

SITE VICINITY



PROJECT NUMBER: 1004675
 APPROVED: 12/28/2009
 PREPARED BY: T.S. McManey & Associates
 DATE: 12/28/2009
 CHECKED BY: J. B. ...
 DATE: 12/28/2009
 DESIGNED BY: J. B. ...
 DATE: 12/28/2009
 APPROVED BY: J. B. ...
 DATE: 12/28/2009

SITE DATA

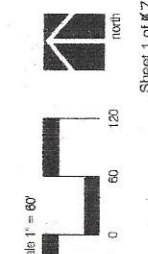
PROJECT NUMBER: 1004675
 Application Number: 04-028-0-10-97
 The Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC) dated April 20, 2006 and the Planning and Zoning Commission (P&Z) dated April 20, 2006 and the Planning and Zoning Commission (P&Z) dated April 20, 2006 and the Planning and Zoning Commission (P&Z) dated April 20, 2006.

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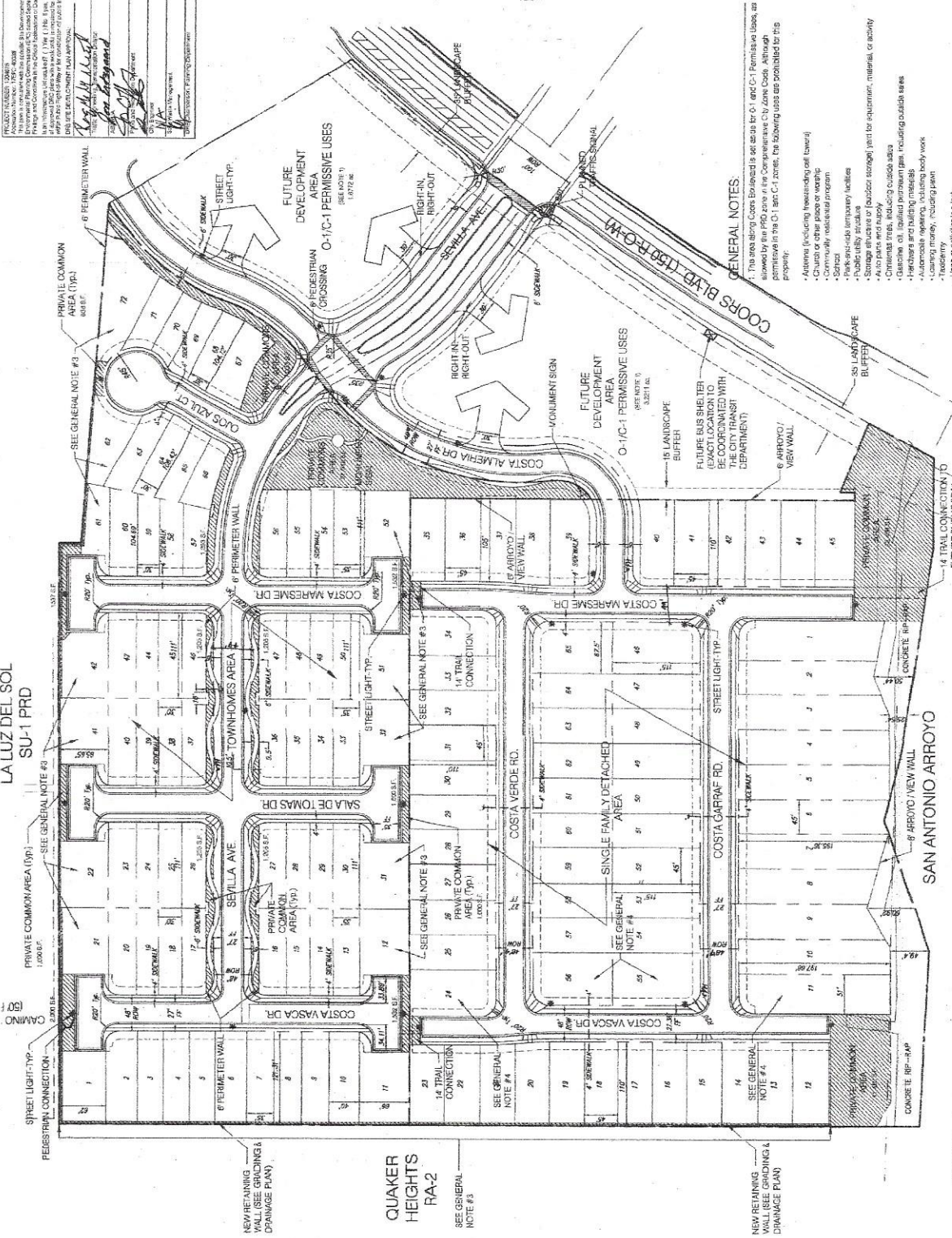
DATE	8/24/06
BY	J. B. ...
DATE	8/24/06
BY	J. B. ...
DATE	8/24/06
BY	J. B. ...

**SITE PLAN FOR SUBDIVISION
 VISTAS DE LA LUZ
 SUBDIVISION**

Prepared by:
 T.S. McManey & Associates
 3 Wind Road NW
 Albuquerque, NM 87120



Scale 1" = 60'
 NORTH
 30 0 60 120
 Sheet 1 of 67



- GENERAL NOTES:**
- The area along Costa Verde is set aside for O-1C-1 Permissive Uses, as shown by the P&Z zone in the Comprehensive City Zone Code. Although shown in the O-1C-1 zone, the following uses are prohibited for this property:
 - Activities (including freestanding cell towers)
 - Church or other place of worship
 - Community recreational program
 - School
 - Public utility structure
 - Storage structure or building storage yard for equipment, material, or debris
 - Gasoline oil, liquid petroleum gas, including outside sales
 - Hardware and building materials
 - Automobile repairing, including body work
 - Trucking yard, including yard
 - Uses not included in a list
 - The O-1C-1 area will require separate Site Plan Approval by the Environmental Planning Commission with a specific development is proposed
 - See other notes along the west boundary of the site for lot 1-4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, and 51 within the subdivision area (North) shall be 15 feet in height.
 - Lots 10, 11, 24, 25, 35, and 36 of the property shown area remain shall be most perimeter wall. In addition, Lots 11, 24, 25, 35, and 36 of the single family detached area (South) shall be 1-1 story.

ADMINISTRATIVE AMENDMENT

DATE: 12/28/2009
 BY: J. B. ...
 CHECKED BY: J. B. ...
 DATE: 12/28/2009

PLANT LEGEND

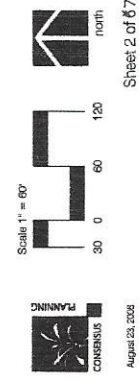
Symbol	Scientific Name Common Name	Water Use	Size
⊗	<i>Croton occidentalis</i>	Medium	20'H x 20'pr
⊗	Western Redbud (WR)	Medium-Low	45'H x 30'pr
⊗	<i>Pyrus calleryana</i> 'Cleveland'	Medium	30'H x 30'pr
⊗	Flowering Pear (FP)	Low	25'H x 25'pr
⊗	<i>Salix amygdaloides</i>	Low	30'H x 30'pr
⊗	Purple Willow (PW)	Low	30'H x 30'pr
⊗	<i>Sorbus aucuparia</i>	Low	30'H x 30'pr
⊗	European Mountain Ash (EM)	Low	30'H x 30'pr
⊗	<i>Chaetochloa</i> 'Hortensia'	Low	30'H x 30'pr
⊗	Herat Locust (HL)	Low	30'H x 30'pr
⊗	<i>Micotelia</i> (ML)	Low	30'H x 30'pr
⊗	<i>Pinus insularis</i>	Low	20'H x 15'pr
⊗	Bonnie Pine (BP)	Low	20'H x 20'pr
⊗	<i>Chilopsis linearis</i>	Low	20'H x 20'pr
⊗	Desert Willow (DW)	Low	20'H x 20'pr

⊗	<i>Strobilodactylon</i>	Medium	2'H x 3'pr
⊗	<i>Neorepis conzoesii</i>	Medium	2'H x 2'pr
⊗	<i>Artemisia</i> (A)	Medium	2'H x 4'pr
⊗	Silver Spreader (SS)	Low	2'H x 2'pr
⊗	<i>Baccharis Stern</i> 'Thomas'	Low	3'H x 3'pr
⊗	Deer Cypress (DC)	Low	2'H x 2'pr
⊗	<i>Berberis buxifolia</i> 'A. Nemo'	Low	2'H x 2'pr
⊗	Berberis (BB)	Low	2'H x 2'pr
⊗	<i>Artemisia tridentata</i>	Low	2'H x 2'pr
⊗	Box Hail (BH)	Low	2'H x 2'pr
⊗	<i>Nandina domestica</i>	Low	2'H x 2'pr
⊗	Deer Heaven Bamboo (HB)	Low	2'H x 2'pr
⊗	<i>Parthenon ambigua</i>	Low	2'H x 2'pr
⊗	<i>Solid Parlatomae</i> (SP)	Low	2'H x 2'pr
⊗	Mugo Pine (MP)	Low	4'H x 4'pr
⊗	<i>Polestella fruticosa</i>	Low	3'H x 3'pr
⊗	Shrubby Cholla (SC)	Low	3'H x 4'pr
⊗	<i>Prosopis juliflora</i>	Low	3'H x 3'pr
⊗	<i>Rosa multiflora</i>	Low	3'H x 3'pr
⊗	<i>Rosa multiflora</i>	Low	3'H x 3'pr
⊗	<i>Rosa multiflora</i>	Low	3'H x 3'pr
⊗	Salt Sage (SS)	Low	2'H x 2'pr
⊗	<i>Solanum elaeagnifolium</i>	Low	2'H x 3'pr
⊗	Shrub Sage (LS)	Low	2'H x 3'pr
⊗	<i>Quercus agrifolia</i>	Low	6'H x 6'pr
⊗	Spring Juniper (SJ)	Low	2'H x 1'pr
⊗	<i>Juniperus communis</i>	Low	3'H x 3'pr
⊗	Manzanita (MA)	Low	5'H x 4'pr
⊗	<i>Azalea parviflora</i>	Low	3'H x 3'pr
⊗	<i>Malvastrum coccineum</i>	Low	3'H x 3'pr
⊗	<i>Malvastrum coccineum</i>	Low	3'H x 3'pr
⊗	Valley Cross (VC)	Low	3'H x 3'pr
⊗	<i>Monarda didyma</i>	Low	3'H x 3'pr
⊗	<i>Monarda didyma</i>	Low	3'H x 3'pr
⊗	Walden Hog Grass (WH)	Low	3'H x 3'pr
⊗	Mass Rock Boulder (MR)	Low	3' x 3' min.

LANDSCAPE PLAN
VISTAS de LA LUZ
SUBDIVISION

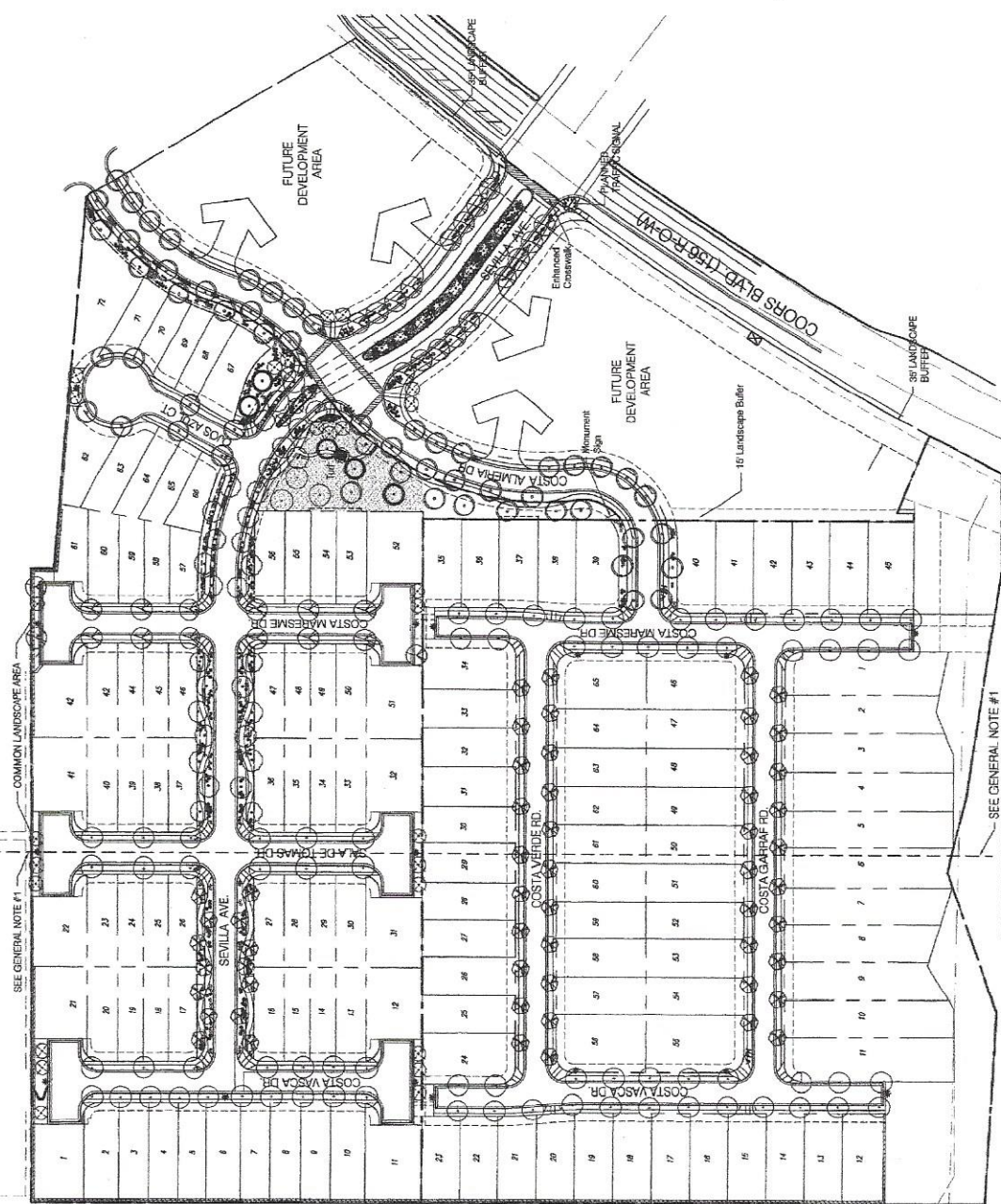
Prepared by:
U.S. McInerney & Associates
3111 South Malibu Blvd., NE Suite A-1
Abbotsford, NH 07109

Prepared by:
Consensus Planning, Inc.
302 Eighth Street North
Abbotsford, NH 07102



August 23, 2008

Sheet 2 of 87



GENERAL NOTE:
1. Trees east of the R-2 district line shall be no greater than 40 feet in height.
2. This line shall be no greater than 45 feet in height.

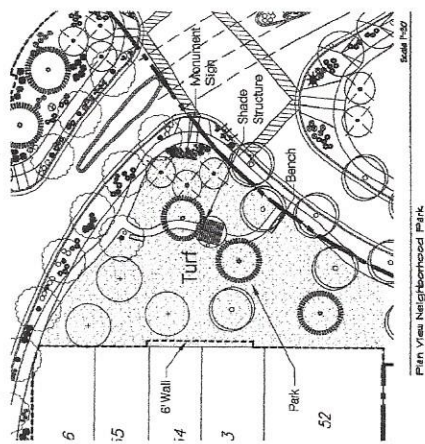
STATEMENT OF WATER WASTE
The Landscape Plan for this site shall limit the provision of high water use turf to a maximum of 20 percent of the required landscape area.

IRRIGATION SYSTEM
Irrigation system components outlined in the Water Conservation Landscaping Ordinance shall be used to irrigate turf, shrub and groundcover planting areas. A temporary spray system will be provided to establish the native seeded areas.

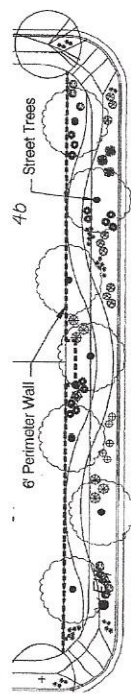
MAINTENANCE RESPONSIBILITY
Maintenance of the landscaping and irrigation system, including those areas within the public R.O.W., shall be the responsibility of the Owner.

LANDSCAPE NOTE
Some of the plants in the landscape plan shall be covered with heavy plastic mulch, as measured by the square footage of the plant.

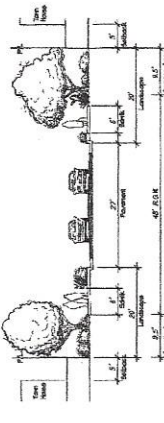
SEE GENERAL NOTE #1
SAN ANTONIO ARROYO



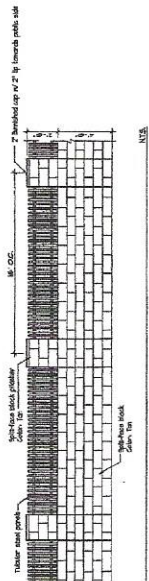
Plan View Neighborhood Park



Planting Detail Along Road



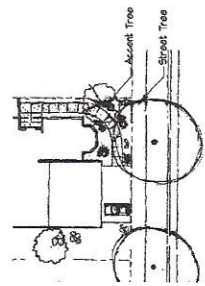
Street section at Midler!



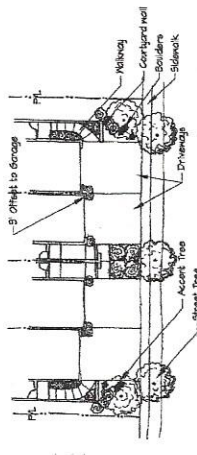
Avenue / View Wall Elevation

MINIMUM FRONT YARD LANDSCAPE STANDARDS FOR VISTAS DE LA LUZ SINGLE FAMILY HOMES.

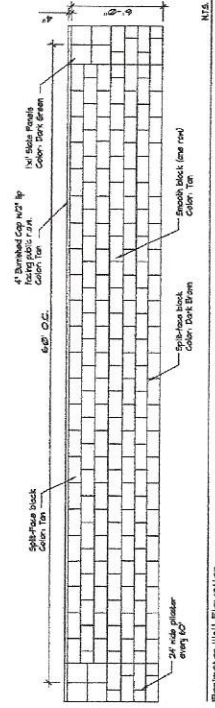
- 1. Accent Tree
 - 2. Street Tree
 - 3. Spruce (min. 5 gallon)
 - 4. River Rock (max. 25% of area)
 - 5. Landscaping Solutions (3' x 3' min)
- In addition, all front yard landscaping shall be required to have the following:
- 3/4" Banta Ava Tin Rock Mulch over filter fabric - for landscaped areas that are not covered with living vegetative groundcover.
 - Irrigation System/Automatic Timer will also include planting within R-O-L.
- The following approved accents can be used for front yard landscaping:
- River Rock (max. 25% of area)
 - Bark Mulch (in tree wells only)



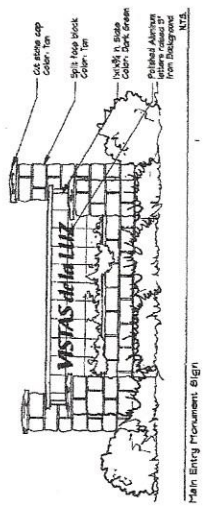
Plan View Typical Single Family Lot Layout



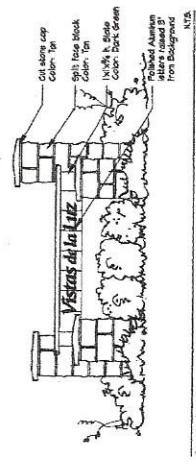
Four-Plex Townhome - Plan View



Perimeter Wall Elevation



Main Entry Monument Sign



Single Family Entry Monument Sign Elevation

MINIMUM FRONT YARD LANDSCAPE STANDARDS FOR VISTAS DE LA LUZ TOWNHOUSES.

- 1. Accent Trees
 - 2. Street Tree (not required in front of units with attached garages)
 - 3. Spruce (min. 5 gallon)
 - 4. River Rock (max. 25% of area)
 - 5. Landscaping Solutions (3' x 3' min)
- In addition, all front yard landscaping shall be required to have the following:
- 3/4" Banta Ava Tin Rock Mulch over filter fabric - for all landscaped areas that are not covered with living vegetative groundcover.
 - Irrigation System/Automatic Timer will also include planting within R-O-L.
- The following approved accents can be used for front yard landscaping:
- River Rock (max. 25% of area)
 - Bark Mulch (in tree wells only)

LANDSCAPE PLAN DETAILS
VISTAS de LA LUZ
SUBDIVISION

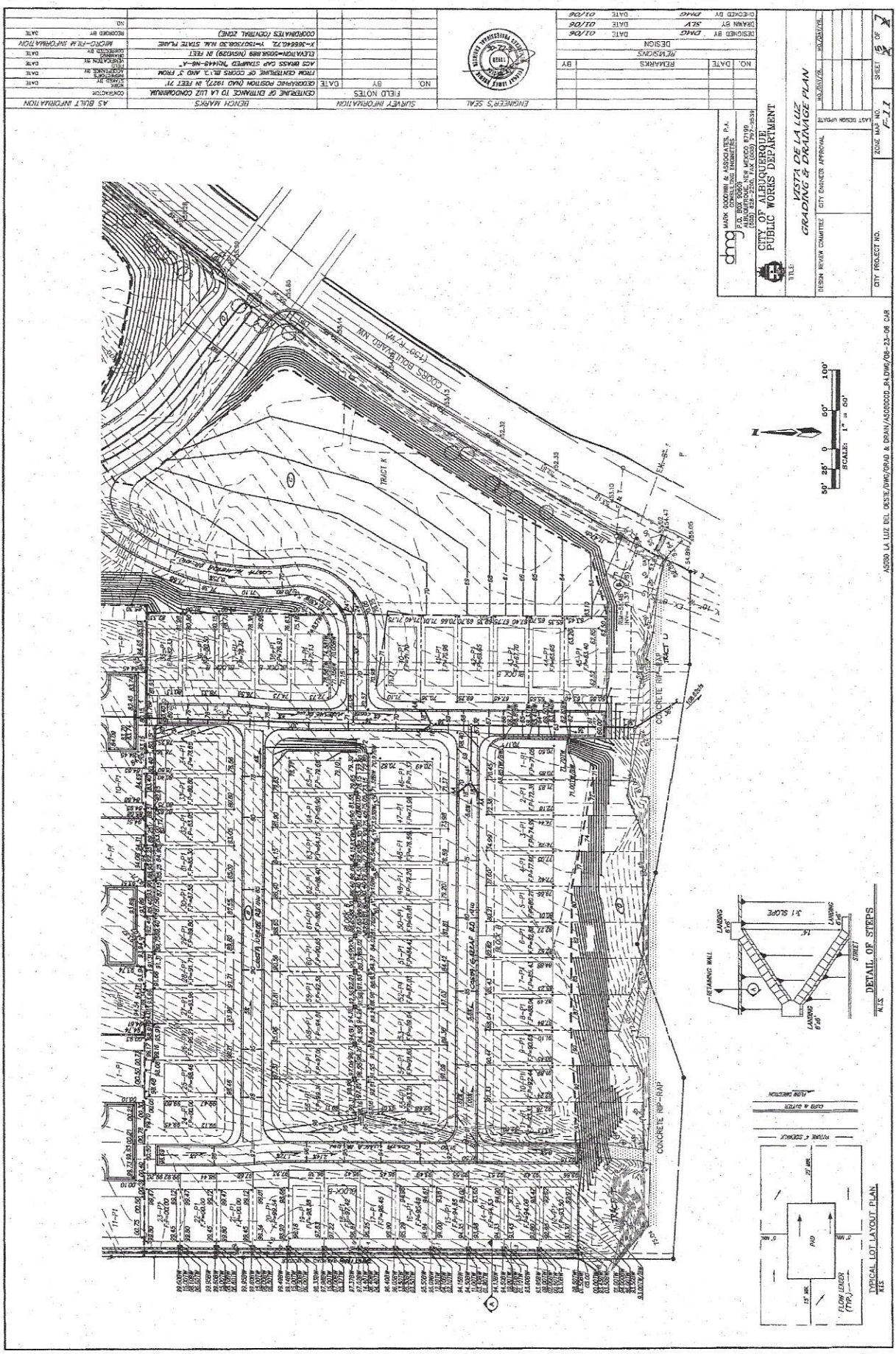
Prepared by:
I.S. McKinstry & Associates
3 Wind Road NW
Albuquerque, NM 87120

Scale 1" = 60'

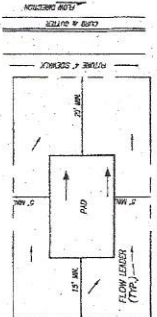
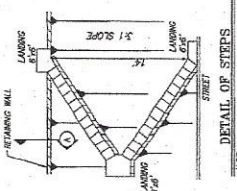
PLANNING CONSENSUS

August 1, 2008

Sheet 3 of 8



dmg MARK COZZINI & ASSOCIATES, P.A. P.O. BOX 8004, ALBUQUERQUE, NM 87110 (505) 253-2200, FAX (505) 747-0538	
CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT	
TITLE: VISTA DE LA LUZ GRADING & DRAINAGE PLAN	
DESIGN REVIEW COMPLETE	CITY ENGINEER APPROVAL
NO. DATE	REVISIONS
REMARKS	BY
DESIGNED BY: EMG	DATE: 01/06
DRAWN BY: SLV	DATE: 01/06
CHECKED BY: DMG	DATE: 01/06



ENGINEER'S SEAL 	
SURVEY INFORMATION	FIELD NOTES
CONTRACTOR	DATE
DATE	BY
NO.	NO.
DATE	BY
RECORD BY:	DATE:
NO.	DATE:

ASSED LA LUZ DEL DESK DWS (GRAD & DRAIN) / ASSESSOR: PA DMG/06-23-06 CAR

DESIGN STANDARDS Vistas de La Luz SUBDIVISION

Prepared by:
Consensus Planning, Inc.
302 Eighth Street NW
Albuquerque, NM 87102

Prepared for:
T.S. McNamey & Associates
3 Wind Road NW
Albuquerque, NM 87120

Sheet 7 of 7

B. INDIVIDUALITY
The architectural buildings shall be Pueblo, Contemporary Pueblo, or Traditional. The architect shall determine the period characteristics of these different styles. While these characteristics are listed, it is not the intent of these guidelines to prohibit a certain amount of freedom of expression and creativity as long as the overall look of the buildings continue to be characteristic of one of the styles listed below and address to character in building facades.

1. Double-Story - Pueblo style is a multi-story building featuring the low ebb, flat-roofed dwelling of the Pueblo style. The Pueblo style is characterized by its thick, masonry walls, and its windows and doors are set into a thick, masonry wall. The Pueblo style is characterized by its thick, masonry walls, and its windows and doors are set into a thick, masonry wall.

- a. Entry porches are a hallmark of the style.
- b. Limestone openings can be wood and exposed, but arched windows are just as common.
- c. Windows should be provided to direct residents from the street.
- d. Stone can be used in horizontal bands at the base of walls in the prescribed percentage in compound entry system.
- e. Porches are also used to create a sense of scale.
- f. Porches are also used to create a sense of scale.
- g. The symmetrical form allows for more flexibility to be easily integrated into the design by the walls and glass surrounding outdoor porches.

2. Contemporary Pueblo Style - Contemporary Pueblo Style is a more modern design which reflects much of the traditional Pueblo style vocabulary, combined with elements of modern architecture. The overall appearance is a blend of the traditional Pueblo style and modern architectural elements. The overall appearance is a blend of the traditional Pueblo style and modern architectural elements.

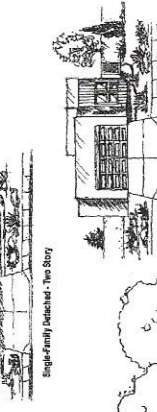
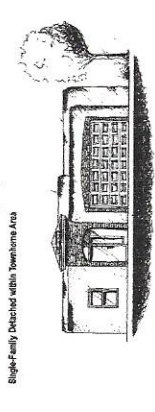
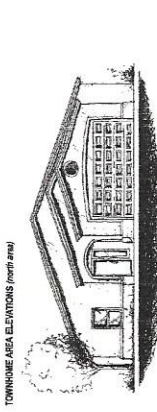
- a. Flat roof is common to this style.
- b. Square edge walls are also common to this style, along with square paneled walls.
- c. Cornices should be provided to direct residents from the street.
- d. Stone can be used in horizontal bands at the base of walls in the prescribed percentage in compound entry system.
- e. All openings should be placed away from corners.
- f. Large square stone porches can be provided to emphasize the style.

3. Traditional Style - This style is the Pueblo style and early Spanish building and is characterized by its thick, masonry walls, and its windows and doors are set into a thick, masonry wall. The traditional style is characterized by its thick, masonry walls, and its windows and doors are set into a thick, masonry wall.

- a. There are pitched roof forms on main volumes, arches and colonnades or beaded parapets in the style.
- b. The roof pitch is 12:12. Low eaves such as also be combined with the roof elements.
- c. Stone porches and walls are common to this style, however, stone should be used to provide texture, or beaded parapets are common.
- d. Trim over and around openings can be low or moderate moldings, but overhead openings are just as common.
- e. A window of building massing should be configured to be easily integrated into the design by the walls and glass surrounding outdoor porches.
- f. Exterior wall finish is stone, from the rough-hewn color to a smooth stone finish, in the prescribed percentages, with square or slightly rounded corners.

X. UTILITIES
To ensure the overall aesthetic quality of the property and the natural environment, the visual impact of utilities and equipment shall be minimized by the following:

- A. All new electric distribution lines shall be placed underground.
- B. Transformers, utility poles, and telephone boxes shall be appropriately screened with walls and/or vegetation when viewed from the public right-of-way.
- C. When an above-ground building penetration device is necessary to the City of Albuquerque, the building enclosure shall be constructed of masonry or metal in coordination with the architectural materials used at the main elements of the building. If pre-fabricated fiberglass enclosures are used, they shall be appropriately screened from view by walls and/or landscaping.



10. All sign materials shall be chosen from the City of Albuquerque's Water Conservation Ordinance Plant List.

11. Minimum plant size at time of installation shall be as follows:
New plant: 18" to 24" high for deciduous, 18" to 24" tall for evergreen.
Existing plant: 18" high for deciduous, 18" to 24" tall for evergreen.
Complete ground coverage with 1" growing season after installation.

VIII. SIGNAGE

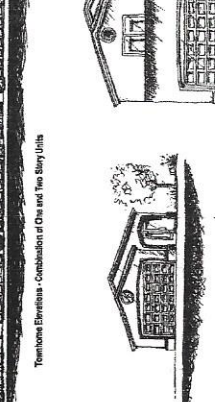
- A. All signs shall be in accordance with Section 14-18-15 General Sign Regulations of the Comprehensive City Zoning Code and the Open Corner Sign Development Plan.
- B. Every sign shall be measured (top and side) component on the materials, color, and architectural character of the building and shall be placed in the height above grade, per the Open Corner Sign Development Plan, Item 4, Visual Impairment and Open Corner Sign Zone, Section (c), Signage.
- C. Free-standing signs shall be designed that do not require any external lighting, single-bay supports, guy wires or other devices.
- D. No signage is allowed for uses involving paint, make-up, or hair styling or fashioning.
- E. Signs shall not interfere with the egress of signs or other signs on the building and face, per the Open Corner Sign Development Plan, Item 4, Visual Impairment and Open Corner Sign Zone, Subsection (b), Signage.
- F. Off-premise signs are prohibited.
- G. Billboard-style signs and not exceed 3 percent of the facade area and the signage shall not exceed 2 feet in height and not be permitted on any structure subject to residential zoning.
- H. Illuminated plastic panel signs are allowed except business signs within the non-residential areas of the property.

IX. ARCHITECTURE

The following signage standards will be used to regulate the size, location, look, and quality of sign elements within Vistas de La Luz. The goal is to provide a signage program that is of high quality, maintains a consistent style, and complements the visual character of the property.

A. RESIDENTIAL STYLES

Architectural styles for the building units for the townhome (one) and single family detached area (two) are shown below. There will be a combination of one and two story units in both areas.



QUITCLAIM DEED

VISTA DE LA LUZ HOMEOWNERS' ASSOCIATION, a New Mexico nonprofit corporation, for consideration paid, quitclaims to LA LUZ DEL SOL LANDOWNERS ASSOCIATION, a New Mexico nonprofit corporation, whose address is c/o Blue Door Realty LLC, 3791 Southern Blvd., S.E., Suite 101, Rio Rancho, New Mexico 87124, the following described real estate in Bernalillo County, New Mexico:

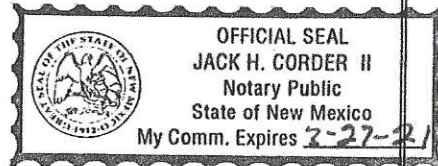
A certain tract of land, being a portion of Tract M, Vista De La Luz, within the Section 35, Township 11 North, Range 2 East, N.M.P.M., Bernalillo County, New Mexico, as shown on the plat of said subdivision filed in the office of the County Clerk of Bernalillo County, New Mexico on October 30, 2006 in Book 2006C, Page 331 and being more particularly described as follows:

BEGINNING at a point being the Northeast corner of the tract herein described whence the Albuquerque Control Station "NM_448_N6A" bears N 81° 34' 05" E, 820.69 feet distant; Thence running S 62° 12' 18"W, 7.19 feet along the westerly boundary line of said Tract M, being the same and identical boundary of Lot H-1-A-1, Unit 4, La Luz Del Oeste, as shown on plat of said addition recorded in the office of the County Clerk of Bernalillo County New Mexico on March 10, 2020 in book 2020C, Page 028, thence running 91.86 feet as a curve to the left with a radius of 274.50 feet and a central angle of 19° 10' 23" (chord: S 49° 10' 41" W, 91.43 feet) to the southeast corner of the tract herein described; Thence running N 50° 18' 14" W, 12.50 feet to the southwest corner of the tract herein described; Thence along a curve to the right 85.58 feet with a radius of 287.00 feet and a central angle of 17° 05' 06" (chord: N 48° 08' 20" E, 85.26 feet) to the northwest corner of the tract herein described; thence S 85° 20' 52" E, 21.74 feet to the southeast corner and point of beginning. Containing 1,150 sf more or less.

WITNESS its hand and seal this 21st day of January, 2021.

VISTA DE LA LUZ HOMEOWNERS' ASSOCIATION, a New Mexico nonprofit corporation

By: Marijo Rymer
Its: PRESIDENT



ACKNOWLEDGMENT

STATE OF NEW MEXICO)
)
COUNTY OF BERNALILLO)

This instrument was acknowledged before me on January 21, 2021, by Marijo Rymer, President of VISTA DE LA LUZ HOMEOWNERS' ASSOCIATION, a New Mexico nonprofit corporation.

Jack H. Corder II
NOTARY PUBLIC

MY COMMISSION EXPIRES:
3-27-2021

VICINITY MAP (F-11) NO SCALE



COUNTY CLERK RECORDING LABEL HERE

SURVEY LEGAL DESCRIPTION

Lot H-one-A (H-1-A), of Unit Four (4), La Luz Del Oeste, being the same as shown and designated on the plat of said subdivision filed in the office of the County Clerk of Bernalillo County, New Mexico on June 18, 2004 in book 2004C, page 197;

together with:

Vacated portion of Costa America Drive, NW as designated by City of Albuquerque Vacation Action SP-2019-00125 Dated August 15, 2020.

PLAT OF
LOT H-1-A-1
LA LUZ DEL OESTE, UNIT 4
 A REPLAT OF LOTS H-1-A
 LA LUZ DEL OESTE UNIT 4
 WITHIN SECTION 35, T. 11 N., R. 2 E., N.M.P.M.
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
 FEBRUARY 2020

PROJECT NUMBER: FR-2019-002598
 Application Number: **20-2422-00051**
 Utility Company Approvals:

Public Service Company of New Mexico	3/24/2020
New Mexico Gas Company	3/2/2020
Quest Corporation d/b/a CenturyLink QC	3/2/2020
City Approvals:	
City Surveyor: Tom A. Rumbauer P.S.	2/19/2020
Real Property Division: NA JV	
Environmental Health Department: NA SN	
Transportation Engineering, Traffic Engineering Division: John G. ...	3-04-20
Public Works: Christophe ...	03-04-20
Parks and Recreation Department: ...	03-04-2020
Public Works: ...	3/2/2020
Public Works: ...	3/4/2020
City Engineering/Hydrology: ...	3/11/2020
Civil Enforcement: ...	3-06-20
DRP Preparation, Planning Department: ...	

FREE CONSENT
 The platting of the property as described above is with the free consent and in accordance with the desires of the single or multiple owner(s). Said owner(s) warrant(s) that they hold complete and indefeasible title in fee simple to the land subdivided.

ACKNOWLEDGMENT
 I, **Jade Chas**, Being Four Realty, Authorized Representative of La Luz Del Sol Land Owners Association, do hereby acknowledge that on this 14 day of February, 2020, the foregoing instrument was acknowledged by **Jade Chas**, as **Secretary** of the **LA LUZ DEL SOL LAND OWNERS ASSOCIATION**, a corporation organized under the laws of the State of New Mexico.

NOTARY PUBLIC
 My Commission expires 1-25-2023
Thomas M. ...



- PURPOSE OF PLAT**
 This plat has been prepared for the purpose of consolidating vacated right-of-way and bearings and distances are field measurements made on the ground.
- Bearings and distances are field measurements made on the ground.
 - Perimeter distances are field measurements made on the ground.
 - Monuments recovered and accepted or reset are noted on inscribed plat.
 - No property within the area of proposed plat shall be subject to a deeded easement, covenant, or binding agreement prohibiting other collection of water on buildings or erected on the lots or parcels within the area of proposed plat. The foregoing requirement shall be a condition to approval of this plat.
 - Responsibility for landscaping maintenance within vacated portion of Costa America Drive, NW shall be provided by Lot H-1-A-1, Tract M and Tract J and maintain their respective landscaping via the 10' Public Sidewalk and Pedestrian Access Easements granted by this plat.
 - 48' Public Roadway, Utility, Sanitary Sewer and Water Line Easement granted by this plat is for the Maintenance of Costa America Drive, NW and the Maintenance and/or extension of existing underground utilities through Lot H-1-A-1 to all adjacent tracts and right-of-ways.
 - Maintenance responsibility for the 48' Public Roadway, Utility, Sanitary Sewer and Water Line Easement, as well as the 10' Sidewalk and Pedestrian Access Easements granted by this plat shall be provided by Lot H-1-A-1.

PUBLIC UTILITY EASEMENTS
 shown on this plat are granted for the common and joint use of Public Service Company of New Mexico (PSCNM), New Mexico Gas Company (NMGCS) for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment, and related facilities reasonably necessary to provide electrical services. New Mexico Gas Company for installation, maintenance, and service of natural gas lines, valves and other related equipment and facilities reasonably necessary to provide gas services. Quest Corporation d/b/a CenturyLink QC for the installation, maintenance, and service of such lines, cables, and other related equipment and facilities reasonably necessary to provide communication services. The installation, maintenance, and service of such lines, cables, and other related equipment and facilities reasonably necessary to provide cable services, including, but not limited to, the right to build, rebuild, reconstruct, locate, relocate, change, remove, replace, modify, renew, operate and maintain facilities for purposes described above, together with access adjoining lands of Grantor and Grantee, with the right and privilege of going upon, over and across adjoining lands of Grantor and Grantee, and the right to use the same for such purposes, shall be granted to the extent necessary to provide for the installation, maintenance, and service of such lines, cables, and other related equipment and facilities, including the right to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, structure, or other improvement shall be erected or constructed on said easements nor shall any other structure be erected or constructed on said easements in violation of the National Electrical Safety Code by construction of poles, decking, or any structures adjacent to or near easements for electric lines, power/switchboxes, as installed, shall extend ten (10) feet in front of easements/switchgear doors and five (5) feet on each side.

Disclaimers
 In approving this plat, Public Service Company of New Mexico (PSCNM), New Mexico Gas Company (NMGCS) and Quest Corporation d/b/a CenturyLink (QUEST) did not conduct a Title Search of the public records of Bernalillo County, New Mexico, and therefore, the existence of any other easement or easement rights which may have been granted by prior plat, record or other document and which are not shown on this plat.

FOR BERNALILLO COUNTY TREASURER'S OFFICE USE ONLY
 UPG# 1 011 001 326 430 10140

PROPERTY OWNER OF RECORD:
 LA LUZ DEL SOL LAND OWNERS ASSOCIATION C/O SENTRY MANAGEMENT
 BERNALILLO COUNTY TREASURER'S OFFICE

SUBMISSION DATA
 1. DRB Project No. PR-2019-002598
 2. Zone Atlas Index No. F11
 3. Gross acreage 1.3862 Ac.
 4. Existing number of lots 1
 Replatted number of lots 1



WAYJOHN SURVEYING, INC.

1609 2ND STREET NW
 ALBUQUERQUE, N.M. 87102
 PHONE: (505) 255-2052 FAX: (505) 255-2887



THOMAS D. JOHNSTON
 NEW MEXICO
 14269
 REGISTERED LAND SURVEYOR

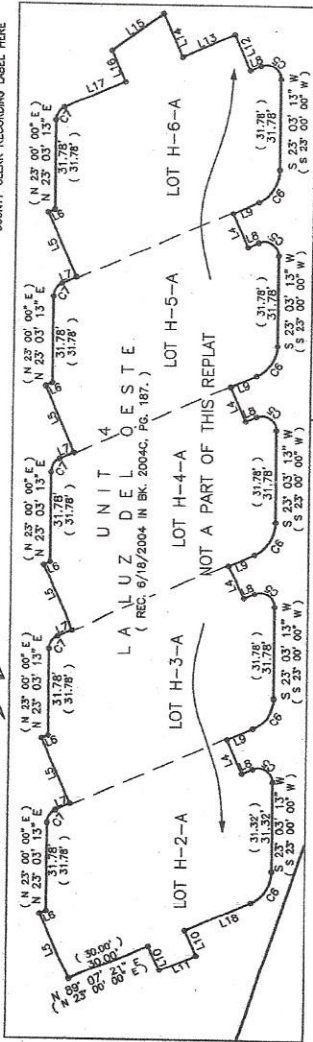
DRAWN: J T K SCALE: 1" = 40'
 CHECKED: T D J FILE NO. SP-12-02-2019
 PLANNING NO. SPT20219.DWG 12 FEB 2020 SHEET 1 OF 2

SURVEYOR'S CERTIFICATE
 I, Thomas D. Johnston, licensed as a Professional Surveyor under the laws of the State of New Mexico, do hereby certify that I am the author of the foregoing plat and that I am responsible for this plat, that it shows all easements of the recorded plat and made known to me by the title company, utility companies or by the owner of record, meets the minimum requirements for the Surveyors of the Albuquerque Subdivision Ordinance, and meets the Minimum Standards for Land Surveyors of the National Board of Surveying and Mapping Licensee for Professional Engineers and Surveyors, effective July 24, 2016 and is true and correct to the best of my knowledge and belief.

Thomas D. Johnston, License No. 14269
 Date: 2-14-20

LOT DETAIL

SCALE: 1" = 30'



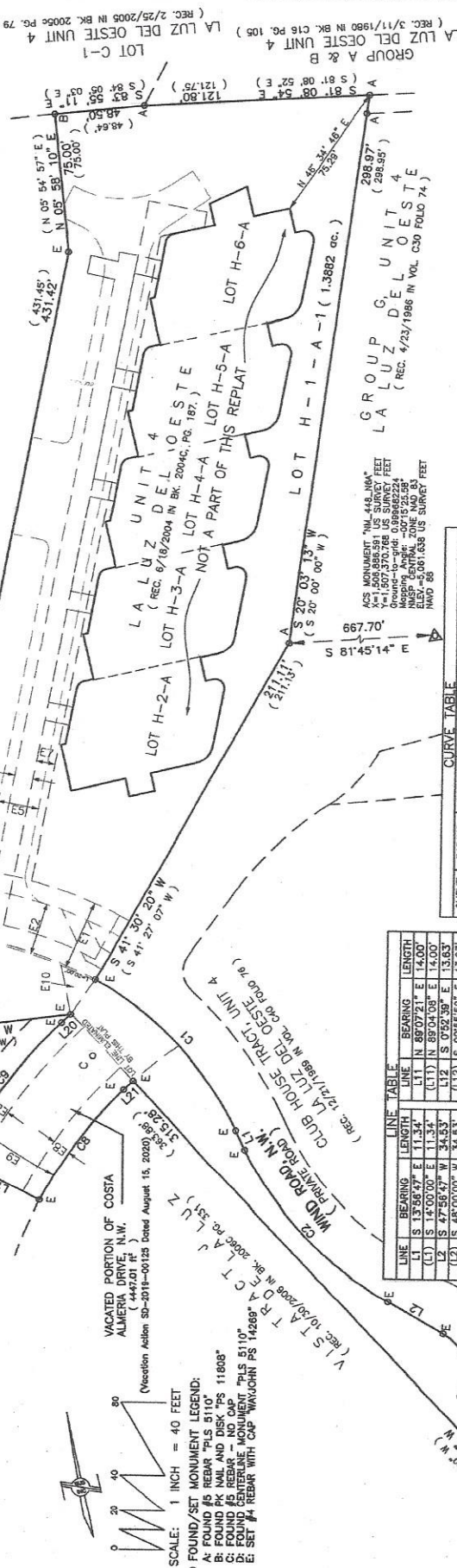
**PLAT OF
LOT H-1-A-1
LA LUZ DEL OESTE, UNIT 4**

A REPLAT OF LOTS H-1-A
LA LUZ DEL OESTE UNIT 4
WITHIN SECTION 35, T. 11 N., R. 2 E., N.M.P.M.
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
FEBRUARY 2020

EASEMENTS

- E1 EXISTING 30' WATER, POWER, COMMUNICATION GAS AND PRIVATE ACCESS EASEMENT GRANTED BY PLAT FILED 11/12/2003, BK 2003C, PG 120.
- E2 EXISTING 20' PRIVATE ACCESS EASEMENT GRANTED BY PLAT FILED 11/12/2003 IN BK 2003C, PG 342.
- E3 EXISTING 10' POWER AND COMMUNICATION EASEMENT FILED 9/27/1982, BK MISC 983, PG 887.
- E4 EXISTING 10' PUBLIC UTILITY EASEMENT GRANTED BY PLAT FILED 11/12/2003 IN BK 2003C, PG 342.
- E5 EXISTING 22' ACCESS EASEMENT GRANTED BY PLAT FILED 4/13/2004, BK 2004C PG 120.
- E6 EXISTING 10' WATER LINE EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE, FILED 9/27/1987, BK MISC 524, PG 636-640.
- E7 EXISTING 10' POWER, COMMUNICATION AND GAS EASEMENT GRANTED BY PLAT FILED 4/13/2004, BK 2004C PG 120.
- E8 10' PUBLIC SIDEWALK AND PEDESTRIAN ACCESS EASEMENT GRANTED BY THIS PLAT.
- E9 48' ROADWAY, PUBLIC UTILITY, SANITARY SEWER AND WATERLINE EASEMENT GRANTED BY THIS PLAT.
- E10 20' WATER LINE EASEMENT GRANTED BY THIS PLAT.

**LA LUZ DEL OESTE
UNIT 4
(REC. 9/15/2007 IN BK 2007C, PG. 0163)**



CURVE TABLE

CURVE	RADIUS	LENGTH	DELTA	CHORD	BEARING
(C1)	187.00	112.75	34.32	58.11	S 31° 13' 11" E
(C2)	187.00	112.75	34.32	58.11	S 31° 18' 26" E
(C3)	187.00	112.75	34.32	58.11	S 30° 59' 44" E
(C4)	187.00	112.75	34.32	58.11	S 31° 00' 00" E
(C5)	24.19	39.03	9.70	14.56	S 03° 14' 36" E
(C6)	3897.72	34.26	0.07	29.48	S 41° 28' 29" E
(C7)	5.00	9.94	1.13	5.52	S 32° 46' 48" E
(C8)	5.00	9.94	1.13	5.52	S 33° 57' 58" E
(C9)	12.00	13.84	1.66	8.04	S 57° 03' 14" W
(C10)	12.00	13.84	1.66	8.04	S 56° 02' 04" W
(C11)	5.00	5.77	0.67	4.08	N 56° 05' 17" E
(C12)	5.00	5.77	0.67	4.08	N 56° 02' 04" E
(C13)	250.00	75.55	19.11	43.33	S 49° 10' 01" W
(C14)	250.00	75.55	19.11	43.33	S 49° 10' 41" E
(C15)	274.50	91.66	22.88	51.78	S 49° 10' 41" E
(C16)	5.00	5.00	0.00	0.00	S 49° 10' 41" E

LINE	BEARING	LENGTH	LINE	BEARING	LENGTH
L1	S 23° 00' 00" E	31.78	L11	N 89° 07' 21" E	14.00
L2	N 23° 03' 13" E	31.78	L12	N 89° 04' 08" E	14.00
L3	S 23° 03' 13" W	31.78	L13	S 03° 29' 52" E	13.63
L4	S 23° 00' 00" W	31.78	L14	N 89° 07' 21" E	13.63
L5	N 23° 00' 00" E	31.78	L15	N 89° 04' 08" E	13.63
L6	N 23° 03' 13" E	31.78	L16	S 00° 55' 52" W	16.83
L7	S 23° 03' 13" W	31.78	L17	N 76° 29' 37" E	22.20
L8	S 23° 00' 00" W	31.78	L18	N 02° 39' W	12.00
L9	N 23° 00' 00" E	31.78	L19	N 02° 55' 52" W	25.17
L10	N 23° 03' 13" E	31.78	L20	N 89° 07' 21" E	2.50
L11	N 23° 00' 00" E	31.78	L21	N 89° 04' 08" E	5.42
L12	S 23° 03' 13" W	31.78	L22	N 89° 07' 21" E	23.11
L13	S 23° 00' 00" W	31.78	L23	N 89° 04' 08" E	23.11
L14	N 23° 00' 00" E	31.78	L24	S 89° 07' 21" E	24.86
L15	N 23° 03' 13" E	31.78	L25	S 89° 04' 08" E	4.07
L16	S 23° 03' 13" W	31.78	L26	S 89° 07' 21" W	9.78
L17	S 23° 00' 00" W	31.78	L27	N 89° 04' 08" E	9.78
L18	N 23° 00' 00" E	31.78	L28	N 89° 07' 21" W	9.83
L19	N 23° 03' 13" E	31.78	L29	N 89° 04' 08" E	9.83
L20	S 23° 03' 13" W	31.78	L30	N 89° 07' 21" W	9.83
L21	S 23° 00' 00" W	31.78	L31	N 89° 04' 08" E	9.83
L22	N 23° 00' 00" E	31.78	L32	N 89° 07' 21" W	9.83
L23	N 23° 03' 13" E	31.78	L33	N 89° 04' 08" E	9.83



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THOMAS D. JOHNSTON
REGISTERED PROFESSIONAL SURVEYOR
NO. 4269
STATE OF NEW MEXICO

FOR MORE INFORMATION FOR COUNTY CLERK
ASSOCIATION OF NEW MEXICO
COUNTY CLERK, UNIT 14, SEE
LA LUZ DEL OESTE, UNIT 4

DRAWN: J T K
CHECKED: T D J
SCALE: 1" = 40'
FILE NO.
SP-12-02-2019
DRAWING NO.
SPT20219.DWG
12 FEB 2020
SHEET 2 OF 2

QUITCLAIM DEED

THE CITY OF ALBUQUERQUE, a New Mexico municipal corporation ("Grantor"), quitclaims to La Luz Del Sol Landowners Association ("Grantee"), whose address is P. O. Box 45717, Rio Rancho, New Mexico, 87174, for consideration paid, the following described real property ("Property") in Bernalillo County, New Mexico, subject to easements, restrictions and reservations of record:

A vacated portion of Costa Almeria Drive NW now comprising a portion of LOT H-1-A-1, LA LUZ DEL OESTE, UNIT 4 as shown and designated on the plat of said addition filed in the Office of the County Clerk of Bernalillo County, New Mexico, on March 10, 2020, in Plat Book 2020C, Page 28, Document #2020022422, vacated by the City of Albuquerque Development Review Board Vacation Project #PR-2019-002598, Application SD-2019-00125.

GRANTOR:

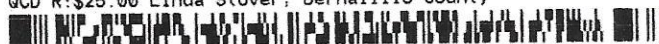
The City of Albuquerque, a New Mexico Municipal Corporation

By: *Sarita Nair*
Sarita Nair
Chief Administrative Officer

STATE OF NEW MEXICO)
) ss.
COUNTY OF BERNALILLO)

Doc# 2020130620

12/23/2020 11:09 AM Page: 1 of 1
GCD R: \$25.00 Linda Stover, Bernalillo County



This instrument was acknowledged before me on November 5, 2020 by Sarita Nair, Chief Administrative Officer of the City of Albuquerque, a New Mexico municipal corporation, on behalf of said corporation.

My Commission Expires:

Glory Juarez
Notary Public

March 6, 2021

