



**Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.**

<b>SUBDIVISIONS</b>		<input type="checkbox"/> Final Sign off of EPC Site Plan(s) (Form P2A)	<input type="checkbox"/> Extension of IIA: Temp. Def. of S/W (Form V2)
<input type="checkbox"/> Major – Preliminary Plat (Form S1)	<input type="checkbox"/> Amendment to Site Plan (Form P2)	<input type="checkbox"/> Vacation of Public Right-of-way (Form V)	
<input type="checkbox"/> Major – Bulk Land Plat (Form S1)	<b>MISCELLANEOUS APPLICATIONS</b>		<input type="checkbox"/> Vacation of Public Easement(s) DRB (Form V)
<input type="checkbox"/> Extension of Preliminary Plat (Form S1)	<input type="checkbox"/> Extension of Infrastructure List or IIA (Form S1)	<input type="checkbox"/> Vacation of Private Easement(s) (Form V)	
<input type="checkbox"/> Minor Amendment - Preliminary Plat (Form S2)	<input type="checkbox"/> Minor Amendment to Infrastructure List (Form S2)	<b>PRE-APPLICATIONS</b>	
<input type="checkbox"/> Minor - Final Plat (Form S2)	<input type="checkbox"/> Temporary Deferral of S/W (Form V2)	<input checked="" type="checkbox"/> Sketch Plat Review and Comment (Form S2)	
<input type="checkbox"/> Minor – Preliminary/Final Plat (Form S2)	<input type="checkbox"/> Sidewalk Waiver (Form V2)		
<b>SITE PLANS</b>		<input type="checkbox"/> Waiver to IDO (Form V2)	<b>APPEAL</b>
<input type="checkbox"/> DRB Site Plan (Form P2)	<input type="checkbox"/> Waiver to DPM (Form V2)	<input type="checkbox"/> Decision of DRB (Form A)	
<b>BRIEF DESCRIPTION OF REQUEST</b>			
Sketch Plat Review & Comment			

<b>APPLICATION INFORMATION</b>			
Applicant: Las Ventanas NM, Inc. (T. Scott Ashcraft)		Phone: (505) 600-3377	
Address: 8330-A Washington Place NE		Email: tscott@lasventanasnm.com	
City: Albuquerque	State: NM	Zip: 87113	
Professional/Agent (if any): Isaacson & Arfman, Inc. (Åsa Nilsson-Weber)		Phone: (505) 268-8828	
Address: 128 Monroe Street NE		Email: asaw@iacivil.com	
City: Albuquerque	State: NM	Zip: 87108	
Proprietary Interest in Site: Owner	List <u>all</u> owners:		
<b>SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)</b>			
Lot or Tract No.: Lots 3 & 4, Tract 1	Block: 17	Unit: 3	
Subdivision/Addition: North Albuquerque Acres	MRGCD Map No.:	UPC Code: Lot 3 102006504103830130 Lot 4 102006505803830129	
Zone Atlas Page(s): B-20	Existing Zoning: R-1D	Proposed Zoning: None	
# of Existing Lots: 2	# of Proposed Lots: 5	Total Area of Site (Acres): 1.7728	
<b>LOCATION OF PROPERTY BY STREETS</b>			
Site Address/Street: Glendale Av NE	Between: Barstow St NE	and: Ventura St NE	
<b>CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)</b>			
PR-2019-002573			

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

Signature: <i>Åsa Nilsson-Weber</i>		Date: October 19, 2021	
Printed Name: Åsa Nilsson-Weber		<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent	
<b>FOR OFFICIAL USE ONLY</b>			
Case Numbers	Action	Fees	Case Numbers
Meeting Date:		Fee Total:	
Staff Signature:	Date:	Project #	

**FORM S2: SUBDIVISION OF LAND – MINOR ACTIONS**

Please refer to the DRB minor case schedule for meeting dates and deadlines. Bring original Mylar or paper copy of plat with property owner’s and City Surveyor’s signatures on it to the meeting. Your attendance is required.

**SKETCH PLAT REVIEW AND COMMENT**

Interpreter Needed for Hearing? \_\_\_\_\_ if yes, indicate language: \_\_\_\_\_

- A *Single* PDF file of the complete application including all documents being submitted must be emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD. PDF *shall be organized with the Development Review Application and this Form S2 at the front followed by the remaining documents in the order provided on this form.*
- Zone Atlas map with the entire site clearly outlined and labeled
- Letter describing, explaining, and justifying the request
- Scale drawing of the proposed subdivision plat
- Site sketch with measurements showing structures, parking, building setbacks, adjacent rights-of-way, and street improvements, if there is any existing land use

**MAJOR SUBDIVISION FINAL PLAT APPROVAL**

Interpreter Needed for Hearing? \_\_\_\_\_ if yes, indicate language: \_\_\_\_\_

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- \_\_\_ Zone Atlas map with the entire site clearly outlined and labeled
- \_\_\_ Proposed Final Plat
- \_\_\_ Design elevations & cross sections of perimeter walls
- \_\_\_ Copy of recorded IIA
- \_\_\_ Landfill disclosure and EHD signature line on the plat if property is within a landfill buffer
- \_\_\_ DXF file and hard copy of final plat data for AGIS submitted and approved

**SUBDIVISION OF LAND – MINOR (PRELIMINARY/FINAL PLAT APPROVAL)**

Interpreter Needed for Hearing? \_\_\_\_\_ if yes, indicate language: \_\_\_\_\_

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- \_\_\_ Zone Atlas map with the entire site clearly outlined and labeled
- \_\_\_ Letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-6(K)
- \_\_\_ Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A)
- \_\_\_ Proposed Preliminary / Final Plat with property owner’s and City Surveyor’s signatures on the plat prior to submittal.
- \_\_\_ Site sketch with measurements showing structures, parking, building setbacks, adjacent rights-of-way, and street improvements (to include sidewalk, curb & gutter with distance to property line noted) if there is any existing land use
- \_\_\_ Sidewalk Exhibit and/or cross sections of proposed streets
- \_\_\_ Signed Form DRWS Drainage Report Grading and Drainage Plan, and Water & Sewer Availability submittal information
- \_\_\_ Proposed Infrastructure List, if applicable
- \_\_\_ Required notice with content per IDO Section 14-16-6-4(K)
  - \_\_\_ Office of Neighborhood Coordination inquiry response and proof of emailed notice to applicable Neighborhood Association representatives, copy of notification letter, completed notification form(s), and proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b)
- \_\_\_ Sensitive Lands Site Analysis for new subdivisions of land in accordance with IDO Section 5-2(C)
- \_\_\_ Landfill disclosure and Environmental Health Department signature line on the plat if property is within a landfill buffer
- \_\_\_ DXF file and hard copy of final plat data for AGIS submitted and approved


**Note: Any application that requires major public infrastructure must be processed as a Subdivision of Land - Major. See Form S1.**

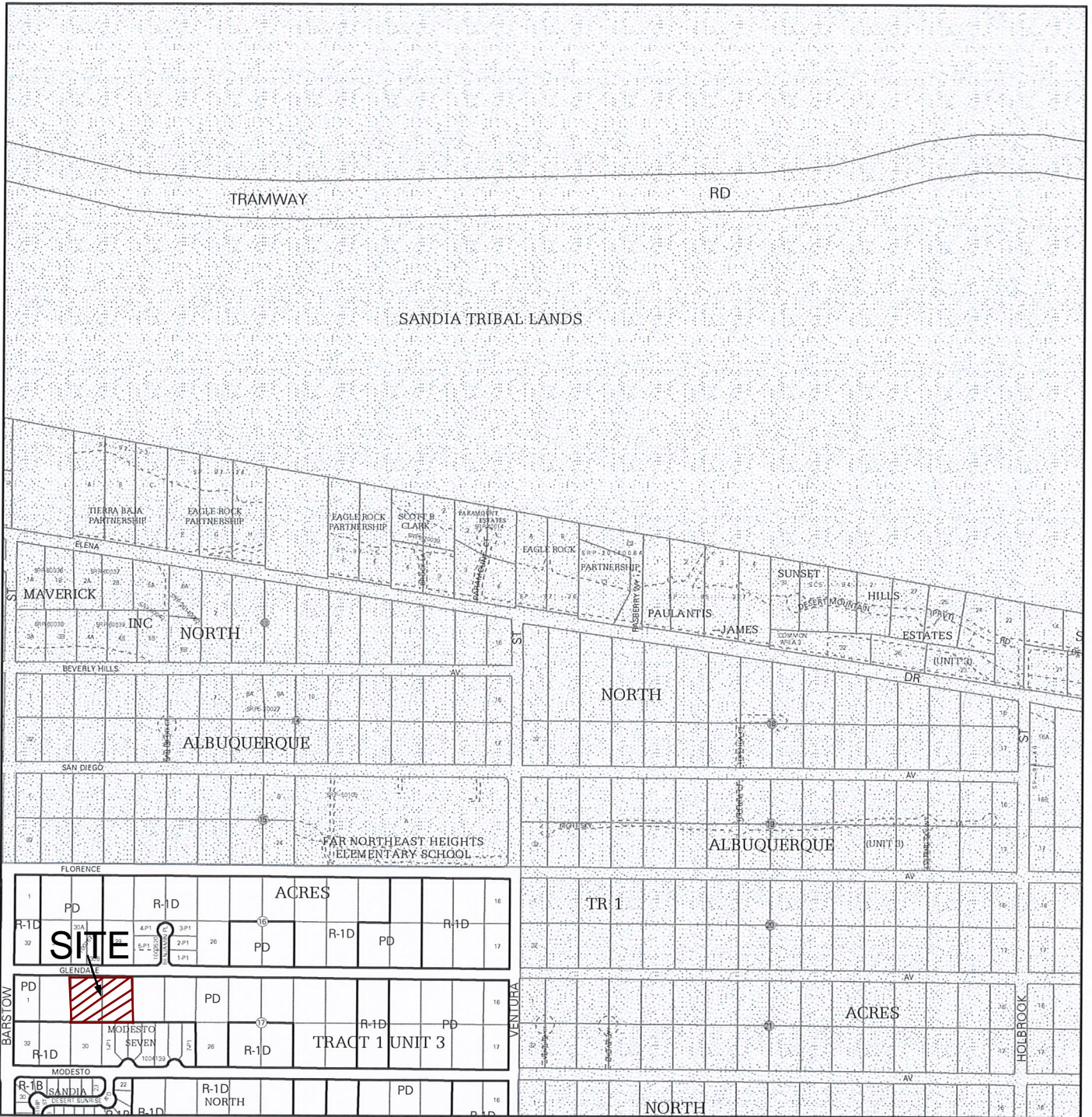
**MINOR AMENDMENT TO PRELIMINARY PLAT / INFRASTRUCTURE LIST**

Interpreter Needed for Hearing? \_\_\_\_\_ if yes, indicate language: \_\_\_\_\_

- \_\_\_ A *Single* PDF file of the complete application including all documents being submitted must be emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD. PDF *shall be organized with the Development Review Application and this Form S2 at the front followed by the remaining documents in the order provided on this form.*
- \_\_\_ Zone Atlas map with the entire site clearly outlined and labeled
- \_\_\_ Letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)
- \_\_\_ Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan
- \_\_\_ Original Preliminary Plat, Infrastructure List, and/or Grading Plan
- \_\_\_ Infrastructure List, if applicable

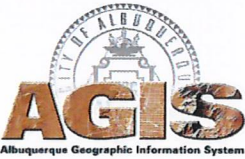
**Note: Any application that does not qualify as a Minor Amendment in IDO Section 14-16-6-4(X) must be processed as a Major Amendment. See Form S1.**

<p><b>I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.</b></p>	
<p><b>Signature:</b> <i>Asa Nilsson-Weber</i></p>	<p><b>Date:</b> October 19, 2021</p>
<p><b>Printed Name:</b> Åsa Nilsson-Weber</p>	<p><input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent</p>
<p><b>FOR OFFICIAL USE ONLY</b></p>	
<p>Project Number:</p>	<p>Case Numbers</p>
<p> </p>	<p>-</p>
<p> </p>	<p>-</p>
<p> </p>	<p>-</p>
<p>Staff Signature:</p>	
<p>Date:</p>	

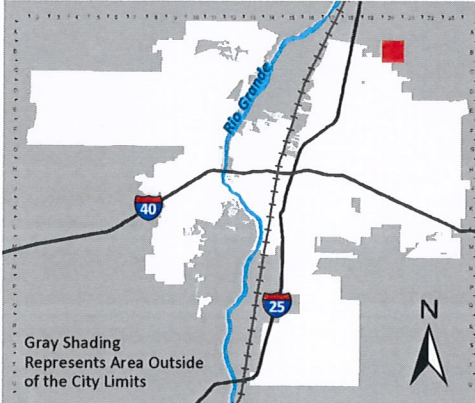


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

## IDO Zone Atlas May 2018



IDO Zoning information as of May 17, 2018  
The Zone Districts and Overlay Zones are established by the Integrated Development Ordinance (IDO).



Gray Shading Represents Area Outside of the City Limits

Zone Atlas Page:  
**B-20-Z**

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

0 250 500 1,000 Feet

October 19, 2021

Ms. Jolene Wolfley  
DRB Chair  
City of Albuquerque  
600 2nd Street NW  
Albuquerque, NM 87103

**RE: Glendale Subdivision; Zone Atlas Map B-20  
Lots 3 & 4, Block 17, North Albuquerque Acres, Tract 1, Unit 3  
Sketch Plat Application**

Dear Ms. Wolfley:

Isaacson & Arfman, Inc. acting as agents for the developer of the above referenced site located south of Glendale Ave NE and east of Barstow St. NE is submitting an application for a sketch plat.

The developer is planning to develop the two lots into five lots. The Camino Arroyo is located at the back of the property, and a scour wall will be constructed on the lots outside of the floodplain limits. A future storm drain (78-inch) will be constructed in Glendale Ave. This storm drain will be located under the new paving that is required for this development. There is approximately 21 feet of existing paving in Glendale and there is no curb or sidewalk on the north side. At a pre-design meeting in January 2017 with the City staff, we were directed to install paving for an ultimate section of 32 feet. The section in Glendale west of Barstow is 40 feet face-face of curb.

Please verify the following:

- Is there a way to process the plat through DRB as a minor preliminary/final plat even though a financial guarantee will be required for the storm drain improvements and potentially for the paving, curb and sidewalk?
- What paving width will be required in Glendale?
- If paving, curb and sidewalk are installed with this project, will curb/paving removal need to be included in the financial guarantee for the storm drain construction?

If you have questions regarding this submittal, please email me at [asaw@iacivil.com](mailto:asaw@iacivil.com).

Thank you.

Sincerely,  
**ISAACSON & ARFMAN, INC.**

*Asa Nilsson-Weber*

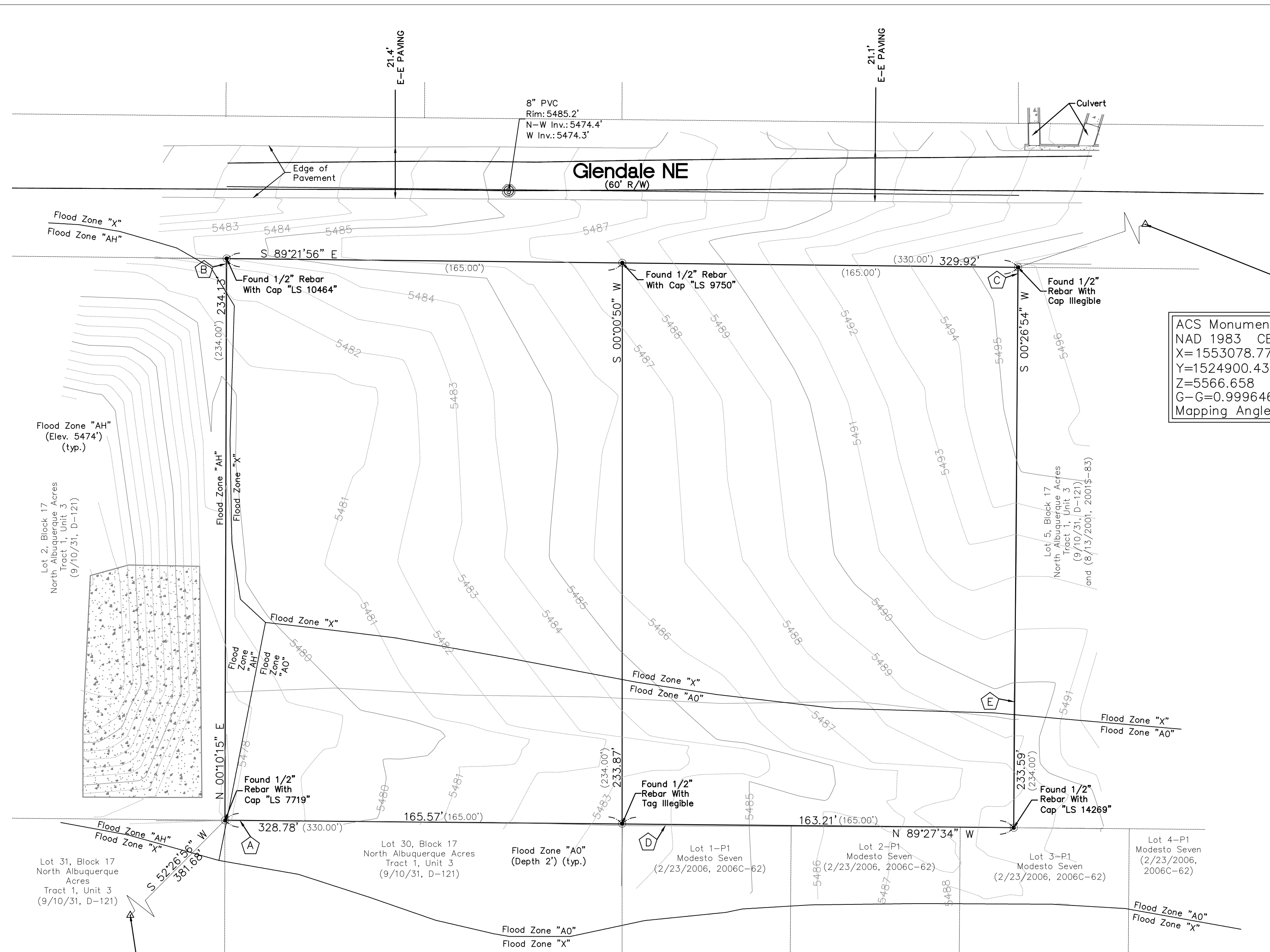
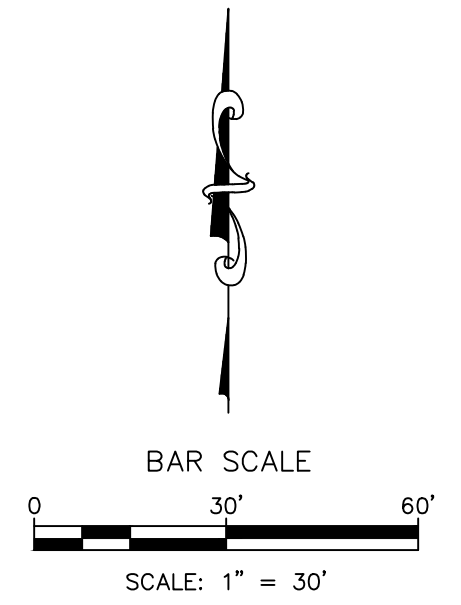
Asa Nilsson-Weber, P.E.

Attachments



*Boundary Survey  
and  
Topographic Map  
for  
Lots 3 and 4, Block 17  
North Albuquerque Acres  
Tract 1, Unit 3  
City of Albuquerque  
Bernalillo County, New Mexico  
October 2016*

ACS Monument " 7-B20 "  
NAD 1983 CENTRAL ZONE  
X=1553078.775  
Y=1524900.435  
Z=5566.658 (NAVD 1988)  
G-G=0.999646331  
Mapping Angle=-0°10'06.48"



**Apparent Encroachments**

- A WIRE FENCE INTO ADJOINER'S PROPERTY BY AS MUCH AS 0.25 FEET.
- B METAL FENCE INTO ADJOINER'S PROPERTY BY AS MUCH AS 0.38 FEET.
- C WIRE FENCE INTO SUBJECT PROPERTY BY AS MUCH AS 0.22 FEET.
- D WIRE FENCE INTO ADJOINER'S PROPERTY BY AS MUCH AS 0.67 FEET.
- E WIRE FENCE INTO SUBJECT PROPERTY BY AS MUCH AS 0.38 FEET.

ACS Monument " 1-B20 "  
NAD 1983 CENTRAL ZONE  
X=1550483.349  
Y=1524154.945  
Z=5477.179 (NAVD 1988)  
G-G=0.999651137  
Mapping Angle=-0°10'24.45"

**Legend**

N 90°00'00" E	MEASURED BEARINGS AND DISTANCES	—SAS—	UNDERGROUND SANITARY SEWER LINE
(N 90°00'00" E)	RECORD BEARINGS AND DISTANCES (9/10/31, D-121)	—W—	UNDERGROUND WATER LINE
●	FOUND MONUMENT AS INDICATED	5075.50	SPOT ELEVATION
○	SET BATHEY MARKER "LS 14271" UNLESS OTHERWISE NOTED	BC 5075.50	BACK OF CURB ELEVATION
■	CONCRETE	FL 5075.50	FLOW LINE ELEVATION
—x—	WIRE FENCE	EP 5075.50	EDGE OF PAVEMENT ELEVATION
—□—	METAL FENCE	TA 5075.50	TOP OF ASPHALT ELEVATION
⊙	SANITARY SEWER MANHOLE	TC 5075.50	TOP OF CONCRETE ELEVATION
		TOP 5075.50	TOP ELEVATION
		TOE 5075.50	TOE ELEVATION

**CARTESIAN SURVEYS INC.**  
P.O. BOX 44414 RIO RANCHO, N.M. 87174  
Phone (505) 896-3050 Fax (505) 891-0244