

VICINITY MAP No. L-14

LEGAL DESCRIPTION

LOT NUMBERED ONE-A (1-A) IN BLOCK LETTERED "A" OF THE SURVEY PLAT SHOWING LOTS 1-A AND 2-A, BLOCK "A", ANDERSON & THAXTON'S REPLAT OF A PORTION OF TORREON ADDITION, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME ARE SHOWN & DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MAY 21, 1993 IN PLAT BOOK 93C, PAGE 143 AND THAT PART OF VACATED WALTER STREET TOGETHER WITH VACATED WALTER STREET PER VACATION ACTION NUMBER

N.T.S.

**PLAT OF
LOT 1-A-1, BLOCK "A"
ANDERSON & THAXTON'S REPLAT OF A PORTION OF
TORREON ADDITION**

WITHIN
TOWN OF ALBUQUERQUE GRANT
PROJECTED SECTION 17, TOWNSHIP 10 NORTH, RANGE 3 EAST, N.M.P.M.
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
MAY 2020

PROJECT NUMBER: PR-2019-002519

APPLICATION NUMBER: SD-2019-00122

UTILITY APPROVALS:

R. H. [Signature] 6/23/2020
PUBLIC SERVICE COMPANY OF NEW MEXICO DATE
[Signature] 5/26/2020
NEW MEXICO GAS COMPANY DATE
[Signature] 6/30/2020
QWEST CORPORATION D/B/A CENTURYLINK QC DATE
[Signature] 6/5/20
COMCAST DATE

CITY APPROVALS:

[Signature] 6/2/2020
CITY SURVEYOR DATE
[Signature] 6-2-2020
*REAL PROPERTY DIVISION (CONDITIONAL) DATE
**ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL) DATE
[Signature] Sep 10, 2020
JEANNE WOLFENBARGER DATE
JEANNE WOLFENBARGER, TRANSPORTATION DIVISION
[Signature] Sep 10, 2020
KRISTOPHER CADENA DATE
ABCWA DATE
[Signature] Sep 9, 2020
CHRISTOPHER CADENA DATE
PARKS AND RECREATION DEPARTMENT
[Signature] 6/15/2020
NICKO HENRIET DATE
AMAFCA DATE
[Signature] Sep 9, 2020
CITY ENGINEER DATE
[Signature] Sep 11, 2020
DRB CHAIRPERSON, PLANNING DEPARTMENT DATE
[Signature] Sep 9, 2020
CARL GARCIA DATE
CODE ENFORCEMENT DATE

PURPOSE OF PLAT:

THE PURPOSE OF THIS PLAT IS TO VACATE WALTER STREET & COMBINE IT WITH LOT 1-A AND GRANT ALL EASEMENTS AS SHOWN.

GENERAL NOTES:

- UNLESS NOTED, No. 4 REBAR WITH CAP STAMPED P.S.#11463 WERE SET AT ALL PROPERTY CORNERS.
- THIS PLAT SHOWS ALL EASEMENTS OF RECORD.
- TOTAL AREA: 0.5244 ACRES
- BASIS OF BEARINGS IS THE NEW MEXICO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NAD 1983.
- DISTANCES ARE GROUND, BEARINGS ARE GRID.
- BEARINGS AND DISTANCES SHOWN IN PARENTHESIS ARE RECORD.
- DATE OF FIELD WORK: APRIL 2020
- NO PROPERTY WITHIN THE AREA OF THIS PLAT SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERECTED ON LOTS OR PARCELS WITHIN THE AREA OF PROPOSED PLAT
- PLATS USED TO ESTABLISH BOUNDARY.
 - SURVEY PLAT SHOWING LOTS 1-A & 2-A, BLOCK A ANDERSON & THAXTON'S REPLAT OF A PORTION OF TORREON ADDITION FILED: MAY 21, 1993 IN VOLUME 93C, FOLIO 143
- THE PROPERTY SHOWN HEREON IS LOCATED WITHIN FEMA ZONE X, CONSIDERED TO BE WITHIN THE 100 YEAR FLOOD PLAIN FIRM PANEL No. 35001G0342G, DATED 9-26-2008
- SAID OWNER(S) AND PROPRIETOR(S) HEREBY GRANT A CROSS LOT LINE INGRESS-EGRESS, RECIPROCAL PARKING, AND SURFACE DRAINAGE EASEMENT OVER AND ACROSS THE LOT LINES OF SAID LOTS 1-A-1 AND LOT 2-A (AS SHOWN HEREON), TOGETHER WITH A JOINT USE TRASH BIN ENCLOSURE EASEMENT LOCATED WITHIN LOT 1-A-1 FOR THE BENEFIT OF SAID LOT 1-A-1 AND 2-A; THESE EASEMENTS SHALL BE BINDING UPON THE OWNER(S) AND PROPRIETOR(S) OF THE PROPERTIES HEREIN, THEIR HEIR(S) AND ASSIGN(S) AND SHALL CONTINUE TO RUN WITH SAID PROPERTIES IN PERPETUITY.
- THERE IS A CROSS-LOT DRAINAGE EASEMENT (BLANKET-EXCLUSIVE OF BUILDINGS) ON LOT 1-A-1 AND 2-A AND LOT 6 OF ANDERSON & THAXTON; MAINTENANCE IS THE RESPONSIBILITY OF LOTS 1-A-1 AND 2-A.

PUBLIC UTILITY EASEMENTS

Public Utility Easements shown on this plat are granted for the common and joint use of:
 A. Public Service Company of New Mexico ("PNM"), a New Mexico corporation, (PNM Electric) for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services.
 B. New Mexico Gas Company for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
 C. QWEST D/B/A CENTURYLINK for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services.
 D. Cable TV for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, replace, modify, renew, operate and maintain facilities for purposes described above, together with free access to, from, and over said easements, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat. Easements for electric transformer/switchgears, as installed, shall extend ten (10) feet in front of transformer/switchgear doors and five (5) feet on each side.

Disclaimer

In approving this plat, Public Service Company of New Mexico (PNM), QWEST D/B/A CENTURYLINK and New Mexico Gas Company (NMGC) did not conduct a Title Search of the properties shown hereon. Consequently, PNM, QWEST D/B/A CENTURYLINK and NMGC do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

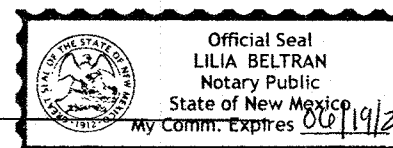
FREE CONSENT

THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS AND PROPRIETOR THEREOF. SAID OWNER / PROPRIETOR DOES HEREBY GRANT ANY AND ALL EASEMENTS AS MAY BE CREATED BY THIS PLAT. THOSE SIGNING AS OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

[Signature] 5-19-20
OWNER DATE

ACKNOWLEDGMENT

STATE OF NEW MEXICO) s.s.
 COUNTY OF BERNALILLO)
 THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME A NOTARY PUBLIC
 THIS 19 DAY OF May, 2020
 BY: Porfirio Maldonado OWNERS NAME
 MY COMMISSION EXPIRES: 06/19/2022 BY: *[Signature]* NOTARY PUBLIC



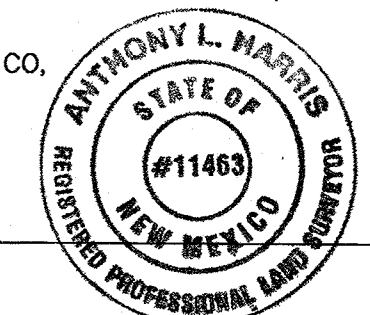
SURVEYORS CERTIFICATE:

STATE OF NEW MEXICO) s.s.
 COUNTY OF BERNALILLO)

I, ANTHONY L. HARRIS, A DULY PROFESSIONAL LICENSED LAND SURVEYOR, UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THE PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT I AM RESPONSIBLE FOR SAID PLAT AND MEETS THE REQUIREMENTS FOR MONUMENTATION AND SURVEY OF THE ALBUQUERQUE SUBDIVISION ORDINANCE AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND MEETS THE MINIMUM REQUIREMENTS FOR LAND SURVEYS AS SET FORTH BY THE STATE OF NEW MEXICO.

GIVEN UNDER MY HAND AND SEAL AT ALBUQUERQUE, NEW MEXICO,
 THIS 18th DAY OF May, 2020

[Signature]
 ANTHONY L. HARRIS, P.S. # 11463



19-0021H-APRIL 2019

DOCH 2020088862
 09/14/2020 02:55 PM Page: 1 of 2
 PLAT R: \$25.00 B: 2020C P: 0083 Linda Stover, Bernalillo County

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON
 UPC# 1014-056-474079-40604
 PROPERTY OWNER OF RECORD: Maldonado Porfirio & Leslie A
 BERNALILLO CO. TREASURER'S OFFICE: *[Signature]*

2020 C-83

(1)

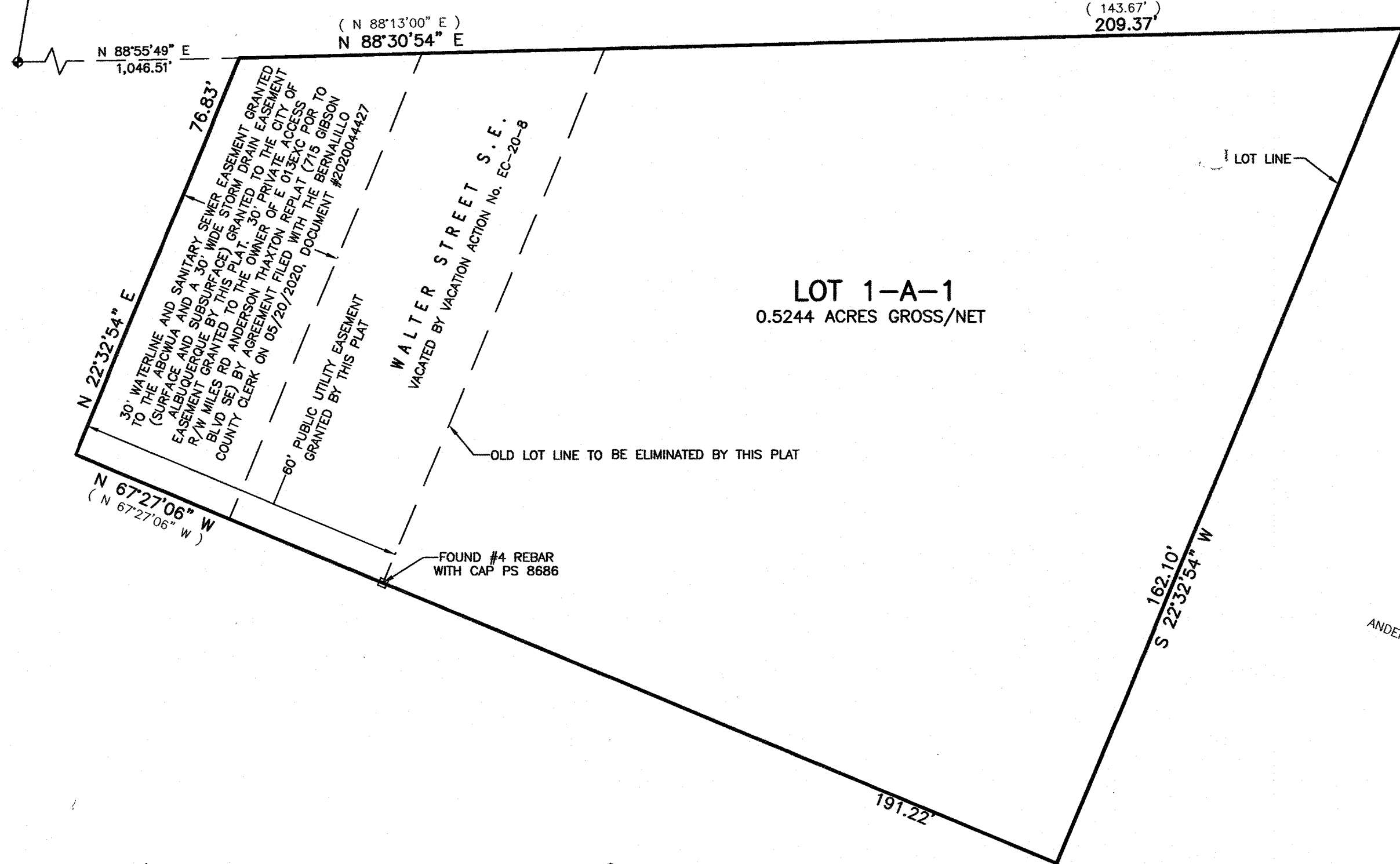


PLAT OF
LOT 1-A-1 BLOCK "A"
ANDERSON & THAXTON'S REPLAT OF A PORTION OF
TORREON ADDITION
WITHIN
TOWN OF ALBUQUERQUE GRANT
PROJECTED SECTION 17, TOWNSHIP 10 NORTH, RANGE 3 EAST, N.M.P.M.
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
MAY 2020

ACS STATION "13-L14"
N=1,477,885.829 US SURVEY FEET
E=1,522,174.051 US SURVEY FEET
GROUND TO GRID=0.999682141
AZ = 00° 13' 37.14"
CENTRAL ZONE, NAD 1983
ELEVATION=4970.901 US SURVEY FEET
NAVD 1988

ROSS AVENUE S.E.

50 RIGHT OF WAY
(93C, 143)



N 88°55'49" E
1,046.51'

(N 88°13'00" E)
N 88°30'54" E

(143.67')
209.37'

N 22°32'54" E

N 67°27'06" W
(N 67°27'06" W)

LOT 1-A-1
0.5244 ACRES GROSS/NET

WALTER STREET S.E.
VACATED BY VACATION ACTION No. EC-20-8

16' ALLEY
(93C, 143)

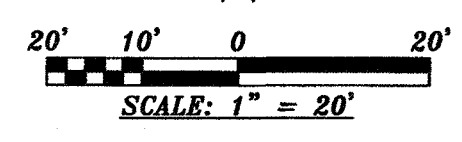
S 22°32'54" W

191.22'

GIBSON BOULEVARD S.E.
110' RIGHT OF WAY
(93C, 143)

LOT 2-A, BLOCK A
ANDERSON & THAXTON REPLAT TORREON ADDITION
FILED: MAY 21, 1993
BOOK 93C, PAGE 143

LOT 6
ANDERSON & THAXTON REPLAT TORREON ADDITION
FILED: MARCH 23, 1943
BOOK C, PAGE 43



GENERAL NOTES CONTINUED:
12: THERE IS A CROSS-LOT DRAINAGE EASEMENT (BLANKET-EXCLUSIVE OF BUILDINGS) ON LOT 1-A-1 AND 2-A AND LOT 6 OF ANDERSON & THAXTON; MAINTENANCE IS THE RESPONSIBILITY OF LOTS 1-A-1 AND 2-A.

19-0021H-APRIL 2019

2020C-83

(2)