



Effective 3/01/2022

Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.		
SUBDIVISIONS	<input type="checkbox"/> Final Sign off of EPC Site Plan(s) (Forms P2)	<input type="checkbox"/> Extension of IIA: Temp. Def. of S/W (Form V2)
<input type="checkbox"/> Major – Preliminary Plat (Forms S & S1)	<input checked="" type="checkbox"/> Amendment to Site Plan (Forms P & P2)	<input type="checkbox"/> Vacation of Public Right-of-way (Form V)
<input type="checkbox"/> Major – Bulk Land Plat (Forms S & S1)	MISCELLANEOUS APPLICATIONS	<input type="checkbox"/> Vacation of Public Easement(s) DRB (Form V)
<input type="checkbox"/> Extension of Preliminary Plat (Form S1)	<input type="checkbox"/> Extension of Infrastructure List or IIA (Form S1)	<input type="checkbox"/> Vacation of Private Easement(s) (Form V)
<input type="checkbox"/> Minor Amendment - Preliminary Plat (Forms S & S2)	<input type="checkbox"/> Minor Amendment to Infrastructure List (Form S2)	PRE-APPLICATIONS
<input type="checkbox"/> Minor - Final Plat (Forms S & S2)	<input type="checkbox"/> Temporary Deferral of SW (Form V2)	<input type="checkbox"/> Sketch Plat Review and Comment (Form S2)
<input type="checkbox"/> Minor – Preliminary/Final Plat (Forms S & S2)	<input type="checkbox"/> Sidewalk Waiver (Form V2)	<input type="checkbox"/> Sketch Plan Review and Comment (Form P2)
SITE PLANS	<input type="checkbox"/> Waiver to IDO (Form V2)	APPEAL
<input checked="" type="checkbox"/> DRB Site Plan (Forms P & P2)	<input type="checkbox"/> Waiver to DPM (Form V2)	<input type="checkbox"/> Decision of DRB (Form A)
BRIEF DESCRIPTION OF REQUEST		
Parking Lot Addition, approximately 22,000sf needed for fire lane/escape lane, DT Modification & Existing Single Lane OMD Canopy Extension to Dual Lane, Transformer and Communications Relocation		

APPLICATION INFORMATION		
Applicant/Owner: Chick-fil-A, Inc.		Phone:
Address: 5200 Buffington Road		Email:
City: Atlanta	State: GA	Zip: 30349
Professional/Agent (if any): Interplan LLC - Amanda Bishop c/o Chick-fil-A		Phone: 407-645-5008
Address: 220 East Central Parkway, Suite 4000		Email: abishop@interplanllc.com
City: Altamonte Springs	State: FL	Zip: 32701
Proprietary Interest in Site:	List <u>all</u> owners: Levine Investments Limited Partnership / Red Shamrock 4 LLC	
SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)		
Lot or Tract No.:	Block:	Unit:
LT 6 PLAT OF LOTS 1 THRU 9 COORS PAVILION / LT 5 PLAT OF LOTS 1 THRU 9 COORS PAVILION Subdivision/Addition:	MRGCD Map No.:	UPC Code:
Zone Atlas Page(s): G-11-Z	Existing Zoning: NR-C	Proposed Zoning NR-C
# of Existing Lots:	# of Proposed Lots:	Total Area of Site (Acres):
LOCATION OF PROPERTY BY STREETS		
Site Address/Street: 4001 Coors Boulevard NW, Albuquerque, NM 87120	Between: Coors Boulevard	and: St. Josephs
CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)		

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

Signature:	Date: 10/21/2022
Printed Name: Amanda Bishop; Interplan LLC c/o Chick-fil-A, Inc.	<input type="checkbox"/> Applicant or <input type="checkbox"/> Agent

FORM P2: SITE PLAN – DRB

Please refer to the DRB public meeting schedules for meeting dates and deadlines. Your attendance is required.

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other on-line resources such as Dropbox or FTP. PDF *shall be organized* with the Development Review Application and this Form P2 at the front followed by the remaining documents *in the order provided on this form*.

SKETCH PLAN – DRB

SITE PLAN – DRB

MAJOR AMENDMENT TO SITE PLAN – DRB

EXTENSION OF SITE PLAN – DRB

- ___ Interpreter Needed for Hearing? ___ if yes, indicate language: _____
- ✓ PDF of application as described above
- ✓ Zone Atlas map with the entire site clearly outlined and labeled
- ✓ Letter of authorization from the property owner if application is submitted by an agent
- ✓ Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A) (*not required for Extension*)
- ✓ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-6(l)(3)
- ✓ Explanation and justification of requested deviations, if any, in accordance with IDO Section 14-16-6-4(P)
Note: If requesting more than allowed by deviation, a Variance – ZHE or Variance – DRB will be required, as applicable.
- ✓ Proof of Pre-Application Meeting with City staff per IDO Section 14-16-6-4(B) (*not required for Extension*)
- ✓ Proof of Neighborhood Meeting per IDO Section 14-16-6-4(C) (*not required for extension*)
 - ✓ Office of Neighborhood Coordination neighborhood meeting inquiry response
 - ✓ Proof of email with read receipt OR Certified Letter offering meeting to applicable associations
 - ✓ Completed neighborhood meeting request form(s)
 - ✓ If a meeting was requested or held, copy of sign-in sheet and meeting notes
- ✓ Sign Posting Agreement
- ✓ Required notices with content per IDO Section 14-16-6-4(K)(1) (*not required for extension*)
 - ✓ Office of Neighborhood Coordination notice inquiry response
 - ✓ Copy of notification letter, completed notification form(s), proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b), and proof of first-class mailing to affected Neighborhood Association representatives.
 - ✓ Proof of emailed notice to affected Neighborhood Association representatives
 - ✓ Buffer map and list of property owners within 100 feet (excluding public rights-of-way) provided by Planning Department or created by applicant, copy of notifying letter, completed notification forms(s), proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b), and proof of first-class mailing
- ✓ Completed Site Plan Checklist
- ✓ Site Plan and related drawings
- ✓ Copy of the original approved Site Plan or Master Development Plan (*for amendments and extensions*)
- ___ Sensitive Lands Site Analysis for new site design in accordance with IDO Section 5-2(C)
- ___ Completed Site & Building Design Considerations Form in accordance with IDO Section 5-2(D) for all commercial and multifamily site plans except if the development is industrial or the multifamily is less than 25 units
- ___ Landfill disclosure statement per IDO Section 14-16-6-4(S)(5)(d)(2.)(d.) if site is within a designated landfill buffer zone
- ___ Infrastructure List, if required

FINAL SIGN-OFF FOR MASTER DEVELOPMENT PLANS AND SITE PLANS - EPC

Please refer to the DRB public meeting schedules for meeting dates and deadlines. Your attendance is required.

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- ___ Interpreter Needed for Hearing? ___ if yes, indicate language: _____
- ___ PDF of application as described above
- ___ Zone Atlas map with the entire site clearly outlined and labeled
- ___ Letter of authorization from the property owner if application is submitted by an agent
- ___ Solid Waste Department signature on Site Plan
- ___ Signed Form DRWS Drainage Report, Grading and Drainage Plan, and Water & Sewer Availability Statement filing information
- ___ Approved Grading and Drainage Plan
- ___ Copy of Site Plan with Fire Marshal's stamp, i.e. "Fire 1" plan (*not required for Master Development Plans*)
- ___ Copy of EPC Notice of Decision and letter explaining how each EPC condition has been met
- ___ Site Plan and related drawings
- ___ Infrastructure List, if require

Amanda Bishop

From: Gallegos, Herman P. <hgallegos@cabq.gov>
Sent: Thursday, October 6, 2022 1:10 PM
To: Amanda Bishop
Cc: Nancy Carreras; Gabby Mosquera; Michelle Kucaba; Chrissy Schwartz; David Jenkins; Marez, Adrian; Cogswell, Erica
Subject: RE: 2021.1239 CFA#4107 Coors Boulevard - Solid Waste Department Review

Amanda,

That is a check list. Just check off you have received a site plan signed by the Solid Waste Department for access.

Thanks,



HERMAN GALLEGOS
code enforcement/dispatch supervisor
o 505.761.8125
m 505.681.2767
cabq.gov/solidwaste

From: Amanda Bishop <ABishop@interplanllc.com>
Sent: Thursday, October 6, 2022 10:26 AM
To: Gallegos, Herman P. <hgallegos@cabq.gov>
Cc: Nancy Carreras <NCarreras@interplanllc.com>; Gabby Mosquera <gmosquera@interplanllc.com>; Michelle Kucaba <MKucaba@interplanllc.com>; Chrissy Schwartz <CSchwartz@interplanllc.com>; David Jenkins <djenkins@ensignutah.com>; Marez, Adrian <amarez@cabq.gov>; Cogswell, Erica <Erica.Cogswell@am.jll.com>
Subject: RE: 2021.1239 CFA#4107 Coors Boulevard - Solid Waste Department Review

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Good afternoon Herman!

This is wonderful news! Thank you very much. Could you please do me a favor a sign the attached Form P as I need that sign off to move forward with the Major Site Plan Amendment.

Sorry to be a pain!

Thank you for your help!

FORM P: PRE-APPROVALS/SIGNATURES

Please refer to the DRB public meeting schedule for meeting dates and deadlines. Your attendance is required.

The parcel ID number for the existing Chick-fil-A restaurant is 101106023744520806. The parcel ID number for the additional land to the North is 101106023746120805.

Legal Description & Location: LT 6 PLAT OF LOTS 1 THRU 9 COORS PAVILION (BEING A REPLAT OF TRACT X-1-A2, UNIVERSITY OF ALBUQUERQUE URBAN CENTER)

LT 5 PLAT OF LOTS 1 THRU 9 COORS PAVILION (BEING A REPLAT OF TRACT X-1-A2, UNIVERSITY OF ALBUQUERQUE URBAN CENTER)

4001 Coors Boulevard NW, Albuquerque, NM 87120

Job Description: Parking Lot Addition, approximately 22,000sf needed for fire lane/escape lane, DT Modification & Existing Single Lane OMD Canopy Extension to Dual Lane, Transformer Relocation

Hydrology:

- Grading and Drainage Plan X Approved _____ NA
- AMAFCA _____ Approved X NA
- Bernalillo County _____ Approved X NA
- NMDOT _____ Approved X NA
- MRGCD _____ Approved X NA

Renee C. Brissette

10/20/22

Hydrology Department

Date

Transportation:

- Traffic Circulations Layout (TCL) _____ Approved _____ NA
- Traffic Impact Study (TIS) _____ Approved _____ NA
- Neighborhood Impact Analysis (NIA) _____ Approved _____ NA
- Bernalillo County _____ Approved _____ NA
- MRCOG _____ Approved _____ NA
- NMDOT _____ Approved _____ NA
- MRGCD _____ Approved _____ NA

Transportation Department

Date

Albuquerque Bernalillo County Water Utility Authority (ABCWUA):

- Water/Sewer Availability Statement/Serviceability Letter _____ Approved X NA
- ABCWUA Development Agreement _____ Approved X NA
- ABCWUA Service Connection Agreement _____ Approved X NA

Adrian Hernandez

10/04/2022

ABCWUA

Date

- Infrastructure Improvements Agreement (IIA*) _____ Approved _____ NA
- Solid Waste Department Signature on the plan _____ Approved _____ NA
- Fire Marshall Signature on the plan _____ Approved _____ NA

* Prior to Final Site Plan approval submittals (include a copy of the recorded IIA)

FORM P: PRE-APPROVALS/SIGNATURES

Please refer to the DRB public meeting schedule for meeting dates and deadlines. Your attendance is required.

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LT 5 PLAT OF LOTS 1 THRU 9 COORS PAVILION (BEING A REPLAT OF TRACT X-1-A2, UNIVERSITY OF ALBUQUERQUE URBAN CENTER)

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Job Description: Parking Lot Addition, approximately 22,000sf needed for fire lane/escape lane, DT Modification & Existing Single Lane OMD Canopy Extension to Dual Lane, Transformer Relocation

Hydrology:

- Grading and Drainage Plan _____ Approved _____ NA
- AMAFCA _____ Approved _____ NA
- Bernalillo County _____ Approved _____ NA
- NMDOT _____ Approved _____ NA
- MRGCD _____ Approved _____ NA

Hydrology Department

Date

Transportation:

- Traffic Circulations Layout (TCL) X _____ Approved _____ NA
- Traffic Impact Study (TIS) _____ Approved X _____ NA
- Neighborhood Impact Analysis (NIA) _____ Approved X _____ NA
- Bernalillo County _____ Approved X _____ NA
- MRCOG _____ Approved X _____ NA
- NMDOT _____ Approved X _____ NA
- MRGCD _____ Approved X _____ NA

Ernest Armijo
Transportation Department

10/4/2022
Date

Albuquerque Bernalillo County Water Utility Authority (ABCWUA):

- Water/Sewer Availability Statement/Serviceability Letter _____ Approved _____ NA
- ABCWUA Development Agreement _____ Approved _____ NA
- ABCWUA Service Connection Agreement _____ Approved _____ NA

ABCWUA

Date

- Infrastructure Improvements Agreement (IIA*) _____ Approved _____ NA
- Solid Waste Department Signature on the plan _____ Approved _____ NA
- Fire Marshall Signature on the plan _____ Approved _____ NA

* Prior to Final Site Plan approval submittals (include a copy of the recorded IIA)

Levine Investments Limited Partnership

2801 East Camelback Road • Suite 450 • Phoenix Arizona • 85016
Phone 602.248.8181 • Facsimile 602.248.0884

August 1, 2022

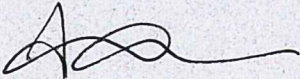
Reference: Chick-fil-A #04107 Coors Boulevard FSU
4001 Coor Boulevard Northwest, Albuquerque, NM 87120
IP No.: 2021.1239
Letter of Authorization

To Whom It May Concern:

Please accept this letter as authorization for Interplan, LLC, to act as agent in correspondence and representation of all approval and permitting matters required for the Chick-fil-A parking expansion project at the location referenced above and only to the extent outline in the attached plan dated 4/12/22.

If you have any questions, please contact me at 602-248-8181 or via email tony@levineinvestments.com.

Sincerely,



Andrew M. Cohn
Authorized Representative

Subscribed and sworn to before me this 1st day of August, 2022.

Notary Public Lisa C. Bullington
Seal

My Commission Expires: 4-12-2023



March 4, 2022

Reference: Chick-fil-A #04107 Coors Boulevard FSU
4001 Coors Boulevard Northwest, Albuquerque, NM 87120
IP No.: 2021.1239
Letter of Authorization

To Whom It May Concern:

Please accept this letter as authorization for Interplan LLC, to act as agent in correspondence and representation of all approval and permitting matters required for (project name) at the location referenced above.

If you have any questions, please contact me at 505-998-9093 or via email, josh@retailSouthwest.com.

Sincerely,
Red Shamrock 4, LLC

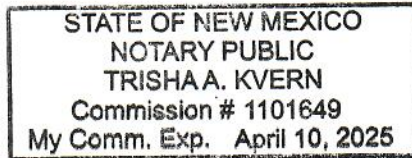
Joshua Skensgard
Title Managing member

Subscribed and sworn to before me this 14 day of July, 2022.

Notary Public JLK

Seal

My Commission Expires: 4/10/2025



October 21, 2022

Jay Rodenbeck
City of Albuquerque Planning Department
Development Review Services
600 Second NW
Albuquerque, NM 87102
505-924-3994
jrodenbeck@cabq.gov

Reference: Chick-fil-A #4107 Coors Boulevard FSU
4001 Coors Boulevard, Albuquerque, NM 87120
IP No. : 2021.1239
Major Amendment Justification Letter

To Whom It May Concern,

Chick-fil-A is proposing modifications to the existing restaurant located at the address referenced above. The scope of work involves a Parking Lot Addition, approximately 22,000sf needed for fire lane/escape lane, DT Modification, Transformer relocation & Existing Single Lane OMD Canopy Extension to Dual Lane, which will serve to protect employees and customers against the elements as well as help expedite the ordering process and alleviate traffic.

Below are the justifications which address the review and decision criteria in 14-16-6-6(l)(3) of the Integrated Development Ordinance.

[An application for a Site Plan – DRB shall be approved if it meets all of the following criteria.](#)

6-6(l)(3)(a) - The Site Plan provided complies with all applicable provisions of this IDO, the DPM, other adopted City regulations, and any conditions specifically applied to development of the property in a prior permit or approval affecting the property.

6-6(l)(3)(b) The proposed site modifications meets the City of Albuquerque's existing infrastructure and public improvements, including but not limited to its street, trail, drainage, and sidewalk systems, have adequate capacity to serve the proposed development, and any burdens on those systems have been mitigated to the maximum extent practicable.

6-6(l)(3)(c) The proposed modifications to the subject property is within an approved Master Development Plan and the Site Plan meets any relevant standards in the Master Development Plan in addition to any standards applicable in the NR-C zone district the subject property is in.



Chick-fil-A #04107 Coors Boulevard

October 21, 2022

Page 2 of 2

Upon review, please let me know if you have any questions or require additional information regarding the Letter of Justification which addresses the criteria in 14-16-6-6(l)(3) of the Integrated Development Ordinance (IDO). I can be reached at 407-645-5008 or via email at abishop@interplanllc.com. If I am unavailable, Nancy Carreras is the Permit Manager and can be reached at the number provided or via email at ncarreras@interplanllc.com. If we are not available, David Jenkins or Miguel Medina with Ensign, the Engineering team can be reached at 801-255-0529.

Thank you!

Sincerely,

INTERPLAN LLC

Amanda Bishop

Amanda Bishop

Development Services/ Permit Coordinator

enclosures

ec: K. Teresa, C. Efford; Chick-fil-A, Inc.
E. Cogswell, M. Nuckols, M. McRae; JLL
D. Jenkins, M. Medina; Ensign Engineering
N. Carreras, T. Vu; Interplan LLC



DEVELOPMENT REVIEW BOARD

Agenda

ONLINE ZOOM MEETING

August 24, 2022

Jolene Wolfley..... DRB Chair
Ernest Armijo..... Transportation
André Houle..... Water Authority
Shahab Biazar.....Hydrology
Concetta Trujillo.....Code Enforcement
Cheryl Somerfeldt.....Parks and Rec

Angela Gomez ~ DRB Administrative Assistant

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT ANGELA GOMEZ, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: DEFERRAL OF CASES WILL BE ANNOUNCED AT THE BEGINNING OF THE AGENDA.

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW. PER THE DRB RULES OF PROCEDURE, AN INDEFINITE DEFERRAL REQUIRES A RE-APPLICATION AND REPAYMENT OF ALL APPLICATION FEES.

NOTE: CLICK ON THE BLUE HIGHLIGHTED PROJECT # LINK TO ACCESS THE CASE. (Place mouse over hyperlink, right-click, choose “open hyperlink”)

A. Call to Order: 9:00 A.M.

B. Changes and/or Additions to the Agenda

a. Motion to amend the rules to allow a virtual meeting because of the public health emergency.

b. Remote Meeting Information:

Join Zoom Meeting:

<https://cabq.zoom.us/j/81711919604> (Place mouse over hyperlink, right-click, choose “open hyperlink”)

Meeting ID: 817 1191 9604

By phone: +1 346 248 7799 or Find your local number: <https://cabq.zoom.us/u/kegTsk3nfp>

MAJOR CASES

1. [PR-2021-005195](#)
[SI-2021-01747](#) – SITE PLAN
IDO - 2020

DEKKER/PERICH/SABATINI – WILL GLEASON agent for JC SIX LLC requests the aforementioned action(s) for all or a portion of: **TRACT 6A-1, UNIT 1, JOURNAL CENTER PHASE 2** zoned **MX-H**, located on **7501 JEFFERSON ST NE between JEFFERSON ST and MASTHEAD ST NE** containing approximately **5.1536** acre(s). **(D-17)** [Deferred from 11/10/21, 12/1/21, 12/15/21, 1/5/22, 1/19/22, 2/2/22, 2/16/22, 3/30/22, 4/13/22, 5/18/22, 6/22/22, 7/27/22]

PROPERTY OWNERS: JC SIX LLC

REQUEST: SITE PLAN APPROVAL REQUEST FOR MULTI-FAMILY APARTMENT HOME COMMUNITY

-
2. [PR-2021-005597](#)
[SD-2022-00026](#) – PRELIMINARY PLAT
IDO - 2020
- MODULUS ARCHITECTS** agent for **RED SHAMROCK 12 LLC** requests the aforementioned action(s) for all or a portion of: **LOT X2A, UNIVERSITY OF ALBUQUERQUE URBAN CENTER** zoned **NR-C**, located at **3901 COORS BLVD NW between COORS BLVD and ST. JOSEPHS** containing approximately **26.5** acre(s). **(G-11)** [*Deferred from 3/16/22, 4/27/22, 5/11/22, 5/18/22, 6/8/22, 6/15/22, 6/22/22, 7/27/22, 8/3/22, 8/10/22*]
- PROPERTY OWNERS:** RED SHAMROCK 12 LLC
REQUEST: SUBDIVIDE 1 EXISTING LOT INTO 10 SMALLER LOTS, DEDICATE RIGHT OF WAY, GRANT EASEMENTS
-

MINOR CASES

3. [PR-2022-006872](#)
[SD-2022-00114](#) – PRELIMINARY/FINAL PLAT
IDO - 2021
- ARCH + PLAN LAND USE CONSULTANTS LLC** agent for **FIRST NATIONS COMMUNITY HEALTH SOURCE** requests the aforementioned action(s) for all or a portion of: **LOTS 1 THRU 16 AND 41 THRU 46** zoned **MX-M**, located at **5110 COPPER NE between MANZANO ST and TRUMAN ST** containing approximately **2.2957** acre(s). **(K-17)** [*Deferred from 8/24/22*]
- PROPERTY OWNERS:** FIRST NATIONS COMMUNITY HEALTHSOURCE
REQUEST: LOT CONSOLIDATION: 32 LOTS INTO 1 LOT
-

4. [PR-2022-006861](#)
[SD-2022-00112](#) – PRELIMINARY/FINAL PLAT
4/27/22 Sketch
IDO - 2021
- ABQ LAND USE CONSULTING LLC – CARL GARCIA** agent for **GERARDO & MAYA FERNANDEZ** requests the aforementioned action(s) for all or a portion of: **TRACT 133A2A1B & 133B1A1B, LANDS OF FERNANDEZ** zoned **R-1D**, located on **47th ST NW and 49th ST NW** containing approximately **0.2111** acre(s). **(J-12)** [*Deferred from 8/10/22, 8/24/22*]
- PROPERTY OWNERS:** FERNANDEZ GERARDO & MAYA SIMONA
REQUEST: REPLAT 2 LOTS INTO 1 LOT
-

**** AGENT REQUESTS DEFERRAL TO AUGUST 31, 2022.**

5. [PR-2020-004457](#)
[SD-2022-00116](#) – EXTENSION OF PRELIMINARY PLAT
IDO - 2020
- RIO GRANDE ENGINEERING** agent for **QUIVIRA LAND** requests the aforementioned action(s) for all or a portion of: **LOT 22, VOLCANO CLIFFS SUBDIVISION** zoned **RA** located on **QUIVIRA DR between VISTA VIEJA AVE and RETABLO RD** containing approximately **6.0** acre(s). **(D-09)**
- PROPERTY OWNERS:** QUIVIRA LAND LLC
REQUEST: ONE YEAR EXTENSION OF PRELIMINARY PLAT AND INFRASTRUCTURE LIST
-

SKETCH PLATS

6. [PR-2020-003442](#)
[PS-2022-00165](#) – SKETCH PLAT
IDO - 2021
- BOHANNAN HUSTON | KELLY KLEIN** agent for **CORAZON DEL MESA 4, LLC** requests the aforementioned action(s) for all or a portion of: **A-6-C-1, MESA DEL SOL INNOVATION PARK** zoned **PC**, located on **UNIVERSITY BLVD** between **STRYKER RD** and **STIEGLITZ AVE** containing approximately **33.08** acre(s). (**R-15, R-16, S-16**)
- PROPERTY OWNERS:** CORAZON DEL MESA 4, LLC
REQUEST: SKETCH PLAT REVIEW AND COMMENT
-
7. [PR-2022-007492](#)
[PS-2022-00167](#) – SKETCH PLAT
IDO - 2021
- ISAACSON & ARFMAN, INC. | FRED ARFMAN, PE** agent for **LLAVE ENTERPRISES** requests the aforementioned action(s) for all or a portion of: **LOT 13 BLOCK 4 UNIT 3, NORTH ALBUQUERQUE ACRES** zoned **PD**, located at **8950 ALAMEDA BLVD NE** between **VENTURA ST** and **BARSTOW ST** containing approximately **0.8995** acre(s). (**C-20**)
- PROPERTY OWNERS:** LLAVE ENTERPRISES
REQUEST: SKETCH PLAT REVIEW AND COMMENT
-
8. [PR-2022-007501](#)
[PS-2022-00170](#) – SKETCH PLAT
IDO - 2021
- CSI – CARTESIAN SURVEYS INC.** agent for **ASPEN RANCH APARTMENTS** requests the aforementioned action(s) for all or a portion of: **LOTS 1 THRU 6, BLOCK 47, UNIVERSITY HEIGHTS** zoned **MX-T** and **R-MH**, located at **208 WELLESLEY DR SE** between **SILVER AVE SE** and **LEAD AVE SE** containing approximately **0.9764** acre(s). (**K-16**)
- PROPERTY OWNERS:** C3 RESIDENTIAL LLC
REQUEST: INTERIOR LOT LINE ELIMINATION BETWEEN 6 LOTS TO CREATE 2 NEW LOTS, VACATE RIGHT-OF WAY
-
9. [PR-2019-002574](#)
[PS-2022-00172](#) – SKETCH PLAT
IDO - 2021
- INTERPLAN LLC** agent for **CHICK-FIL-A INC.** requests the aforementioned action(s) for all or a portion of: **LOT 6, COORS PAVILLION** zoned **NR-C**, located at **4001 COORS BLVD NW** between **COORS BLVD** and **ST JOSEPH'S** containing approximately **1.1** acre(s). (**G-11**)
- PROPERTY OWNERS:** LEVINE INVESTMENTS LIMITED PARTNERSHIP
REQUEST: PARKING LOT ADDITION, DT MODIFICATION, TRANSFORMER RELOCATION & EXISTING SINGLE LANE OMD CANOPY EXTENSION TO DUAL LANE
-

Other Matters

Action Sheet Minutes – August 17, 2022

DRB Member Signing Session for Approved Cases

ADJOURN

October 21, 2022

Jay Rodenbeck

Development Review Services
600 2nd NW
Albuquerque, NM 87102
505-924-3994 / 505-924-3860
jrodenbeck@cabq.gov

**Reference: Chick-fil-A #4107 Coors Boulevard
DRB Project No.: PR-2019-002574
Sketch Plat No.: PS-2022-00172
IP No.: 2021.1239
Response to DRB Sketch Plat Comments**

To Whom It May Concern:

Please accept the following in response to comments dated August 24, 2022.

DRB Water Authority – Andre Houle, P.E- 505-289-3301-

- Comment:** No objections to the Cross-Parking Easement on Lot 5.
Response: **Acknowledged**
- Comment:** Note the sewer line is a public sewer line and has a 20' Public sewer easement filed 3/23/21. Please correct site plan. Manhole adjustment to be made through the ABCWUA Construction Permit process. Work to be completed by a licensed/bonded contractor. Application to be completed using the submittal portal at <https://www.abcwua.org/connectionpermit/>.
Response: **The 20' easement has been corrected on the plans. If the manhole rim elevation needs to be adjusted, the contractor doing the work will file the application (Per Ensign).**

DRB Code Enforcement – Jeff Palmer, Code Enforcement Supervisor- jppalmer@cabq.gov

- Comment:** Property is zoned NR-C, within Coors Pavilion Subdivision and Site Development Plan. Must meet all guidelines of the approved Plan and, where silent, all applicable requirements of the IDO and DPM.
Response: **Acknowledged**

2. **Comment:** Must meet all Setback and Development standards for the Coors Blvd Protective Overlay zone, CPO-2.
Response: **Acknowledged**
3. **Comment:** Must meet Drive-Through Use Specific regulations in IDO 4-3(F) (4) and IDO 5-5(I) standards for Drive-through or Drive-Up Facilities.
Response: **Acknowledged**
4. **Comment:** Must screen Drive-Through lanes adjacent to public rights of way (along both Coors Blvd and St Joseph's Drive) as per IDO 5-5(I) (a) – cited below for reference. Please note or show on plan how this is being met.

5-5(I) (2) (a) Drive-through lanes adjacent to public rights-of-way shall be screened by a landscape buffer area at least 6 feet wide containing a vegetative screen or wall constructed of a material similar in texture, appearance, and color to the street-facing façade of the primary building (but excluding exposed concrete masonry unit (CMU) block) at least 3 but not more than 4 feet tall. The landscape buffer area shall be provided on the public street side.
Response: **A screen wall has been added along Coors Blvd. and called out to have the architectural stucco to match the building.**
5. **Comment:** Must show location and configuration of Canopy, as well as measurements to show it is meeting setback.
Response: **New canopy is on the north side of the building and the dimensions have been added.**

DRB Transportation Development- Ernest Armijo, P.E. - earmijo@cabq.gov - 505-924-3991

1. **Comment:** The TCL for this Parking addition is currently in review with Transportation. This will need to be approved prior to sign off.
Response: **The TCL has been revised per the latest email from Marwa with a 4-way intersection. The TCL was approved by Marwa Al Najjar on September 22, 2022. Please see the stamped approved Traffic Circulation Layout and Form P sign off.**
2. **Comment:** The latest site revisions based on this TCL are different than what is in the application package. When the TCL is approved please modify drawings for other sections to match layout and provide to those sections for approval.
Response: **See response for #1. Acknowledged.**

DRB Hydrology – Renee Brissette, P.E Senior Engineer- rbrissette@cabq.gov – 505-924-3995

1. **Comment:** Hydrology has an approved Grading & Drainage Plan for the Additional Parking Lot (G11D069C) with engineer’s stamp date 08/19/22.
Response: Due to TCL comments, a revised grading and drainage plan has been submitted. The Hydrology Revision submittal was approved by Renee Brissette on October 18, 2022, and the sign off on Form P was received. Still pending the stamped approved Grading and Drainage plan sheet.

2. **Comment:** Hydrology has no objection to the Site Plan for Building Permit.
Response: Acknowledged

DRB Planning – Robert Webb/ Jay rodenbeck, Planning Manager- jrodenbeck@cabq.gov – 505-924-3994 / 505-924-3860

1. **Comment:** Please clarify specific development changes. Existing vs proposed modifications and/or expansion. Clarify if landscaping is being reduced.
Response: The proposed changes include a new additional drive thru lane, an order point canopy and additional parking on the lot to the north. Landscape area is being reduced because of the double drive thru but the landscape are still meets and exceeds the 15% area requirement.

2. **Comment:** Development appears to encroach across property lines. Please clarify if shared parking agreement(s) and/or a parking easement(s) are proposed.
Response: A shared parking agreement exists with the commercial shopping center CC&R’s, a copy of which has been provided. In addition, a permanent easement will be provided for the portion of the new drive thru lane that crosses the lot line. Also, an Encroachment Easement for Lots 5 and 6 has been drafted and signed by both property owners. It was agreed, Per Jay Rodenbeck and Shahab Biazar, that as a condition of approval, the applicant can delay the recording of the Encroachment Easement until final sign-off of the Major Site Plan Amendment- DRB by the DRB Chair. Please see supporting documentation provided with the Major Amendment Submittal.

3. **Comment:** All standards within IDO section 5-4-C (Subdivision of Land Compliance) apply to all re-platting actions. Re-plating action cannot increase any existing nonconformity or create a new nonconformity
Response: Replatting will not be required. The applicant attended the DRB Sketch Plat meeting where the applicant and review board further discussed the subject properties in question, and stated that a recorded Encroachment Easement between property owners could waive this requirement as a parking agreement

has already been executed and the property is leased. Please see comment #2 above for additional information.

4. Comment: For Platting actions, all signatures from the surveyor, property owner(s), the City Surveyor, the utility companies, and AMAFCA are all required prior to the acceptance of the application file and the placement on a DRB agenda. After acceptance of the Plat application, DXF approval from AGIS must be obtained and the project and application numbers must be added to the Plat.

Response: **Replatting will not be required. Please reference the above comment responses from #2 and #3. Attached is the executed Encroachment Easement, signed by both lot property owners. Per Jay Rodenbeck and as a condition of approval, the recordation of the document can be delayed until final sign-off of the Major Site Plan Amendment.**

5. Comment: The applicant will need to work with Transportation, Hydrology, and Water Authority members on submitting the required items per checklist form S for platting actions, and Form P for a Major Site Plan Amendment - DRB. Obtain all required signatures as a part of the application submittal process.

Response: **Form S is not applicable as a Replat will not be required. Please reference the above comment responses. The applicant has received all required signatures and sign-offs on Form P for the Major Site Plan Amendment/DRB.**

6. Comment: Senior staff have previously determined that the proposed development will require a Major Site Plan Amendment. All Plan sheets for a Major Site Plan Amendment must be sealed and signed by a design professional licensed in the State of New Mexico, and Landscape Plan sheets must be sealed and signed by a Landscape Architect licensed in the State of New Mexico.

Response: **Acknowledged**

7. Comment: Future development must meet all applicable standards and provisions of the previous approved Site Plan. Where silent, all development must meet standards and provisions of IDO (NR-C & CPO-2) and the DPM. *Plans must demonstrate how standards are being met.

Response: **Acknowledged**

- 8. Comment:** Please reference the following development standards from the IDO. Subject to change depending on development type and use.
- Table III – Provisions for ABC Comp Plan Centers & Corridors. See MT-Major Transit and AC-Activity Center.
 - 4-2 Allowed Uses, table 4-2-1. Reference Use Specific Standards for Restaurant (4-3-D-8) and Drive-Through (4-3-F-4). Clarify how all standards are being met.
 - 5-1 Dimension Standards for NR-C. 5-1-G Exceptions and Encroachments.
 - 5-3 Access & Connectivity requirements.
 - 5-5 Parking & Loading requirements, Table 5-5-1. Provide clarification on shared parking agreements and parking calculations.
 - Stacking and Drive-Through per 5-5-I. Drive-Through screening per 5-5-I-2.
 - Clarify how standards are being met.
 - 5-6 Landscaping, Buffering, and Screening standards and requirements. Clarify minimum landscaping requirements are being met for both lots and street frontage. Additional requirements per 3-4-C-5-C, Landscaping along Coors. 5-7 Walls/Fences, table 5-7-1. Development requires separate permits.
 - 5-9 Neighborhood edge requirements. Property is adjacent to R-1 zone districts.
 - 5-8 Outdoor Lighting and per 3-4-C-5-D.
 - Building and façade design per approved plan and per CPO-2 & 5-11.
 - Signage per approved plan and per CPO-2 & 5-12.
 - Section 6-1, table 6-1-1 for notice requirements.
 - Platting action per 6-6-K Subdivision of Land-Minor or 6-6-L Subdivision of Land-Major.
 - 7-1 Development, dwelling and use definitions.

Response: **Acknowledged**



Chick-fil-A #4107 Coors Boulevard

October 21, 2022

Page 6 of 6

DRB Parks and Recreation- 505-924-3860

1. **Comment:** No comments at this time. Application shows revised areas clouded. Please submit revised Landscape Plan

Response: Acknowledged

Please feel free to contact me if you have any questions or require additional information via email at abishop@interplanllc.com or by phone at 407-645-5008. If I am not available, Nancy Carreras is the Permit Manager and can be reached at ncarreras@interplanllc.com. If Interplan is unavailable, David Jenkins or Miguel Medina with the Ensign Engineering team can be reached at 801-255-0529.

Thank You!

Sincerely,

INTERPLAN LLC

Amanda Bishop

Amanda Bishop

Development Services / Permit Coordinator

Attachments

ec: K. Teresa, C. Efford; Chick-fil-A, Inc.
E. Cogswell, M. Nuckols, M. McRae; JLL
D. Jenkins, M. Medina; Ensign Engineering
N. Carreras, T. Vu; Interplan LLC

Amanda Bishop

From: Office of Neighborhood Coordination <onc@cabq.gov>
Sent: Tuesday, October 4, 2022 2:33 PM
To: Amanda Bishop; Office of Neighborhood Coordination
Cc: Nancy Carreras; Michelle Kucaba; Gabby Mosquera; Chrissy Schwartz
Subject: RE: 4001 Coors Boulevard NW_Neighborhood Meeting Inquiry - Follow up on Associations List Being Updated

Good morning, Amanda.

The contacts for the Vista Grande Neighborhood Association have not changed. Thank you.



Vanessa Baca

Manager

Office of Neighborhood Coordination (ONC) | City Council Department | City of Albuquerque
(505) 768-3331 Office

E-mail: vanessabaca@cabq.gov

Website: www.cabq.gov/neighborhoods



From: Amanda Bishop <ABishop@interplanllc.com>

Sent: Tuesday, October 4, 2022 11:44 AM

To: Office of Neighborhood Coordination <onc@cabq.gov>

Cc: Nancy Carreras <NCarreras@interplanllc.com>; Michelle Kucaba <MKucaba@interplanllc.com>; Gabby Mosquera <gmosquera@interplanllc.com>; Chrissy Schwartz <CSchwartz@interplanllc.com>

Subject: RE: 4001 Coors Boulevard NW_Neighborhood Meeting Inquiry - Follow up on Associations List Being Updated

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Good afternoon and happy Tuesday!

I would like to reach out in reference to the below information to ensure that the contact information I have previously received for the associations is up to date?

Thank you for your help and I look forward to hearing from you.

Kindest,
Amanda



AMANDA BISHOP
 Permit Coordinator
 O: 407.645.5008
 INTERPLAN LLC | AR0011595 | CA 8660 | LINKEDIN

From: Office of Neighborhood Coordination <onc@cabq.gov>
Sent: Monday, August 22, 2022 12:49 PM
To: Amanda Bishop <ABishop@interplanllc.com>
Subject: 4001 Coors Boulevard NW_Neighborhood Meeting Inquiry

PLEASE NOTE:

The City Council recently voted to update the Neighborhood Association Recognition Ordinance (NARO) and the Office of Neighborhood Coordination (ONC) is working to ensure all neighborhood associations and neighborhood coalitions are in compliance with the updated ordinance. There will likely be many updates and changes to association and coalition contact information over the next several months. With that in mind, please check with the ONC every two (2) weeks to ensure that the contact information you have for associations and coalitions is up to date.

Dear Applicant:

Please find the neighborhood contact information listed below. Please make certain to read the information further down in this e-mail as it will help answer other questions you may have.

Association Name	First Name	Last Name	Email	Address Line 1
Vista Grande NA	Richard	Schaefer	Schaefer@unm.edu	3579 Sequoia NW
Vista Grande NA	Dana	Skaar	dana@nationalheat.com	3504 Sequoia NW

The ONC does not have any jurisdiction over any other aspect of your application beyond this neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, buffers, or project plans, so we encourage you to contact the Planning Department at: 505-924-3857 Option #1, e-mail: devhelp@cabq.gov, or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

Please note the following:

- You will need to e-mail each of the listed contacts and let them know that you are applying for an approval from the Planning Department for your project.
- Please use this online link to find the required forms you will need to submit your permit application. <https://www.cabq.gov/planning/urban-design-development/public-notice>.
- The Checklist form you need for notifying neighborhood associations can be found here: https://documents.cabq.gov/planning/online-forms/PublicNotice/CABQ-Official_public_notice_form-2019.pdf.
- The Administrative Decision form you need for notifying neighborhood associations can be found here: <https://documents.cabq.gov/planning/online-forms/PublicNotice/Emailed-Notice-Administrative-Print&Fill.pdf>

- Once you have e-mailed the listed contacts in each neighborhood, you will need to attach a copy of those e-mails AND a copy of this e-mail from the ONC to your application and submit it to the Planning Department for approval.

If your application requires you to offer a neighborhood meeting, you can click on this link to find required forms to use in your e-mail to the neighborhood association(s):

<http://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>

If your application requires a pre-application or pre-construction meeting, please plan on utilizing virtual platforms to the greatest extent possible and adhere to all current Public Health Orders and recommendations. The health and safety of the community is paramount.

If you have questions about what type of notification is required for your particular project or meetings that might be required, please click on the link below to see a table of different types of projects and what notification is required for each:

<https://ido.abc-zone.com/integrated-development-ordinance-ido?document=1&outline-name=6-1%20Procedures%20Summary%20Table>

Thank you.



Vanessa Baca

Manager

Office of Neighborhood Coordination (ONC) | City Council Department | City of Albuquerque
(505) 768-3331 Office

E-mail: vanessabaca@cabq.gov

Website: www.cabq.gov/neighborhoods



From: webmaster=cabq.gov@mailgun.org <webmaster=cabq.gov@mailgun.org> **On Behalf Of** webmaster@cabq.gov

Sent: Monday, August 22, 2022 9:37 AM

To: Office of Neighborhood Coordination <abishop@interplanllc.com>

Cc: Office of Neighborhood Coordination <onc@cabq.gov>

Subject: Neighborhood Meeting Inquiry Sheet Submission

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Neighborhood Meeting Inquiry For:

Development Review Board

If you selected "Other" in the question above, please describe what you are seeking a Neighborhood Meeting Inquiry for below:

Contact Name

Amanda Bishop

Telephone Number

407-645-5008

Email Address

abishop@interplanllc.com

Company Name

Interplan LLC c/o Chick-fil-A, Inc.

Company Address

220 East Central Parkway, Suite 4000

City

Altamonte Springs

State

FL

ZIP

32701

Legal description of the subject site for this project:

1) LT 6 PLAT OF LOTS 1 THRU 9 COORS PAVILION (BEING A REPLAT OF TRACT X-1-A2, UNIVERSITY OF ALBUQUERQUE URBAN CENTER)

2)LT 5 PLAT OF LOTS 1 THRU 9 COORS PAVILION (BEING A REPLAT OF TRACT X-1-A2, UNIVERSITY OF ALBUQUERQUE URBAN CENTER)

Physical address of subject site:

4001 Coors Boulevard NW, Albuquerque, NM 87120

Subject site cross streets:

St. Joesph's Dr. NW / Coors Boulevard

Other subject site identifiers:

To the southern lot below Panera Bread

This site is located on the following zone atlas page:

G-11-Z

Captcha

x

From: [Amanda Bishop](#)
To: dana@nationalheat.com; [Rodenbeck, Jay B.](#)
Cc: [Nancy Carreras](#); [Gabby Mosquera](#); [Chrissy Schwartz](#); [Michelle Kucaba](#); [David Jenkins](#); [Cogswell, Erica](#)
Subject: RE: 2021.1239 CFA#4107 Coors Boulevard - Proposed Modifications - Major Site Plan Amendment requiring DRB Approval. Neighborhood Association Follow Up
Date: Tuesday, October 4, 2022 1:57:14 PM
Attachments: [C-1.0 Site plan.pdf](#)
[image003.png](#)
[Emailed-Mailed-Notice-PublicMeetingHearing-COMP.pdf](#)
[Neighborhood Meeting Request- COMP.pdf](#)
[Mailed-Notice COMP.pdf](#)
[IDO Zone Atlas Page G-11-Z - Markup.pdf](#)
[image001.png](#)

Good afternoon and happy Tuesday!

My name is Amanda Bishop, the Permit Coordinator for Interplan LLC an Architectural and Civil Engineering firm acting as an agent for Chick-fil-A, Inc., Red Shamrock 4 LLC and Levine Investments regarding the proposed modifications to the existing Chick-fil-A #4107 Coors Boulevard, located at 4001 Coors Boulevard NW, Albuquerque, NM 87120.

I have sent Certified mail to your Neighborhood Association address provided by the City of Albuquerque on August 30, 2022. At this time I have not received a call back or an email regarding the Association wanting to schedule a meeting. If you could please confirm that you would like to schedule or not schedule a meeting via email, I would appreciate it.

Our scope of work is as follows: Parking Lot Addition, approximately 22,000sf needed for fire lane/escape lane, DT Modification & Existing Single Lane OMD Canopy Extension to Dual Lane, Transformer Relocation.

Please see the supporting site plan reflecting our proposed modifications and the Public Hearing Meeting notice attached.

If you have any questions or required additional information, please do not hesitate to reach out to me at 407-645-5008 or via email.

I appreciate your time and thank you for your review.

Respectfully,
Amanda

**AMANDA BISHOP**

Permit Coordinator

O: 407.645.5008

INTERPLAN LLC | AR0011595 | CA 8660 | [LINKEDIN](#)

From: Amanda Bishop <ABishop@interplanllc.com>**Sent:** Thursday, September 1, 2022 4:46 PM**To:** dana@nationalheat.com; Rodenbeck, Jay B. <jrodenbeck@cabq.gov>**Cc:** Nancy Carreras <NCarreras@interplanllc.com>; Gabby Mosquera <gmosquera@interplanllc.com>; Chrissy Schwartz <CSchwartz@interplanllc.com>; Michelle Kucaba <MKucaba@interplanllc.com>**Subject:** 2021.1239 CFA#4107 Coors Boulevard - Proposed Modifications - Major Site Plan Amendment requiring DRB Approval.

Good afternoon and happy Thursday!

My name is Amanda Bishop the Permit Coordinator for Interplan LLC an Architectural and Civil Engineering firm acting as an agent for Chick-fil-A, Inc., Red Shamrock 4 LLC and Levine Investments regarding the proposed modifications to the existing Chick-fil-A #4107 Coors Boulevard, located at 4001 Coors Boulevard NW, Albuquerque, NM 87120.

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Please see the supporting site plan reflecting our proposed modifications and the Public Hearing Meeting notice attached.

If you have any questions or required additional information, please do not hesitate to reach out to me at 407-645-5008 or via email.

I appreciate your time and thank you for your review.

Respectfully,
Amanda



AMANDA BISHOP

Permit Coordinator
O: 407.645.5008

220 E Central Pkwy, Ste 4000, Altamonte Springs, FL 32701
abishop@interplanllc.com | interplanllc.com
INTERPLAN LLC | AR0011595 | CA 8660 | [LINKEDIN](#)

Any drawings and data supplied via this electronic mail are copyrighted property of Interplan LLC., and are provided only for the recipient's purposes on the specified project. Any use, other than for purposes within the recipient's organization is not authorized and shall be the sole responsibility of the recipient in accepting these drawings and data. The recipient thereby agrees to indemnify and hold harmless Interplan LLC, for consequential or incidental damages resulting from recipient's disclosure of same, without written consent of Interplan LLC.

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed/Emailed to a Neighborhood Association**

Date of Notice*: August 26, 2022

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)*: Vista Grande NA

Name of NA Representative*: Dana Skaar

Email Address* or Mailing Address* of NA Representative¹: 3504 Sequoia Court NW, Albuquerque, NM 87120 / dana@nationalheat.com

Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* 4001 Coors Boulevard NW, Albuquerque, NM 87120
Location Description LT 6 PLAT OF LOTS 1 THRU 9 COORS PAVILION / LT 5 PLAT OF LOTS 1 THRU 9 COORS PAVILION
2. Property Owner* Levine Investments Limited Partnership / Red Shamrock 4 LLC
3. Agent/Applicant* *[if applicable]* Amanda Bishop; Interplan LLC c/o Chick-fil-A, Inc.
4. Application(s) Type* per IDO [Table 6-1-1](#) *[mark all that apply]*
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision _____ (Minor or Major)
 - Vacation _____ (Easement/Private Way or Public Right-of-way)
 - Variance
 - Waiver
 - Other: Major Site Plan Amendment (DRB)

Summary of project/request²*:

Chick-fil-A, Inc. is proposing a parking lot addition needed for fire lane/escape lane to Lot 5 including a drive-through modification, an existing

single lane Order Meal Delivery (OMD) canopy extension to a dual land fulfillment with communications and transformer relocation.

¹ Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

² Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

5. **For Site Plan Applications only***, attach site plan showing, at a minimum:
- a. Location of proposed buildings and landscape areas.*
 - b. Access and circulation for vehicles and pedestrians.*
 - c. Maximum height of any proposed structures, with building elevations.*
 - d. **For residential development***: Maximum number of proposed dwelling units.
 - e. **For non-residential development***:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information [Optional]:

From the IDO Zoning Map⁶:

1. Area of Property [typically in acres] 1.16 Acres
 2. IDO Zone District NR-C - Non-residential - Commercial
 3. Overlay Zone(s) [if applicable] Coors Blvd Protective Overlay zone, CPO-2.
 4. Center or Corridor Area [if applicable] _____
- Current Land Use(s) [vacant, if none] Existing Chick-fil-A Drive-Through Restaurant
-

NOTE: Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

Cc: Vista Grande NA - Richard Schaefer [Other Neighborhood Associations, if any]

⁶ Available here: <https://tinurl.com/idozoningmap>

[Note: Items with an asterisk (*) are required.]

Neighborhood Meeting Request for a Proposed Project in the City of Albuquerque

Date of Request*: August 26, 2022

This request for a Neighborhood Meeting for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)*: Vista Grande NA

Name of NA Representative*: Dana Skaar

Email Address* or Mailing Address* of NA Representative¹: 3504 Sequoia Court NW, Albuquerque, NM 87120 / dana@nationalheat.com

The application is not yet submitted. If you would like to have a Neighborhood Meeting about this proposed project, please respond to this request within 15 days.²

Email address to respond yes or no: I, Amanda Bishop, with Interplan LLC can be contacted at abishop@interplanllc.com or at 407-645-5008

The applicant may specify a Neighborhood Meeting date that must be at least 15 days from the Date of Request above, unless you agree to an earlier date.

Meeting Date / Time / Location:

September 9, 2022 - Time and Location to be determined if one would be requested.

Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* 4001 Coors Boulevard NW, Albuquerque, NM 87120
Location Description LT 6 PLAT OF LOTS 1 THRU 9 COORS PAVILION / LT 5 PLAT OF LOTS 1 THRU 9 COORS PAVILION
2. Property Owner* Levine Investments Limited Partnership / Red Shamrock 4 LLC
3. Agent/Applicant* [if applicable] Amanda Bishop; Interplan LLC c/o Chick-fil-A, Inc.
4. Application(s) Type* per IDO [Table 6-1-1](#) [mark all that apply]
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision _____ (Minor or Major)

¹ Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

² If no one replies to this request, the applicant may be submitted to the City to begin the review/decision process.

[Note: Items with an asterisk (*) are required.]

- Vacation _____ (Easement/Private Way or Public Right-of-way)
- Variance
- Waiver
- Zoning Map Amendment
- Other: _____

Summary of project/request^{3*}:

Chick-fil-A, Inc. is proposing a parking lot addition needed for fire lane/escape lane to Lot 5 including a drive-through modification, an existing

 single lane order meal delivery canopy extension to a dual lane fulfillment with communications and transformer relocation.

5. This type of application will be decided by^{*}: City Staff
 OR at a public meeting or hearing by:
- Zoning Hearing Examiner (ZHE) Development Review Board (DRB)
 - Landmarks Commission (LC) Environmental Planning Commission (EPC)
 - City Council

6. Where more information about the project can be found^{*4}:

I, Amanda Bishop, with Interplan LLC can be contacted at abishop@interplanllc.com or at 407-645-5008 for further information. Also, please see attached supporting documentation.

Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

1. Zone Atlas Page(s)^{*5} G-11-Z Coors Boulevard CPO-2 - Coors Pavillion
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant^{*}: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards will be requested for this project^{*}:
 - Deviation(s) Variance(s) Waiver(s)

Explanation:

4. An offer of a Pre-submittal Neighborhood Meeting is required by [Table 6-1-1](#)^{*}: Yes No

³ Attach additional information, as needed to explain the project/request. Note that information provided in this meeting request is conceptual and constitutes a draft intended to provide sufficient information for discussion of concerns and opportunities.

⁴ Address (mailing or email), phone number, or website to be provided by the applicant

⁵ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

- 5. **For Site Plan Applications only***, attach site plan showing, at a minimum:
 - a. Location of proposed buildings and landscape areas.*
 - b. Access and circulation for vehicles and pedestrians.*
 - c. Maximum height of any proposed structures, with building elevations.*
 - d. **For residential development***: Maximum number of proposed dwelling units.
 - e. **For non-residential development***:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information:

- 1. From the IDO Zoning Map⁶:
 - a. Area of Property [typically in acres] 1.16 Acres
 - b. IDO Zone District NR-C - Non-residential - Commercial
 - c. Overlay Zone(s) [if applicable] Coors Blvd Protective Overlay zone, CPO-2.
 - d. Center or Corridor Area [if applicable] _____
 - 2. Current Land Use(s) [vacant, if none] Existing Chick-fil-A Drive-Through Restaurant
-

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

Cc: Vista Grande NA [Other Neighborhood Associations, if any]

⁶ Available here: <https://tinurl.com/idozoningmap>

From: [Amanda Bishop](#)
To: schaefer@unm.edu; [Rodenbeck, Jay B.](#)
Cc: [Nancy Carreras](#); [Gabby Mosquera](#); [Chrissy Schwartz](#); [Michelle Kucaba](#); [David Jenkins](#); [Cogswell, Erica](#)
Subject: RE: 2021.1239 CFA#4107 Coors Boulevard - Proposed Modifications - Major Site Plan Amendment requiring DRB Approval Neighborhood Association Follow Up
Date: Tuesday, October 4, 2022 1:55:41 PM
Attachments: [Aerial.pdf](#)
[image003.png](#)
[Neighborhood Meeting Request- COMP.pdf](#)
[Emailed-Mailed-Notice-PublicMeetingHearing-COMP.pdf](#)
[IDO Zone Atlas Page_G-11-Z - Markup.pdf](#)
[C-1.0 Site plan.pdf](#)
[image001.png](#)

Good afternoon and happy Tuesday!

My name is Amanda Bishop, the Permit Coordinator for Interplan LLC an Architectural and Civil Engineering firm acting as an agent for Chick-fil-A, Inc., Red Shamrock 4 LLC and Levine Investments regarding the proposed modifications to the existing Chick-fil-A #4107 Coors Boulevard, located at 4001 Coors Boulevard NW, Albuquerque, NM 87120.

I have sent Certified mail to your Neighborhood Association address provided by the City of Albuquerque on August 30, 2022. At this time I have not received a call back or an email regarding the Association wanting to schedule a meeting. If you could please confirm that you would like to schedule or not schedule a meeting via email, I would appreciate it.

Our scope of work is as follows: Parking Lot Addition, approximately 22,000sf needed for fire lane/escape lane, DT Modification & Existing Single Lane OMD Canopy Extension to Dual Lane, Transformer Relocation.

Please see the supporting site plan reflecting our proposed modifications and the Public Hearing Meeting notice attached.

If you have any questions or required additional information, please do not hesitate to reach out to me at 407-645-5008 or via email.

I appreciate your time and thank you for your review.

Respectfully,
Amanda



AMANDA BISHOP

Permit Coordinator

O: 407.645.5008

INTERPLAN LLC | AR0011595 | CA 8660 | [LINKEDIN](#)

From: Amanda Bishop <ABishop@interplanllc.com>

Sent: Thursday, September 1, 2022 4:51 PM

To: schaefer@unm.edu; Rodenbeck, Jay B. <jrodenbeck@cabq.gov>

Cc: Nancy Carreras <NCarreras@interplanllc.com>; Gabby Mosquera <gmosquera@interplanllc.com>; Chrissy Schwartz <CSchwartz@interplanllc.com>; Michelle Kucaba <MKucaba@interplanllc.com>

Subject: 2021.1239 CFA#4107 Coors Boulevard - Proposed Modifications - Major Site Plan Amendment requiring DRB Approval

Good afternoon and happy Thursday!

My name is Amanda Bishop the Permit Coordinator for Interplan LLC an Architectural and Civil Engineering firm acting as an agent for Chick-fil-A, Inc., Red Shamrock 4 LLC and Levine Investments regarding the proposed modifications to the existing Chick-fil-A #4107 Coors Boulevard, located at 4001 Coors Boulevard NW, Albuquerque, NM 87120.

I have sent Certified mail to your Neighborhood Association address provided by the City of Albuquerque on August 30, 2022.

Our scope of work is as follows: Parking Lot Addition, approximately 22,000sf needed for fire lane/escape lane, DT Modification & Existing Single Lane OMD Canopy Extension to Dual Lane, Transformer Relocation.

Please see the supporting site plan reflecting our proposed modifications and the Public Hearing Meeting notice attached.

If you have any questions or required additional information, please do not hesitate to reach out to me at 407-645-5008 or via email.

I appreciate your time and thank you for your review.

Respectfully,
Amanda



AMANDA BISHOP

Permit Coordinator

O: 407.645.5008

220 E Central Pkwy, Ste 4000, Altamonte Springs, FL 32701

abishop@interplanllc.com | interplanllc.com

INTERPLAN LLC | AR0011595 | CA 8660 | [LINKEDIN](#)

Any drawings and data supplied via this electronic mail are copyrighted property of Interplan LLC., and are provided only for the recipient's purposes on the specified project. Any use, other than for purposes within the recipient's organization is not authorized and shall be the sole responsibility of the recipient in accepting these drawings and data. The recipient thereby agrees to indemnify and hold harmless Interplan LLC, for consequential or incidental damages resulting from recipient's disclosure of same, without written consent of Interplan LLC.

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed/Emailed to a Neighborhood Association**

Date of Notice*: August 26, 2022

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)*: Vista Grande NA

Name of NA Representative*: Richard Schaefer

Email Address* or Mailing Address* of NA Representative¹: 3579 Sequoia Place NW, Albuquerque, NM 87120 / Schaefer@unm.edu

Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* 4001 Coors Boulevard NW, Albuquerque, NM 87120
Location Description LT 6 PLAT OF LOTS 1 THRU 9 COORS PAVILION / LT 5 PLAT OF LOTS 1 THRU 9 COORS PAVILION
2. Property Owner* Levine Investments Limited Partnership / Red Shamrock 4 LLC
3. Agent/Applicant* *[if applicable]* Amanda Bishop; Interplan LLC c/o Chick-fil-A, Inc.
4. Application(s) Type* per IDO [Table 6-1-1](#) *[mark all that apply]*
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision _____ (Minor or Major)
 - Vacation _____ (Easement/Private Way or Public Right-of-way)
 - Variance
 - Waiver
 - Other: Major Site Plan Amendment (DRB)

Summary of project/request²*:

Chick-fil-A, Inc. is proposing a parking lot addition needed for fire lane/escape lane to Lot 5 including a drive-through modification, an existing

single lane Order Meal Delivery (OMD) canopy extension to a dual land fulfillment with communications and transformer relocation.

¹ Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

² Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

5. **For Site Plan Applications only***, attach site plan showing, at a minimum:
- a. Location of proposed buildings and landscape areas.*
 - b. Access and circulation for vehicles and pedestrians.*
 - c. Maximum height of any proposed structures, with building elevations.*
 - d. **For residential development***: Maximum number of proposed dwelling units.
 - e. **For non-residential development***:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information [Optional]:

From the IDO Zoning Map⁶:

1. Area of Property [typically in acres] 1.16 Acres
 2. IDO Zone District NR-C - Non-residential - Commercial
 3. Overlay Zone(s) [if applicable] Coors Blvd Protective Overlay zone, CPO-2.
 4. Center or Corridor Area [if applicable] _____
- Current Land Use(s) [vacant, if none] Existing Chick-fil-A Drive-Through Restaurant
-

NOTE: Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

Cc: Vista Grande NA - Richard Schaefer [Other Neighborhood Associations, if any]

⁶ Available here: <https://tinurl.com/idozoningmap>

[Note: Items with an asterisk (*) are required.]

Neighborhood Meeting Request for a Proposed Project in the City of Albuquerque

Date of Request*: August 26, 2022

This request for a Neighborhood Meeting for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)*: Vista Grande NA

Name of NA Representative*: Richard Schaefer

Email Address* or Mailing Address* of NA Representative¹: 3579 Sequoia Place NW, Albuquerque, NM 87120 / Schaefer@unm.edu

The application is not yet submitted. If you would like to have a Neighborhood Meeting about this proposed project, please respond to this request within 15 days.²

Email address to respond yes or no: I, Amanda Bishop, with Interplan LLC can be contacted at abishop@interplanllc.com or at 407-645-5008

The applicant may specify a Neighborhood Meeting date that must be at least 15 days from the Date of Request above, unless you agree to an earlier date.

Meeting Date / Time / Location:

September 9, 2022 - Time and Location to be determined if one would be requested.

Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* 4001 Coors Boulevard NW, Albuquerque, NM 87120
Location Description LT 6 PLAT OF LOTS 1 THRU 9 COORS PAVILION / LT 5 PLAT OF LOTS 1 THRU 9 COORS PAVILION
2. Property Owner* Levine Investments Limited Partnership / Red Shamrock 4 LLC
3. Agent/Applicant* [if applicable] Amanda Bishop; Interplan LLC c/o Chick-fil-A, Inc.
4. Application(s) Type* per IDO [Table 6-1-1](#) [mark all that apply]
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision _____ (Minor or Major)

¹ Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

² If no one replies to this request, the applicant may be submitted to the City to begin the review/decision process.

[Note: Items with an asterisk (*) are required.]

- Vacation _____ (Easement/Private Way or Public Right-of-way)
- Variance
- Waiver
- Zoning Map Amendment
- Other: _____

Summary of project/request^{3*}:

Chick-fil-A, Inc. is proposing a parking lot addition needed for fire lane/escape lane to Lot 5 including a drive-through modification, an existing

 single lane order meal delivery canopy extension to a dual lane fulfillment with communications and transformer relocation.

5. This type of application will be decided by^{*}: City Staff
 OR at a public meeting or hearing by:
- Zoning Hearing Examiner (ZHE) Development Review Board (DRB)
 - Landmarks Commission (LC) Environmental Planning Commission (EPC)
 - City Council

6. Where more information about the project can be found^{4*}:
 I, Amanda Bishop, with Interplan LLC can be contacted at abishop@interplanllc.com or at 407-645-5008 for further information. Also, please see attached supporting documentation.

Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

1. Zone Atlas Page(s)^{5*} G-11-Z Coors Boulevard CPO-2 - Coors Pavillion
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant^{*}: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards will be requested for this project^{*}:
 Deviation(s) Variance(s) Waiver(s)

Explanation:

4. An offer of a Pre-submittal Neighborhood Meeting is required by [Table 6-1-1*](#): Yes No

³ Attach additional information, as needed to explain the project/request. Note that information provided in this meeting request is conceptual and constitutes a draft intended to provide sufficient information for discussion of concerns and opportunities.

⁴ Address (mailing or email), phone number, or website to be provided by the applicant

⁵ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

5. **For Site Plan Applications only***, attach site plan showing, at a minimum:
- a. Location of proposed buildings and landscape areas.*
 - b. Access and circulation for vehicles and pedestrians.*
 - c. Maximum height of any proposed structures, with building elevations.*
 - d. **For residential development***: Maximum number of proposed dwelling units.
 - e. **For non-residential development***:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information:

1. From the IDO Zoning Map⁶:
- a. Area of Property [typically in acres] 1.16 Acres
 - b. IDO Zone District NR-C - Non-residential - Commercial
 - c. Overlay Zone(s) [if applicable] Coors Blvd Protective Overlay zone, CPO-2.
 - d. Center or Corridor Area [if applicable] _____
2. Current Land Use(s) [vacant, if none] Existing Chick-fil-A Drive-Through Restaurant
- _____

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

Cc: Vista Grande NA - Dana Skaar [Other Neighborhood Associations, if any]

⁶ Available here: <https://tinurl.com/idozoningmap>

Amanda Bishop

From: PLNBufferMaps <plnbuffermaps@cabq.gov>
Sent: Monday, August 22, 2022 1:09 PM
To: Amanda Bishop; PLNBufferMaps
Cc: Nancy Carreras; Gabby Mosquera; Michelle Kucaba; Chrissy Schwartz; David Jenkins; Cogswell, Erica; Rodenbeck, Jay B.
Subject: RE: 2021.1239 CFA#4107 Coors Boulevard - Adjacent Property Owners within 100 Feet.
Attachments: 4001 Coors Boulevard NW - 8.5x11 - Scale in Feet.pdf; 4001 Coors Boulevard NW - Labels.csv; 4001 Coors Boulevard NW - Labels.docx; 4001 Coors Boulevard NW.pdf

August 22, 2022

Ms. Bishop:

Attached is your Buffer requested information for 4001 Coors Boulevard NW.

Thank you and have a wonderful day.

Respectfully submitted,



Planning Buffer Maps
email plnbuffermaps@cabq.gov

From: Amanda Bishop <ABishop@interplanllc.com>
Sent: Monday, August 22, 2022 11:02 AM
To: PLNBufferMaps <plnbuffermaps@cabq.gov>
Cc: Nancy Carreras <NCarreras@interplanllc.com>; Gabby Mosquera <gmosquera@interplanllc.com>; Michelle Kucaba <MKucaba@interplanllc.com>; Chrissy Schwartz <CSchwartz@interplanllc.com>; David Jenkins <djenkins@ensignutah.com>; Cogswell, Erica <Erica.Cogswell@am.jll.com>; Rodenbeck, Jay B. <jrodenbeck@cabq.gov>
Subject: RE: 2021.1239 CFA#4107 Coors Boulevard - Adjacent Property Owners within 100 Feet.

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Good afternoon,

My apologies, please see the attached Atlas Map. The highlighted areas is where we are proposing modifications. I was instructed to acquire the adjacent property owners within 100 feet for the DRB review board.

Kindest,
Amanda

RED SHAMROCK 12 LLC
8220 SAN PEDRO DR NE SUITE 500
ALBUQUERQUE NM 87113-2476

ARCHDIOCESE OF SANTA FE CATHOLIC
SERVICE BLDG
4000 ST JOSEPHS PL NW
ALBUQUERQUE NM 87120-1714

LEVINE INVESTMENTS LIMITED
PARTNERSHIP
2801 E CAMELBACK RD SUITE 450
PHOENIX AZ 85016-0000

KIRTLAND FEDERAL CREDIT UNION
6440 GIBSON BLVD SE
ALBUQUERQUE NM 87108-4971

LEVINE INVESTMENTS LIMITED
PARTNERSHIP
2801 E CAMELBACK RD SUITE 450
PHOENIX AZ 85016-4363

RED SHAMROCK 4 LLC
8220 SAN PEDRO DR NE 500
ALBUQUERQUE NM 87113-2476

RED SHAMROCK 4 LLC
8220 SAN PEDRO DR NE 500
ALBUQUERQUE NM 87113-2476

RED SHAMROCK 4 LLC
8220 SAN PEDRO DR NE 500
ALBUQUERQUE NM 87113-2476

7019 0700 0000 6781 6743

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For delivery information, visit our website at www.usps.com®.

Albuquerque, NM 87120

OFFICIAL USE

Certified Mail Fee	\$4.00
Extra Services & Fees (check box, add fee as appropriate)	\$3.25
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00
Postage	\$0.84
Total Postage and Fees	\$8.09

Postmark Here
 32714
 USPS
 08/30/2022

Sent To
 Vista Grande - NA Dana Skaar
 Street and Apt. No., or PO Box No.
 3504 Sequoia Court NW
 City, State, ZIP+4®
 Albuquerque, NM 87120

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7019 0700 0000 6781 6774

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Albuquerque, NM 87108

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Certified Mail Fee	\$4.00
Extra Services & Fees (check box, add fee as appropriate)	\$3.25
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00
Postage	\$0.84
Total Postage and Fees	\$8.09

Postmark Here
 32714
 USPS
 08/30/2022

Sent To
 Kirtland Federal Credit Union
 Street and Apt. No., or PO Box No.
 6440 Gibson Blvd SE
 City, State, ZIP+4®
 Albuquerque, NM 87108

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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Albuquerque, NM 87120

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Certified Mail Fee	\$4.00
Extra Services & Fees (check box, add fee as appropriate)	\$3.25
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00
Postage	\$0.84
Total Postage and Fees	\$8.09

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 32714
 USPS
 08/30/2022

Sent To
 Vista Grande NA - Richard Schaefer
 Street and Apt. No., or PO Box No.
 3579 Sequoia Place NW
 City, State, ZIP+4®
 Albuquerque, NM 87120

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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Albuquerque, NM 87113

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<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00
Postage	\$0.84
Total Postage and Fees	\$8.09

Postmark Here
 32714
 USPS
 08/30/2022

Sent To
 Red Shamrock 12 LLC
 Street and Apt. No., or PO Box No.
 8220 San Pedro Dr. NE Suite 500
 City, State, ZIP+4®
 Albuquerque, NM 87113

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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\$	\$3.25
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00
Postage	\$0.84
\$	\$8.09
Total Postage and Fees	\$8.09
\$	

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 Red Shamrock 4 LLC
 Street and Apt. No., or PO Box No.
 8220 SAN PEDRO DR. NE 500
 City, State, ZIP+4®
 Albuquerque, NM 87113

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions



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PHOENIX, AZ 85016

Certified Mail Fee	\$4.00
\$	\$3.25
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00
Postage	\$0.84
\$	\$8.09
Total Postage and Fees	\$8.09
\$	

Sent To
 Levine Investments Limited Partnership
 Street and Apt. No., or PO Box No.
 280 E. Camelback Rd. Suite 450
 City, State, ZIP+4®
 Phoenix, AZ 85016

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions



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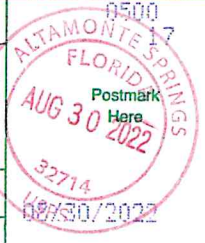
OFFICIAL USE

ALBUQUERQUE, NM 87120

Certified Mail Fee	\$4.00
\$	\$3.25
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00
Postage	\$0.84
\$	\$8.09
Total Postage and Fees	\$8.09
\$	

Sent To
 Archdiocese of Santa Fe Catholic Church Bldg
 Street and Apt. No., or PO Box No.
 4000 Saint Josephs Place NW
 City, State, ZIP+4®
 Albuquerque, NM 87120

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions





ALTAMONTE SPRINGS
321 MONTGOMERY RD
ALTAMONTE SPRINGS, FL 32714-9998
(800)275-8777

08/30/2022 01:38 PM

Product	Qty	Unit Price	Price
First-Class Mail@ Letter	1		\$0.84
Albuquerque, NM 87120 Weight: 0 lb 1.70 oz Estimated Delivery Date Sat 09/03/2022			
Certified Mail@			\$4.00
Tracking #: 70190700000067816750			
Return Receipt			\$3.25
Tracking #: 9590 9402 4705 8323 5864 03			
Total			\$8.09
First-Class Mail@ Letter	1		\$0.84
Albuquerque, NM 87120 Weight: 0 lb 1.70 oz Estimated Delivery Date Sat 09/03/2022			
Certified Mail@			\$4.00
Tracking #: 70190700000067816743			
Return Receipt			\$3.25
Tracking #: 9590 9402 4705 8323 5864 10			
Total			\$8.09
First-Class Mail@ Letter	1		\$0.84
Albuquerque, NM 87120 Weight: 0 lb 1.30 oz Estimated Delivery Date Sat 09/03/2022			
Certified Mail@			\$4.00
Tracking #: 70190700000067816767			
Return Receipt			\$3.25
Tracking #: 9590 9402 4705 8323 5863 97			
Total			\$8.09
First-Class Mail@ Letter	1		\$0.84
Albuquerque, NM 87108 Weight: 0 lb 1.30 oz Estimated Delivery Date Sat 09/03/2022			
Certified Mail@			\$4.00
Tracking #: 70190700000067816774			
Return Receipt			\$3.25
Tracking #: 9590 9402 4705 8323 5821 08			
Total			\$8.09

First-Class Mail@ Letter	1	\$0.84
Phoenix, AZ 85016 Weight: 0 lb 1.30 oz Estimated Delivery Date Tue 09/06/2022		
Certified Mail@		\$4.00
Tracking #: 70190700000067816781		
Return Receipt		\$3.25
Tracking #: 9590 9402 4705 8323 5820 92		
Total		\$8.09

First-Class Mail@ Letter	1	\$0.84
Albuquerque, NM 87113 Weight: 0 lb 1.30 oz Estimated Delivery Date Sat 09/03/2022		
Certified Mail@		\$4.00
Tracking #: 70190700000067816798		
Return Receipt		\$3.25
Tracking #: 9590 9402 4705 8323 5820 85		
Total		\$8.09

First-Class Mail@ Letter	1	\$0.84
Albuquerque, NM 87113 Weight: 0 lb 1.30 oz Estimated Delivery Date Sat 09/03/2022		
Certified Mail@		\$4.00
Tracking #: 70190700000067816804		
Return Receipt		\$3.25
Tracking #: 9590 9402 4705 8323 5820 78		
Total		\$8.09

Grand Total: \$56.63

Credit Card Remit \$56.63

Card Name: AMEX
Account #: XXXXXXXXXXX1863
Approval #: 801936
Transaction #: 572
AID: A000000025010801 Chip
AL: AMERICAN EXPRESS
PIN: Not Required

Every household in the U.S. is now eligible to receive a third set of 8 free test kits.
Go to www.covidtests.gov

Text your tracking number to 28777 (2USPS) to get the latest status. Standard Message and Data rates may apply. You may also visit www.usps.com USPS Tracking or call 1-800-222-1811.

In a hurry? Self-service kiosks offer quick and easy check-out. Any Retail Associate can show you how.

Preview your Mail

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed to a Property Owner**

Date of Notice*: August 26, 2022

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet*: Archdiocese of Santa FE Catholic Service Bldg

Mailing Address*: 4000 Saint Josephs Place NW, Albuquerque, NM 87120

Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* 4001 Coors Boulevard NW, Albuquerque, NM 87120
Location Description LT 6 PLAT OF LOTS 1 THRU 9 COORS PAVILION / LT 5 PLAT OF LOTS 1 THRU 9 COORS PAVILION
2. Property Owner* Levine Investments Limited Partnership / Red Shamrock 4 LLC
3. Agent/Applicant* *[if applicable]* Amanda Bishop; Interplan LLC c/o Chick-fil-A, Inc.
4. Application(s) Type* per IDO [Table 6-1-1](#) *[mark all that apply]*
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision _____ (Minor or Major)
 - Vacation _____ (Easement/Private Way or Public Right-of-way)
 - Variance
 - Waiver
 - Other: Major Site Plan Amendment (DRB)

Summary of project/request¹*:

Chick-fil-A, Inc. is proposing a parking lot addition needed for fire lane/escape lane to Lot 5 including a drive-through modification, an existing single lane order meal delivery canopy extension to a dual lane fulfillment with communications and transformer relocation on Lot 6.

5. This application will be decided at a public meeting or hearing by*:
 - Zoning Hearing Examiner (ZHE)
 - Development Review Board (DRB)
 - Landmarks Commission (LC)
 - Environmental Planning Commission (EPC)

¹ Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

Date/Time*: September 28, 2022 at 9:00AM (Mountain Time)

Location*²: Join Zoom Meeting: <https://cabq.zoom.us/j/81711919604>
Meeting ID: 817 1191 9604 By phone: +1 346 248 7799 or Find your local number: <https://cabq.zoom.us/u/kegTsk3nfp>

Or DRB Hearing Monitor Angela Gomez at 505-924-3946 or agomez@cabq.gov for further information.

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

- 6. Where more information about the project can be found*³:
I, Amanda Bishop, with Interplan LLC can be contacted at abishop@interplanllc.com or at 407-645-5008

Zoom Software - Please contact DRB Planner Robert Webb at 505-924-3910 or rwebb@cabq.gov

Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

- 1. Zone Atlas Page(s)*⁴ G-11-Z
- 2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant*: Attached to notice or provided via website noted above
- 3. The following exceptions to IDO standards have been requested for this project*:

Deviation(s) Variance(s) Waiver(s)

Explanation*:

- 4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#): Yes No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

- 5. **For Site Plan Applications only***, attach site plan showing, at a minimum:

- a. Location of proposed buildings and landscape areas.*
- b. Access and circulation for vehicles and pedestrians.*
- c. Maximum height of any proposed structures, with building elevations.*

² Physical address or Zoom link

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- d. **For residential development***: Maximum number of proposed dwelling units.
- e. **For non-residential development***:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information:

From the IDO Zoning Map⁵:

1. Area of Property [typically in acres] 1.16 Acres
 2. IDO Zone District G-11-Z Coors Boulevard CPO-2 - Coors Pavillion
 3. Overlay Zone(s) [if applicable] Coors Blvd Protective Overlay zone, CPO-2.
 4. Center or Corridor Area [if applicable] _____
- Current Land Use(s) [vacant, if none] Existing Chick-fil-A Drive-Through Restaurant
-

NOTE: Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

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**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed to a Property Owner**

Date of Notice*: August 26, 2022

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet*: Kirtland Federal Credit Union

Mailing Address*: 6440 Gibson Boulevard SE, Albuquerque, NM 87108

Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* 4001 Coors Boulevard NW, Albuquerque, NM 87120
Location Description LT 6 PLAT OF LOTS 1 THRU 9 COORS PAVILION / LT 5 PLAT OF LOTS 1 THRU 9 COORS PAVILION
2. Property Owner* Levine Investments Limited Partnership / Red Shamrock 4 LLC
3. Agent/Applicant* *[if applicable]* Amanda Bishop; Interplan LLC c/o Chick-fil-A, Inc.
4. Application(s) Type* per IDO [Table 6-1-1](#) *[mark all that apply]*
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision _____ (Minor or Major)
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 - Variance
 - Waiver
 - Other: Major Site Plan Amendment (DRB)

Summary of project/request¹*:

Chick-fil-A, Inc. is proposing a parking lot addition needed for fire lane/escape lane to Lot 5 including a drive-through modification, an existing single lane order meal delivery canopy extension to a dual lane fulfillment with communications and transformer relocation on Lot 6.

5. This application will be decided at a public meeting or hearing by*:
 - Zoning Hearing Examiner (ZHE)
 - Development Review Board (DRB)
 - Landmarks Commission (LC)
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¹ Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

Date/Time*: September 28, 2022 at 9:00AM (Mountain Time)

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Meeting ID: 817 1191 9604 By phone: +1 346 248 7799 or Find your local number: <https://cabq.zoom.us/u/kegTsk3nfp>
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Zoom Software - Please contact DRB Planner Robert Webb at 505-924-3910 or rwebb@cabq.gov

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- 1. Zone Atlas Page(s)*⁴ G-11-Z
- 2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant*: Attached to notice or provided via website noted above
- 3. The following exceptions to IDO standards have been requested for this project*:

Deviation(s) Variance(s) Waiver(s)

Explanation*:

- 4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#): Yes No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

- 5. **For Site Plan Applications only***, attach site plan showing, at a minimum:

- a. Location of proposed buildings and landscape areas.*
- b. Access and circulation for vehicles and pedestrians.*
- c. Maximum height of any proposed structures, with building elevations.*

² Physical address or Zoom link

³ Address (mailing or email), phone number, or website to be provided by the applicant

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[Note: Items with an asterisk (*) are required.]

- d. **For residential development***: Maximum number of proposed dwelling units.
- e. **For non-residential development***:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information:

From the IDO Zoning Map⁵:

1. Area of Property [typically in acres] 1.16 Acres
 2. IDO Zone District G-11-Z Coors Boulevard CPO-2 - Coors Pavillion
 3. Overlay Zone(s) [if applicable] Coors Blvd Protective Overlay zone, CPO-2.
 4. Center or Corridor Area [if applicable] _____
- Current Land Use(s) [vacant, if none] Existing Chick-fil-A Drive-Through Restaurant
-

NOTE: Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

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**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed to a Property Owner**

Date of Notice*: August 26, 2022

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet*: Levine Investments Limited Partnership

Mailing Address*: 2801 East Camelback Road, Suite 450, Phoenix, AZ 85016

Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* 4001 Coors Boulevard NW, Albuquerque, NM 87120
Location Description LT 6 PLAT OF LOTS 1 THRU 9 COORS PAVILION / LT 5 PLAT OF LOTS 1 THRU 9 COORS PAVILION
2. Property Owner* Levine Investments Limited Partnership / Red Shamrock 4 LLC
3. Agent/Applicant* *[if applicable]* Amanda Bishop; Interplan LLC c/o Chick-fil-A, Inc.
4. Application(s) Type* per IDO [Table 6-1-1](#) *[mark all that apply]*
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision _____ (Minor or Major)
 - Vacation _____ (Easement/Private Way or Public Right-of-way)
 - Variance
 - Waiver
 - Other: Major Site Plan Amendment (DRB)

Summary of project/request¹*:

Chick-fil-A, Inc. is proposing a parking lot addition needed for fire lane/escape lane to Lot 5 including a drive-through modification, an existing single lane order meal delivery canopy extension to a dual lane fulfillment with communications and transformer relocation on Lot 6.

5. This application will be decided at a public meeting or hearing by*:
 - Zoning Hearing Examiner (ZHE)
 - Development Review Board (DRB)
 - Landmarks Commission (LC)
 - Environmental Planning Commission (EPC)

¹ Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

Date/Time*: September 28, 2022 at 9:00AM (Mountain Time)

Location*²: Join Zoom Meeting: <https://cabq.zoom.us/j/81711919604>
Meeting ID: 817 1191 9604 By phone: +1 346 248 7799 or Find your local number: <https://cabq.zoom.us/u/kegTsk3nfp>
Or DRB Hearing Monitor Angela Gomez at 505-924-3946 or agomez@cabq.gov for further information.

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

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- 6. Where more information about the project can be found*³:
I, Amanda Bishop, with Interplan LLC can be contacted at abishop@interplanllc.com or at 407-645-5008

Zoom Software - Please contact DRB Planner Robert Webb at 505-924-3910 or rwebb@cabq.gov

Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

- 1. Zone Atlas Page(s)*⁴ G-11-Z
- 2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant*: Attached to notice or provided via website noted above
- 3. The following exceptions to IDO standards have been requested for this project*:

Deviation(s) Variance(s) Waiver(s)

Explanation*:

- 4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#): Yes No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

- 5. **For Site Plan Applications only***, attach site plan showing, at a minimum:

- a. Location of proposed buildings and landscape areas.*
- b. Access and circulation for vehicles and pedestrians.*
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² Physical address or Zoom link

³ Address (mailing or email), phone number, or website to be provided by the applicant

⁴ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

- d. **For residential development***: Maximum number of proposed dwelling units.
- e. **For non-residential development***:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information:

From the IDO Zoning Map⁵:

1. Area of Property [typically in acres] 1.16 Acres
 2. IDO Zone District G-11-Z Coors Boulevard CPO-2 - Coors Pavillion
 3. Overlay Zone(s) [if applicable] Coors Blvd Protective Overlay zone, CPO-2.
 4. Center or Corridor Area [if applicable] _____
- Current Land Use(s) [vacant, if none] Existing Chick-fil-A Drive-Through Restaurant
-

NOTE: Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

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**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed to a Property Owner**

Date of Notice*: August 26, 2022

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet*: Red Shamrock 4 LLC

Mailing Address*: 8220 San Pedro Drive NE, Suite 500, Albuquerque, NM87113-2476

Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* 4001 Coors Boulevard NW, Albuquerque, NM 87120
Location Description LT 6 PLAT OF LOTS 1 THRU 9 COORS PAVILION / LT 5 PLAT OF LOTS 1 THRU 9 COORS PAVILION
2. Property Owner* Levine Investments Limited Partnership / Red Shamrock 4 LLC
3. Agent/Applicant* [if applicable] Amanda Bishop; Interplan LLC c/o Chick-fil-A, Inc.
4. Application(s) Type* per IDO [Table 6-1-1](#) [mark all that apply]
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision _____ (Minor or Major)
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 - Variance
 - Waiver
 - Other: Major Site Plan Amendment (DRB)

Summary of project/request¹*:

Chick-fil-A, Inc. is proposing a parking lot addition needed for fire lane/escape lane to Lot 5 including a drive-through modification, an existing single lane order meal delivery canopy extension to a dual lane fulfillment with communications and transformer relocation on Lot 6.

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 - Zoning Hearing Examiner (ZHE)
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¹ Attach additional information, as needed to explain the project/request.

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Date/Time*: September 28, 2022 at 9:00AM (Mountain Time)

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Or DRB Hearing Monitor Angela Gomez at 505-924-3946 or agomez@cabq.gov for further information.

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

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6. Where more information about the project can be found*³:
I, Amanda Bishop, with Interplan LLC can be contacted at abishop@interplanllc.com or at 407-645-5008

Zoom Software - Please contact DRB Planner Robert Webb at 505-924-3910 or rwebb@cabq.gov

Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

1. Zone Atlas Page(s)*⁴ G-11-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project*:

Deviation(s) Variance(s) Waiver(s)

Explanation*:

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#): Yes No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

5. **For Site Plan Applications only***, attach site plan showing, at a minimum:

- a. Location of proposed buildings and landscape areas.*
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Additional Information:

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1. Area of Property [typically in acres] 1.16 Acres
 2. IDO Zone District G-11-Z Coors Boulevard CPO-2 - Coors Pavillion
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 4. Center or Corridor Area [if applicable] _____
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Date of Notice*: August 26, 2022

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet*: Red Shamrock 12 LLC

Mailing Address*: 8220 San Pedro Drive NE, Suite 500, Albuquerque, NM87113-2476

Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* 4001 Coors Boulevard NW, Albuquerque, NM 87120
Location Description LT 6 PLAT OF LOTS 1 THRU 9 COORS PAVILION / LT 5 PLAT OF LOTS 1 THRU 9 COORS PAVILION
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4. Application(s) Type* per IDO [Table 6-1-1](#) [mark all that apply]
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Summary of project/request¹*:

Chick-fil-A, Inc. is proposing a parking lot addition needed for fire lane/escape lane to Lot 5 including a drive-through modification, an existing single lane order meal delivery canopy extension to a dual lane fulfillment with communications and transformer relocation on Lot 6.

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Explanation*:

- 4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#): Yes No

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- b. Access and circulation for vehicles and pedestrians.*
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Additional Information:

From the IDO Zoning Map⁵:

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SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from November 11, 2022 To November 30, 2022

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

Amanda Bishop Agent 10/21/2022
(Applicant or Agent) (Date)

I issued _____ signs for this application, _____, _____
(Date) (Staff Member)

PROJECT NUMBER: CFA# 4107 Coors Boulevard

SITE PLAN CHECKLIST

4001 Coors Boulevard NW, Albuquerque, NM 87120

Project #: CFA# 4107 Coors Boulevard Application #: _____

This checklist will be used to verify the completeness of site plans submitted for review by the Planning Department. **Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Also there may additional requirements if a site is located in CPO, HPO, and/or VPO or if located in DT-UC-MS or PT areas. See the IDO or AGIS for boundaries.** Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

I CERTIFY THAT THE SUBMITTED SITE PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.

10/21/2022

Applicant or Agent Signature / Date

Site plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. Site Plan (including utilities and easements)
2. Landscaping Plan
3. Grading and Drainage Plan
4. Utility Plan
5. Building and Structure Elevations
6. Previously approved Development Plan (if applicable)

The electronic format must be organized in the above manner.

The following checklist describes the minimum information necessary for each plan element. **The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A."** Each non-applicable designation must be explained by notation on the Checklist.

NOTE: There may be addition information required if site is located with a CPO, VPO or HPO and/or any other special areas as defined by the IDO.

NOTE: If there requests for deviations (Section 14-16-6-4(O), they must be clearly labelled on the site plan (Sheet 1) as well as addressed in the application letter made with the submittal.

SHEET #1 - SITE PLAN

A. General Information

- ___ 1. Date of drawing and/or last revision
- ___ 2. Scale: 1.0 acre or less 1" = 10'
1.0 - 5.0 acres 1" = 20'
Over 5 acres 1" = 50'
Over 20 acres 1" = 100'

SITE PLAN CHECKLIST

- 3. Bar scale
- 4. North arrow
- 5. Legend
- 6. Scaled vicinity map
- 7. Property lines (clearly identify)
- 8. Existing and proposed easements (identify each)
- 9. Phases of development, if applicable

B. Proposed Development

1. Structural

- A. Location of existing and proposed structures (distinguish between existing & proposed) and include any accessory structures
- B. Square footage of each structure
- C. Proposed use of each structure
- D. Signs (freestanding) and other improvements
- E. Walls, fences, and screening: indicate height, length, color and materials
- F. Dimensions of all principal site elements or typical dimensions
- G. Loading facilities
- H. Site lighting (indicate height & fixture type)
- I. Indicate structures within 20 feet of site
- J. Elevation drawing of refuse container and enclosure, if applicable.
- K. Existing zoning/land use of all abutting properties

2. Parking, Loading and Internal Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
 - 1. Location and typical dimensions, including motorcycle spaces, bicycle spaces, ADA accessible spaces, and compact spaces
 - 2. Calculations: spaces required and proposed (include any reduction calculations) for motorcycle, bicycle, compact and ADA spaces
 - 3. On street parking spaces
- B. Bicycle parking & facilities
 - 1. Bicycle racks – location and detail
 - 2. Other bicycle facilities, if applicable
- C. Vehicular Circulation (Refer to DPM and IDO)
 - 1. Ingress and egress locations, including width and curve radii dimensions
 - 2. Drive aisle locations, including width and curve radii dimensions
 - 3. End aisle locations, including width and curve radii dimensions
 - 4. Location & orientation of refuse enclosure, with dimensions
 - 5. Loading, service area, and refuse service locations and dimensions
- D. Pedestrian Circulation
 - 1. Location and dimensions of all sidewalks and pedestrian paths (including ADA connection from ROW to building and from ADA parking to building)

SITE PLAN CHECKLIST

- 2. Location and dimension of drive aisle crossings, including paving treatment
- 3. Location and description of amenities, including patios, benches, tables, etc.
- E. Off-Street Loading
 - 1. Location and dimensions of all off-street loading areas
- F. Vehicle Stacking and Drive-Through or Drive-Up Facilities
 - 1. Location and dimensions of vehicle stacking spaces and queuing lanes
 - 2. Landscaped buffer area if drive-through lanes are adjacent to public R/W
 - 3. Striping and Sign details for one-way drive through facilities

3. Streets and Circulation

- A. Locate and identify adjacent public and private streets and alleys.
 - 1. Existing and proposed pavement widths, right-of-way widths and curve radii
 - 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
 - 3. Location of traffic signs and signals related to the functioning of the proposal
 - 4. Identify existing and proposed medians and median cuts
 - 5. Sidewalk widths and locations, existing and proposed
 - 6. Location of street lights
 - 7. Show and dimension clear sight triangle at each site access point
 - 8. Show location of all existing driveways fronting and near the subject site.
- B. Identify Alternate transportation facilities within site or adjacent to site
 - 1. Bikeways and bike-related facilities
 - 2. Pedestrian trails and linkages
 - 3. Transit facilities, including routes, bus bays and shelters existing or required

4. Phasing

- A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

SHEET #2 - LANDSCAPING PLAN

- 1. Scale - must be same as scale on sheet #1 - Site plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Identify nature of ground cover materials
 - A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
 - B. Pervious areas (planting beds, gravel areas, grass, ground cover vegetation, etc.)
 - C. Ponding areas either for drainage or landscaping/recreational use

SITE PLAN CHECKLIST

- ✓ 7. Identify type, location and size of plantings (common and/or botanical names).
 - ✓ A. Existing, indicating whether it is to be preserved or removed.
 - ✓ B. Proposed, to be established for general landscaping.
 - ✓ C. Proposed, to be established for screening/buffering.
- ✓ 8. Describe irrigation system – Phase I & II . . .
- ✓ 9. Planting Beds, indicating square footage of each bed
- ✓ 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- ✓ 11. Responsibility for Maintenance (statement)
- ✓ 12. Landscaped area requirement; square footage and percent (specify clearly on plan)
- ✓ 13. Landscaped buffer areas provided; dimensions, label clearly that it is a landscape buffer, square footage and percent (specify clearly on plan)
- ✓ 14. Planting or tree well detail
- ✓ 15. Street Trees (only trees from the Official Albuquerque Plant Palette and Sizing list or 8 inch caliper or larger will be counted)
- ✓ 16. Parking lot edges and interior – calculations, dimensions and locations including tree requirements
- ✓ 17. Show Edge Buffer Landscaping (14-16-5-6(D)) – location, dimensions and plant material

SHEET #3 –GRADING AND DRAINAGE PLAN

A separate grading and drainage plan (and drainage report) must be submitted to the DRS Hydrology Section prior to the DRB submittal for a site plan (See DRWS Form).

A. General Information

- ✓ 1. Scale - must be same as Sheet #1 - Site Plan
- ✓ 2. Bar Scale
- ✓ 3. North Arrow
- ✓ 4. Property Lines
- ✓ 5. Existing and proposed easements
- ✓ 6. Building footprints
- ✓ 7. Location of Retaining walls

B. Grading Information

- ✓ 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- ✓ 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- ✓ 3. Identify ponding areas, erosion and sediment control facilities.
- ✓ 4. Cross Sections
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

SITE PLAN CHECKLIST

SHEET #4- UTILITY PLAN

- ✓ A. Fire hydrant locations, existing and proposed. (or submit signed off Fire One Plan)
- ✓ B. Distribution lines
- ✓ C. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- ✓ D. Existing water, sewer, storm drainage facilities (public and/or private).
- ✓ E. Proposed water, sewer, storm drainage facilities (public and/or private)
- ✓ F. Existing electric lines both overhead and underground. Power Poles shown with dimensions to proposed buildings and structures must be clearly shown.

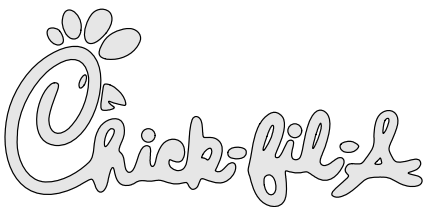
SHEET #5 - BUILDING AND STRUCTURE ELEVATIONS

A. General Information

- ✓ A. Scale
- ✓ B. Bar Scale
- ✓ C. Detailed Building Elevations for each facade
 - ✓ 1. Identify facade orientation
 - ✓ 2. Dimensions of facade elements, including overall height and width
 - ✓ 3. Location, material and colors of windows, doors and framing
 - ✓ 4. Materials and colors of all building elements and structures
 - ✓ 5. Location and dimensions of mechanical equipment (roof and/or ground mounted)

B. Building Mounted Signage

- ✓ 1. Site location(s)
- ✓ 2. Sign elevations to scale
- ✓ 3. Dimensions, including height and width
- ✓ 4. Sign face area - dimensions and square footage clearly indicated
- ✓ 5. Lighting
- ✓ 6. Materials and colors for sign face and structural elements.
- ✓ 7. List the sign restrictions per the IDO



COORS BLVD AND ST. JOSEPHS DRIVE ALBUQUERQUE, NM

INDEX OF DRAWINGS

C 0.1	DEMOLITION PLAN
C 1.0	SITE DIMENSION PLAN
C 1.1	TRAFFIC CIRCULATION LAYOUT
C 2.0	SITE GRADING PLAN
C 3.0	SITE UTILITY PLAN
C 4.0	DETAILS
L -1	LANDSCAPE PLAN

UTILITY DISCLAIMER

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND / OR ELEVATIONS OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

NOTICE TO CONTRACTOR

ALL CONTRACTORS AND SUBCONTRACTORS PERFORMING WORK SHOWN ON OR RELATED TO THESE PLANS SHALL CONDUCT THEIR OPERATIONS SO THAT ALL EMPLOYEES ARE PROVIDED A SAFE PLACE TO WORK AND THE PUBLIC IS PROTECTED. ALL CONTRACTORS AND SUBCONTRACTORS SHALL COMPLY WITH THE OCCUPATIONAL SAFETY AND HEALTH REGULATIONS OF THE U.S. DEPARTMENT OF LABOR AND THE STATE OF UTAH DEPARTMENT OF INDUSTRIAL RELATIONS CONSTRUCTION SAFETY ORDERS. THE CIVIL ENGINEER SHALL NOT BE RESPONSIBLE IN ANY WAY FOR THE CONTRACTORS AND SUBCONTRACTORS COMPLIANCE WITH SAID REGULATIONS AND ORDERS.

CONTRACTOR FURTHER AGREES TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB-SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE CIVIL ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.

NOTICE TO DEVELOPER/ CONTRACTOR

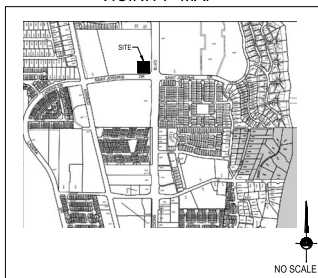
UNAPPROVED DRAWINGS REPRESENT WORK IN PROGRESS, ARE SUBJECT TO CHANGE, AND DO NOT CONSTITUTE A FINISHED ENGINEERING PRODUCT. ANY WORK UNDERTAKEN BY DEVELOPER OR CONTRACTOR BEFORE PLANS ARE APPROVED IS UNDERSTOOD AT THE SOLE RISK OF THE DEVELOPER, INCLUDING BUT NOT LIMITED TO BIDS, ESTIMATION, FRANCHISING, BIDDING, SITE CLEARING, GRADING, INFRASTRUCTURE CONSTRUCTION, ETC.

OWNER

CONTACT
MAGGIE NUCKOLS
17877 VON KARMAN AVE, SUITE 500
IRVINE, CA 92614
PHONE: 602-741-5695



VICINITY MAP



GENERAL NOTES

1. ALL WORK SHALL CONFORM WITH ALBUQUERQUE CITY, AND CHOK-FIL-A STANDARDS & SPECIFICATIONS.
2. CALL NMOC 48 HOURS PRIOR TO DIGGING.
3. CONTROL POINT: 60D N&E, WITH ALUMINUM DISK STAMPED "SURV-TEK CONTROL" N=1,502,746.35' E=1,505,788.87' ELEV = 5116.09'
4. CONTRACTOR SHALL FIELD VERIFY LOCATIONS OF ALL EXISTING UTILITIES BEFORE CONSTRUCTING ANY IMPROVEMENTS.

ENGINEER/SURVEYOR:



SALT LAKE CITY
421 W. 1000 S., SUITE 301
SALT LAKE UT 84119
PHONE: 801.255.0025
FAX: 801.255.4449
WWW.ENSIGNUTAH.COM

LAYTON
1210 W. 1500 S., SUITE 1100
LAYTON UT 84040
PHONE: 801.255.0580
FAX: 801.255.4449

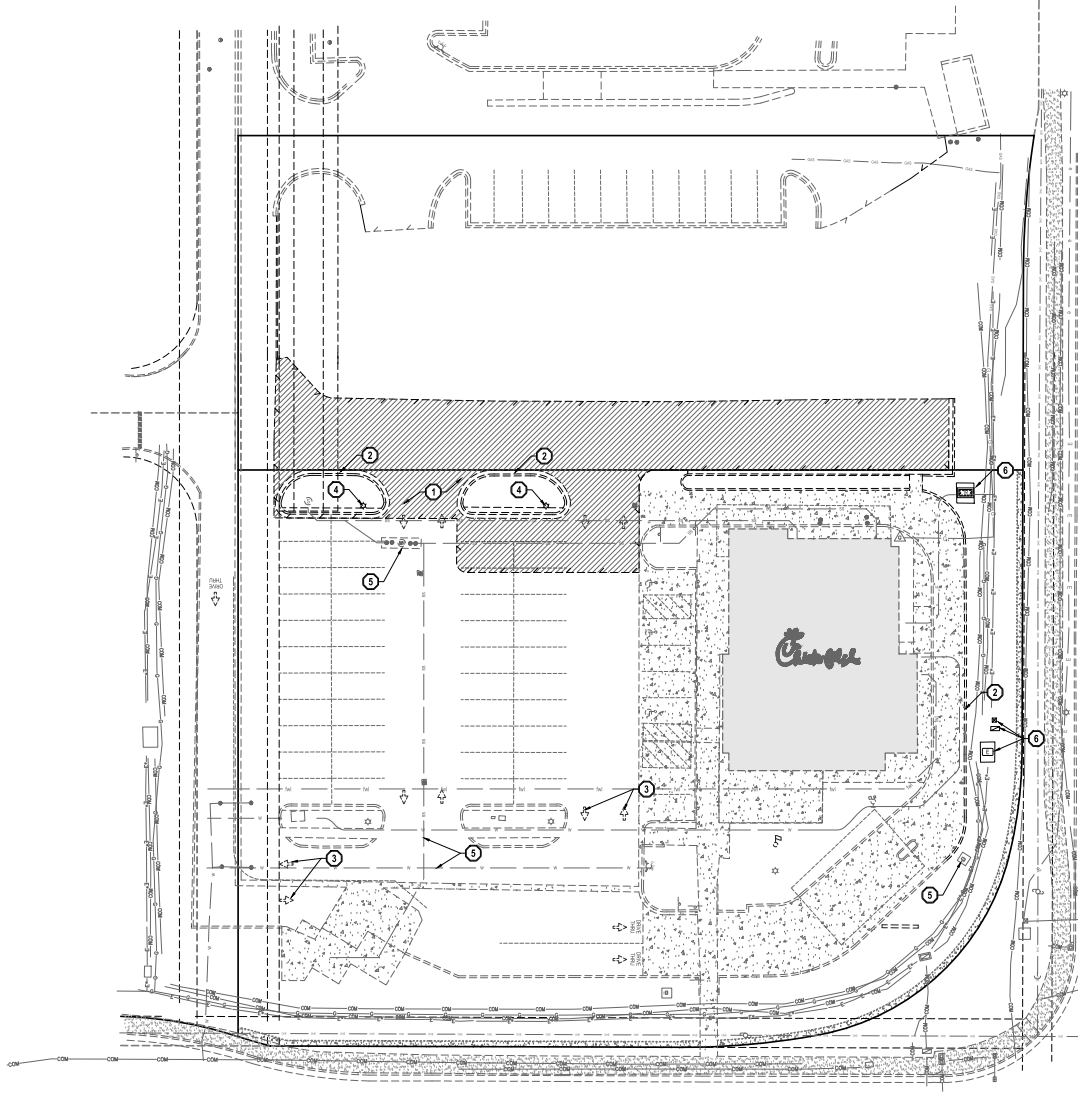
CEAR CITY
PHONE: 435.965.1453

CHICK-FIL-A #04107 COORS DRIVE THRU EXPANSION

OCTOBER, 2022

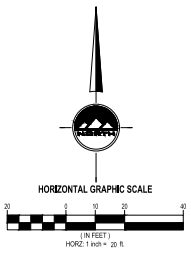


811
 CALL BLUESTONES
 @ 811 AT LEAST 48 HOURS
 PRIOR TO THE
 COMMENCEMENT OF ANY
 CONSTRUCTION.
 Know what's below.
 Call before you dig.



- LEGEND**
- EXIST WATER METER
 - ⊗ EXIST WATER VALVE
 - ⊗ EXIST FIRE HYDRANT
 - ⊗ EXIST IRRIGATION VALVE
 - ⊗ EXIST SANITARY SEWER MANHOLE
 - ⊗ EXIST SIGN
 - ⊗ EXIST UTILITY POLE
 - ⊗ EXIST TREE
 - ⊗ EXISTING 3" CURB AND GUTTER
 - EXIST FENCE
 - EXIST EDGE OF ASPHALT
 - EXIST SANITARY SEWER
 - EXIST WATER LINE
 - EXIST IRRIGATION LINE
 - SAW CUT LINE

- SCOPE OF WORK:**
 PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:
- 1 REMOVE EXISTING ASPHALT PAVING.
 - 2 REMOVE EXISTING CURB AND GUTTER.
 - 3 REMOVE EXISTING STRIPING AND ARROWS.
 - 4 REMOVE EXISTING LIGHT.
 - 5 PROTECT EXISTING UTILITIES, SEWER, STORM DRAIN, CURBING, ETC. IN PLACE.
 - 6 REMOVE AND RELOCATE EXISTING UTILITIES.



CHICK-FIL-1
 5200 Buffington Rd.
 Atlanta Georgia,
 30349-2998

Revisions:

Mark	Date	By
△		
△		
△		

Seal

SALT LAKE CITY
 45 W. 1000 S., Suite 500
 Sandy, UT 84070
 Phone: 801.255.0529
 Fax: 801.255.4449
 WWW.ENSIGNENG.COM

STORE
 CHICK-FIL-A
 FSU #04107
 COORS BLVD.

COORS BLVD NW & ST.
 JOSEPHS DR NW
 ALBUQUERQUE, NM
 87120

SHEET TITLE
 DEMOLITION
 PLAN

VERSION:
 ISSUE DATE:

Job No. : 11274
 Store : 04107
 Date : 10/24/22
 Drawn By : MM
 Checked By : DJ

Sheet
C-01



PROJECT NUMBER: _____

Application Number: _____

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

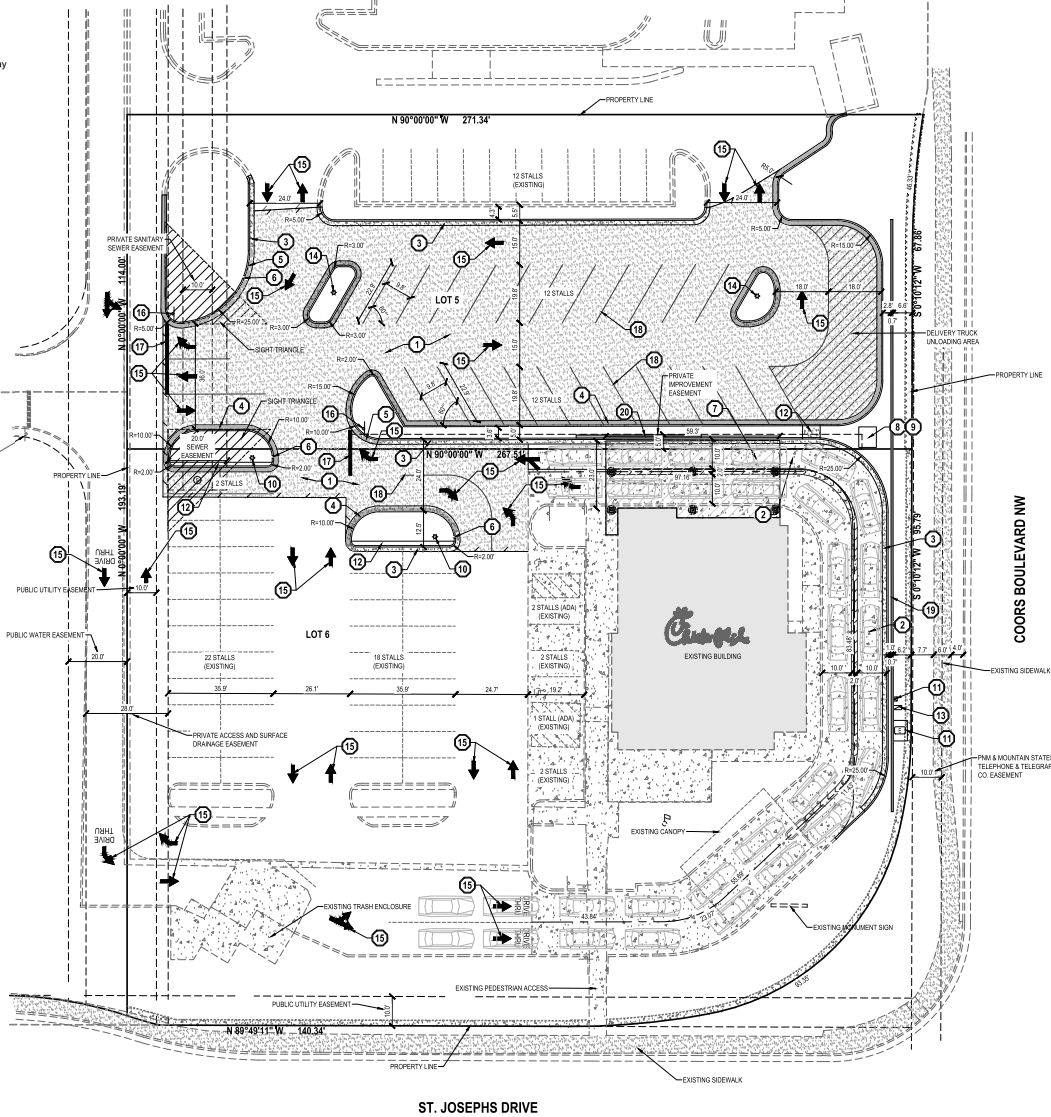
Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRPC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

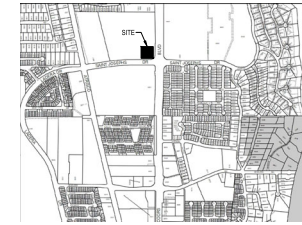
Traffic Engineering, Transportation Division	Date _____
ABCWUA	Date _____
Parks and Recreation Department	Date _____
City Engineer/Hydrology	Date _____
Code Enforcement	Date _____
Environmental Health Department (conditional)	Date _____
Solid Waste Management	Date _____
DRB Chairperson, Planning Department	Date _____

*Environmental Health, if necessary

216118



VICINITY MAP



GENERAL NOTES

1. ALL WORK TO COMPLY WITH THE GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
2. ALL IMPROVEMENTS MUST COMPLY WITH ADA STANDARDS AND RECOMMENDATIONS.
3. SEE LANDSCAPE/ARCHITECTURAL PLANS FOR CONCRETE MATERIAL, COLOR, FINISH, AND SCORE PATTERNS THROUGHOUT SITE.
4. ALL PAVEMENT MARKINGS SHALL CONFORM TO THE LATEST EDITION OF THE MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES).
5. ALL SURFACE IMPROVEMENTS DISTURBED BY CONSTRUCTION SHALL BE RESTORED OR REPLACED, INCLUDING TREES AND DECORATIVE SURFACES, SOIL, FENCES, WALLS AND STRUCTURES, WHETHER OR NOT THEY ARE SPECIFICALLY SHOWN ON THE CONTRACT DOCUMENTS.
6. NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING CONCRETE OR ASPHALT.
7. THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.

SCOPE OF WORK:

- PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:
1. PROPOSED ASPHALT PAVEMENT. SEE DETAIL 11C-0.
 2. CONCRETE PAVEMENT DRIVE-THRU. SEE DETAIL 21C-0.
 3. 24" CATCHING CURB AND GUTTER PER DETAIL 31C-0.
 4. 24" SPILLING CURB AND GUTTER PER DETAIL 31C-0.
 5. TRANSITION BETWEEN CATCHING AND SPILLING CURB AND GUTTER.
 6. CURB OPENING.
 7. PROPOSED CANOPY. SEE ARCHITECTURAL DRAWINGS.
 8. CONCRETE PAD FOR ELECTRICAL EQUIPMENT. SEE ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.
 9. RELOCATED ELECTRICAL TRANSFORMER. SEE ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.
 10. RELOCATED LIGHT POLE. SEE ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.
 11. RELOCATED ELECTRICAL EQUIPMENT. SEE ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.
 12. CONCRETE SIDEWALK. SEE DETAIL 41C-0.
 13. RELOCATED COMMUNICATIONS EQUIPMENT. COORDINATE WITH SERVICE PROVIDER.
 14. PROPOSED LIGHT POLE. SEE ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.
 15. PAINTED LANE-USE ARROWS. SEE DETAIL 51C-0.
 16. "STOP" AND "RIGHT TURN ONLY" SIGN COMBO PER MUTCD STANDARDS.
 17. 12" SOLID STOP BAR.
 18. 4" WIDE SOLID PAVEMENT MARKING PER PARKING LOT STRIPING SPECIFICATIONS. SEE 61C-0.
 19. 8" WIDE RETAINING / SCREEN WALL PER DETAIL 21C-2.0. SEE GRADING PLAN FOR ELEVATIONS.
 20. LANDSCAPE WALL. SEE GRADING PLAN FOR ELEVATIONS.

PARKING DATA TABLE	
EXISTING STALLS TO BE REMOVED	4
PROPOSED STALLS	25
EXISTING STALLS (TO REMAIN)	41
EXISTING ADA STALLS (TO REMAIN)	3
TOTAL STALLS	73

LEGEND

- EXISTING BOLLARD
- PROPOSED BOLLARD
- EXISTING SIGN
- PROPOSED SIGN
- EXISTING FLAG POLE
- EXISTING EDGE OF ASPHALT
- PROPOSED EDGE OF ASPHALT
- EXISTING STRIPING
- PROPOSED STRIPING
- EXISTING WALL
- PROPOSED WALL
- EXISTING CURB AND GUTTER
- PROPOSED CURB AND GUTTER
- PROPOSED REVERSE PAN CURB AND GUTTER
- TRANSITION TO REVERSE PAN CURBS
- EXISTING CONCRETE
- PROPOSED CONCRETE
- EXISTING BUILDING
- EXISTING MONUMENT SIGN

5200 Buffington Rd.
Atlanta Georgia,
30349-2995

Revisions:

Mark	Date	By
△		
△		
△		
△		

Seal

SALT LAKE CITY
45 W. 1000 S., Suite 500
Sandy, UT 84070
Phone: 801.255.0529
Fax: 801.255.4449

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STORE
CHICK-FIL-A
FSU #04107
COORS BLVD.

COORS BLVD NW & ST. JOSEPHS DR NW
ALBUQUERQUE, NM 87120

SHEET TITLE
SITE PLAN

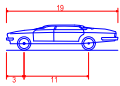
VERSION:
ISSUE DATE:

Job No. : .11274
Store : .04107
Date : 10/24/22
Drawn By : MM
Checked By : DJ

Sheet

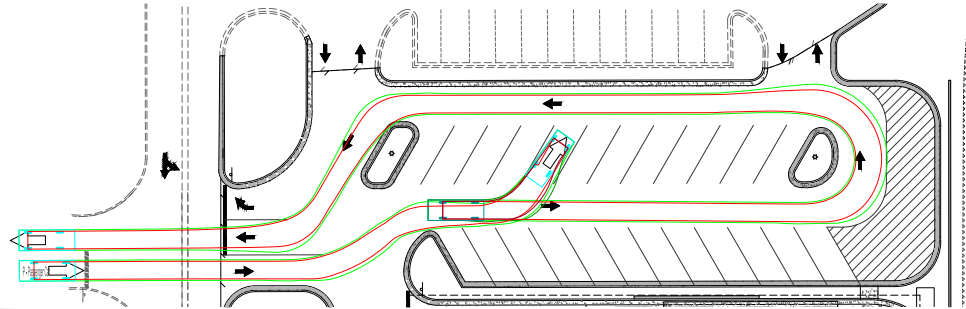
C-I-O

PASSENGER CAR

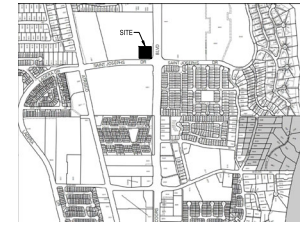


P - Passenger Car
 Overall Length 19.000ft
 Overall Width 7.000ft
 Overall Body Height 4.300ft
 Min Body Ground Clearance 1.115ft
 Track Width 6.000ft
 Lock-to-lock time 4.00s
 Max Steering Angle (Virtual) 31.60°

19.000ft
 7.000ft
 4.300ft
 1.115ft
 6.000ft
 4.00s
 31.60°



VICINITY MAP



Chick-fil-A

5200 Buffington Rd.
 Atlanta Georgia,
 30349-2995

Revisions:

Mark Date By

△ _____

Mark Date By

△ _____

Mark Date By

△ _____

Seal



SALT LAKE CITY
 45 W. 1000 S., Suite 500
 Sandy, UT 84070
 Phone: 801.255.0529
 Fax: 801.255.4449

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STORE
 CHICK-FIL-A
 FSU #04107
 COORS BLVD.
 COORS BLVD NW & ST.
 JOSEPHS DR NW
 ALBUQUERQUE, NM
 87120

SHEET TITLE
 TRAFFIC
 CIRCULATION
 LAYOUT

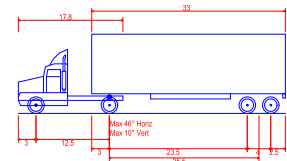
VERSION:
 ISSUE DATE:

Job No. : _11274_
 Store : _04107_
 Date : _10/24/22_
 Drawn By : _MM_
 Checked By : _DJ_

Sheet

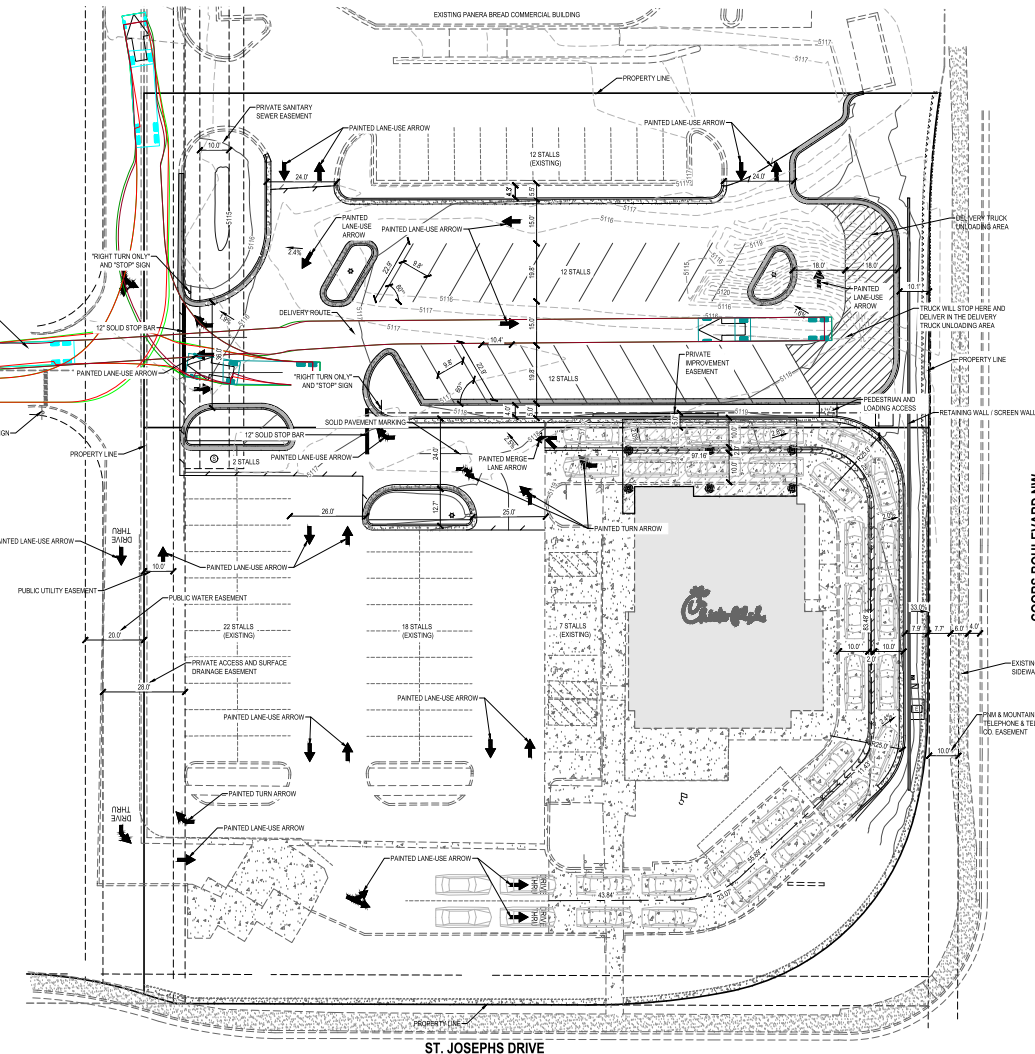
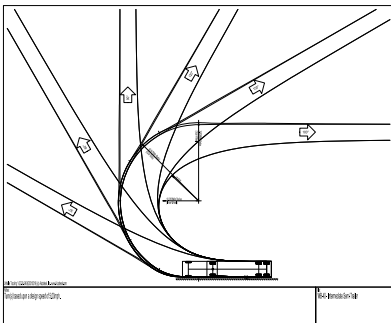


DELIVERY TRUCK



WB-40 - Intermediate Semi-Trailer
 Overall Length 45.49ft
 Overall Width 13.50ft
 Overall Body Height 8.00ft
 Min Body Ground Clearance 1.34ft
 Track Width 8.00ft
 Lock-to-lock time 4.00s
 Max Steering Angle (Virtual) 20.30°

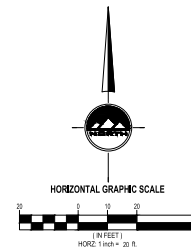
45.49ft
 13.50ft
 8.00ft
 1.34ft
 8.00ft
 4.00s
 20.30°



PARKING DATA TABLE	
EXISTING STALLS TO BE REMOVED	4
PROPOSED STALLS	20
EXISTING STALLS (TO REMAIN)	44
EXISTING ADA STALLS (TO REMAIN)	3
TOTAL STALLS	73

LEGEND

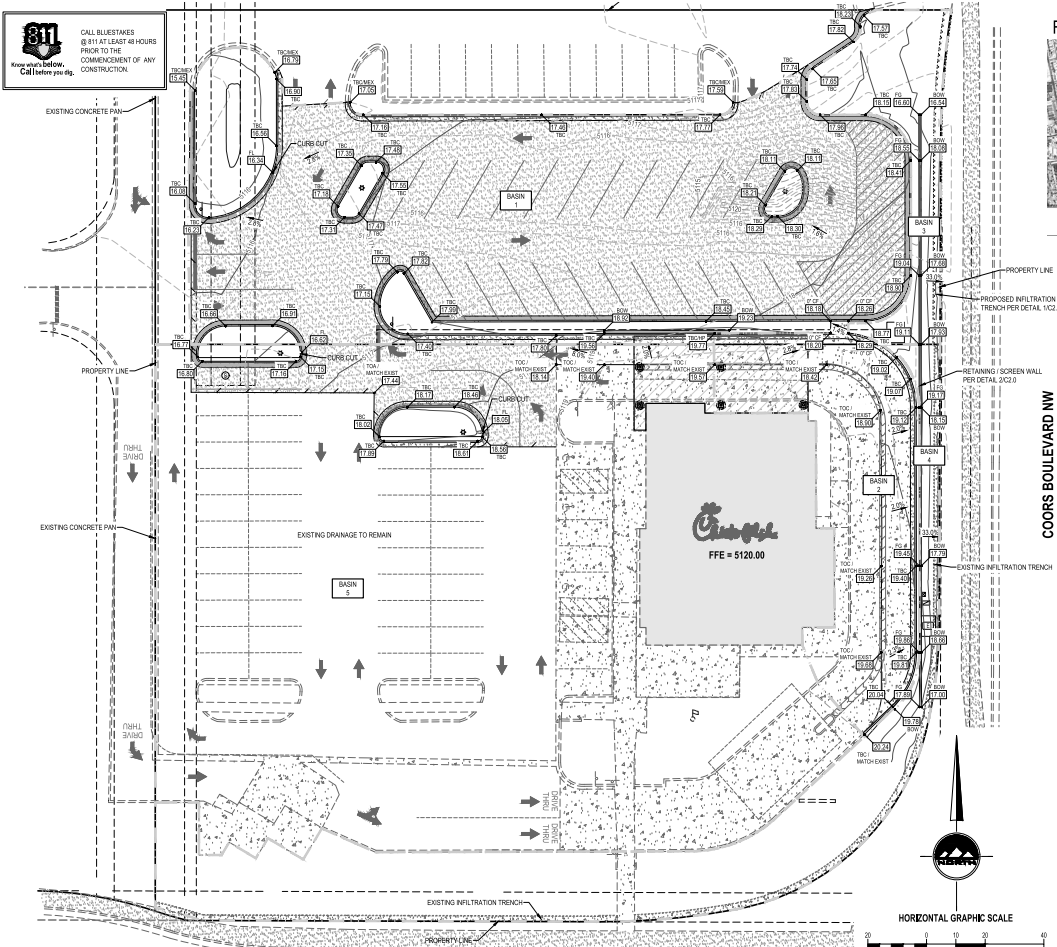
- EXISTING BOLLARD
- PROPOSED BOLLARD
- EXISTING SIGN
- PROPOSED SIGN
- EXISTING FLAG POLE
- EXISTING EDGE OF ASPHALT
- PROPOSED EDGE OF ASPHALT
- EXISTING STRIPING
- PROPOSED STRIPING
- EXISTING WALL
- PROPOSED ASPHALT
- EXISTING CURB AND GUTTER
- PROPOSED CURB AND GUTTER
- PROPOSED REVERSE PAV CURB AND GUTTER
- TRANSITION TO REVERSE PAV CURB
- EXISTING CONCRETE
- PROPOSED CONCRETE
- EXISTING BUILDING
- EXISTING MONUMENT SIGN



ST. JOSEPHS DRIVE

COORS BOULEVARD NW

811
CALL BLUESTAKES
(811) AT LEAST 48 HOURS
PRIOR TO THE
COMMENCEMENT OF ANY
CONSTRUCTION.
Know what's below.
Call before you dig.



SWQV - BASIN 4 (UPDATED)	
IMPERVIOUS AREA	34827
REQUIRED VOLUME	987
PROVIDED VOLUME (CU FT.) IN DEVELOPMENT POND	1289

REQUIRED SWQV - BASIN 1 AND 3	
IMPERVIOUS AREA (SQ. FT.)	21402
REQUIRED VOLUME (CU FT.)	749.07
PROVIDED VOLUME (CU FT.) IN DEVELOPMENT POND	778

CURB OPENING / WEIR	
PROPOSED LENGTH (FT)	2.7
DEPTH (FT)	1
DISCHARGE, Q (CFS)	0.5
	0.95

BASIN 2 - INFILTRATION TRENCH	
REQUIRED VOLUME (CU FT.)	147
LENGTH (FT)	114
AREA (SQ. FT.)	4
VOID RATIO	0.4
VOLUME PROVIDED (CU FT.)	182.4

$ReqVolume = Impervious\ area * (0.44 - 0.10)/12$
As calculated in original development
 $ReqVolume = (34827 * (0.44-0.10)/12) = 987$

$ReqVolume = Impervious\ area * (0.42)/12$
Section 6-12
 $ReqVolume = (21402 * (0.42)/12) = 749$

$Q = CLH^{3/2}$ Section 6-16(A), Equation 6.64
 $Q = 2.7 * 1 * .5^{(3/2)}$

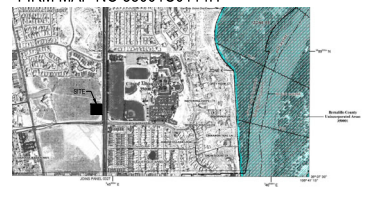
$Weighted\ E = \frac{EaAa + EbAb + EcAc + EdAd}{Aa + Ab + Ac + Ad}$ Section 6-2(A)(4), Equation 6.1
 $Weighted\ E = ((0.55*0.07) + (0.73*0.07) + (0.95*0.01) + (2.24*0.58)) / (0.65 + 2.08)$

$V360 = Weighted\ E * (Aa + Ab + Ac + Ad)$ Section 6-2(A)(4), Equation 6.2
 $V360 = (2.08 * .65) / 12 = 0.11$

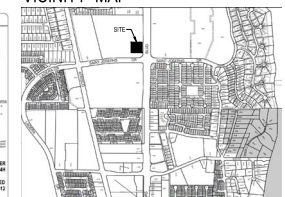
$Q = CIA$ Section 6-2(A)(5), Equation 6.7
 $Q = (0.34*0.36*0.07) + (2.16*0.07) + (2.87*0.01) + (4.12*0.58) = 2.53$

$Q = QpA$ Section 6-2(A)(5), Equation 6.6
 $Q = ((1.54*0.01) + (2.16*0.07) + (2.87*0.01) + (4.12*0.58)) = 2.53$

FIRM MAP NO 35001C0114H



VICINITY MAP

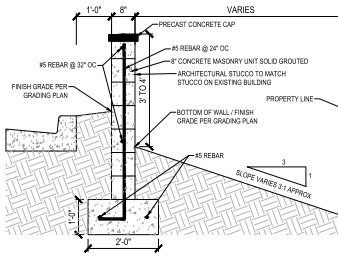
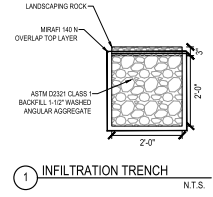


- GENERAL NOTES**
- ALL WORK TO COMPLY WITH THE GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
 - ALL IMPROVEMENTS MUST COMPLY WITH ADA STANDARDS AND RECOMMENDATIONS.
 - THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE EXISTING SOIL CONDITIONS.
 - ELEVATIONS HAVE BEEN TRUNCATED FOR CLARITY. XXXX REPRESENTS AN ELEVATION OF 5100.00 ON THESE PLANS.
 - LANDSCAPED AREAS REQUIRE SUBGRADE TO BE MAINTAINED AT A SPECIFIC ELEVATION BELOW FINISHED GRADE AND REQUIRE SUBGRADE TO BE PROPERLY PREPARED AND SCAPED. SEE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION.
 - ALL STORM DRAIN INFRASTRUCTURE TO BE INSTALLED PER GOVERNING AGENCY OR APWA STANDARDS PLANS AND SPECIFICATIONS.
 - THE CONTRACTOR SHALL ADJUST TO GRADE ALL EXISTING UTILITIES AS NEEDED PER LOCAL GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
 - NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING CONCRETE, ASPHALT, OR STORM DRAIN STRUCTURES OR PIPES.
 - THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.

- EROSION CONTROL NOTES**
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
 - CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUNOFF ON SITE DURING CONSTRUCTION.
 - CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
 - REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC PLACES IS THE RESPONSIBILITY OF THE CONTRACTOR.
 - ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL CITY ACCEPTANCE OF ANY PROJECT.

LEGEND

- EXISTING BOLLARD
- PROPOSED BOLLARD
- EXISTING SIGN
- PROPOSED SIGN
- EXISTING FLAG POLE
- EXISTING EDGE OF ASPHALT
- PROPOSED EDGE OF ASPHALT
- EXISTING STRIPING
- PROPOSED STRIPING
- EXISTING WALL
- PROPOSED WALL
- EXISTING CONTOURS
- PROPOSED CONTOURS
- EXISTING CURB AND GUTTER
- PROPOSED CURB AND GUTTER
- PROPOSED REVERSE PAN CURB AND GUTTER
- TRANSITION TO REVERSE PAN CURB
- EXISTING CONCRETE
- PROPOSED CONCRETE
- EXISTING BUILDING
- EXISTING MONUMENT SIGN
- CATCHMENTS / BASINS



		100 YR				100 YR, 6 HR		RATIONAL METHOD		Q (CFS), PEAK DISCHARGE		WEIGHTED E (IN)		VOL 360 (CU FT.)	
LAND TREATMENT	COEFFICIENT C	A	B	C	D	100 YR, 6 HR INTENSITY (IN/HR)	Q (CFS), RATIONAL METHOD	Q (CFS), PEAK DISCHARGE	WEIGHTED E (IN)	VOL 360 (CU FT.)	VOL 360 (CU FT.)				
6-HR EXCESS PRECIPITATION, E (IN)		0.55	0.73	0.95	2.24	0.35	0.23	0.35	0.23	0.2119	4875				
BASIN		0.00	0.07	0.00	0.58	0.65	0.12	1.54	1.30	0.0702	3060				
1		0.00	0.06	0.00	0.00	0.06	0.00	0.04	0.26	0.012	52				
2		0.00	0.00	0.00	0.11	0.11	0.02	0.29	1.42	0.134	586				
3		0.00	0.18	0.00	0.00	0.18	0.03	0.39	0.73	0.1110	477				
4		0.00	0.07	0.00	0.80	0.87	0.27	3.44	2.12	0.1535	6686				

		10 YR				10 YR, 6 HR		RATIONAL METHOD		Q (CFS), PEAK DISCHARGE		WEIGHTED E (IN)		VOL 360 (CU FT.)	
LAND TREATMENT	COEFFICIENT C	A	B	C	D	10 YR, 6 HR INTENSITY (IN/HR)	Q (CFS), RATIONAL METHOD	Q (CFS), PEAK DISCHARGE	WEIGHTED E (IN)	VOL 360 (CU FT.)	VOL 360 (CU FT.)				
6-HR EXCESS PRECIPITATION, E (IN)		0.11	0.28	0.51	0.90	0.23	0.23	0.23	0.23	0.0211	919				
BASIN		0.00	0.07	0.00	0.58	0.65	0.12	1.54	1.30	0.0702	3060				
1		0.00	0.06	0.00	0.00	0.06	0.00	0.04	0.26	0.012	52				
2		0.00	0.00	0.00	0.11	0.11	0.02	0.29	1.42	0.134	586				
3		0.00	0.18	0.00	0.00	0.18	0.01	0.15	0.26	0.0039	170				
4		0.00	0.07	0.00	0.80	0.87	0.17	2.11	1.34	0.0968	4216				

		2 YR				2 YR, 6 HR		RATIONAL METHOD		Q (CFS), PEAK DISCHARGE		WEIGHTED E (IN)		VOL 360 (CU FT.)	
LAND TREATMENT	COEFFICIENT C	A	B	C	D	2 YR, 6 HR INTENSITY (IN/HR)	Q (CFS), RATIONAL METHOD	Q (CFS), PEAK DISCHARGE	WEIGHTED E (IN)	VOL 360 (CU FT.)	VOL 360 (CU FT.)				
6-HR EXCESS PRECIPITATION, E (IN)		0.00	0.02	0.50	1.56	0.15	0.15	0.15	0.15	0.0002	7				
BASIN		0.00	0.07	0.00	0.58	0.65	0.08	0.90	0.82	0.0443	1929				
1		0.00	0.06	0.00	0.00	0.06	0.00	0.00	0.01	0.0000	2				
2		0.00	0.00	0.00	0.11	0.11	0.02	0.18	0.91	0.0086	376				
3		0.00	0.18	0.00	0.00	0.18	0.00	0.00	0.01	0.0002	7				
4		0.00	0.07	0.00	0.80	0.87	0.11	1.25	0.85	0.0514	2673				



5200 Buffington Rd.
Atlanta Georgia,
30349-2995

Revisions:
Mark Date By

Mark Date By

Mark Date By

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STORE
CHK-FL-A
FSU #0107
COORS BLVD.

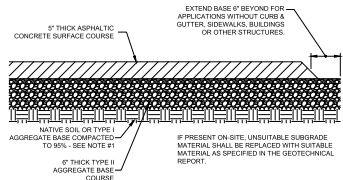
COORS BLVD NW & ST.
JOSEPHS DR NW
ALBUQUERQUE, NM
87120

SHEET TITLE
GRADING AND
DRAINAGE PLAN

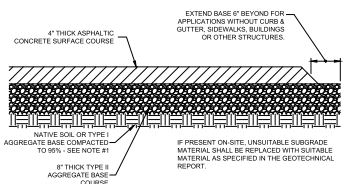
VERSION:
ISSUE DATE:

Job No. : 11274
Store : 04102
Date : 10/24/22
Drawn By : MM
Checked By : DJ

Sheet
C-2.0

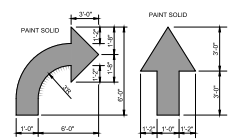


(PARKING STALLS)
1A STANDARD PAVEMENT SECTIONS
 NOT TO SCALE



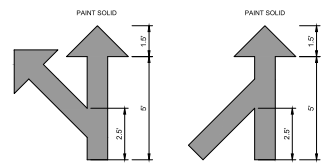
(DRIVE AISLES)
1B HEAVY PAVEMENT SECTIONS
 NOT TO SCALE

- NOTE:**
- GENERAL CONTRACTOR SHALL REFERENCE SITE SPECIFIC GEOTECHNICAL REPORT FOR PAVEMENT, AGGREGATE, AND SUBGRADE SECTION REQUIREMENTS.
 - MINIMUM PAVEMENT THICKNESS SHOULD BE 2" GRADED TYPE II AGGREGATE BASE, 7" ASPHALT PAVEMENT BINDER & 2" ASPHALT PAVEMENT SURFACE COURSE TACK COAT.



5A DIRECTIONAL ARROW
 NOT TO SCALE

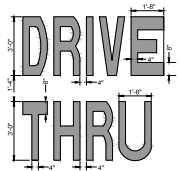
- NOTE:**
- GENERAL CONTRACTOR SHALL REFER TO CHICK-FIL-A PARKING LOT STRIPING SPECIFICATIONS. SEE DETAIL.
 - CONTRACTOR SHALL USE WHITE REFLECTIVE PAINT ON ASPHALT & YELLOW REFLECTIVE PAINT ON CONCRETE.



MULTI-LANE SPLIT **MULTI-LANE MERGE**

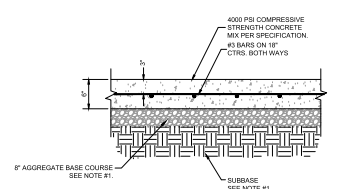
5B MULTI-LANE DIRECTIONAL GRAPHICS
 NOT TO SCALE

- NOTE:**
- GENERAL CONTRACTOR SHALL REFER TO CHICK-FIL-A PARKING LOT STRIPING SPECIFICATIONS. SEE DETAIL.
 - CONTRACTOR SHALL USE WHITE REFLECTIVE PAINT ON ASPHALT & YELLOW REFLECTIVE PAINT ON CONCRETE.



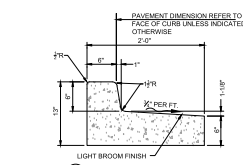
5C DRIVE-THRU GRAPHICS
 NOT TO SCALE

- NOTE:**
- GENERAL CONTRACTOR SHALL REFER TO CHICK-FIL-A PARKING LOT STRIPING SPECIFICATIONS. SEE DETAIL.
 - CONTRACTOR SHALL USE WHITE REFLECTIVE PAINT ON ASPHALT & YELLOW REFLECTIVE PAINT ON CONCRETE.

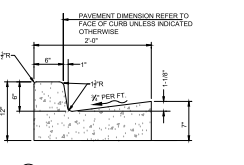


2 CONCRETE PAVING DRIVE-THRU LANE
 NOT TO SCALE

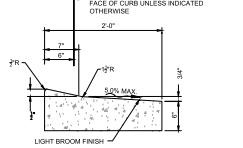
- NOTE:**
- GENERAL CONTRACTOR SHALL REFERENCE GEOTECHNICAL REPORT FOR PAVEMENT SECTION REQUIREMENTS.



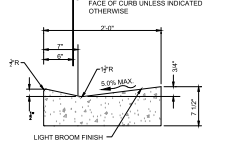
A SPILLING CURB AND GUTTER



B CATCHING CURB AND GUTTER



C DEPRESSED SPILLING CURB AND GUTTER

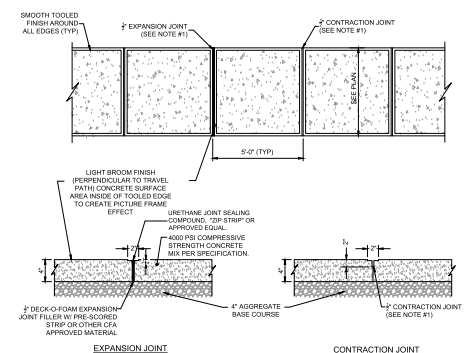


D DEPRESSED CATCHING CURB AND GUTTER

- CONCRETE FOR CURBING SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 P.S.I. AT 28 DAYS.
- CONSTRUCTION STAKING FOR CURBING INSTALLATION SHALL BE REFERENCED (CUT OR FILL) TO THE TOP OF CURB.
- AT CONTRACTOR'S OPTION THE GUTTER THICKNESS MAY BE INCREASED AT THE EDGE OF PAVEMENT TO MAKE BOTTOM OF GUTTER PARALLEL WITH PAVING OF BASE COURSE.

CONTRACTION JOINTS AT 10'-0" O.C. TOOLED 1/4" (61/16"-Ø) WIDE, 1" OR MAX. 1/4" DEEP WHICHEVER IS GREATER. EXPANSION JOINTS AT 40' MAX. AND ALL P.C.'S. UNLESS APPROVED OR INDICATED OTHERWISE ON PLAN VIEW JOINT PATTERN.

3 24" CONCRETE CURB & GUTTER
 NOT TO SCALE



4 TYPICAL CONCRETE SIDEWALK
 NOT TO SCALE

- NOTE:**
- JOINTS AT 8'-0" O.C. TOOLED 1/4" WIDE, 1" DEEP OR MAX. 1/4" DEEP WHICHEVER IS GREATER. EXPANSION JOINTS AT 20' MAX. & ALL P.C.'S. UNLESS APPROVED OR INDICATED OTHERWISE ON PLAN VIEW JOINT PATTERN.

6 24" CONCRETE CURB & GUTTER
 NOT TO SCALE

- NOTE:**
- GENERAL CONTRACTOR SHALL REFER TO CHICK-FIL-A PARKING LOT STRIPING SPECIFICATIONS. SEE DETAIL.
 - CONTRACTOR SHALL USE WHITE REFLECTIVE PAINT ON ASPHALT & YELLOW REFLECTIVE PAINT ON CONCRETE.

6 24" CONCRETE CURB & GUTTER
 NOT TO SCALE

- NOTE:**
- GENERAL CONTRACTOR SHALL REFER TO CHICK-FIL-A PARKING LOT STRIPING SPECIFICATIONS. SEE DETAIL.
 - CONTRACTOR SHALL USE WHITE REFLECTIVE PAINT ON ASPHALT & YELLOW REFLECTIVE PAINT ON CONCRETE.

6 24" CONCRETE CURB & GUTTER
 NOT TO SCALE

- NOTE:**
- GENERAL CONTRACTOR SHALL REFER TO CHICK-FIL-A PARKING LOT STRIPING SPECIFICATIONS. SEE DETAIL.
 - CONTRACTOR SHALL USE WHITE REFLECTIVE PAINT ON ASPHALT & YELLOW REFLECTIVE PAINT ON CONCRETE.

Chick-fil-A
 5200 Buffington Rd.
 Atlanta Georgia,
 30349-2995

Revisions:
 Mark Date By
 Mark Date By
 Mark Date By
 Mark Date By

Seal

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STORE
 CHICK-FIL-A
 FSU #0107
 COORS BLVD.

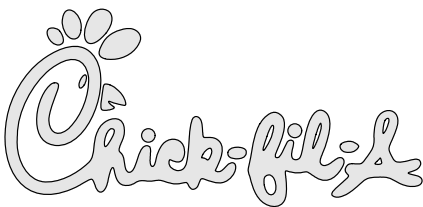
COORS BLVD NW & ST.
 JOSEPHS DR NW
 ALBUQUERQUE, NM
 87120

SHEET TITLE
 CHICK-FIL-A
 SITE DETAILS

VERSION:
 ISSUE DATE:

Job No. : _11274_
 Store : _04107_
 Date : _10/24/22_
 Drawn By : _--_
 Checked By : _--_
 Sheet

C-4.0



COORS BLVD AND ST. JOSEPHS DRIVE ALBUQUERQUE, NM

INDEX OF DRAWINGS

C 0.1	DEMOLITION PLAN
C 1.0	SITE DIMENSION PLAN
C 1.1	TRAFFIC CIRCULATION LAYOUT
C 2.0	SITE GRADING PLAN
C 3.0	SITE UTILITY PLAN
C 4.0	DETAILS
L -1	LANDSCAPE PLAN

UTILITY DISCLAIMER

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND / OR ELEVATIONS OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

NOTICE TO CONTRACTOR

ALL CONTRACTORS AND SUBCONTRACTORS PERFORMING WORK SHOWN ON OR RELATED TO THESE PLANS SHALL CONDUCT THEIR OPERATIONS SO THAT ALL EMPLOYEES ARE PROVIDED A SAFE PLACE TO WORK AND THE PUBLIC IS PROTECTED. ALL CONTRACTORS AND SUBCONTRACTORS SHALL COMPLY WITH THE OCCUPATIONAL SAFETY AND HEALTH REGULATIONS OF THE U.S. DEPARTMENT OF LABOR AND THE STATE OF UTAH DEPARTMENT OF INDUSTRIAL RELATIONS CONSTRUCTION SAFETY ORDERS. THE CIVIL ENGINEER SHALL NOT BE RESPONSIBLE IN ANY WAY FOR THE CONTRACTORS AND SUBCONTRACTORS COMPLIANCE WITH SAID REGULATIONS AND ORDERS.

CONTRACTOR FURTHER AGREES TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB-SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE CIVIL ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.

NOTICE TO DEVELOPER/ CONTRACTOR

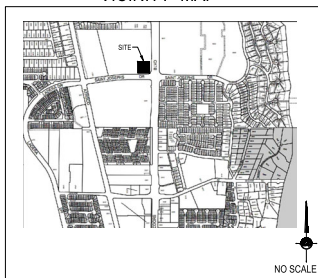
UNAPPROVED DRAWINGS REPRESENT WORK IN PROGRESS, ARE SUBJECT TO CHANGE, AND DO NOT CONSTITUTE A FINISHED ENGINEERING PRODUCT. ANY WORK UNDERTAKEN BY DEVELOPER OR CONTRACTOR BEFORE PLANS ARE APPROVED IS UNDERSTOOD AT THE SOLE RISK OF THE DEVELOPER, INCLUDING BUT NOT LIMITED TO BIDS, ESTIMATION, FRANCHISING, BONDING, SITE CLEARING, GRADING, INFRASTRUCTURE CONSTRUCTION, ETC.

OWNER

CONTACT
MAGGIE NUCKOLS
17877 VON KARMAN AVE, SUITE 500
IRVINE, CA 92614
PHONE: 602-741-5695



VICINITY MAP



GENERAL NOTES

1. ALL WORK SHALL CONFORM WITH ALBUQUERQUE CITY, AND CHOC-FIL-E STANDARDS & SPECIFICATIONS.
2. CALL NMOC 48 HOURS PRIOR TO DIGGING.
3. CONTROL POINT: 60D N&E, WITH ALUMINUM DISK STAMPED "SURV-TEK CONTROL" N=1,502,746.35' E=1,505,788.87' ELEV = 5116.09'
4. CONTRACTOR SHALL FIELD VERIFY LOCATIONS OF ALL EXISTING UTILITIES BEFORE CONSTRUCTING ANY IMPROVEMENTS.

ENGINEER/SURVEYOR:



SALT LAKE CITY
421 W. 1000 S., SUITE 300
SALT LAKE UT 84119
PHONE: 801.255.0025
FAX: 801.255.4449
WWW.ENSIGNUTAH.COM

LAYTON
PHONE: 801.547.1100

TOOELE
PHONE: 801.645.3580

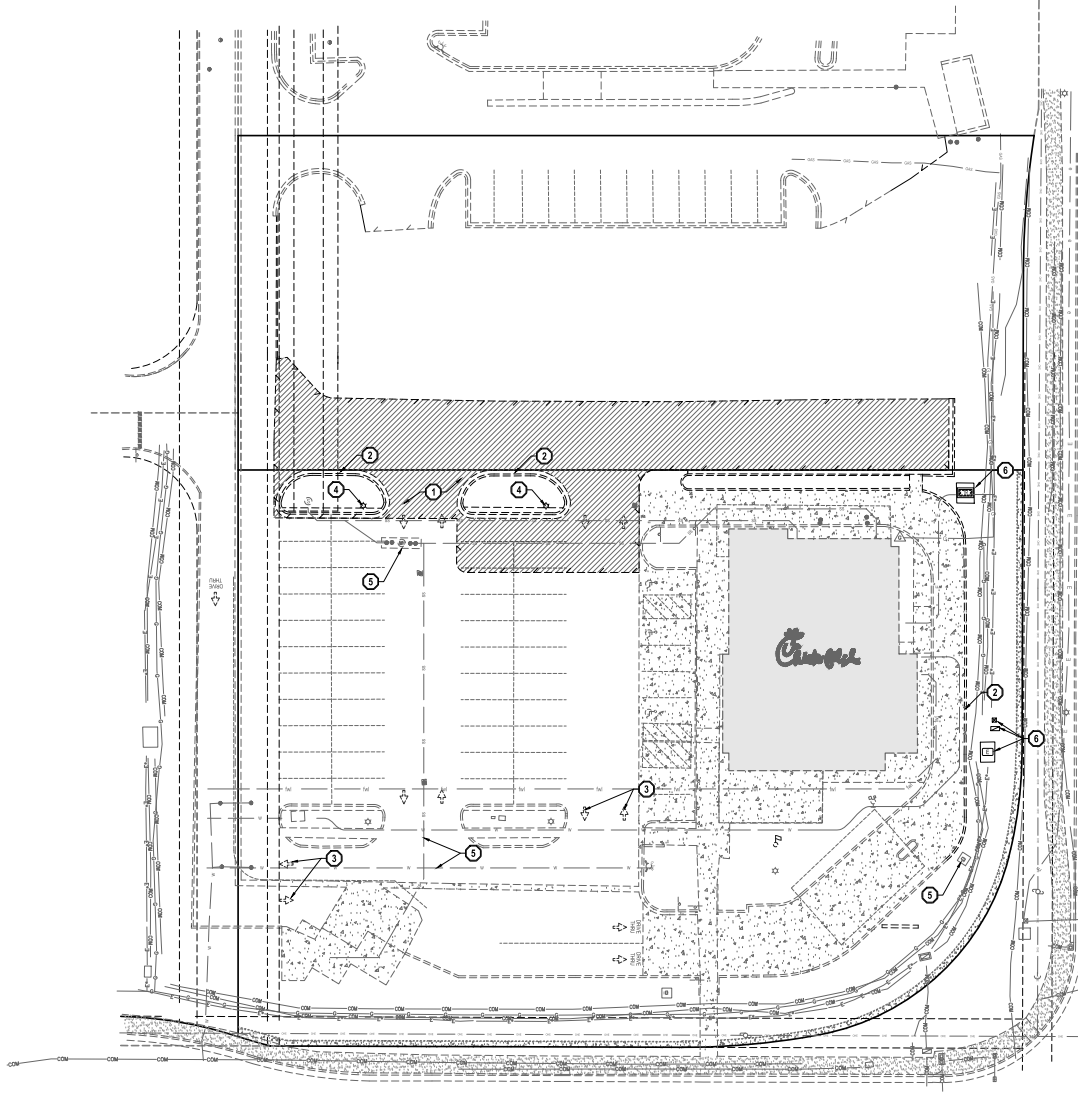
CEDAR CITY
PHONE: 435.865.1453

CHICK-FIL-A #04107 COORS DRIVE THRU EXPANSION

OCTOBER, 2022

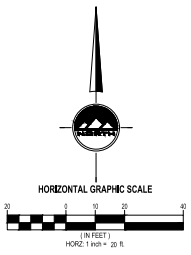



811
 CALL BLUESTAKES
 @ 811 AT LEAST 48 HOURS
 PRIOR TO THE
 COMMENCEMENT OF ANY
 CONSTRUCTION.
 Know what's below.
 Call before you dig.



- LEGEND**
- EXIST WATER METER
 - ⊗ EXIST WATER VALVE
 - ⊗ EXIST FIRE HYDRANT
 - ⊗ EXIST IRRIGATION VALVE
 - ⊗ EXIST SANITARY SEWER MANHOLE
 - ⊗ EXIST SIGN
 - ⊗ EXIST UTILITY POLE
 - ⊗ EXIST TREE
 - ⊗ EXISTING 3" CURB AND GUTTER
 - ⊗ EXIST FENCE
 - ⊗ EXIST EDGE OF ASPHALT
 - ⊗ EXIST SANITARY SEWER
 - ⊗ EXIST WATER LINE
 - ⊗ EXIST IRRIGATION LINE
 - ⊗ SAW CUT LINE

- SCOPE OF WORK:**
 PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:
- 1 REMOVE EXISTING ASPHALT PAVING.
 - 2 REMOVE EXISTING CURB AND GUTTER.
 - 3 REMOVE EXISTING STRIPING AND ARROWS.
 - 4 REMOVE EXISTING LIGHT.
 - 5 PROTECT EXISTING UTILITIES, SEWER, STORM DRAIN, CURBING, ETC. IN PLACE.
 - 6 REMOVE AND RELOCATE EXISTING UTILITIES.






5200 Buffington Rd.
 Atlanta Georgia,
 30349-2998

Revisions:

Mark	Date	By
△		
△		
△		

Seal



ENSIGN

SALT LAKE CITY
 45 W. 1000 S., Suite 500
 Sandy, UT 84070
 Phone: 801.255.0529
 Fax: 801.255.4449
 WWW.ENSIGNENG.COM

STORE
 CHICK-FIL-A
 FSU #04107
 COORS BLVD.

COORS BLVD NW & ST.
 JOSEPHS DR NW
 ALBUQUERQUE, NM
 87120

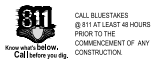
SHEET TITLE
 DEMOLITION
 PLAN

VERSION:
 ISSUE DATE:

Job No. : 11274
 Store : 04107
 Date : 10/24/22
 Drawn By : MM
 Checked By : DJ

Sheet

C-O-I



PROJECT NUMBER: _____

Application Number: _____

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

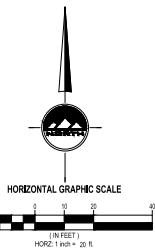
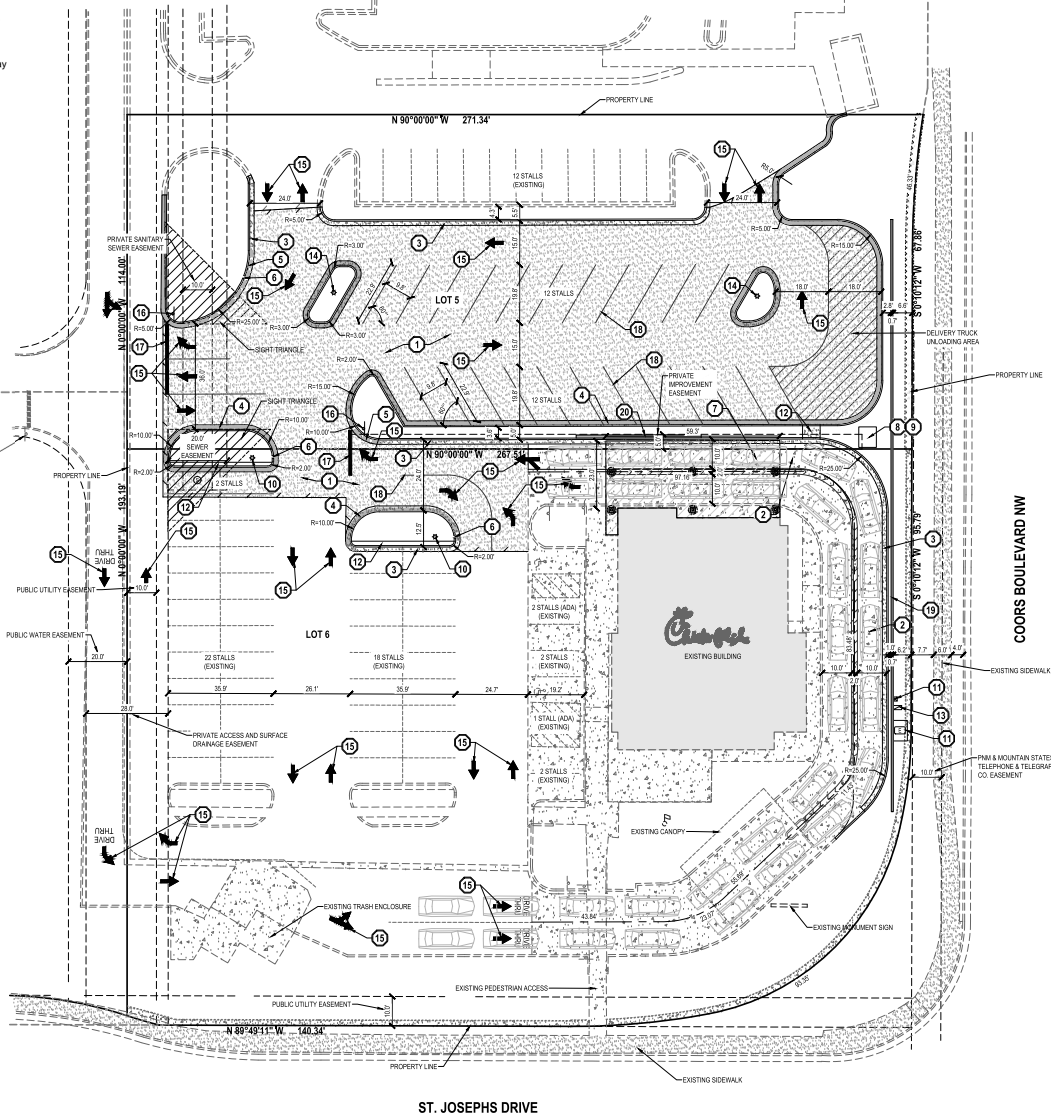
Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRPC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

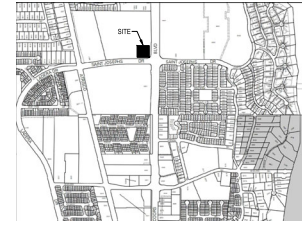
Traffic Engineering, Transportation Division	Date _____
ABCWUA	Date _____
Parks and Recreation Department	Date _____
City Engineer/Hydrology	Date _____
Code Enforcement	Date _____
* Environmental Health Department (conditional)	Date _____
Solid Waste Management	Date _____
DRB Chairperson, Planning Department	Date _____

*Environmental Health, if necessary

216118



VICINITY MAP



GENERAL NOTES

1. ALL WORK TO COMPLY WITH THE GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
2. ALL IMPROVEMENTS MUST COMPLY WITH ADA STANDARDS AND RECOMMENDATIONS.
3. SEE LANDSCAPE/ARCHITECTURAL PLANS FOR CONCRETE MATERIAL, COLOR, FINISH, AND SCORE PATTERNS THROUGHOUT SITE.
4. ALL PAVEMENT MARKINGS SHALL CONFORM TO THE LATEST EDITION OF THE MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES).
5. ALL SURFACE IMPROVEMENTS DISTURBED BY CONSTRUCTION SHALL BE RESTORED OR REPLACED, INCLUDING TREES AND DECORATIVE SURFACES, SOIL, FENCES, WALLS AND STRUCTURES, WHETHER OR NOT THEY ARE SPECIFICALLY SHOWN ON THE CONTRACT DOCUMENTS.
6. NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING CONCRETE OR ASPHALT.
7. THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.

SCOPE OF WORK:

PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:

1. PROPOSED ASPHALT PAVEMENT. SEE DETAIL 11C-0.
2. CONCRETE PAVEMENT DRIVE-THRU. SEE DETAIL 21C-0.
3. 24" CATCHING CURB AND GUTTER PER DETAIL 31C-0.
4. 24" SPILLING CURB AND GUTTER PER DETAIL 31C-0.
5. TRANSITION BETWEEN CATCHING AND SPILLING CURB AND GUTTER.
6. CURB OPENING.
7. PROPOSED CANOPY. SEE ARCHITECTURAL DRAWINGS.
8. CONCRETE PAD FOR ELECTRICAL EQUIPMENT. SEE ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.
9. RELOCATED ELECTRICAL TRANSFORMER. SEE ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.
10. RELOCATED LIGHT POLE. SEE ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.
11. RELOCATED ELECTRICAL EQUIPMENT. SEE ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.
12. CONCRETE SIDEWALK. SEE DETAIL 41C-0.
13. RELOCATED COMMUNICATIONS EQUIPMENT. COORDINATE WITH SERVICE PROVIDER.
14. PROPOSED LIGHT POLE. SEE ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.
15. PAINTED LANE-USE ARROWS. SEE DETAIL 51C-0.
16. "STOP" AND "RIGHT TURN ONLY" SIGN COMBO PER MUTCD STANDARDS.
17. 12" SOLID STOP BAR.
18. 4" WIDE SOLID PAVEMENT MARKING PER PARKING LOT STRIPING SPECIFICATIONS. SEE 61C-0.
19. 8" WIDE RETAINING / SCREEN WALL PER DETAIL 21C-2.0. SEE GRADING PLAN FOR ELEVATIONS.
20. LANDSCAPE WALL. SEE GRADING PLAN FOR ELEVATIONS.

PARKING DATA TABLE	
EXISTING STALLS TO BE REMOVED	4
PROPOSED STALLS	25
EXISTING STALLS (TO REMAIN)	41
EXISTING ADA STALLS (TO REMAIN)	3
TOTAL STALLS	73

LEGEND

- EXISTING BOLLARD
- PROPOSED BOLLARD
- EXISTING SIGN
- PROPOSED SIGN
- EXISTING FLAG POLE
- EXISTING EDGE OF ASPHALT
- PROPOSED EDGE OF ASPHALT
- EXISTING STRIPING
- PROPOSED STRIPING
- EXISTING WALL
- PROPOSED WALL
- EXISTING CURB AND GUTTER
- PROPOSED CURB AND GUTTER
- PROPOSED REVERSE PAN CURB AND GUTTER
- TRANSITION TO REVERSE PAN CURBS
- EXISTING CONCRETE
- PROPOSED CONCRETE
- EXISTING BUILDING
- EXISTING MONUMENT SIGN

CHICK-FIL-A

5200 Buffington Rd.
Atlanta Georgia,
30349-2995

Revisions:

Mark	Date	By
△		
△		
△		
△		

Seal

ENSIGN

SALT LAKE CITY
45 W. 1000 S., Suite 500
Sandy, UT 84070
Phone: 801.255.0529
Fax: 801.255.4449

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STORE
CHICK-FIL-A
FSU #04107
COORS BLVD.
COORS BLVD NW & ST.
JOSEPHS DR NW
ALBUQUERQUE, NM
87120

SHEET TITLE
SITE PLAN

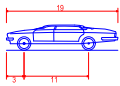
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ISSUE DATE:

Job No. : .11274
Store : .04107
Date : 10/24/22
Drawn By : MM
Checked By : DJ

Sheet

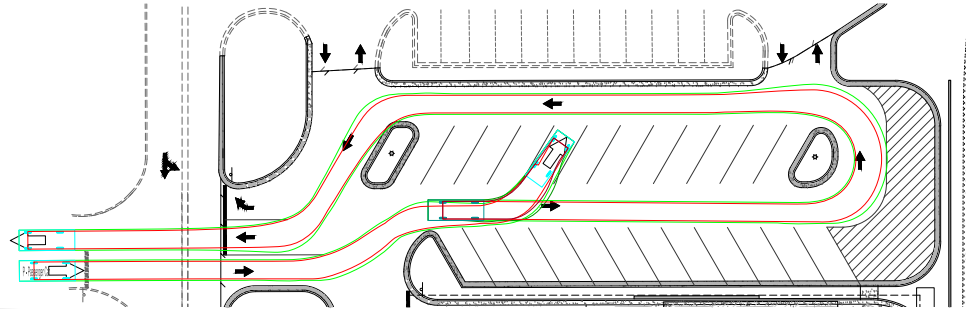
C-1.0

PASSENGER CAR

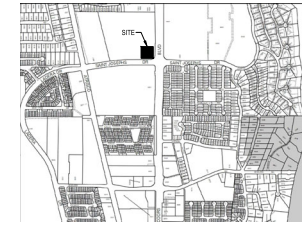


P - Passenger Car
 Overall Length 19.000ft
 Overall Width 7.000ft
 Overall Body Height 4.300ft
 Min Body Ground Clearance 1.115ft
 Track Width 6.000ft
 Lock-to-lock time 4.00s
 Max Steering Angle (Virtual) 31.60°

19.000ft
 7.000ft
 4.300ft
 1.115ft
 6.000ft
 4.00s
 31.60°



VICINITY MAP



Chick-fil-A

5200 Buffington Rd.
 Atlanta Georgia,
 30349-2995

Revisions:
 Mark Date By

△ _____
 Mark Date By

△ _____
 Mark Date By

△ _____
 Mark Date By

△ _____
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Seal



SALT LAKE CITY
 45 W. 1000 S., Suite 500
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STORE
 CHICK-FIL-A
 FSU #04107
 COORS BLVD.
 COORS BLVD NW & ST.
 JOSEPHS DR NW
 ALBUQUERQUE, NM
 87120

SHEET TITLE
 TRAFFIC
 CIRCULATION
 LAYOUT

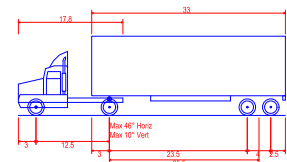
VERSION:
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Job No. : 11274
 Store : 04107
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 Checked By : DJ

Sheet

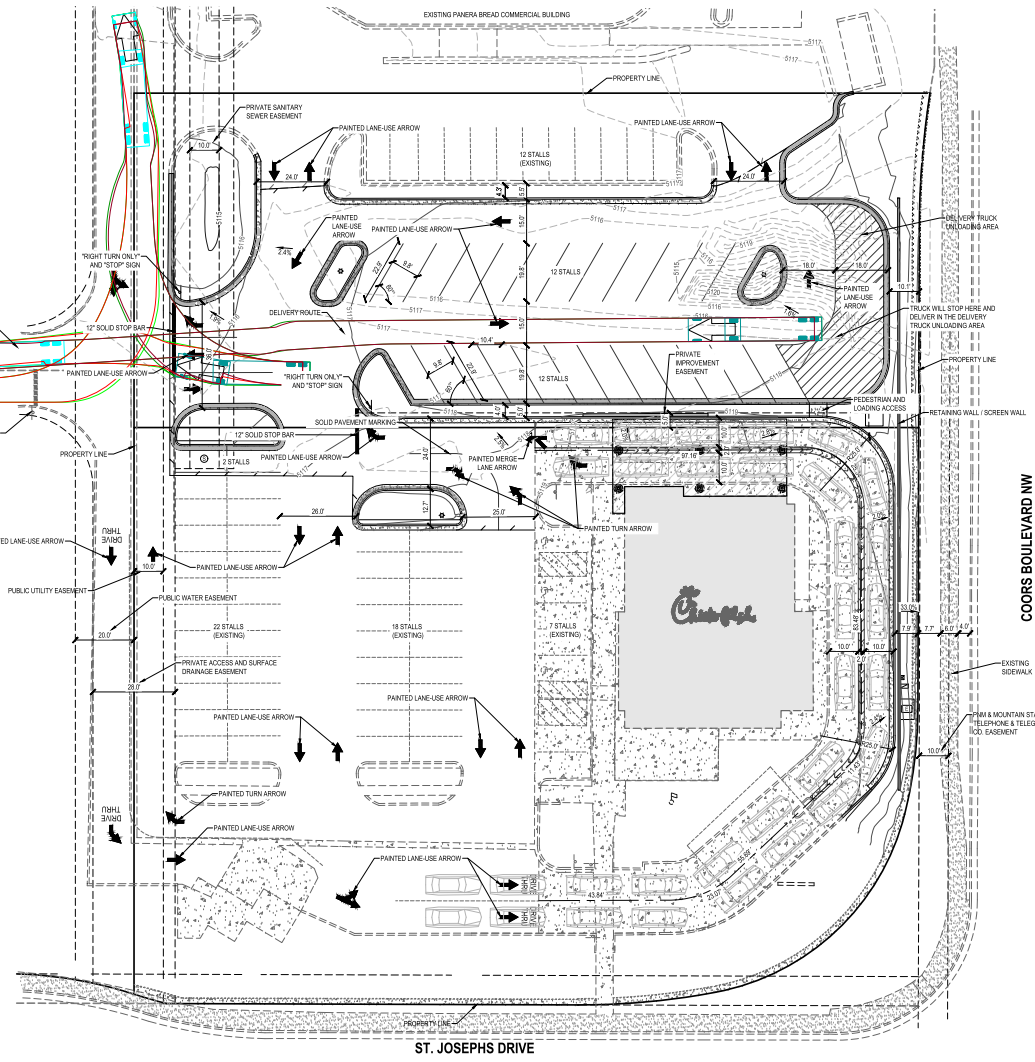
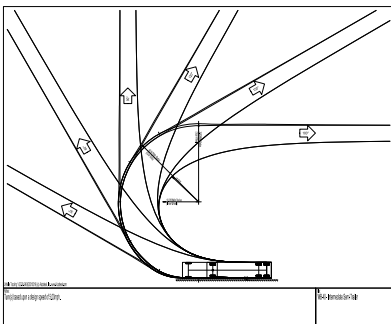


DELIVERY TRUCK



WB-40 - Intermediate Semi-Trailer
 Overall Length 45.499ft
 Overall Width 8.000ft
 Overall Body Height 13.500ft
 Min Body Ground Clearance 1.334ft
 Track Width 8.000ft
 Lock-to-lock time 4.00s
 Max Steering Angle (Virtual) 20.30°

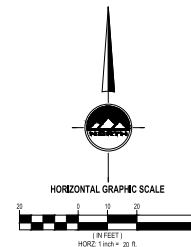
45.499ft
 8.000ft
 13.500ft
 1.334ft
 8.000ft
 4.00s
 20.30°



PARKING DATA TABLE	
EXISTING STALLS TO BE REMOVED	4
PROPOSED STALLS	20
EXISTING STALLS (TO REMAIN)	44
EXISTING ADA STALLS (TO REMAIN)	3
TOTAL STALLS	73

LEGEND

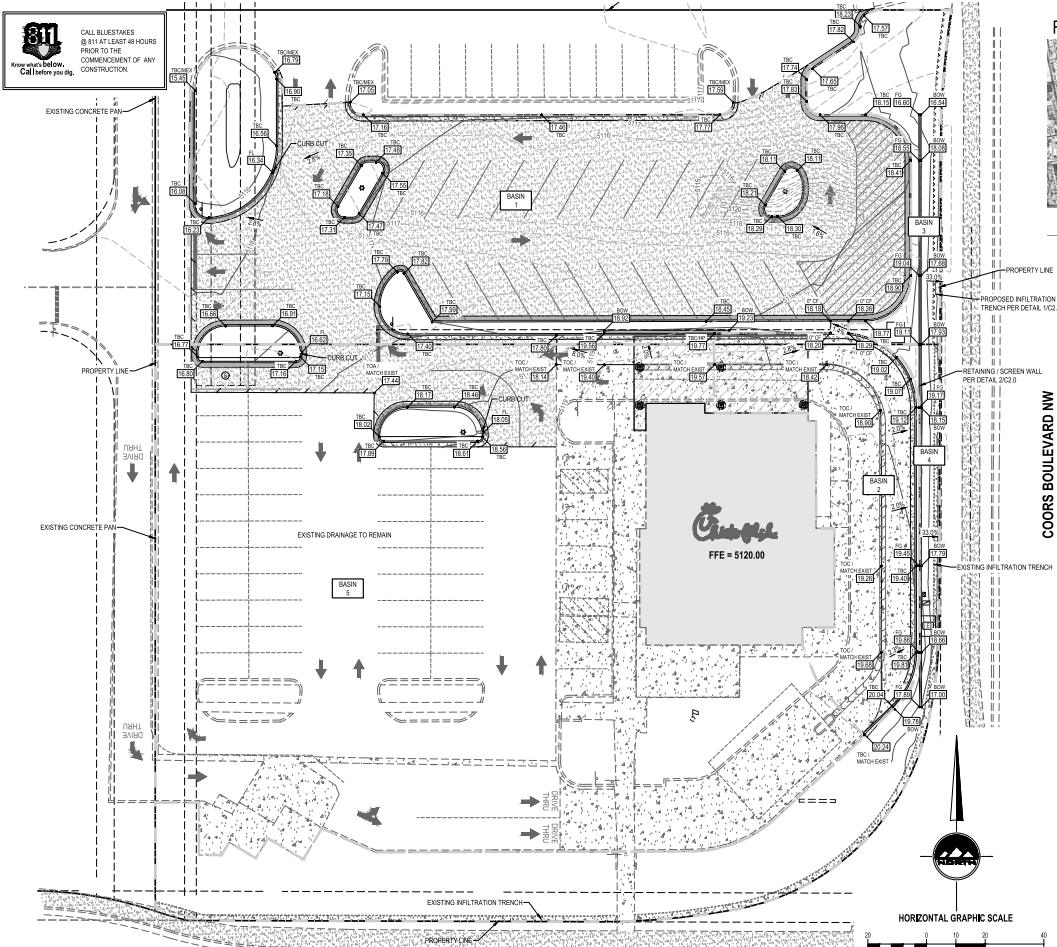
- EXISTING BOLLARD
- PROPOSED BOLLARD
- EXISTING SIGN
- PROPOSED SIGN
- EXISTING FLAG POLE
- EXISTING EDGE OF ASPHALT
- PROPOSED EDGE OF ASPHALT
- EXISTING STRIPING
- PROPOSED STRIPING
- EXISTING WALL
- PROPOSED ASPHALT
- EXISTING CURB AND GUTTER
- PROPOSED CURB AND GUTTER
- PROPOSED REVERSE PAV CURB AND GUTTER
- TRANSITION TO REVERSE PAV CURB
- EXISTING CONCRETE
- PROPOSED CONCRETE
- EXISTING BUILDING
- EXISTING MONUMENT SIGN



ST. JOSEPHS DRIVE

COORS BOULEVARD NW

811
CALL BLUESTAKES
(811) AT LEAST 48 HOURS
PRIOR TO THE
COMMENCEMENT OF ANY
CONSTRUCTION.
Know what's below.
Call before you dig.



SWOV - BASIN 4 (UPDATED)	
IMPERVIOUS AREA	34827
REQUIRED VOLUME	987
PROVIDED VOLUME (CU FT.) IN DEVELOPMENT POND	1289

REQUIRED SWOV - BASIN 1 AND 3	
IMPERVIOUS AREA (SQ. FT.)	21402
REQUIRED VOLUME (CU FT.)	749.07
PROVIDED VOLUME (CU FT.) IN DEVELOPMENT POND	778

CURB OPENING / WEIR	
PROPOSED LENGTH (FT)	2.7
DEPTH (FT)	1
DISCHARGE, Q (CFS)	0.5
	0.95

BASIN 2 - INFILTRATION TRENCH	
REQUIRED VOLUME (CU FT.)	147
LENGTH (FT)	114
AREA (SQ. FT.)	4
VOID RATIO	0.4
VOLUME PROVIDED (CU FT.)	182.4

$ReqVolume = Impervious\ area * (0.44 - 0.10)/12$
As calculated in original development
 $ReqVolume = (34827 * (0.44-0.10)/12) = 987$

$ReqVolume = Impervious\ area * (0.42)/12$
Section 6-12
 $ReqVolume = (21402 * (0.42)/12) = 749$

$Q = CLH^{3/2}$ Section 6-16(A), Equation 6.4
 $Q = 2.7 * 1 * .5^{(3/2)}$

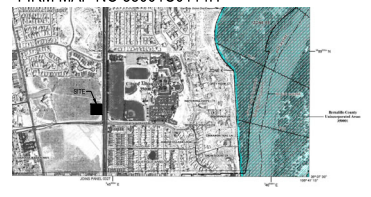
$Weighted\ E = \frac{EaAa + EbAb + EcAc + EdAd}{Aa + Ab + Ac + Ad}$ Section 6-2(A)(4), Equation 6.1
 $Weighted\ E = ((0.55*0.07)+(0.73*0.07)+(0.95*0.01)+(2.24*0.58))/0.65=2.08$

$V360 = Weighted\ E * (Aa + Ab + Ac + Ad)$ Section 6-2(A)(4), Equation 6.2
 $V360 = (2.08 * .65)/12 = 0.11$

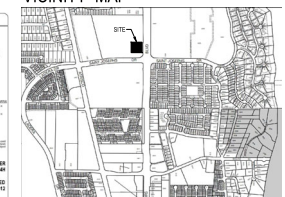
$Q = CIA$ Section 6-2(A)(5), Equation 6.7
 $Q = (0.34*0.36*0.07)+(0.47*0.36*0.07)+(0.63*0.36*0.01)+(0.90*0.36*0.58)=0.20$

$Q = QpA$ Section 6-2(A)(5), Equation 6.8
 $Q = ((1.54*0.01)+(2.16*0.07)+(2.87*0.01)+(4.12*0.58))-2.53$

FIRM MAP NO 35001C0114H



VICINITY MAP

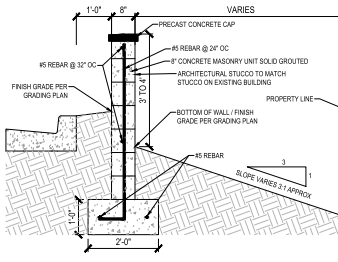
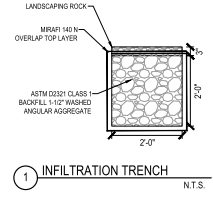


- GENERAL NOTES**
- ALL WORK TO COMPLY WITH THE GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
 - ALL IMPROVEMENTS MUST COMPLY WITH ADA STANDARDS AND RECOMMENDATIONS.
 - THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE EXISTING SOIL CONDITIONS.
 - ELEVATIONS HAVE BEEN TRUNCATED FOR CLARITY. XXXX REPRESENTS AN ELEVATION OF 5100.00 ON THESE PLANS.
 - LANDSCAPED AREAS REQUIRE SUBGRADE TO BE MAINTAINED AT A SPECIFIC ELEVATION BELOW FINISHED GRADE AND REQUIRE SUBGRADE TO BE PROPERLY PREPARED AND SCAPED. SEE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION.
 - ALL STORM DRAIN INFRASTRUCTURE TO BE INSTALLED PER GOVERNING AGENCY OR APWA STANDARDS PLANS AND SPECIFICATIONS.
 - THE CONTRACTOR SHALL ADJUST TO GRADE ALL EXISTING UTILITIES AS NEEDED PER LOCAL GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
 - NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING CONCRETE, ASPHALT, OR STORM DRAIN STRUCTURES OR PIPES.
 - THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.

- EROSION CONTROL NOTES**
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
 - CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
 - CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
 - REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC PLACES IS THE RESPONSIBILITY OF THE CONTRACTOR.
 - ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL CITY ACCEPTANCE OF ANY PROJECT.

LEGEND

- EXISTING BOLLARD
- PROPOSED BOLLARD
- EXISTING SIGN
- PROPOSED SIGN
- EXISTING FLAG POLE
- EXISTING EDGE OF ASPHALT
- PROPOSED EDGE OF ASPHALT
- EXISTING STRIPING
- PROPOSED STRIPING
- EXISTING WALL
- PROPOSED WALL
- EXISTING CONTOURS
- PROPOSED CONTOURS
- EXISTING CURB AND GUTTER
- PROPOSED CURB AND GUTTER
- PROPOSED REVERSE PAN CURB AND GUTTER
- TRANSITION TO REVERSE PAN CURB
- EXISTING CONCRETE
- PROPOSED CONCRETE
- EXISTING BUILDING
- EXISTING MONUMENT SIGN
- CATCHMENTS / BASINS



		100 YR				100 YR, 6 HR		RATIONAL METHOD		Q (CFS), PEAK DISCHARGE		WEIGHTED E (IN)		VOL 360 (CU FT.)		VOL 360 (CU FT.)	
LAND TREATMENT	COEFFICIENT C	A	B	C	D	100 YR, 6 HR INTENSITY (IN/HR)	Q (CFS), RATIONAL METHOD	Q (CFS), PEAK DISCHARGE	WEIGHTED E (IN)	VOL 360 (AC/FT)	VOL 360 (CU FT.)	WEIGHTED E (IN)	VOL 360 (AC/FT)	VOL 360 (CU FT.)			
6-HR EXCESS PRECIPITATION, E (IN)		0.55	0.73	0.95	2.24	0.35	0.23	0.35	2.22	0.0211	919	0.73	0.0110	477			
BASIN		0.55	0.73	0.95	2.24	0.35	0.23	0.35	2.22	0.0211	919	0.73	0.0110	477			
1	0.00	0.07	0.00	0.58	0.65	0.12	1.54	1.30	0.0702	3060	0.06	0.01	0.0000	2			
2	0.00	0.06	0.00	0.00	0.06	0.00	0.04	0.26	0.012	52	0.11	0.02	0.134	586			
3	0.00	0.00	0.00	0.11	0.11	0.02	0.29	1.42	0.134	586	0.18	0.01	0.0039	170			
4	0.00	0.18	0.00	0.00	0.18	0.03	0.39	0.73	0.0110	477	0.18	0.15	0.266	0.0039	170		
5	0.00	0.07	0.00	0.80	0.87	0.27	3.44	2.12	0.1535	6686	0.87	0.11	1.25	0.85	0.0514	2673	

		10 YR				10 YR, 6 HR		RATIONAL METHOD		Q (CFS), PEAK DISCHARGE		WEIGHTED E (IN)		VOL 360 (CU FT.)		VOL 360 (CU FT.)	
LAND TREATMENT	COEFFICIENT C	A	B	C	D	10 YR, 6 HR INTENSITY (IN/HR)	Q (CFS), RATIONAL METHOD	Q (CFS), PEAK DISCHARGE	WEIGHTED E (IN)	VOL 360 (AC/FT)	VOL 360 (CU FT.)	WEIGHTED E (IN)	VOL 360 (AC/FT)	VOL 360 (CU FT.)			
6-HR EXCESS PRECIPITATION, E (IN)		0.11	0.28	0.51	0.90	0.23	0.23	0.23	0.23	0.0211	919	0.28	0.0110	477			
BASIN		0.11	0.28	0.51	0.90	0.23	0.23	0.23	0.23	0.0211	919	0.28	0.0110	477			
1	0.00	0.07	0.00	0.58	0.65	0.12	1.54	1.30	0.0702	3060	0.06	0.01	0.0000	2			
2	0.00	0.06	0.00	0.00	0.06	0.00	0.04	0.26	0.012	52	0.11	0.02	0.134	586			
3	0.00	0.00	0.00	0.11	0.11	0.02	0.29	1.42	0.134	586	0.18	0.01	0.0039	170			
4	0.00	0.18	0.00	0.00	0.18	0.03	0.39	0.73	0.0110	477	0.18	0.15	0.266	0.0039	170		
5	0.00	0.07	0.00	0.80	0.87	0.27	3.44	2.12	0.1535	6686	0.87	0.11	1.25	0.85	0.0514	2673	

		2 YR				2 YR, 6 HR		RATIONAL METHOD		Q (CFS), PEAK DISCHARGE		WEIGHTED E (IN)		VOL 360 (CU FT.)		VOL 360 (CU FT.)	
LAND TREATMENT	COEFFICIENT C	A	B	C	D	2 YR, 6 HR INTENSITY (IN/HR)	Q (CFS), RATIONAL METHOD	Q (CFS), PEAK DISCHARGE	WEIGHTED E (IN)	VOL 360 (AC/FT)	VOL 360 (CU FT.)	WEIGHTED E (IN)	VOL 360 (AC/FT)	VOL 360 (CU FT.)			
6-HR EXCESS PRECIPITATION, E (IN)		0.00	0.02	0.50	1.56	0.15	0.15	0.15	0.15	0.0002	7	0.02	0.01	0.0002	7		
BASIN		0.00	0.02	0.50	1.56	0.15	0.15	0.15	0.15	0.0002	7	0.02	0.01	0.0002	7		
1	0.00	0.06	0.00	0.00	0.06	0.00	0.04	0.26	0.012	52	0.11	0.02	0.134	586			
2	0.00	0.00	0.00	0.11	0.11	0.02	0.29	1.42	0.134	586	0.18	0.01	0.0039	170			
3	0.00	0.18	0.00	0.00	0.18	0.03	0.39	0.73	0.0110	477	0.18	0.15	0.266	0.0039	170		
4	0.00	0.07	0.00	0.80	0.87	0.27	3.44	2.12	0.1535	6686	0.87	0.11	1.25	0.85	0.0514	2673	



5200 Buffington Rd.
Atlanta Georgia,
30349-2995

Revisions:

Mark	Date	By
△		
△		
△		



SALT LAKE CITY
45 W. 1000 S., Suite 500
Sandy, UT 84070
Phone: 801.255.0529
Fax: 801.255.4449

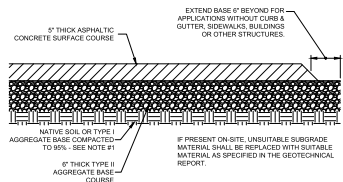
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STORE
CHICK-FIL-A
FSU #0107
COORS BLVD.
COORS BLVD NW & ST.
JOSEPHS DR NW
ALBUQUERQUE, NM
87120

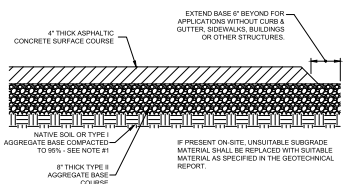
SHEET TITLE
GRADING AND
DRAINAGE PLAN

VERSION:
ISSUE DATE:
Job No. : 11274
Store : 04107
Date : 10/24/22
Drawn By : MM
Checked By : DJ

Sheet
C-2.0

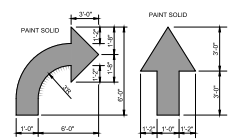


(PARKING STALLS)
1A STANDARD PAVEMENT SECTIONS
 NOT TO SCALE



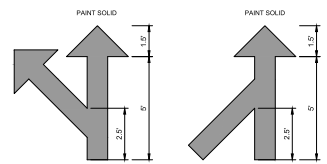
(DRIVE AISLES)
1B HEAVY PAVEMENT SECTIONS
 NOT TO SCALE

- NOTE:**
- GENERAL CONTRACTOR SHALL REFERENCE SITE SPECIFIC GEOTECHNICAL REPORT FOR PAVEMENT, AGGREGATE, AND SUBGRADE SECTION REQUIREMENTS.
 - MINIMUM PAVEMENT THICKNESS SHOULD BE 2" GRADED TYPE II AGGREGATE BASE, 7" ASPHALT PAVEMENT BINDER & 2" ASPHALT PAVEMENT SURFACE COURSE TACK COAT.



5A DIRECTIONAL ARROW
 NOT TO SCALE

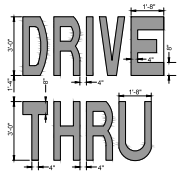
- NOTE:**
- GENERAL CONTRACTOR SHALL REFER TO CHICK-FIL-A PARKING LOT STRIPING SPECIFICATIONS. SEE DETAIL.
 - CONTRACTOR SHALL USE WHITE REFLECTIVE PAINT ON ASPHALT & YELLOW REFLECTIVE PAINT ON CONCRETE.



MULTI-LANE SPLIT **MULTI-LANE MERGE**

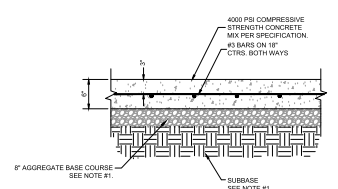
5B MULTI-LANE DIRECTIONAL GRAPHICS
 NOT TO SCALE

- NOTE:**
- GENERAL CONTRACTOR SHALL REFER TO CHICK-FIL-A PARKING LOT STRIPING SPECIFICATIONS. SEE DETAIL.
 - CONTRACTOR SHALL USE WHITE REFLECTIVE PAINT ON ASPHALT & YELLOW REFLECTIVE PAINT ON CONCRETE.



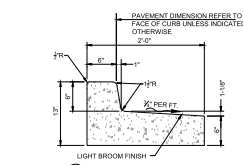
5C DRIVE-THRU GRAPHICS
 NOT TO SCALE

- NOTE:**
- GENERAL CONTRACTOR SHALL REFER TO CHICK-FIL-A PARKING LOT STRIPING SPECIFICATIONS. SEE DETAIL.
 - CONTRACTOR SHALL USE WHITE REFLECTIVE PAINT ON ASPHALT & YELLOW REFLECTIVE PAINT ON CONCRETE.

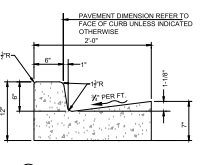


2 CONCRETE PAVING DRIVE-THRU LANE
 NOT TO SCALE

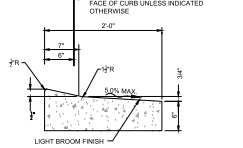
- NOTE:**
- GENERAL CONTRACTOR SHALL REFERENCE GEOTECHNICAL REPORT FOR PAVEMENT SECTION REQUIREMENTS.



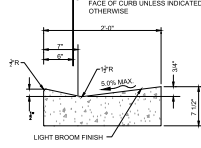
A SPILLING CURB AND GUTTER



B CATCHING CURB AND GUTTER



C DEPRESSED SPILLING CURB AND GUTTER



D DEPRESSED CATCHING CURB AND GUTTER

- CONCRETE FOR CURBING SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 P.S.I. AT 28 DAYS.
- CONSTRUCTION STAKING FOR CURBING INSTALLATION SHALL BE REFERENCED (CUT OR FILL) TO THE TOP OF CURB.
- AT CONTRACTOR'S OPTION THE GUTTER THICKNESS MAY BE INCREASED AT THE EDGE OF PAVEMENT TO MAKE BOTTOM OF GUTTER PARALLEL WITH PAVING OF BASE COURSE.

CONTRACTION JOINTS AT 10'-0" O.C. TOOLED 1/4" (61/16"-0) WIDE, 1" OR MAX. 1/4" DEEP WHICHEVER IS GREATER. EXPANSION JOINTS AT 40' MAX. AND ALL P.C.'S. UNLESS APPROVED OR INDICATED OTHERWISE ON PLAN VIEW JOINT PATTERN.

3 24" CONCRETE CURB & GUTTER
 NOT TO SCALE

PARKING LOT STRIPING SPECIFICATIONS

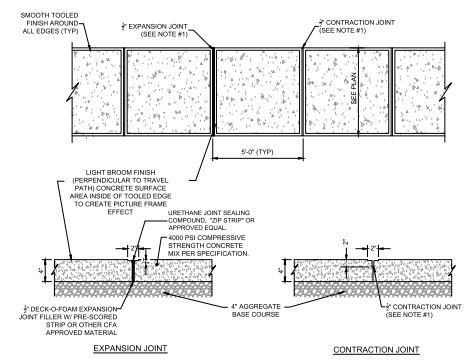
- STANDARDS:**
- ALWAYS FOLLOW ALL APPLICABLE GOVERNING AUTHORITY'S STANDARDS.
 - SURFACES SHOULD BE CLEAN, DRY AND FREE FROM LOOSE OR FLEETING PAINT. REMOVE ALL OIL, DIRT, GREASE, DIRT, AND OTHER FOREIGN MATERIAL TO ENSURE ADEQUATE ADHESION. DO NOT APPLY THRESH-AR OR SURFACE TEMPERATURES ARE BELOW 40°F.
 - APPLY STRIPING MILLARIES SET FAST PRESSION AND NO ZONE MARKING PAINT. 3000 WHITE OR 3000 YELLOW USING EITHER AIRLESS OR CONVENTIONAL LINE STRIPING EQUIPMENT. USE THE FOLLOWING SETTINGS AS A GUIDE. ACTUAL SETTINGS DEPEND ON ATMOSPHERIC CONDITIONS AT THE TIME OF APPLICATION.

- AIRLESS:**
- PRESSURE: 1800-2700 PSI
 - NOZZLE: 2" 9/16"
 - TP: 0.015"-0.017"
 - FILTER: 60 MESH
 - REDUCTION: ONLY IF NECESSARY. UP TO 1/2" GAL. VM&P NAPHTHA R1K3

- CONVENTIONAL:**
- COIL: BLINKS 21 (BLEEDER) OR EQUIVALENT
 - FLUID NOZZLE: RB
 - AIR NOZZLE: INTERNAL MIX #709
 - ATOMIZATION PRESSURE: 45-50 PSI
 - FLUID PRESSURE: 40-70 PSI
 - REDUCTION: ONLY IF NECESSARY. UP TO 1/2" GAL. VM&P NAPHTHA R1K3


- MIX PAINT THOROUGHLY BY BOILING, STIRRING, OR POWER AGITATION BEFORE USE. APPLY AT 3 MILS WET TO ACHIEVE A SPREAD RATE OF 400-500 LINEAL FEET OF STANDARD 4" STRIPE PER GALLON. APPLIED AT THIS RATE AT 70 DEGREES F AND SOL RELATIVE HUMIDITY. PAINT WILL DRY WITH NO TRAFFIC PICKUP AFTER 20 MINUTES.
- GENERAL CONTRACTOR TO RE STRIPE THE LOT 45 DAYS AFTER OPENING.

6 24" CONCRETE CURB & GUTTER
 NOT TO SCALE



4 TYPICAL CONCRETE SIDEWALK
 NOT TO SCALE

- NOTE:**
- JOINTS AT 8'-0" O.C. TOOLED 1/4" WIDE, 1" DEEP OR MAX. 1/4" DEEP WHICHEVER IS GREATER. EXPANSION JOINTS AT 20' MAX. & ALL P.C.'S. UNLESS APPROVED OR INDICATED OTHERWISE ON PLAN VIEW JOINT PATTERN.





5200 Buffington Rd.
 Atlanta Georgia,
 30349-2995

Revisions:

Mark	Date	By
△		
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△		

Seal





SALT LAKE CITY
 45 W. 1000 S., Suite 500
 Sandy, UT 84070
 Phone: 801.255.0529
 Fax: 801.255.4449

WWW.ENSGNENG.COM

STORE
 CHICK-FIL-A
 FSU #0107
 COORS BLVD.

COORS BLVD NW & ST.
 JOSEPHS DR NW
 ALBUQUERQUE, NM
 87120

SHEET TITLE
 CHICK-FIL-A
 SITE DETAILS

VERSION:
 ISSUE DATE:

Job No. : _11274_

Store : _04102_

Date : _10/24/22_

Drawn By : _--_

Checked By : _--_

Sheet

C-4.0



Chick-fil-A
 Chick-fil-A
 5200 Buffington Road
 Atlanta, Georgia
 30349-2998

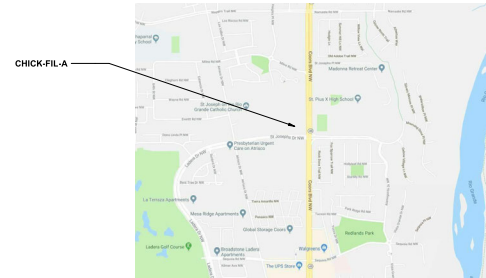
CORE STATES
 GROUP
 CORESTATES INC.
 1700 INDUSTRIAL DRIVE
 SUITE B
 ROGERS, AR 72756
 479.988.440
 www.core-eng.com



5200 BRUFFINGTON ROAD
 ATLANTA, GEORGIA 30349-2998
 PHONE: (404) 765-8000
 FAX: (404) 684-8550

**COORS BLVD AND ST JOSEPH'S DR
 ALBUQUERQUE, NM 87120**

VICINITY MAP



CODE INFORMATION

BUILDING CODE:
 (2015) International Building Code

PLUMBING CODE:
 (2015) International Plumbing Code

MECHANICAL CODE:
 (2015) International Mechanical Code

ELECTRICAL CODE:
 (2017) National Electric Code

ENERGY CODE:
 (2009) New Mexico Energy Conservation Code

FIRE CODE:
 (2015) International Fire Code with

ACCESSIBILITY CODE:
 (2009) ICC/ANSI

BUILDING DATA

- OCCUPANCY: **A2**
- CONSTRUCTION TYPE: **VB - SPRINKLERED**
- ALLOWABLE AREA: **6,000 SQ. FT.**
- ACTUAL AREA (FOOTPRINT): **5,014 SQ. FT.**
- SITE AREA: **1.16 AC = 50,890 S.F.**
- ZONING: **C-2 (COMMUNITY COMMERCIAL ZONE)**

PARKING DATA

1. PARKING REQUIRED	STANDARD SPACES	1 PER 125 G.S.F.	
	REQUIRED SPACES	5,014 / 125 = 40.1	(41 SPACES)
	OUTDOOR SPACES	1 PER 200 G.S.F.	
	REQUIRED SPACES	501 / 200 = 2.5	(3 SPACES)
	TOTAL REQUIRED SPACES =		(44 SPACES)
2. PARKING PROVIDED	STANDARD SPACES	48	
	COMPACT SPACES	00	
	ACCESSIBLE SPACES	03	
	MOTORCYCLE SPACES	02	
	TOTAL PROVIDED SPACES	53 SPACES	

LEGAL DESCRIPTION

AS CONTAINED IN THE TITLE COMMITMENT PREPARED FOR THIS PROPERTY BY FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT FILE NO. 2218027-AL01, EFFECTIVE DATE MAY 15, 2011.

LOT NUMBERED SIX (6) OF THE PLAT OF LOTS 1 THRU 5, COORS PAVILION (BEING A REPLAT OF TRACT X-142, UNIVERSITY OF ALBUQUERQUE URBAN CENTER), WITHIN THE TOWN OF ALBUQUERQUE GRANT IN PROJECTED SECTION 10, TOWNSHIP 10 NORTH, RANGE 2 EAST NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO FILED ON APRIL 11, 2017 AS DOCUMENT NO. 201703851, RECORDS OF BERNALILLO COUNTY, NEW MEXICO.

FLOODZONE DETERMINATION:

THE SURVEY AREA (AS SHOWN HEREON) APPEARS TO LIE WITHIN "ZONE X" AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AS SHOWN ON NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP NUMBER 3000102114H, MAP REVISED AUGUST 16, 2012.

SHEET INDEX

- G-01 COVER SHEET
- 1 SITE PLAN
- 2.0 LANDSCAPE PLAN
- 2.1 LANDSCAPE DETAILS
- 3 GRADING PLAN
- 4 UTILITY PLAN
- 6 EXHIBIT "A" DELIVERY TRUCK ROUTE
- 7 FIRE 1
- 8 DETAILS
- A-02 EXTERIOR ELEVATIONS
- A-04 PERSPECTIVE VIEWS
- A-103 REFUSE ENCLOSURE
- A-104 CANNOPY PLANS AND ELEVATIONS
- E-110 PHOTOMETRICS SITE PLAN
- E-111 PHOTOMETRICS SCHEDULE

DEVELOPER

CHICK-FIL-A, INC.
 5200 BUFFINGTON ROAD
 ATLANTA, GA 30349-2732
 Phone: (404) 305-4407
 Contact Name: Don Ikelor
 Contact Email: don.ikelor@chick-fil-a.com

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CORESTATES INC.
 201 SOUTH MAPLE AVE SUITE 300
 AMBLER, PA 19002
 Phone: (215) 630-5137
 Contact Name: Ken Mackenzie
 Contact Email: kmackenzie@core-eng.com

CIVIL ENGINEER

MERRICK & COMPANY
 5970 GREENWOOD PLAZA BLVD.
 GREENWOOD VILLAGE, CO 80014
 Phone: (303) 751-0741
 Contact Name: Troy Kelts
 Contact Email: troy.kelts@merrick.com

APPLICANT NAME

4G DEVELOPMENT AND CONSULTING, INC.
 P.O. BOX 270571
 SAN DIEGO, CA 92198
 Phone: (858) 231-0071
 Contact Name: Robert Lombardi
 Contact Email: rlombardi@4gdev.com

CHICK-FIL-A
 ALBUQUERQUE, NM
 4001 COORS BLVD
 ALBUQUERQUE, NM 87120

FSR#04107
 BUILDING TYPE / SIZE: P12 SE URG
 RELEASE: V2.18.08

REVISION	SCHEDULE	DATE	DESCRIPTION
001	10/31/18	06/26/19	SCHEMATIC DESIGN ISSUE

CONSTRUCTION DOCUMENTS

CONSULTANT PROJECT #	26779
PRINTED FOR CONSTRUCTION DOCUMENTS	
DATE	06/26/19
DRAWN BY	C.ELIAS

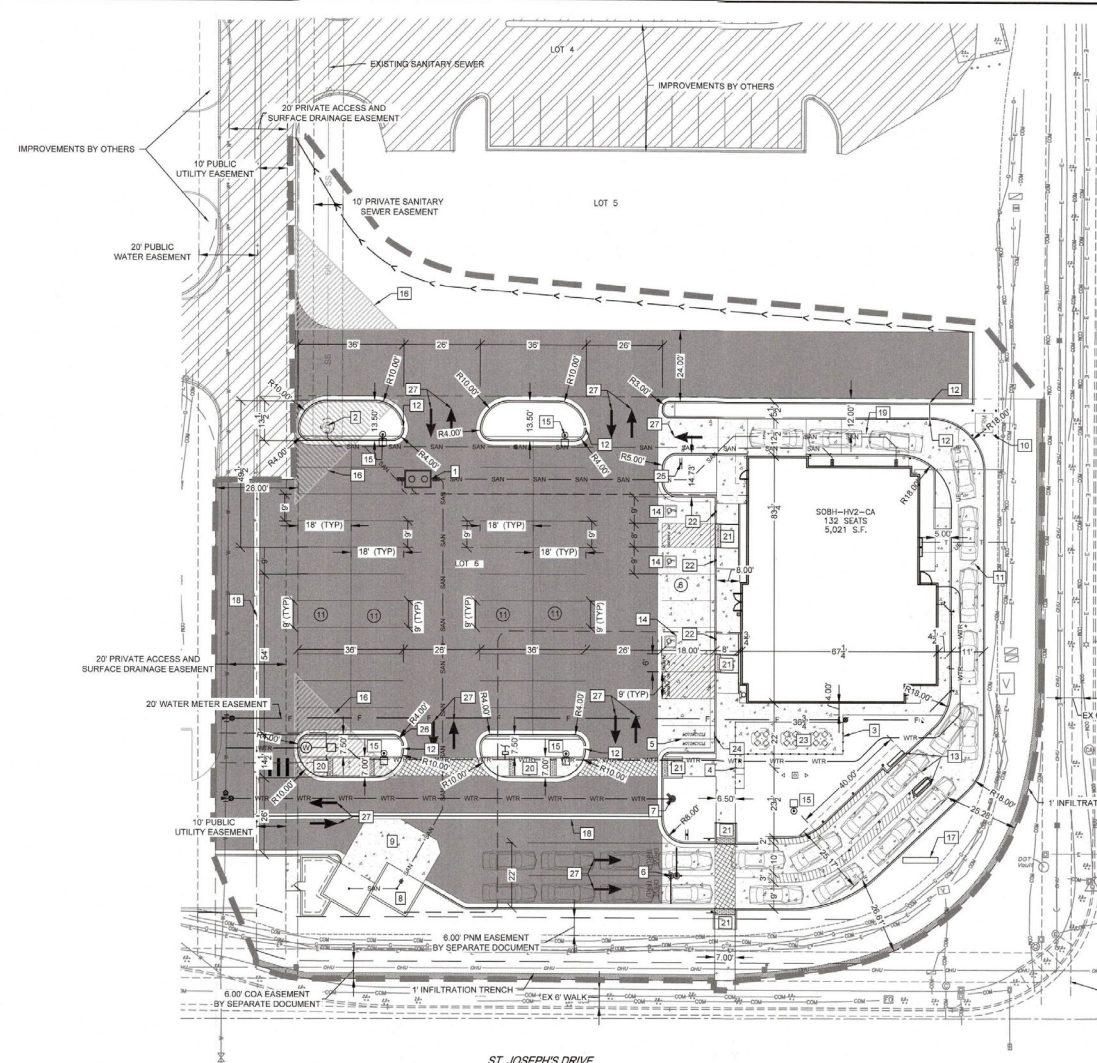
Information contained on this drawing is of a preliminary nature. It is not to be used for construction purposes until it has been approved by the appropriate authority. A professional seal is required for all drawings of a permanent nature.

TITLE: COVER SHEET

SHEET NUMBER

G-01

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 SE-04107-G-01-COVER SHEET

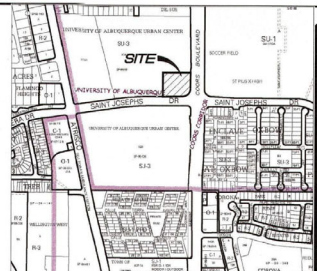
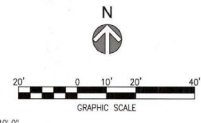


SITE PLAN DESIGN NOTES & KEY PLAN

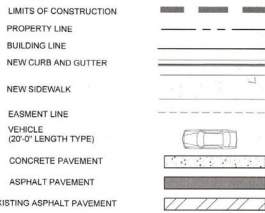
- 1 GREASE INTERCEPTOR
- 2 EXISTING SANITARY MANHOLE
- 3 42" PATIO ALUMINUM GUARDRAIL RE: DETAIL THIS SHEET
- 4 BIKE RACK
- 5 MOTORCYCLE PARKING STALLS
- 6 HEIGHT CLEARANCE ARM
- 7 FIRE HYDRANT (PRIVATE)
- 8 TRASH ENCLOSURE
- 9 CONCRETE APRON
- 10 ELECTRIC TRANSFORMER
- 11 CONCRETE DRIVE THROUGH
- 12 1' CURB OPENING
- 13 ORDER POINT CANOPY AND MENU BOARDS
- 14 ACCESSIBLE PARKING STALL
- 15 25' LIGHT POLE (TYP)
- 16 SIGHT DISTANCE TRIANGLE (35' X 35') SEE NOTE 5
- 17 MONUMENT SIGN
- 18 2' CONCRETE PAN
- 19 PICK UP WINDOW CANOPY
- 20 AT GRADE WALK
- 21 ACCESSIBLE RAMP
- 22 ACCESSIBLE PARKING SIGN
- 23 PUBLIC OUTDOOR SEATING AREA
- 24 MOTORCYCLE PARKING SIGN
- 25 THANK YOU / DO NOT ENTER SIGN
- 26 ROLL OVER CURB
- 27 PAVEMENT DIRECTIONAL ARROWS

GENERAL NOTES

1. DESIGN GROUND MOUNTED EQUIPMENT SCREENING TO ALLOW FOR ACCESS TO UTILITY FACILITIES ALL SCREENING AND VEGETATION SURROUNDING GROUND MOUNTED TRANSFORMERS AND UTILITY PADS ARE TO ALLOW 15 FEET OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5-6 FEET OF CLEARANCE ON THE REMAINING THREE SIDES FOR SAFE OPERATION, MAINTENANCE, AND REPAIR PURPOSES. REFER TO THE PNM ELECTRIC SERVICE GUIDE AT WWW.PNM.COM FOR SPECIFICATIONS
2. SITE PLAN SHALL COMPLY AND BE IN ACCORDANCE WITH ALL APPLICABLE CITY OF ALBUQUERQUE REQUIREMENTS, INCLUDING THE DEVELOPMENT PROCESS MANUAL AND CURRENT ADA CRITERIA.
3. APPLICANT SHALL BE RESPONSIBLE TO ABIDE BY ANY CONDITIONS OR TERMS OF UTILITY EASEMENTS
4. ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON A PUBLIC WORK ORDER
5. LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 9 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE
6. ALL THE BUILDINGS CONSTRUCTED WITHIN THE COORS PAVILION PROPERTY SHALL HAVE EXTERIOR SECURITY CAMERAS.



LEGEND



SITE DATA CHART

LEGAL DESCRIPTION OF LEASE AREA: LOT 6 COORS PAVILION WITHIN THE TOWN OF ALBUQUERQUE GRANT IN PROJECTED SECTION 2, TOWNSHIP 10 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, COUNTY OF BERNALILLO, STATE OF NEW MEXICO.

ZONE DISTRICT: SU-3 WITH C-2 USES ALLOWED

PROPOSED USE: QUICK SERVICE RESTAURANT

	SQ FT	ACRES	PERCENTAGE
TOTAL AREA OF PROPERTY:	60,690	1.18	100%
LANDSCAPE AREA:	13,658	0.25	23%
HARDSCAPE AREA:	2,720	0.05	5%
TOTAL PARKING AND DRIVE AREA:	29,091	0.53	48%
TOTAL BUILDING AREA:	6,521	0.12	11%

REQUIRED PARKING CALCULATION: RESTAURANT WITH DRIVE THRU AT LEAST 1 PARKING SPACE PER 4 SEATS IN BUILDING = 33 SPACES

REQUIRED HANDICAP CONSTRUCTED WITHIN THE COORS PAVILION PROPERTY SHALL HAVE EXTERIOR SECURITY CAMERAS.

STANDARD PARKING SPACES: 47

ACCESSIBLE PARKING SPACES: 3

TOTAL AUTO PARKING SPACES PROVIDED: 50

MOTORCYCLE PARKING SPACES: 2

BIKE RACK SPACES: 4

	TOTAL PARKING AREA	LANDSCAPE AREA	HARDSCAPE AREA
TOTAL PARKING AREA:	38,232	0.90	100%
LANDSCAPE AREA:	10,352	0.24	26%
HARDSCAPE AREA:	28,880	0.53	74%



Revisions:

Mark	Date	By
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Seal



STORE
CHICK-FIL-A
FSU #04107
COORS BLVD.

4001 COORS BLVD NW
ALBUQUERQUE, NM
87120

SHEET TITLE
SITE PLAN

DWG EDITION: ---

Job No. : 65119594
Store : 04107
Date : 8/1/19
Drawn By : LV
Checked By : KW
Sheet

1



GENERAL NOTES

(Note: All references to "Contractor" are specific to "Landscape Contractor" unless noted as "General" or other type of Contractor)

- CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES OF MATERIALS NEEDED TO COMPLETE THIS PLAN IN THE FIELD. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE DRAWINGS AND CONDITIONS IN THE FIELD. GRAPHIC CITY'S PREVAL OVER WRITTEN CITY'S. PRIOR TO COMMENCEMENT OF WORK THE LANDSCAPE CONTRACTOR SHALL CONTACT OWNER'S REPRESENTATIVE FOR SPECIFIC INSTRUCTIONS RELEVANT TO THE SEQUENCING AND SCOPE OF WORK.
- CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL LANDSCAPE SHOWN ON THIS PLAN. ANY DEFICIENCIES OR DEVIATIONS FROM THIS PLAN ARE TO BE APPROVED BY OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT. ANY CHANGES FROM THE APPROVED PLANS MAY REQUIRE APPROVAL FROM THE CITY OR COUNTY PLANNING DEPARTMENTS.
- LANDSCAPE CONTRACTOR TO PROVIDE ALL LABOR AND MATERIALS NECESSARY TO FURNISH SCOPE OF WORK AS SHOWN PER PLAN.
- EXISTING TOPSOIL IS TO BE STOCKPILED AND USED TO ESTABLISH FINAL GRADES WITHIN LANDSCAPE AREAS. ALL STOCKPILED SOIL MUST BE CLEAR OF WEEDS, ROCKS AND DEBRIS BEFORE REUSE. ALL BERMED PLANTING BEDS TO BE CREATED WITH IMPORTED TOPSOIL.
- GENERAL CONTRACTOR TO RE-SPREAD STOCKPILED SOIL AND ESTABLISH ROUGH GRADE CONDITIONS TO THE FOLLOWING SPECIFICATIONS:
 - 1" BELOW CURB FOR ALL SEEDDED AREAS.
 - 2.5" BELOW CURB FOR ALL SODDED AREAS.
 - 4" BELOW CURB FOR ALL MULCH AND MULCH BEDS.
- CONTRACTOR TO TILL PARKING LOT ISLANDS TO A DEPTH OF 30".
- AMEND ALL PLANTING BEDS WITH CLASS 1 COMPOST, APPLY AT RATE OF 3 CYDS, PER 100 SQUARE FEET TO ALL PLANTING BEDS AND MANICURED LAWN AREAS, AND 2 CYDS, PER 100 SQUARE FEET FOR SEEDDED AREAS, TILL MIXING THOROUGHLY INTO THE UPPER 8" OF SOIL.
- FINE GRADE TO BE ESTABLISHED BY LANDSCAPE CONTRACTOR. FINE GRADE SHALL BE FREE FROM ROCKS AND DEBRIS, FINE GRADE IN SEED AREAS SHALL BE FREE FROM ROCKS AND DEBRIS 2" AND GREATER. FINE GRADE IN SODDED AREAS SHALL BE FREE FROM ROCKS AND DEBRIS 2" AND GREATER. CONTRACTOR TO REMOVE ANY POOR DRAINAGE CONDITIONS PRIOR TO CONSTRUCTION.
- CONTRACTOR IS TO PROVIDE VERIFICATION THAT ALL SODS ARE OF THE SPECIES SHOWN ON THIS PLAN. NO SUBSTITUTIONS WILL BE ALLOWED. SOD TO BE Laid WITH TRIMM STAGGERED EDGES AND ROLLED AFTER INSTALLATION. SEEDDED AREAS CANNOT BE SUBSTITUTED WITH SODS.
- MULCHS: ALL PLANTING BEDS THAT CALL FOR WOOD/ORGANIC MULCH TO RECEIVE 4" ORGANIC SHREDDED BARK MULCH. SHREDDED MULCH IS TO BE OF FIBROUS MATERIAL, NOT CHIPS OR CHUNKS. NO FABRIC IS TO BE PLACED UNDER WOOD/ORGANIC MULCH. TREES IN TURF AND NATIVE GRASS AREAS TO RECEIVE 4" DIAMETER OF WOOD MULCH. 3" DEPTH. ALL MULCHED BEDS ARE TO BE SPRAYED WITH WATER AFTER INSTALLATION TO HELP MULCH TO MAT DOWN.

USE PERMEABLE FABRIC UNDERLAYMENT FOR ALL COBBLE/AGGREGATE AREAS WITH SLOPES 3:1 AND LESS. USE QUICK RELEASE ORGANIC PRE-EMERGENT HERBICIDE FOR ALL MULCHED AND PERENNIAL PLANTING BEDS (AND FOR COBBLE/AGGREGATE AREAS WITH SLOPES EXCEEDING 3:1 GRADE.

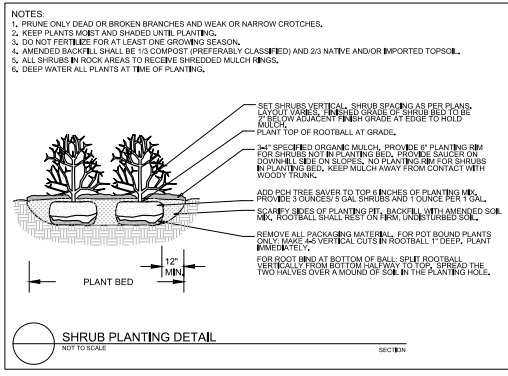
SHRUBS AND GROUNDCOVERS IN NATIVE GRASS AREAS TO RECEIVE 3" DIAMETER OF WOOD MULCH. 3" DEPTH. TREES IN COBBLE/ROCK MULCH TO RECEIVE 4" DIAMETER OF WOOD MULCH. 3" DEPTH. SHRUBS AND GROUNDCOVERS IN COBBLE/ROCK MULCH AREAS TO RECEIVE 3" DIAMETER OF WOOD MULCH. 3" DEPTH. NO FABRIC UNDERLAYMENT IN WOOD MULCH AREAS.

- SEED MIX INSTALLATION: CONTRACTOR TO DRILL SEED WITH SHREDLON TYPE APPLICATOR AND APPLY SOIL GUARD BONDED FIBER MATRIX (BFM) WHERE INDICATED PER PLAN AND SCHEDULES. APPLY SEED IN TWO DIRECTIONS (PERPENDICULAR OF THE OTHER) AND SOIL GUARD BFM FOR DRILL SEEDING WHERE NOTED PER PLAN AND ON ALL SLOPES 5:1 TO 3:1. FOR AREAS WITH 3:1 SLOPES OR GREATER CONTRACTOR TO USE SOIL GUARD APPLICATION ONLY (IN LIEU OF HYDROMULCH). CONTRACTOR TO SPOT SEED NON-GERMINATING AREAS (3) MONTHS AFTER INITIAL SEED APPLICATION. CONTRACTOR TO RE-SEED ALL BARE AREAS (6"x6" AND GREATER AFTER (6) MONTHS FROM SEED GERMINATION OR AT THE BEGINNING OF THE FOLLOWING GROWING SEASON. PRIOR TO THE 1-MONTH WARRANTY INSPECTION REAPPLY SOIL GUARD AND SEED MIX TO ALL BARE AREAS (6"x6" OR GREATER) AND TO ALL BARE AREAS (4"x4" OR GREATER) ON ALL SLOPES 3:1 AND GREATER.
- REMOVED DEAD TWIGS AND BRANCHES FROM ALL NEW AND EXISTING PLANT MATERIAL IN A MANNER THAT DOES NOT CHANGE THE NATURAL HABIT OF THE PLANT MATERIAL. SCORES OF 1" OR MORE SHALL BE PAINTED WITH ORGANIC TREE PAINT. CENTRAL LEADERS SHALL NOT BE REMOVED AT ANY TIME. NEWLY PLANTED TREES WITHOUT CENTRAL LEADERS WILL BE REJECTED.
- CONTRACTOR TO APPLY FERTILIZER IN SPRING & LATE SEPTEMBER, WATER THOROUGHLY AFTER APPLICATION OF FERTILIZERS.

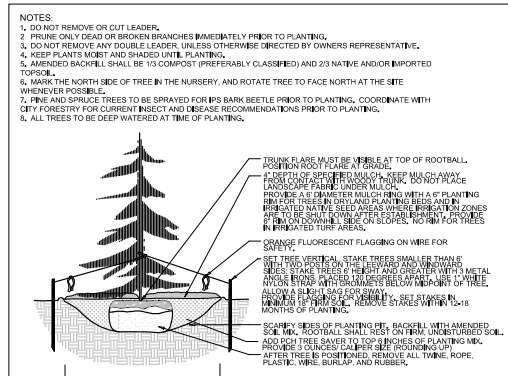
ALL SEEDED AND SODDED AREAS TO HAVE RECOMMEND FERTILIZER APPLICATIONS ADDED 2 TO 3 WEEKS AFTER SEEDLING EMERGENCE, AND ONCE IN MID TO LATE JUNE IN EARLY TO MID AUGUST, AND ONCE IN LATE SEPTEMBER. SEEDED AND SODDED AREAS ARE ALSO TO RECEIVE 5 LB. OF ELEMENTAL SULFUR (OR EQUIVALENT MATERIAL) PER 100 S.F., APPLIED IN LATE SEPTEMBER. WATER THOROUGHLY AFTER APPLICATION OF FERTILIZERS.
- ALL PLANT MATERIALS AND UTILITIES ARE SHOWN AT AN APPROXIMATE LOCATIONS. THE CONTRACTOR MAY NEED TO ADJUST LOCATIONS OF PLANT MATERIAL TO ADHERE TO SITE SPECIFIC CONDITIONS AND CODE REQUIREMENTS. ALL TREES AND SHRUBS TO BE PLACED AT 2" MINIMUM BACK OF CURB. CONTRACTOR TO CALL FOR UTILITY LOCATES BEFORE PLANTING (TYPE 1) AND BEFORE YOU DO:

COORDINATION WITH PNM IS NECESSARY FOR THIS PROJECT REGARDING PROPOSED TREE SPECIES, THE HEIGHT AT MATURITY AND TREE PLACEMENT, SIGN LOCATION AND HEIGHT, AND LIGHTING HEIGHT IN ORDER TO ENSURE SUFFICIENT SAFETY CLEARANCES TO AVOID INTERFERENCE WITH THE EXISTING ELECTRIC OVERHEAD AND UNDERGROUND DISTRIBUTION LINES ALONG THE EAST SIDE OF EUBANK BOULEVARD NE AT THE PROJECT SITE BOUNDARY. PNM'S LANDSCAPING PREFERENCE IS FOR TREES AND SHRUBS TO BE PLANTED OUTSIDE THE PNM EASEMENT. HOWEVER, IF WITHIN THE EASEMENT, TREES AND SHRUBS SHOULD BE PLANTED TO MINIMIZE EFFECTS ON ELECTRIC FACILITY MAINTENANCE AND REPAIR. NEW TREES PLANTED NEAR PNM FACILITIES SHOULD BE NO TALLER THAN 20 FEET IN HEIGHT AT MATURITY TO AVOID CONFLICTS WITH EXISTING ELECTRIC INFRASTRUCTURE.
- STEEL EDGING TO BE USED TO SEPARATE ALL TURF AND/OR SEEDDED AREAS FROM PLANTING BEDS. USE PERFORATED EDGING SEGMENTS TO OBTAIN POSITIVE DRAINAGE FOR ALL DRAINAGE SWALES OR AREAS OF STANDING WATER.
- CONTRACTOR TO PROVIDE COBBLE & UNDERLAYMENT FOR BUILDING DRAINS AND SWALES THROUGH LANDSCAPED AREAS.

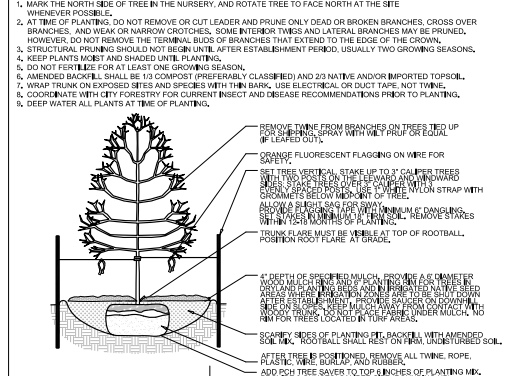
- ALL REQUIRED LANDSCAPING TO BE INSTALLED PRIOR TO ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
- NEW PLANT MATERIAL MUST COMPLY WITH CURRENT NEW MEXICO NURSERY ACT STANDARDS.
- CONTRACTOR IS RESPONSIBLE FOR CONTACTING LANDSCAPE ARCHITECT FOR ALL REQUIRED INSPECTIONS. PROVIDE AT LEAST 48 HOURS NOTICE TO SCHEDULE AN INSPECTION. REQUIRED INSPECTIONS INCLUDE A LANDSCAPE LAYOUT AND PLANT MATERIAL VERIFICATION AND PLACEMENT INSPECTION, IRRIGATION MAIN LINE INSPECTION, LANDSCAPE AND IRRIGATION PUNCH LIST INSPECTION, AND A LANDSCAPE AND IRRIGATION FINAL INSPECTION.
- CONTRACTOR IS TO PROVIDE A ONE YEAR WARRANTY ON ALL PLANT MATERIAL, TURF, IRRIGATION COMPONENTS, AND WORKMANSHIP. REPLACEMENT PLANT MATERIALS SHALL BE OF THE SAME SPECIES AND SIZE AS THE DECAYED OR DEAD PLANT MATERIAL. WARRANTY IS VOID IF PLANT MATERIAL ARE UNDER OR OVERWATERED/FERTILIZED, DAMAGED BY VANDALISM OR NEGLECTED BY OWNER AFTER FINAL MAINTENANCE PERIOD AND FINAL ACCEPTANCE IS PROVIDED.
- REMOVE ALL TREE STAKING MATERIALS AT END OF WARRANTY, PRIOR TO FINAL ACCEPTANCE.
- MAINTENANCE: THE OWNER OF THIS PROPERTY AND ANY FUTURE OWNERS SHALL BE RESPONSIBLE FOR THE PROPER LANDSCAPE AND IRRIGATION MAINTENANCE OF THIS SITE AND ANY RIGHT OF WAY AREAS BETWEEN THE CURB AND PROPERTY LINES OF THIS SITE. MAINTENANCE OF THIS SITE INCLUDES, BUT IS NOT LIMITED TO, IRRIGATION INSPECTIONS AND ADJUSTMENTS, IRRIGATION SYSTEM SHUT DOWN AND START UP, IRRIGATION LEAK REPAIR, LANDSCAPE WEEDING, MOVING, SEEDING, FERTILIZATION, WOOD MULCH AND ROCK COVER REPLACEMENT, PRUNING, AND PLANT MATERIAL REPLACEMENT (INCLUDING ANNUAL BEDS). ALL MAINTENANCE SHOULD BE IN ACCORDANCE WITH STANDARDS SPECIFIED WITHIN THE "ALCC SPECIFICATIONS HANDBOOK" REVISED EDITION 1996. OWNER SHOULD CONTACT LANDSCAPE CONTRACTOR OR LANDSCAPE ARCHITECT REGARDING ANY QUESTIONS RELATING TO THE LANDSCAPE OR IRRIGATION MAINTENANCE OF THIS SITE.



SHRUB PLANTING DETAIL
NOT TO SCALE
SECTION



EVERGREEN TREE PLANTING DETAIL
NOT TO SCALE
SECTION



DECIDUOUS TREE PLANTING DETAIL
NOT TO SCALE
SECTION

ALL PLANTS TO BE PLANTED TO ACCOMMODATE AND MAXIMIZE RAINWATER HARVESTING DEPRESSIONS IN LANDSCAPE BEDS.

- NOTES:
- MARK THE NORTH SIDE OF TREE IN THE NURSERY, AND ROTATE TREE TO FACE NORTH AT THE SITE
 - WHenever possible.
 - AT TIME OF PLANTING, DO NOT REMOVE OR CUT LEADER AND PRUNE ONLY DEAD OR BROKEN BRANCHES, CROSS OVER BRANCHES, AND NEAR OR NARROW CROTCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED, HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
 - STRUCTURAL PRUNING SHOULD NOT BEGIN UNTIL AFTER ESTABLISHMENT PERIOD, USUALLY TWO GROWING SEASONS.
 - KEEP PLANTS MOIST AND SHADDED UNTIL PLANTING.
 - DO NOT FERTILIZE FOR AT LEAST ONE GROWING SEASON.
 - AMENDED BACKFILL SHALL BE 1/3 COMPOST (PREFERABLY CLASSIFIED) AND 2/3 NATIVE AND/OR IMPORTED TOPSOIL.
 - WRAP TRUNK ON EXPOSED SITES AND SPECIES WITH THIN BARK. USE ELECTRICAL OR DUCT TAPE, NOT TWINE.
 - COORDINATE WITH CITY FORESTRY FOR CURRENT INSECT AND DISEASE RECOMMENDATIONS PRIOR TO PLANTING.
 - DEEP WATER ALL PLANTS AT TIME OF PLANTING.



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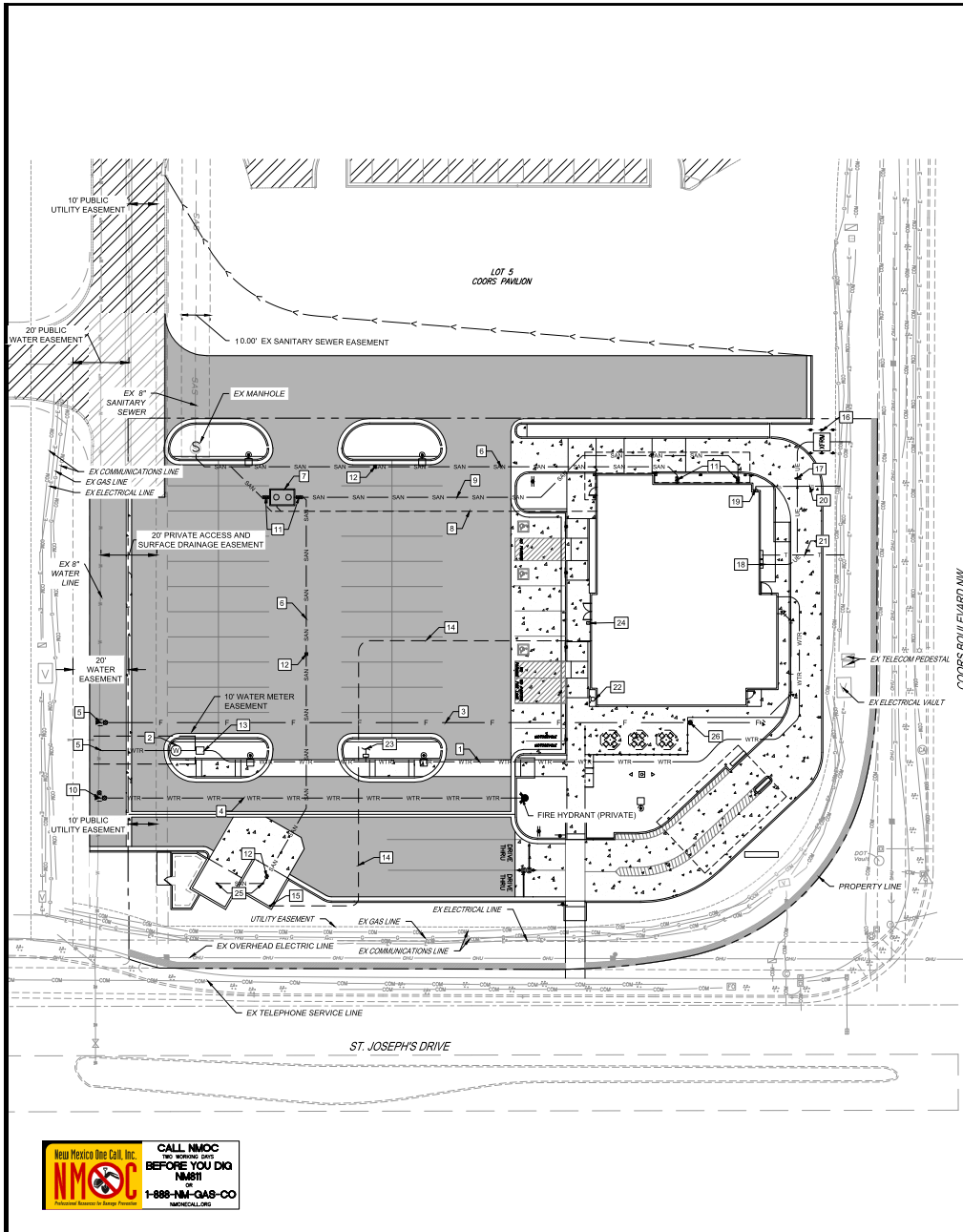
SHEET TITLE
LANDSCAPE
PLAN
DETAILS

DWG EDITION ---

Job No. : 65119594
Store : 04107
Date : 08/02/19
Drawn By : _RJO
Checked By: _NAM

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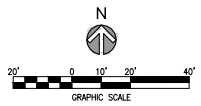


PLUMBING SITE PLAN DESIGN NOTES & KEY PLAN

- 1 2" TYPE K COPPER DOMESTIC WATER SERVICE (PRIVATE)
- 2 2" WATER METER (PRIVATE)
- 3 4" O.D.P. FIRE LINE (PRIVATE)
- 4 6" O.D.P. FIRE SERVICE (PUBLIC)
- 5 CONNECT TO EXISTING WATER MAIN
- 6 4" PVC WASTEWATER SERVICE LINE (PRIVATE)
- 7 GREASE INTERCEPTOR (PRIVATE)
- 8 3" VENT LINE (PRIVATE)
- 9 4" PVC KITCHEN WASTE LINE (PRIVATE)
- 10 6" FIRE SERVICE CONNECTION (PUBLIC)
- 11 4" TWO-WAY CLEANOUT (TRAFFIC RATED) (PRIVATE)
- 12 4" ONE-WAY CLEANOUT (TRAFFIC RATED) (PRIVATE)
- 13 2" REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTION ASSEMBLY (RPBA)
- 14 3/4" TYPE K COPPER WATER SERVICE TO YARD HYDRANT (PRIVATE)
- 15 3/4" YARD HYDRANT (PRIVATE)
- 16 ELECTRIC TRANSFORMER
- 17 ELECTRIC SERVICE LINE
- 18 ELECTRIC METER AND DISTRIBUTION PANEL
- 19 GAS METER
- 20 GAS SERVICE LINE
- 21 TELEPHONE SERVICE LINE
- 22 FIRE DEPARTMENT CONNECTION
- 23 CONNECT TO IRRIGATION SYSTEM
- 24 KNOX BOX
- 25 TRASH ENCLOSURE AREA DRAIN. CONNECT TO PROPOSED SANITARY SEWER LINE.
- 26 POST INDICATOR VALVE

LEGEND:

- PROPERTY LINE
- WATER METER
- IRRIGATION METER
- GREASE TRAP
- SINGLE CLEANOUT
- TWO-WAY CLEANOUT
- TRANSFORMER
- STORM INLET
- STORM MANHOLE
- LIGHT POLE
- PROPOSED TRAFFIC SIGN
- PAVEMENT STRIPING
- PARKING STALL COUNT
- F --- FIRE LINE
- WTR --- WATER LINE
- SAN --- SANITARY SEWER
- G --- GAS SERVICE
- E --- ELECTRIC SERVICE
- T --- TELEPHONE SERVICE
- STORM SEWER
- 5555 --- PROPOSED MAJOR CONTOUR
- 5555 --- PROPOSED MINOR CONTOUR
- EX STORM MANHOLE
- EX SANITARY MANHOLE
- EX STORM INLET
- EX LIGHT POLE
- UE --- EX UNDERGROUND ELECTRIC
- G --- EX GAS SERVICE
- W --- EX WATER LINE
- SD --- EX STORM SEWER
- SS --- EX SANITARY SEWER
- UT --- EX TELEPHONE SERVICE
- EX GUARDRAIL
- EX FIRE HYDRANT
- EX TRAFFIC SIGN
- 5555 --- EX MAJOR CONTOUR
- 5555 --- EX MINOR CONTOUR
- EX TREE
- EX IRRIGATION VALVE
- EX WATER VALVE
- EX TELEPHONE BOX
- EX ELECTRIC BOX
- EX RECLAIMED WATER MAIN
- EX STORM SEWER



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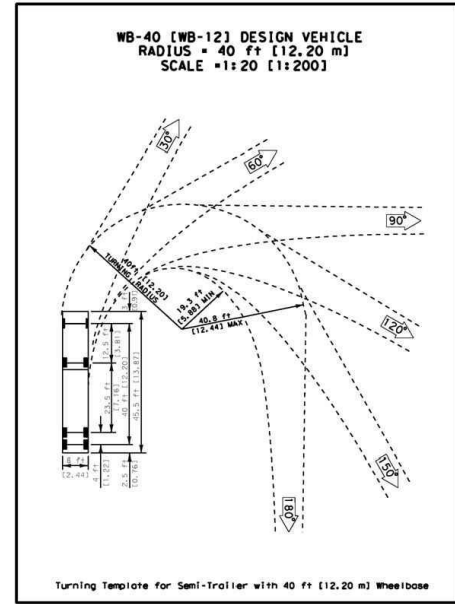
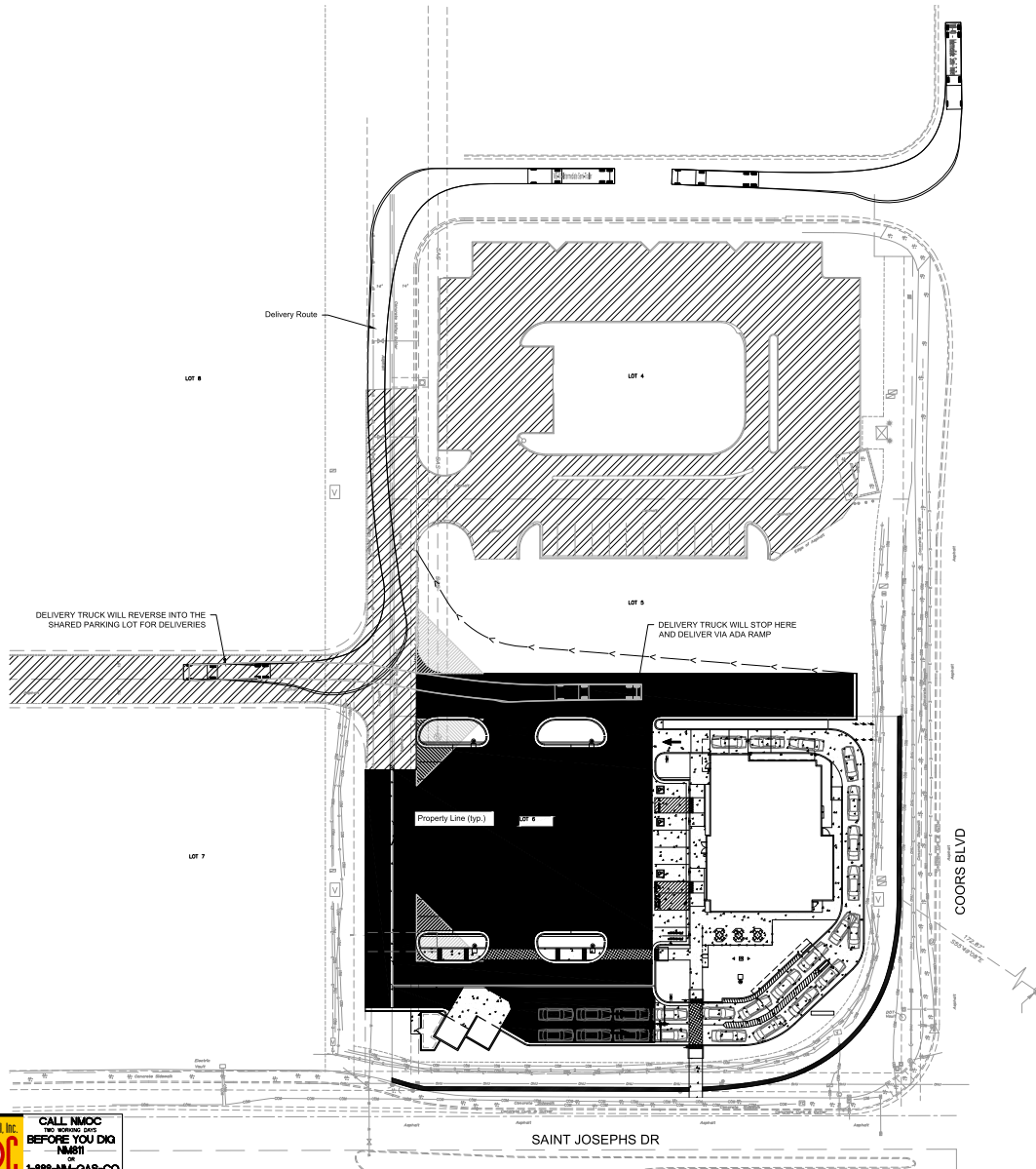
UTILITY PLAN

DWG EDITION ---

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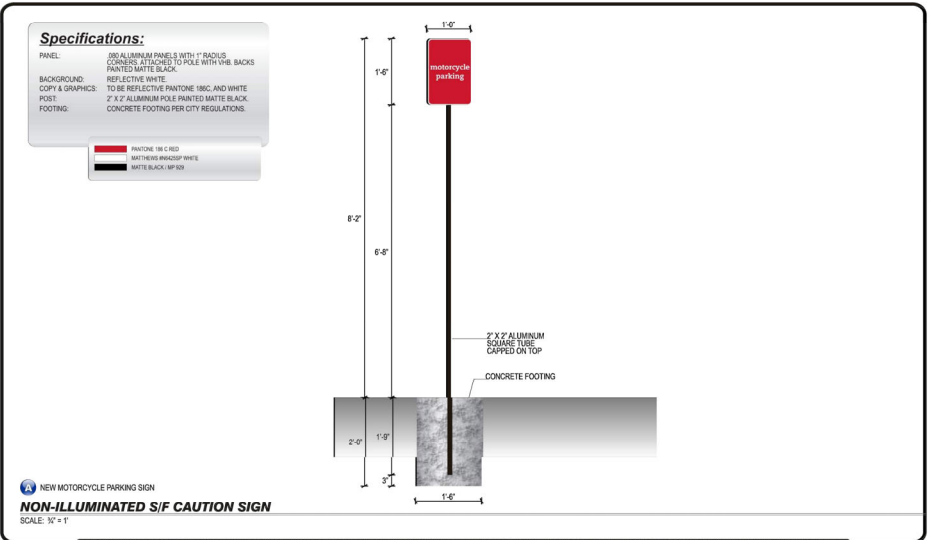


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SHEET TITLE
DELIVERY TRUCK ROUTE
 DWG EDITION ---
 Job No. : 65119594
 Store : 04107
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 Drawn By : LV
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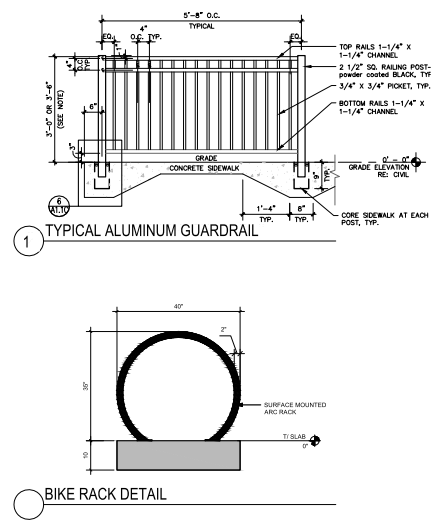
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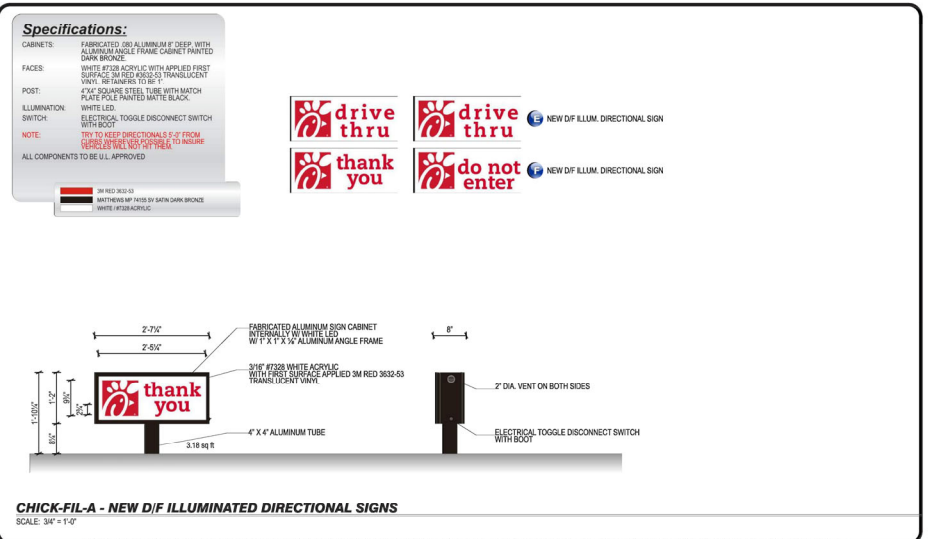
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Address: 1400 Glendon Blvd. SE, Albuquerque, NM 87106	Account Mgr.: S. Rowlandson		VISCO ELECTRONIC SIGNS
Phone: 505.991.4742	Date: 09/19/2017		
Designer: Duffy, S.	Scale: As Noted		



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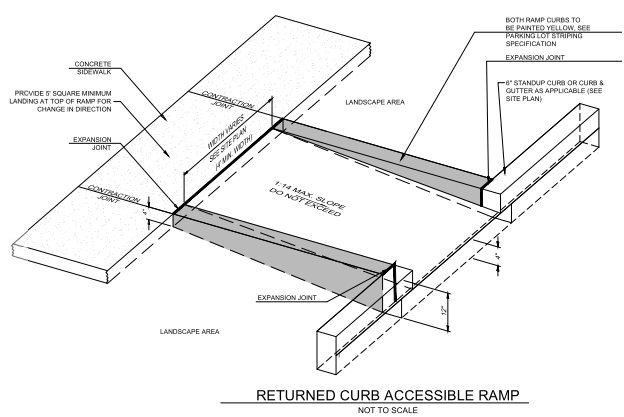
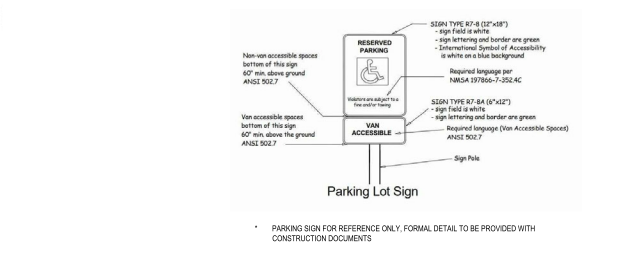


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Phone: 505.991.4742	Date: 01/24/2018		
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FSR#04107
BUILDING TYPE / SIZE: P12 SE LRG
RELEASE: v2.18.08

REVISION SCHEDULE
NO. DATE DESCRIPTION
1 10/31/18 SCHEMATIC DESIGN
ISSUE

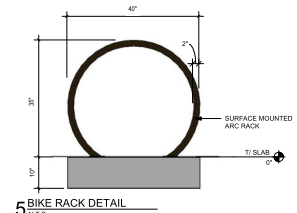
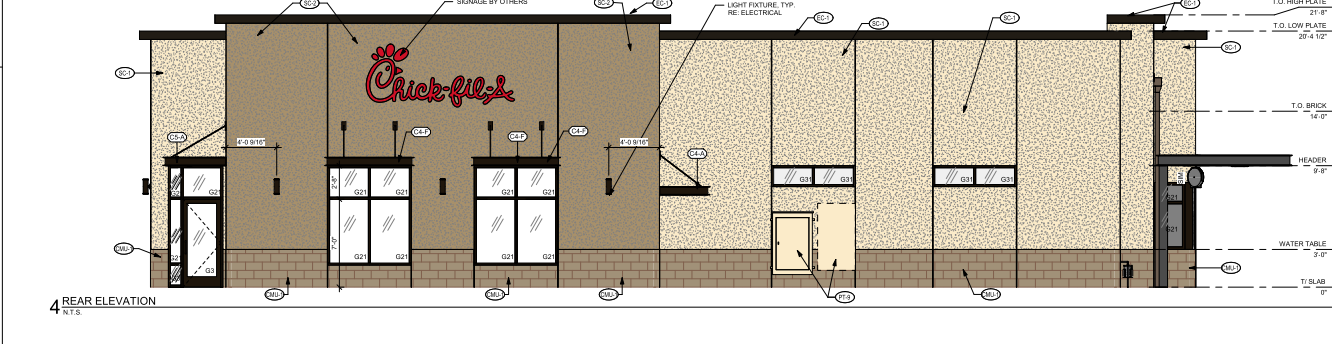
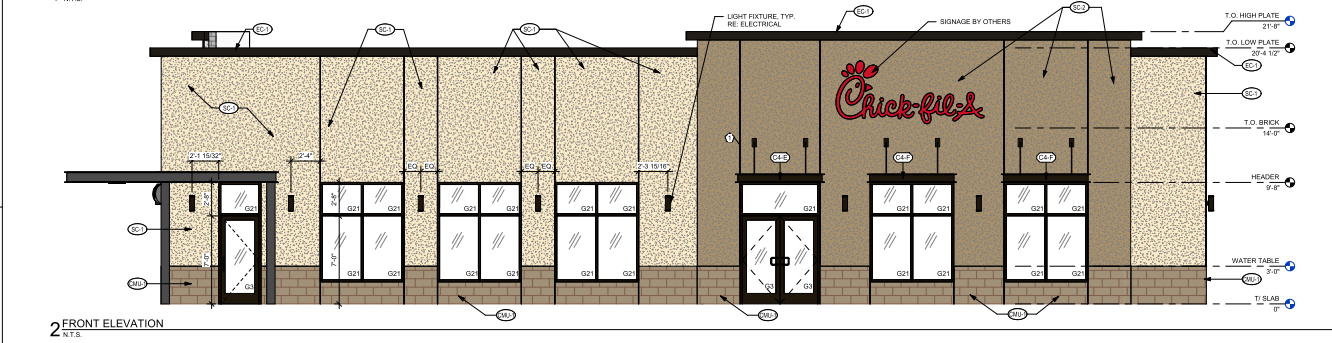
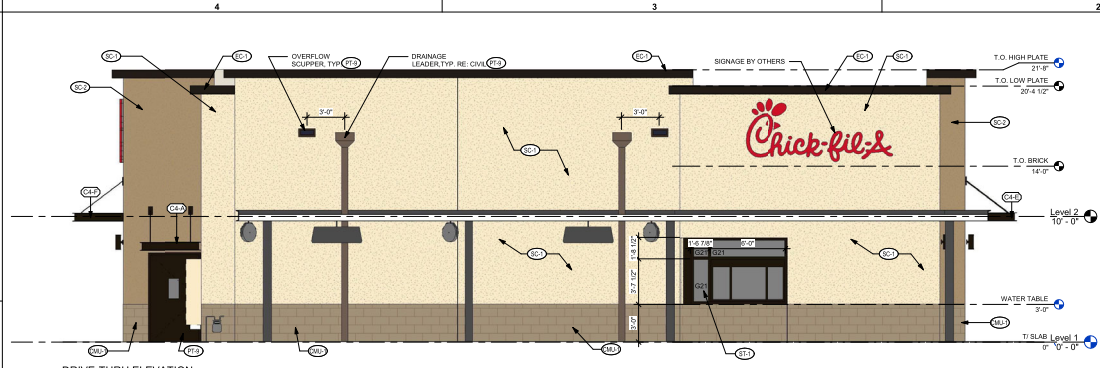
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EXTERIOR ELEVATIONS
SHEET NUMBER

A-02

FINISH SCHEDULE - EXTERIOR CUP						
MARK	DESCRIPTION	MANUFACTURER	MODEL NAME	MODEL NUMBER	COLOR	NOTE
EXTERIOR						
CMU-1	CMU BLOCK	ORCO	BURNISHED BROWN MEDIUM		BURNISHED BROWN MEDIUM	MATCHING NEUTRAL COLORED GROUT
EC-1	PARAPET WALL CORING	BRUNCKLEY	EXCEPTIONAL METALS	STANDARD FRP	DARK BRONZE (MATT)	
PT-7	EXTERIOR PAINT	SHERWIN WILLIAMS	SHER-COAT HIGH PERFORMANCE ACRYLIC	BV 2807	ROCKWOOD	REFRIG. ENCL. BURE. FINISH SEMI-GLOSS ON DOOR FRAMES, SATIN ON WALLS
PT-9	EXTERIOR PAINT	SHERWIN WILLIAMS	SHER-COAT HIGH PERFORMANCE ACRYLIC		DARK BRONZE	
SC-1	STUCCO	STO	SHER-CAN IVORY	SW 7541	SHER-CAN IVORY	FINISH SAND MEDIUM
SC-2	STUCCO	STO	SHER-CAN FAURE	SW 7549	STUCCO FAURE	FINISH SAND MEDIUM
ST-1	STORE FRONT	VVK	YES-45		DARK BRONZE (MATT)	



BIM 360/INR 04107 Coors Blvd Albuquerque, FSR, P12 SE, URG4107, Albuquerque NM, P12 SE, ARC, 02, 18.08.v1
8/22/2018 11:02:02 AM
SEC04107-A-02 EXTERIOR ELEVATIONS



1 PERSPECTIVE VIEW - Stucco - FRONT LEFT
N.T.S.



2 PERSPECTIVE VIEW - Stucco - FRONT RIGHT
N.T.S.



3 PERSPECTIVE VIEW - Stucco - REAR RIGHT
N.T.S.



4 PERSPECTIVE VIEW - Stucco - REAR LEFT
N.T.S.



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BUILDING TYPE / SIZE P12 SE LRG
RELEASE V2.18.08

REV	DATE	DESCRIPTION
01	10/31/18	SCHEMATIC DESIGN ISSUE

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SHEET PERSPECTIVE VIEWS

SHEET NUMBER

A-04



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FSR#04107
BUILDING TYPE: 152E P12 SE LG
RELEASE: v2.18.08

NO.	DATE	DESCRIPTION
1	11/22/18	PERMIT ISSUE
2	04/22/19	PERMIT REV 3
4	05/06/19	PERMIT REV 4
	07/02/19	ISSUE FOR BID

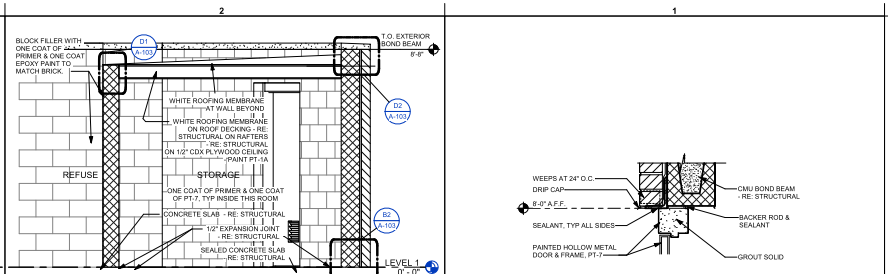
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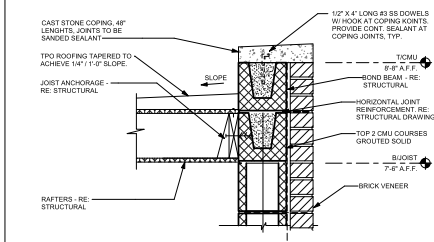
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SHEET NUMBER

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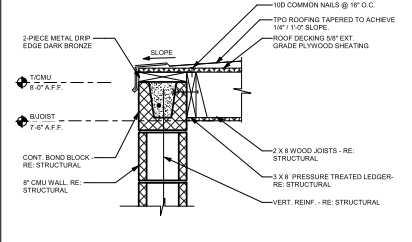


E2 REFUSE ENCLOSURE SECTION
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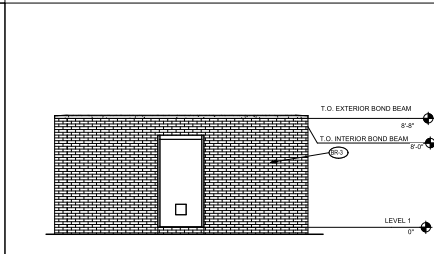
E1 REFUSE ENCLOSURE DOOR HEAD DETAIL
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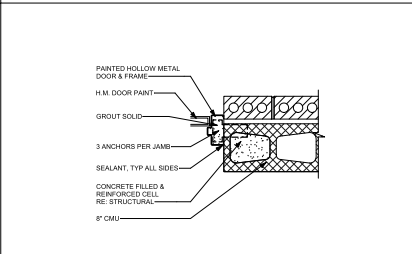
D2 REFUSE ENCLOSURE ROOF EDGE DETAIL
1/2" = 1'-0"



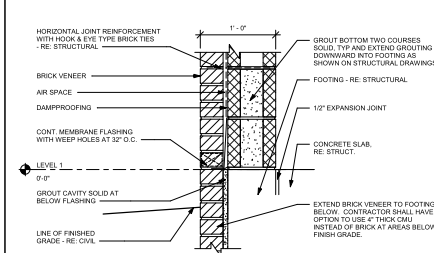
D1 REFUSE ENCLOSURE DRIP EDGE
1/2" = 1'-0"



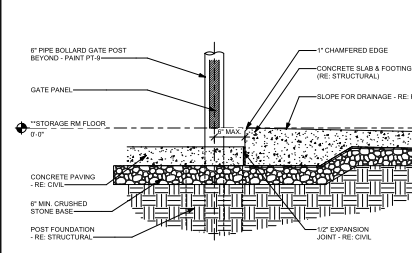
C2 REFUSE ENCLOSURE SIDE ELEVATION
N.T.S.



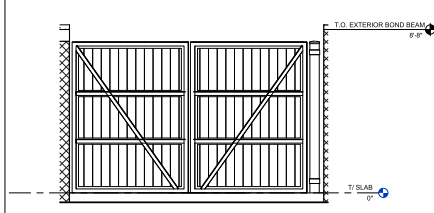
C1 REFUSE ENCLOSURE DOOR JAMB DETAIL
N.T.S.



B2 REFUSE ENCLOSURE BASE DETAIL
N.T.S.



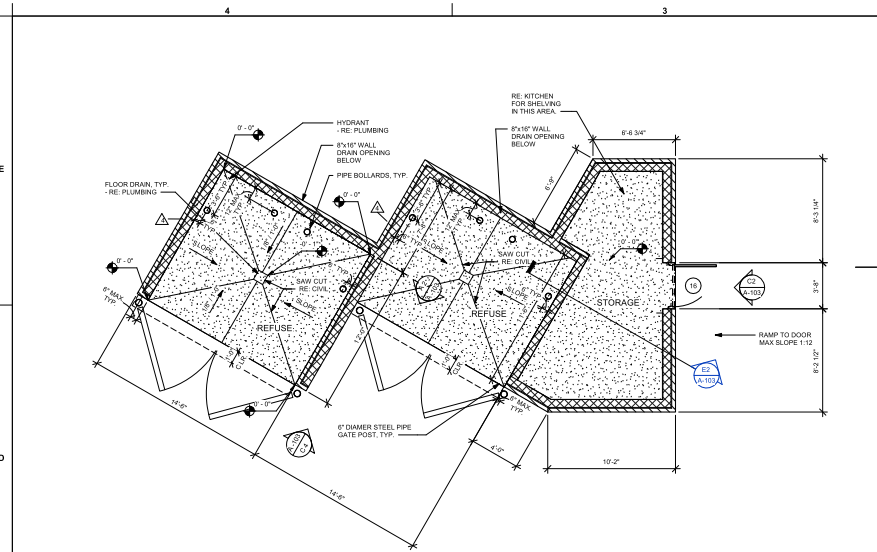
B1 REFUSE PAD AT CONCRETE PAVING DETAIL
N.T.S.



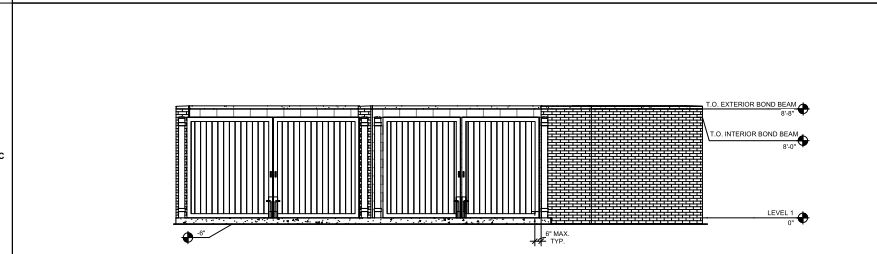
A2 REFUSE ENCLOSURE BACK OF GATE ELEVATION
N.T.S.

REFUSE ENCLOSURE NOTES

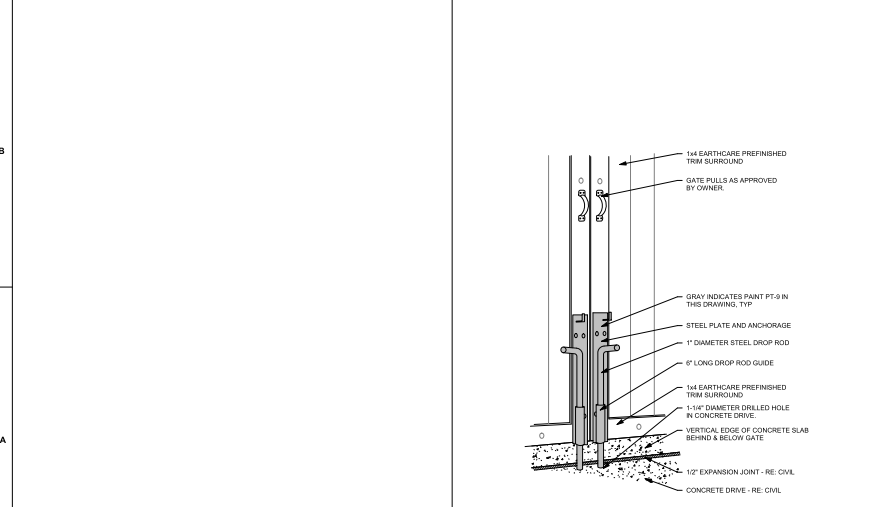
- "* IN THE ARCHITECTURAL DRAWINGS, REFUSE ENCLOSURE AND MAIN BUILDING ARE BOTH NOTED WITH FINISH SLAB AT 0'. ACTUAL FINISH SLAB HEIGHTS WILL VARY BETWEEN MAIN BUILDING AND REFUSE ENCLOSURE. REFER TO CIVIL FOR ALL FINISH SLAB HEIGHTS.
- SOLID WASTE IS TO PROVIDE ALL INSPECTIONS ON THE TRASH ENCLOSURE SUCH AS PRE-POUR FOR SLAB AND APPROX. BOND BEAM, BOLLARD, AND FINAL INSPECTION.



D3 REFUSE ENCLOSURE FLOOR PLAN
1/8" = 1'-0"



C4 REFUSE ENCLOSURE FRONT ELEVATION
N.T.S.



A3 REFUSE ENCLOSURE DROP ROD 3-D DETAIL
N.T.S.

BAA 3007(NLU) 041107_Coors Blvd_Albququerque_FSR_P12_SE_LRG04107_Albququerque_NM_P12_SE_ARCQ_02_18.08.rvt
 7/26/2019 9:09:36 AM
 10-SE-04107-A-103-REFUSE ENCLOSURE



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FSR#04107
BUILDING TYPE / SIZE: PH2 SE LRG
RELEASE: v2.18.08

NO.	DATE	DESCRIPTION
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02	07/02/19	ISSUE FOR BID

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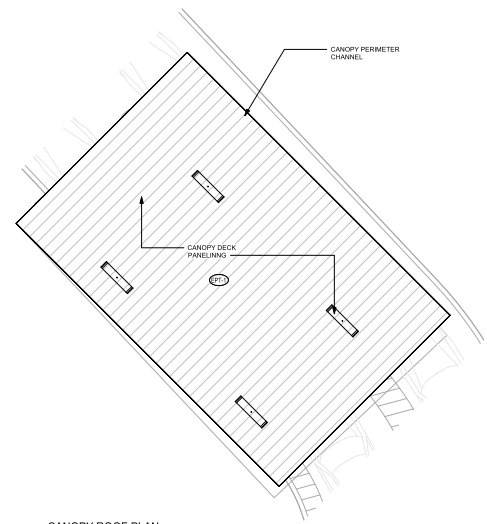
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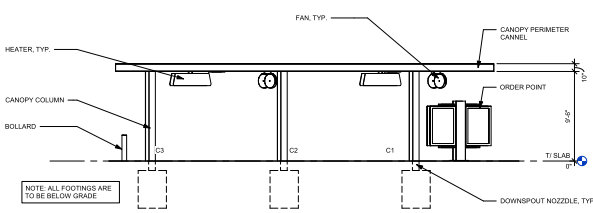
CANOPY PLANS AND ELEVATIONS

SHEET NUMBER

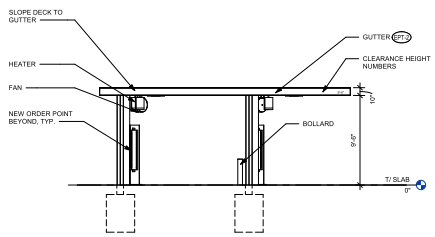
A-104



3 CANOPY ROOF PLAN
N.T.S.



4 CANOPY SIDE ELEVATION
3/8\"/>

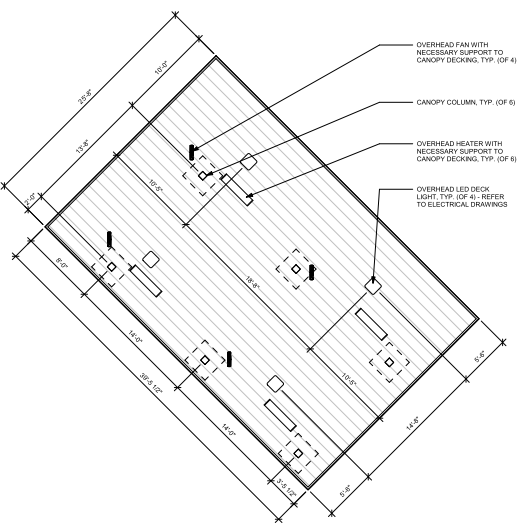


5 CANOPY FRONT ELEVATION
3/8\"/>

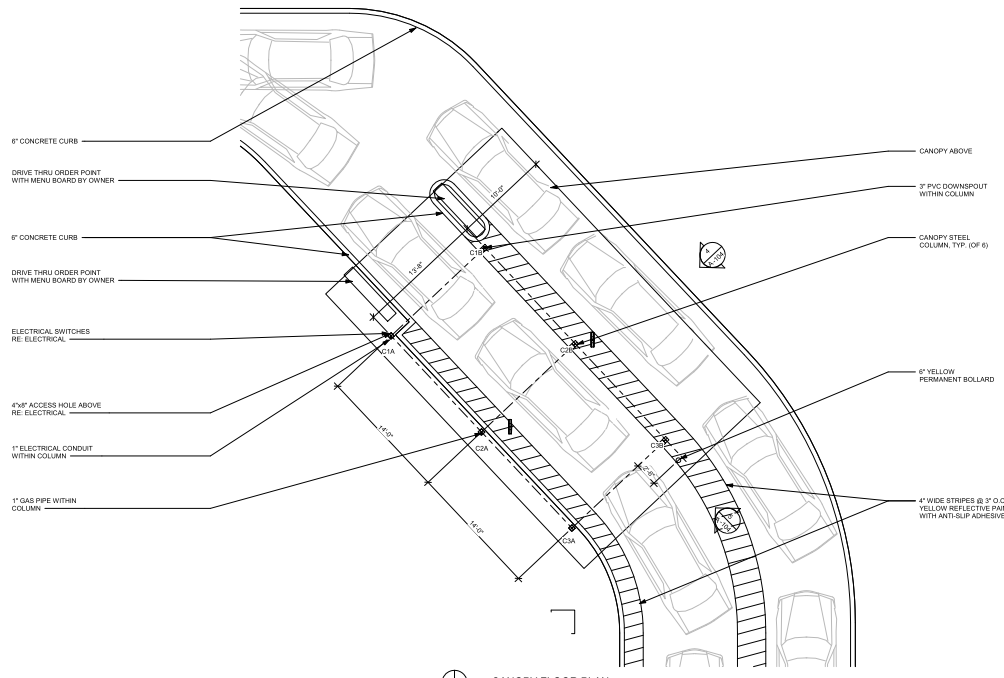
GENERAL NOTES

- ANY EXPOSED GAS OR ELECTRICAL CONDUIT SHALL BE PAINTED TO MATCH ADJACENT MATERIAL.
- ENSURE CANOPY DRAINAGE AND ANY SITE RE-GRADING DIRECTS WATER AWAY FROM BUILDING DOORS.
- ALL FANS AND HEATERS TO BE CENTERED OVER TRAM MEMBER WALKWAY. THE DISTANCE BETWEEN HEATERS AND FANS MUST BE A MINIMUM OF 4'-0\"/>

CANOPY FINISH SCHEDULE:	
(F1)	MATTE BLACK OR DARK BRONZE, TEXTURED
(F2)	SMOOTH WHITE, HIGH GLOSS

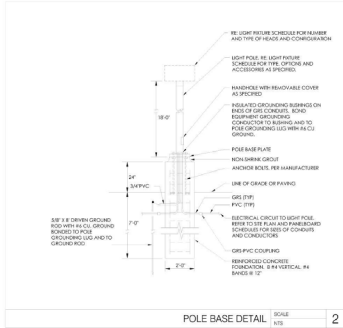


2 CANOPY REFLECTED CEILING PLAN
N.T.S.



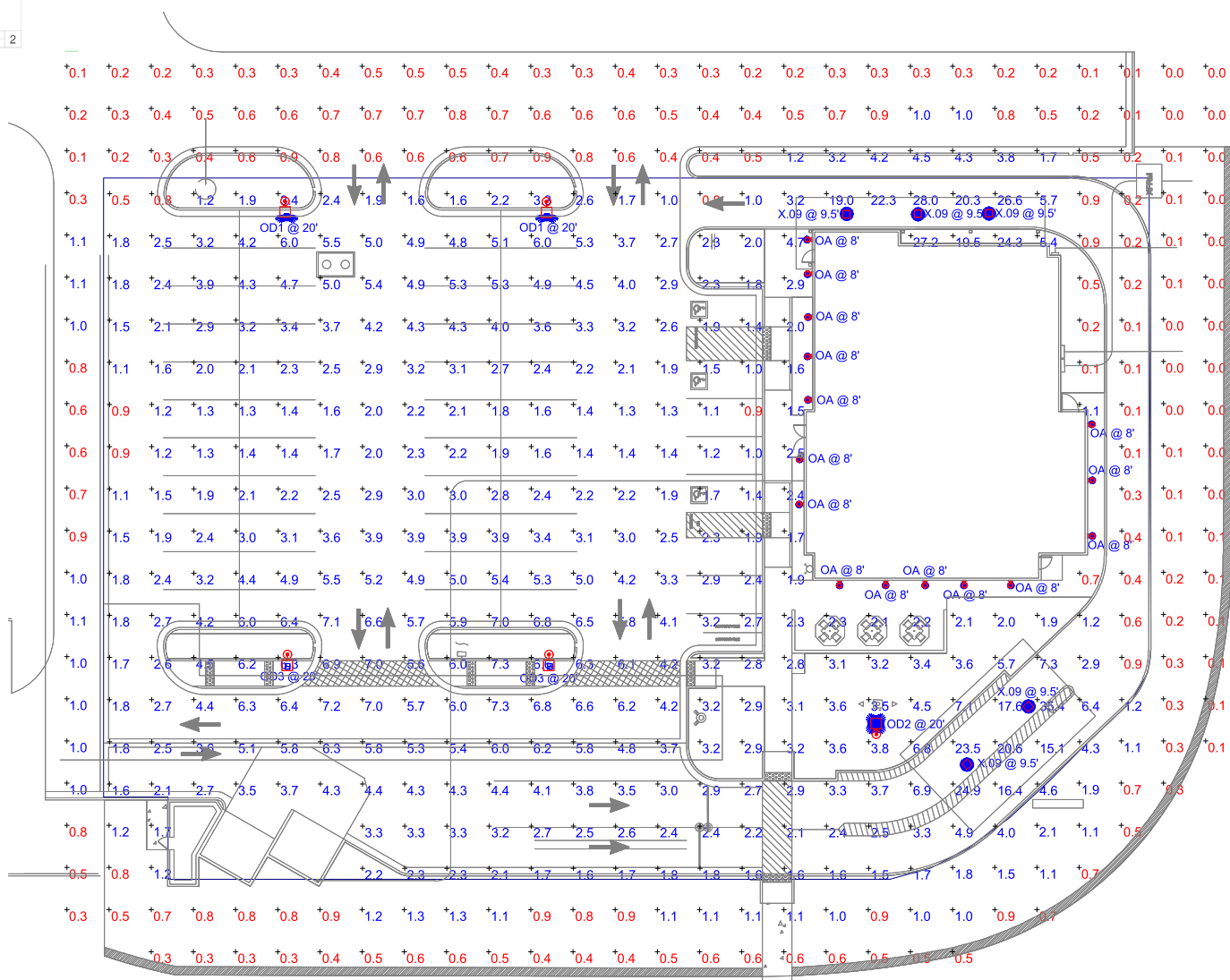
1 CANOPY FLOOR PLAN
3/8\"/>

B:\4 360\NMU_04107_Coors Blvd_Albququerque_FSR_PH2_SE_LRG\107_Albququerque_NM_PH2_SE_ARC_02_18.08.rvt
8/22/2019 10:34:34 AM
10-SE-04107-A-104-CANOPY PLANS AND ELEVATIONS



Lumens per Lamp										
Symbol	Label	QTY	Catalog Number	Description	Number Lamps	Lumens per Lamp	LLF	Wattage	Mounting height	Distribution
♀	OA	15	P5675-3130K	5" 17W LED Direct/Indirect Cylinder	1	829	1	33.9	8'	
⊙	OD1	2	DSX0 LED P6 40K T3M MVOLT	DSX0 LED P6 40K T3M MVOLT	1	15508	1	134	20'	TYPE III, MEDIUM, BUG RATING: G3 - U0 - G3
⊙	OD2	1	DSX0 LED P6 40K T5M MVOLT	DSX0 LED P6 40K T5M MVOLT	1	16575	1	134	20'	TYPE VS, BUG RATING: B4 - U0 - G2
⊙	OD3	2	DSX0 LED P6 40K T5M MVOLT	DSX0 LED P6 40K T5M MVOLT	1	16575	1	268	20'	TYPE VS, BUG RATING: B4 - U0 - G2
□	X.09	5	CRUS-SC-LED-LW-50		1	10524	1	73.5	9.5'	

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Parking Lot Area	+	4.0 fc	35.4 fc	0.1 fc	354.0:1	40.0:1
Property Zone	+	0.6 fc	4.5 fc	0.0 fc	N/A	N/A



Chick-fil-A
 Chick-fil-A
 5200 Buffington Road
 Atlanta, Georgia
 30349-2998



1700 INDUSTRIAL DRIVE
 SUITE B
 ROGERS, AR 72756
 479.988.440
 www.core-eps.com



CHICK-FIL-A
 ALBUQUERQUE, NM
 COORS BLVD AND ST. JOSEPH'S DR
 ALBUQUERQUE, NM 87120

FSR#04107
 BUILDING TYPE / SIZE: P12 SE LRG
 RELEASE: V2_18_08

REVISION SCHEDULE
 NO. DATE DESCRIPTION

CONSULTANT PROJECT # 26790
 PRINTED FOR CONSTRUCTION DOCUMENTS
 DATE 11/05/18
 DRAWN BY K.HUNG
 I warrant that the drawings on this sheet are the property of the consultant and are not to be used for any other project without the written consent of the consultant.
 PHOTOMETRICS SITE PLAN
 SHEET NUMBER

E-110

BIM 360://NMU_01107_Coors Blvd_Albquerque_FSR_P12_SE_LRG/107_Albquerque NM_P12_SE_ELE_V2_18_08.rvt
 7/26/2019 12:25:24 PM
 50-SE-04107-E-110-PHOTOMETRICS SITE PLAN



DATE: _____ TYPE: _____
 NAME: _____
 PROJECT: _____

P5675-31
 Cylinder

5" tall/crown cylinder with heavy duty aluminum construction and die cast wall bracket. Powder coated finish. Wet location listed when used with 783019730 cover lens.
 Category: Outdoor
 Finish: Black (powdercoat)
 Construction: Cast aluminum construction
 metal shade

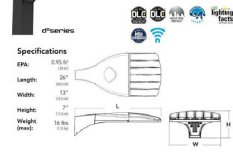


Width: 5"
 Height: 14"
 Depth: 7.8"
 HCR: 7"

MOUNTING	ELECTRICAL	LAMPING	ADDITIONAL INFORMATION
Wall mounted	Pre-wired	Quantity 2 25W A65 30 or 40 30	ICMA's Energy Source listed Luminaire listed
Mounting strap for standard 6" hole	120V	Medium base pendant sockets	1 year warranty
Backplate allows for optional 4" tropical vented socket			Connection features are available
4-1/2" dia			

701 Millstream Blvd, Greenville, South Carolina 29607 www.progresslighting.com Rev. 06/16

D-Series
 Size 0
 LED Area Luminaire



Capable Luminaire
 This luminaire is an AC-capable luminaire, which has been designed and tested to provide consistent color appearance and system-level interoperability.

- All configurations of this luminaire meet the Acuity Brands specification for chromatic consistency
- This luminaire is AC-Capable when combined with DTL* certified luminaire or AC-Capable Driver for luminaire to photometrically interchangeable
- This luminaire is a subset of our AC-Capable family of luminaires for ROAM or XFAI™ Wireless control networks, providing all of the same control compatibility with simple commissioning, when combined with drivers and control systems provided by [Lithonia Lighting](#)

To learn more about A.A., visit [www.aacoluminaire.com](#)
 1. See ordering tree for details.
 2. An AC-Capable Luminaire for ROAM requires the order of an AC-Capable power Luminaire. Sold Separately. See our Roaming Luminaire DTL DLE.

EXAMPLE: D510 LED P4-60M 70K MVOLT 5PA D510

Order Code	Order Description	Notes	Notes	Notes
D510	5' Dia. LED Area Luminaire	5' Dia. LED Area Luminaire	5' Dia. LED Area Luminaire	5' Dia. LED Area Luminaire
5' Dia. LED Area Luminaire	5' Dia. LED Area Luminaire	5' Dia. LED Area Luminaire	5' Dia. LED Area Luminaire	5' Dia. LED Area Luminaire

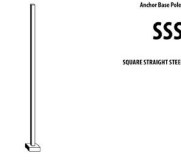


FEATURES & SPECIFICATIONS

OPERATIONAL: The luminaire is designed to operate in a wide range of ambient temperatures. The luminaire is designed to operate in a wide range of ambient temperatures. The luminaire is designed to operate in a wide range of ambient temperatures.

INSTALLATION: The luminaire is designed to be installed in a wide range of ambient temperatures. The luminaire is designed to be installed in a wide range of ambient temperatures. The luminaire is designed to be installed in a wide range of ambient temperatures.

WARRANTY: The luminaire is designed to be installed in a wide range of ambient temperatures. The luminaire is designed to be installed in a wide range of ambient temperatures. The luminaire is designed to be installed in a wide range of ambient temperatures.



Anchor Bolt Pole
SSS
 SQUARE STRAIGHT STEEL

SSS Square Straight Steel Poles

Customize with an optional mounting bracket. Contact with your representative.

Code	Material	Height	Base	Notes
SSS 10	10' x 10' x 1/2"	10'	10' x 10' x 1/2"	10' x 10' x 1/2"
SSS 12	12' x 12' x 1/2"	12'	12' x 12' x 1/2"	12' x 12' x 1/2"

1. Identify the luminaire and luminaire mounting bracket.
2. Identify the luminaire and luminaire mounting bracket.
3. Identify the luminaire and luminaire mounting bracket.
4. Identify the luminaire and luminaire mounting bracket.

LED CANOPY LIGHT - LEGACY™ (CRUS)



Standard Symmetric
 AC-Asymmetric
 AC distribution allows a reflector which allows the beam from a standard distribution

IDEAL LIGHTING FACTS

Department of Energy has certified manufacturers and listed products. See [www.fedex.com](#) for more information.

1. See ordering tree for details.

Consul Factory

Class 1, Division 2 - Available in US and CS
 T3 Temperature Classification - The surface temperature of this product will not rise above 100°C, with or without load.

Gas Groups A, B, C, D, E, F, G, H, I, K, L, M, N, O, P, Q, R, S, T, U, V, W, X, Y, Z

UL LISTED - UL, ETL, listed to UL 1808, UL 1808 and other U.S. and International safety standards. Suitable for wet locations.

PHOTOMETRICS - Please refer to our website at [www.lithonia.com](#) for detailed photometric data.

This product is not intended for use in hazardous locations.



Project Name: _____
 Catalog # _____

SSS Square Straight Steel Poles

Customize with an optional mounting bracket. Contact with your representative.

Code	Material	Height	Base	Notes
SSS 10	10' x 10' x 1/2"	10'	10' x 10' x 1/2"	10' x 10' x 1/2"
SSS 12	12' x 12' x 1/2"	12'	12' x 12' x 1/2"	12' x 12' x 1/2"

1. Identify the luminaire and luminaire mounting bracket.
2. Identify the luminaire and luminaire mounting bracket.
3. Identify the luminaire and luminaire mounting bracket.
4. Identify the luminaire and luminaire mounting bracket.



03/2008 PLS 005



03/2008 One Lithonia Way, Gwynn, GA 30242 Phone: 800-750-5987 (7/11) www.lithonia.com



03/2008 One Lithonia Way, Gwynn, GA 30242 Phone: 800-750-5987 (7/11) www.lithonia.com



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1700 INDUSTRIAL DRIVE
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CHICK-FIL-A
 ALBUQUERQUE, NM
 COORS BLVD AND ST. JOSEPH'S DR
 ALBUQUERQUE, NM 87120

FSR#04107
 BUILDING TYPE / SIZE: P12 SE URG
 RELEASE: V2_18.08

REVISION SCHEDULE
 NO. DATE DESCRIPTION

CONSULTANT PROJECT # 26790
 PRINTED FOR CONSTRUCTION DOCUMENTS
 DATE 11/05/11
 DRAWN BY Author

PHOTOMETRICS
 SCHEDULE

SHEET NUMBER
E-111

CANOPY FACIA & COLUMNS:
DARK BRONZE
DURA COAT, DC195T-2073,
OIL RUBBED
BRONZE METALLIC TEXTURE PVD

DECK SOFFIT:
SMOOTH WHITE,
HIGH GLOSS



CHICK-FIL-A 4107
4001 COORS BLVD NW
ALBUQUERQUE, NM

THE COLORS SHOWN IN THIS RENDERING ARE CLOSE APPROXIMATIONS. DUE TO INK VARIATIONS AND DIFFERENCES IN PRINTERS, AN EXACT COLOR MATCH CANNOT BE ACHIEVED. THE VIEWER IS ADVISED TO USE THE RENDERING AS A GUIDELINE FOR THE ARRANGEMENT OF COLORS ON THE BUILDING, AND TO THEN REFER TO THE ACTUAL COLOR OR MATERIAL SAMPLES PROVIDED.



INTERPLAN NO. 2021.1239
08-29-2022

Class

Class	Non Residential
Tax District	A1A

Current Owner

Tax Year	2022
Owner	LEVINE INVESTMENTS LIMITED PARTNERSHIP
Owner Mailing Address	2801 E CAMELBACK RD
Unit	SUITE 450
City	PHOENIX
State	AZ
Zip Code	85016 0000
Other Mailing Address	

Ownership for Tax Year Selected

Tax Year	2020
Owner Name	LEVINE INVESTMENTS LIMITED PARTNERSHIP
Owner Mailing Address	2801 E CAMELBACK RD
Unit	SUITE 450
City	PHOENIX
State	AZ
Zip Code	85016 0000
Other Mailing Address	

Description

Location Address	4001 COORS BLVD NW
City	ALBUQUERQUE
State	NM
Zip Code	87120
Property Description	LT 6 PLAT OF LOTS 1 THRU 9 COORS PAVILION (BEING A REPLAT OF TRACT X-1-A2, UNIVERSITY OF ALBUQUERQUE URBAN CENTER)
Public Improvement District	
Tax Increment Development Districts	

Document #

Document #:	2019089266 101819 SW - ENTRY BY VS 110519 CODED BY LV 102119
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Real Property Attributes

Primary Building SQ FT	
Year Built	
Lot Size (Acres)	1.1637
Land Use Code	VACANT COMMERCIAL
Style	

Manufactured Home Attributes

Make :	
License :	
VIN :	
Year :	
Size :	

DISCLAIMER

[Click here to view the Disclaimer](#)

Values

Tax Year	2020
Full Land Value	\$259,200.00
Agric. Land	\$0.00
Full Impv. Value	\$0.00
Full Total Value	\$259,200.00
Taxable (1/3 Full)	\$86,391.00

Exemptions

Head of Family	\$0.00
Veteran	\$0.00
Other 4000	\$0.00

Net Taxable Value

Net Taxable Value	\$86,391.00
-------------------	-------------

DISCLAIMER

[Click here to view the Disclaimer](#)

Class

Class	Non Residential
Tax District	A1A

Current Owner

Tax Year	2022
Owner	RED SHAMROCK 4 LLC
Owner Mailing Address	8220 SAN PEDRO DR NE
Unit	500
City	ALBUQUERQUE
State	NM
Zip Code	87113 2476
Other Mailing Address	

Ownership for Tax Year Selected

Tax Year	2021
Owner Name	RED SHAMROCK 4 LLC
Owner Mailing Address	8220 SAN PEDRO DR NE
Unit	500
City	ALBUQUERQUE
State	NM
Zip Code	87113 2476
Other Mailing Address	

Description

Location Address	COORS BLVD NW
City	ALBUQUERQUE
State	NM
Zip Code	87120
Property Description	LT 5 PLAT OF LOTS 1 THRU 9 COORS PAVILION (BEING A REPLAT OF TRACT X-1-A2, UNIVERSITY OF ALBUQUERQUE URBAN CENTER)
Public Improvement District	
Tax Increment Development Districts	

Document #

Document #:

Real Property Attributes

Primary Building SQ FT	
Year Built	
Lot Size (Acres)	.7018
Land Use Code	VACANT COMMERCIAL
Style	

Manufactured Home Attributes

Make :
License :
VIN :
Year :
Size :

DISCLAIMER

[Click here to view the Disclaimer](#)

Values

Tax Year	2021
Full Land Value	\$168,100.00
Agric. Land	\$0.00
Full Impv. Value	\$0.00
Full Total Value	\$168,100.00
Taxable (1/3 Full)	\$56,028.00

Exemptions

Head of Family	\$0.00
Veteran	\$0.00
Other 4000	\$0.00

Net Taxable Value

Net Taxable Value	\$56,028.00
-------------------	-------------

DISCLAIMER

[Click here to view the Disclaimer](#)

When recorded return to:

**Rees Law Group, PLLC
638 North 5th Avenue
Phoenix, Arizona 85003
Attn: James Rees**

GRANT OF ENCROACHMENT EASEMENT

Grant of Encroachment Easement by RED SHAMROCK 4, LLC, a New Mexico limited liability company ("**Grantor**"), owner of Lot Numbered Five (5) ("**Lot 5**") of the Plat of Lots 1 thru 9, Coors Pavilion (being a Replat of Tract X-1-A2, University of Albuquerque Urban Center), within the Town of Albuquerque Grant in Projected Section 2, Township 10 North, Range 2 East New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, filed on April 11, 2017, as Document No. 2017033851, records of Bernalillo County, New Mexico (the "**Plat**"), whose address is 8220 San Pedro Dr. SE, Suite 500, Albuquerque, New Mexico 87113 to CHICK-FIL-A, INC., a Georgia corporation ("**Grantee**"), the ground lessee of the adjacent "**Lot 6**" as described in the Plat.

Grantor grants to Grantee an exclusive encroachment easement ("**Easement**") in, over, upon and across the southernmost five (5) feet of Lot 5 and as legally described on Exhibit A attached hereto (the "**Easement Area**") for the encroachment of certain improvements which include curbing, retaining wall and canopy overhang which are hereby approved by Grantor. Grantee shall keep, maintain and operate the improvements within the Easement Area in good condition and repair and the Easement includes reasonable access over Lot 5 to perform such maintenance. Grantee hereby waives, indemnifies and has a duty to defend Grantor (by legal counsel selected by Grantor) for any and all claims or damages or injuries upon the Easement Area during the term of this Easement.

The grant and other provisions of this Easement constitute covenants running with the land for the benefit of the Grantee and its successors and assigns.

TERMINATION OF THE EASEMENT. The Easement shall be co-terminus with the ground lease of Lot 5 by Grantee (in the event that the Grantee terminates the lease on Lot 5 than this Easement shall terminate and be of no further affect and the Grantee shall remove all improvements within the Easement Area within a reasonable time period).

EASEMENT CONTINGENCY. The Easement is contingent upon the Grantee waiving all contingencies within the lease agreement upon Lot 5 with Grantor. This Easement shall be recorded simultaneously with the Memorandum of Lease upon Lot 5.

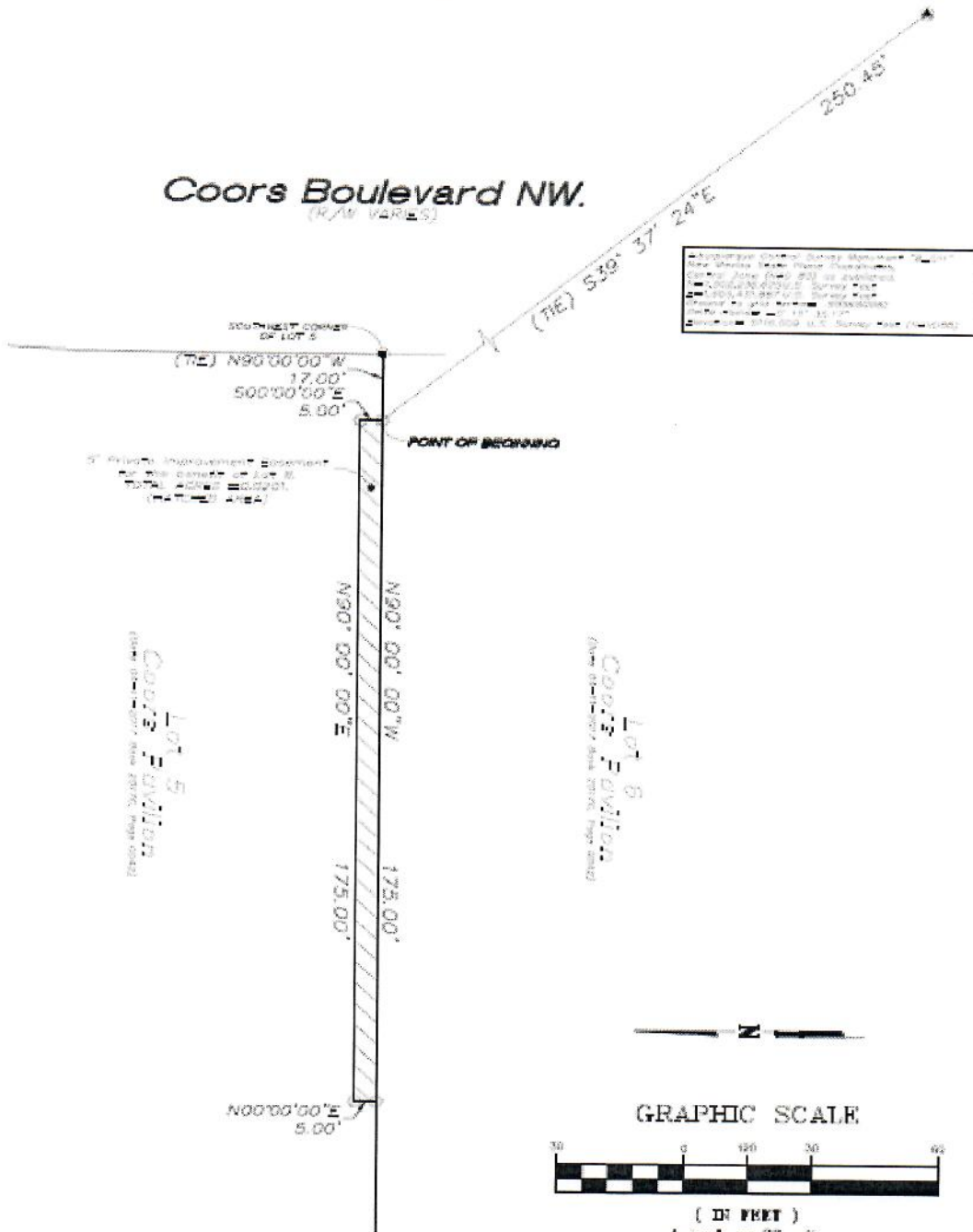
EXHIBIT A

DEPICTION AND DESCRIPTION OF EASEMENT

SEE ATTACHED

PORTION OF
 LOT 5
 COORS PAVILION
 SITUATE IN
 THE TOWN OF ALBUQUERQUE GRANT
 PROJECTED SECTION 2, TOWNSHIP 10 NORTH, RANGE 2 EAST
 NEW MEXICO PRINCIPAL MERIDIAN
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
 MAY, 2022

Coors Boulevard NW.
 (R/W VARIES)



PORTION OF
LOT 5
COORS PAVLION
SITUATE IN
THE TOWN OF ALBUQUERQUE GRANT
PROJECTED SECTION 2, TOWNSHIP 10 NORTH, RANGE 2 EAST
NEW MEXICO PRINCIPAL MERIDIAN
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
MAY, 2022

THAT CERTAIN PARCEL OF LAND COMPRISING A PORTION OF LOT 5 COORS PAVLION, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON SAID PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON APRIL 11, 2017, IN PLAT BOOK 2017C, PAGE 0042.

BEING MORE PARTICULARLY DESCRIBED USING NEW MEXICO STATE PLAN GRID BEARINGS (CENTRAL ZONE—NAD 83) AND GROUND DISTANCES AS FOLLOWS:

BEGINNING AT POINT ON THE COMMON LOT LINE BETWEEN SAID LOTS FIVE AND SIX COORS PAVLION FROM WHENCE THE SOUTH CORNER OF SAID LOT FIVE BEARS $N90^{\circ}00'00''E$, A DISTANCE OF 18.00 FEET, AND FROM WHENCE THE ALBUQUERQUE CONTROL SURVEY MONUMENT "8_611" BEARS $S39^{\circ}37'24''E$, A DISTANCE OF 250.45 FEET, THENCE; ALONG SAID COMMON LOT LINE $N90^{\circ}00'00''W$, A DISTANCE OF 175.00 FEET, THENCE;

LEAVING SAID COMMON LOT LINE THE FOLLOWING THREE COURSES:

$N00^{\circ}00'00''E$, A DISTANCE OF 5.00 FEET;

$N90^{\circ}00'00''E$, A DISTANCE OF 175.00 FEET;

$S00^{\circ}00'00''E$, A DISTANCE OF 5.00 FEET; TO THE POINT OF BEGINNING.

CONTAINING 0.0201 ACRES MORE OR LESS.