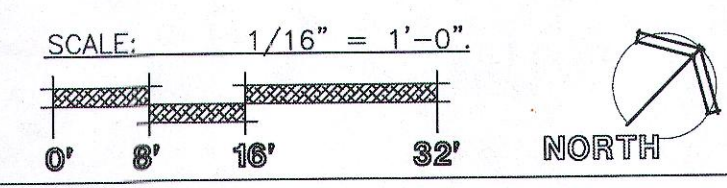
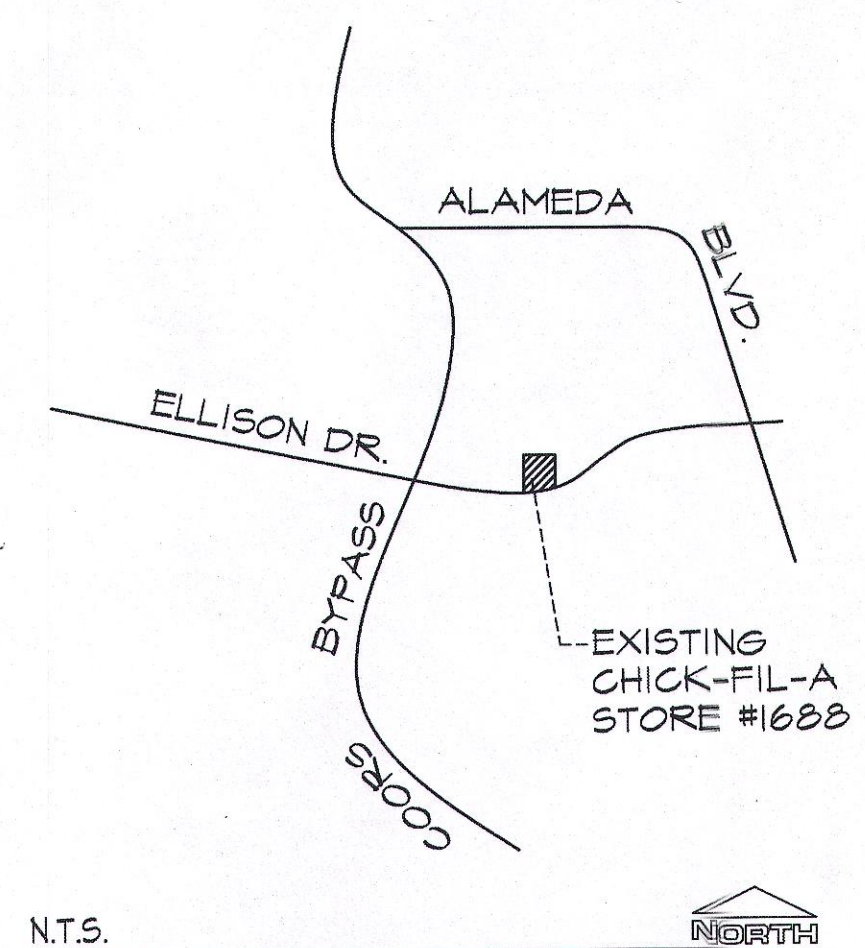


ADMINISTRATIVE AMENDMENT
 FILE # 51-2020 PROJECT # PR-2019
 #00025 #002507
 Drive-through
 canopies
 [Signature]
 APPROVED BY DATE



1 ENLARGED SITE PLAN - PROPOSED
 SCALE: 1/16" = 1'-0"

VICINITY MAP



N.T.S.

SHEET INDEX

- ARCHITECTURAL
 A-1 PROJECT DATA & OVERALL SITE PLAN
 A-2 ENLARGED CANOPY PLAN
- STRUCTURAL
 FACE TO FACE CANOPY
 AB-1 FOOTING LOCATIONS
 AB-2 CANOPY FOOTINGS
 E-1 FRAMING PLAN
 E-2 SECTIONS
 E-3 SECTIONS
 E-4 SECTIONS
 EL1 CANOPY ELEVATION PLAN
 LLI CANOPY LIGHT LAYOUT
- MEAL DELIVERY CANOPY
 AB-1 FOOTING LOCATIONS
 AB-2 CANOPY FOOTINGS
 E-1 FRAMING PLAN
 E-2 SECTIONS
 E-3 SECTIONS
 E-4 SECTIONS
 EL1 CANOPY ELEVATION PLAN
 LLI CANOPY LIGHT LAYOUT
- PLUMBING
 P1.1 GAS PLUMBING PLAN
 P1.2 GAS PLUMBING PLAN
 P2.1 PLUMBING DETAILS
- ELECTRICAL
 EI.1 POWER AND LGT PLAN
 EI.2 ELECTRICAL DETAILS

SITE PLAN NOTES

1. OUTLINE OF PROPOSED OVERHEAD MEAL DELIVERY CANOPY.
2. OUTLINE OF PROPOSED OVERHEAD FACE TO FACE CANOPY.
3. EXISTING VEHICLE DRIVE AISLE TO REMAIN.
4. EXISTING PARKING FIELD TO REMAIN, NO CHANGE.
5. EXISTING ORDER POINT TO REMAIN, NO CHANGE.
6. EXISTING CONCRETE WALKWAY TO REMAIN.
7. EXISTING CONCRETE CURB TO REMAIN. ANY DAMAGE TO EXISTING CURB SHALL BE REPAIRED AND/OR REPLACED AS TO LIKE CONDITION.
8. EXISTING CONCRETE ACCESSIBLE RAMP / MARKED PATHWAY TO REMAIN.
9. EXISTING LANDSCAPING AREA TO REMAIN.
10. LOCATION OF ELECTRICAL AND/OR GAS CONNECTION. CONFIRM UNDERGROUND UTILITIES PRIOR TO START OF CONSTRUCTION.
11. EXISTING UNDERGROUND UTILITY COVER TO REMAIN. VERIFY PRIOR TO START OF CONSTRUCTION.
12. EDGE OF EXISTING BUILDING. NO CHANGE.

PROJECT DATA

PROJECT NAME: CHICK-FIL-A, SITE #1688
 PROJECT ADDRESS: 3801 ELLISON ROAD NW ALBUQUERQUE, NM 87114
 PROJECT DESCRIPTION: INSTALL NEW OVERHEAD SHADE CANOPY AT EXISTING DRIVE THRU FOR EMPLOYEE AND VEHICLE SHADE.
 EXISTING ZONING: NR-BF / COMMERCIAL (NO CHANGE)
 CONSTRUCTION AREA:
 a) Face to Face canopy: ± 1,001 S.F.
 b) Meal Delivery Canopy: ± 490 S.F.
 Total: ± 1,491 S.F.
 PARKING: EXISTING (NO CHANGE)
 DRIVE THRU QUEING: EXISTING (NO CHANGE)

GOVERNING CODES

BUILDING: 2015 EDITION I.B.C.
 MECHANICAL: 2015 EDITION U.M.C.
 PLUMBING: 2015 EDITION U.P.C.
 ENERGY: 2015 EDITION I.E.C.C.
 ELECTRICAL: 2011 EDITION N.E.C.
 FUEL / GAS: 2015 EDITION I.F.G.C.
 FIRE: 2015 EDITION I.F.C.
 ACCESSIBLE: CURRENT EDITION OF A.N.S.I.

BUILDING SETBACKS

FRONT (Ellison Rd NW): 20 FT
 SIDE (Cottonwood Dr NW): 10 FT
 REAR: 10 FT
 SIDE: 10 FT

PROJECT TEAM

OWNER:
 CHICK-FIL-A, INC.
 TROY TRIPP
 5200 BUFFINGTON ROAD
 ATLANTA, GA 30349
 CHICK-FIL-A.COM

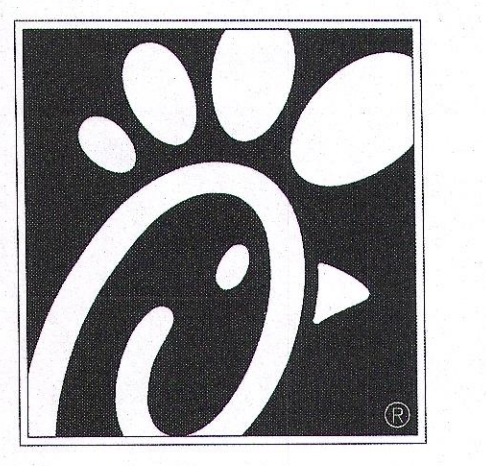
PROJECT MANAGER:
 EMG, LLC
 MICHAEL ANDERSON
 17200 N. PERIMETER DRIVE, SUITE 275
 SCOTTSDALE, ARIZONA 85255
 PH: 480-TTT-1800

CANOPY COMPANY:
 LANE SUPPLY INC.
 LARRY TOLBERT
 120 FAIRVIEW
 ARLINGTON, TX. 76010
 LTOLBERT@LANESUPPLYINC.COM

BUILDING DEPARTMENT:
 CITY OF ALBUQUERQUE
 PLANNING DEPARTMENT
 PLAZA DEL SOL, 600 2ND NW
 ALBUQUERQUE, NM 87102
 PH: 505-924-3860

GENERAL NOTES

1. PRIOR TO COMMENCEMENT OF CONSTRUCTION THE G.C. SHALL BE RESPONSIBLE TO VERIFY AND LOCATE EXACT LOCATION/DEPTH OF UNDERGROUND UTILITY LINES, COMMUNICATION LINES, ETC. SERVING THIS SITE. IDENTIFY UTILITIES AS TO SCOPE OF WORK AND LOCATION OF DIGGING.
2. WHERE REQUIRED, G.C. SHALL NOTIFY ADJACENT TENANTS / PROPERTY OWNERS OF ANY SERVICE INTERRUPTIONS AT LEAST 48 HOURS PRIOR TO SERVICE INTERRUPTIONS.
3. ANY DAMAGES TO UNDERGROUND UTILITY LINES SHALL BE REPORTED TO THE UTILITY COMPANY INVOLVED. G.C. SHALL REPAIR DAMAGES PER UTILITY CO. REQUIREMENTS AT CONTRACTORS EXPENSE.
4. UPON INSTALLATION OF FOOTINGS, IT SHALL BE THE G.C. RESPONSIBILITY TO OBTAIN THE SERVICES OF A LAND SURVEYOR TO PROVIDE TOP OF ASPHALT/CONC. DIVE TOPO POINTS TO THE CANOPY FABRICATOR PRIOR TO CANOPY FABRICATION. SAID LAND SURVEYOR SHALL PROVIDE A DRAWING DEPICTING TOPO POINTS NO EXCEPTIONS TAKEN.



Chick-fil-A
 5200 BUFFINGTON ROAD
 ATLANTA, GEORGIA 30349
 (404) 765-8000

THESE PLANS AND SPECIFICATIONS, AS WELL AS CHICK-FIL-A, INC. NAME AND LOGO, TRADEMARKS AND DESIGNS ARE THE EXCLUSIVE PROPERTY OF CHICK-FIL-A CORPORATION. ANY REPRODUCTION, MODIFICATION, DISCLOSURE AND/OR USE OF THESE MATERIALS (OR ANY PORTION OF THEM) WITHOUT CHICK-FIL-A'S PRIOR WRITTEN CONSENT IS STRICTLY PROHIBITED.

CONSULTANTS:

EMG INC.,
 17200 N. PERIMETER DRIVE, #275
 SCOTTSDALE, ARIZONA 85255
 TEL: 480.777.1800
 FAX: 480.777.5366
 WWW.EMGLLC.COM

esencia

1743 E. McNair Drive, Suite 200
 Tempe, Arizona 85283
 Telephone 480-755-0959

Revision Schedule

Rev	Date	By	Description

CANOPY PROGRAM
 CHICK-FIL-A
 STORE #1688
 3801 ELLISON ROAD NW
 ALBUQUERQUE, NM 87114

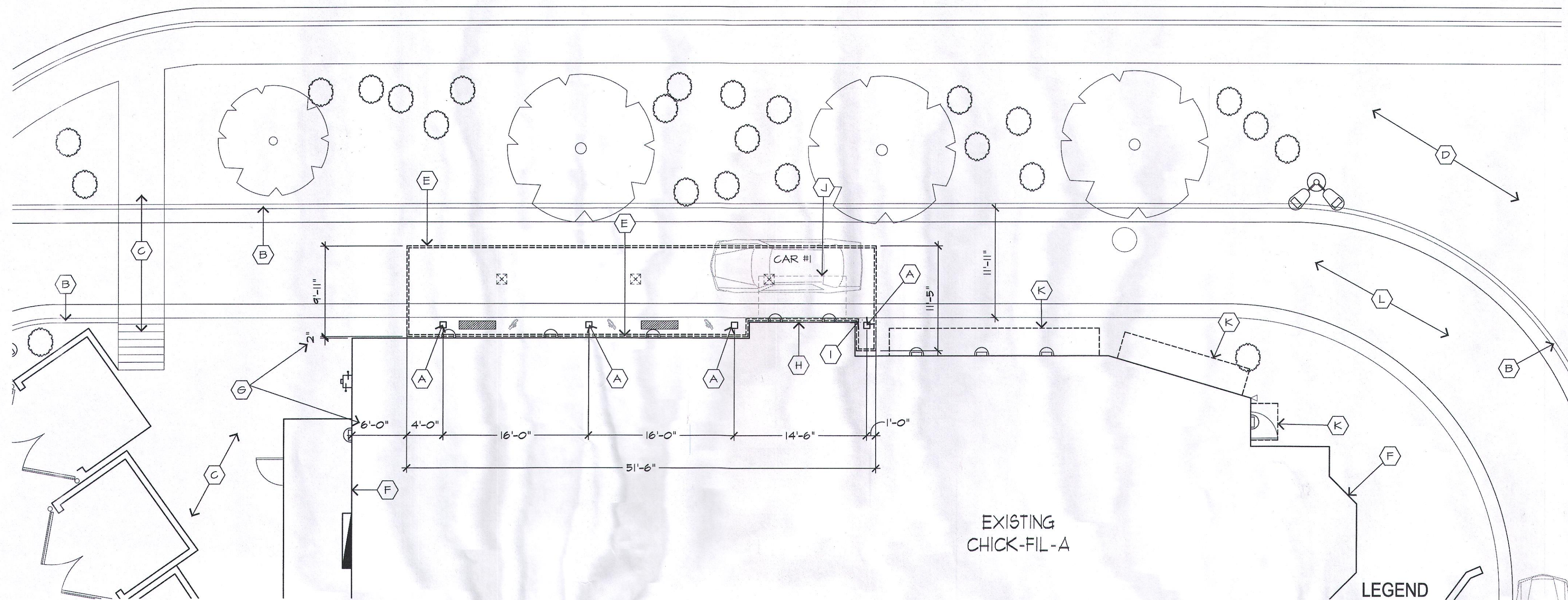
Issue Date: 9-27-19
 Drawn By: JM/JH
 Job Number: 18011

Sheet Title:
 Project Data
 Overall Site Plan

Scale: As indicated

Sheet Number:
 A-1

MIN 24' CIRCUMFERENCE



2 ENLARGED CANOPY INSTALLATION PLAN - MEAL DELIVERY CANOPY
SCALE: 1/8" = 1'-0"

SEE STRUCT. DRAWINGS

LEGEND

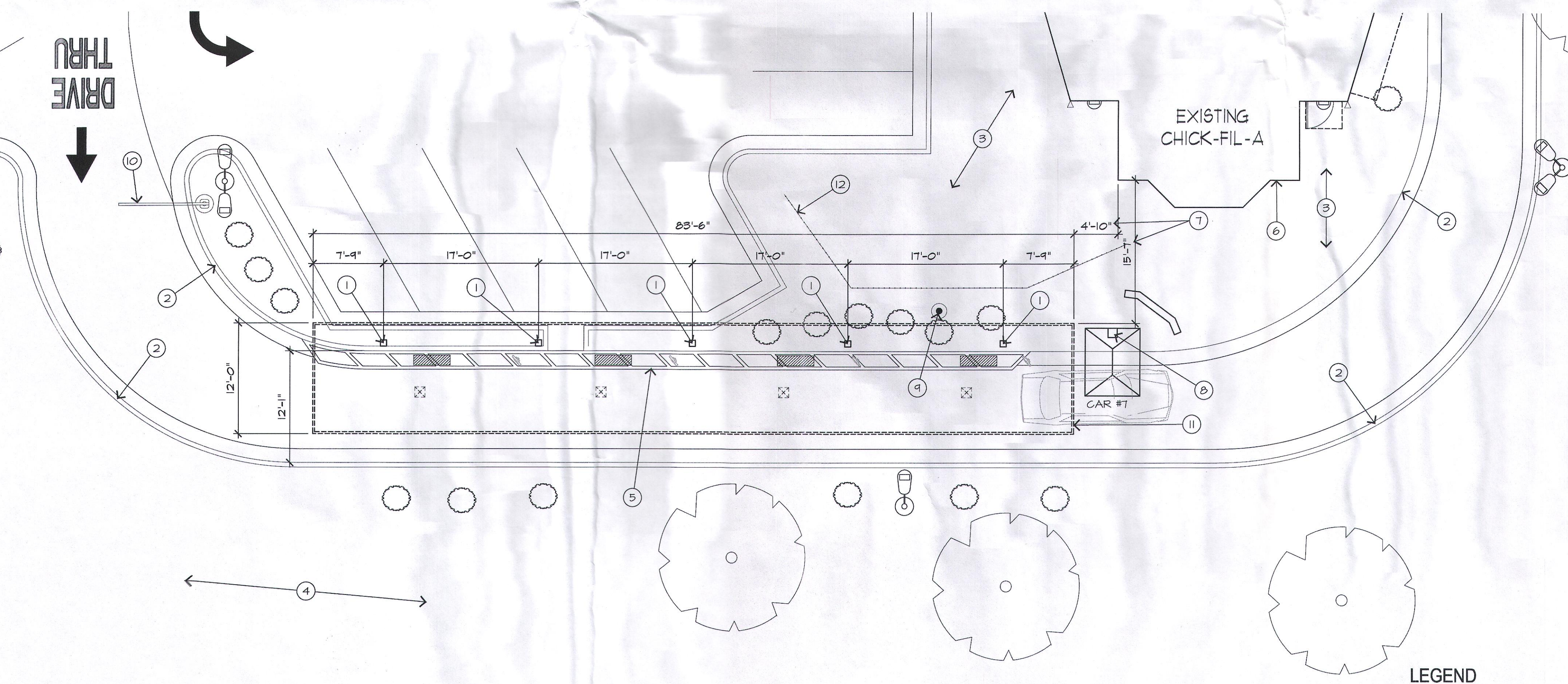
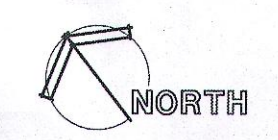
- CANOPY LIGHTS
- FANS
- HEATERS

CONSTRUCTION NOTES - MEAL DELIVERY

- A. NEW SHADE CANOPY STEEL SUPPORT COLUMN WITH CONCRETE FOOTING BELOW. SEE STRUCTURAL DRAWINGS FOR MORE DETAIL. EXISTING CONCRETE / LANDSCAPING TO BE REPAIRED AS REQUIRED FOR FLUSH CONDITION WITH EXISTING.
- B. EXISTING CONCRETE CURB TO REMAIN. ANY DAMAGE TO EXISTING CURB SHALL BE REPAIRED AND/OR REPLACED AS TO LIKE CONDITION.
- C. EXISTING CONCRETE WALKWAY TO REMAIN.
- D. EXISTING LANDSCAPING AREA TO REMAIN.
- E. OUTLINE OF PROPOSED OVERHEAD CANOPY.
- F. EDGE OF EXISTING BUILDING. NO CHANGE.
- G. XY DIMENSION SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. GC TO FIELD VERIFY EXACT LOCATION AND NOTIFY CHICK-FIL-A PROJECT TEAM IF CANOPY LOCATION CHANGES AND IMPACTS OTHER CONSTRUCTION RELATED CONDITIONS.
- H. MEAL DELIVERY PICK UP WINDOW AT 3'-6" HEIGHT (SILL @ 2'-11"). NO CHANGE.
- I. EXISTING BOLLARD TO BE REMOVED.
- J. EXISTING AWNING TO BE REMOVED. GC TO REPAIR AS REQUIRED FOR FLUSH CONDITION WITH EXISTING.
- K. EXISTING AWNING TO REMAIN. NO CHANGE.
- L. EXISTING DRIVE THRU LANE TO REMAIN.

NOTES:
* GC TO RELOCATE OR REPLACE ON SITE ANY VEGETATION REMOVED DURING CONSTRUCTION.

REFERENCE:
SCALE: 1/8" = 1'-0"
0' 4' 8' 16'



1 ENLARGED CANOPY INSTALLATION PLAN - FACE TO FACE CANOPY
SCALE: 1/8" = 1'-0"

SEE STRUCT. DRAWINGS

LEGEND

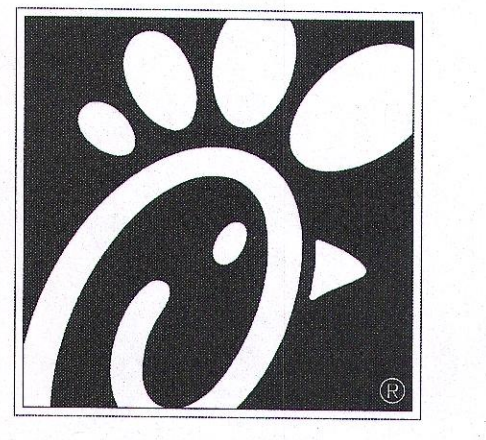
- CANOPY LIGHTS
- FANS
- HEATERS

CONSTRUCTION NOTES - FACE TO FACE

- 1. NEW SHADE CANOPY STEEL SUPPORT COLUMN WITH CONCRETE FOOTING BELOW. SEE STRUCTURAL DRAWINGS FOR MORE DETAIL. EXISTING CONCRETE / LANDSCAPING TO BE REPAIRED AS REQUIRED FOR FLUSH CONDITION WITH EXISTING.
- 2. EXISTING CONCRETE CURB TO REMAIN. ANY DAMAGE TO EXISTING CURB SHALL BE REPAIRED AND/OR REPLACED AS TO LIKE CONDITION.
- 3. EXISTING CONCRETE WALKWAY TO REMAIN.
- 4. EXISTING LANDSCAPING AREA TO REMAIN.
- 5. NEW 24" WIDE TEAM MEMBER DEMARCATION. USE TRAFFIC RATED PAINT.
- 6. EDGE OF EXISTING BUILDING. NO CHANGE.
- 7. XY DIMENSION SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. GC TO FIELD VERIFY EXACT LOCATION AND NOTIFY CHICK-FIL-A PROJECT TEAM IF CANOPY LOCATION CHANGES AND IMPACTS OTHER CONSTRUCTION RELATED CONDITIONS.
- 8. EXISTING DRIVE THRU ORDER POINT.
- 9. EXISTING FLAG POLE TO REMAIN.
- 10. EXISTING CLEARANCE BAR TO REMAIN. NO CHANGE.
- 11. OUTLINE OF PROPOSED OVERHEAD CANOPY.
- 12. EXISTING RAILING TO REMAIN.

NOTES:
* GC TO RELOCATE OR REPLACE ON SITE ANY VEGETATION REMOVED DURING CONSTRUCTION.

REFERENCE:
SCALE: 1/8" = 1'-0"
0' 4' 8' 16'



Chick-fil-A
5200 BUFFINGTON ROAD
ATLANTA, GEORGIA 30349
(404) 765-8000

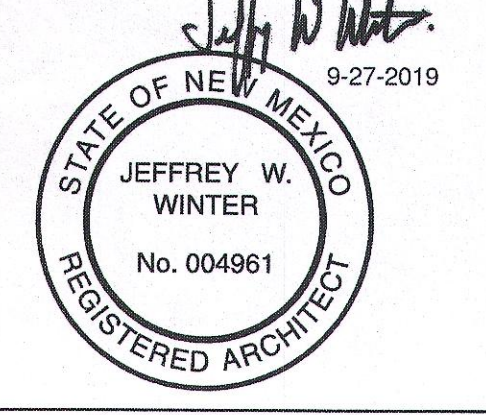
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emg
EMG INC.
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Tempe, Arizona 85283
Telephone 480-755-0959



Revision Schedule

Rev	Date	By	Description

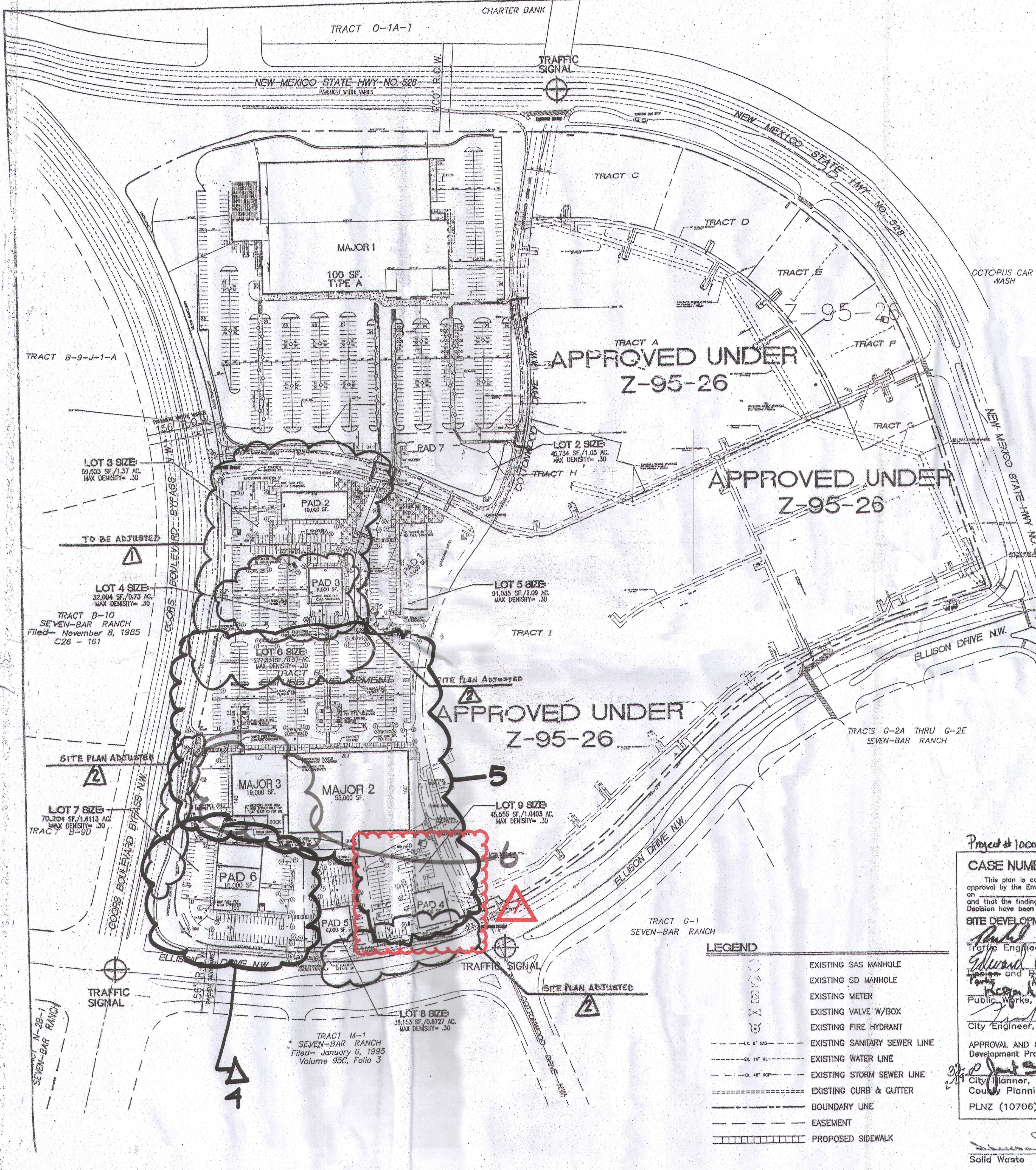
Project Name: CANOPY PROGRAM
CHICK-FIL-A
STORE #1688
3801 ELLISON ROAD NW
ALBUQUERQUE, NM 87114

Issue Date: 9-27-19
Drawn By: JM/JH
Job Number: 18011

Sheet Title:
Enlarged Canopy Plan

Scale: As indicated

Sheet Number:
A-2



- NOTES:**
1. LIGHT STANDARDS TO BE 36 FEET IN HEIGHT MAXIMUM.
 2. THE TOP OF ROOFTOP EQUIPMENT SHALL BE BELOW PARAPET HEIGHT. THE TRANSFORMER AND TRASH COMPACTOR SHOULD BE SCREENED WITH A SCREENWALL. THE TOP OF THE SCREENWALL SHALL BE TALLER THEN THE TOP OF EQUIPMENT.
 3. THE REFUSE ENCLOSURE AND THE SCREENWALLS SHALL BE COMPATIBLE IN DESIGN, COLOR, AND MATERIAL WITH THE BUILDING ARCHITECTURE.
 4. BUILDING MOUNTED SIGNS SHALL BE IN LOCATIONS INDICATED BUT SHALL BE LIMITED TO AN AREA TO 6% OF THE BUILDING FACADE FOR ALL BUILDINGS. SIGN LETTERS SHALL BE CHANNELIZED OR NEON AND NO BACKLIT ILLUMINATED PANELS EXCEPT FOR LOGO SIGNAGE.
 5. NO GENERIC FANCHISE DESIGNS SHALL BE PERMITTED.

NEW INDEX TO DRAWINGS
(FOR ADJUSTMENT TO SITE PLAN)
(FOR ADJUSTMENT TO OLIVE GARDEN SITE PLAN)

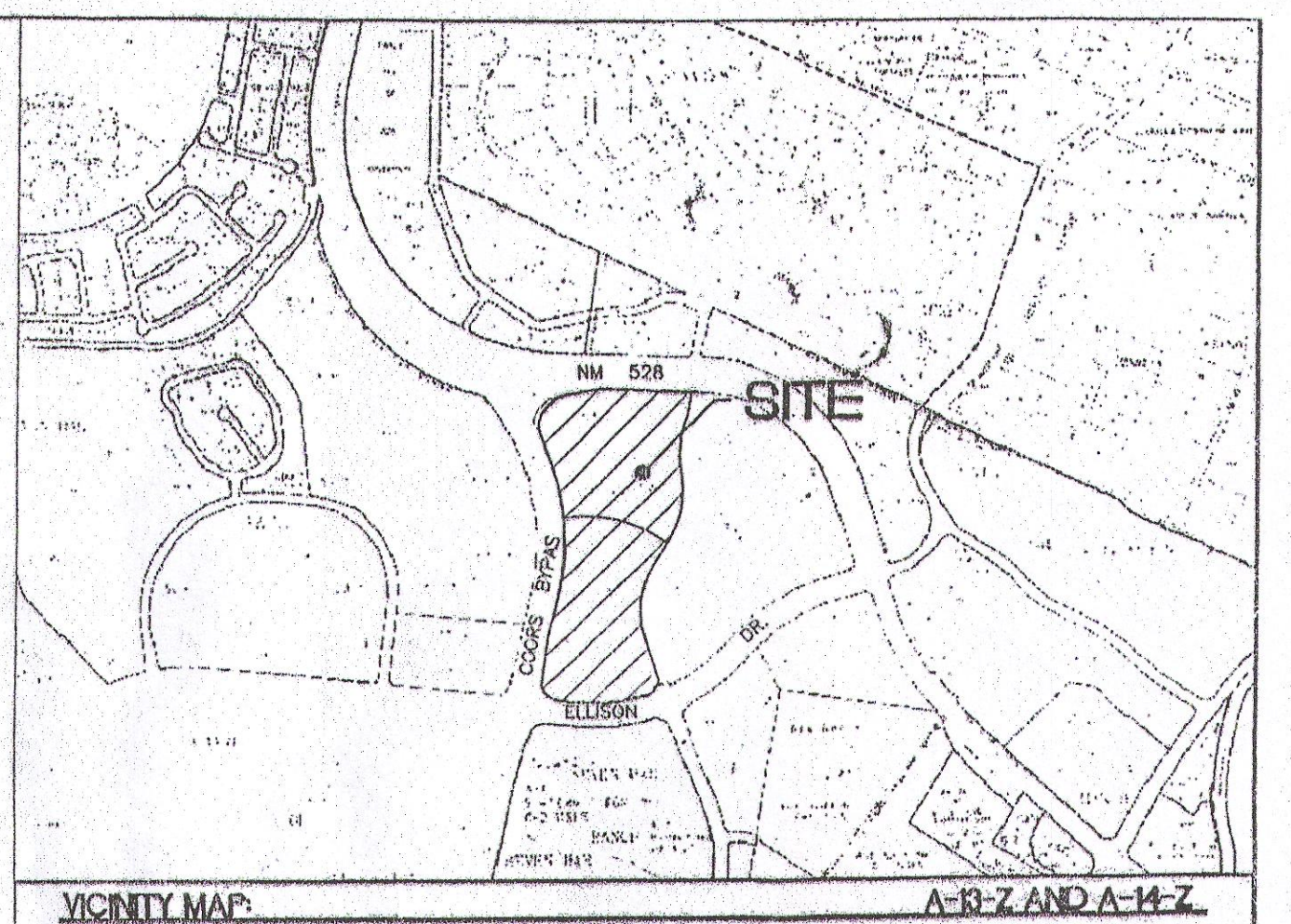
1. SITE PLAN FOR SUBDIVISION (ORIGINAL)
2. SAM'S CLUB BUILDING ELEVATIONS (ORIGINAL)
3. OLIVE GARDEN/RED LOBSTER AMENDED SITE PLAN
4. CONCEPTUAL GRADING AND DRAINAGE PLAN
5. OLIVE GARDEN BUILDING ELEVATIONS
6. OLIVE GARDEN BUILDING ELEVATIONS AND SECTIONS
7. RED LOBSTER/OLIVE GARDEN AMENDED SITE PLAN (REVISED)
8. RED LOBSTER/OLIVE GARDEN AMENDED GRADING AND DRAINAGE PLAN (UPDATED)
9. COTTONWOOD CORNERS OVERALL GRADING AND DRAINAGE PLAN (UPDATED)
10. OLIVE GARDEN SITE PLAN (AMENDED)
11. OLIVE GARDEN FLOOR PLAN (AMENDED)
12. OLIVE GARDEN BUILDING ELEVATIONS (AMENDED)
13. OLIVE GARDEN BUILDING ELEVATIONS AND SECTIONS (AMENDED)
14. CONCEPTUAL SIGN DESIGN (AMENDED)
15. CONCEPTUAL SIGN DESIGN

5 Δ modification of majors
2/11/shops
6 Δ major/shops modification
RB: SHEET ALSO FOR DETAILS.

▲ RE ADDITION OF TWO METAL FREE STANDING CANOPIES TO THE EXISTING CHICK-FIL-A
01/16/2020

LOT SIZES:

LOT NO.	SQUARE FEET	ACRES	MAX. FAR
1	577,418 SF	13.26 AC	.30
2	45,734 SF	1.05 AC	.30
3	59,503 SF	1.37 AC	.30
4	32,004 SF	0.73 AC	.30
5	91,035 SF	2.09 AC	.30
6	277,331 SF	6.37 AC	.30
7	70,204 SF	1.6113 AC	.30
8	38,153 SF	0.8727 AC	.30
9	45,555 SF	1.0493 AC	.30



LEGAL DESCRIPTION:

TRACT B OF COTTONWOOD CORNERS (BEING A REPLAT OF TRACTS 0-1A-1 AND 0-2A-1 OF SEVEN BAR RANCH.) CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

CURRENT ZONING: SU-1 FOR IP USES
TOTAL ACREAGE: 28.7716 AC.
ZONE ATLAS: A-13-Z & A-14-Z

BUILDING AREAS:

MAJOR 1	128,484 SF.	PAD 3	6,000 SF.
MAJOR 2	55,000 SF.	PAD 4	6,000 SF.
MAJOR 3	19,000 SF.	PAD 5	6,000 SF.
PAD 1	10,000 SF.	PAD 6	15,000 SF.
PAD 2	6,000 SF.	PAD 7	15,000 SF.
PAD 7 (CANOPY ONLY, NO BLDG.)			

— TOTAL BUILDING AREA — 251,484 SQUARE FEET

PARKING CALCULATIONS:

BUILDING AREA	SPACES REQUIRED
MAJOR 1	128,484 SF. / 200 = 650 SPACES
MAJOR 2	55,000 SF. / 200 = 275 SPACES
MAJOR 3	19,000 SF. / 200 = 95 SPACES
PAD 1	13,000 SF. / 200 = 65 SPACES
PAD 2	10,000 SF. / 200 = 50 SPACES
PAD 3	6,000 SF. / 200 = 30 SPACES
PAD 4	6,000 SF. / 200 = 30 SPACES
PAD 5	6,000 SF. / 200 = 30 SPACES
PAD 6	6,000 SF. / 200 = 30 SPACES
PAD 7	NO BUILDING CANOPY ONLY
TOTAL REQUIRED PARKING — 1,300 SPACES	

TOTAL PARKING ALLOWED (10% OVER REQUIRED)---	1,430 SPACES
TOTAL PARKING SPACES REQUIRED ---	1,300 SPACES
TOTAL HANDICAP SPACES REQUIRED ---	26 SPACES
TOTAL BIKE RACKS REQUIRED ---	68
TOTAL PARKING PROVIDED ---	1,363 SPACES
TOTAL HANDICAP SPACES PROVIDED ---	34 SPACES
TOTAL BIKE RACKS PROVIDED ---	70

INDEX TO DRAWINGS

1. SITE PLAN FOR SUBDIVISION
2. SITE PLAN FOR BUILDING PERMIT
3. LANDSCAPE PLAN "SEE NEW"
4. ELEVATIONS INDEX TO DRAWINGS
5. SIGNAGE DETAILS
6. GRADING AND DRAINAGE PLAN
- 6A. GRADING AND DRAINAGE DETAILS
7. MASTER UTILITY PLAN
8. DETAILS
9. DETAILS

Project # 1000081 00450 00000 00008

CASE NUMBER: Z - 99 - 114 DRB 95- 511

This plan is consistent with the specific site development plan approval by the Environmental Planning Commission (EPC) on [Date] and that the findings and conditions in the Official Notice; Notification of Decision have been complied with:

SITE DEVELOPMENT PLAN

Public Works	1/1/00
Traffic Engineer, Transportation Division	Date
Edward H. Lang	1-24-00
Director and Development, Public Department	Date
Public Works, Water Utilities Division	2-29-00
Director	Date
City Engineer, Engineering Division / AMAFCA	2-1-00
City Engineer	Date

APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.

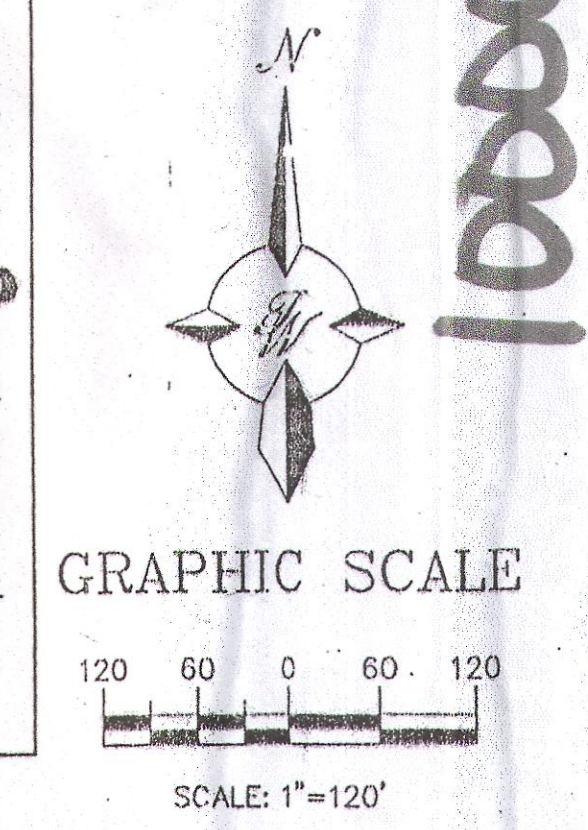
City Planner, Albuquerque / Bernalillo County Planning Division
PLNZ (10706) 4/96

3/2/00 Date

1-11-01 Date
Solid Waste

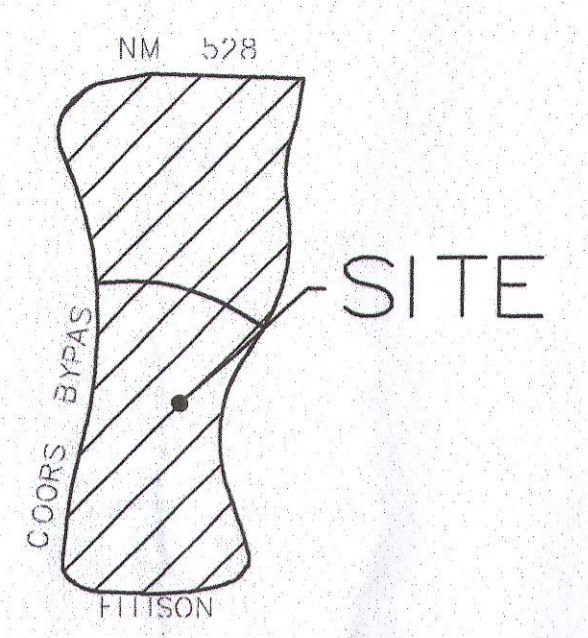
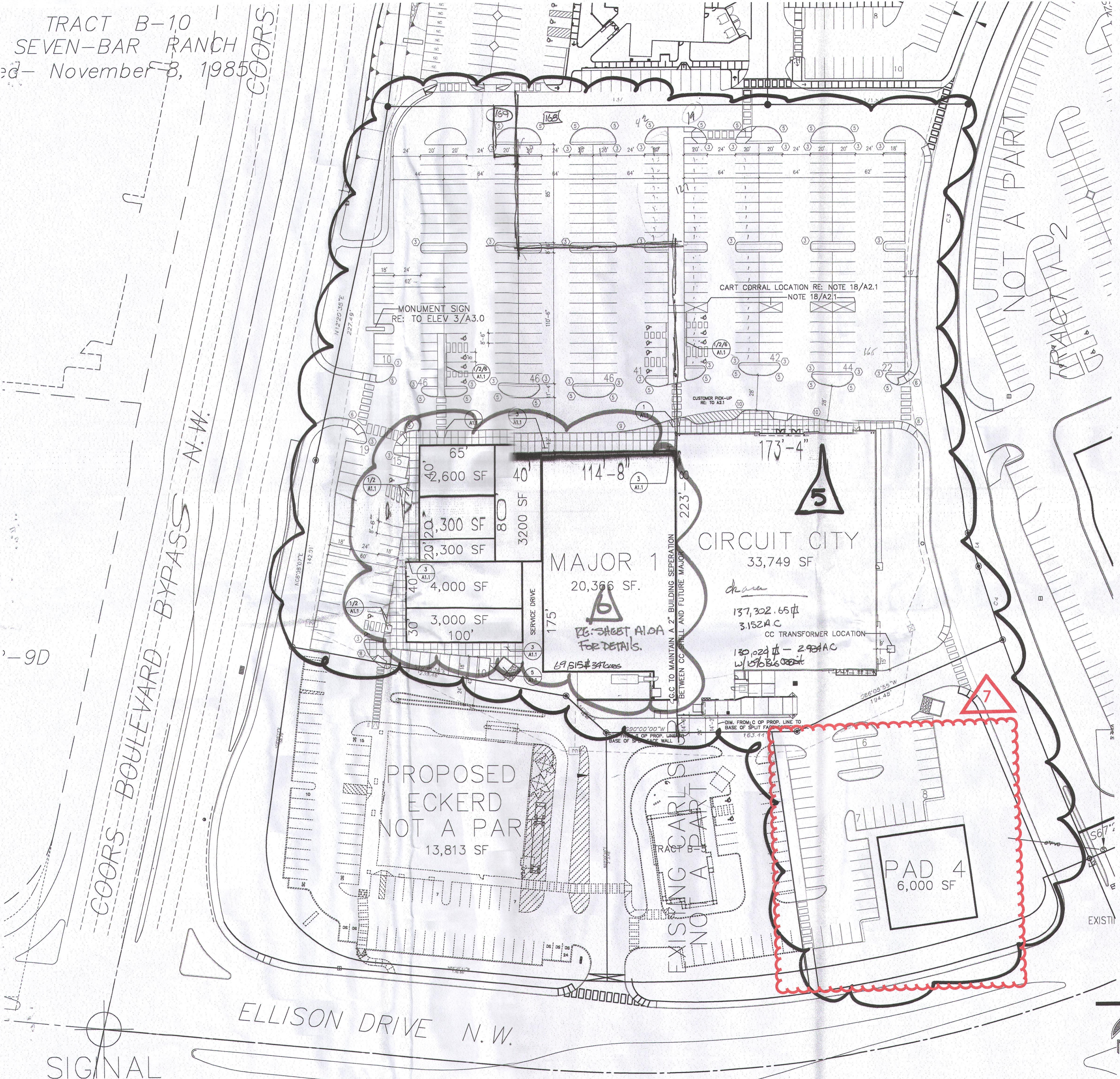
LEGEND

○	EXISTING SAS MANHOLE
○	EXISTING SD MANHOLE
○	EXISTING METER
○	EXISTING VALVE W/BOX
○	EXISTING FIRE HYDRANT
---	EXISTING SANITARY SEWER LINE
---	EXISTING WATER LINE
---	EXISTING STORM SEWER LINE
---	EXISTING CURB & GUTTER
---	BOUNDARY LINE
---	EASEMENT
---	PROPOSED SIDEWALK



2. SITE PLAN ADJUSTED	07-16-00	KAP
1. OLIVE GARDEN/RED LOBSTER SITE PLAN ADJUSTMENT	10-24-01	VC
REV. EXPLANATION	DATE	INITIAL
ENGINEER'S SEAL	ALBUQUERQUE SAM'S CLUB, NM: 4703	DRAWN BY: BDG
		DATE: 1-17-00
		99575.P5.DWG
		SHEET # 1
		JOB # 990057
RONALD R. BOHANNAN P.E. #7868	TIERRA WEST, LLC 4421 McLEOD ROAD, N.E., SUITE D ALBUQUERQUE, NEW MEXICO 871 (505)883-7592	

TRACT B-10
SEVEN-BAR RANCH
November 8, 1985



VICINITY MAP: A-13-Z AND A-14-Z

LEGAL DESCRIPTION
TRACT B OF COTTONWOOD CORNERS
CURRENT ZONING
SU-1 FOR IP USES
TOTAL ACREAGE
28.7716 AC
BICYCLE SPACE REQUIREMENT
SEC 14-16-3-1-B-3
ONE BIKE SPACE PER 20 CARS REQUIRED
389 SPACES / 20 = 20 REQUIRED BIKE SPACES
20 BIKE SPACES PROVIDED

PARKING NOTES:

SHOPS	15,400 SF. / 200 =	77 SPACES
MAJOR 1	20,366 SF. / 200 =	102 SPACES
CIRCUIT CITY	33,749 SF. / 200 =	169 SPACES

TOTAL PARKING SPACES REQUIRED	348 SPACES
PAD 4 PARKING SPACES PROVIDED	341 SPACES

TOTAL PARKING SPACES PROVIDED	30 SPACES
TOTAL PARKING SPACES REQUIRED	30 SPACES
TOTAL PARKING SPACES PROVIDED	47 SPACES

REQUIRED PARKING	378 SPACES
10% BUS CREDIT	37.8 SPACES
TOTAL REQUIRED PARKING	340 SPACES
TOTAL PROVIDED PARKING	389 SPACES

OFF-STREET PARKING STANDARDS
TYPICAL STANDARD SPACES ARE 8'-6" x 18'-0"
TYPICAL SMALL CAR SPACES ARE 8'-6" x 15'-0"
TYPICAL HANDICAP SPACES ARE 8'-0" x 18'-0"
WITH A 8' WIDE ACCESS AISLE
* ALL SPACES ARE STANDARD SIZE UNLESS OTHERWISE NOTED *

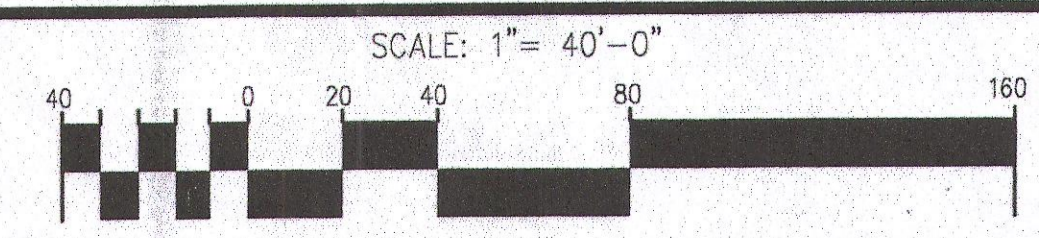
H.C. PARKING REQUIREMENTS
SEC 14-16-3-1-5-A
12 REQUIRED H.C. SPACES
16 HC PARKING SPACES PROVIDED

- CURB RADIUS DESIGNATION
- ③ = 5' RADIUS
 - ④ = 10' RADIUS
 - ⑤ = 15' RADIUS
 - ⑥ = 20' RADIUS
 - ⑦ = 25' RADIUS
 - ⑧ = 30' RADIUS
 - ⑨ = 150' RADIUS
 - ⑩ = 300' RADIUS

1000081 ADMINISTRATIVE
DEVELOPMENT PLAN AMENDMENT
FILE NO. AA-01080
7/21/03
CITY OF ALBUQUERQUE, NEW MEXICO
7/21/03

COTTONWOOD CORNERS

SITEPLAN



REV	DATE	BY	REVISION
1			
2			
3			
4			
5			
6			

GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
2325 SAN PEDRO N.E. SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-1877

PROJECT TITLE
COTTONWOOD CORNERS PI
NWC of Coors Bypass and Ellison Drive N.W.
Albuquerque, New Mexico
PROJECT MANAGER
JOB NO. 0228
DRAWN BY: SD
SHEET TITLE
SITE PLAN

DATE: 7/21/03
SCALE: 1" = 40'
sheet: A1.0
of: 1

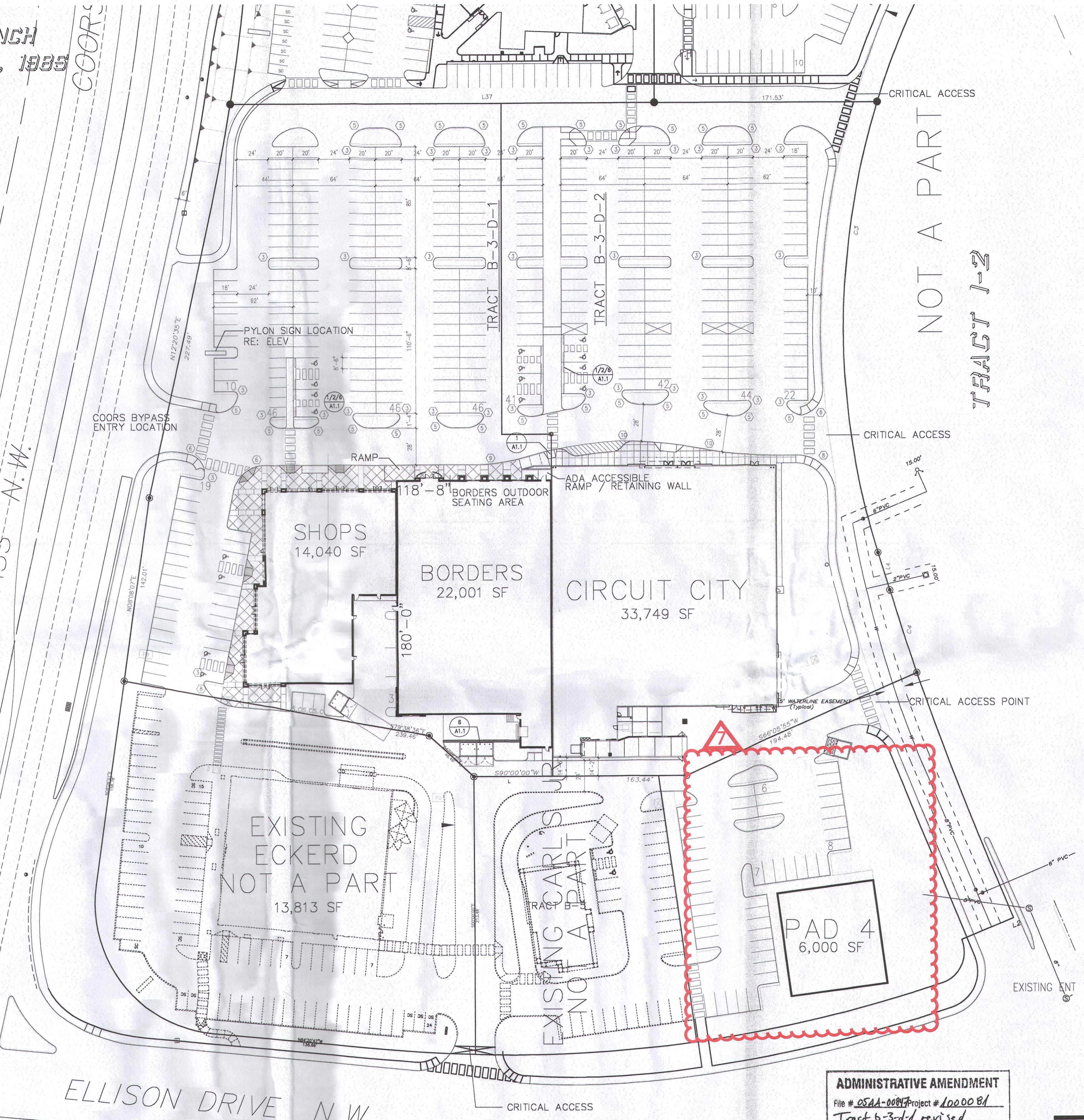
TRACT B-10
EVEN-BAR RANCH
- NOVEMBER 3, 1985

COORDS

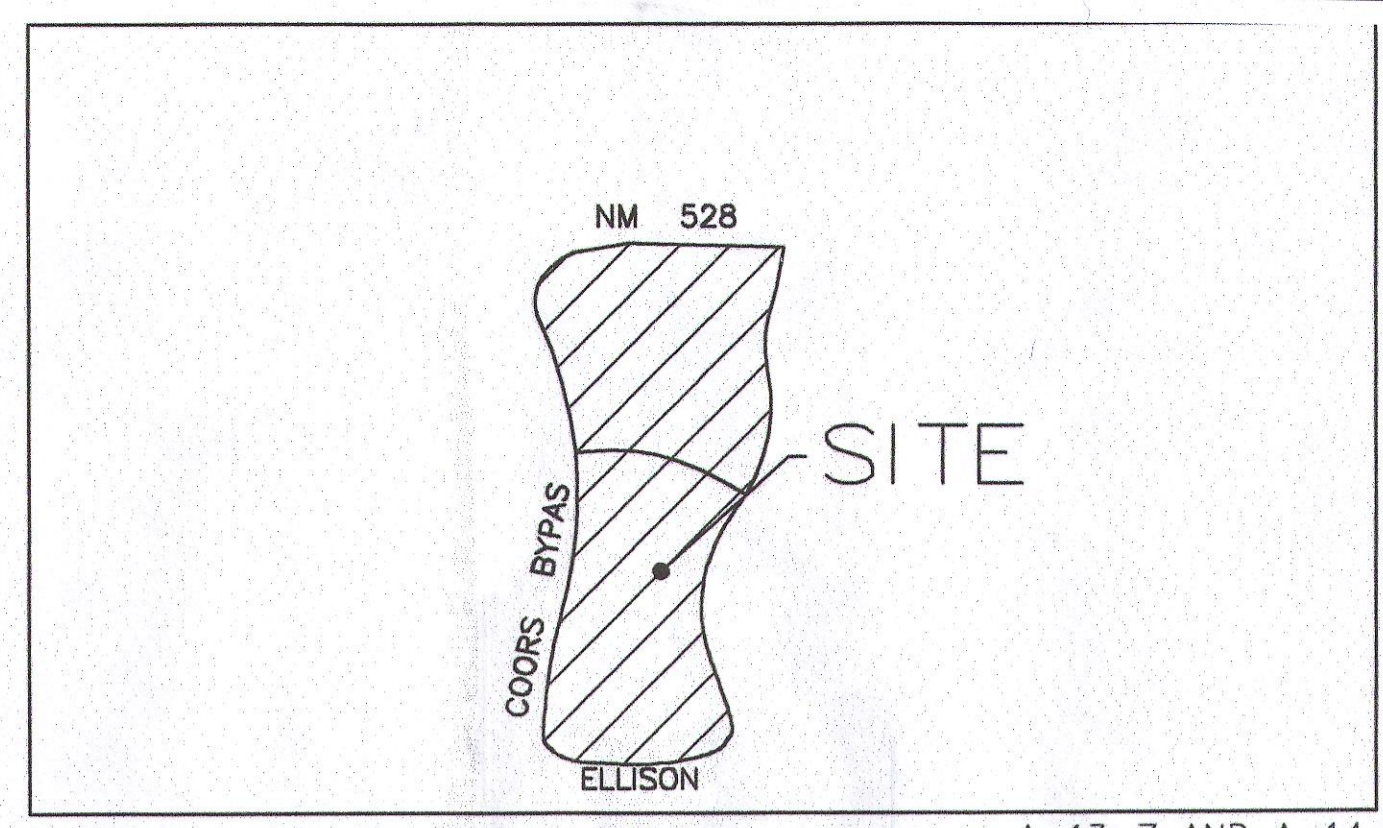
COORS BOULEVARD BYPASS N.W.

ELLISON DRIVE N.W.

SIGNAL



NOT A PART
TRACT 1-2



VICINITY MAP:
LEGAL DESCRIPTION
TRACT B OF COTTONWOOD CORNERS

CURRENT ZONING
SU-1 FOR IP USES

TOTAL ACREAGE
28.7716 AC

BICYCLE SPACE REQUIREMENT
SEC 14-16-3-1-B-3
ONE BIKE SPACE PER 20 CARS REQUIRED
389 SPACES / 20 = 20 REQUIRED BIKE SPACES
PARKING NOTES: 20 BIKE SPACES PROVIDED

SHOPS	14,040 SF. / 200 =	70 SPACES
BORDERS	22,000 SF. @ 4.5 PER 1,000 =	99 SPACES
CIRCUIT CITY	33,749 SF. / 200 =	169 SPACES
TOTAL BUILDING SF	69,480 SF	

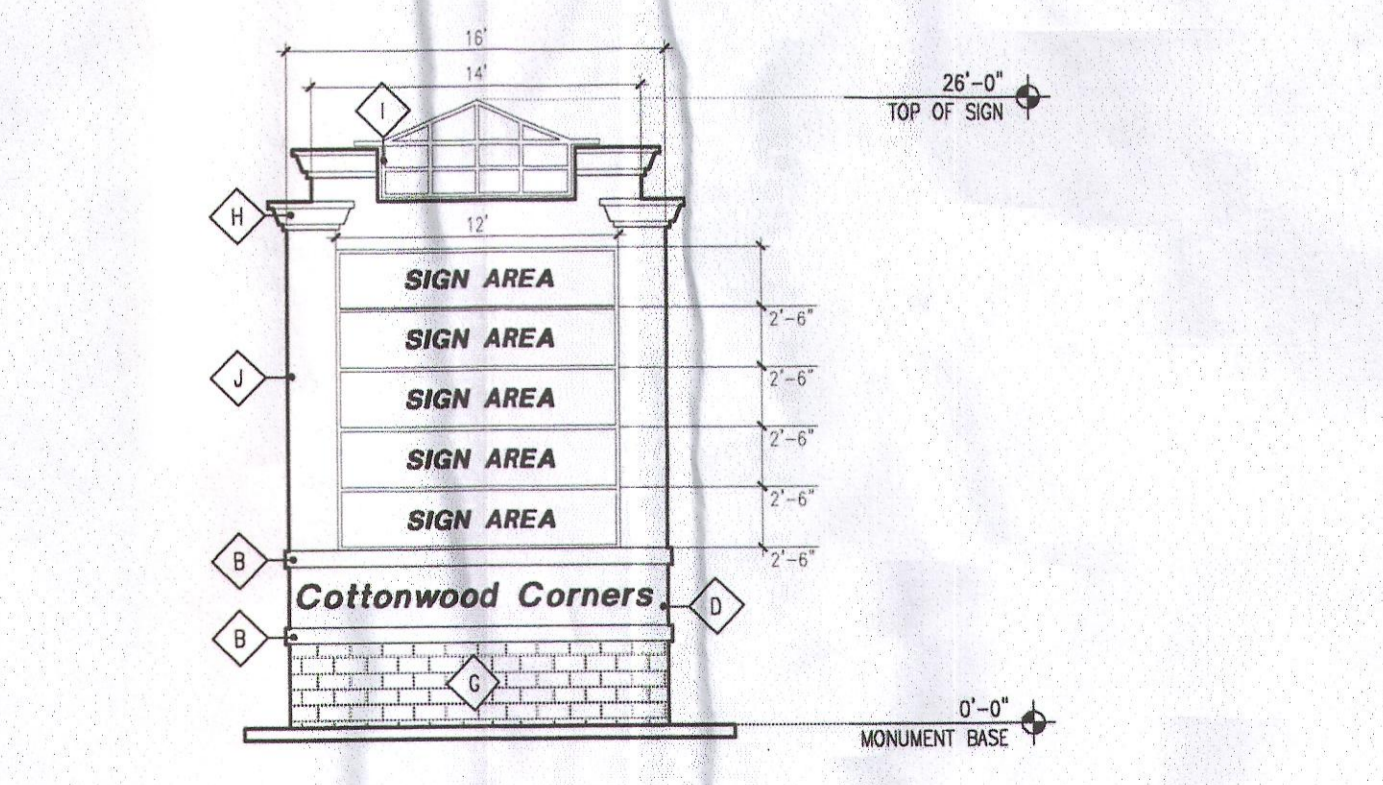
TOTAL PARKING SPACES REQUIRED ---	337 SPACES @ 4.85 CARS PER THOUSAND
TOTAL PARKING SPACES PROVIDED ---	333 SPACES @ 4.793 CARS PER THOUSAND
REQUIRED PARKING -----	337 SPACES
10% BUS CREDIT -----	33 SPACES
TOTAL REQUIRED PARKING -----	304 SPACES
TOTAL PROVIDED PARKING -----	333 SPACES

OFF-STREET PARKING STANDARDS
TYPICAL STANDARD SPACES ARE ---8'-6" x 18'-0"
TYPICAL SMALL CAR SPACES ARE ---8'-6" x 15'-6"
TYPICAL HANDICAP SPACES ARE ---8'-0" x 18'-0"
WITH A 8' WIDE ACCESS AISLE

* ALL SPACES ARE STANDARD SIZE UNLESS OTHERWISE NOTED *

H.C PARKING REQUIREMENTS
SEC 14-16-3-1-5-A
12 REQUIRED H.C SPACES
16 HC PARKING SPACES PROVIDED

CURB RADIUS DESIGNATION
③ = 5' RADIUS ⑥ = 20' RADIUS ⑨ = 150' RADIUS
④ = 10' RADIUS ⑦ = 25' RADIUS ⑩ = 300' RADIUS
⑤ = 15' RADIUS ⑧ = 30' RADIUS



PYLON SIGN LOCATION
COTTONWOOD CORNERS

ADMINISTRATIVE AMENDMENT
File # 0544-0084 Project # 10000 B1
Tract b-3-d-1 revised
Footprints and square
footages. Revised elevations
Kennel Burt 2 Jan 05
APPROVED BY DATE



REV	DATE	BY	REVISION
1			
2			
3			
4			
5			

GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
2325 SAN PEDRO N.E. SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-4877

PROJECT TITLE
COTTONWOOD CORNERS PH I
NIC of Coors Bypass and Ellison Drive N.W.
Albuquerque, New Mexico

PROJECT MANAGER
JOB NO. 0228

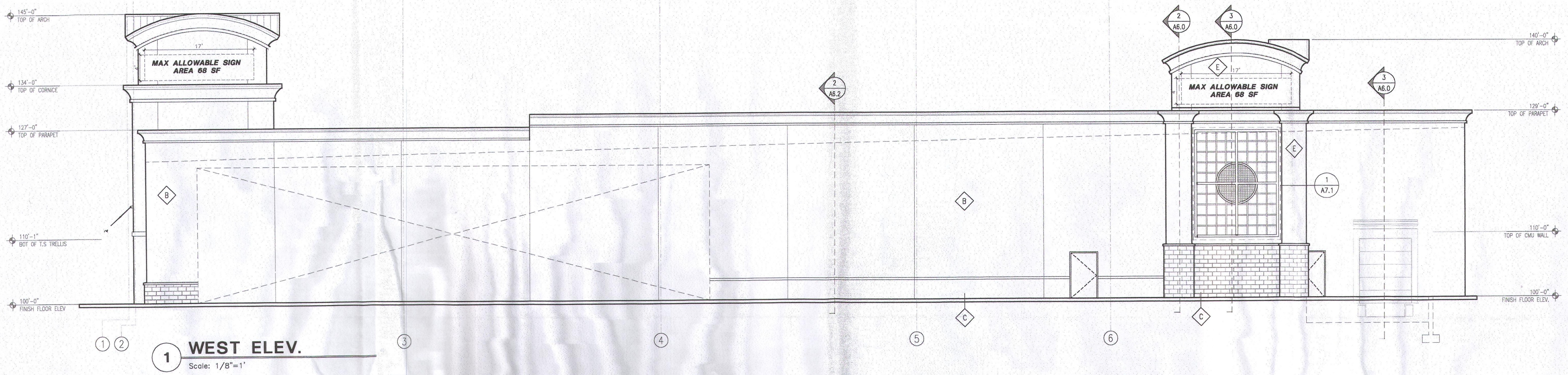
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SHEET TITLE
SITE PLAN

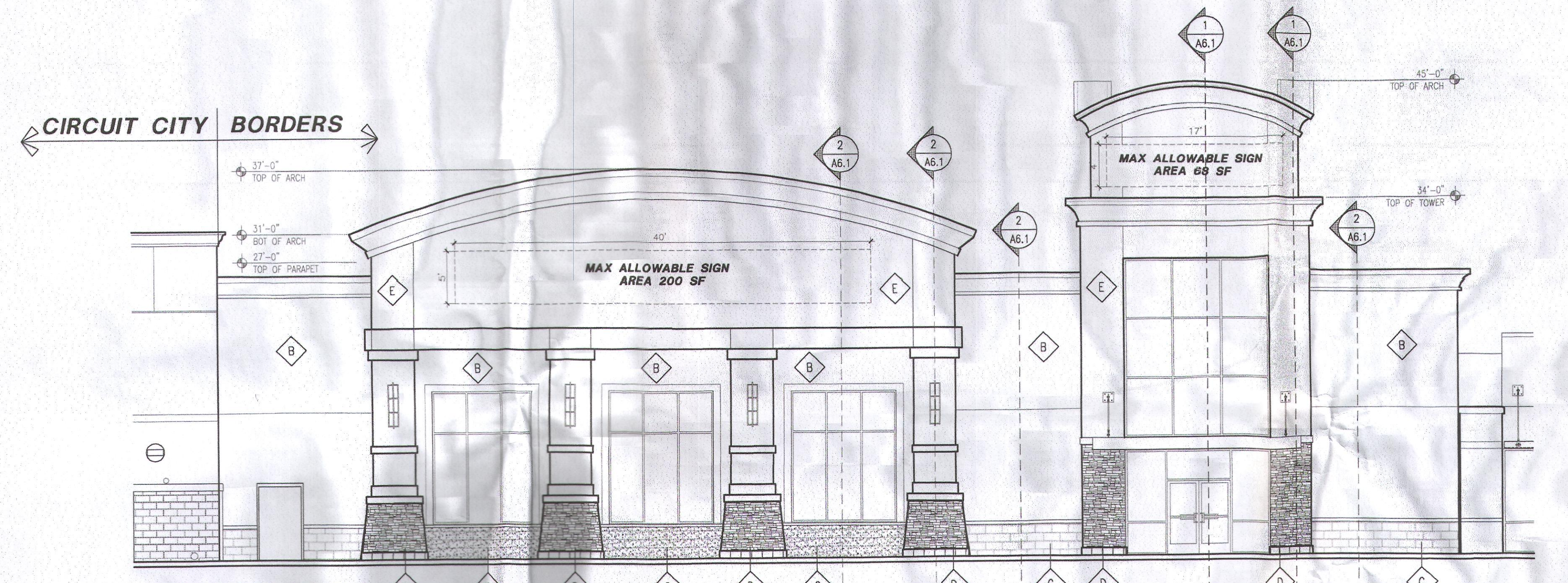
DATE:
5-19-04

SCALE:
1" = 40'

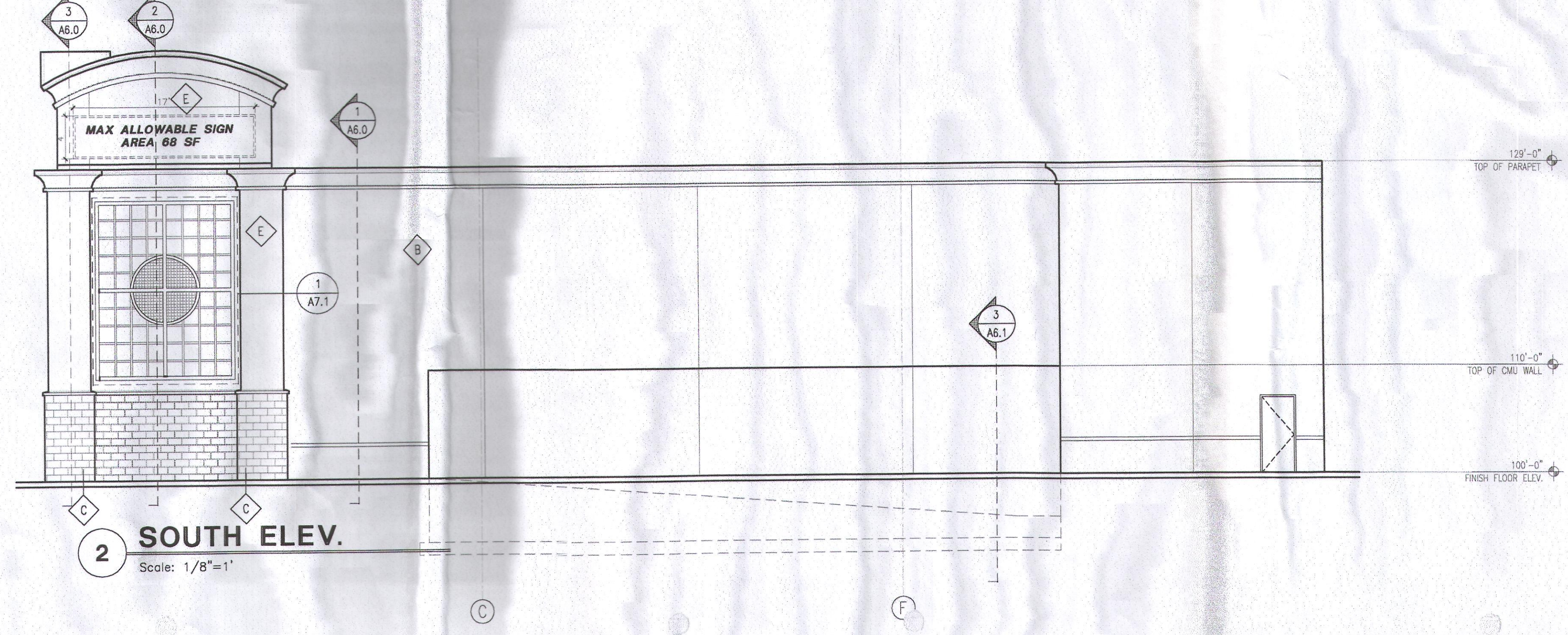
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1 WEST ELEV.
Scale: 1/8"=1'



2 NORTH ELEV.
Scale: 1/8"=1'



2 SOUTH ELEV.
Scale: 1/8"=1'

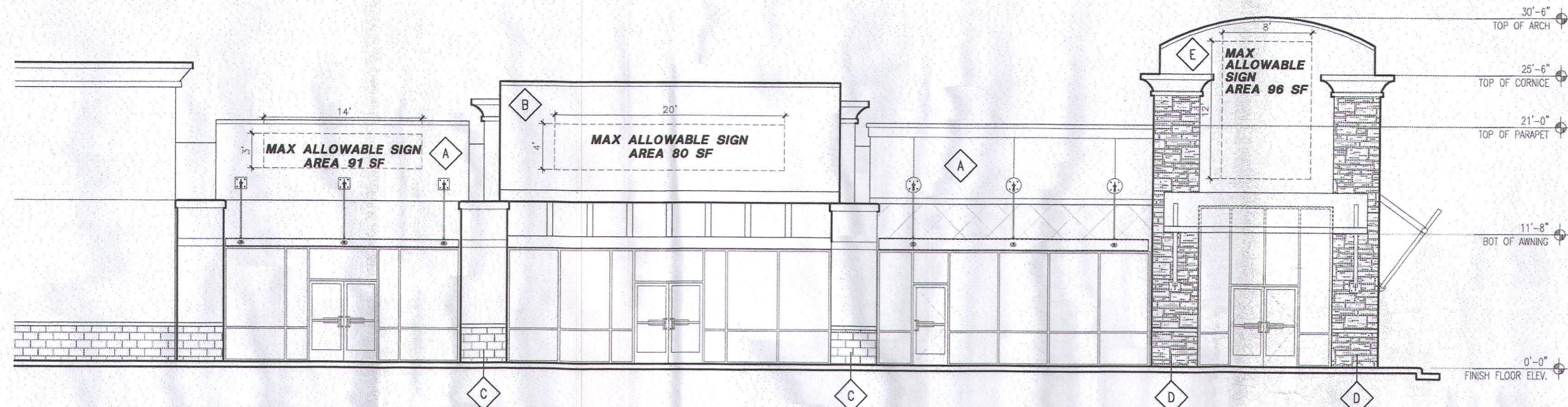
Keyed Color / Material Schedule	
◇ A	STUCCO/PAINT BENJAMIN MOORE #1037 "LIGHT BROWN"
◇ B	STUCCO/PAINT TELAS LT SANDALWOOD
◇ C	STUCCO BASE PAINT (EP-6)SHERWIN WILLIAMS #SW 2307 "RED BARN"
◇ D	MISC. ITEMS CULTERED STONE AUTUMN PRO-FIT LEDGESTONE PF-8015
◇ E	STUCCO/PAINT SHERWIN WILLIAMS SW 7005 PURE WHITE

REV	DATE	BY	REVISION
1			
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GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
 2325 SAN PEDRO N.E. SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877

PROJECT TITLE BORDERS	PROJECT MANAGER STEPHEN DUNBAR	JOB NO.	DRAWN BY: S
COTONWOOD CORNERS ALBUQUERQUE, NEW MEXICO		SHEET TITLE ELEVATIONS	

DATE: 4/8/05
 SCALE: 1/8"=1'-0"
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A3.0
 of-

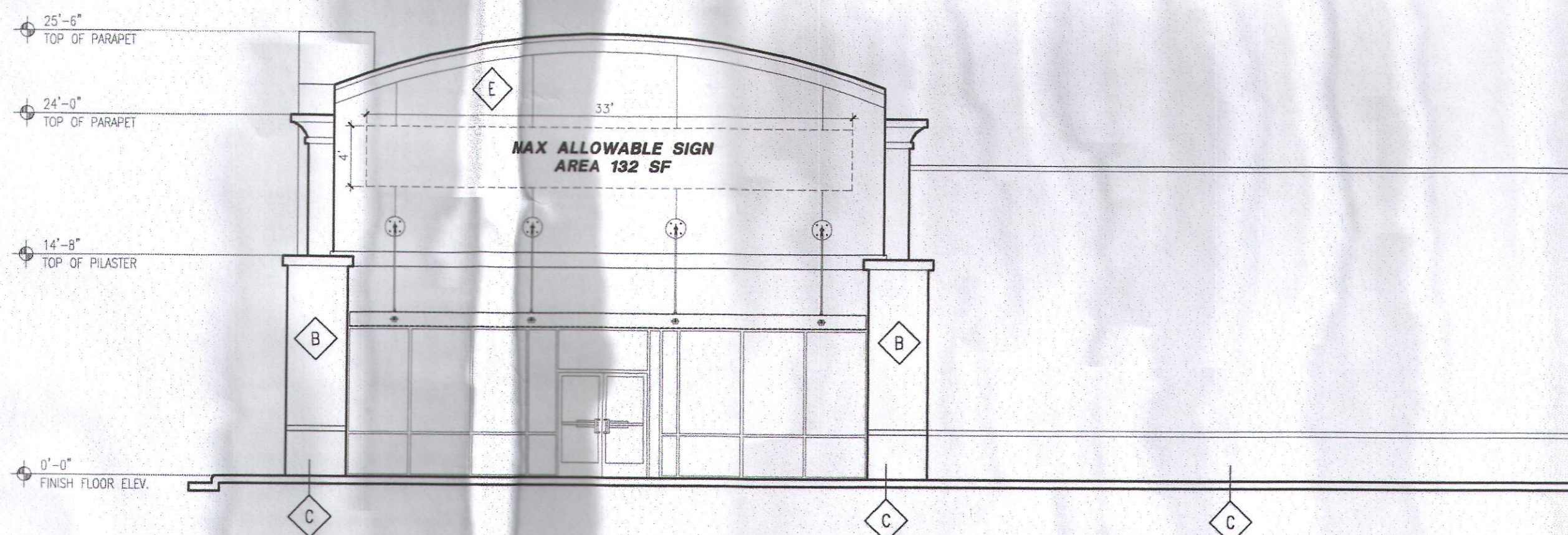


1 NORTH ELEV.
Scale: 1/8"=1'

Keyed Color / Material Schedule	
◆ A	STUCCO/PAINT BENJAMIN MOORE #1037 "LIGHT BROWN"
◆ B	STUCCO/PAINT TELAS LT SANDALWOOD
◆ C	STUCCO BASE PAINT (EP-6)SHERWIN WILLIAMS #SW 2307 "RED BARN"
◆ D	MISC. ITEMS CULTURED STONE AUTUMN PRO-FIT LEDGESTONE PF-8015
◆ E	STUCCO/PAINT SHERWIN WILLIAMS SW 7005 PURE WHITE

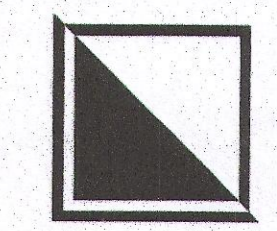


2 EAST ELEV.
Scale: 1/8"=1'



3 SOUTH ELEV.
Scale: 1/8"=1'

REV	DATE	BY	REVISION
1			
2			
3			
4			
5			



GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
2325 SAN PEDRO N.E. SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-9877

PROJECT TITLE	SHOPS
COTTONWOOD CORNERS	
ALBUQUERQUE, NEW MEXICO	
PROJECT MANAGER	JOB NO.
STEPHEN DUNBAR	
SHEET TITLE	ELEVATIONS
DRAWN BY:	S

DATE:	4/8/05
SCALE:	1/8"=1'-0"
sheet-	A3.A
of-	