

Chick-fil-A

Chick-fil-A  
5200 Buffington Road  
Atlanta, Georgia  
30349-2998



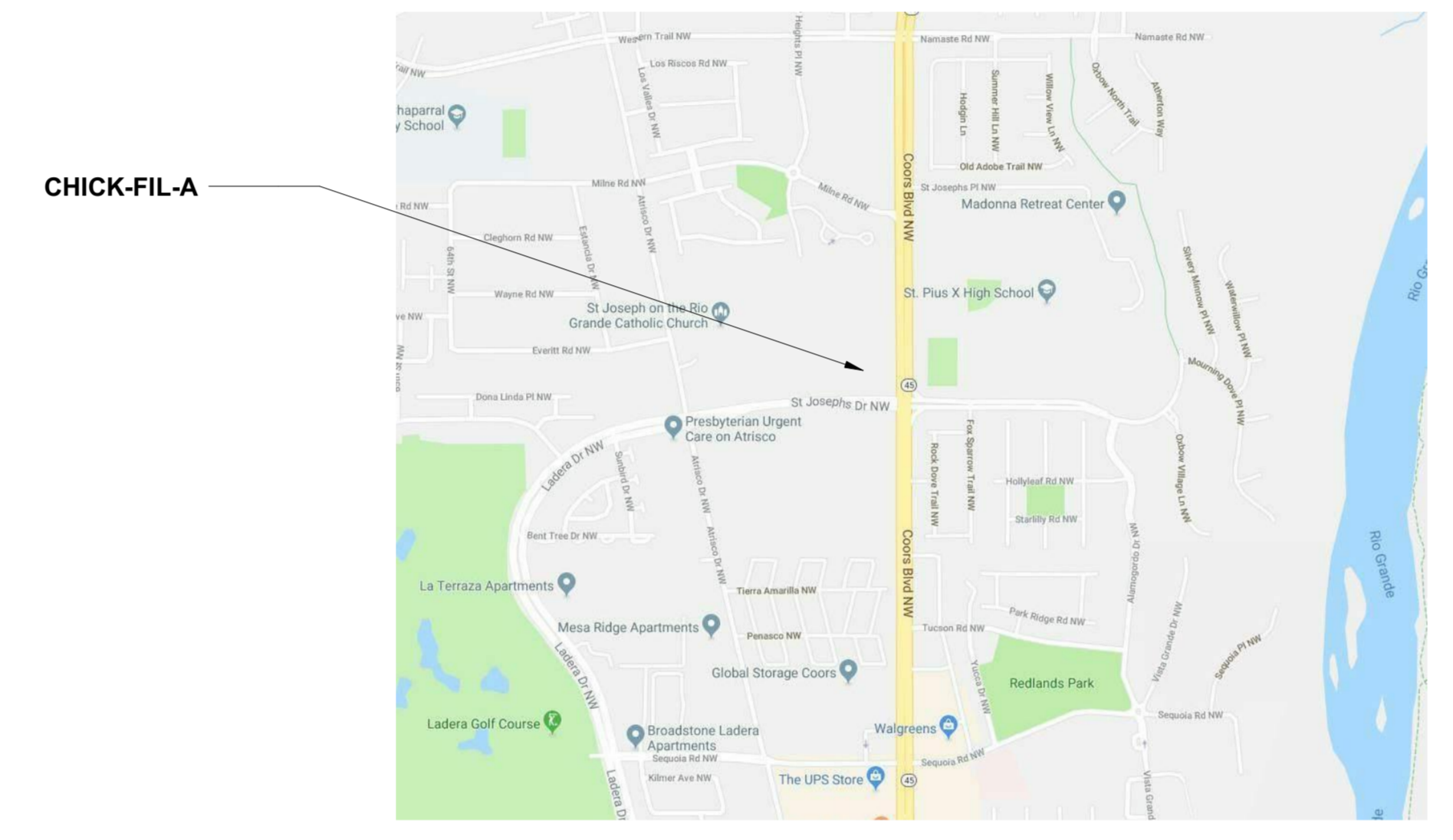
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5200 BRUFFINGTON ROAD  
ATLANTA, GEORGIA 30349-2998  
PHONE: (404) 765-8000  
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# COORS BLVD AND ST JOSEPH'S DR ALBUQUERQUE, NM 87120

VICINITY MAP



### CODE INFORMATION

**BUILDING CODE:**  
(2015) International Building Code

**PLUMBING CODE:**  
(2015) International Plumbing Code

**MECHANICAL CODE:**  
(2015) International Mechanical Code

**ELECTRICAL CODE:**  
(2017) National Electric Code

**ENERGY CODE:**  
(2009) New Mexico Energy Conservation Code

**FIRE CODE:**  
(2015) International Fire Code with

**ACCESSIBILITY CODE:**  
(2009) ICC/ANSI

### BUILDING DATA

1. OCCUPANCY	A2
2. CONSTRUCTION TYPE	VB - SPRINKLERED
3. ALLOWABLE AREA	6,000 SQ. FT.
ACTUAL AREA (FOOTPRINT)	5,014 SQ. FT.
4. SITE AREA:	1.16 AC = 50,690 S.F.
5. ZONING:	C-2 (COMMUNITY COMMERCIAL ZONE)

### PARKING DATA

1. PARKING REQUIRED		
STANDARD SPACES	1 PER 125 G.S.F	(41 SPACES)
REQUIRED SPACES	5,014 / 125 = 40.1	
OUTDOOR SPACES	1 PER 200 G.S.F	(3 SPACES)
REQUIRED SPACES	591 / 200 = 2.9	
TOTAL REQUIRED SPACES =		(44 SPACES)
2. PARKING PROVIDED		
STANDARD SPACES	48	
COMPACT SPACES	00	
ACCESSIBLE SPACES	03	
MOTORCYCLE SPACES	02	
TOTAL PROVIDED SPACES		53 SPACES

### LEGAL DESCRIPTION

AS CONTAINED IN THE TITLE COMMITMENT PREPARED FOR THIS PROPERTY BY FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT FILE NO: 2216027-AL01, EFFECTIVE DATE: MAY 19, 2017.

LOT NUMBERED SIX (6) OF THE PLAT OF LOTS 1 THRU 9, COORS PAVILION (BEING A REPLAY OF TRACT X-1-A2, UNIVERSITY OF ALBUQUERQUE URBAN CENTER), WITHIN THE TOWN OF ALBUQUERQUE GRANT IN PROJECTED SECTION 2, TOWNSHIP 10 NORTH, RANGE 2 EAST NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO FILED ON APRIL 11, 2017, AS DOCUMENT NO. 2017033851, RECORDS OF BERNALILLO COUNTY, NEW MEXICO.

### FLOODZONE DETERMINATION:

THE SURVEY AREA (AS SHOWN HEREON) APPEARS TO LIE WITHIN "ZONE X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS SHOWN ON NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP NUMBER 3501G0114H, MAP REVISED AUGUST 16, 2012.

### SHEET INDEX

- G-01 COVER SHEET
- 1 SITE PLAN
- 2.0 LANDSCAPE PLAN
- 2.1 LANDSCAPE DETAILS
- 3 GRADING PLAN
- 4 UTILITY PLAN
- 6 EXHIBIT "A" DELIVERY TRUCK ROUTE
- 7 FIRE 1
- 8 DETAILS
- A-02 EXTERIOR ELEVATIONS
- A-04 PERSPECTIVE VIEWS
- A-103 REFUSE ENCLOSURE
- A-104 CANOPY PLANS AND ELEVATIONS
- E-110 PHOTOMETRICS SITE PLAN
- E-111 PHOTOMETRICS SCHEDULE

### DEVELOPER

CHICK-FIL-A, INC.  
5200 BRUFFINGTON ROAD  
ATLANTA, GA 30349-2732  
Phone: (404) 305-4407  
Contact Name: Don Ikeler  
Contact Email: don.ikeler@chick-fil-a.com

### ARCHITECT

CORESTATES INC.  
201 SOUTH MAPLE AVE SUITE 300  
AMBLER, PA 19002  
Phone: (215) 630-5137  
Contact Name: Ken Mackenzie  
Contact Email: kmackenzie@core-eng.com

### CIVIL ENGINEER

MERRICK & COMPANY  
5970 GREENWOOD PLAZA BLVD.  
GREENWOOD VILLAGE, CO 80014  
Phone: (303) 751-0741  
Contact Name: Troy Kelts  
Contact Email: troy.kelts@merrick.com

### APPLICANT NAME

4G DEVELOPMENT AND CONSULTING, INC.  
P.O. BOX 270571  
SAN DIEGO, CA 92198  
Phone: (858) 231-0071  
Contact Name: Robert Lombardi  
Contact Email: rlombardi@4gdev.com

# CHICK-FIL-A

## ALBUQUERQUE, NM

4001 COORS BLVD  
ALBUQUERQUE, NM 87120

## FSR#04107

BUILDING TYPE / SIZE: P12 SE LRG  
RELEASE: V2:18.08

REVISION SCHEDULE		
NO.	DATE	DESCRIPTION
	10/30/18	SCHEMATIC DESIGN ISSUE

CONSULTANT PROJECT #	25779
PRINTED FOR CONSTRUCTION DOCUMENTS	
DATE	06/26/19
DRAWN BY	C.ELIAS

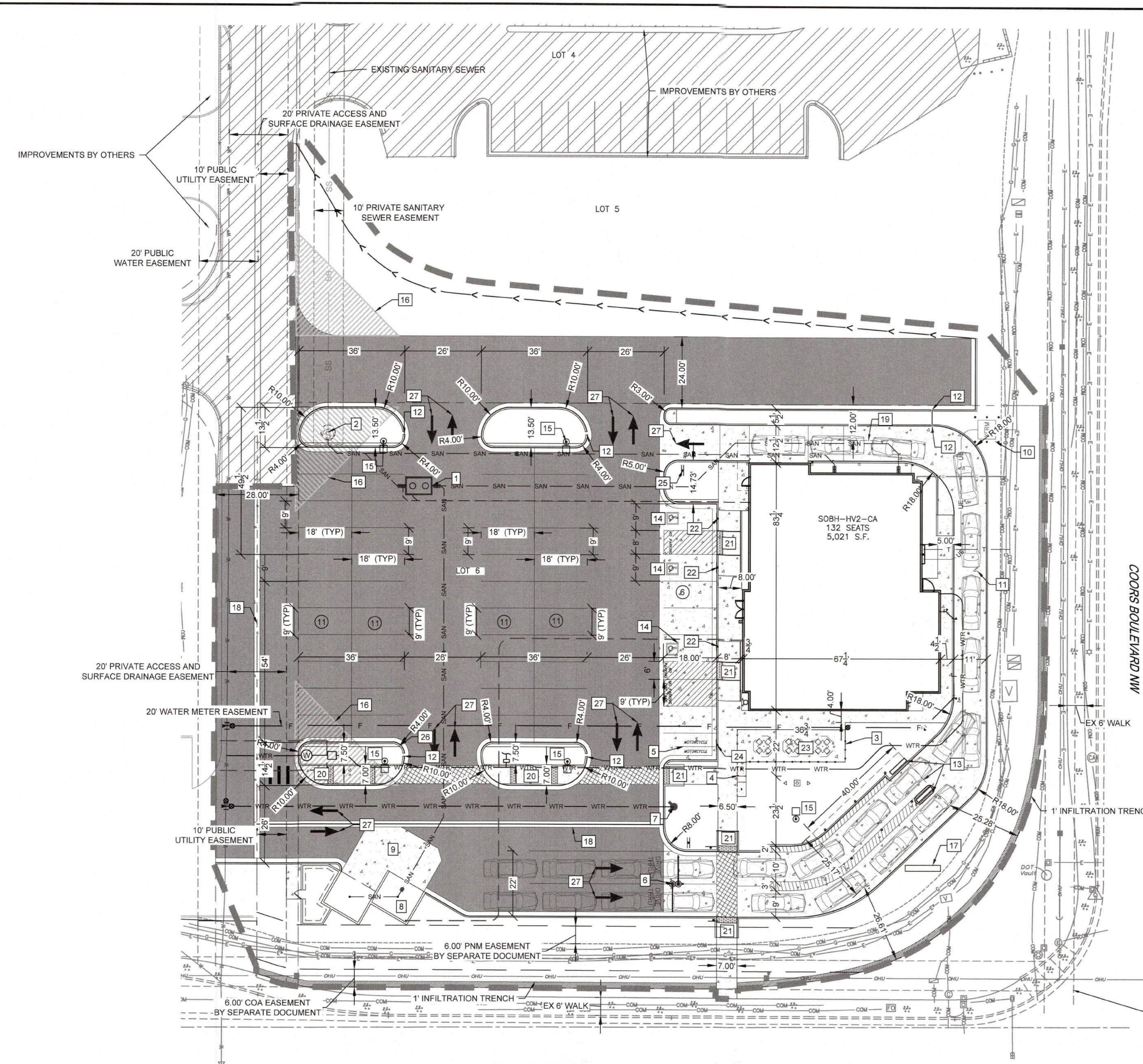
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SHEET  
COVER SHEET

SHEET NUMBER

# G-01

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SE-04107-G-01-COVER SHEET

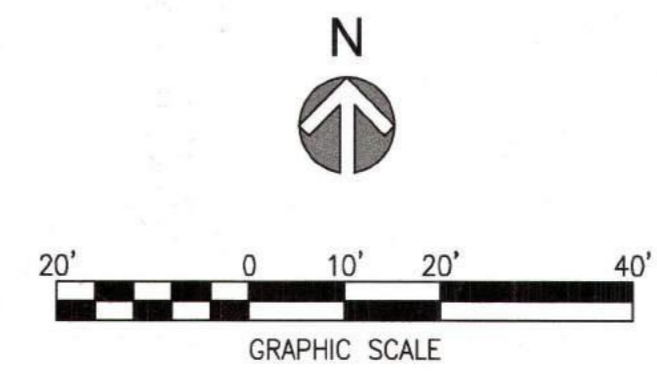


**SITE PLAN DESIGN NOTES & KEY PLAN**

- 1 GREASE INTERCEPTOR
- 2 EXISTING SANITARY MANHOLE
- 3 42" PATIO ALUMINUM GUARDRAIL RE: DETAIL THIS SHEET
- 4 BIKE RACK
- 5 MOTORCYCLE PARKING STALLS
- 6 HEIGHT CLEARANCE ARM
- 7 FIRE HYDRANT (PRIVATE)
- 8 TRASH ENCLOSURE
- 9 CONCRETE APRON
- 10 ELECTRIC TRANSFORMER
- 11 CONCRETE DRIVE THROUGH
- 12 1' CURB OPENING
- 13 ORDER POINT CANOPY AND MENU BOARDS
- 14 ACCESSIBLE PARKING STALL
- 15 25' LIGHT POLE (TYP)
- 16 SIGHT DISTANCE TRIANGLE (35' X 35'). SEE NOTE 5
- 17 MONUMENT SIGN
- 18 2' CONCRETE PAN
- 19 PICK UP WINDOW CANOPY
- 20 AT GRADE WALK
- 21 ACCESSIBLE RAMP
- 22 ACCESSIBLE PARKING SIGN
- 23 PUBLIC OUTDOOR SEATING AREA
- 24 MOTORCYCLE PARKING SIGN
- 25 THANK YOU / DO NOT ENTER SIGN
- 26 ROLL OVER CURB
- 27 PAVEMENT DIRECTIONAL ARROWS

**GENERAL NOTES**

1. DESIGN GROUND-MOUNTED EQUIPMENT SCREENING TO ALLOW FOR ACCESS TO UTILITY FACILITIES ALL SCREENING AND VEGETATION SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS ARE TO ALLOW 10 FEET OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5-6 FEET OF CLEARANCE ON THE REMAINING THREE SIDES FOR SAFE OPERATION, MAINTENANCE, AND REPAIR PURPOSES. REFER TO THE PNM ELECTRIC SERVICE GUIDE AT WWW.PNM.COM FOR SPECIFICATIONS.
2. SITE PLAN SHALL COMPLY AND BE IN ACCORDANCE WITH ALL APPLICABLE CITY OF ALBUQUERQUE REQUIREMENTS, INCLUDING THE DEVELOPMENT PROCESS MANUAL AND CURRENT ADA CRITERIA.
3. APPLICANT SHALL BE RESPONSIBLE TO ABIDE BY ANY CONDITIONS OR TERMS OF UTILITY EASEMENTS.
4. ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON A PUBLIC WORK ORDER.
5. LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
6. ALL THE BUILDINGS CONSTRUCTED WITHIN THE COORS PAVILION PROPERTY SHALL HAVE EXTERIOR SECURITY CAMERAS.



VICINITY MAP

LEGEND

LIMITS OF CONSTRUCTION	
PROPERTY LINE	
BUILDING LINE	
NEW CURB AND GUTTER	
NEW SIDEWALK	
EASEMENT LINE	
VEHICLE (20'-0" LENGTH TYPE)	
CONCRETE PAVEMENT	
ASPHALT PAVEMENT	
EXISTING ASPHALT PAVEMENT	

**SITE DATA CHART**

LEGAL DESCRIPTION OF LEASE AREA: LOT 6 COORS PAVILION WITHIN THE TOWN OF ALBUQUERQUE GRANT IN PROJECTED SECTION 2, TOWNSHIP 10 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, COUNTY OF BERNALILLO, STATE OF NEW MEXICO.

ZONE DISTRICT: SU-3 WITH C-2 USES ALLOWED

PROPOSED USE: QUICK SERVICE RESTAURANT

	SQ FT	ACRES	PERCENTAGE
TOTAL AREA OF PROPERTY:	50,690	1.16	100%
LANDSCAPE AREA:	13,858	0.32	27%
HARDSCAPE AREA:	2,720	0.06	5%
TOTAL PARKING AND DRIVE AREA:	29,091	0.66	58%
TOTAL BUILDING AREA:	5,021	0.12	10%

REQUIRED PARKING CALCULATION - RESTAURANT WITH DRIVE-THRU AT LEAST 1 PARKING SPACE PER 4 SEATS IN BUILDING = 33 SPACES

REQUIRED HANDICAP ACCESSIBLE PARKING SPACES = 3

STANDARD PARKING SPACES:	47
ACCESSIBLE PARKING SPACES:	3
TOTAL AUTO PARKING SPACES PROVIDED:	50
MOTORCYCLE PARKING SPACES:	2
BIKE RACK SPACES:	4

	SQ FT	ACRES	PERCENTAGE
TOTAL PARKING AREA:	39,232	0.90	100%
LANDSCAPE AREA:	10,352	0.24	26%
HARDSCAPE AREA:	28,880	0.68	74%

FORMER PROJECT NUMBER: 1000032

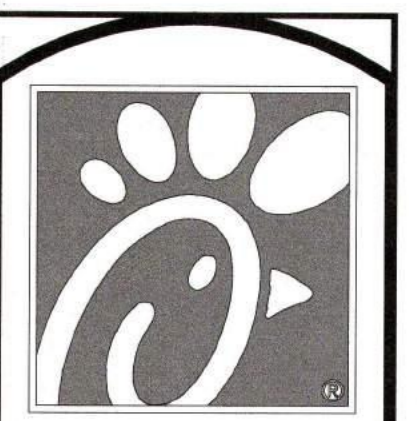
PROJECT NUMBER: PR-2019-002574 (1000032)

APPLICATION NUMBER: SI-2019-00191

Is an Infrastructure List Required? ( ) Yes ( ) No. If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-way or for construction of public improvements.

**SITE DEVELOPMENT PLAN APPROVAL**

	8/14/19
TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
	8-16-19
ABCIWA	DATE
	9-16-19
PARKS AND RECREATION DEPARTMENT	DATE
	8/14/19
CITY ENGINEER	DATE
	3/14/19
SOLID WASTE MANAGEMENT	DATE
	9-16-19
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE



5200 Buffington Rd.  
Atlanta, Georgia  
30349-2998

Revisions:

Mark	Date	By
△		
△		
△		

Seal

**MERRICK**

5970 GREENWOOD PLAZA BLVD  
GREENWOOD VILLAGE, CO 80111  
303-751-0741

STORE  
CHICK-FIL-A  
FSU #04107  
COORS BLVD.

4001 COORS BLVD NW  
ALBUQUERQUE, NM  
87120

SHEET TITLE

**SITE PLAN**

DWG EDITION ---

Job No. : 65119594  
Store : 04107  
Date : 8/1/19  
Drawn By : LV  
Checked By : KW

Sheet

**1**

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TWO WORKING DAYS  
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# GENERAL NOTES

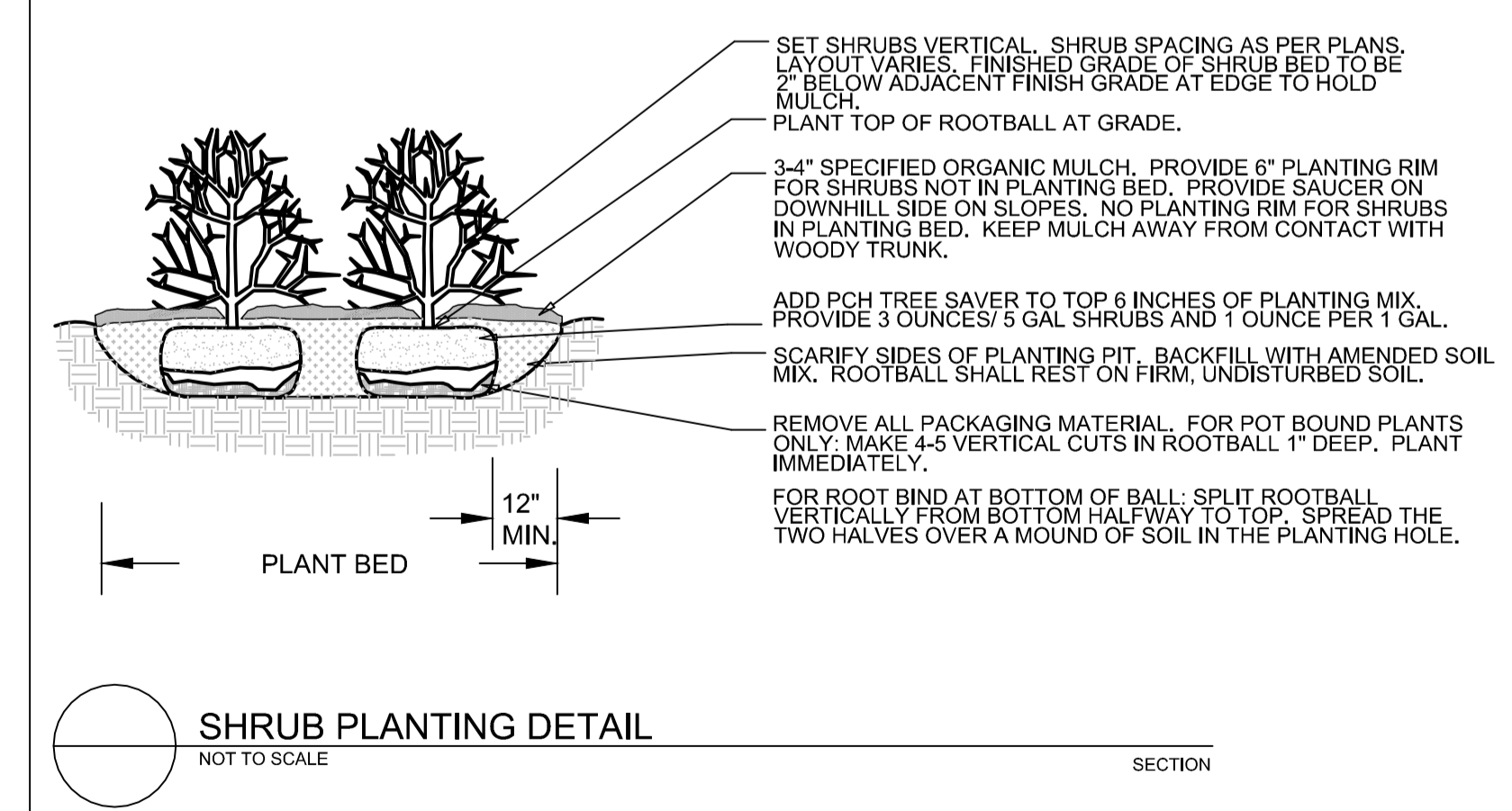
(Note: All references to "Contractor" are specific to "Landscape Contractor" unless notified as "General or other type of Contractor")

- CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES OF MATERIALS NEEDED TO COMPLETE THIS PLAN IN THE FIELD. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE DRAWINGS AND CONDITIONS IN THE FIELD. GRAPHIC CITY'S, PREVAIL OVER WRITTEN CITY'S. PRIOR TO COMMENCEMENT OF WORK THE LANDSCAPE CONTRACTOR SHALL CONTACT OWNER'S REPRESENTATIVE FOR SPECIFIC INSTRUCTIONS RELEVANT TO THE SEQUENCING AND SCOPE OF WORK.
- CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL LANDSCAPE SHOWN ON THIS PLAN. ANY DEFICIENCIES OR DEVIATIONS FROM THIS PLAN ARE TO BE APPROVED BY OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT. ANY CHANGES FROM THE APPROVED PLANS MAY REQUIRE APPROVAL FROM THE CITY OR COUNTY PLANNING DEPARTMENTS.  
  
LANDSCAPE CONTRACTOR TO PROVIDE ALL LABOR AND MATERIALS NECESSARY TO FURNISH SCOPE OF WORK AS SHOWN PER PLAN.
- EXISTING TOPSOIL IS TO BE STOCKPILED AND USED TO ESTABLISH FINAL GRADES WITHIN LANDSCAPE AREAS. ALL STOCKPILED SOIL MUST BE CLEAR OF WEEDS, ROCKS AND DEBRIS BEFORE REUSE. ALL BERMED PLANTING BEDS TO BE CREATED WITH IMPORTED TOPSOIL.
- GENERAL CONTRACTOR TO RE-SPREAD STOCKPILED SOIL AND ESTABLISH ROUGH GRADE CONDITIONS TO THE FOLLOWING SPECIFICATIONS:  
A. 1" BELOW CURB FOR ALL SEEDED AREAS.  
B. 2.5" BELOW CURB FOR ALL SODDED AREAS.  
C. 4" BELOW CURB FOR ALL PLANTING, ROCK AND MULCH BEDS.  
CONTRACTOR TO TILL PARKING LOT ISLANDS TO A DEPTH OF 30".
- AMEND ALL PLANTING BEDS WITH CLASS 1 COMPOST. APPLY AT RATE OF 3 CYDS. PER 1000 SQUARE FEET TO ALL PLANTING BEDS AND MANICURED LAWN AREAS, AND 2 CYDS. PER 1000 SQUARE FEET FOR SEEDED AREAS. TILL, MIXING THOROUGHLY, INTO THE UPPER 8" OF SOIL.
- FINE GRADE TO BE ESTABLISHED BY LANDSCAPE CONTRACTOR. FINE GRADE SHALL BE FREE OF ROCKS AND DEBRIS. FINE GRADE IN SEED AREAS SHALL BE FREE FROM ROCKS AND DEBRIS 1/2" AND GREATER. FINE GRADE IN SODDED AREAS SHALL BE FREE FROM ROCKS AND DEBRIS 1/2" AND GREATER. CONTRACTOR TO REPORT ANY POOR DRAINAGE CONDITIONS PRIOR TO CONSTRUCTION.
- CONTRACTOR IS TO PROVIDE VERIFICATION THAT ALL SOD IS OF THE SPECIES SHOWN ON THIS PLAN. NO SUBSTITUTIONS WILL BE ALLOWED. SOD TO BE LAID WITH TIGHT STAGGERED EDGES AND BE ROLLED AFTER INSTALLATION. SEEDED AREAS CANNOT BE SUBSTITUTED WITH SOD.
- MULCHES: ALL PLANTING BEDS THAT CALL FOR WOOD/ORGANIC MULCH TO RECEIVE 4" ORGANIC SHREDDED BARK MULCH. SHREDDED MULCH IS TO BE OF FIBROUS MATERIAL, NOT CHIPS OR CHUNKS. NO FABRIC IS TO BE PLACED UNDER WOOD/ORGANIC MULCH. TREES IN TURF AND NATIVE GRASS AREAS TO RECEIVE 4" DIAMETER OF WOOD MULCH, 3" DEPTH. ALL MULCHED BEDS ARE TO BE SPRAYED WITH WATER AFTER INSTALLATION TO HELP MULCH TO MAT DOWN.  
  
USE PERMEABLE FABRIC UNDERLAYMENT FOR ALL COBBLE/AGGREGATE AREAS WITH SLOPES 3:1 AND LESS. USE QUICK RELEASE ORGANIC PRE-EMERGENT HERBICIDE FOR ALL MULCHED AND PERENNIAL/PLANTING BEDS (AND FOR COBBLE/AGGREGATE AREAS WITH SLOPES EXCEEDING 3:1 GRADE.  
  
SHRUBS AND GROUNDCOVERS IN NATIVE GRASS AREAS TO RECEIVE 3" DIAMETER OF WOOD MULCH, 3" DEEP.  
TREES IN COBBLE/ROCK MULCH TO RECEIVE 4" DIAMETER OF WOOD MULCH, 3" DEEP. SHRUBS AND GROUNDCOVERS IN COBBLE/ROCK MULCH AREAS TO RECEIVE 3" DIAMETER OF WOOD MULCH, 3" DEEP. NO FABRIC UNDERLAYMENT IN WOOD MULCH AREAS.

- SEED MIX INSTALLATION: CONTRACTOR TO DRILL SEED WITH BRILLION TYPE APPLICATOR AND APPLY SOIL GUARD BONDED FIBER MATRIX (BFM) WHERE INDICATED PER PLAN AND SCHEDULES. APPLY SEED IN TWO DIRECTIONS (PERPENDICULAR OF THE OTHER) ADD SOIL GUARD BFM FOR DRILL SEEDING WHERE NOTED PER PLAN AND ON ALL SLOPES 5:1 TO 3:1. FOR AREAS WITH 3:1 SLOPES OR GREATER CONTRACTOR TO USE SOIL GUARD APPLICATION ONLY (IN LIEU OF HYDROMULCH) CONTRACTOR TO SPOT SEED NON-GERMINATING AREAS (3) MONTHS AFTER INITIAL SEED APPLICATION. CONTRACTOR TO RE-SEED ALL BARE AREAS (6"x6") AND GREATER AFTER (6) MONTHS FROM SEED GERMINATION OR AT THE BEGINNING OF THE FOLLOWING GROWING SEASON. PRIOR TO THE 11-MONTH WARRANTY INSPECTION RE-APPLY SOIL GUARD AND SEED MIX TO ALL BARE AREAS (6"x6" OR GREATER) AND TO ALL BARE AREAS (4"x4" OR GREATER) ON ALL SLOPES 3:1 AND GREATER.
- REMOVED DEAD TWIGS AND BRANCHES FROM ALL NEW AND EXISTING PLANT MATERIAL IN A MANNER THAT DOES NOT CHANGE THE NATURAL HABIT OF THE PLANT MATERIAL. SCARES OF 1" OR MORE SHALL BE PAINTED WITH ORGANIC TREE PAINT. CENTRAL LEADERS SHALL NOT BE REMOVED AT ANY TIME. NEWLY PLANTED TREES WITHOUT CENTRAL LEADERS WILL BE REJECTED.
- CONTRACTOR TO APPLY FERTILIZER IN SPRING & LATE SEPTEMBER. WATER THOROUGHLY AFTER APPLICATION OF FERTILIZERS.  
  
ALL SEEDED AND SODDED AREAS TO HAVE RECOMMEND FERTILIZER APPLICATIONS ADDED 2 TO 3 WEEKS AFTER SEEDLING EMERGENCE. AND ONCE IN MID TO LATE JUNE, IN EARLY TO MID AUGUST, AND ONCE IN LATE SEPTEMBER. SEEDED AND SODDED AREAS ARE ALSO TO RECEIVE .5 LB. OF ELEMENTAL SULFUR (OR EQUIVALENT MATERIAL) PER 1,000 S.F. APPLIED IN LATE SEPTEMBER. WATER THOROUGHLY AFTER APPLICATION OF FERTILIZERS.
- ALL PLANT MATERIALS AND UTILITIES ARE SHOWN AT AN APPROXIMATE LOCATIONS. THE CONTRACTOR MAY NEED TO ADJUST LOCATIONS OF PLANT MATERIAL TO ADHERE TO SPECIFIC ON-SITE CONDITIONS AND CODE REQUIREMENTS. ALL TREES AND SHRUBS TO BE PLACED AT 2' MINIMUM BACK OF CURB. CONTRACTOR TO CALL FOR UTILITY LOCATES BEFORE PLANTING (TYP.) 1-800-922-1987, OR CALL 811 BEFORE YOU DIG!  
  
COORDINATION WITH PNM IS NECESSARY FOR THIS PROJECT REGARDING PROPOSED TREE SPECIES, THE HEIGHT AT MATURITY AND TREE PLACEMENT, SIGN LOCATION AND HEIGHT, AND LIGHTING HEIGHT IN ORDER TO ENSURE SUFFICIENT SAFETY CLEARANCES TO AVOID INTERFERENCE WITH THE EXISTING ELECTRIC OVERHEAD AND UNDERGROUND DISTRIBUTION LINES ALONG THE EAST SIDE OF EUBANK BOULEVARD NE AT THE PROJECT SITE BOUNDARY. PNM'S LANDSCAPING PREFERENCE IS FOR TREES AND SHRUBS TO BE PLANTED OUTSIDE THE PNM EASEMENT; HOWEVER, IF WITHIN THE EASEMENT, TREES AND SHRUBS SHOULD BE PLANTED TO MINIMIZE EFFECTS ON ELECTRIC FACILITY MAINTENANCE AND REPAIR. NEW TREES PLANTED NEAR PNM FACILITIES SHOULD BE NO TALLER THAN 25 FEET IN HEIGHT AT MATURITY TO AVOID CONFLICTS WITH EXISTING ELECTRIC INFRASTRUCTURE.
- STEEL EDGING TO BE USED TO SEPARATE ALL TURF AND/OR SEEDED AREAS FROM PLANTING BEDS. USE PERFORATED EDGING SEGMENTS TO OBTAIN POSITIVE DRAINAGE FOR ALL DRAINAGE SWALES OR AREAS OF STANDING WATER.
- CONTRACTOR TO PROVIDE COBBLE & UNDERLAYMENT FOR BUILDING DRAINS AND SWALES THROUGH LANDSCAPED AREAS.

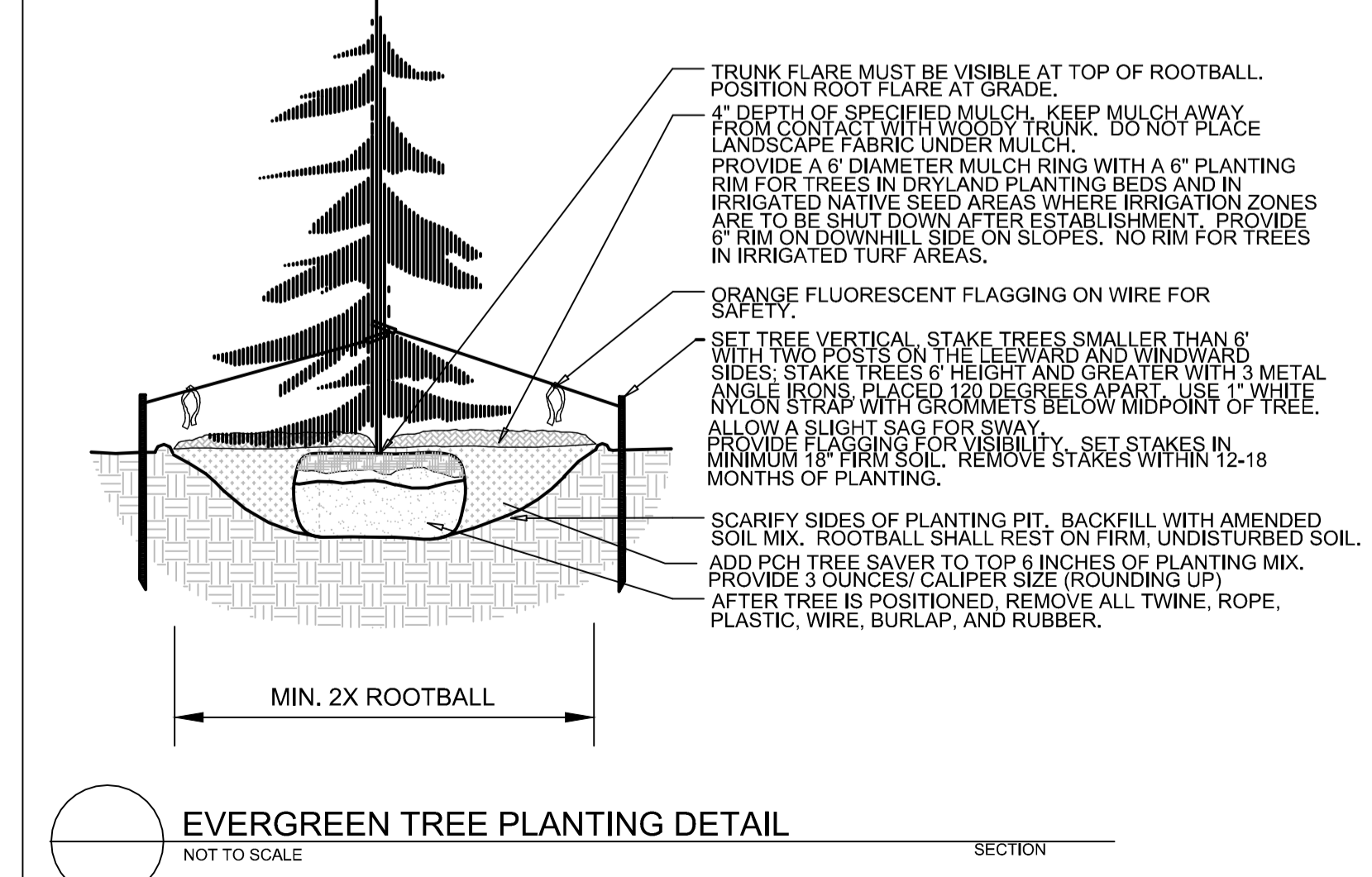
- ALL REQUIRED LANDSCAPING TO BE INSTALLED PRIOR TO ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
- NEW PLANT MATERIAL MUST COMPLY WITH CURRENT NEW MEXICO NURSERY ACT STANDARDS.
- CONTRACTOR IS RESPONSIBLE FOR CONTACTING LANDSCAPE ARCHITECT FOR ALL REQUIRED INSPECTIONS. PROVIDE AT LEAST 48 HOURS NOTICE TO SCHEDULE AN INSPECTION. REQUIRED INSPECTIONS INCLUDE A LANDSCAPE LAYOUT AND PLANT MATERIAL VERIFICATION AND PLACEMENT INSPECTION, IRRIGATION MAIN LINE INSPECTION, LANDSCAPE AND IRRIGATION PUNCH LIST INSPECTION, AND A LANDSCAPE AND IRRIGATION FINAL INSPECTION.
- CONTRACTOR IS TO PROVIDE A ONE YEAR WARRANTY ON ALL PLANT MATERIAL, TURF, IRRIGATION COMPONENTS, AND WORKMANSHIP. REPLACEMENT PLANT MATERIALS SHALL BE OF THE SAME SPECIES AND SIZE AS THE DECAYED OR DEAD PLANT MATERIAL. WARRANTY IS VOID IF PLANT MATERIAL ARE UNDER OR OVER-WATERED/FERTILIZED, DAMAGED BY VANDALISM OR NEGLECTED BY OWNER AFTER FINAL MAINTENANCE PERIOD AND FINAL ACCEPTANCE IS PROVIDED.  
  
REMOVE ALL TREE STAKING MATERIALS AT END OF WARRANTY, PRIOR TO FINAL ACCEPTANCE
- MAINTENANCE: THE OWNER OF THIS PROPERTY AND ANY FUTURE OWNERS SHALL BE RESPONSIBLE FOR THE PROPER LANDSCAPE AND IRRIGATION MAINTENANCE OF THIS SITE AND ANY RIGHT OF WAY AREAS BETWEEN THE CURB AND PROPERTY LINES OF THIS SITE. MAINTENANCE OF THIS SITE INCLUDES, BUT IS NOT LIMITED TO, IRRIGATION INSPECTIONS AND ADJUSTMENTS, IRRIGATION SYSTEM SHUT DOWN AND START UP, IRRIGATION LEAK REPAIR, LANDSCAPE WEEDING, MOWING, SEEDING, FERTILIZATION, WOOD MULCH AND ROCK COVER REPLACEMENT, PRUNING, AND PLANT MATERIAL REPLACEMENT (INCLUDING ANNUAL BEDS). ALL MAINTENANCE SHOULD BE IN ACCORDANCE WITH STANDARDS SPECIFIED WITHIN THE "ALCC SPECIFICATIONS HANDBOOK" REVISED EDITION- 1996. OWNER SHOULD CONTACT LANDSCAPE CONTRACTOR OR LANDSCAPE ARCHITECT REGARDING ANY QUESTIONS RELATING TO THE LANDSCAPE OR IRRIGATION MAINTENANCE OF THIS SITE.

- NOTES:
- PRUNE ONLY DEAD OR BROKEN BRANCHES AND WEAK OR NARROW CROTCHES.
  - KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
  - DO NOT FERTILIZE FOR AT LEAST ONE GROWING SEASON.
  - AMENDED BACKFILL SHALL BE 1/3 COMPOST (PREFERABLY CLASSIFIED) AND 2/3 NATIVE AND/OR IMPORTED TOPSOIL.
  - ALL SHRUBS IN ROCK AREAS TO RECEIVE SHREDDED MULCH RINGS.
  - DEEP WATER ALL PLANTS AT TIME OF PLANTING.

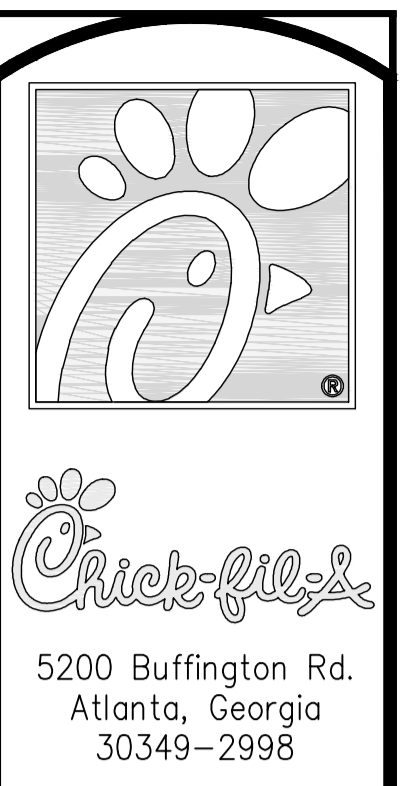
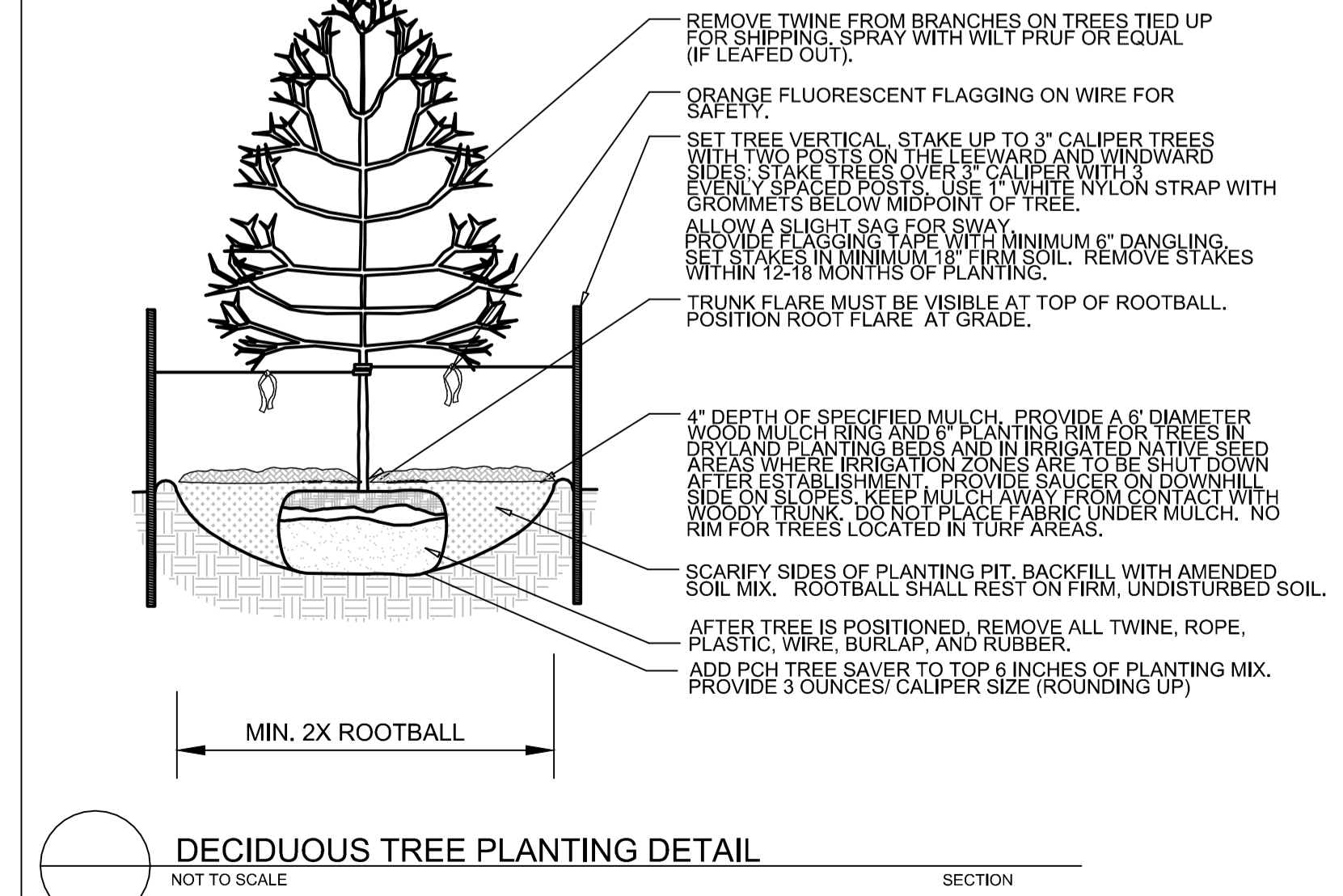


ALL PLANTS TO BE PLANTED TO ACCOMODATE AND MAXIMIZE RAINWATER HARVESTING DEPRESSIONS IN LANDSCAPE BEDS.

- NOTES:
- DO NOT REMOVE OR CUT LEADER.
  - PRUNE ONLY DEAD OR BROKEN BRANCHES IMMEDIATELY PRIOR TO PLANTING.
  - DO NOT REMOVE ANY DOUBLE LEADER, UNLESS OTHERWISE DIRECTED BY OWNERS REPRESENTATIVE.
  - KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
  - AMENDED BACKFILL SHALL BE 1/3 COMPOST (PREFERABLY CLASSIFIED) AND 2/3 NATIVE AND/OR IMPORTED TOPSOIL.
  - MARK THE NORTH SIDE OF TREE IN THE NURSERY, AND ROTATE TREE TO FACE NORTH AT THE SITE WHENEVER POSSIBLE.
  - PINE AND SPRUCE TREES TO BE SPRAYED FOR IPS BARK BEETLE PRIOR TO PLANTING. COORDINATE WITH CITY FORESTRY FOR CURRENT INSECT AND DISEASE RECOMMENDATIONS PRIOR TO PLANTING.
  - ALL TREES TO BE DEEP WATERED AT TIME OF PLANTING.



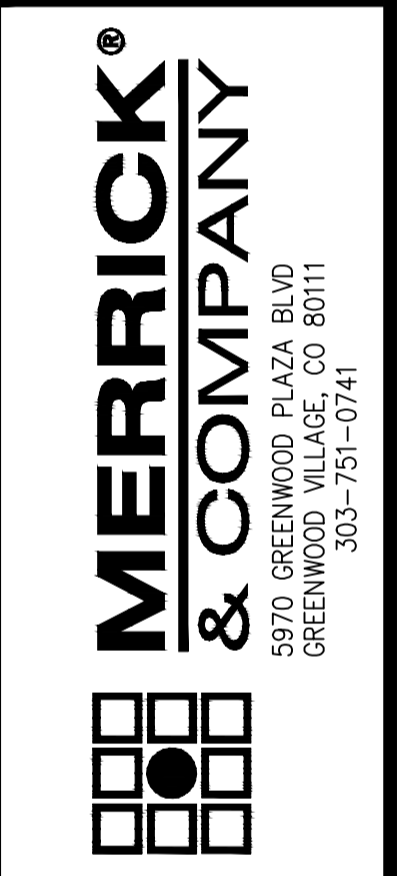
- NOTES:
- MARK THE NORTH SIDE OF TREE IN THE NURSERY, AND ROTATE TREE TO FACE NORTH AT THE SITE WHENEVER POSSIBLE.
  - AT TIME OF PLANTING, DO NOT REMOVE OR CUT LEADER AND PRUNE ONLY DEAD OR BROKEN BRANCHES, CROSS OVER BRANCHES, AND WEAK OR NARROW CROTCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED. HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
  - STRUCTURAL PRUNING SHOULD NOT BEGIN UNTIL AFTER ESTABLISHMENT PERIOD, USUALLY TWO GROWING SEASONS.
  - KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
  - DO NOT FERTILIZE FOR AT LEAST ONE GROWING SEASON.
  - AMENDED BACKFILL SHALL BE 1/3 COMPOST (PREFERABLY CLASSIFIED) AND 2/3 NATIVE AND/OR IMPORTED TOPSOIL.
  - WRAP TRUNK ON EXPOSED SITES AND SPECIES WITH THIN BARK. USE ELECTRICAL OR DUCT TAPE, NOT TWINE.
  - COORDINATE WITH CITY FORESTRY FOR CURRENT INSECT AND DISEASE RECOMMENDATIONS PRIOR TO PLANTING.
  - DEEP WATER ALL PLANTS AT TIME OF PLANTING.



Revisions:

Mark	Date	By
△		
△		
△		

Seal



STORE  
CHICK-FIL-A  
FSU #04107  
COORS BLVD.

COORS BLVD NW  
& St. JOSEPHS DR NW  
ALBUQUERQUE, NM  
87120

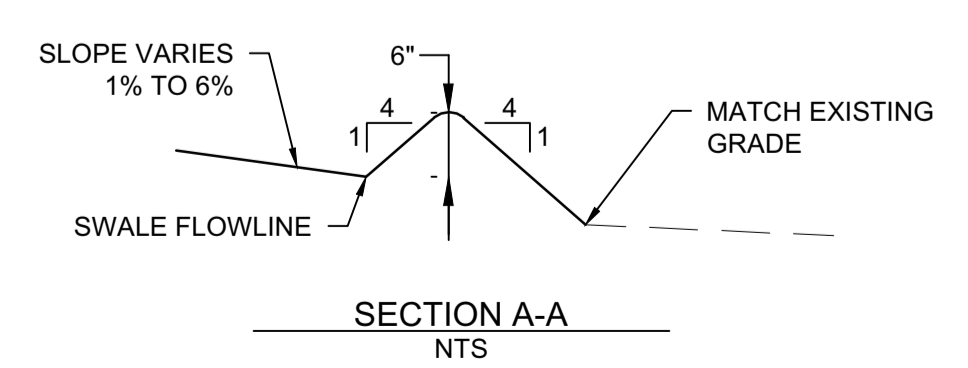
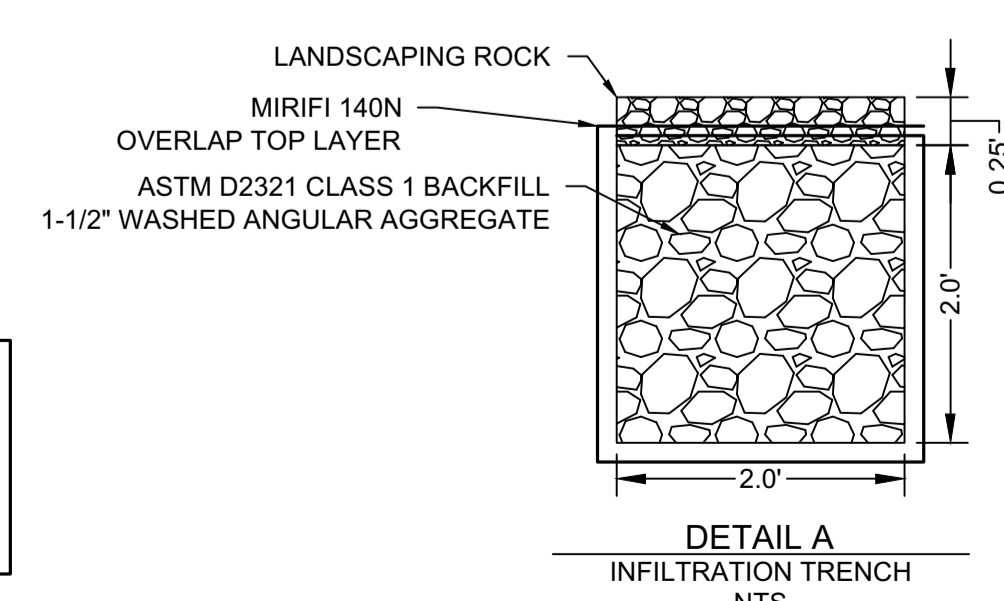
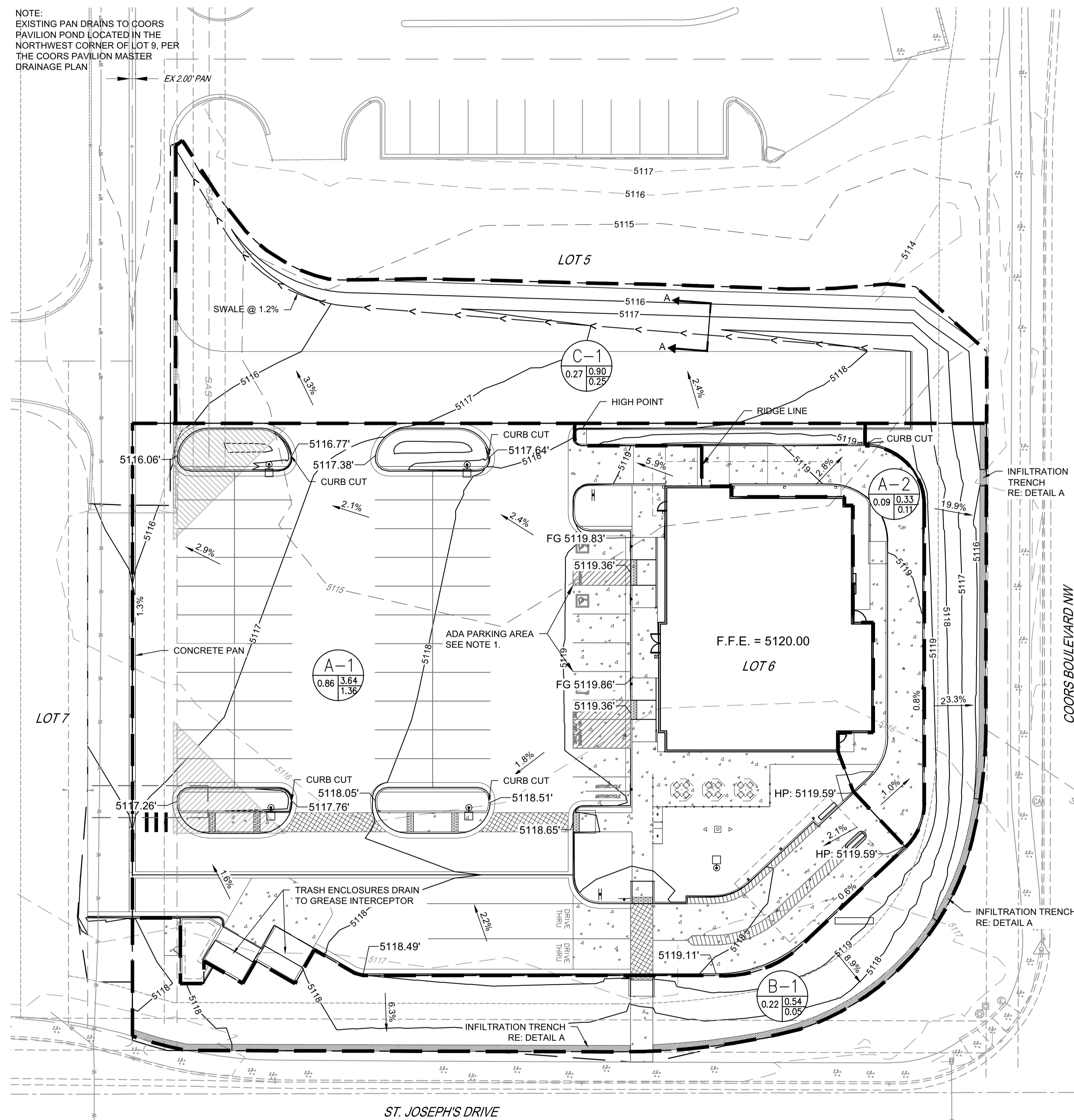
SHEET TITLE  
LANDSCAPE  
PLAN  
DETAILS

DWG EDITION ---

Job No. : 65119594  
Store : 04107  
Date : 08/02/19  
Drawn By : JRO  
Checked By: NAM

Sheet  
L2.0

NOTE:  
EXISTING PAN DRAINS TO COORS  
PAVILION POND LOCATED IN THE  
NORTHWEST CORNER OF LOT 9, PER  
THE COORS PAVILION MASTER  
DRAINAGE PLAN



**DRAINAGE INFORMATION**

**LOCATION & DESCRIPTION**  
THE PROPOSED SITE IS LOT 6 OF COORS PAVILION AND IS 1.16 ACRES LOCATED ON THE NORTH SIDE OF ST. JOSEPH'S BLVD. AND THE WEST SIDE OF COORS BLVD. THE PROPOSED DEVELOPMENT WILL BE A FAST FOOD RESTAURANT WITH ALL THE ASSOCIATED IMPROVEMENTS.

**FLOODPLAIN STATUS**  
THE PROJECT, AS SHOWN ON FEMA'S FLOOD INSURANCE RATE MAP 35001C0114H, DATED AUGUST 16, 2012 IS NOT WITHIN A DESIGNATED 100-YEAR FLOODPLAIN. AN EXHIBIT WITH THE SITE SHOWN ON THE FIRM PANEL IS INCLUDED ON THIS SHEET.

**METHODOLOGY**  
THE HYDROLOGY FOR THIS PROJECT WAS ANALYZED USING THE RATIONAL METHOD.

**PRECIPITATION**  
THE 100-YR 6-HR DURATION STORM WAS USED AS THE DESIGN STORM FOR THIS ANALYSIS. THIS SITE IS WITHIN ZONE 1 AS IDENTIFIED IN THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL, SECTION 22.2

**EXISTING DRAINAGE**  
THE SITE IS WITHIN THE AREA OF THE COORS PAVILION DRAINAGE MASTER PLAN DATED FEBRUARY 22, 2017. THE EXISTING DRAINAGE FLOWS TO THE NORTHWEST TO A PROPOSED POND FOR SHARED USE BY LOTS INCLUDED IN THE MASTER DRAINAGE PLAN. THE LAND USE PERCENTAGES OF THAT STUDY ARE UTILIZED IN THE ANALYSIS.

**DEVELOPED CONDITION**  
THE SITE WILL BE DEVELOPED WITH SITE FLOWS FROM LOT 6 DIRECTED INTO A CONCRETE PAN IN THE MIDDLE OF THE PRIVATE DRIVE ON THE WEST SIDE OF THE SITE VIA A COMBINATION OF CURB AND GUTTER AND OVERLAND FLOW. THE PAN WILL ULTIMATELY DIRECT THE FLOW INTO THE FIRST FLUSH POND PROVIDED BY THE DEVELOPMENT. THE 100 YEAR PEAK RUNOFF FROM THIS DEVELOPMENT IS IN ACCORDANCE WITH THE MASTER DRAINAGE REPORT. RUNOFF FROM BASIN B-1 ADJACENT TO COORS BLVD AND ST. JOSEPH'S DR WILL BE CAPTURED BY AN INFILTRATION TRENCH AT THE REAR OF THE EXISTING SIDEWALK, ALLOWING NO RUNOFF FROM THIS SITE TO ENTER EITHER ROADWAY RIGHT-OF-WAY..

**REQUIRED FIRST FLUSH VOLUME**

LOT DRAINAGE AS DEPICTED ON THIS PLAN SHALL BE MAINTAINED  
LOT DEPICTED HEREON SHALL BE RESPONSIBLE FOR MAINTAINING FIRST FLUSH RUNOFF RETENTION INDICATED ON THE LOT IMMEDIATELY PRIOR TO DISCHARGE. THE TOTAL VOLUME SHALL BE EQUAL TO: IMPERVIOUS AREA \* (0.44-0.10)/12 IN CUBIC FEET.

IMPERVIOUS AREA: 36,996 SF  
REQUIRED VOLUME = 36,996 \* (0.44-0.10)/12 = 1049 FT<sup>3</sup>  
PROVIDED VOLUME ON SITE (BASIN A) = 0 FT<sup>3</sup>  
PROVIDED VOLUME IN DEVELOPMENT POND = 1289 FT<sup>3</sup>

Basin	Land Treatment (ac)				
	A	B	C	D	Total
A-1	0	0	0.07	0.79	0.86
A-2	0	0	0.02	0.07	0.09
B-1	0	0.13	0.08	0.00	0.21
Lot 6 Total	0	0.13	0.17	0.86	1.16
C-1	0	0.06	0.08	0.12	0.27

	Basin			
	A-1	A-2	B-1	C-1
100 YR RUNOFF (cfs)	3.65	0.36	0.51	0.90
10 YR RUNOFF (cfs)	2.39	0.23	0.23	0.53
2 YR RUNOFF (cfs)	1.37	1.37	0.13	0.05
V360 (cu-ft)	5901	563	637	1328

REQUIRED VOLUME ON SITE (BASIN B) = 637 FT<sup>3</sup>  
PROVIDED VOLUME ON SITE (BASIN B) = (410 \* (2<sup>2</sup>)/0.4) = 656 FT<sup>3</sup>

**NOTES:**

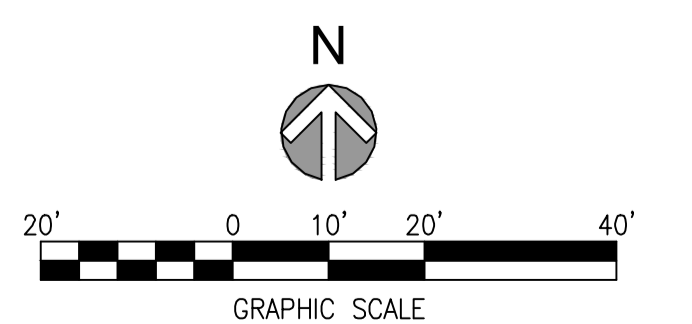
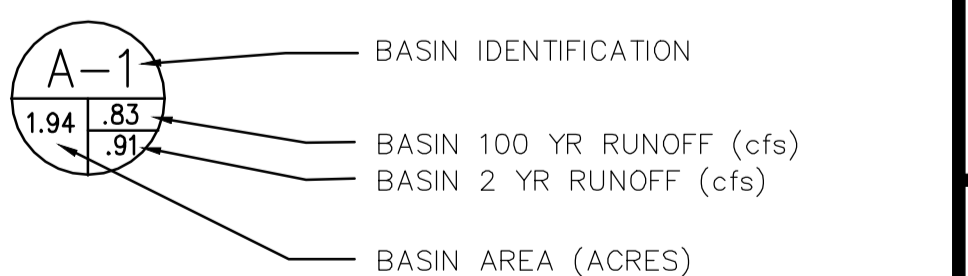
- ADA STALLS SHALL HAVE A MAXIMUM SLOPE OF 2% IN ANY DIRECTION.
- ELEVATIONS ARE 51XX.XX, UNLESS OTHERWISE SPECIFIED.
- ALL DIMENSIONS REFERENCE FLOWLINE, BUILDING FOUNDATION OR PROPERTY LINE, UNLESS OTHERWISE SPECIFIED.

**EROSION CONTROL NOTES:**

- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
- REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

**LEGEND:**

- PROPERTY LINE
- LIMITS OF GRADING
- 4945 PROPOSED MAJOR CONTOUR
- 4943 PROPOSED MINOR CONTOUR
- 4945 EXISTING MAJOR CONTOUR
- 4943 EXISTING MINOR CONTOUR
- 42.69'x FLOWLINE SPOT ELEVATION
- FF: 42.69'x FINISHED FLOOR SPOT ELEVATION
- FG: 42.69'x FINISHED GRADE SPOT ELEVATION
- TC: 93.41'x TOP OF CURB SPOT ELEVATION
- EG: 93.41'x EXISTING GRADE SPOT ELEVATION
- EX FL: 93.41'x EXISTING FLOWLINE SPOT ELEVATION
- 2.7% PROPOSED SLOPE ARROWS
- EX 2.7% EXISTING SLOPE ARROWS
- BASIN LINES
- STORM INLET
- STORM MANHOLE

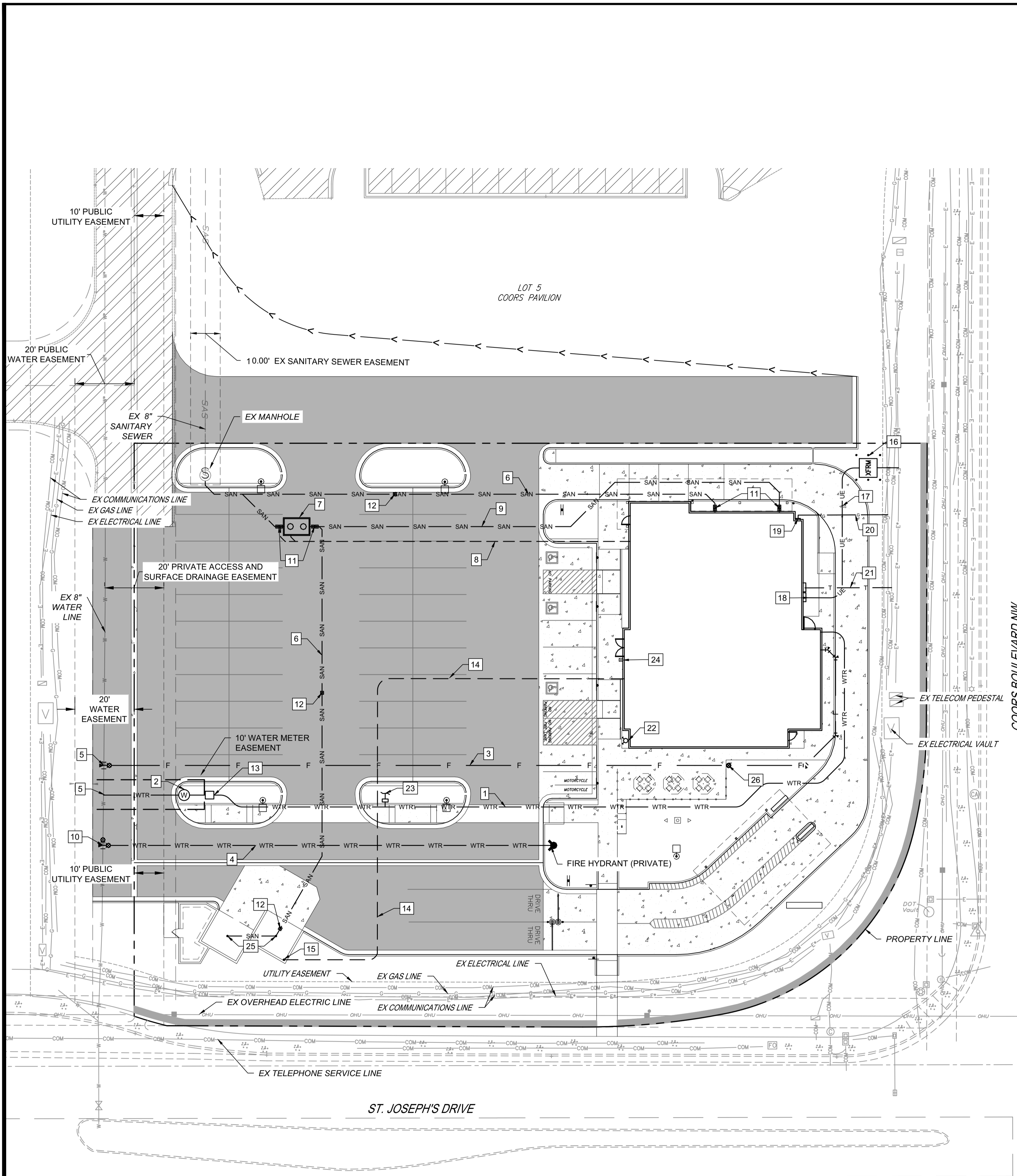


Revisions:

Mark	Date	By
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△		
△		

STORE  
CHICK-FIL-A  
FSU #04107  
COORS BLVD.  
4001 COORS BLVD NW  
ALBUQUERQUE, NM  
87120

SHEET TITLE  
**GRADING AND DRAINAGE PLAN**  
DWG EDITION ---  
Job No. : 65119594  
Store : 04107  
Date : 8/1/19  
Drawn By : LV  
Checked By : KW  
Sheet  
**3**

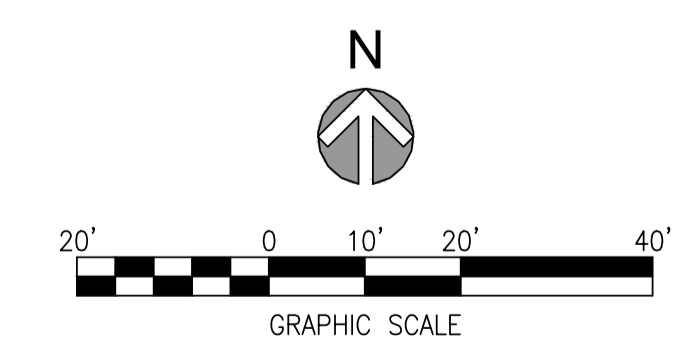


**PLUMBING SITE PLAN DESIGN NOTES & KEY PLAN**

- 1 2" TYPE K COPPER DOMESTIC WATER SERVICE (PRIVATE)
- 2 2" WATER METER (PRIVATE)
- 3 4" D.I.P. FIRE LINE (PRIVATE)
- 4 6" D.I.P. FIRE SERVICE (PUBLIC)
- 5 CONNECT TO EXISTING WATER MAIN
- 6 4" PVC WASTEWATER SERVICE LINE (PRIVATE)
- 7 GREASE INTERCEPTOR (PRIVATE)
- 8 3" VENT LINE (PRIVATE)
- 9 4" PVC KITCHEN WASTE LINE (PRIVATE)
- 10 6" FIRE SERVICE CONNECTION (PUBLIC)
- 11 4" TWO-WAY CLEANOUT (TRAFFIC RATED) (PRIVATE)
- 12 4" ONE-WAY CLEANOUT (TRAFFIC RATED) (PRIVATE)
- 13 2" REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTION ASSEMBLY (RPBA)
- 14 3/4" TYPE K COPPER WATER SERVICE TO YARD HYDRANT (PRIVATE)
- 15 3/4" YARD HYDRANT (PRIVATE)
- 16 ELECTRIC TRANSFORMER
- 17 ELECTRIC SERVICE LINE
- 18 ELECTRIC METER AND DISTRIBUTION PANEL
- 19 GAS METER
- 20 GAS SERVICE LINE
- 21 TELEPHONE SERVICE LINE
- 22 FIRE DEPARTMENT CONNECTION
- 23 CONNECT TO IRRIGATION SYSTEM
- 24 KNOX BOX
- 25 TRASH ENCLOSURE AREA DRAIN, CONNECT TO PROPOSED SANITARY SEWER LINE.
- 26 POST INDICATOR VALVE

**LEGEND:**

- PROPERTY LINE
- ⊙ WATER METER
- ⊙ IRRIGATION METER
- ⊙ GREASE TRAP
- ⊙ SINGLE CLEANOUT
- ⊙ TWO-WAY CLEANOUT
- ⊙ TRANSFORMER
- ⊙ STORM INLET
- ⊙ STORM MANHOLE
- ⊙ LIGHT POLE
- ⊙ PROPOSED TRAFFIC SIGN
- ⊙ PAVEMENT STRIPING
- ⊙ PARKING STALL COUNT
- F — FIRE LINE
- WTR — WATER LINE
- SAN — SANITARY SEWER
- G — GAS SERVICE
- E — ELECTRIC SERVICE
- T — TELEPHONE SERVICE
- STORM SEWER
- 5555 — PROPOSED MAJOR CONTOUR
- 5555 — PROPOSED MINOR CONTOUR
- ⊙ EX STORM MANHOLE
- ⊙ EX SANITARY MANHOLE
- ⊙ EX STORM INLET
- ⊙ EX LIGHT POLE
- UE — EX UNDERGROUND ELECTRIC
- G — EX GAS SERVICE
- W — EX WATER LINE
- SD — EX STORM SEWER
- SS — EX SANITARY SEWER
- UT — EX TELEPHONE SERVICE
- ⊙ EX GUARDRAIL
- ⊙ EX FIRE HYDRANT
- ⊙ EX TRAFFIC SIGN
- 5555 --- EX MAJOR CONTOUR
- 5555 --- EX MINOR CONTOUR
- ⊙ EX TREE
- ⊙ EX IRRIGATION VALVE
- ⊙ EX WATER VALVE
- ⊙ EX TELEPHONE BOX
- ⊙ EX ELECTRIC BOX
- RWT — EX RECLAIMED WATER MAIN
- ⊙ EX STORM SEWER



**Chick-fil-A**  
 5200 Buffington Rd.  
 Atlanta, Georgia  
 30349-2998

Revisions:

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Seal

**MERRICK**  
 5970 GREENWOOD PLAZA BLVD  
 GREENWOOD VILLAGE, CO 80111  
 303-751-0741

STORE  
 CHICK-FIL-A  
 FSU #04107  
 COORS BLVD.  
 4001 COORS BLVD NW  
 ALBUQUERQUE, NM  
 87120

SHEET TITLE

**UTILITY PLAN**

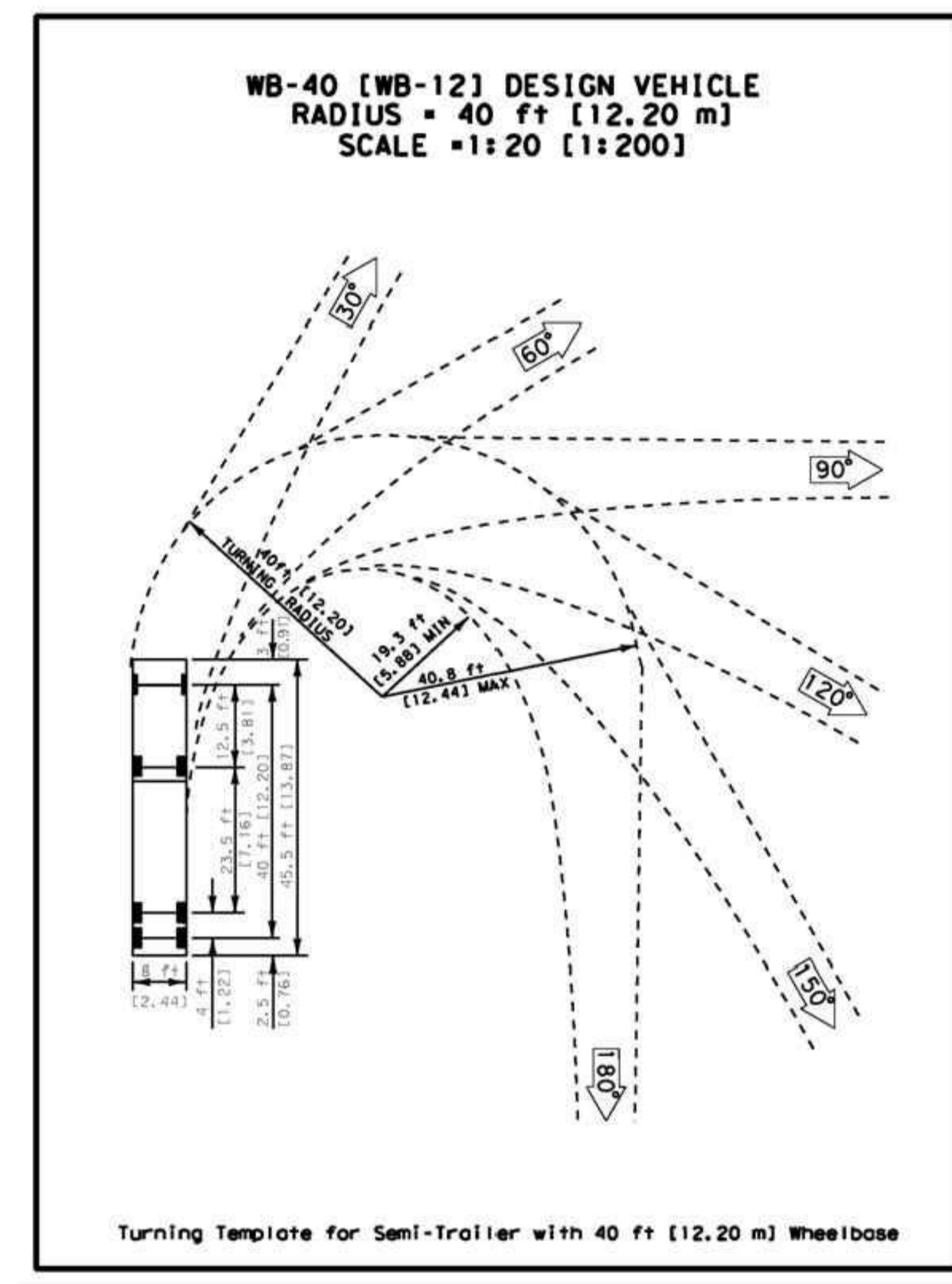
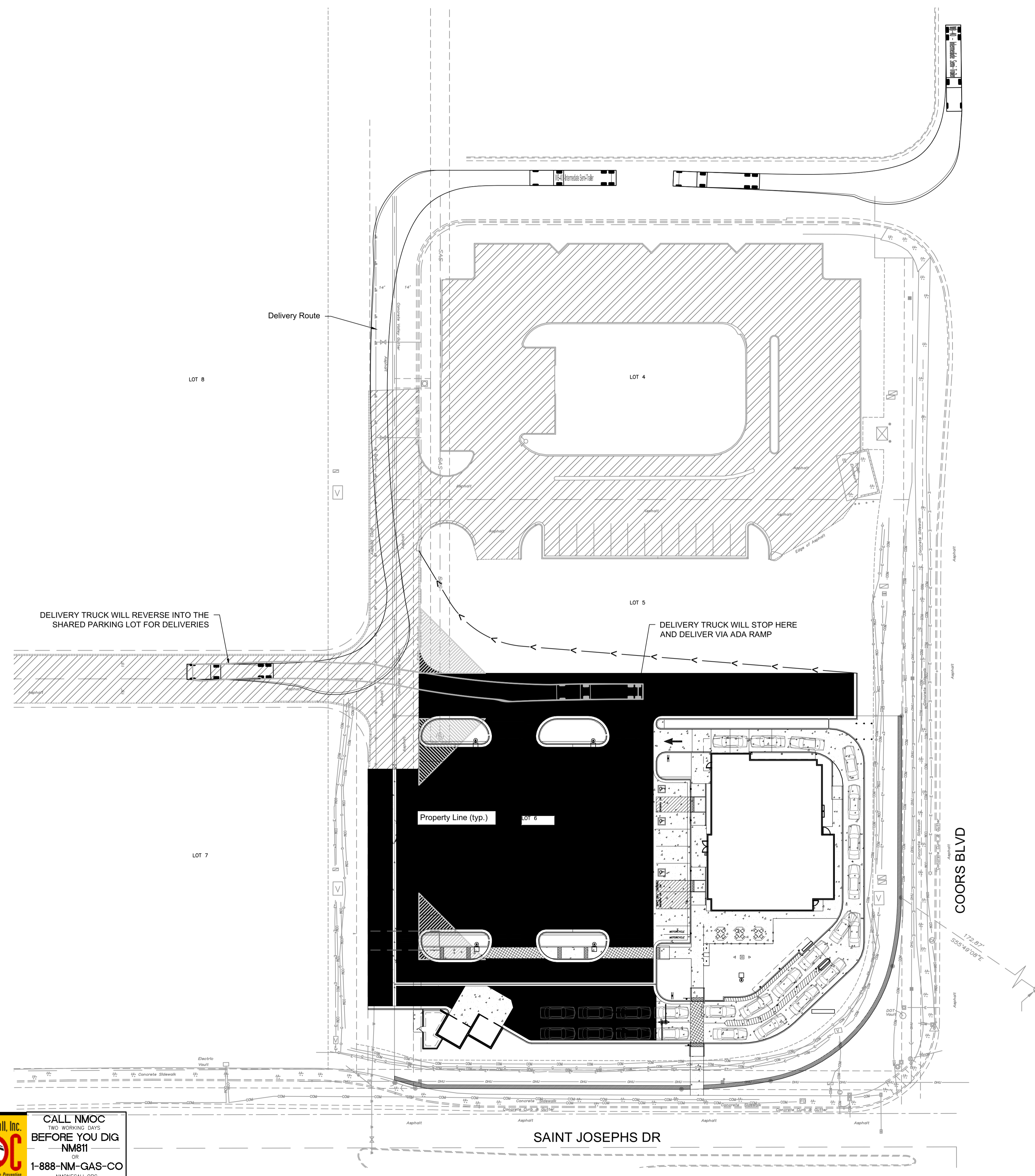
DWG EDITION ---

Job No. : 65119594  
 Store : 04107  
 Date : 8/1/19  
 Drawn By : LV  
 Checked By : KW

Sheet

New Mexico One Call, Inc.  
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 5200 Buffington Rd.  
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Revisions:

Mark	Date	By
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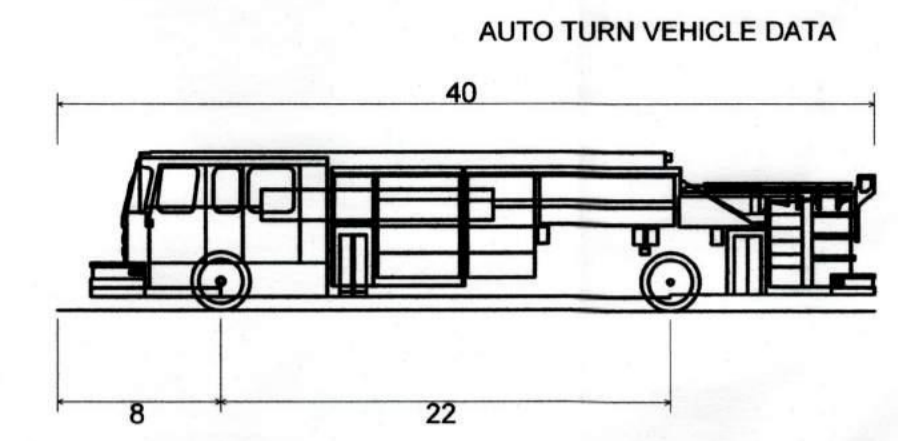
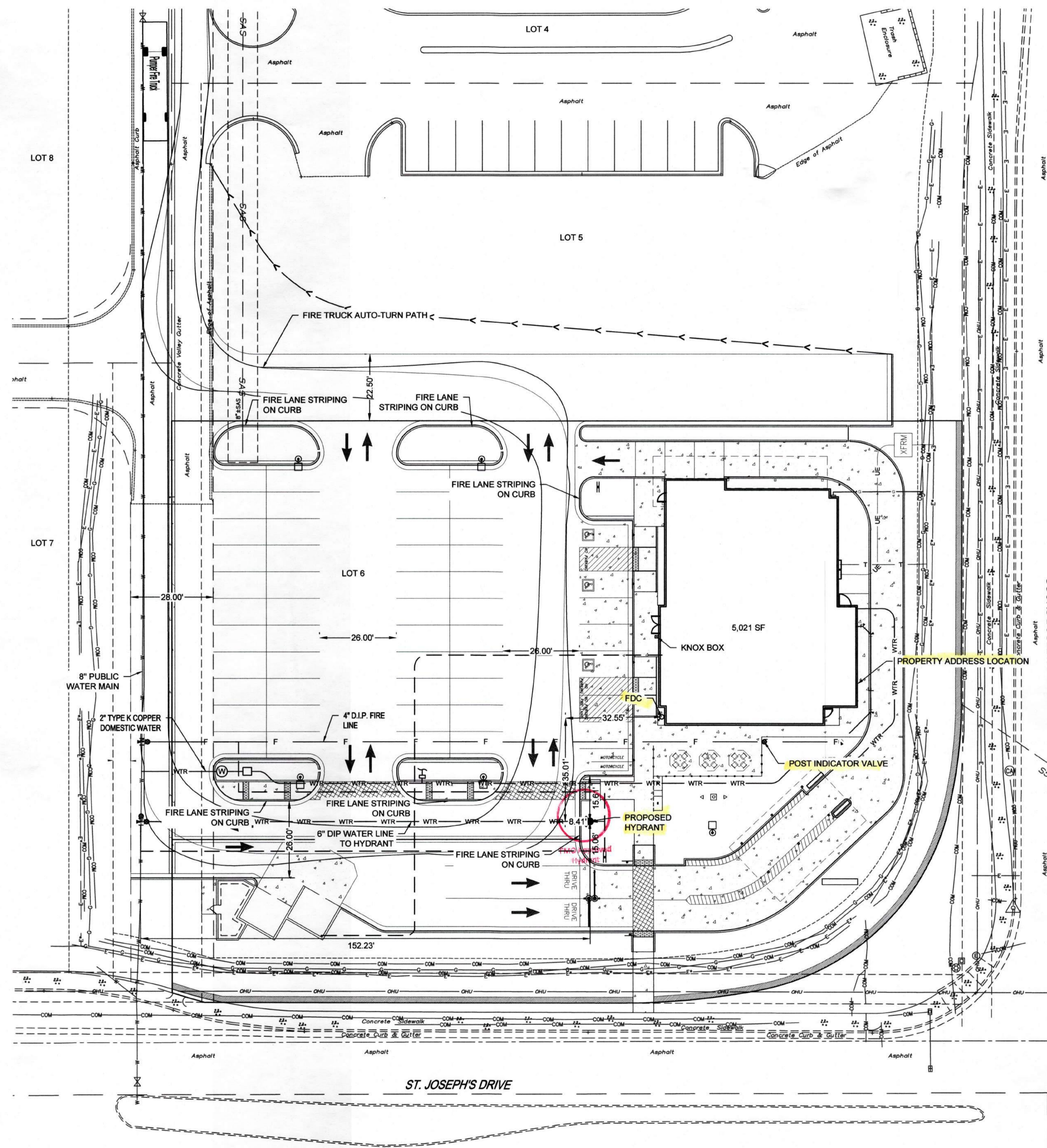
**MERRICK**  
 5970 GREENWOOD PLAZA BLVD  
 GREENWOOD VILLAGE, CO 80111  
 303-751-0741

STORE  
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 FSU #04107  
 COORS BLVD.  
 4001 COORS BLVD NW  
 ALBUQUERQUE, NM  
 87120

SHEET TITLE  
**DELIVERY TRUCK ROUTE**  
 DWG EDITION ---

Job No. : 65119594  
 Store : 04107  
 Date : 8/1/19  
 Drawn By : LV  
 Checked By : KW

Sheet  
**6**

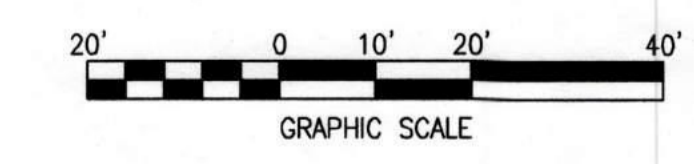


Pumper Fire Truck	40.000ft
Overall Length	8.167ft
Overall Width	7.745ft
Overall Body Height	0.656ft
Min Body Ground Clearance	8.167ft
Track Width	5.00s
Lock-to-lock time	45.00°
Max Wheel Angle	

GENERAL NOTES

- PAVEMENT SECTION IS BASED ON AN ESTIMATED 18,000-POUND EQUIVALENT SINGLE AXLE LOADS. CONCRETE SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 4,000 PSI. ACCESS AND LOADING SHALL SUPPORT 75,000 POUNDS AND WILL NOT EXCEED 10% IN GRADE.
- BUILDING WILL BE SPRINKLED, SEE ARCHITECTURAL PLANS.
- PER 2015 IBC, NO SEPARATION IS NEEDED WITH THIS BUILDING.
- FIRE FLOW DATA  
 CODE FOR ANALYSES: 2015 IFC  
 CONSTRUCTION TYPE: V-B  
 BUILDING AREA: 5,021 SF  
 FIRE FLOW: 2000 GPM  
 50% REDUCTION FOR FULLY SPRINKLED: 1000 GPM  
 MINIMUM FIRE FLOW REQUIREMENT: 1000 GPM
- NUMBER OF FIRE HYDRANTS REQUIRED PER APPENDIX C.1 OF 2015 IFC.
- ALL REQUIRED FIRE HYDRANTS SHALL BE INSTALLED AND OPERATE BEFORE ANY BUILDING (OR PORTION OF THE BUILDING) IS OCCUPIED. AN APPROVED AND ADEQUATE WATER SUPPLY SHALL BE PROVIDED BEFORE AND COMBUSTIBLE MATERIALS ARE DELIVERED TO THE BUILDING SITE. IT SHALL BE UNLAWFUL TO OCCUPY ANY PORTION OF THE BUILDING OR STRUCTURE UNTIL THE REQUIRED FIRE DETECTION, ALARM, AND SUPPRESSION SYSTEMS HAVE BEEN TESTED AND APPROVED.

65119  
 HYDRANT AND FIRE ACCESS  
 ALBUQUERQUE FIRE MARSHAL'S OFFICE  
 PLANS CHECKING DIVISION  
 5021 SF CONSTRUCTION TYPE V-B  
 1500 NUMBER OF HYDRANTS 1  
 APPROVED / DISAPPROVED  
 10/16/18  
 SIGNATURE: MARY FLETCHER LOVIE

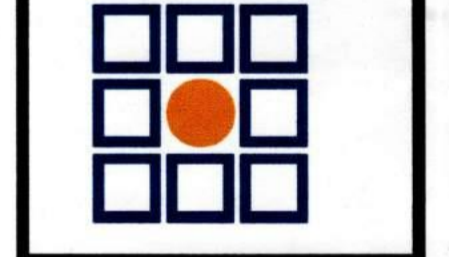


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Revisions:	Mark	Date	By
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Seal

**MERRICK**  
 5870 GREENWOOD PLAZA BLVD  
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STORE  
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 COORS BLVD.  
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SHEET TITLE

**FIRE 1**

DWG EDITION ---

Job No. : 65119594  
 Store : 04107  
 Date : 10/16/18  
 Drawn By : LV  
 Checked By : KW

Sheet  
**FIRE 1**









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1700 INDUSTRIAL DRIVE  
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 www.core-eng.com

**CHICK-FIL-A**  
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 ALBUQUERQUE, NM 87120

**FSR#04107**  
 BUILDING TYPE / SIZE: P12 SE LRG  
 RELEASE: V2:18.08

REVISION SCHEDULE		
NO.	DATE	DESCRIPTION
1	10/30/18	SCHEMATIC DESIGN ISSUE

CONSULTANT PROJECT # 25779  
 PRINTED FOR CONSTRUCTION DOCUMENTS  
 DATE 06/26/19  
 DRAWN BY C. ELIAS

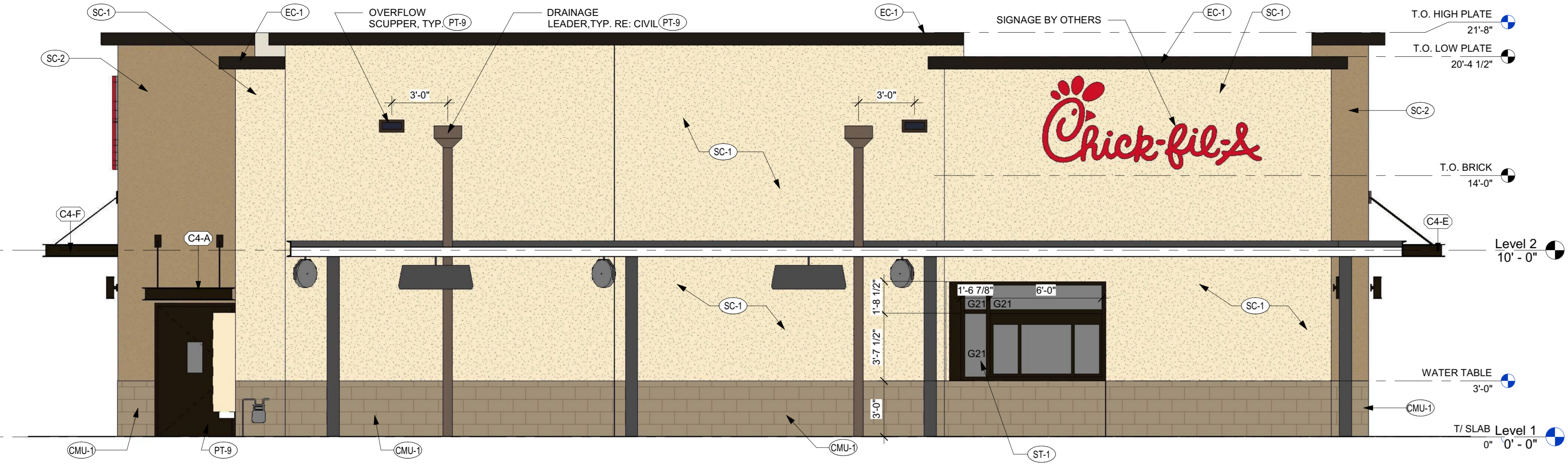
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SHEET EXTERIOR ELEVATIONS

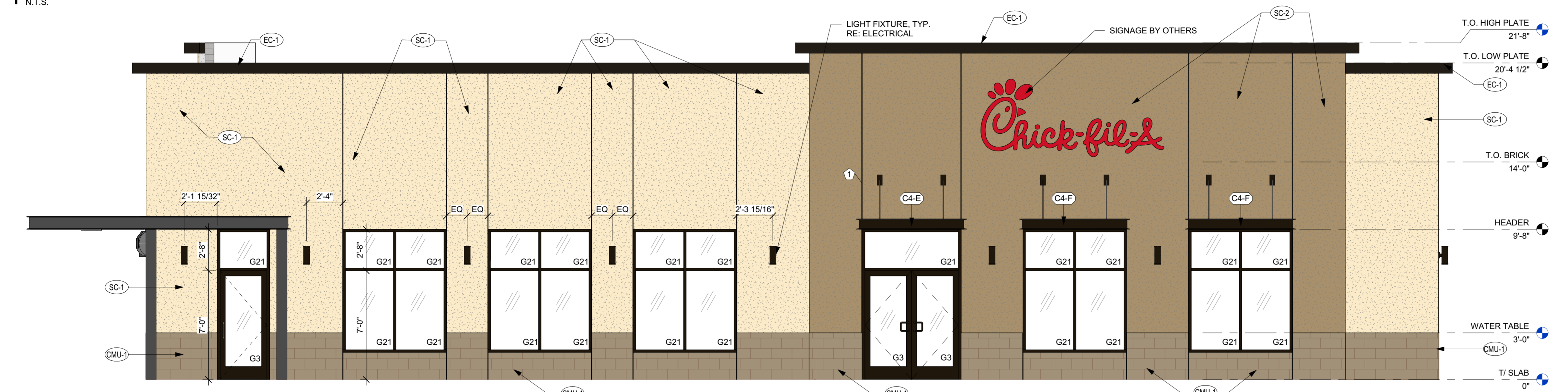
SHEET NUMBER

**A-02**

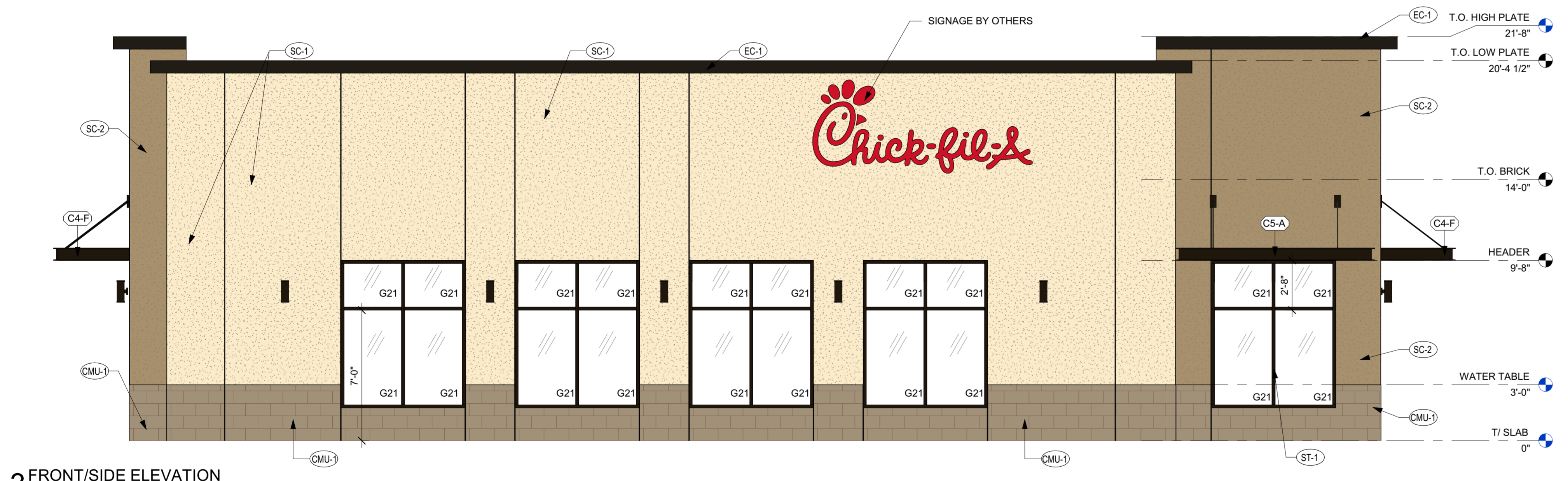
FINISH SCHEDULE - EXTERIOR CUP						
MARK	DESCRIPTION	MANUFACTURER	MODEL NAME	MODEL NUMBER	COLOR	NOTE
EXTERIOR						
CMU-1	CMU BLOCK	ORCO	BURNISHED BROWN MEDIUM STANDARD FRP		BURNISHED BROWN MEDIUM DARK BRONZE (MATTE)	MATCHING NEUTRAL COLORED GROUT
EC-1	PARAPET WALL COPING	DUROLAST / EXCEPTIONAL METALS				
PT-7	EXTERIOR PAINT	SHERWIN WILLIAMS	SHER-CRYL HIGH PERFORMANCE ACRYLIC	SW 2807	ROCKWOOD	REFUSE ENCLOSURE. FINISH: SEMI-GLOSS ON DOOR FRAMES. SATIN ON WALLS
PT-9	EXTERIOR PAINT	SHERWIN WILLIAMS	SHER-CRYL HIGH PERFORMANCE ACRYLIC		DARK BRONZE	
SC-1	STUCCO	STO	GRECIAN IVORY	SW 7541	GRECIAN IVORY	FINISH: SAND MEDIUM
SC-2	STUCCO	STO	STUDIO TAUPE	SW 7549	STUDIO TAUPE	FINISH: SAND MEDIUM
ST-1	STOREFRONT	YKK	YES 45		DARK BRONZE (MATTE)	



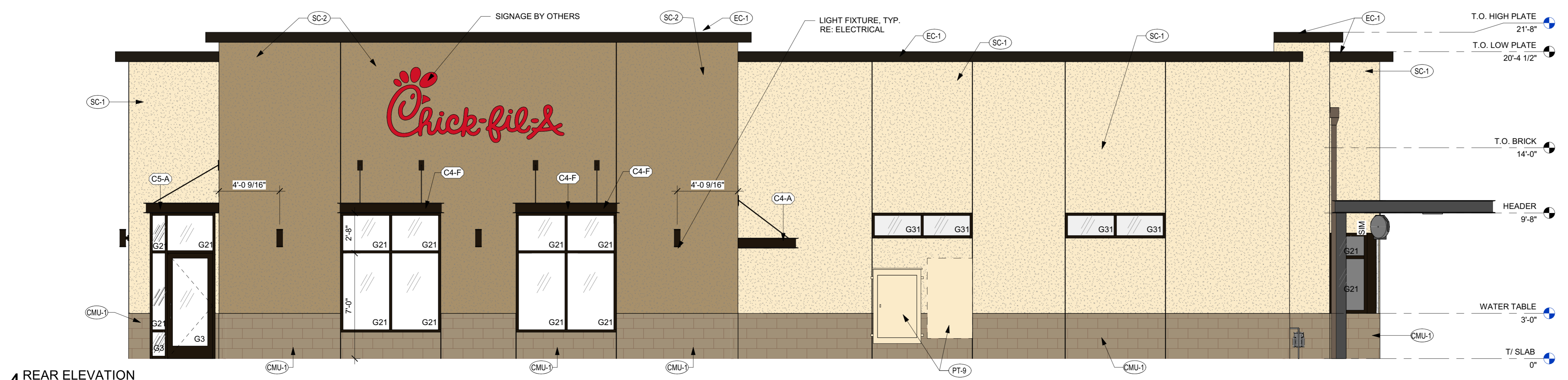
**1 DRIVE-THRU ELEVATION**  
 N.T.S.



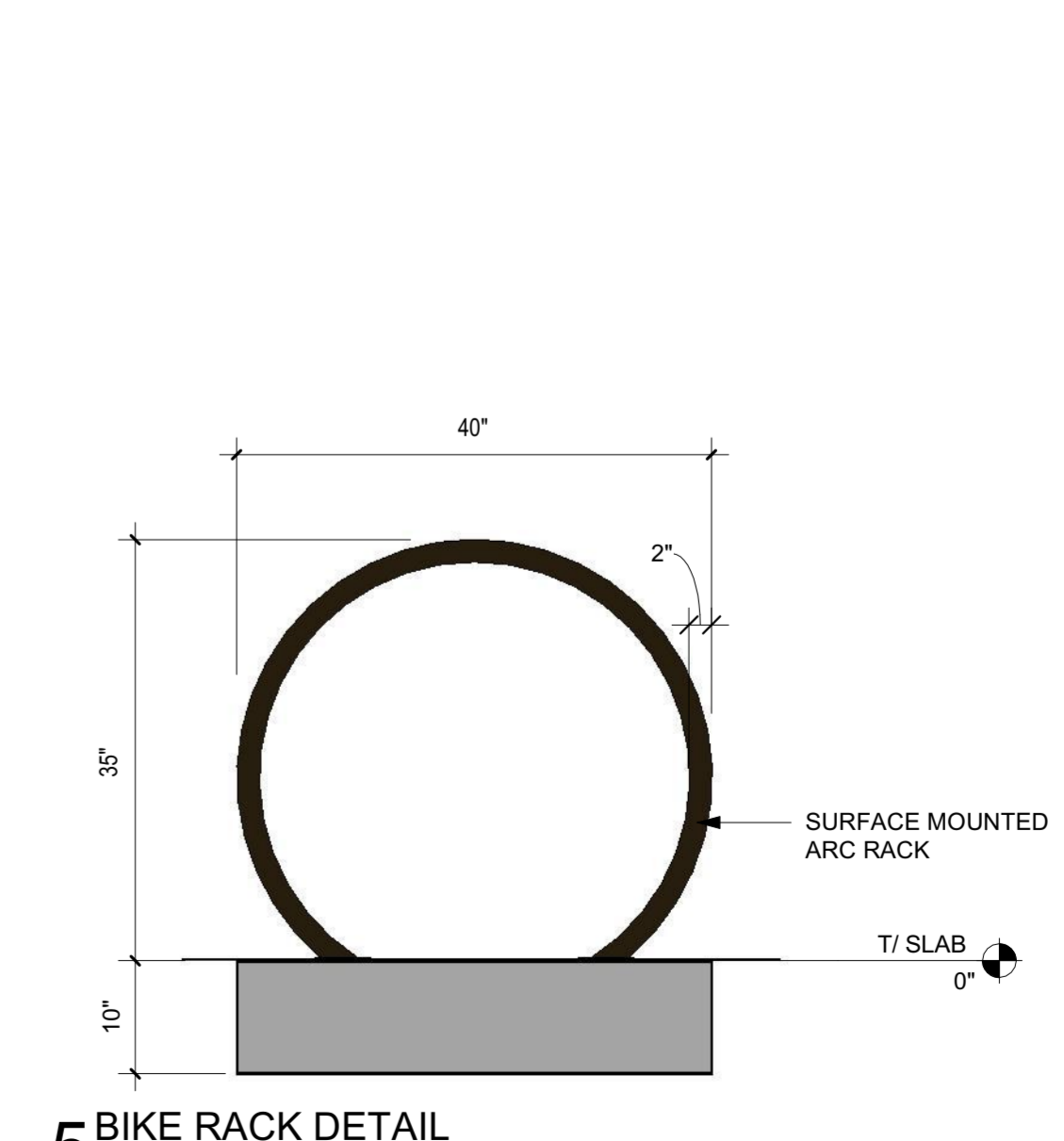
**2 FRONT ELEVATION**  
 N.T.S.



**3 FRONT/SIDE ELEVATION**  
 N.T.S.



**4 REAR ELEVATION**  
 N.T.S.



**5 BIKE RACK DETAIL**  
 N.T.S.

BIM 360/INM 04107\_Coors Blvd\_Albuquerque\_FSR\_P12\_SE\_LRG4107\_Albuquerque NM\_P12\_SE\_ARC\_V2\_18.08.rvt  
 8/2/2019 11:02:02 AM  
 SE-04107-A-02-EXTERIOR ELEVATIONS

CONSTRUCTION DOCUMENTS



1 PERSPECTIVE VIEW - Stucco - FRONT LEFT  
N.T.S.



2 PERSPECTIVE VIEW - Stucco - FRONT RIGHT  
N.T.S.



3 PERSPECTIVE VIEW - Stucco - REAR RIGHT  
N.T.S.



4 PERSPECTIVE VIEW - Stucco - REAR LEFT  
N.T.S.



Chick-fil-A

Chick-fil-A  
5200 Buffington Road  
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CORE STATES  
GROUP

CORESTATES INC.

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**CHICK-FIL-A**  
ALBUQUERQUE, NM  
4001 COORS BLVD  
ALBUQUERQUE, NM 87120

**FSR#04107**

BUILDING TYPE / SIZE: P12 SE LRG  
RELEASE: V2:18.08

REVISION SCHEDULE		
NO.	DATE	DESCRIPTION
1	10/30/18	SCHEMATIC DESIGN ISSUE

CONSULTANT PROJECT #	25779
PRINTED FOR CONSTRUCTION DOCUMENTS	
DATE	06/26/19
DRAWN BY	C. ELIAS

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SHEET PERSPECTIVE VIEWS

SHEET NUMBER

**A-04**



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**CHICK-FIL-A**  
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 4001 COORS BLVD  
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**FSR#04107**  
 BUILDING TYPE / SIZE: P12 SE LRG  
 RELEASE: V2:18.08

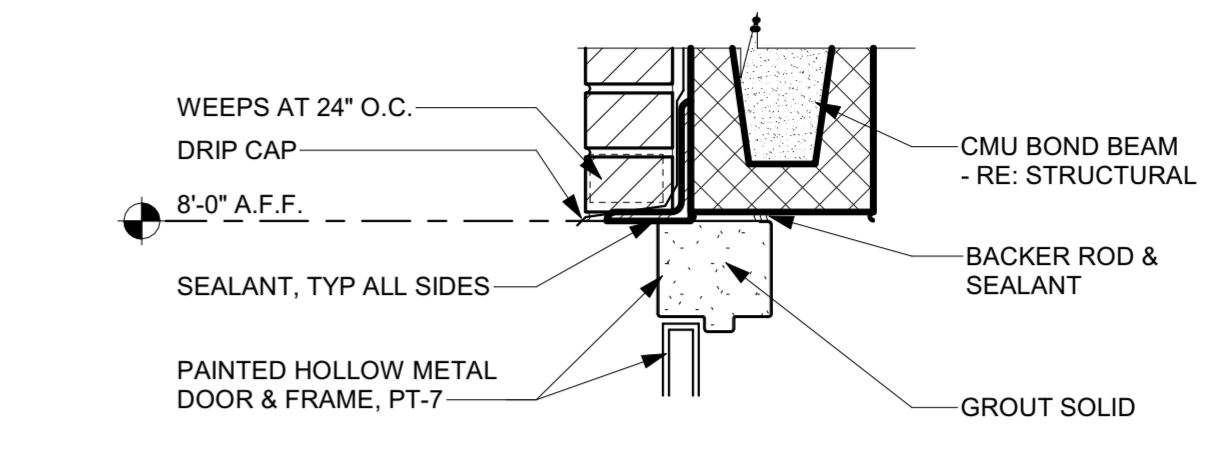
REVISION SCHEDULE		
NO.	DATE	DESCRIPTION
1	11/12/18	PERMIT ISSUE
3	04/12/19	PERMIT REV 3
4	05/06/19	PERMIT REV 4
	07/02/19	ISSUE FOR BID

CONSULTANT PROJECT # 25779  
 PRINTED FOR CONSTRUCTION DOCUMENTS  
 DATE 06/26/19  
 DRAWN BY C. ELIAS

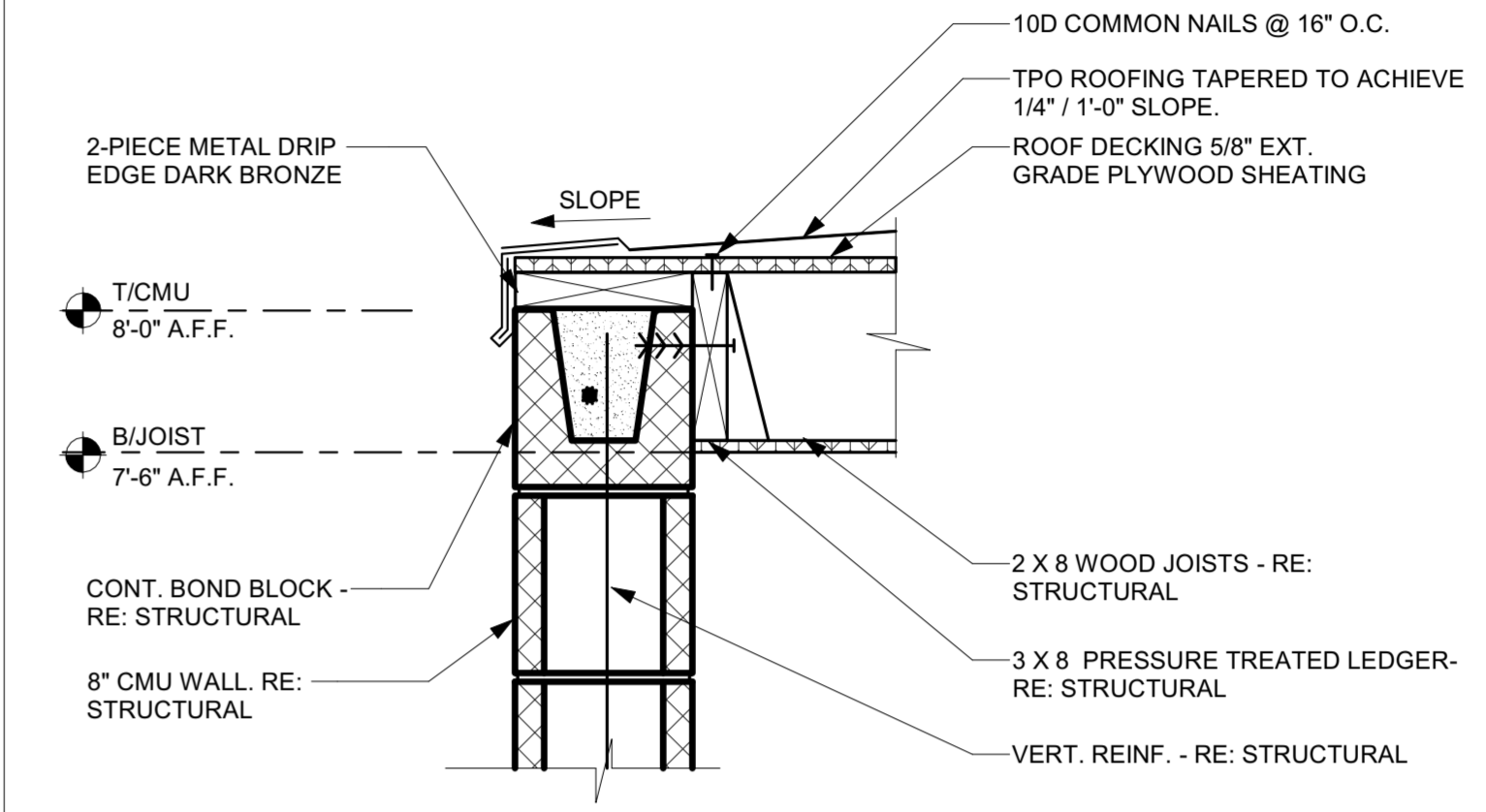
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 SHEET REFUSE ENCLOSURE

SHEET NUMBER  
**A-103**

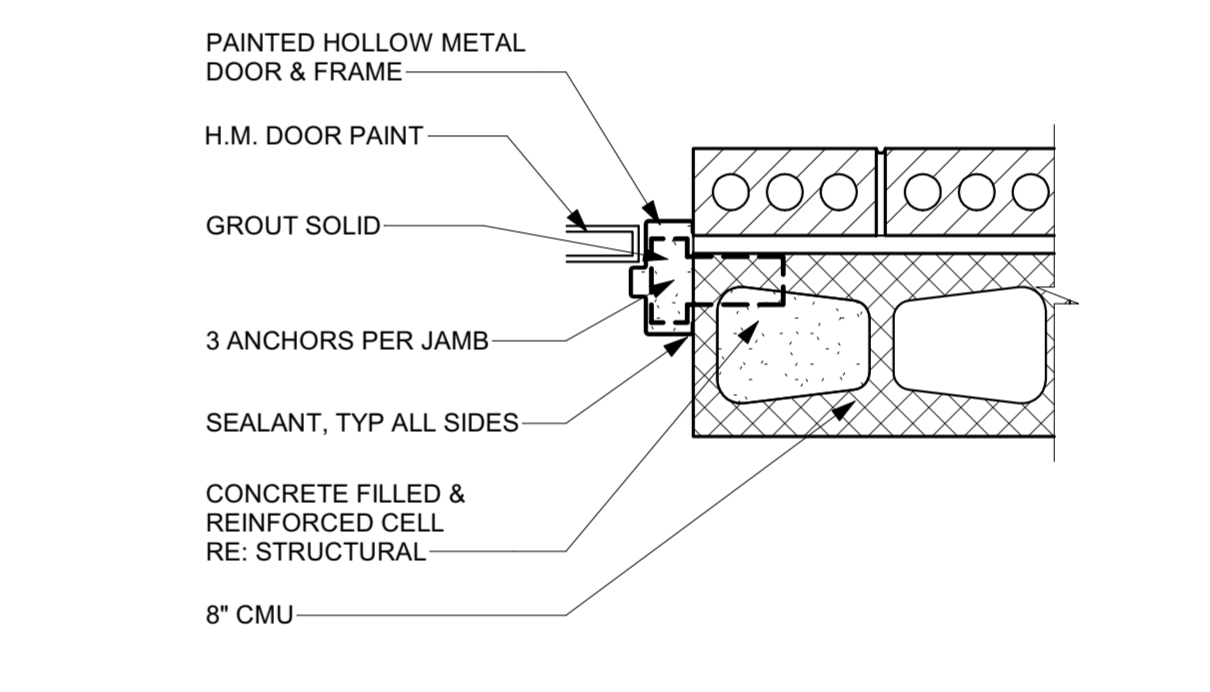
CONSTRUCTION DOCUMENTS



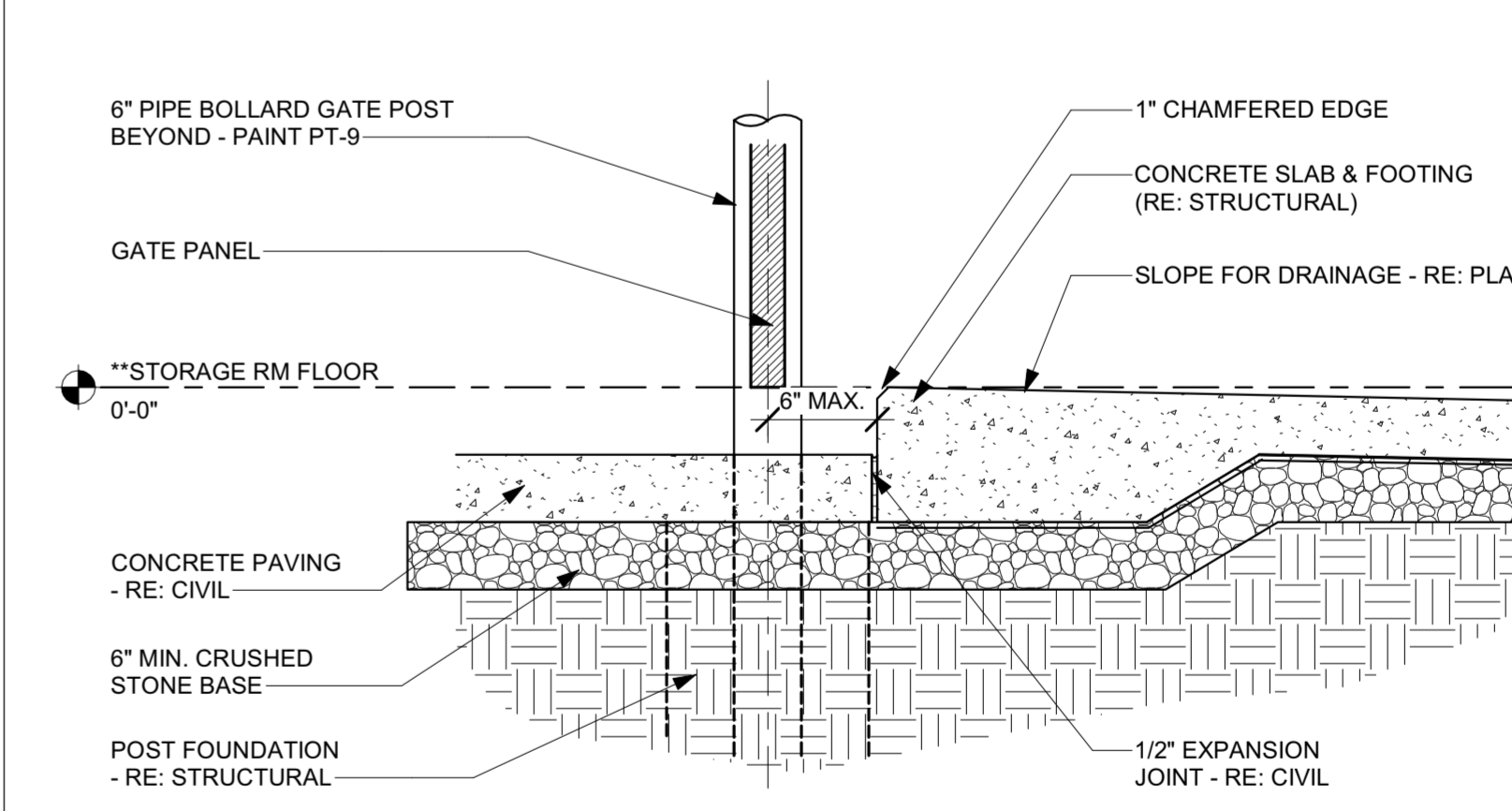
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 N.T.S.



**D1 REFUSE ENCLOSURE DRIP EDGE**  
 1/12\"/>

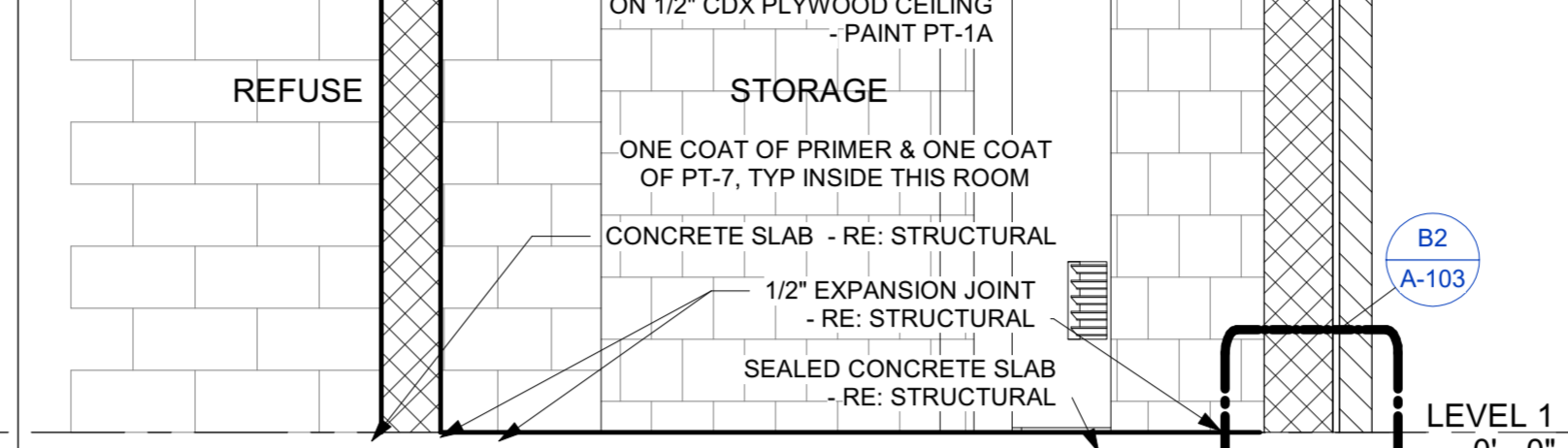


**C1 REFUSE ENCLOSURE DOOR JAMB DETAIL**  
 N.T.S.

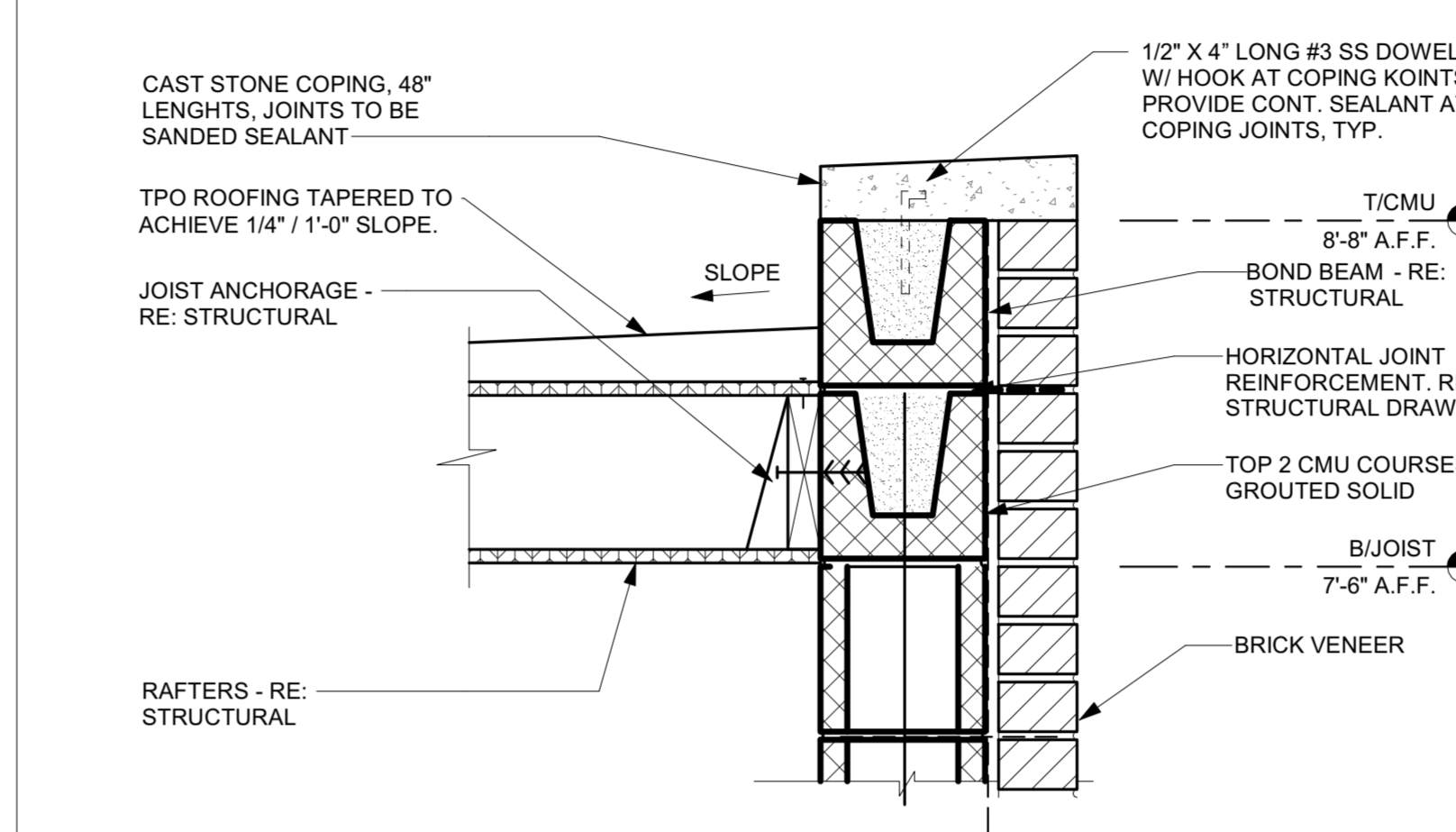


**B1 REFUSE PAD AT CONCRETE PAVING DETAIL**  
 N.T.S.

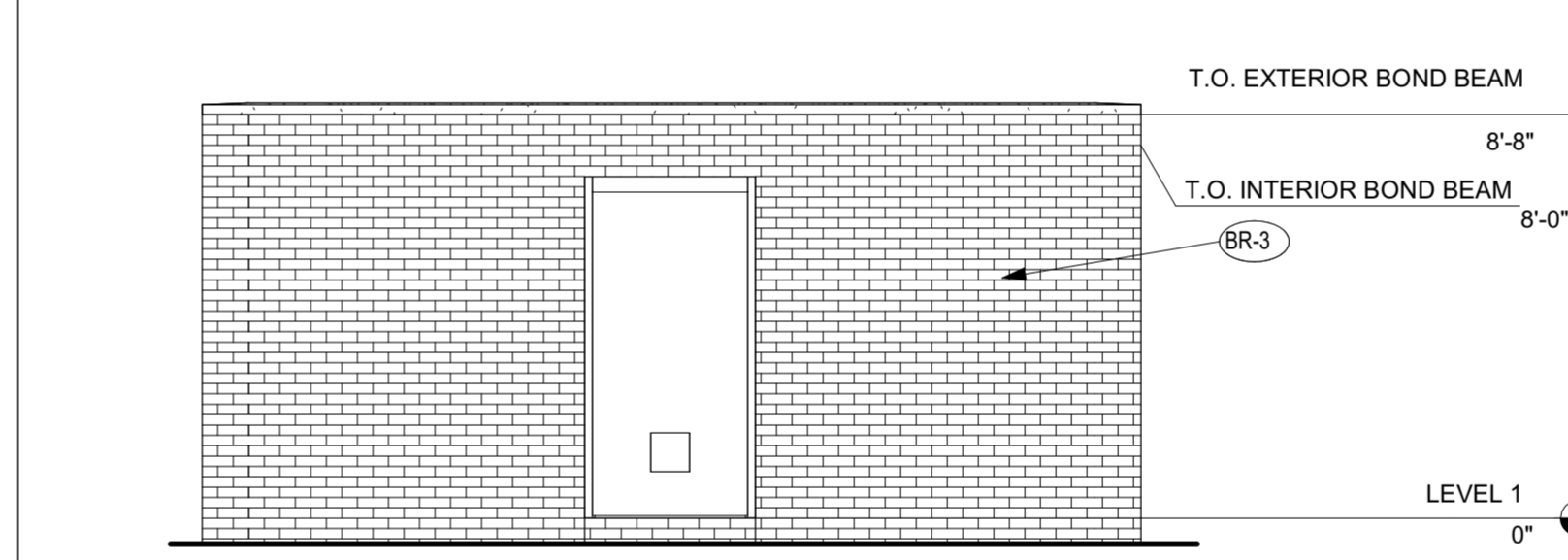
- REFUSE ENCLOSURE NOTES**
- \*\* IN THE ARCHITECTURAL DRAWINGS, REFUSE ENCLOSURE AND MAIN BUILDING ARE BOTH NOTED WITH FINISH SLAB AT 0'-0\"/>
  - SOLID WASTE IS TO PROVIDE ALL INSPECTIONS ON THE TRASH ENCLOSURE SUCH AS PRE-POUR FOR SLAB AND APRON, BOND BEAM, BOLLAR, AND FINAL INSPECTION.



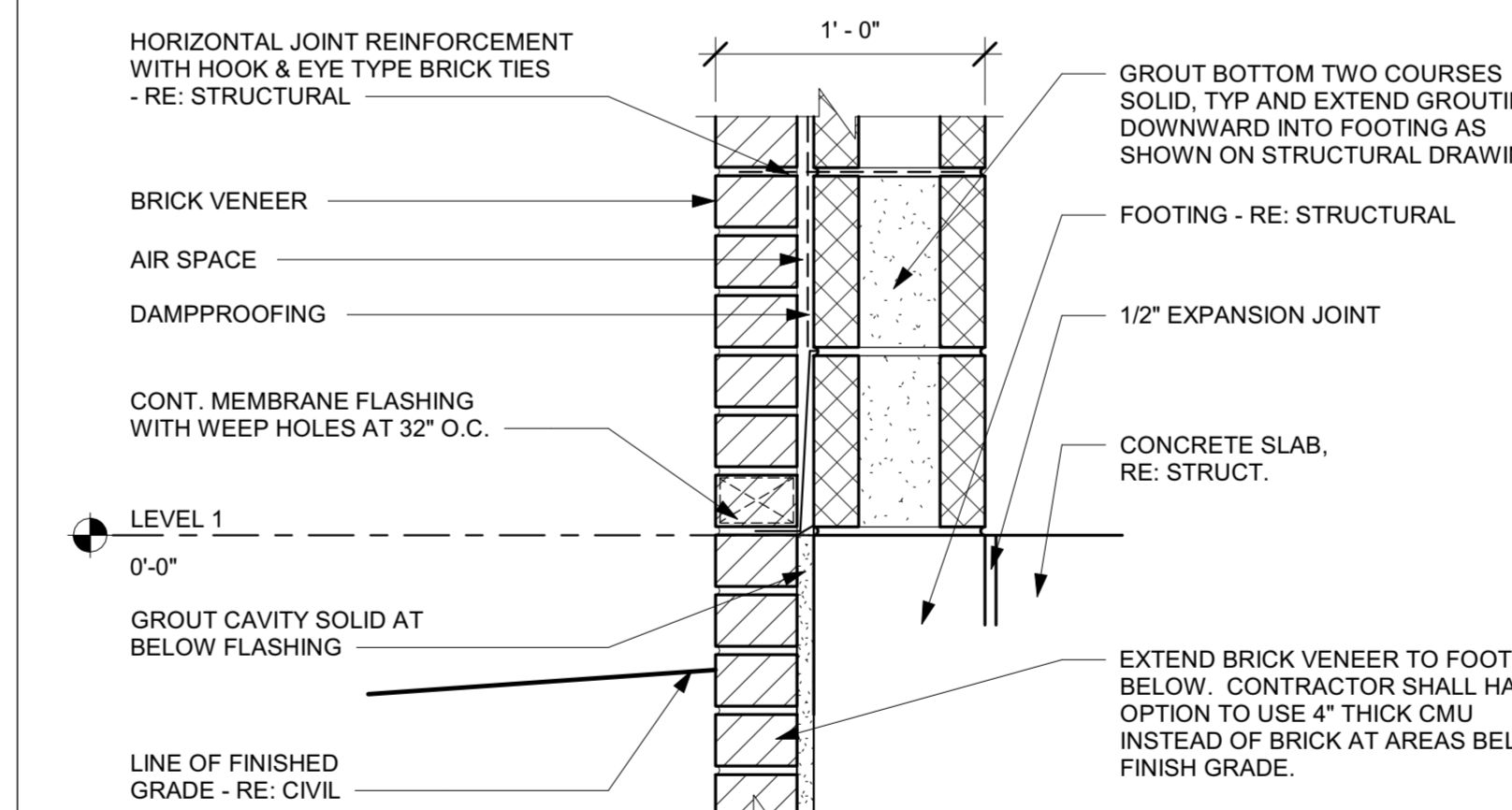
**E2 REFUSE ENCLOSURE SECTION**  
 N.T.S.



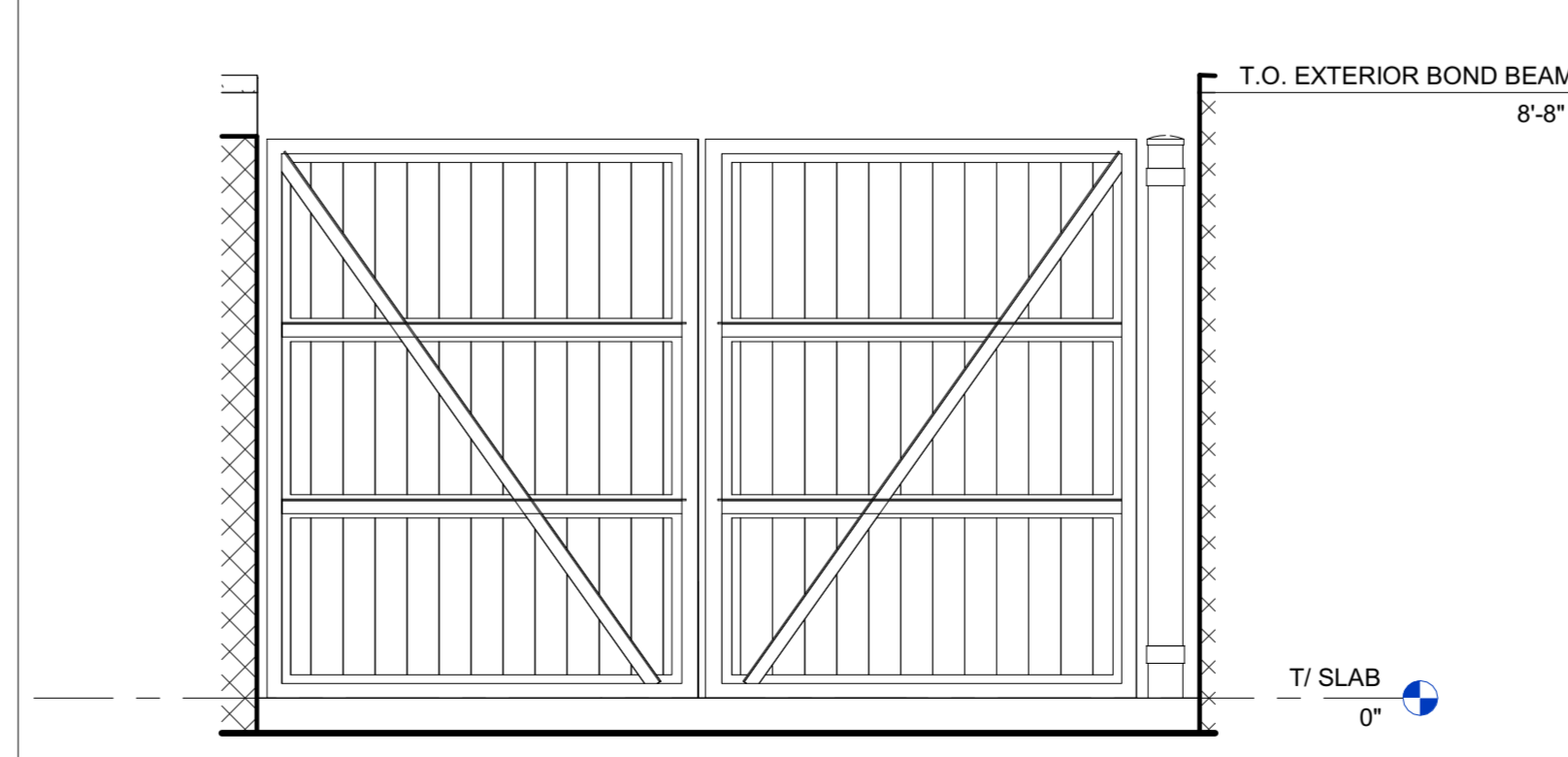
**D2 REFUSE ENCLOSURE ROOF EDGE DETAIL**  
 1/12\"/>



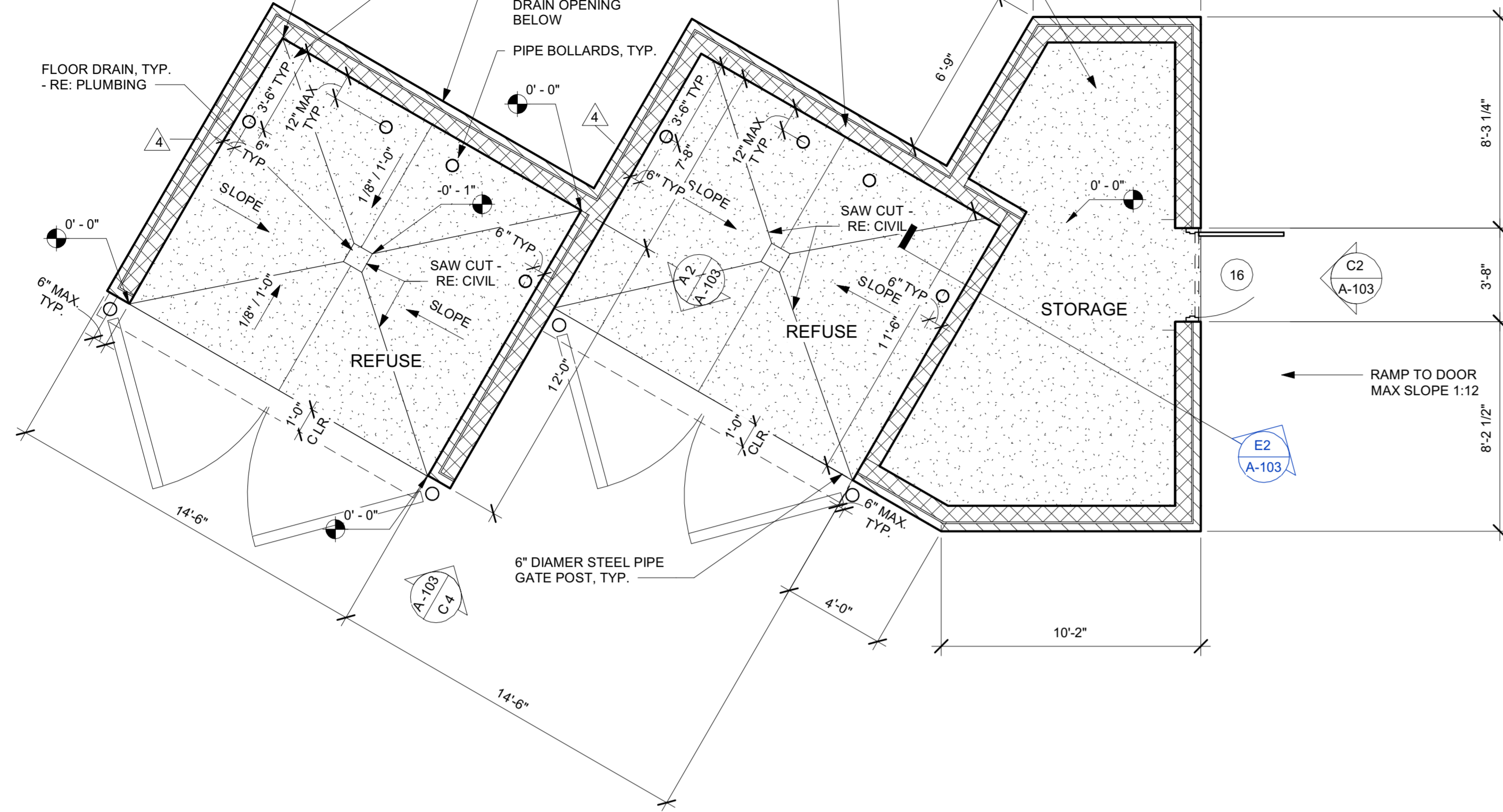
**C2 REFUSE ENCLOSURE SIDE ELEVATION**  
 N.T.S.



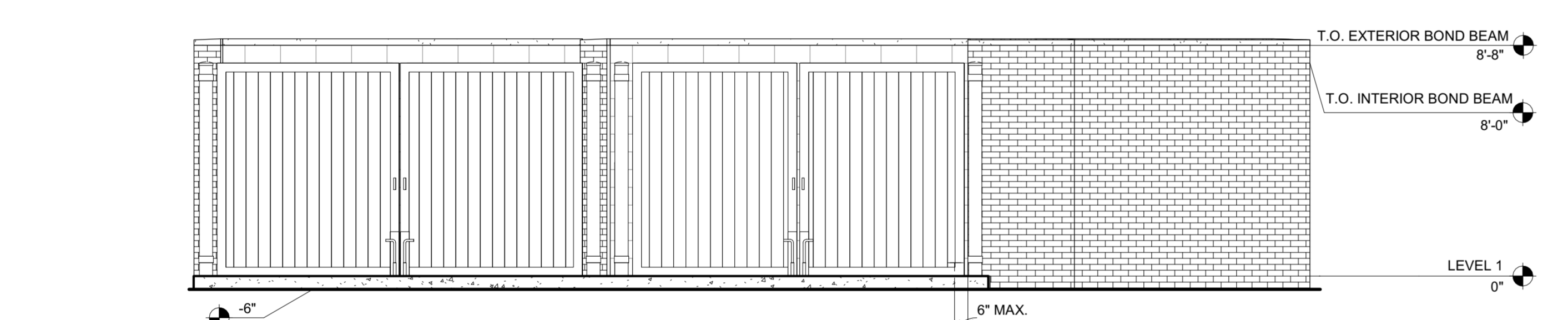
**B2 REFUSE ENCLOSURE BASE DETAIL**  
 N.T.S.



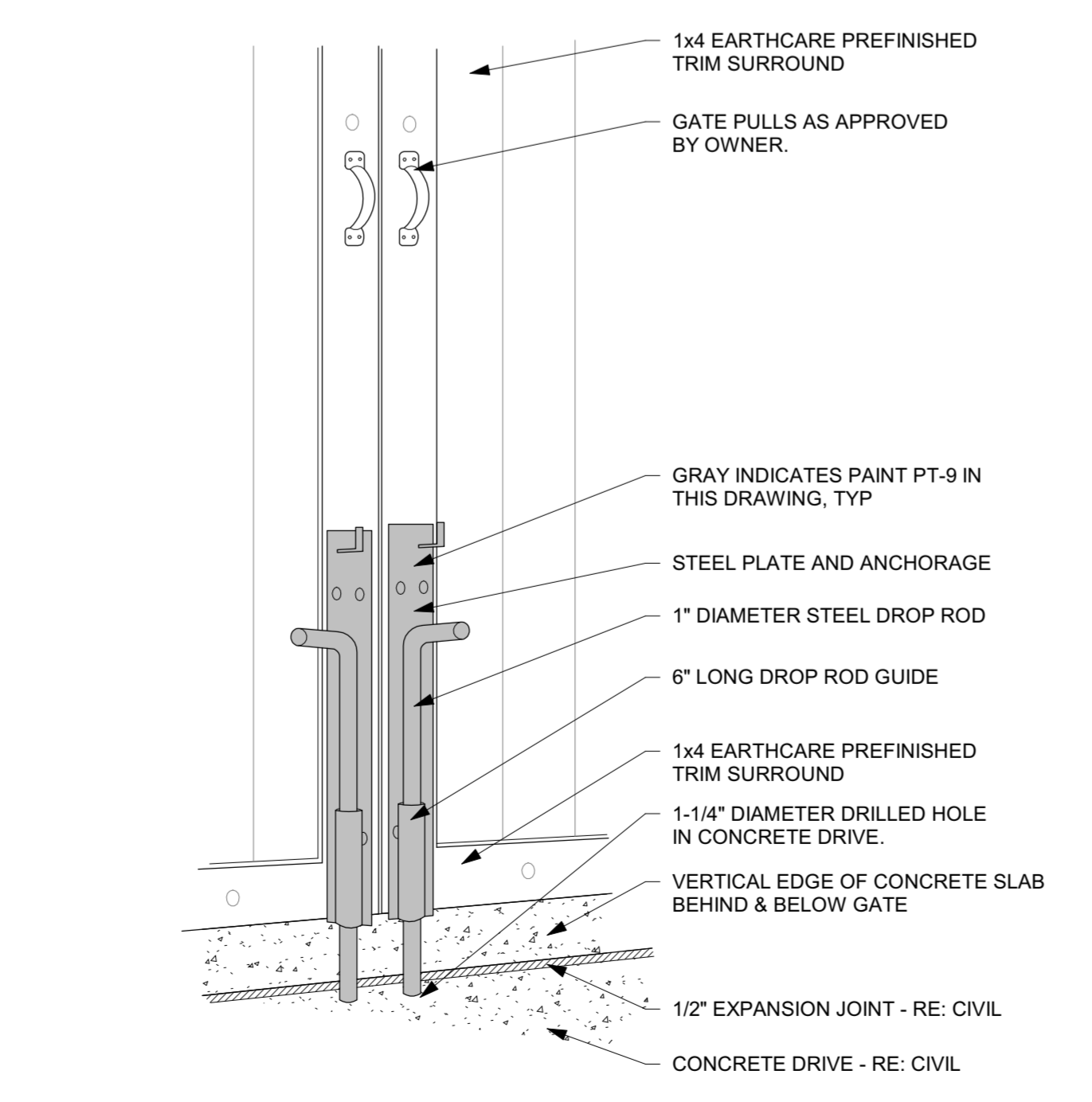
**A2 REFUSE ENCLOSURE BACK OF GATE ELEVATION**  
 N.T.S.



**D3 REFUSE ENCLOSURE FLOOR PLAN**  
 1/4\"/>



**C4 REFUSE ENCLOSURE FRONT ELEVATION**  
 N.T.S.



**A3 REFUSE ENCLOSURE DROP ROD 3-D DETAIL**  
 N.T.S.

BIM 360/INM 04107\_Coors Blvd\_Albuquerque\_FSR\_P12\_SE\_LRG4107\_Albuquerque NM\_P12\_SE\_ARC\_V2\_18.08.rvt  
 7/26/2019 9:08:36 AM  
 10-SE-04107-A-103-REFUSE ENCLOSURE



Chick-fil-A

Chick-fil-A  
5200 Buffington Road  
Atlanta, Georgia  
30349-2998

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479.986.440  
www.core-eng.com

**CHICK-FIL-A**  
ALBUQUERQUE, NM  
4001 COORS BLVD  
ALBUQUERQUE, NM 87120

**FSR#04107**

BUILDING TYPE / SIZE: P12 SE LRG  
RELEASE: V2:18.08

REVISION SCHEDULE		
NO.	DATE	DESCRIPTION
11/12/18		PERMIT ISSUE
07/02/19		ISSUE FOR BID

CONSTRUCTION DOCUMENTS

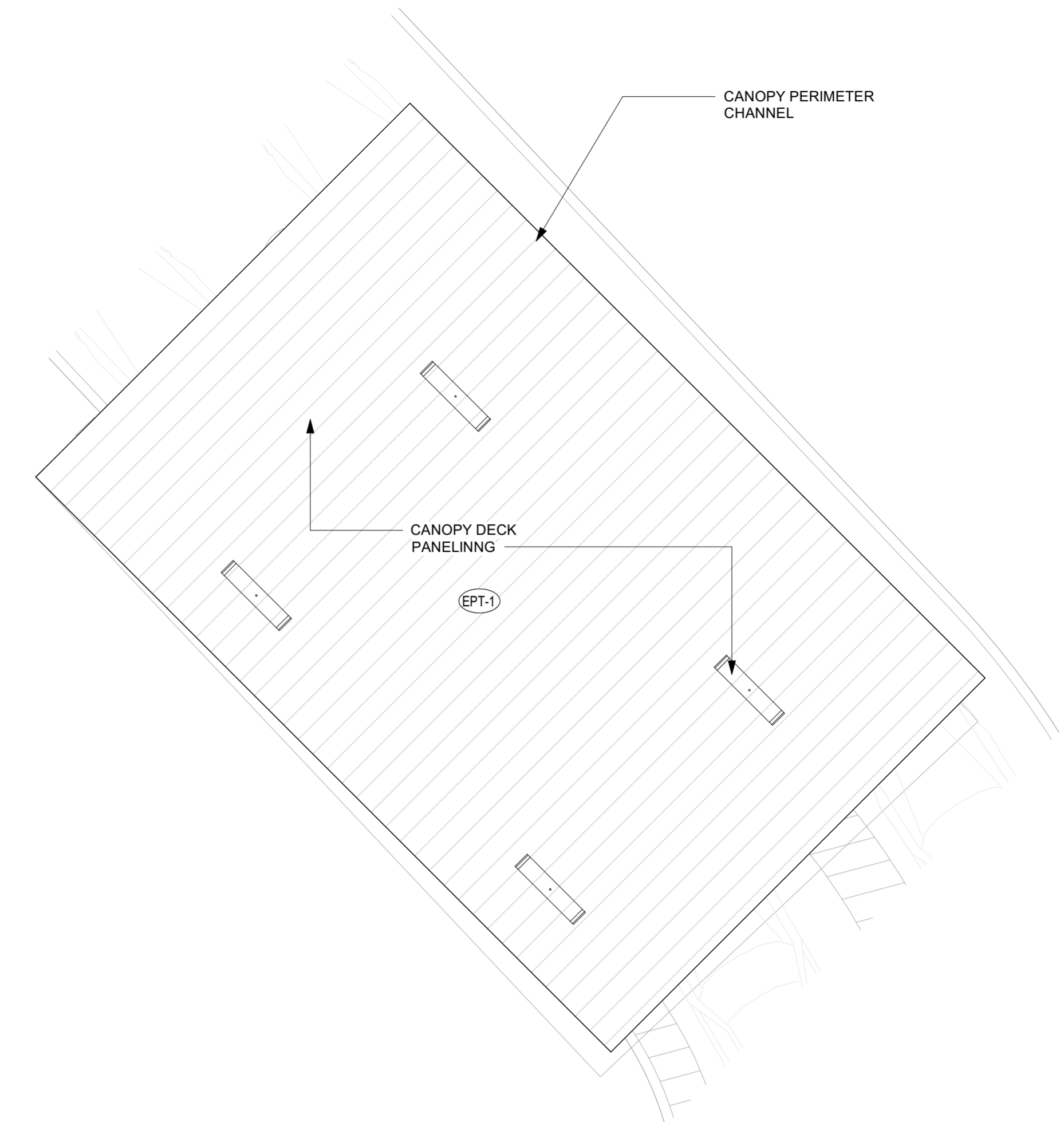
CONSULTANT PROJECT # 25779  
PRINTED FOR CONSTRUCTION DOCUMENTS  
DATE 06/26/19  
DRAWN BY C. ELIAS

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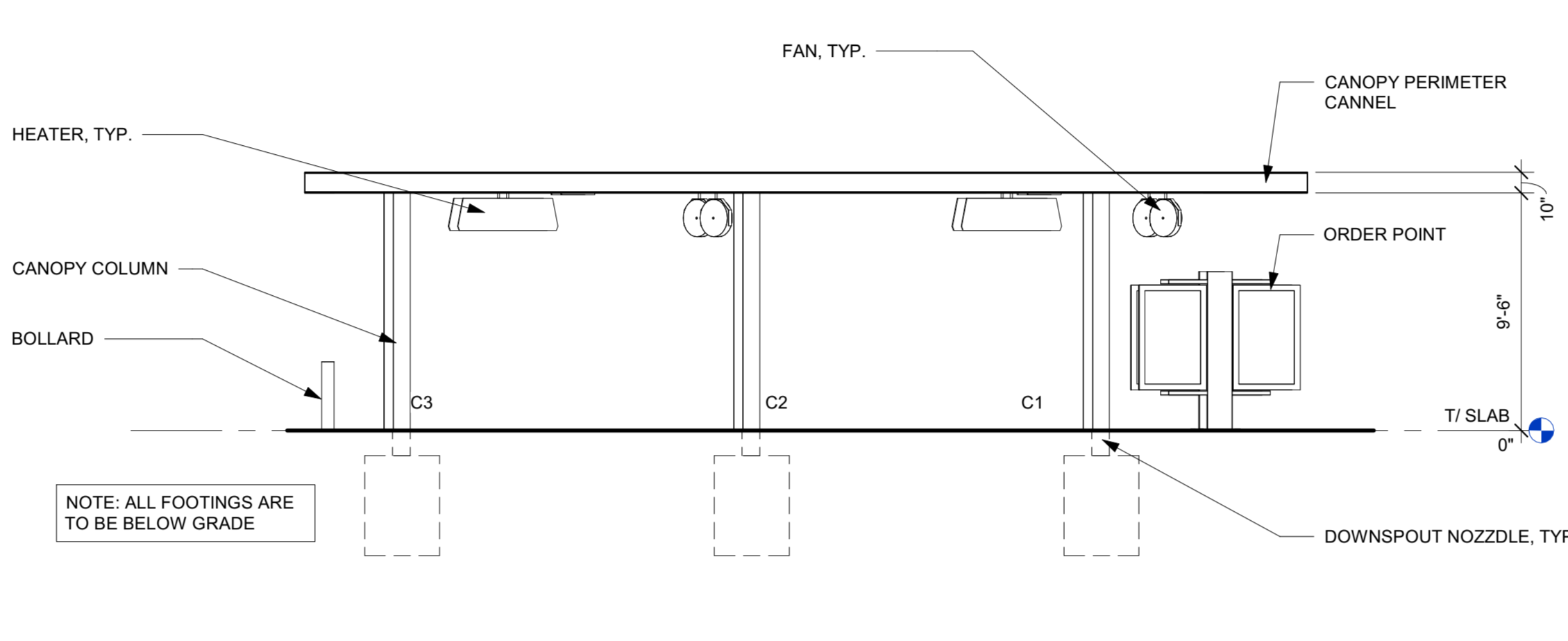
SHEET CANOPY PLANS AND ELEVATIONS

SHEET NUMBER

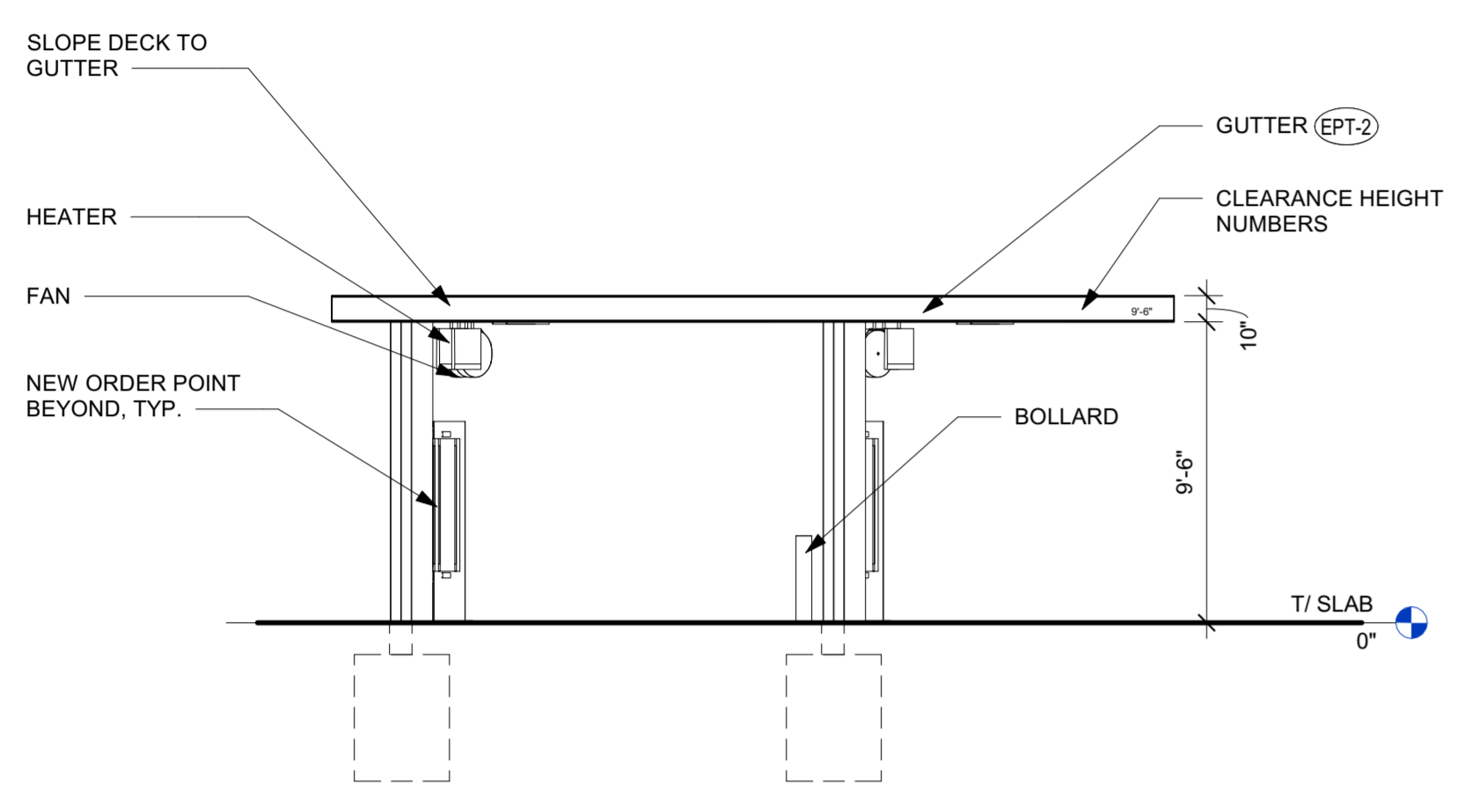
**A-104**



3 CANOPY ROOF PLAN  
N.T.S.



4 CANOPY SIDE ELEVATION  
3/16" = 1'-0"

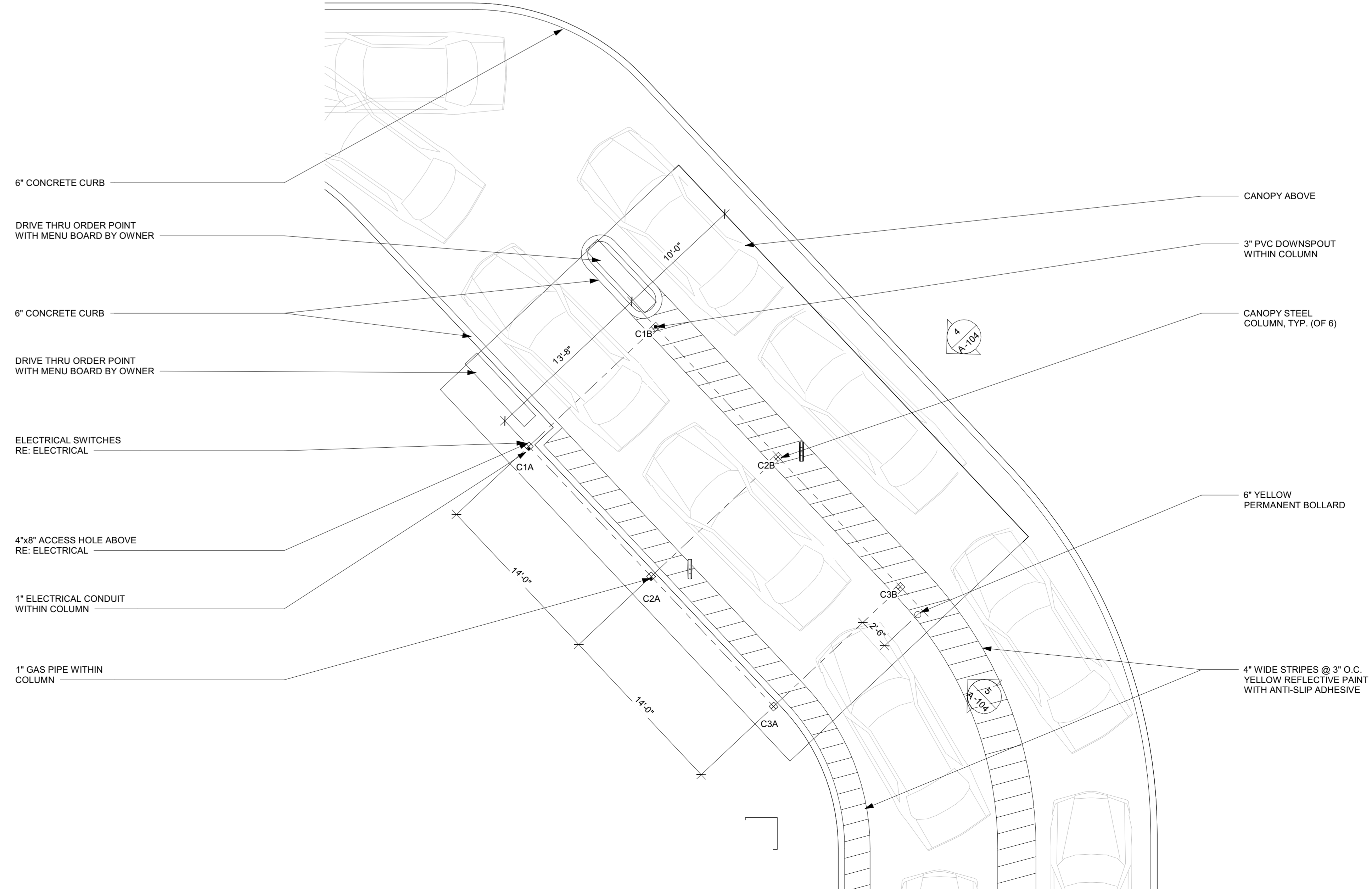


5 CANOPY FRONT ELEVATION  
3/16" = 1'-0"

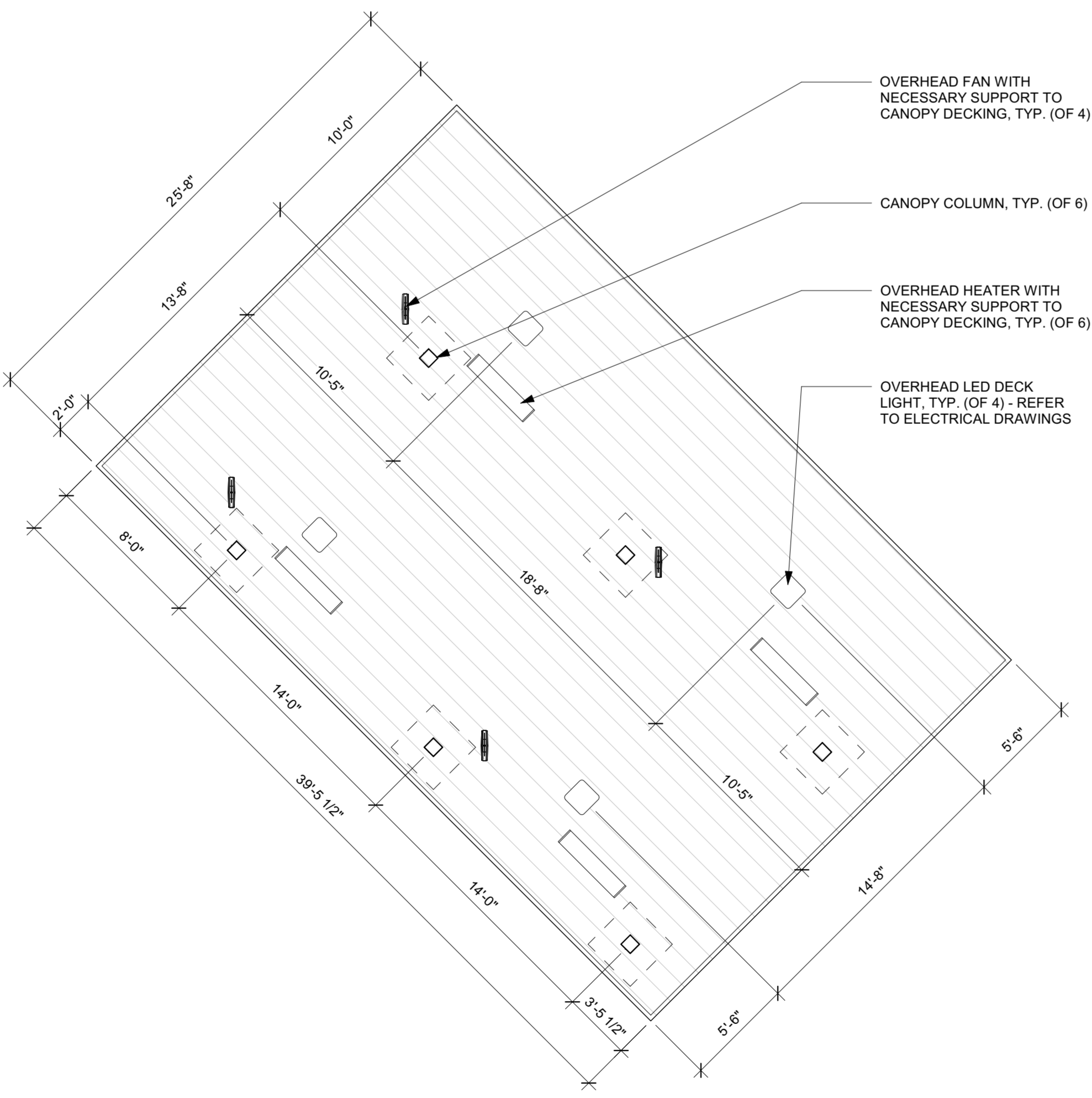
- GENERAL NOTES
- 1- ANY EXPOSED GAS OR ELECTRICAL CONDUIT SHALL BE PAINTED TO MATCH ADJACENT MATERIAL.
  - 5- ENSURE CANOPY DRAINAGE AND ANY SITE RE-GRADING DIRECTS WATER AWAY FROM BUILDING DOORS.
  - 6- ALL FANS AND HEATERS TO BE CENTERED OVER TEAM MEMBER WALKWAY. THE DISTANCE BETWEEN HEATERS AND FANS MUST BE A MINIMUM OF 4'-0". HEATERS TO BE INSTALLED ONE PER 20' OF CANOPY COVERAGE. FIRST FAN IN LINE UP TO FACE DOWNSTREAM. ALL REMAINING FANS TO FACE UPSTREAM AND AWAY FROM OP.

CANOPY FINISH SCHEDULE:

(EPT-1)	MATTE BLACK OR DARK BRONZE, TEXTURED
(EPT-2)	SMOOTH WHITE, HIGH GLOSS

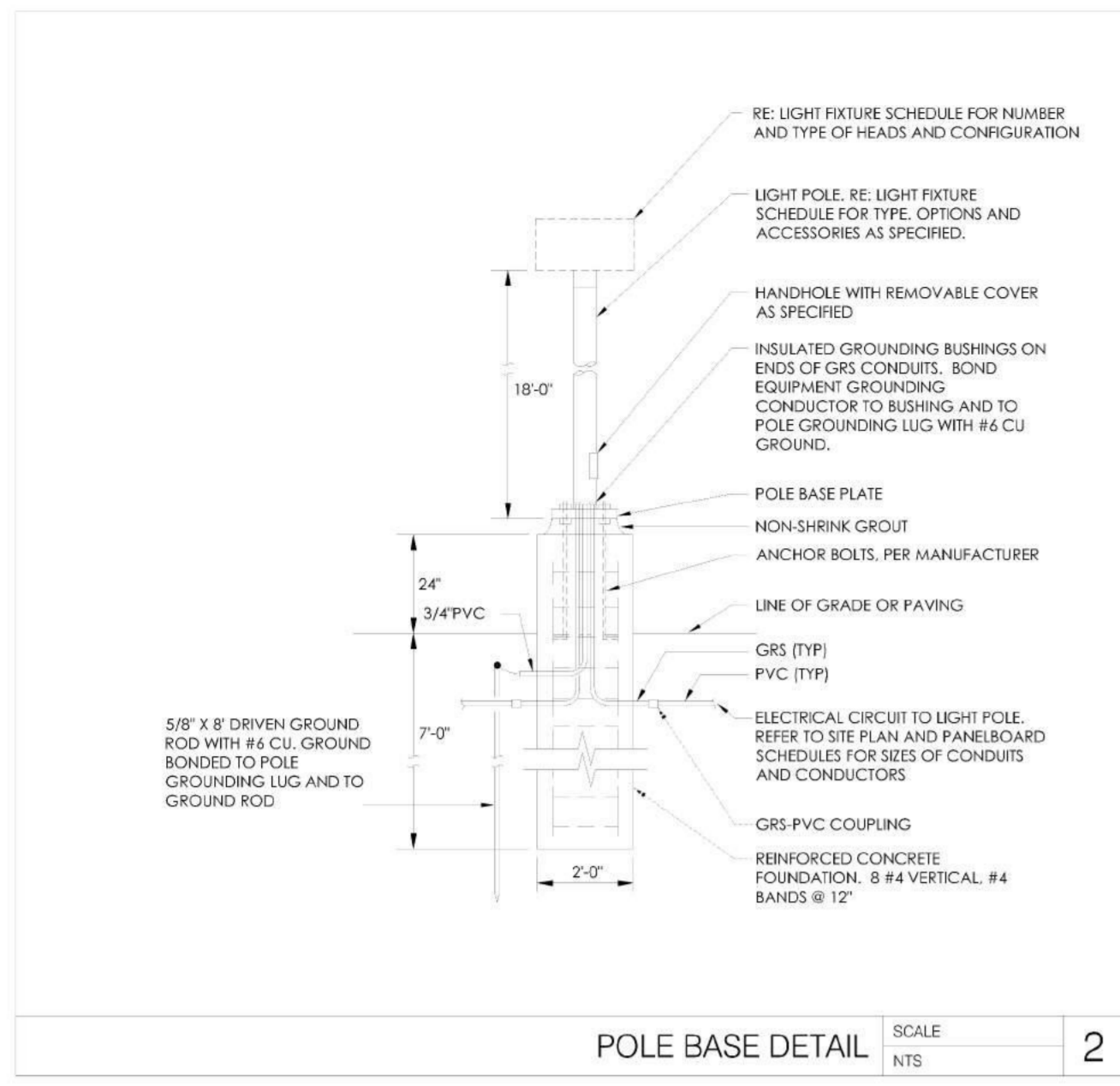


1 CANOPY FLOOR PLAN  
3/16" = 1'-0"



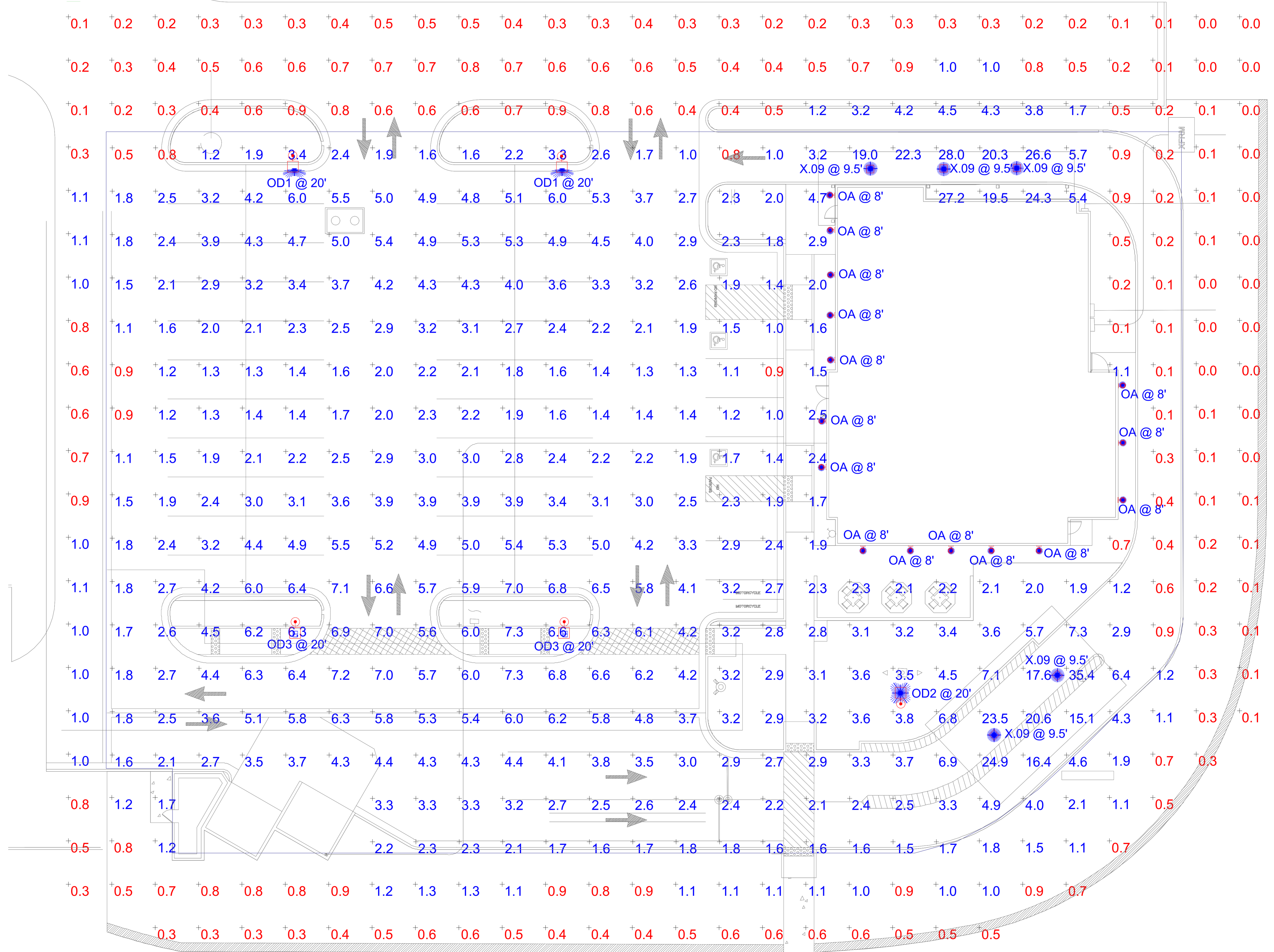
2 CANOPY REFLECTED CEILING PLAN  
N.T.S.

BIM 360//NM\_04107\_Coors Blvd\_Albuquerque\_FSR\_P12\_SE\_LRG4107\_Albuquerque NM\_P12\_SE\_ARC\_V2\_18.08.rvt  
8/2/2019 10:34:34 AM  
10-SE-04107-A-104-CANOPY PLANS AND ELEVATIONS



Lumens per Lamp										
Symbol	Label	QTY	Catalog Number	Description	Number Lamps	Lumens per Lamp	LLF	Wattage	Mounting height	Distribution
○	OA	15	P5675-3130K	5" 17W LED Direct/Indirect Cylinder	1	829	1	33.9	8'	
⊙	OD1	2	DSX0 LED P6 40K T3M MVOLT	DSX0 LED P6 40K T3M MVOLT	1	15508	1	134	20'	TYPE III, MEDIUM, BUG RATING: B3 - U0 - G3
⊙	OD2	1	DSX0 LED P6 40K T5M MVOLT	DSX0 LED P6 40K T5M MVOLT	1	16575	1	134	20'	TYPE VS, BUG RATING: B4 - U0 - G2
⊙	OD3	2	DSX0 LED P6 40K T5M MVOLT	DSX0 LED P6 40K T5M MVOLT	1	16575	1	268	20'	TYPE VS, BUG RATING: B4 - U0 - G2
□	X.09	5	CRUS-SC-LED-LW-50		1	10524	1	73.5	9.5'	

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Parking Lot Area	+	4.0 fc	35.4 fc	0.1 fc	354.0:1	40.0:1
Property Zone	+	0.6 fc	4.5 fc	0.0 fc	N/A	N/A



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**CHICK-FIL-A**  
 ALBUQUERQUE, NM  
 COORS BLVD AND ST JOSEPH'S DR  
 ALBUQUERQUE, NM 87120

**FSR#04107**  
 BUILDING TYPE / SIZE: P12 SE LRG  
 RELEASE: v2\_18.08

REVISION SCHEDULE		
NO.	DATE	DESCRIPTION

CONSTRUCTION DOCUMENTS

CONSULTANT PROJECT # 25779  
 PRINTED FOR CONSTRUCTION DOCUMENTS  
 DATE 11/05/18  
 DRAWN BY K.HUNG  
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 SHEET PHOTOMETRICS SITE PLAN  
 SHEET NUMBER

**E-110**

BIM 360/INM 04107\_Coors Blvd\_Albuquerque\_FSR\_P12\_SE\_LRG\_4107\_Albuquerque NM\_P12\_SE\_ELE\_v2\_18.08.rvt  
 7/26/2019 12:25:24 PM  
 50-SE-04107-E-110-PHOTOMETRICS SITE PLAN



DATE: \_\_\_\_\_ TYPE: \_\_\_\_\_  
 NAME: \_\_\_\_\_  
 PROJECT: \_\_\_\_\_

Halogen/Incandescent  
**P5675-31**  
 Cylinder

5" up/down cylinder with heavy duty aluminum construction and die cast wall bracket. Powder coated finish. Wet location listed when used with P8799 top cover lens.

Category: Outdoor  
 Finish: Black (powdercoat)  
 Construction: Cast aluminum construction metal shade



Width: 5"  
 Height: 14"  
 Depth: 7-7/8"  
 HCTR: 7"

MOUNTING	ELECTRICAL	LAMPING	ADDITIONAL INFORMATION
Wall mounted Mounting strap for outlet box included	Pre-wired 6" of wire supplied 120V	Quantity: 2 75W P86-30 or B8-30 Medium base porcelain sockets	cCSA's Amp location listed Location listed 1 year warranty Companion fixtures are available
Back plate covers a standard 4" hexagonal recessed outlet box 4-1/2" sq.			

701 Millennium Blvd. Greenville, South Carolina 29607      www.progresslighting.com      Rev. 06/16



**FEATURES & SPECIFICATIONS**

**INTENDED USE** - These specifications are for standard use only. Check with factory for Canadian specifications. Square Straight Steel is a general purpose light pole for up to 39 foot mounting heights. This pole provides a solid wet core effective option for mounting one light and footcandle.

**CONSTRUCTION** - Pole shaft: The pole shaft is of uniform dimension and wall thickness and is made of a weather-grade, hot-rolled, commercial quality steel tubing with a maximum yield of 55 KSI (15,840, 179, 15, 9 KSI) (15, 9 MPa, 107, 15, 9 MPa). Shaft is engineered with a full-length longitudinal high-frequency electric resistance weld. Uniformly spaced in cross section with flat sides, small corner radii and excellent torsional qualities. Available shaft wall thicknesses are 1/2", 3/4", 1", 1 1/4", 1 1/2", 2", 2 1/4", 3", 3 1/2", 4", 4 1/2", 5", 5 1/2", 6", 6 1/2", 7", 7 1/2", 8", 8 1/2", 9", 9 1/2", 10", 10 1/2", 11", 11 1/2", 12", 12 1/2", 13", 13 1/2", 14", 14 1/2", 15", 15 1/2", 16", 16 1/2", 17", 17 1/2", 18", 18 1/2", 19", 19 1/2", 20", 20 1/2", 21", 21 1/2", 22", 22 1/2", 23", 23 1/2", 24", 24 1/2", 25", 25 1/2", 26", 26 1/2", 27", 27 1/2", 28", 28 1/2", 29", 29 1/2", 30", 30 1/2", 31", 31 1/2", 32", 32 1/2", 33", 33 1/2", 34", 34 1/2", 35", 35 1/2", 36", 36 1/2", 37", 37 1/2", 38", 38 1/2", 39", 39 1/2".

**Pole Top** - A flash over metal back top cap is provided for all poles that will receive drilling patterns for side mount luminaire assemblies or when ordered with PT option.

**Handhole** - A recessed handhole with operating provision is provided at 18" from the base on side A. Positioning the handhole lower may not be possible and requires engineering review, consult tech support. Order for further information. Every handhole includes a cover and user attachment hardware. The handhole has a nominal diameter of 21 1/2".

**Base Cover** - A durable ABS plastic two-piece full base cover, finished to match the pole, is provided with with pole assembly. Additional base cover options are available upon request.

**Anchor Base/ Bolt** - Anchor base is fabricated from steel that meets ASTM A36 standards and can be altered to match existing foundations, consult factory for modification. Anchor bolts are manufactured to ASTM A1553 standards grade 55, 55 KSI, minimum yield strength and tensile strength of 75-85 KSI. Top thread portion (nominal 1/2") is hot-dipped galvanized per ASTM A153.

**FINISH** - All structural fasteners are high-strength galvanized carbon steel. All non-structural fasteners are galvanized or are plated carbon steel or stainless steel.

**PAINTS** - Extra durable standard powder-coat finishes include Dark Bronze, White, Black, Medium Bronze and Natural Aluminum colors. Custom finishes include Sandstone, Chemical Gray, Brown Green, Bright Red and Steel Blue colors. Architectural Colors and Special Finishes are available by quote and include, but are not limited to: Hot-dipped Galvanneal, Prime over Hot-dipped Galvanneal, RAL Colors, Custom Colors and Standard Weather Finishes. Factory-applied primer paint finish is available for customer field-paint applications.

**WARRANTY** - 1 year limited warranty. Complete warranty terms located at: www.lithonia.com/customer-service/terms\_and\_conditions.asp  
**NOTE:** Actual performance may differ as a result of end-user environment and application. Specifications subject to change without notice.

Catalog Number: \_\_\_\_\_  
 Notes: \_\_\_\_\_  
 Type: \_\_\_\_\_

Anchor Base Bolt

SSS

SQUARE STRAIGHT STEEL

See technical notes page.

OUTDOOR      FILE: SSS      PILE: SSS



Specifications  
 EPA: 0.95 W (1.0W)  
 Length: 26" (660mm)  
 Width: 13" (330mm)  
 Height: 7" (178mm)  
 Weight (max): 16 lbs (7.3kg)

A+ Capable option included by the user's request.

**Ordering Information**

EXAMPLE: DSXO LED P6 40K 3M MVOLT SPS DDBXO

Series	LEDs	Color Temperature	Distribution	Voltage	Mounting
<b>DSXO LED</b>					
<b>Forward optics</b>					
P1	PK	30K	3000K	T5	Typical short
P2	PS	40K	4000K	T5	Typical short
P3	PL	50K	5000K	T5	Typical short
P4	PM	60K	6000K	T5	Typical short
P5	PN	70K	7000K	T5	Typical short
P6	PO	80K	8000K	T5	Typical short
P7	PP	90K	9000K	T5	Typical short
P8	PQ	100K	10000K	T5	Typical short
P9	PR	110K	11000K	T5	Typical short
P10	PS	120K	12000K	T5	Typical short
P11	PT	130K	13000K	T5	Typical short
P12	PU	140K	14000K	T5	Typical short
P13	PV	150K	15000K	T5	Typical short
P14	PW	160K	16000K	T5	Typical short
P15	PX	170K	17000K	T5	Typical short
P16	PY	180K	18000K	T5	Typical short
P17	PZ	190K	19000K	T5	Typical short
P18	PA	200K	20000K	T5	Typical short
P19	PB	210K	21000K	T5	Typical short
P20	PC	220K	22000K	T5	Typical short
P21	PD	230K	23000K	T5	Typical short
P22	PE	240K	24000K	T5	Typical short
P23	PF	250K	25000K	T5	Typical short
P24	PG	260K	26000K	T5	Typical short
P25	PH	270K	27000K	T5	Typical short
P26	PI	280K	28000K	T5	Typical short
P27	PJ	290K	29000K	T5	Typical short
P28	PK	300K	30000K	T5	Typical short
P29	PL	310K	31000K	T5	Typical short
P30	PM	320K	32000K	T5	Typical short
P31	PN	330K	33000K	T5	Typical short
P32	PO	340K	34000K	T5	Typical short
P33	PP	350K	35000K	T5	Typical short
P34	PQ	360K	36000K	T5	Typical short
P35	PR	370K	37000K	T5	Typical short
P36	PS	380K	38000K	T5	Typical short
P37	PT	390K	39000K	T5	Typical short
P38	PU	400K	40000K	T5	Typical short
P39	PV	410K	41000K	T5	Typical short
P40	PW	420K	42000K	T5	Typical short
P41	PX	430K	43000K	T5	Typical short
P42	PY	440K	44000K	T5	Typical short
P43	PZ	450K	45000K	T5	Typical short
P44	PA	460K	46000K	T5	Typical short
P45	PB	470K	47000K	T5	Typical short
P46	PC	480K	48000K	T5	Typical short
P47	PD	490K	49000K	T5	Typical short
P48	PE	500K	50000K	T5	Typical short
P49	PF	510K	51000K	T5	Typical short
P50	PG	520K	52000K	T5	Typical short
P51	PH	530K	53000K	T5	Typical short
P52	PI	540K	54000K	T5	Typical short
P53	PJ	550K	55000K	T5	Typical short
P54	PK	560K	56000K	T5	Typical short
P55	PL	570K	57000K	T5	Typical short
P56	PM	580K	58000K	T5	Typical short
P57	PN	590K	59000K	T5	Typical short
P58	PO	600K	60000K	T5	Typical short
P59	PP	610K	61000K	T5	Typical short
P60	PQ	620K	62000K	T5	Typical short
P61	PR	630K	63000K	T5	Typical short
P62	PS	640K	64000K	T5	Typical short
P63	PT	650K	65000K	T5	Typical short
P64	PU	660K	66000K	T5	Typical short
P65	PV	670K	67000K	T5	Typical short
P66	PW	680K	68000K	T5	Typical short
P67	PX	690K	69000K	T5	Typical short
P68	PY	700K	70000K	T5	Typical short
P69	PZ	710K	71000K	T5	Typical short
P70	PA	720K	72000K	T5	Typical short
P71	PB	730K	73000K	T5	Typical short
P72	PC	740K	74000K	T5	Typical short
P73	PD	750K	75000K	T5	Typical short
P74	PE	760K	76000K	T5	Typical short
P75	PF	770K	77000K	T5	Typical short
P76	PG	780K	78000K	T5	Typical short
P77	PH	790K	79000K	T5	Typical short
P78	PI	800K	80000K	T5	Typical short
P79	PJ	810K	81000K	T5	Typical short
P80	PK	820K	82000K	T5	Typical short
P81	PL	830K	83000K	T5	Typical short
P82	PM	840K	84000K	T5	Typical short
P83	PN	850K	85000K	T5	Typical short
P84	PO	860K	86000K	T5	Typical short
P85	PP	870K	87000K	T5	Typical short
P86	PQ	880K	88000K	T5	Typical short
P87	PR	890K	89000K	T5	Typical short
P88	PS	900K	90000K	T5	Typical short
P89	PT	910K	91000K	T5	Typical short
P90	PU	920K	92000K	T5	Typical short
P91	PV	930K	93000K	T5	Typical short
P92	PW	940K	94000K	T5	Typical short
P93	PX	950K	95000K	T5	Typical short
P94	PY	960K	96000K	T5	Typical short
P95	PZ	970K	97000K	T5	Typical short
P96	PA	980K	98000K	T5	Typical short
P97	PB	990K	99000K	T5	Typical short
P98	PC	1000K	100000K	T5	Typical short
P99	PD	1010K	101000K	T5	Typical short
P100	PE	1020K	102000K	T5	Typical short

To learn more about A+, visit [www.aaplusbrand.com](http://www.aaplusbrand.com).

1. See ordering tree for details.  
 2. A+ Certified Solutions for ROAM require the order of one ROAM node per luminaire. Sold Separately. Link to Roam Link to DTL DLL

Other options: **SHIPPED** (check box) **FINISH** (check box)

**Shipped installed** (check box) **Shipped separately** (check box)

**Control options** (check box) **Other options** (check box) **Finish** (check box)

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