

REV	DATE	BY	REVISION

**MODULUS ARCHITECTS**  
 220 COPPER AVE. N.W. SUITE 200  
 ALBUQUERQUE, NEW MEXICO 87102  
 PHONE (505) 338-1499 FAX (505) 338-1498

PROJECT TITLE <b>5401 SEVILLA AVE. NW</b>	ARCHITECTURAL SITE PLAN
CLIENT <b>SCORPUS SEVILLA</b>	DATE <b>08/06/16</b>
DESIGNER <b>JONATHAN STERN</b>	SCALE <b>AS NOTED</b>

**PROJECT NUMBER:** 1004675  
**APPLICATION NUMBER:** 16082-76239

The plans are subject to the City's site plan review process approved by the Planning Commission. The City's review process includes a public hearing on the site plan and a decision on whether to approve the site plan. The City's review process is described in the City's Ordinance 2011-010. If you have any questions regarding the City's review process, please contact the City's Planning Department at (505) 338-1499.

**DESIGNER:** Modulus Architects  
**DATE:** 8/6/16

**CLIENT:** Scopus Sevilla  
**DATE:** 8/6/16

**PROJECT LOCATION:** 5401 Sevilla Ave NW, Albuquerque, NM 87102

**REVISIONS:**

REV	DATE	BY	REVISION

**LEGAL DESCRIPTION:**

ALL IMPROVEMENTS IN THE CITY RIGHT OF WAY SHALL HAVE A MINIMUM GRADE OF 1/8" PER FOOT. ALL IMPROVEMENTS IN THE CITY RIGHT OF WAY SHALL HAVE A MINIMUM GRADE OF 1/8" PER FOOT. ALL IMPROVEMENTS IN THE CITY RIGHT OF WAY SHALL HAVE A MINIMUM GRADE OF 1/8" PER FOOT.

**GENERAL NOTES:**

1. ALL IMPROVEMENTS IN THE CITY RIGHT OF WAY SHALL HAVE A MINIMUM GRADE OF 1/8" PER FOOT.

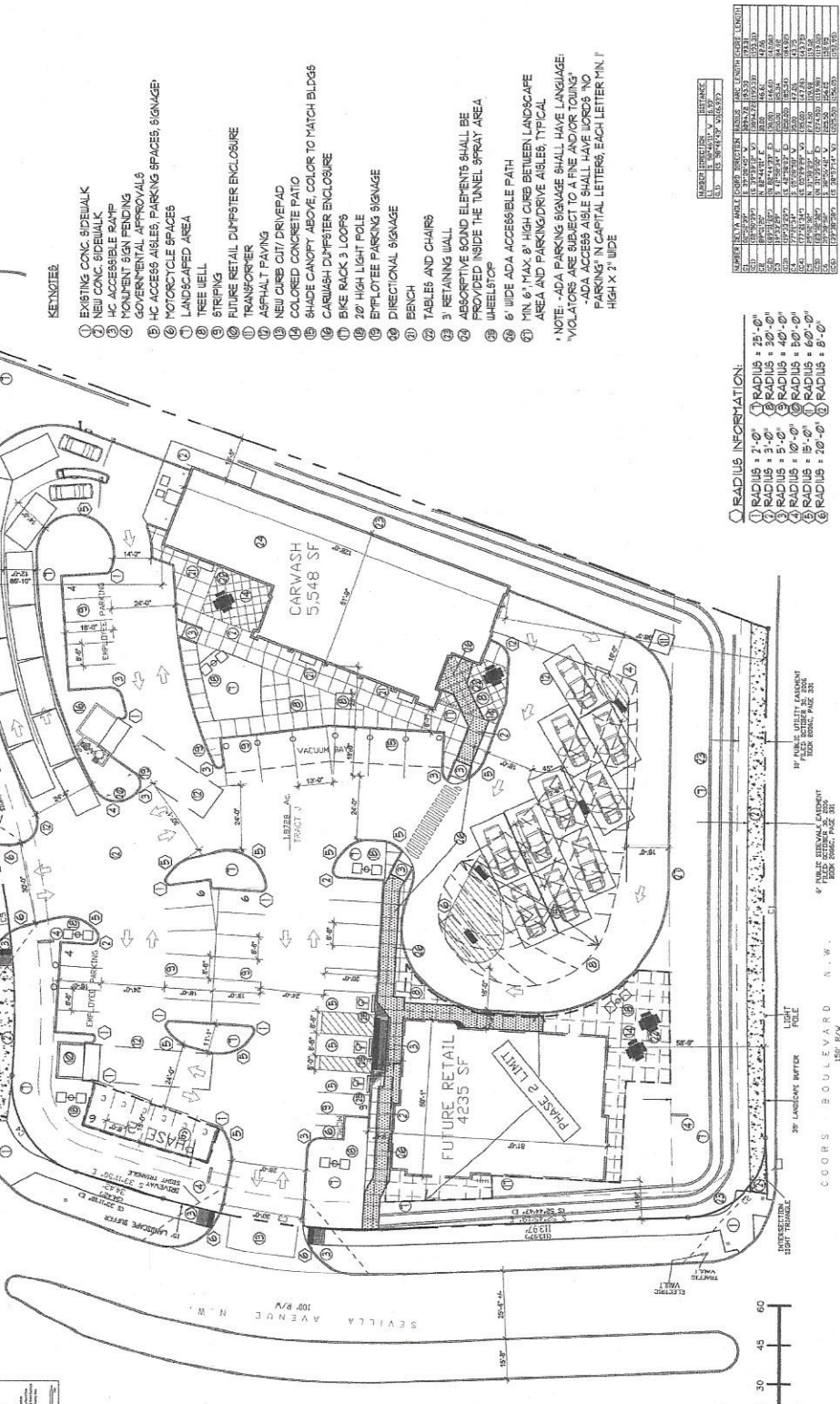
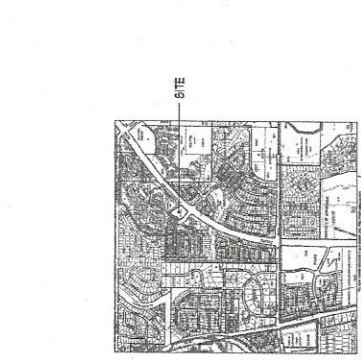
2. ALL IMPROVEMENTS IN THE CITY RIGHT OF WAY SHALL HAVE A MINIMUM GRADE OF 1/8" PER FOOT.

**REQUIRED PARKING:**

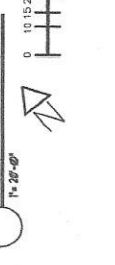
CARWASH + RETAIL PAD = 9783/200 + 483 (48)  
 TOTAL 48 SPACES REQUIRED AND 60 PROVIDED

1 MC SPACES REQUIRED AND PROVIDED  
 2 MC SPACES REQUIRED AND PROVIDED  
 3 MC SPACES REQUIRED AND PROVIDED

\* INCLUDES MC 1 MC SPACES



- KEYNOTER**
- 1 EXISTING CONC. SIDEWALK
  - 2 NEW CONC. SIDEWALK
  - 3 HC ACCESSIBLE RAMP
  - 4 MONUMENT SIGN PENDING
  - 5 GOVERNMENTAL APPROVALS
  - 6 HC ACCESSIBLE PARKING SPACES, SIGNAGE
  - 7 MOTORCYCLE SPACES
  - 8 LANDSCAPED AREA
  - 9 TREE WELL
  - 10 STRIPING
  - 11 FUTURE RETAIL DUMPSTER ENCLOSURE
  - 12 TRANSFORMER
  - 13 ASPHALT PAVING
  - 14 NEW CURB CITY DRIVEPAD
  - 15 SHADE CONCRETE PATIO
  - 16 COLORED CONCRETE PATIO
  - 17 BIKE RACK 3 LOOPS
  - 18 BIKE RACK 3 LOOPS
  - 19 BIKE RACK 3 LOOPS
  - 20 BIKE RACK 3 LOOPS
  - 21 BIKE RACK 3 LOOPS
  - 22 BIKE RACK 3 LOOPS
  - 23 BIKE RACK 3 LOOPS
  - 24 BIKE RACK 3 LOOPS
  - 25 BIKE RACK 3 LOOPS
  - 26 BIKE RACK 3 LOOPS
  - 27 BIKE RACK 3 LOOPS
- RADIUS INFORMATION:**
- 1 RADIUS = 7'-0"
  - 2 RADIUS = 7'-0"
  - 3 RADIUS = 7'-0"
  - 4 RADIUS = 7'-0"
  - 5 RADIUS = 7'-0"
  - 6 RADIUS = 7'-0"
  - 7 RADIUS = 7'-0"
  - 8 RADIUS = 7'-0"
  - 9 RADIUS = 7'-0"
  - 10 RADIUS = 7'-0"
  - 11 RADIUS = 7'-0"
  - 12 RADIUS = 7'-0"
  - 13 RADIUS = 7'-0"
  - 14 RADIUS = 7'-0"
  - 15 RADIUS = 7'-0"
  - 16 RADIUS = 7'-0"
  - 17 RADIUS = 7'-0"
  - 18 RADIUS = 7'-0"
  - 19 RADIUS = 7'-0"
  - 20 RADIUS = 7'-0"
  - 21 RADIUS = 7'-0"
  - 22 RADIUS = 7'-0"
  - 23 RADIUS = 7'-0"
  - 24 RADIUS = 7'-0"
  - 25 RADIUS = 7'-0"
  - 26 RADIUS = 7'-0"
  - 27 RADIUS = 7'-0"



**ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED IN A PUBLIC WORK ORDER**

**ALL SCREENING AND VEGETATION AROUND GROUND-MOUNTED TRANSFORMERS SHALL PROVIDE 10 FEET OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5 FEET OF CLEARANCE ON THE REMAINING 3 SIDES**

**THE SITE IS SERVED BY AN EXISTING PUBLIC TRANSIT ROUTE**

**SEE LANDSCAPE PLAN FOR LANDSCAPE WALLS**

REV	DATE	BY	REVISION

**MODULUS ARCHITECTS**  
 290 BOPPER AVE. N.W. SUITE 350  
 ALBUQUERQUE, NEW MEXICO 87102  
 PHONE (505) 338-1499 FAX (505) 338-1498



PROJECT NO.	5401 SEVILLA AVE. NW
DATE	6/19/19
SCALE	AS NOTED
DESIGNER	ALBUQUERQUE, NM
ARCHITECTURAL SITE PLAN	

PROJECT NUMBER: 19-05-671  
 APPLICATION NUMBER: 16-0068-702319

This plan is submitted with the appropriate development plan approved by the Planning and Zoning Commission. The applicant warrants that the information provided in this application is true and correct to the best of their knowledge and belief. The applicant warrants that the information provided in this application is true and correct to the best of their knowledge and belief. The applicant warrants that the information provided in this application is true and correct to the best of their knowledge and belief.

**JOB SITE DEVELOPMENT PLAN SUBMITTAL APPROVAL**

Traffic Engineering	Transportation Division	DOB
Water Utility Department	DOB	DOB
Parks and Recreation Department	DOB	DOB
City Engineer	DOB	DOB
Environmental Health Department	DOB	DOB
Staff Room Management	DOB	DOB
Solid Construction, Planning Department	DOB	DOB
Environmental Health, if necessary	DOB	DOB

**LEGAL DESCRIPTION:**  
 PART OF LOT 10 OF TRACT 10, AS LIES WITHIN SECTION 25, TOWNSHIP 11 NORTH, RANGE 2 EAST, NEW MEXICO, AS THE SAME IS SHOWN AND RETURNED ON THE PLAT OF SAID SUBDIVISION, FILED IN THE OFFICE OF THE COUNTY CLERK OF SAID COUNTY, NEW MEXICO, ON DECEMBER 20, 2006, IN PLAT BOOK 2886, FIELD 301, AS SECOND AND THIRD BEING.

**GENERAL NOTES**

ALL WALKWAYS RAMP IN THE CITY LIMITS OF ANY SHALL HAVE A MINIMUM SLOPE OF 1:12.  
 ALL WALKWAYS SHALL HAVE A MINIMUM SLOPE OF 1:12.  
 ALL WALKWAYS SHALL HAVE A MINIMUM SLOPE OF 1:12.

**DATA**

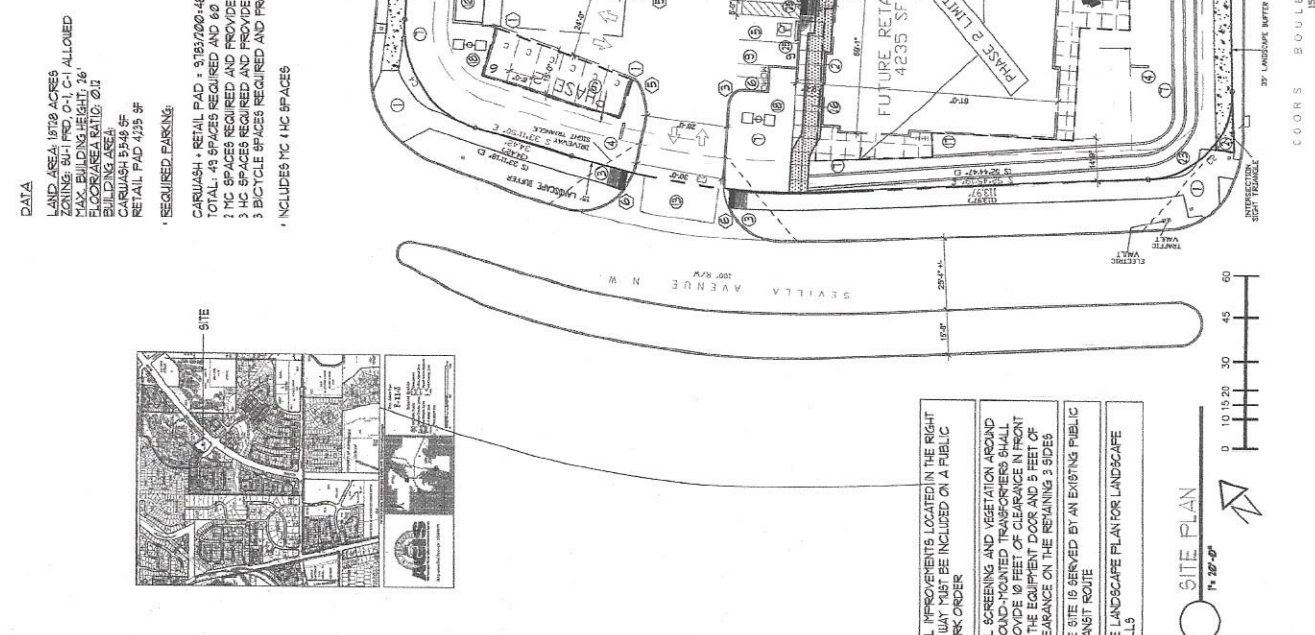
LAND AREA: 19.78 ACRES  
 ZONING: BU-1 PD, O-1, C-1 ALLOWED  
 MAX. BUILDING HEIGHT: 26'  
 BUILDING AREA: 1,000,000 SQ. FT.  
 CARWASH: 5,548 SF  
 RETAIL PAD: 4,235 SF

**REQUIRED PARKING:**

CARWASH + RETAIL PAD = 9,783/200=48.9 (49)  
 TOTAL: 49 SPACES REQUIRED AND 60 PROVIDED  
 2 MC SPACES REQUIRED AND PROVIDED  
 3 MC SPACES REQUIRED AND PROVIDED  
 3 BICYCLE SPACES REQUIRED AND PROVIDED  
 \* INCLUDES MC 1 MC SPACES

- REVISIONS**
- EXISTING CONC. SIDEWALK
  - NEW CONC. SIDEWALK
  - MC ACCESSIBLE RAMP
  - MONUMENT SIGN FENCING
  - GOVERNMENTAL APPROVALS
  - MC ACCESSIBLE, PARKING SPACES, SIGNAGE
  - MOTORCYCLE SPACES
  - LANDSCAPED AREA
  - TREE WELL
  - STRIPING
  - FUTURE RETAIL DUMPSTER ENCLOSURE
  - TRANSFORMER
  - ASPHALT PAVING
  - NEW CURB CUT/DRIVEWAY
  - COLOR CONCRETE PAVEMENT
  - SHADE CANOPY ABOVE COLOR TO MATCH BLDGS
  - BIKE RACK 3 LOOPS
  - 20' HIGH LIGHT POLE
  - EMPLOYEE PARKING SIGNAGE
  - DIRECTIONAL SIGNAGE
  - BENCH
  - TABLES AND CHAIRS
  - 3' RETAINING WALL
  - ABSORPTIVE SOUND ELEMENTS SHALL BE PROVIDED INSIDE THE TUNNEL SPRAY AREA
  - WHEELSTOP
  - 6' WIDE ADA ACCESSIBLE PATH
  - MIN. 6" MAX. 8" HIGH CURB BETWEEN LANDSCAPE AREA AND PARKING DRIVE AISLES, TYPICAL
- \* NOTE: ADA PARKING SIGNAGE SHALL HAVE LANGUAGE: VIOLATING ADA ACCESSIBILITY AND/OR TOWING PARKING. CAPITAL LETTERS, EACH LETTER MIN. 1" HIGH X 2" WIDE

- RADIUS INFORMATION:**
- RADIUS = 25'-0"
  - RADIUS = 3'-0"
  - RADIUS = 30'-0"
  - RADIUS = 5'-0"
  - RADIUS = 10'-0"
  - RADIUS = 15'-0"
  - RADIUS = 20'-0"
  - RADIUS = 10'-0"
  - RADIUS = 15'-0"
  - RADIUS = 20'-0"
  - RADIUS = 10'-0"
  - RADIUS = 15'-0"
  - RADIUS = 20'-0"



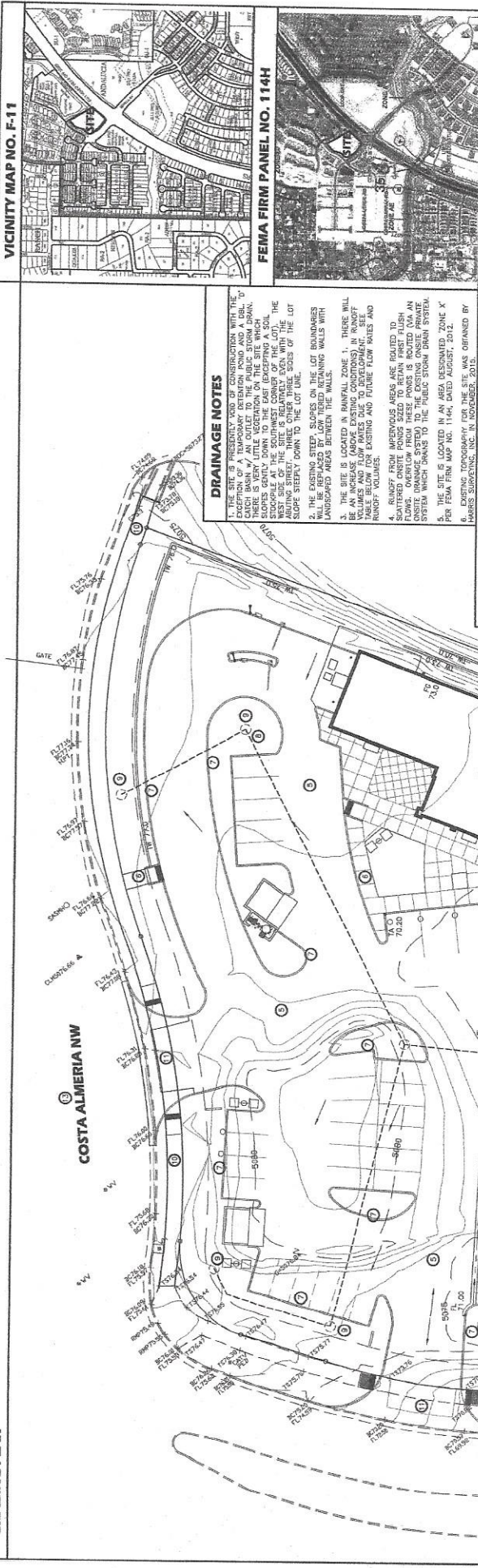
ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON A PUBLIC WORK ORDER

ALL SCREENING AND VEGETATION AROUND GROUND-MOUNTED TRANSFORMERS SHALL PROVIDE 10 FEET OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5 FEET OF CLEARANCE ON THE REMAINING 3 SIDES

THE SITE IS SERVED BY AN EXISTING PUBLIC TRANSPORT ROUTE

SEE LANDSCAPE PLAN FOR LANDSCAPE WALLS

GRADING PLAN



**DRAINAGE NOTES**

1. THE SITE IS PRESENTLY ZONED FOR CONSERVATION WITH THE EXCEPTION OF A TEMPORARY DETENTION POND AND A DRAIN. THERE IS VERY LITTLE VARIATION IN FINISH ELEVATION. THE SLOPES GRADUALLY DOWN TO THE EAST (EXCEPTING A SOIL WEST SIDE OF THE SITE IN RELATION TO THE 11417' ADJACENT STREET DOWN TO THE LOT DRL.
2. THE PROPOSED DRAINAGE SYSTEM SHALL BE LOCATED WITHIN UNDEVELOPED AREAS BETWEEN THE WALLS.
3. THE SITE IS LOCATED IN RAINFALL ZONE 1. THERE WILL BE AN INCREASE (ABOVE EXISTING CONDITIONS) IN RUNOFF TABLE BELOW FOR EXISTING AND PROPOSED FLOW RATES AND RUNOFF VOLUMES.
4. RUNOFF FROM IMPERVIOUS AREAS ARE ROUTED TO SEPARATE DETENTION PONDS. OVERFLOW FROM THESE PONDS IS ROUTED VIA AN OPEN CHANNEL TO THE STORM DRAIN SYSTEM.
5. THE SITE IS LOCATED IN AN AREA DESIGNATED 'X' PER FEMA FIRM MAP NO. 1144N, DATED AUGUST, 2012.
6. EXISTING TOPOGRAPHY FOR THE SITE WAS OBTAINED BY HARRIS SURVEYING, INC. IN NOVEMBER, 2010.

1. PROPOSED CAR WASH.
2. PROPOSED SIGL.
3. PROPOSED COVERED AREA.
4. PROPOSED 3" HIGH DRY STACK OR MASONRY REMAINING WALLS WITH 3" PLUMBING AREA, BETWEEN WALLS.
5. PROPOSED HEAVY AND LIGHT DUTY ASPHALT PAVEMENTS.
6. PROPOSED DESIGNATED WALK.
7. PROPOSED CONCRETE HEAVY CURB.
8. PROPOSED STORM DRAIN SYSTEM TO EXISTING STORM DRAIN.
9. PROPOSED DETENTION POND FOR INITIAL STORM RUNOFF 1/2 OVER FLOW TO STORM DRAIN SYSTEM.
10. PROPOSED 6" CONCRETE PUBLIC SIDEWALK PER COA STD. DET. 2430.
11. PROPOSED PRIVATE ENTRANCE DETAIL PER COA STD. DET. 2428.
12. EXISTING PAVED STREET WITH CONCRETE CURB, GUTTER & SIDEWALK.
13. EXISTING PAVED STREET WITH CONCRETE CURB & GUTTER.
14. PROPOSED WATER QUALITY MANHOLE.

CONSTRUCTION	STORM TREATMENT	PERMANENT	RESERVE	PERMANENT	RESERVE	PERMANENT	RESERVE
AREA	AREA	AREA	AREA	AREA	AREA	AREA	AREA
PERIOD	PERIOD	PERIOD	PERIOD	PERIOD	PERIOD	PERIOD	PERIOD
EXISTING	10	A	19919	0.34	591	0.44	124
DEVELOPED	10	A	19919	0.34	591	0.44	124
TOTAL							

**LEGAL DESCRIPTION**

TRACT 'A', VIEA DE LA LUZ

**PERMANENT BENCHMARK**

ACS STATION 11-111, ELEVATION 5029.526 (MAY 1998)

**LEGAL DESCRIPTION**

TRACT 'A', VIEA DE LA LUZ

**PERMANENT BENCHMARK**

ACS STATION 11-111, ELEVATION 5029.526 (MAY 1998)

**PROJECT INFO**

PROJECT: 1401 SEVILLA AVE. NW  
ADDRESS: 1401 SEVILLA AVE. NW  
CITY: ALBUQUERQUE, NM

**DESIGNER**

drawn by: [Name]  
checked by: [Name]  
design by: [Name]

07/05/16

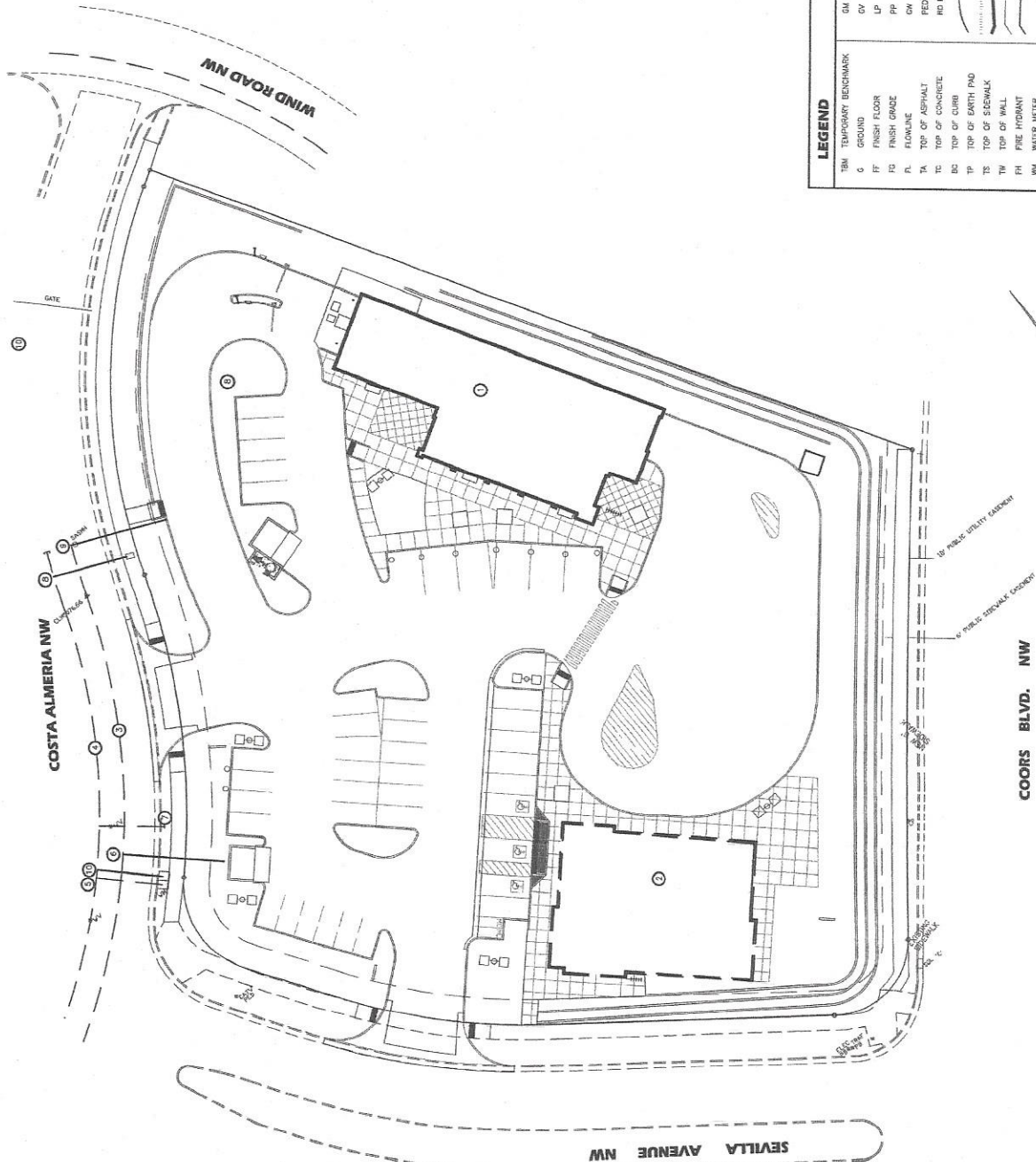
PROJECT NO. 1618  
SHEET 1618

TM	TEMPORARY BENCHMARK
G	GROUND
FF	FINISH FLOOR
FD	FINISH DRIVE
FL	FLOWLINE
TA	TOP OF ASPHALT
TC	TOP OF CONCRETE
BC	TOP OF CURB
TP	TOP OF EARTH PAD
TS	TOP OF SIDEWALK
TW	TOP OF WALL
PH	FIRE HYDRANT
WM	WATER METER
WV	WATER VALVE

MH	MANHOLE
CB	CATCH BASIN GRATE
GW	GAS VALVE
LP	LIGHT POLE
PP	POWER POLE
GW	GUY WIRE
ELC	ELEC. OR TEL. PEDESTAL
RF	ROOF DRAINAGE POINT
RD	SURFACE RUNOFF DIRECTION

EX	EXISTING 5' CONTOUR
EX	EXISTING 1' CONTOUR
EX	EXISTING SPOT ELEVATION
EX	PROPOSED SPOT ELEVATION

**GRADING PLAN**



**VICINITY MAP NO. F-11**



**KEYED NOTES**

1. PROPOSED CAR WASH.
2. PROPOSED BUILDING SHELL.
3. EXISTING 8" PVC S&S.
4. EXISTING 8" PVC WATER.
5. EXISTING 3" WATER SERVICE. USE FOR IRRIGATION SYSTEM.
6. EXISTING 4" S&S SERVICE.
7. EXISTING 6" WATER LINE WITH GATE VALVE. INSTALL FIRE HYDRANT.
8. PROPOSED 2" WATER SERVICE AND METER BOX.
9. PROPOSED 4" S&S SERVICE.
10. PROPOSED 1" WATER SERVICE.

**LEGAL DESCRIPTION**

TRACT U, VERA DE LA LUZ

**LEGEND**

TM	TEMPORARY BENCHMARK	GM	GAS WATER
G	GROUND	GV	GAS VALVE
FF	FINISH FLOOR	LP	LIGHT POLE
FS	FINISH GRADE	PP	POWER POLE
F	FLOWLINE	GW	GUY WIRE
TA	TOP OF ASPHALT	FED	ELEC. OR TEL. PEDestal
TC	TOP OF CONCRETE	RD	ROOF DRAINAGE POINT
BO	TOP OF CURB		FEMA FLOODPLAIN BOUNDARY
TP	TOP OF EARTH PAD		DRAINAGE BASIN BOUNDARY
TS	TOP OF SEWALK		FUSION SETBACK LINE
TW	TOP OF WALL		EXISTING CONTOUR
PH	FIRE HYDRANT		PROPOSED CONTOUR
WM	WATER METER		EXISTING SPOT ELEVATION
WV	WATER VALVE		PROPOSED SPOT ELEVATION
MH	MANHOLE		RECORD SPOT ELEVATION
CB	CATCH BASIN GRATE		

**PERMANENT BENCHMARK**

AMS STATION 11-111, ELEVATION 5029.506 (NAD 1989)

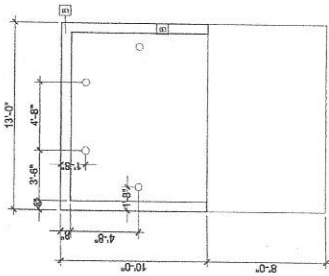
NO.	DATE	BY



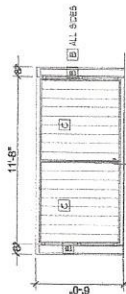
PROJECT FOR  
**5401 SEVILLA AVE. NW**  
**ALBUQUERQUE, NM**  
 DRAWN BY  
**WET UTILITY PLAN**  
 SHEET NO. 1518

DESIGNED BY  
**BORDENAVE DESIGNS**  
 P.O. BOX 91184, ALBUQUERQUE, NM 87189  
 (505) 852-1344 FAX (505) 821-9105

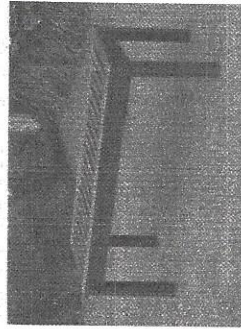




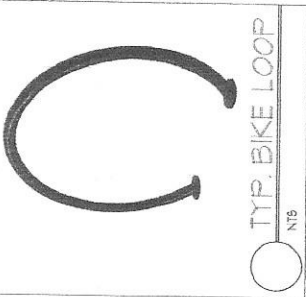
DUMPSTER ENCLOSURE  
1/4" = 1'-0"



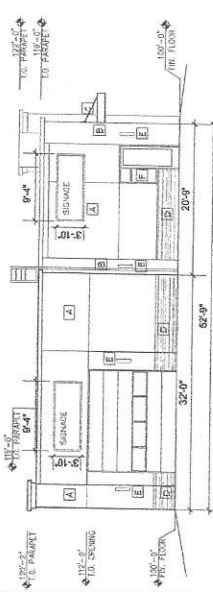
TYP. OUTDOOR BENCH  
NT5



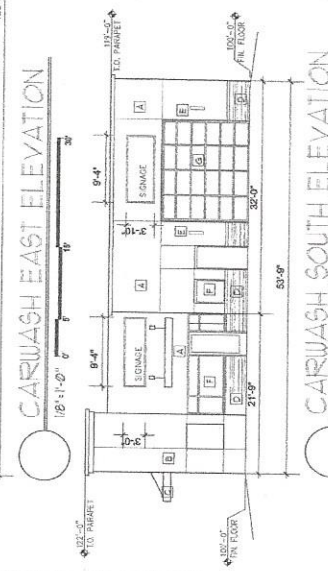
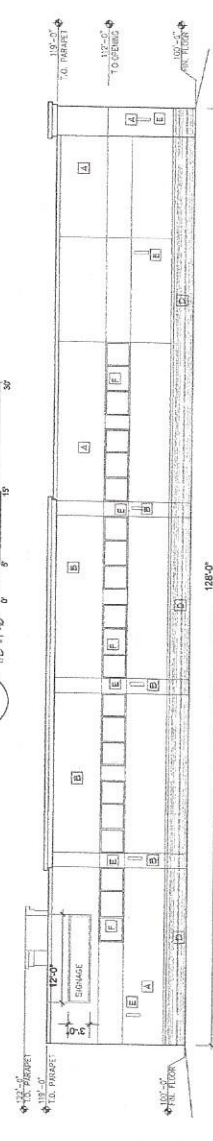
TYP. OUTDOOR TABLES/CHAIRS  
NT5



TYP. BIKE LOOP  
NT5



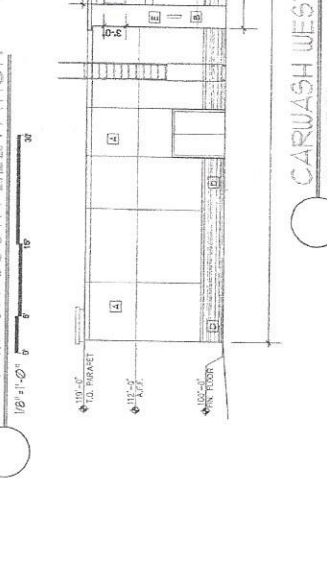
CARWASH NORTH ELEVATION  
1/8" = 1'-0"



CARWASH EAST ELEVATION  
1/8" = 1'-0"



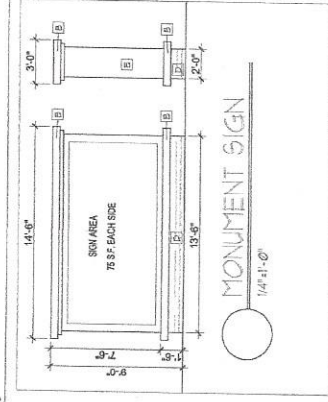
CARWASH SOUTH ELEVATION  
1/8" = 1'-0"



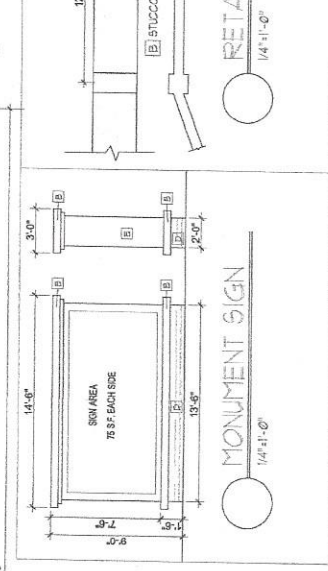
CARWASH WEST ELEVATION  
1/8" = 1'-0"

WALL MOUNTED SIGNS SHALL NOT EXCEED 8% OF EACH FACADE

MATERIAL	SPEC	COMMON COLOR
A	STUCCO	LIGHT TAN
B	STUCCO	LIGHT MURKY BROWN
C	PAINTED METAL BRANDING DEVICE	MURKY BROWN
D	CULTURED STONE	FRONT LEDGES ONE AUTUMN LIGHT TAN
E	LIGHT FIXTURE	LIGHT TAN
F	ALUMINUM FRAMED SIGN FRONT	CLEAR ANODIZED FRAME CLEAR INSULATED GLASS UNIT OR OPAQUE SPANDREL
G	ALUMINUM FRAMED COILING DOOR	CLEAR ANODIZED FRAME CLEAR INSULATED GLASS UNIT OR OPAQUE SPANDREL



RETAINING WALL  
1/4" = 1'-0"



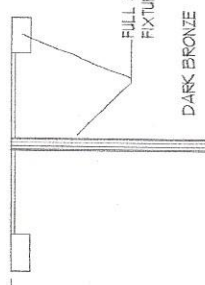
MONUMENT SIGN  
1/4" = 1'-0"

REV	DATE	BY	REVISION

**MODULUS ARCHITECTS**  
220 COPPER AVE. N.W. SUITE 350  
ALBUQUERQUE, NEW MEXICO 87102  
PHONE (505) 338-1499 FAX (505) 338-1498



PROJECT	DATE	SCALE	NO.
5401 SEVILLA AVE. NW	6/15/16	AS NOTED	A1
ARCHITECT	DESIGNER	DATE	NO.
MODULUS ARCHITECTS	JOHNATHAN STERN	6/15/16	55
PROJECT	DATE	SCALE	NO.
5401 SEVILLA AVE. NW	6/15/16	AS NOTED	A1



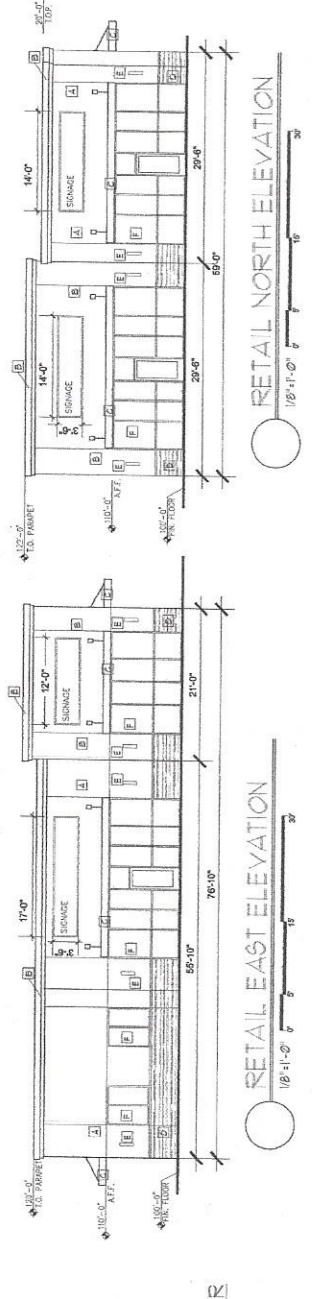
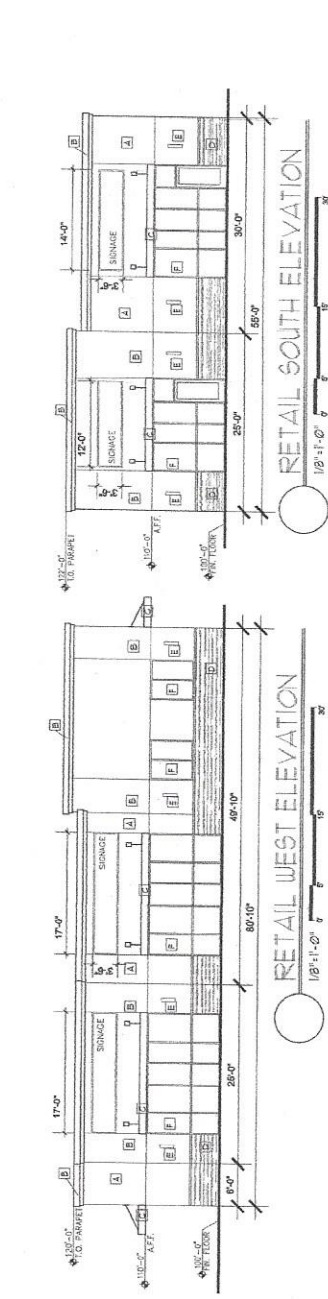
○ LIGHT POLE DETAIL  
NOT TO SCALE

- MATERIAL SPEC**
- A) STUCCO MATCH 901004 SHERBOND LIGHT TAN
  - B) STUCCO MATCH 906333 CORAL ISLAND LIGHT WARY BROWN
  - C) PAINTED METAL SHADING DEVICE MATCH 906333 CORAL ISLAND WARY BROWN
  - D) CULTURED STONE PRO-FIT LEDESTONE ALUMIN LIGHT TAN
  - E) LIGHT FIXTURE LIGHT TAN
  - F) ALUMINUM FRAMED STOREFRONT CLEAR ANODIZED FRAME CLEAR INSULATED GLASS UNIT OR OPAQUE SPANDREL

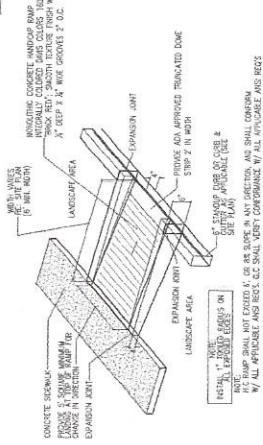
**SIGNAGE CALCULATION**

CARWASH BUILDING  
 PHASE 1 (REAR) SIGN AREA 157 SF AS PROPOSED  
 SOUTH FACADE MAXIMUM SIGN AREA 157 SF OF PROPOSED  
 EAST FACADE MAXIMUM SIGN AREA 225 SF OF PROPOSED  
 WEST FACADE MAXIMUM SIGN AREA 194 SF OF PROPOSED

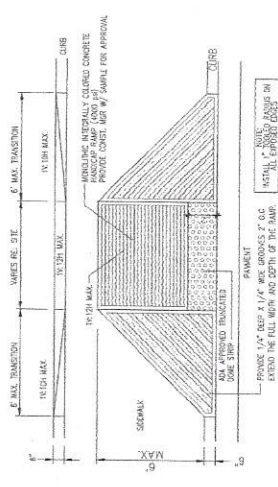
PHASE 2 (FRONT) RETAIL BUILDING  
 SOUTH FACADE MAXIMUM SIGN AREA 157 SF OF PROPOSED  
 EAST FACADE MAXIMUM SIGN AREA 157 SF OF PROPOSED  
 WEST FACADE MAXIMUM SIGN AREA 117 SF OF PROPOSED



WALL MOUNTED SIGNS SHALL NOT EXCEED 8% OF EACH FACADE  
 NOTE: THE LIGHTING PLAN SHALL CONFORM TO THE AREA LIGHTING REGULATIONS OF THE ZONING CODE (SECTION 14-16-3-3). ALL SITE LIGHTING SHALL CONFORM TO STATE OF NEW JERSEY NIGHT SKY PROTECTION ACT (N.J.A.C. 17-14.10 (N.J.S.A. 17:27))



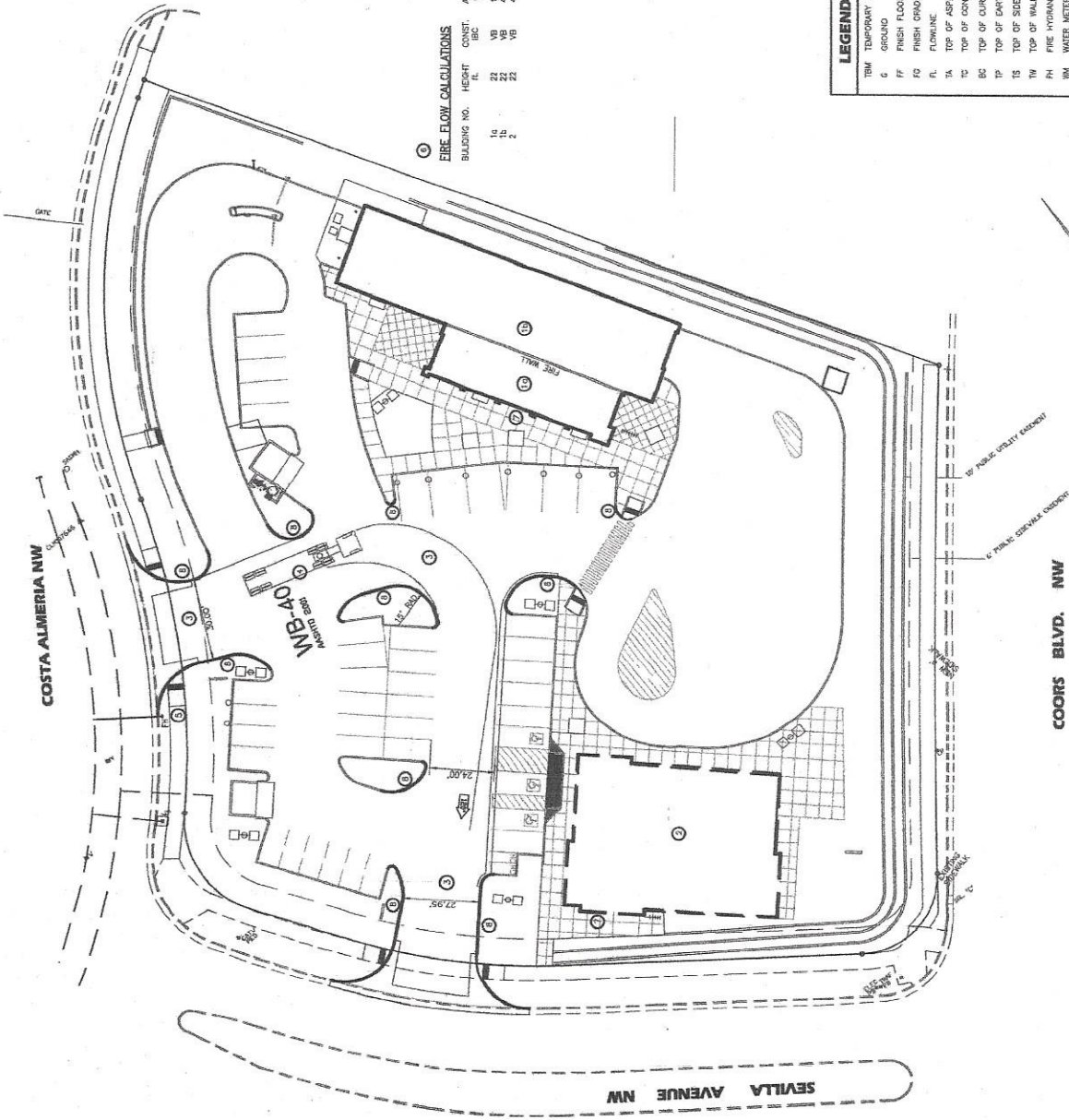
○ CURBED H.C. RAMP  
NTS



○ FLARED H.C. RAMP  
NTS

<p><b>MODULUS ARCHITECTS</b>                  220 COPPER AVE. N.W. SUITE 350                  ALBUQUERQUE, NEW MEXICO 87102                  PHONE (505) 338-1499 FAX (505) 338-1498</p>	<p><b>ELEVATIONS AND DETAILS</b></p> <p>DATE: 8/25/16                  SCALE: AS NOTED</p> <p>PROJECT: 5401 SEVILLA AVE. NW                  LOCATION: ALBUQUERQUE, NM                  DRAWN BY: JONATHAN STERN                  CHECKED BY: JONATHAN STERN</p>
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**UTILITY PLAN**



**FIRE FLOW CALCULATIONS**

BUILDING NO.	HEIGHT	CONST.	AREA	FIRE FLOW	SPRINKLED	REDUCED FLOW	HYDRANT
	ft.	IBC	sq ft	gpm	7/8" no.	gpm	FEED
10	22	VB	4357	1750	X	NO	1
11	22	VB	4235	1750	X	NO	1
2	22	VB	4235	1750	X	NO	1



**KEYED NOTES**

1. PREPARED CAR WASH.
2. FUTURE RETAIL BUILDING
3. FIRE LANE
4. TRUCK TURNING PAD
5. EXISTING FIRE HYDRANT.
6. BUILDING FIRE FLOW REQUIREMENTS
7. PREMISES ID. 10" HIGH LETTERING  
1/2" BRUSH STROKE.
8. DESIGNATED FIRE LANE. PAINTED HYDRANT AND FREE ACCESS



**LEGAL DESCRIPTION**

TRACT 'V', VISTA DE LA LUZ

**PERMANENT BENCHMARK**

ACS STATION 11-F11, ELEVATION 503.826 (NAD 1983)

**REVISIONS**

NO.	DATE	REVISIONS

**PROJECT INFORMATION**

PROJECT: **RAIN TUNNEL CAR SPA**  
**3401 SEVILLA AVE. NW**  
**ALBUQUERQUE, NM**

**DATE: 12/25/15**

**DESIGNER: BORDENAVE DESIGNS**  
 P.O. BOX 91194, ALBUQUERQUE, NM 87199  
 (505)825-1344 FAX (505)825-1100

**CLIENT: F1**

Drawn by: [Name] JWB  
 Check by: [Name] JWB  
 Project no.: 1518

**LEGEND**

- TEMPORARY BENCHMARK**
- BM GROUND
  - FF FINISH FLOOR
  - FG FINISH GRADE
  - FL FINISH LINE
  - TA TOP OF ASPHALT
  - TC TOP OF CONCRETE
  - BC TOP OF CURB
  - TP TOP OF PAVEMENT
  - TS TOP OF SIDEWALK
  - TW TOP OF WALL
  - FM FIRE METER
  - WM WATER METER
  - MH MANHOLE
  - CS CATCH BASIN GRATE
- PERMANENT BENCHMARK**
- DM GAS METER
  - GV GAS VALVE
  - LP LIGHT POLE
  - PR POWER POLE
  - OW CITY WIRE
  - ED ELEC. OR TEL. PEDestal
  - RD ROOF DRAINAGE POINT
  - FM FEMA FLOODPLAIN BOUNDARY
  - DB DRAINAGE BASIN BOUNDARY
  - DL DRAINAGE SETBACK LINE
  - EX EXISTING 6" CONTOUR
  - EX EXISTING 1" CONTOUR
  - EX EXISTING SPOT ELEVATION
  - PR PROPOSED SPOT ELEVATION
  - RE RECORD SPOT ELEVATION