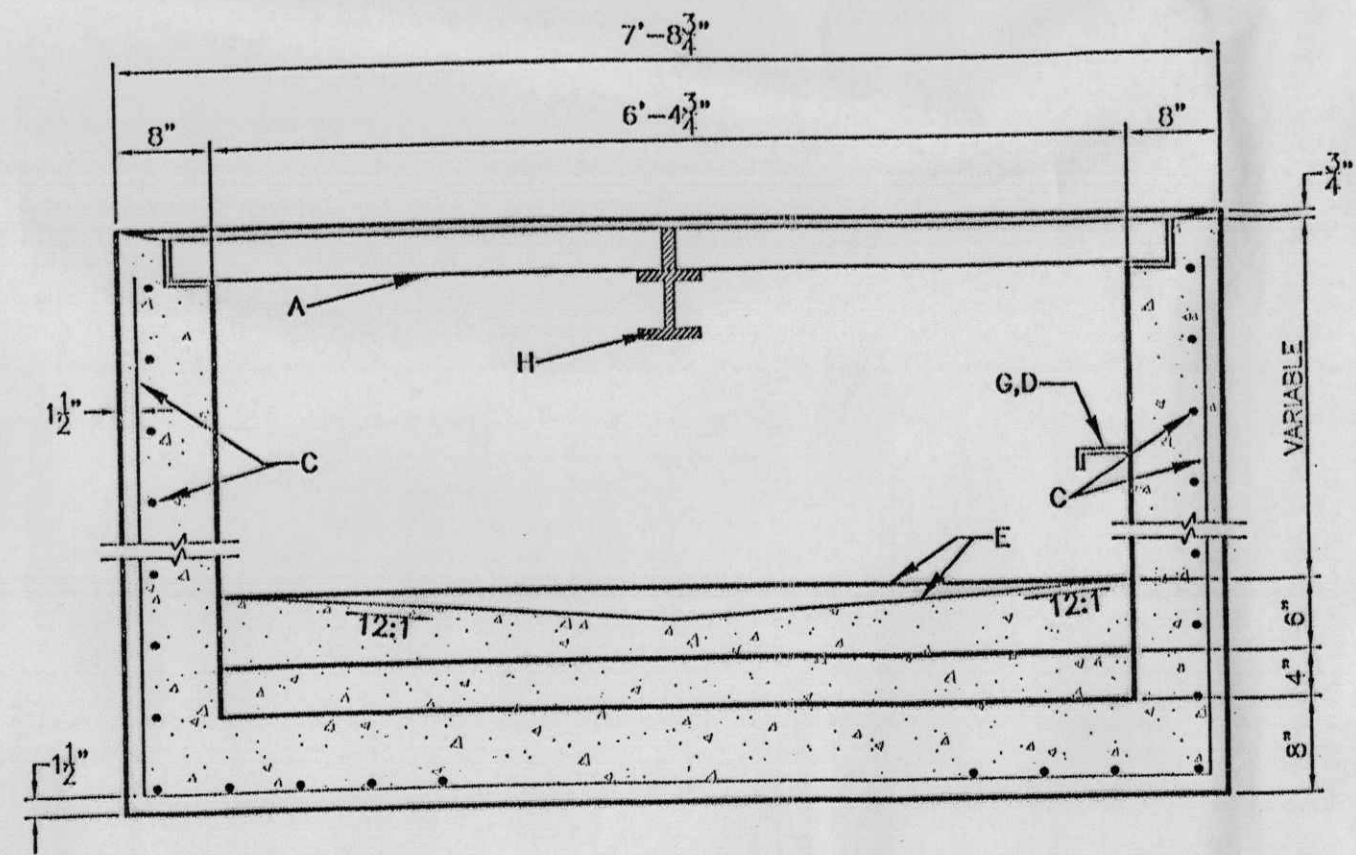
DOUBLE CLEAN-OUT
NTS



SINGLE "D" INLET
NTS PER COA STD DWG #2320

- GENERAL NOTES:**
- STORM INLET CUTTER TRANSITION WILL BE SHOWN ON THE CONSTRUCTION PLANS.
 - OUTLET PIPE, PER DESIGN REQUIREMENT.
 - FOR FRAME & GRATING, SEE DWG. 2216, 2220 & 2221

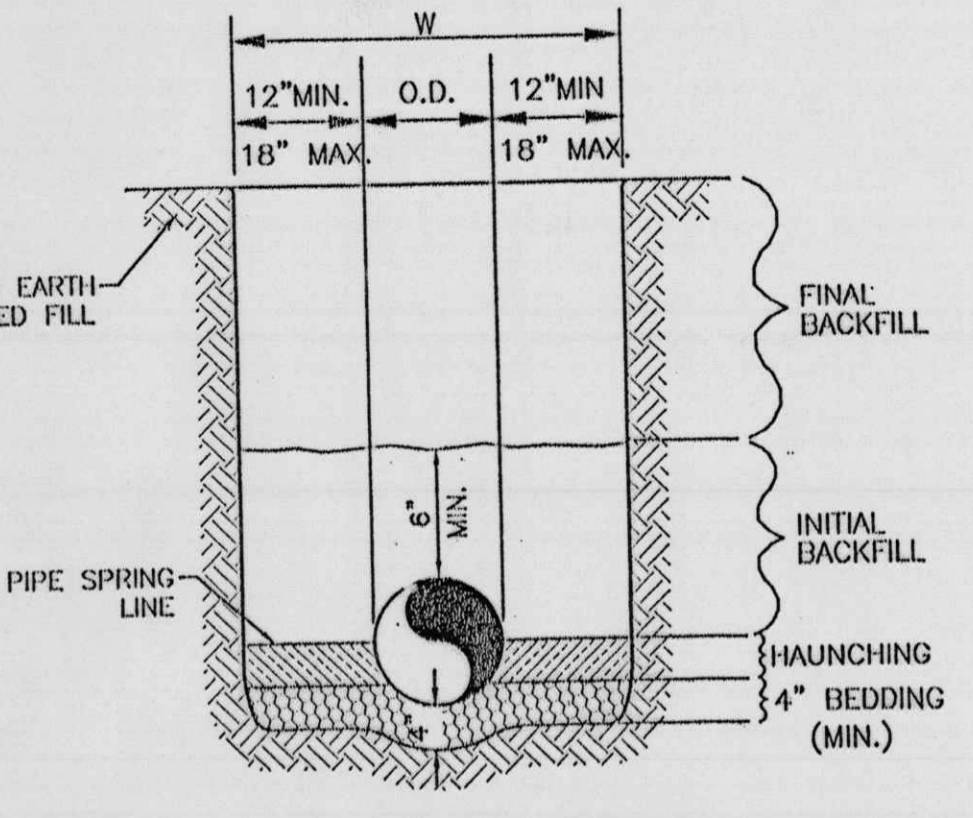
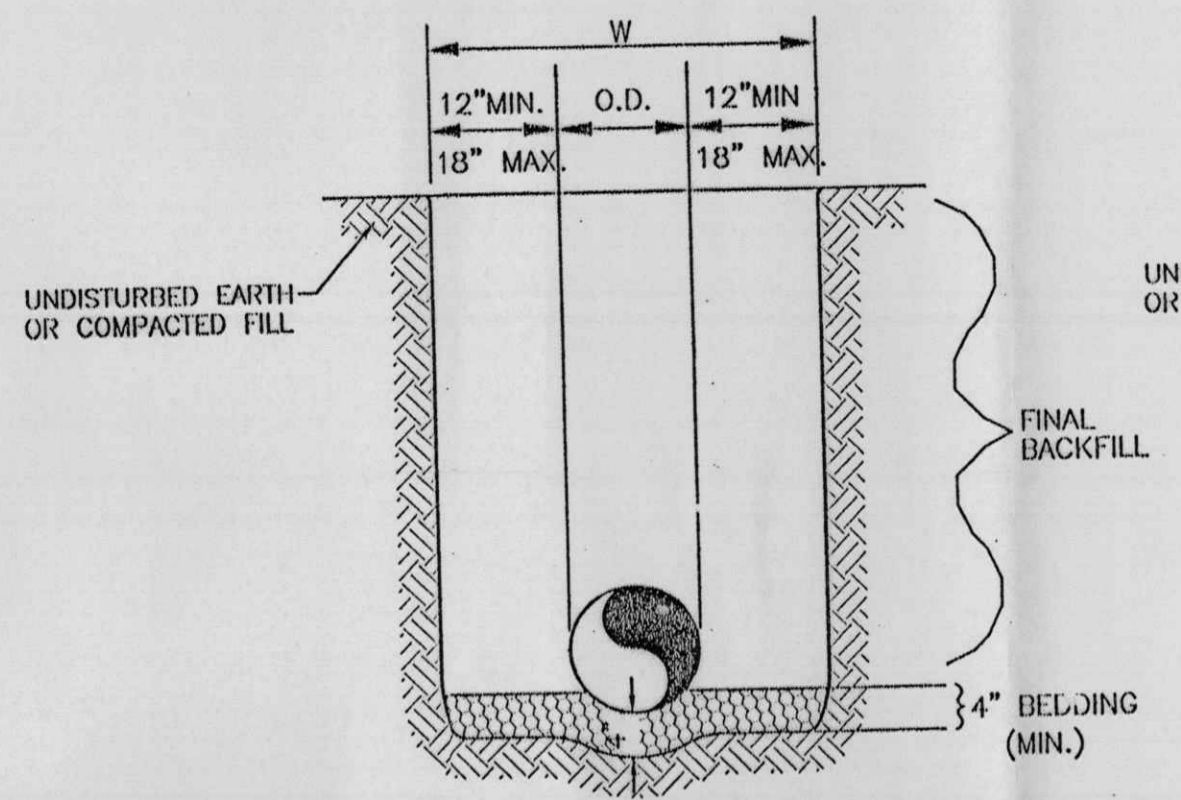
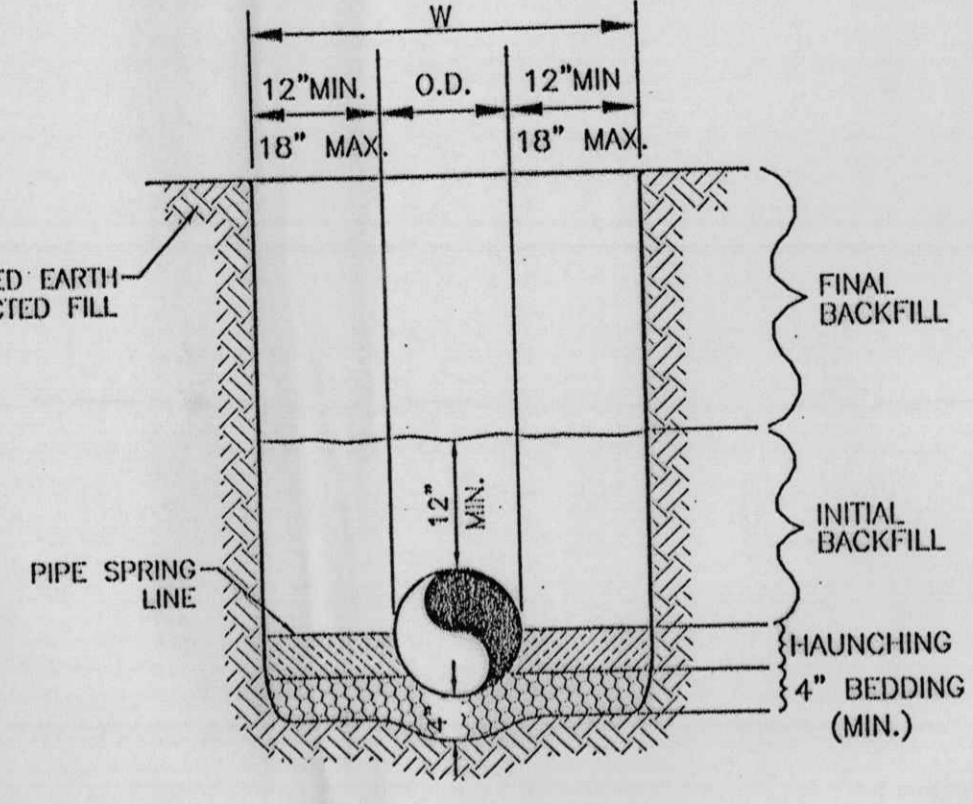
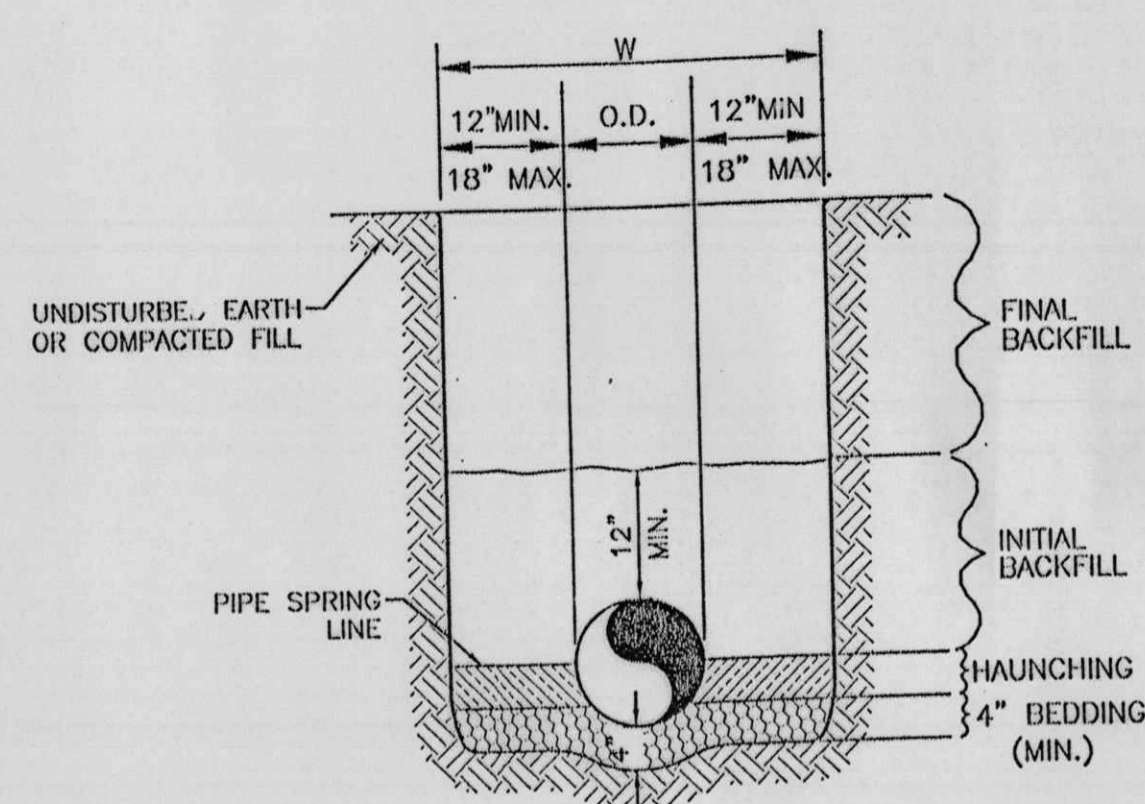
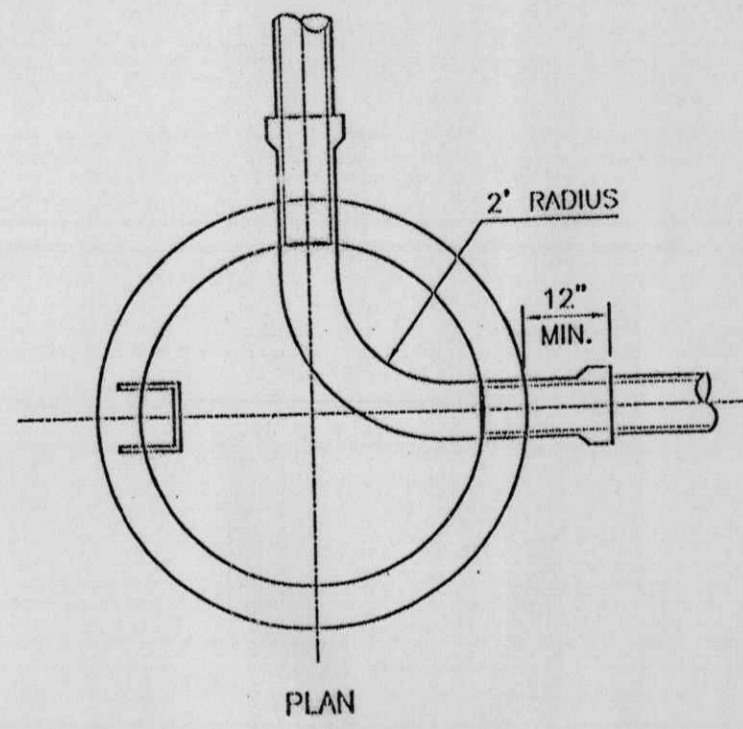
- CONSTRUCTION NOTES:**
- FRAME & GRATE
 - CUT ONE HORIZONTAL AND ONE VERTICAL BAR MAX. AT PIPE OPENING.
 - NO. 4 BARS @ 6" O.C. EACH WAY
 - USE STANDARD STEPS, SEE DWG 2229.
 - CONC. FILL, SEE NOTE C DWG 2201
 - INVERT PER DESIGN
 - INSTALL STEPS ON DOWNSTREAM FACE
 - CENTER SUPPORT ASSEMBLY



WATER CONNECTION DETAILS
NTS

SERVICE TAP CONNECTION

NO.	DATE	REMARKS	BY
REVISIONS			
ENGINEER'S SEAL		ALBUQUERQUE WAL-MART EXPANSION, NM: 831-02	DRAWN BY: BDG
		DETAILS	DATE: 09-26-2001
			DETAILS.DWG
			SHEET #
			9
			JOB #
			990031
TERRA WEST, I.L.C. 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100			
RONALD R. BOHANNAN P.E. #7868			



WATER LINE

SANITARY SEWER

REINFORCED CONCRETE PIPE (RCP) AND CONTECH SPIRAL RIB PIPE SMALLER THAN 60"

ALL OTHER PIPES INCLUDING CONTECH SPIRAL RIB PIPE 60" AND LARGER

GENERAL NOTES

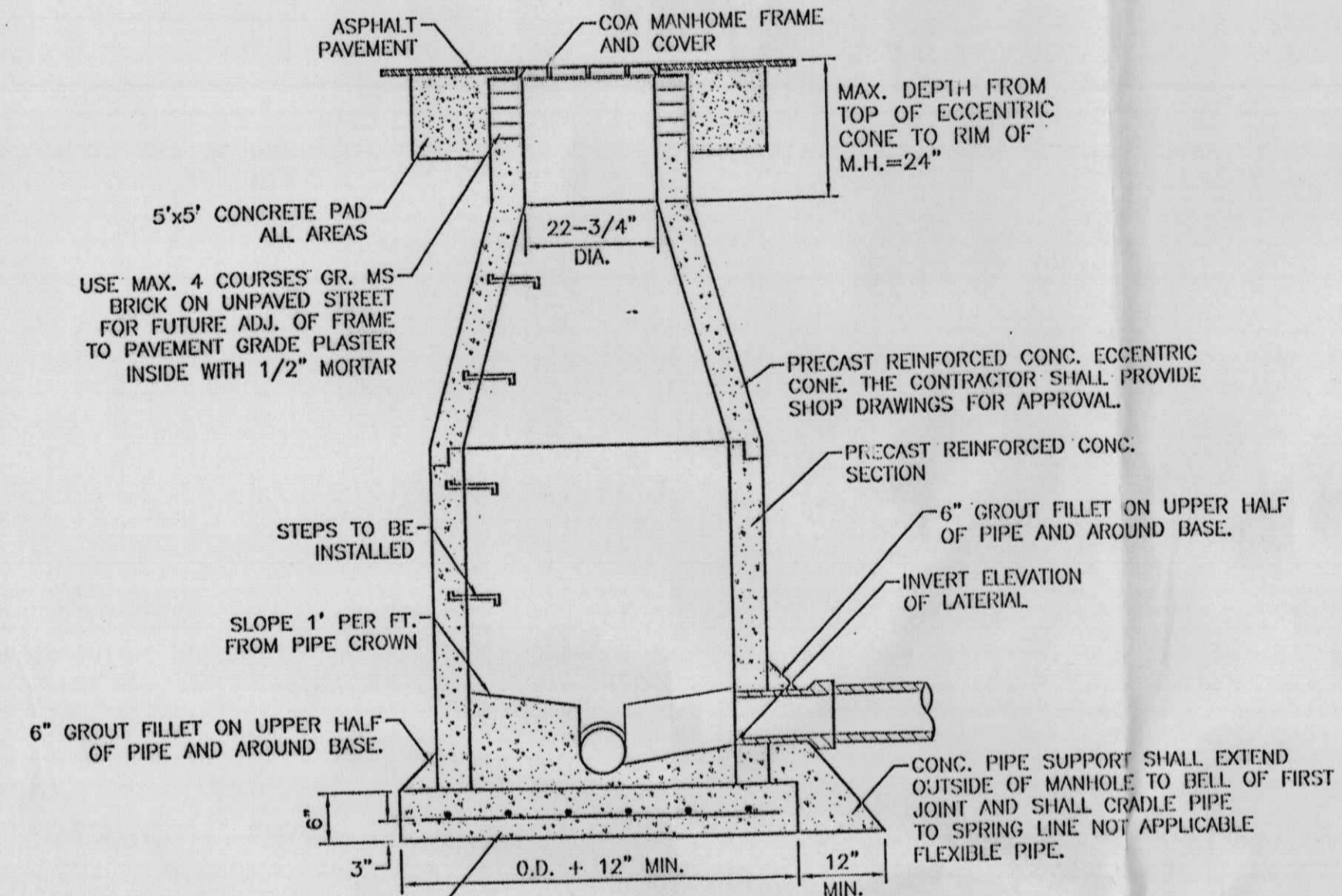
GENERAL NOTES

- BEDDING SHALL BE CLASS I-A WORKED BY HAND. IF GROUNDWATER IS ANTICIPATED, THEN BEDDING SHALL BE CLASS I-B COMPACTED TO 85% STANDARD PROCTOR. (SEE SPECIFICATIONS FOR GRADATION)
- HAUNCHING SHALL BE WORKED AROUND THE PIPE BY HAND TO ELIMINATE VOIDS AND SHALL BE CLASS I-A OR CLASS I-B OR CLASS II COMPACTED TO 85% PROCTOR.
- INITIAL BACKFILL SHALL BE CLASS I-A WORKED BY HAND, OR CLASS I-B OR CLASS II COMPACTED TO 85% STANDARD PROCTOR.
- INITIAL BACKFILL NOT UNDER PAVED AREAS CAN BE CLASS III COMPACTED TO 90% STANDARD PROCTOR.
- FINAL BACKFILL SHALL BE CLASS I, II, OR III COMPACTED AS NOTED IN NOTES 3. AND 4.
- FINAL BACKFILL NOT UNDER PAVED AREAS CAN BE CLASS IV-A COMPACTED TO 95% STANDARD PROCTOR.
- ALL MATERIALS ARE CLASSIFIED IN ACCORDANCE WITH ASTM D 2321-89.
- ALL MATERIALS SHALL BE INSTALLED IN MAXIMUM 8" LOOSE LIFTS IN ACCORDANCE WITH ASTM D 698. CLASS III AND IV-A MATERIALS SHALL BE COMPACTED NEAR OPTIMUM MOISTURE CONTENT.
- FILL SALVAGED FROM EXCAVATION SHALL BE FREE OF DEBRIS, ORGANICS AND ROCKS LARGER THAN 3".
- ALL TRENCH EXCAVATIONS SHALL BE SLOPED, SHORED, SHEETED, BRACED, OR OTHERWISE SUPPORTED IN COMPLIANCE WITH OSHA REGULATIONS AND LOCAL ORDINANCES. (SEE SPECIFICATIONS)

- BEDDING SHALL BE CLASS I-A WORKED BY HAND. IF GROUNDWATER IS ANTICIPATED, THEN BEDDING SHALL BE CLASS I-B COMPACTED TO 85% STANDARD PROCTOR. (SEE SPECIFICATIONS FOR GRADATION)
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- ALL MATERIALS SHALL BE INSTALLED IN MAXIMUM 8" LOOSE LIFTS IN ACCORDANCE WITH ASTM D 698. CLASS III AND IV-A MATERIALS SHALL BE COMPACTED NEAR OPTIMUM MOISTURE CONTENT.
- FILL SALVAGED FROM EXCAVATION SHALL BE FREE OF DEBRIS, ORGANICS AND ROCKS LARGER THAN 3".
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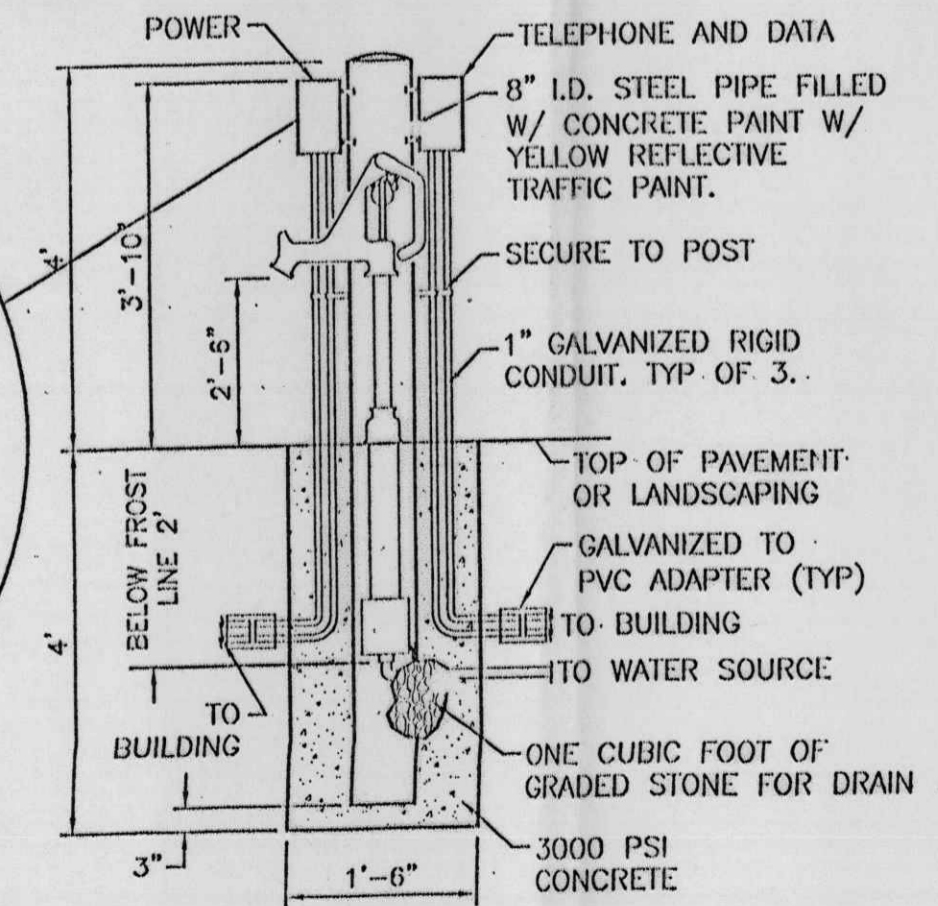
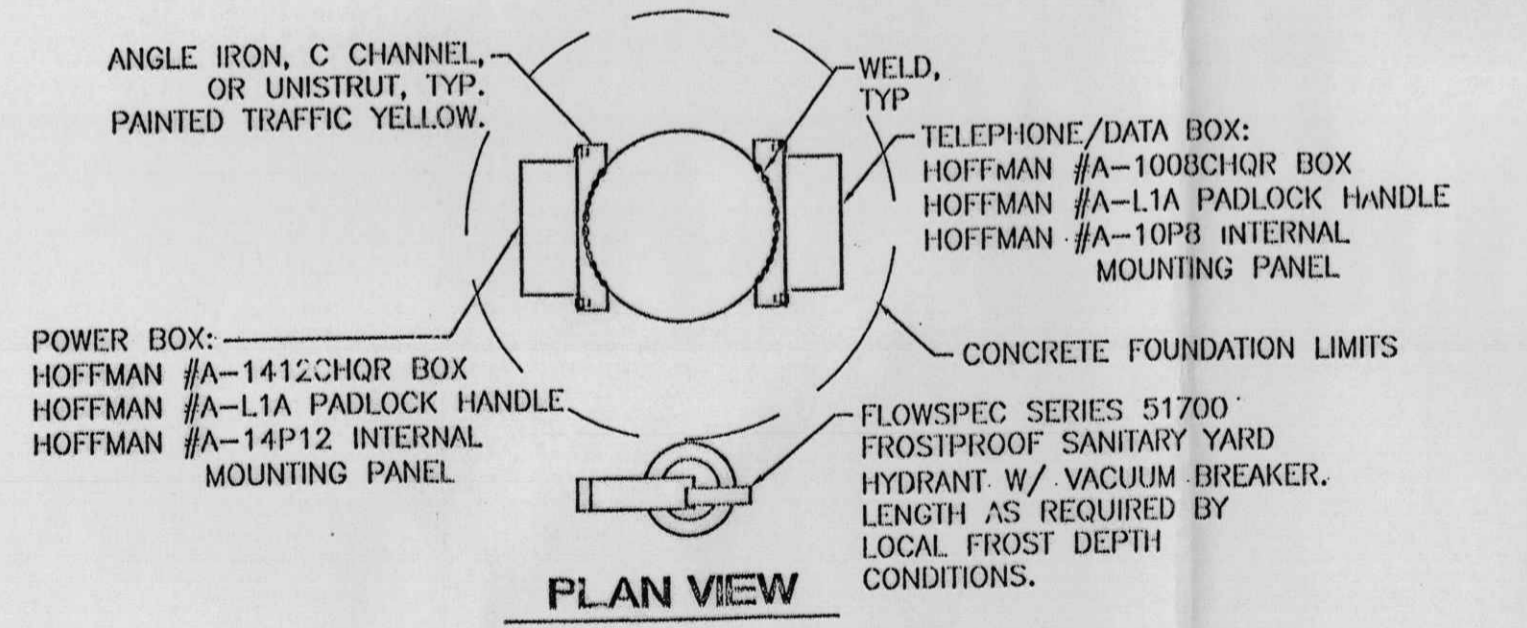
UTILITY TRENCH AND BEDDING DETAIL

STORM SEWER TRENCH AND BEDDING DETAIL



NOTE:
 1. DETAIL IS THE SAME AS SHOWN IN THE CITY OF ALBUQUERQUE STANDARD SPECIFICATION FOR PUBLIC WORKS DRAWING NO. 2102.
 2. USE NON-SHRINK GROUT FOR JOINTS, FILLETS, AND PIPE PENETRATIONS
 3. COMPACT ALL BACKFILL AROUND MANHOLES TO 95%.
 4. POSITION MANHOLE OPENING OVER THE UPSTREAM SIDE OF MAIN LINE.

SEWER MANHOLE TYPE 'E' DETAIL



REMOTE GARDEN CENTER UTILITIES BOLLARD DETAIL

NO.	DATE	REMARKS	BY
REVISIONS			
ENGINEER'S SEAL		ALBUQUERQUE WAL-MART EXPANSION, NM-831-02	DRAWN BY BDG
		DETAILS	DATE 01/18/02
			DETAILS.DWG
			SHEET #
			10
RONALD R. BOHANNAN P.E. #7868		TERRA WEST, I.L.C. 8509 JEFFERSON NE ALBUQUERQUE, N.M. 87113 (505)858-3100	JOB #: 990031

LETTER OF AUTHORIZATION

January 21, 2021

City of Albuquerque
600 2nd Street NW
Albuquerque, NM 87102

To Whom It May Concern:

I hereby authorize: Gina Kelly
SGA Design Group
1437 South Boulder, Suite 550
Tulsa, OK 74119
(918) 587-8600

To act as the agent on your behalf before the City of Albuquerque, NM for all the Walmart Stores that assigned to SGA Design Group within the jurisdiction of Albuquerque, NM.

Dren Bailess
Signature

Dren Bailess 1/21/2021
Print Name Date

State of: Arkansas
County of: Benton

Subscribed and sworn to before me this 21 day of January, 2021.

Notary Public *Crystal Uphoff*
My Commission Expires 10-10-2026

