



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	Policy Decisions
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Site Plan – DRB (Form P2)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input checked="" type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Subdivision of Land – Minor (Form S2)	<input type="checkbox"/> Annexation of Land (Form Z)
Decisions Requiring a Public Meeting or Hearing	<input type="checkbox"/> Subdivision of Land – Major (Form S1)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
<input type="checkbox"/> Conditional Use Approval (Form ZHE)	<input type="checkbox"/> Vacation of Easement or Right-of-way (Form V)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Variance – DRB (Form V)	Appeals
<input type="checkbox"/> Expansion of Nonconforming Use or Structure (Form ZHE)	<input type="checkbox"/> Variance – ZHE (Form ZHE)	<input type="checkbox"/> Decision by EPC, LC, DRB, ZHE, or City Staff (Form A)

APPLICATION INFORMATION		
Applicant: 7B Building		Phone: (806) 368-7843
Address: 13105 Dover		Email: derrick@7bdev.com
City: Lubbock	State: TX	Zip: 79424
Professional/Agent (if any): Modulus Architects, Inc.		Phone: (505) 338-1499
Address: 100 Sun Ave. NE Suite 600		Email: rokoye@modulusarchitects.com
City: Albuquerque	State: NM	Zip: 87019
Proprietary Interest in Site: Agent	List all owners: 7B Building	

BRIEF DESCRIPTION OF REQUEST

Amend approved Site Plan for Building Permit to split commercial lot line into two parcels and to amend the Site Plan for Building Permit to add in an additional ADA space on the car wash parcel.

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.: Tract J	Block:	Unit:
Subdivision/Addition: VISTA DE LA LUZ	MRGCD Map No.:	UPC Code: 101106131538523401
Zone Atlas Page(s): F-11-Z	Existing Zoning: PD	Proposed Zoning: PD
# of Existing Lots: 1	# of Proposed Lots: 1	Total Area of Site (acres): +/- 1.9

LOCATION OF PROPERTY BY STREETS

Site Address/Street: 5401 SEVILLA AV NW	Between: Sevilla	and: Coors
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CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

1004675, PR-2019-002598, SI-2021-00453, SI-2022-00314

Signature: Regina Okoye	Date: 11/14/22
Printed Name: Regina Okoye	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees
-		
-		
-		

Meeting/Hearing Date:	Fee Total:
Staff Signature:	Date:
	Project #

FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS

A single PDF file of the complete application including all plans and documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD.

INFORMATION REQUIRED FOR ALL ADMINISTRATIVE DECISIONS OR AMENDMENTS

- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled

ARCHEOLOGICAL CERTIFICATE

- Archaeological Compliance Documentation Form with property information section completed
- Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)

MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)
- Three (3) copies of all applicable sheets of the approved Site Plan being amended, folded
- Copy of the Official Notice of Decision associated with the prior approval
- Three (3) copies of the proposed Site Plan, with changes circled and noted
- Refer to the Site Plan Checklist for information needed on the proposed Site Plan.

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-5. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.


MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(1)(a)
- Three (3) copies of all applicable sheets of the approved Site Development Plan being amended, folded
- Copy of the Official Notice of Decision associated with the prior approval
- Three (3) copies of the proposed Site Development Plan, with changes circled and noted
- Refer to the Site Plan Checklist for information needed on the proposed Site Plan.

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-5. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

ALTERNATIVE SIGNAGE PLAN

- Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)
- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(F)(4)(c)
- Required notices with content per IDO Section 14-16-6-4(K)(6)
- Office of Neighborhood Coordination notice inquiry response and proof of emailed notice to affected Neighborhood Association representatives
- Sign Posting Agreement

<p><i>I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.</i></p>		
<p>Signature: <u>Regina Okoye</u></p>	<p>Date: 11/14/2022</p>	
<p>Printed Name: Regina Okoye</p>	<p><input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent</p>	
<p>FOR OFFICIAL USE ONLY</p>		
<p>Project Number:</p>	<p>Case Numbers</p>	
<p> </p>	<p>-</p>	
<p> </p>	<p>-</p>	
<p> </p>	<p>-</p>	
<p>Staff Signature:</p>		
<p>Date:</p>		

Planning Department
City of Albuquerque
600 2nd Street NW
Albuquerque, NM 87102

RE: AGENT AUTHORIZATION NOTICE – 5401 SEVILLA AVE NW ALBUQUERQUE NM 87120

To Whom It May Concern,

7B Building & Development c/o Derrick Merchant, hereby authorizes Modulus Architects & Land Use Planning, Inc., to perform as the Agent of Record with the City of Albuquerque. This Agent Authorization is for the property located at the NEC OF Sevilla Ave and Coors Blvd Albuquerque NM 87120 and legally described as:

TR J PLAT FOR VISTA DE LA LUZ CONT 1.8728 AC

This authorization is valid until further written notice from 7B Building Development or Modulus Architects and Land Use Planning, Inc. (Agent). Please direct all correspondence and communication to our Agent for the purpose of this request for an Administrative Amendment.

Sincerely,



Derrick Merchant (Feb 3, 2022 15:23 CST)

7B Building & Development
c/o Derrick Merchant
13105 Dover
Lubbock, TX 79424
Phone: (806) 368-7843
Email: derrick@7bdev.com



November 14, 2022

Current Planning Department Director
City of Albuquerque Planning Department
600 2nd Street NW,
Albuquerque, NM 87102

RE: PROJECT ADDRESS – 5401 SEVILLA AVE NW, ALBUQUERQUE, NM 87120

PROJECT NUMBER: 1004675, 16DRB-70239

**ADMINISTRATIVE AMENDMENT TO OVERALL SITE PLAN FOR SUBDIVISION
AND SITE PLAN FOR BUILDING PERMIT**

Dear Current Planning Department Director,

Modulus Architects & Land Use Planning, Inc., hereafter referred to as “Agent” for the purpose of this request, represents 7B Building & Development, hereafter referred to as “Applicant.” We, “Agent,” are requesting approval for this submittal to amend the approved Site Plan for Building Permit to split the commercial lot line into two (2) parcels and to amend the Site Plan for Building Permit to add in an additional ADA space on the car wash parcel. The site is located at 5401 Sevilla Ave NW, Albuquerque, NM 87120. The parcel (the “subject site”) is approximately 1.9 acres in size, zoned PD and is located on the NEC of Sevilla Ave. and Coors Blvd. Albuquerque, NM 87120. The site is also within the Coors Blvd. Major Transit Corridor and within the Coors Blvd. Character Protection Overlay Zone.

The subject site is currently developed as a Champion Xpress Car Wash. We are proposing to split the 1 existing lot into 2 lots. This is shown on the Site Plan for Subdivision. On the Site Plan for Building Permit, we will be providing an ADA space abutting the car wash use. The Agent has also provided an exhibit for landscaping and dimensional standards to show no nonconformities are being created with the request. The overall Site Plan for the project was approved and signed by the DRB in 2017 (1004675, 16DRB-70239) and amended in March of 2022 (SI-2022-00314/PR-2019-002598). The proposed changes to the site have been outlined below. All changes meet the approved Design Standards, the IDO and the DPM. This minor amendment request falls within the thresholds established in IDO Table 6-4-5.



Our submittal includes the approved amended DRB plans, amended Site Plan for Subdivision, amended Site Plan for Building Permit, amended Landscape Plan, amended Utility Plan, and the amended G&D Plan. The minor changes are listed below. Changes to the overall Site Plan package are identified in the AA drawings via the bubbled areas.

Site Plan for Building Permit:

- Parking calculations have been updated.
- The Site Plan shows the new location of the ADA parking space.

Site Plan for Building Permit:

- The lot has been split from 1 existing lot into 2 lots and is reflected on the plan.

G&D Plan and the Utility Plan:

- The Site Plan shows the new location of the ADA parking space.

Landscape Plan:

- The Site Plan shows the new location of the ADA parking space.

Exhibit:

- The landscaping table shows each lot is able to provide the 15% landscaping requirement for each individual lot.
- The dimensional standards table shows that the setbacks are being met for each one of the structures (retail and car wash).
- The exhibits show that there are no nonconformities being created.

I look forward to reviewing our submittal with you. If you have any additional questions regarding this submittal please feel free to contact me directly at (505) 338-1499 or by email: rokoye@modulusarchitects.com



Best Regards,

**REGINA OKOYE, ENTITLEMENTS PROJECT MANAGER
MODULUS ARCHITECTS & LAND USE PLANNING, INC.**

100 Sun Avenue NE, Suite 600

Albuquerque, NM 87109

Office 505.338.1499 (Ext. 1003)

Mobile + Text 505.267.7686

100 Sun Avenue NE, Suite 600, Albuquerque, NM 87109

Phone: 505.338.1499 Fax: 505.338.1498

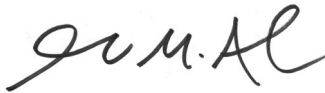
www.modulusarchitects.com

ADMINISTRATIVE AMENDMENT

FILE #: SI-2022-00314

PROJECT #: PR-2019-002598

Relocation of existing automated pay station west of existing location. No additional
changes to grading and drainage, parking, site circulation, or site configuration.



Digitally signed by James M. Aranda
DN: cn=James M. Aranda, o=City of Albuquerque,
ou=Planning Department, email=jmaranda@cabq.gov, c=US
Date: 2022.03.14 09:13:30 -06'00'

3/14/2022

APPROVED BY

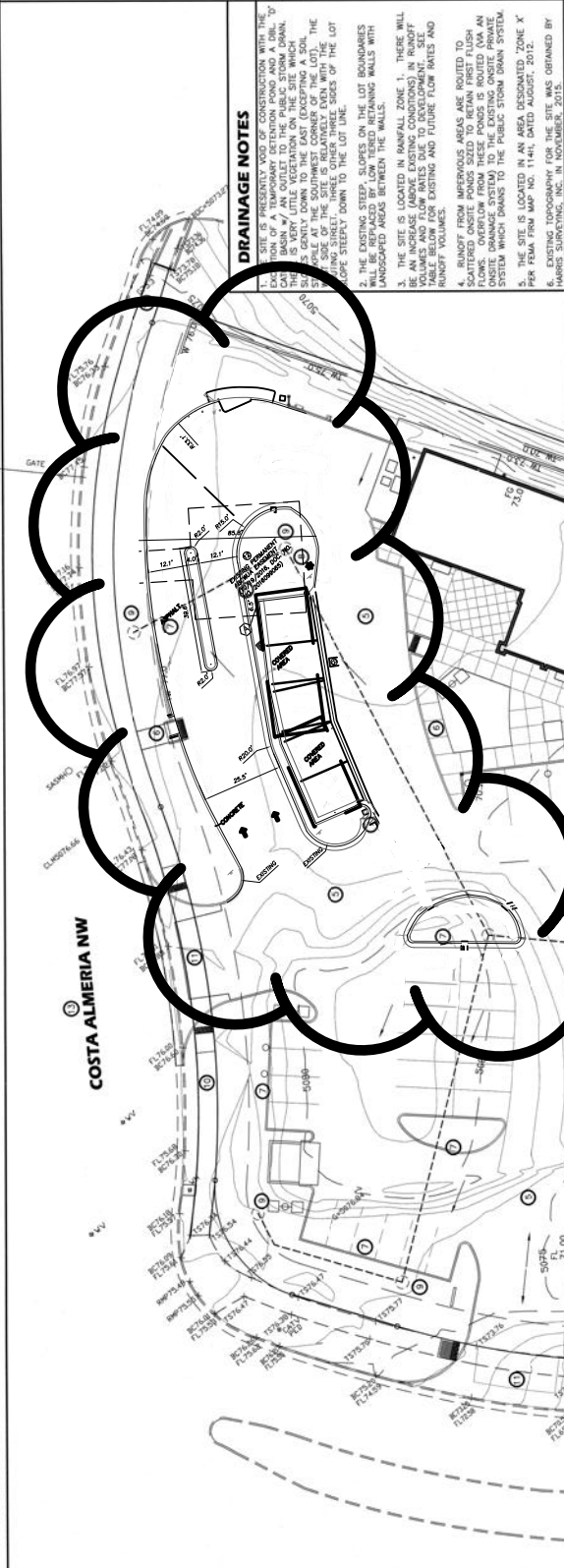
DATE

GRADING PLAN

VICINITY MAP NO. F-11



FEMA FIRM PANEL NO. 114H



DRAINAGE NOTES

1. THE SITE IS LOCATED IN RAINFALL ZONE 1. THERE WILL BE AN INCREASE (ABOVE EXISTING CONDITIONS) IN RUNOFF VOLUMES AND FLOW RATES DUE TO DEVELOPMENT OF THE SITE. THE EXISTING AND PROPOSED FLOW RATES AND RUNOFF VOLUMES.
2. THE EXISTING STEEP SLOPES ON THE LOT BOUNDARIES AND ADJACENT AREAS WILL BE MAINTAINED WITH UNDESIGNED AREAS BETWEEN THE WALLS.
3. THE SITE IS LOCATED IN RAINFALL ZONE 1. THERE WILL BE AN INCREASE (ABOVE EXISTING CONDITIONS) IN RUNOFF VOLUMES AND FLOW RATES DUE TO DEVELOPMENT OF THE SITE. THE EXISTING AND PROPOSED FLOW RATES AND RUNOFF VOLUMES.
4. RUNOFF FROM IMPERVIOUS AREAS ARE ROUTED TO SCATTERED ONSITE PONDS SIZED TO RETAIN FIRST FLUSH AND TO PROVIDE STORAGE FOR THE EXISTING ONSITE PRIVATE ONSITE DRAINAGE SYSTEM TO THE EXISTING ONSITE PRIVATE SYSTEM WHICH DRAINS TO THE PUBLIC STORM DRAIN SYSTEM.
5. THE SITE IS LOCATED IN AN AREA DESIGNATED 'ZONE X' PER FEMA FIRM MAP NO. 114H, DATED AUGUST, 2012.
6. EXISTING TOPOGRAPHY FOR THE SITE WAS OBTAINED BY HARRIS SURVEYING, INC. IN NOVEMBER, 2015.

DRAINAGE DATA

CONDITION	STORM TREATMENT PERIOD	TREATMENT TYPE	AREA (SQ. FT.)	PRECIPITATION (INCHES)	EXCESS PRECIPITATION (INCHES)	PEAK RUNOFF (CFS)	RUNOFF VOLUME (CU. FT.)
UNDEVELOPED	10	A	19619	0.22	0.22	17619	17619
		B	19619	0.22	0.22	17619	17619
		C	19619	0.22	0.22	17619	17619
		D	19619	0.22	0.22	17619	17619
		E	19619	0.22	0.22	17619	17619
TOTAL			78619	1.24	2.88	531	0.44
DEVELOPED	10	A	78619	0.22	0.22	78619	78619
		B	78619	0.22	0.22	78619	78619
		C	78619	0.22	0.22	78619	78619
		D	78619	0.22	0.22	78619	78619
		E	78619	0.22	0.22	78619	78619
TOTAL			78619	1.24	2.89	6163	3.96
TOTAL FIRST FLUSH VOLUME	100	A	19619	0.44	0.44	19619	19619
		B	19619	0.44	0.44	19619	19619
		C	19619	0.44	0.44	19619	19619
		D	19619	0.44	0.44	19619	19619
		E	19619	0.44	0.44	19619	19619
TOTAL			78619	1.76	4.37	2919	2.36

KEYED NOTES

1. PROPOSED CAR WASH.
2. PROPOSED COVERED AREA.
3. PROPOSED 3' HIGH DRY STACK OR MASONRY RETAINING WALLS WITH 3" PLANTING AREA BETWEEN WALLS.
4. PROPOSED HEAVY AND LIGHT DUTY ASPHALT PAVEMENTS.
5. PROPOSED DESIGNATED WALK.
6. PROPOSED CONCRETE WALKWAY CURB.
7. PROPOSED STORM DRAIN SYSTEM TO EXISTING STORM DRAIN.
8. PROPOSED RETENTION POND FOR INITIAL STORM RUNOFF 1/2 OVER FLOW TO STORM DRAIN SYSTEM.
9. PROPOSED 6" CONCRETE PUBLIC SIDEWALK PER COA STD. DET. 2430.
10. PROPOSED PRIVATE ENTRANCE DETAIL PER COA STD. DET. 2436.
11. EXISTING PAVED STREET WITH CONCRETE CURB, GUTTER & SIDEWALK.
12. EXISTING PAVED STREET WITH CONCRETE CURB & GUTTER.
13. EXISTING PAVED STREET WITH CONCRETE CURB & GUTTER.
14. PROPOSED WATER QUALITY MANHOLE.

LEGAL DESCRIPTION

TRACT 'J', VISTA DE LA LUZ
 ACS STATION 11-F11, ELEVATION 5029.526 (NAVD 1988)

PERMANENT BENCHMARK

ACS STATION 11-F11, ELEVATION 5029.526 (NAVD 1988)

LEGEND

MB	MANHOLE
CB	CATCH BASIN GRATE
GM	GAS WATER
GF	GAS VALVE
LP	LIGHT POLE
PP	POWER POLE
OW	OUTLET
EW	ELEC. OR TEL. FEDESTAL
FD	ROOF DRAINAGE POINT
RD	SURFACE RUNOFF DIRECTION
1"	EXISTING 1" CONTOUR
5"	EXISTING 5" CONTOUR
SP	EXISTING SPOT ELEVATION
WM	WATER METER
WV	WATER VALVE

TEMPORARY BENCHMARK

- G GROUND
- FF FINISH FLOOR
- FG FINISH GRADE
- FL FLOWLINE
- TA TOP OF ASPHALT
- TC TOP OF CONCRETE
- BC TOP OF CURB
- TP TOP OF EARTH PWD
- TS TOP OF SIDEWALK
- TW TOP OF WALL
- PH FIRE HYDRANT
- WM WATER METER
- WV WATER VALVE

REVISIONS

NO.	DATE	REVISIONS

PROJECT TITLE
 5401 SEVILLA AVE. NW
 ALBUQUERQUE, NM

CONCEPTUAL G&D PLAN

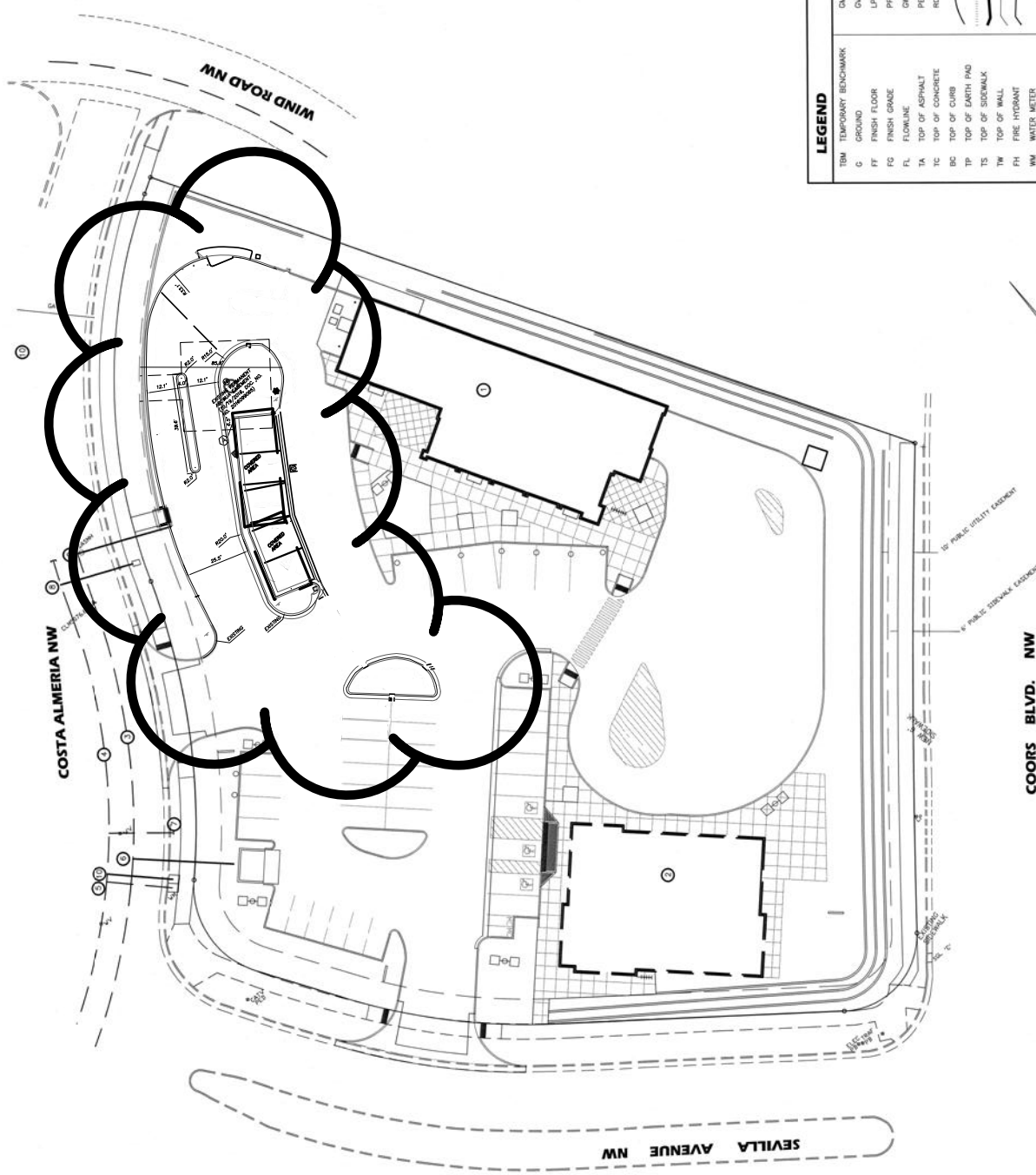
Drawn by: JJB
 Design by: JJB
 Date: 07/05/16

BORDENAVE DESIGNS
 P.O. BOX 91194, ALBUQUERQUE, NM 87199
 (505)982-1344 FAX (505)981-9105

SCALE 1" = 20 FEET

0 10 20 30 40 50 60

GRADING PLAN



KEYED NOTES

1. PROPOSED CAR WASH.
2. PROPOSED BUILDING SHELL.
3. EXISTING 8" PVC SAS.
4. EXISTING 8" PVC WATER.
5. EXISTING 1" WATER SERVICE. USE FOR IRRIGATION SYSTEM.
6. EXISTING 4" SAS SERVICE.
7. EXISTING 6" WATER LINE WITH GATE VALVE. INSTALL FIRE HYDRANT.
8. PROPOSED 2" WATER SERVICE AND METER BOX.
9. PROPOSED 4" SAS SERVICE.
10. PROPOSED 1" WATER SERVICE.

LEGAL DESCRIPTION

TRACT 'J', VISTA DE LA LUZ

PERMANENT BENCHMARK

ACS STATION 11-F11, ELEVATION 5029.526 (NAVD 1988)

NO.	DATE	REVISIONS

PROPOSED BY: **X** 5401 SEVILLA AVE, NW ALBUQUERQUE, NM

DESIGNED BY: **WET UTILITY PLAN**

DATE: 09/01/18

PROJECT NO: 1518

DESIGNER: JJB

DRAWN BY: JJB

CHECKED BY: JJB

DATE: 09/01/18

BORDENAVE DESIGNS
P.O. BOX 91194, ALBUQUERQUE, NM 87199
505.923-1344 FAX 505.921-9105

LEGEND

- | | | | |
|-----|---------------------|----|--------------------------|
| TBM | TEMPORARY BENCHMARK | GW | GAS WATER |
| G | GROUND | GV | GAS VALVE |
| FF | FINISH FLOOR | LP | LIGHT POLE |
| FG | FINISH GRADE | PP | POWER POLE |
| FL | FLOWLINE | GW | GW WIRE |
| TA | TOP OF ASPHALT | PE | ELEC. OR TEL. PEDISTAL |
| TC | TOP OF CONCRETE | RP | ROOF DRAINAGE POINT |
| BC | TOP OF CURB | FD | FEMA FLOODPLAIN BOUNDARY |
| TP | TOP OF EARTH PAD | DB | DRAINAGE BASIN BOUNDARY |
| TS | TOP OF SIDEWALK | ES | EROSION SETBACK LINE |
| TH | TOP OF WALL | EX | EXISTING CONTOUR |
| FH | FIRE HYDRANT | PR | PROPOSED CONTOUR |
| WM | WATER METER | SE | EXISTING SPOT ELEVATION |
| WV | WATER VALVE | PS | PROPOSED SPOT ELEVATION |
| MH | MANHOLE | RE | RECORD SPOT ELEVATION |
| CB | CATCH BASIN GRATE | MA | MANHOLE |





Date: 2/24/2016
Revisions:
3/31/2016
Drawn by: E.C.G.
Reviewed by: J.H.H.

Buckner Carwash
5401 Sevilla Ave NW
Albuquerque, New Mexico



Scale: 1" = 20'
10 0 20 40

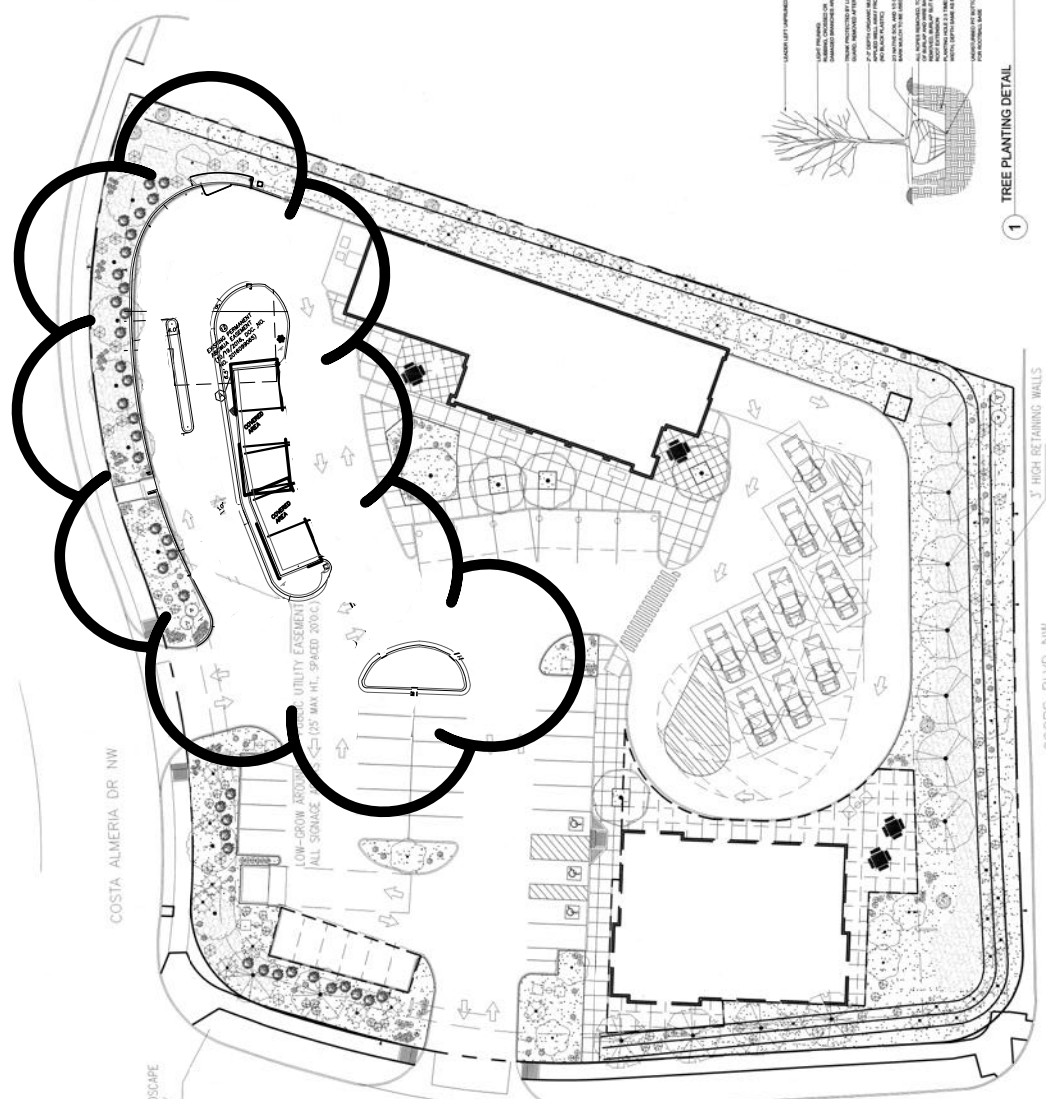
Sheet Title:
Landscape Plan

Sheet Number:
LS-01

PLANT SCHEDULE NEW SITE PLAN

QTY	BOTANICAL NAME / COMMON NAME	SIZE	WATER	COVERAGE
5	Cercis canadensis / Tree Redbud	2" B&B	Medium	
6	Quercus laevis / Live Oak	2" B&B	Medium	
8	Prunus americana / Flowering Plum	2" B&B	Medium	
20	Forbesia bicolor / New Mexican Yucca	24" Pot	Medium	40.20 = 800 sf
7	Phaseolus coccineus / Chinese Pea	2" B&B	Medium	45.7 = 315 sf
25	Cyperus tenuiflorus / Rubber Rattan	5 gal	Low	39.25 = 875 sf
30	Juncus horizontalis / Blue Chip Juniper	5 gal	Medium	35.30 = 1,050 sf
64	Phlox subulata / Emerald Carpet Phlox	1 gal	Medium	5.64 = 320 sf
38	Berberis thunbergii / Japanese Barberry	5 gal	Medium	15.38 = 570 sf
16	Ceanothus glaucus / Yellow Bell of Portugal	5 gal	RW	40.16 = 640 sf
33	Actinophytum submarginatum / New Zealand 'Silver Spine' Grass	5 gal	Low*	39.33 = 990 sf
56	Calamagrostis canadensis / Red Fescue	1 gal	Medium	25.56 = 1,400 sf
52	Hieracium angustifolium / Bar Owl Grass	5 gal	Medium	25.82 = 2,050 sf
8	Sporobolus vaginatus / Big Bluestem	5 gal	Medium	25.8 = 200 sf

Total landscape coverage = 9,210 sf



GENERAL NOTES
 GRAPHIC SYMBOLS TAKE PRECEDENCE OVER WRITTEN QUANTITIES AND KEYS ON PLAN.
 TWO WEEKS PRIOR TO PLANTING, THE CONTRACTOR SHALL SUBMIT A PHOTOGRAPHIC RECORD OF THE ENTIRE SITE TO THE LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL.
 EACH PHOTO SHALL CLEARLY SHOW THE SIZE, FORM, AND SPECIFICATIONS OF THE PLANT.
 EACH PHOTO SHALL HAVE THE PLANT NAME, SIZE AND SPECIFICATIONS LABELED ON THE PHOTO.
 PLANTS MUST BE PLANTED TOGETHER WITH THE PLANTS CLOSE TOGETHER UNLESS OTHERWISE NOTED.
 NO PARTIAL OR INCOMPLETE SUBMITTALS WILL BE ACCEPTED FOR REVIEW. ANY REJECTED SPECIES WILL BE SUBJECT TO RESUBMITTAL.
 OWNER'S REVIEW AND APPROVAL OF PLANTING IS NOT A GUARANTEE OF PLANT SURVIVAL.
 CONTRACTOR TO PROVIDE SITE IRRIGATION PERIMETER ONLY. IRRIGATION FOR THIS AREA TO BE DRIP IRRIGATION SYSTEM TO BE DESIGNED AND INSTALLED PER ALL LOCAL REGULATIONS.
 IN AREAS OF THE SITE WHERE THERE IS NO IRRIGATION SYSTEM, THE CONTRACTOR WILL BE RESPONSIBLE FOR THE DURATION OF AN ENTIRE SEASON FOR THE DURATION OF AN ENTIRE SEASON UNTIL PLANT MATERIAL IS ESTABLISHED.

IRRIGATION NOTE
 DRIP SYSTEM RUN CYCLES:
 ESTABLISHMENT AND SUMMER: 1-HOUR/2-3 DAYS A WEEK
 FALL: 1-HOUR/2-3 DAYS A WEEK
 WINTER: 1-HOUR/2-3 DAYS PER MONTH

MATERIALS LEGEND
 70% MOUNTAIN AIR BROWN GRAVEL (over filter fabric)
 2"-4" BLUE SAIS CORBBLE (over filter fabric)
 AREA NOT IN CONTRACT

NOTE
 APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE A PROFESSIONAL GUARANTEE OR WARRANTY FROM THE C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE 6-1-1.
 NO PARKING SPACE SHALL BE MORE THAN 100' FROM A TREE.
 STREET TREES TO CONFORM TO STREET TREE ORDINANCE 6-4-2.
 LANDSCAPE PLAN TO CONFORM TO ZONING REGULATIONS ORDINANCE 14-16-3-10.
 LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (OVER FILTER FABRIC) WILL NOT BE ALLOWED IN THIS AREA.
 TREES ALONG STREET TO BE LOCATED SO AS NOT TO BLOCK SIGNAGE.

LANDSCAPE DATA

GROSS LOT AREA	81,580 SF
LESS BUILDINGS	5,276 SF
NET LOT AREA	76,304 SF
REQUIRED LANDSCAPE (15% OF NET LOT AREA)	11,446 SF
PROVIDED LANDSCAPE	24,771 SF
PERCENT OF NET LOT AREA (NONE PROPOSED)	32.47%
REQUIRED STREET TREES (1 PER 10 SPACES)	19
REQUIRED PARKING LOT TREES (1 PER 10 SPACES)	21
REQUIRED PARKING LOT TREES (49 SPACES/10)	5
REQUIRED LANDSCAPE COVERAGE (75% LIVE VEGETATIVE MATERIAL)	8,585 SF MIN.
PROVIDED LANDSCAPE COVERAGE	9,210 SF (80%)

GENERAL NOTES
 APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE A PROFESSIONAL GUARANTEE OR WARRANTY FROM THE C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE 6-1-1.
 NO PARKING SPACE SHALL BE MORE THAN 100' FROM A TREE.
 STREET TREES TO CONFORM TO STREET TREE ORDINANCE 6-4-2.
 LANDSCAPE PLAN TO CONFORM TO ZONING REGULATIONS ORDINANCE 14-16-3-10.
 LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (OVER FILTER FABRIC) WILL NOT BE ALLOWED IN THIS AREA.
 TREES ALONG STREET TO BE LOCATED SO AS NOT TO BLOCK SIGNAGE.

GENERAL NOTES
 APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE A PROFESSIONAL GUARANTEE OR WARRANTY FROM THE C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE 6-1-1.
 NO PARKING SPACE SHALL BE MORE THAN 100' FROM A TREE.
 STREET TREES TO CONFORM TO STREET TREE ORDINANCE 6-4-2.
 LANDSCAPE PLAN TO CONFORM TO ZONING REGULATIONS ORDINANCE 14-16-3-10.
 LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (OVER FILTER FABRIC) WILL NOT BE ALLOWED IN THIS AREA.
 TREES ALONG STREET TO BE LOCATED SO AS NOT TO BLOCK SIGNAGE.



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

August 30, 2006

5. Project # 1004675

06DRB-01026 Major-Preliminary Plat Approval
06DRB-01027 Major-Vacation of Public Easements
06DRB-01028 Minor-Subd Design (DPM) Variance
06DRB-01029 Minor-Sidewalk Waiver
06DRB-01030 Minor-Temp Defer SDWK

MARK GOODWIN & ASSOCIATES PA agent(s) for T. S. MCNANEY request(s) the above action(s) for all or a portion of Tract(s) 1, SP KINSCHERFFLAND AND SW ¼ ON NE ¼, SEC 35, T11N, R2E (to be known as **VISTA DE LA LUZ**) zoned SU-1 PRD, located on COORS BLVD NW, between WESTERN TRAIL NW and DELLYNE AVE NW containing approximately 29 acre(s). [REF: 06DRB00836] [*Deferred from 8/9/06 & 8/23/06*] (F-11)

At the August 30, 2006, Development Review Board meeting, with the signing of the infrastructure list dated 8/30/06 and approval of the grading plan engineer stamp dated 8/22/06 the preliminary plat was approved.

The vacation was approved as shown on Exhibit B in the Planning file, subject to these findings and conditions:

FINDINGS:

1. The public welfare is in no way served by retaining the rights-of-way and/or easements.
2. There is no convincing evidence that any substantial property right is being abridged against the will of the owner of the right.

CONDITIONS:

1. The vacated property shall be shown on a replat approved by the Development Review Board and the approved replat shall be filed for record with the Bernalillo County Clerk's Office within one year.

A subdivision design variance from minimum DPM design standards was approved as shown on Exhibit C in the Planning file. A sidewalk variance for waiver of sidewalks was approved as shown on Exhibit C in the Planning file. The temporary deferral of construction of sidewalks on the interior streets was approved as shown on Exhibit C in the Planning file.



OFFICIAL NOTICE OF DECISION
PAGE 2

06DRB-01097 Minor-SiteDev Plan Subd/EPC

CONSENSUS PLANNING agent(s) for TS MCNANEY LLC / MONTERREY LAND GROUP LLC request(s) the above action(s) for all or a portion of Tract(s) 1, KINSCHERFF, LANDS OF RAY A GRAHAM III (to be known as **VISTA DE LA LUZ**, zoned SU-1 PRD (10DU/A) located on COORS BLVD NW, between SAN ANTONIO ARROYO NW and LA LUZ DEL OESTE NW containing approximately 29 acre(s). [REF:06DRB-00836] [**Catalina Lehner, EPC Case Planner**] [*Deferred from 8/9/06 & 8/23/06*] (F-11)

The site plan for subdivision was approved with final sign off delegated to Planning for Catalina Lehner's initials and 3 copies of the site plan.

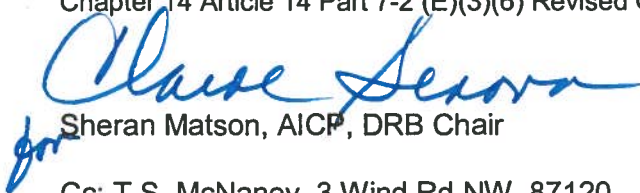
If you wish to appeal this decision, you must do so by September 14, 2006, in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal. If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

Please note that a Preliminary Plat approval date is the date of the DRB action plus the 15-day appeal period. The Preliminary Plat approval is effective one year from that date. The DRB must take action on the Preliminary Plat Extension prior to the expiration of the approval or the Preliminary Plat approval is null and void. (REF: Chapter 14 Article 14 Part 3-4 (E) Revised Ordinance.)

Please note that the vacation of all plats, rights-of-way, and easements are void after one year from the final appeal date referenced above if all conditions are not met (The effective date of Development Review Board approval is the hearing date plus the 15-day appeal period.) (REF: Chapter 14 Article 14 Part 7-2 (E)(3)(6) Revised Ordinance.)


Sheran Matson, AICP, DRB Chair

Cc: T.S. McNaney, 3 Wind Rd NW, 87120
Mark Goodwin & Associates PA, P.O. Box 90606, 87199
Consensus Planning, 302 8th St NW, 87102
Marilyn Maldonado, Planning Department, 4th Floor, Plaza del Sol Bldg.
File



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

October 15, 2008

Project# 1004675

08DRB-70410 ONE YEAR EXTENSION OF SUBDIVISION IMPROVMENTS AGREEMENT

MARK GOODWIN AND ASSOCIATES PA agent(s) for MONTERREY LAND GROUP, LLC request(s) the referenced/ above action for **VISTA DE LA LUZ SUBDIVISION**, zoned SU-1/ PRD, located on the west side of COORS BLVD NW BETWEEN WESTERN TRAILS NW AND DELLYNE AVE NW containing approximately 29 acre(s). (F-11)

At the October 15, 2008 Development Review Board meeting, a one year extension of the Subdivision Improvements Agreement was approved.

If you wish to appeal this decision, you must do so by October 30, 2008, in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal.

If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).


Jack Cloud, AICP, DRB Chair

Cc: Mark Goodwin & Associates – P.O. Box 90606 – Albuquerque, NM 87199

Cc: Monterrey Land Group LLC – Albuquerque, NM 87106

Marilyn Maldonado

File



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

September 15, 2010

Project# 1004675

10DRB-70265 EXT OF SIA FOR TEMP DEFR SDWK CONST

KCRW PROPERTIES LLC agent(s) for KCRW PROPERTIES LLC request(s) the above action(s) for all or a portion of Lot(s) 23,24,13-16,46-54, 57-61, 30-33, 13-17, 20-23, Block(s) A & B, **VISTA DEL LA LUZ** zoned SU-1 PRD, located on COORS BLVD NW AND SEVILLE NW (F-11)

At the September 15, 2010 Development Review Board meeting, a two year extension to the four-year agreement for the deferral of sidewalks was approved.

If you wish to appeal this decision, you must do so by September 30, 2010 in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision.

The date the determination in question is issued is not included in the 15-day period for filing an appeal.

If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).


Jack Cloud, AICP, DRB Chair

Cc: KC RW Properties, LLC – 7450 Hancock Ct. NE Ste B – Albuquerque, NM 87109
Marilyn Maldonado
file



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

August 31, 2011

Project # 1004675
11DRB-70224 EXT OF MINOR
SUBDIVISION IMPROVEMENTS AGREEMENT/SIDEWALKS

FIRST AMERICAN BANK request(s) the above action(s) for all of a portion of Tract(s) J, **VISTA DE LUZ**, zoned SU-1/PRD, located on COORS AND SEVILLA containing approximately 1.87 acre(s). (F-11Z)

At the August 31, 2011 Development Review Board meeting, a 2 year extension to the agreement for the deferral of sidewalks was approved. Please provide an exhibit to the Design Review Committee indicating the lot number/addresses where sidewalks are still deferred.

If you wish to appeal this decision, you must do so by September 15, 2011, in the manner described below.

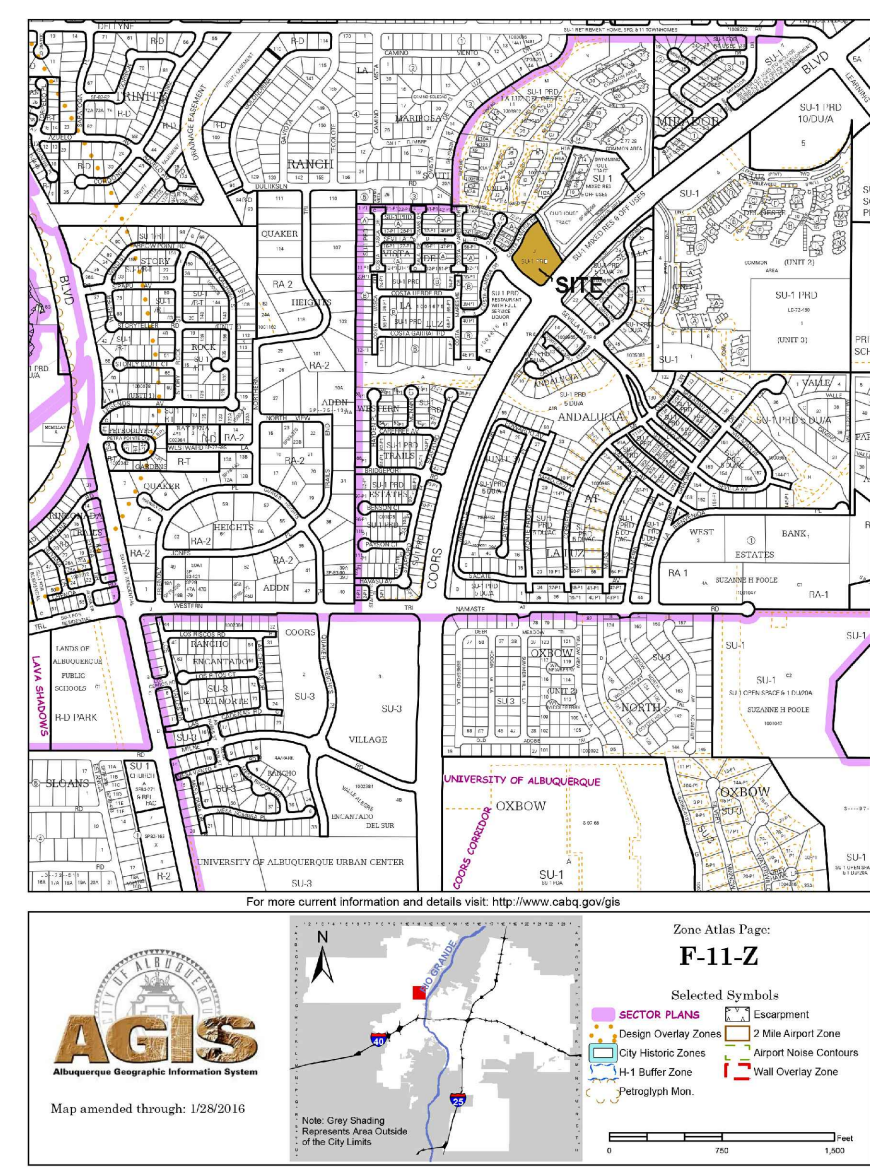
Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal.

If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).


Jack Cloud, DRB Chair

Cc:
Marilyn Maldonado
file



DATA

LAND AREA: 1.8728 ACRES
 ZONING: SU-1 PRD, O-1, C-1 ALLOWED
 MAX. BUILDING HEIGHT: 26'
 FLOOR/AREA RATIO: 0.12
 BUILDING AREA:
 CARWASH 5,548 SF
 RETAIL PAD 5,021 SF

* REQUIRED PARKING:
 CARWASH: 2 PER 1000 SF GFA OF RETAIL,
 OFFICE, AND WAITING AREA
 1564.84SF=3 SPACES REQUIRED
 RETAIL: 1 PER 200 SF GFA
 5,021 SF= 25 SPACES REQUIRED

PARKING CALCULATIONS: TOTAL SPACES REQUIRED 28+15%=43
 PROVIDED PARKING: 57

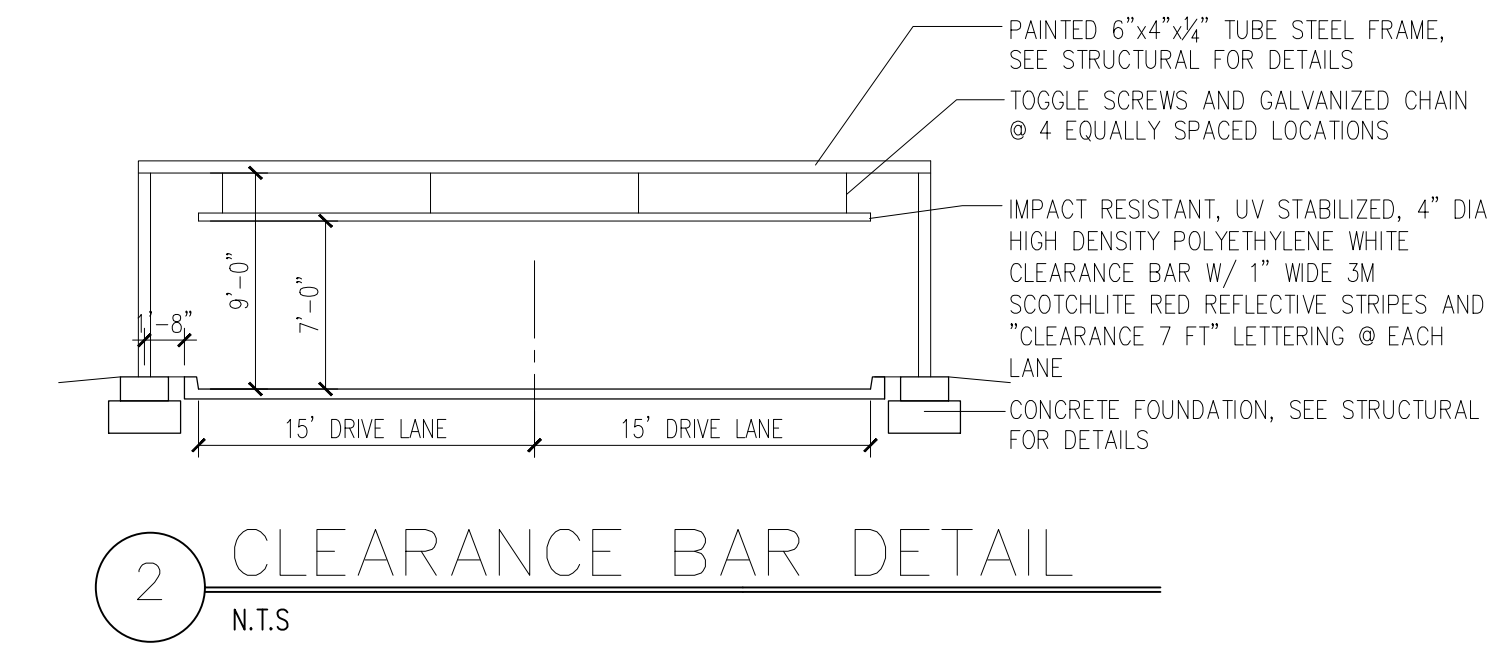
1 MC SPACES REQUIRED 2 PROVIDED
 1 HC SPACES REQUIRED 4 PROVIDED
 3 BICYCLE SPACES REQUIRED AND PROVIDED
 * INCLUDES MC & HC SPACES

GENERAL NOTES

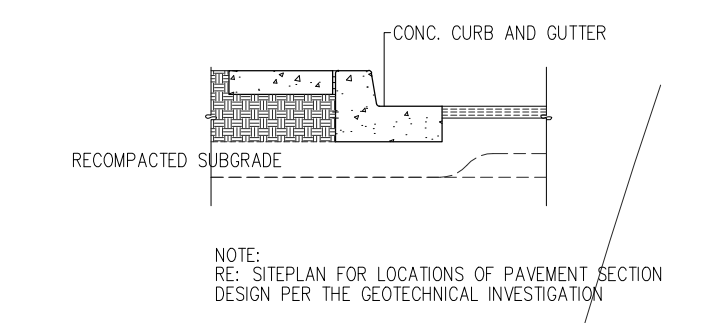
A. ALL WHEELCHAIR RAMP IN THE CITY RIGHT OF WAY SHALL HAVE A MAXIMUM SLOPE OF 1:12 AND MUST HAVE A DETECTABLE WARNING SURFACE CONSISTING OF RAISED, TRUNCATED DOMES.

LEGAL DESCRIPTION:

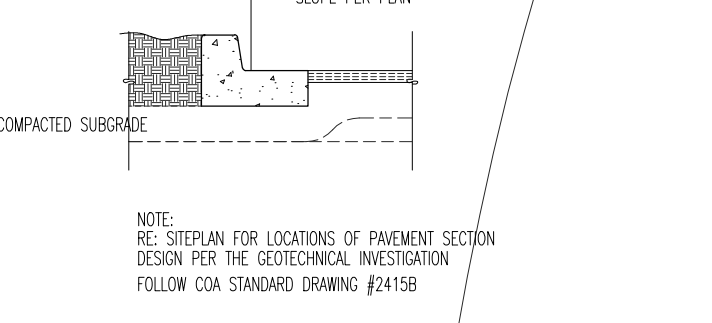
TRACT LETTERED "J", PLAT OF VISTA DE LA LUZ, WITHIN SECTION 35, TOWNSHIP 11 NORTH, RANGE 2 EAST, N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT OF SAID SUBDIVISION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON OCTOBER 30, 2006, IN PLAT BOOK 2006C, FOLIO 331, AS DOCUMENT No. 2006165286



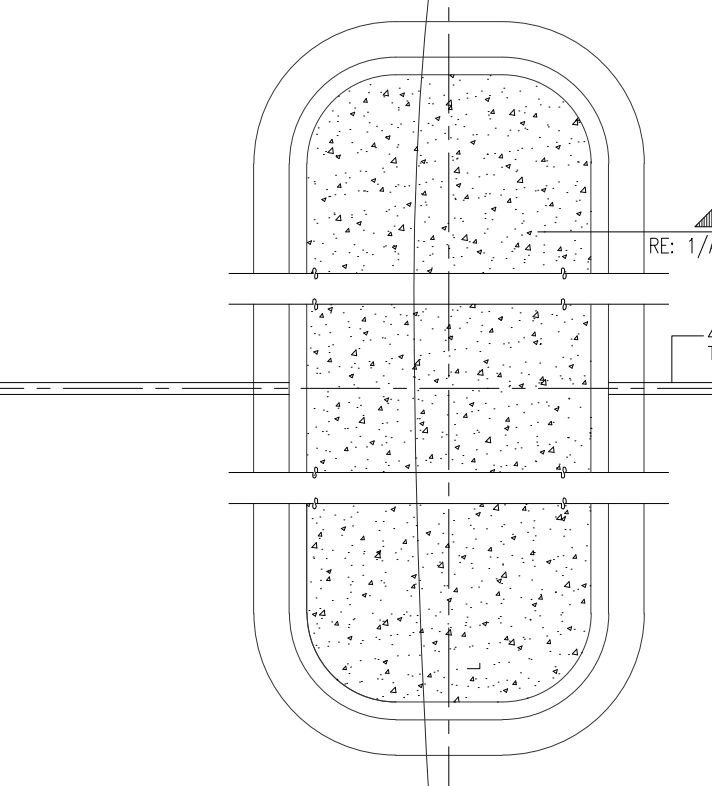
2 CLEARANCE BAR DETAIL
 N.T.S.



1 ISLAND CURB DETAIL
 N.T.S.



2 TYPICAL CURB DETAIL
 N.T.S.



3 ISLAND DETAIL
 N.T.S.

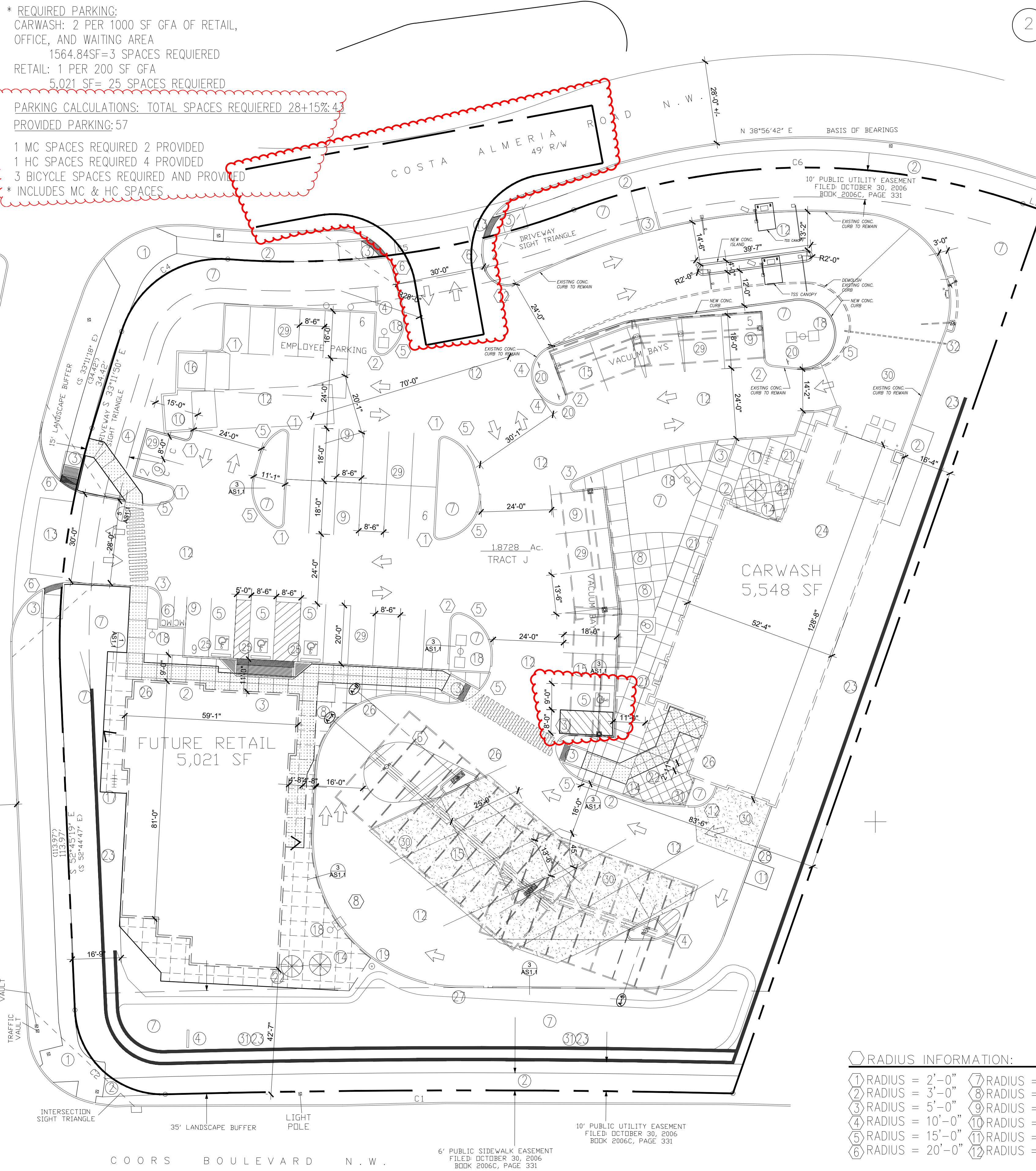
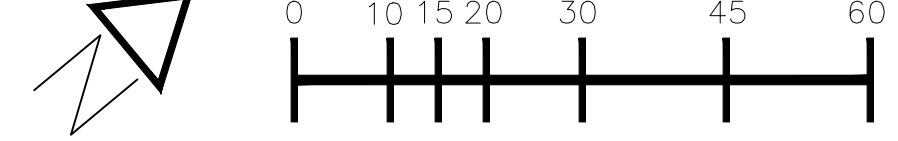
ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON A PUBLIC WORK ORDER

ALL SCREENING AND VEGETATION AROUND GROUND-MOUNTED TRANSFORMERS SHALL PROVIDE 10 FEET OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5 FEET OF CLEARANCE ON THE REMAINING 3 SIDES

THE SITE IS SERVED BY AN EXISTING PUBLIC TRANSIT ROUTE

SEE LANDSCAPE PLAN FOR LANDSCAPE WALLS

1 SITE PLAN
 1" = 20'-0"



KEYNOTES

- 1 EXISTING CONC. SIDEWALK
- 2 NEW CONC. SIDEWALK, SEE DETAIL 14/AS1.1
- 3 HC ACCESSIBLE RAMP, SEE DETAILS 17 & 18/AS1.1
- 4 MONUMENT SIGN PENDING GOVERNMENTAL APPROVALS
- 5 HC ACCESS AISLES, PARKING SPACES, SIGNAGE*
- 6 MOTORCYCLE SPACES, SEE DETAIL 5/AS1.1 FOR SIGNAGE
- 7 LANDSCAPED AREA, REFER TO LANDSCAPE PLAN
- 8 TREE WELL
- 9 STRIPING
- 10 DUMPSTER ENCLOSURE FOR FUTURE RETAIL INCLUDED IN THIS PHASE
- 11 TRANSFORMER LOCATION, REFER TO ELECTRICAL SITE PLAN.
- 12 HEAVY DUTY ASPHALT PAVING, SEE DETAIL 4/AS1.1
- 13 NEW CURB CUT/ DRIVEPAD
- 14 COLORED CONCRETE PATIO
- 15 SHADE CANOPY ABOVE, COLOR TO MATCH BLDGS
- 16 CARWASH DUMPSTER ENCLOSURE, SEE DETAIL 8/AS1.1
- 17 BIKE RACK 3 LOOPS
- 18 20' HIGH LIGHT POLE, REFER TO ELECTRICAL SITE PLAN
- 19 FLAG POLE, SEE DETAIL 15/AS1.1 FOR BASE
- 20 DIRECTIONAL SIGNAGE
- 21 BENCH
- 22 UMBRELLA AND CHAIRS PROVIDED BY OWNER
- 23 MAX 5' SPLIT FACE CMU RETAINING WALL
- 24 ABSORPTIVE SOUND ELEMENTS SHALL BE PROVIDED INSIDE THE TUNNEL SPRAY AREA
- 25 WHEELSTOP, SEE DETAIL 16/AS1.1
- 26 6' WIDE ADA ACCESSIBLE PATH
- 27 MIN. 6", MAX. 8" HIGH CURB BETWEEN LANDSCAPE AREA AND PARKING/DRIVE AISLES, TYPICAL
- 28 DIRECTIONAL SIGNAGE
- 29 LIGHT DUTY ASPHALT PAVING, SEE DETAIL 7/AS1.1
- 30 CONCRETE PAVING, SEE DETAIL 9/AS1.1
- 31 4' HIGH ALUMINUM FENCE BY AMERISTAR, MONARCH 2 RAIL STYLE
- 32 VEHICLE CLEARANCE BAR, SEE DETAIL ON THIS SHEET.

* NOTE: -ADA PARKING SIGNAGE SHALL HAVE LANGUAGE: "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING"
 -ADA ACCESS AISLE SHALL HAVE WORDS "NO PARKING" IN CAPITAL LETTERS, EACH LETTER MIN. 1" HIGH X 2" WIDE

RADIUS INFORMATION:

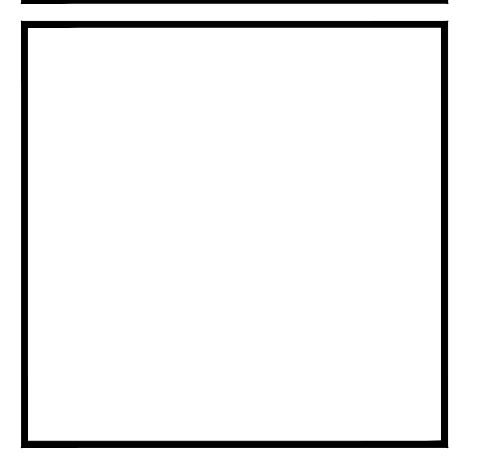
- 1 RADIUS = 2'-0"
- 2 RADIUS = 3'-0"
- 3 RADIUS = 5'-0"
- 4 RADIUS = 10'-0"
- 5 RADIUS = 15'-0"
- 6 RADIUS = 20'-0"
- 7 RADIUS = 25'-0"
- 8 RADIUS = 30'-0"
- 9 RADIUS = 40'-0"
- 10 RADIUS = 50'-0"
- 11 RADIUS = 60'-0"
- 12 RADIUS = 8'-0"

NUMBER	DIRECTION	DISTANCE
L1	S 58°46'11" W	6.93'
(L1)	(S 58°46'43" W)	(6.93')

NUMBER	BELTA ANGLE	CHORD DIRECTION	RADIUS	ARC LENGTH	CHORD LENGTH
C1	02°50'39"	S 39°58'45" W	3894.72	193.33	193.31
(C1)	(02°50'39")	(S 39°59'12" W)	(3894.72)	(193.33)	(193.31)
C2	89°01'20"	N 82°44'01" E	30.00	46.61	42.06
(C2)	(89°01'20")	(N 82°44'33" E)	(30.00)	(46.61)	(42.06)
C3	19°33'29"	S 42°58'34" E	250.00	85.34	84.92
(C3)	(19°33'29")	(S 42°59'03" E)	(250.00)	(85.34)	(84.92)
C4	77°21'34"	S 05°28'58" W	35.00	47.26	43.75
(C4)	(77°21'34")	(S 05°29'29" W)	(35.00)	(47.26)	(43.75)
C5	25°02'32"	N 31°38'29" E	274.50	119.98	119.02
(C5)	(25°02'32")	(N 31°39'00" E)	(274.50)	(119.98)	(119.02)
C6	39°38'58"	S 38°56'42" W	225.50	156.05	152.95
(C6)	(39°38'58")	(S 38°57'14" W)	(225.50)	(156.05)	(152.95)

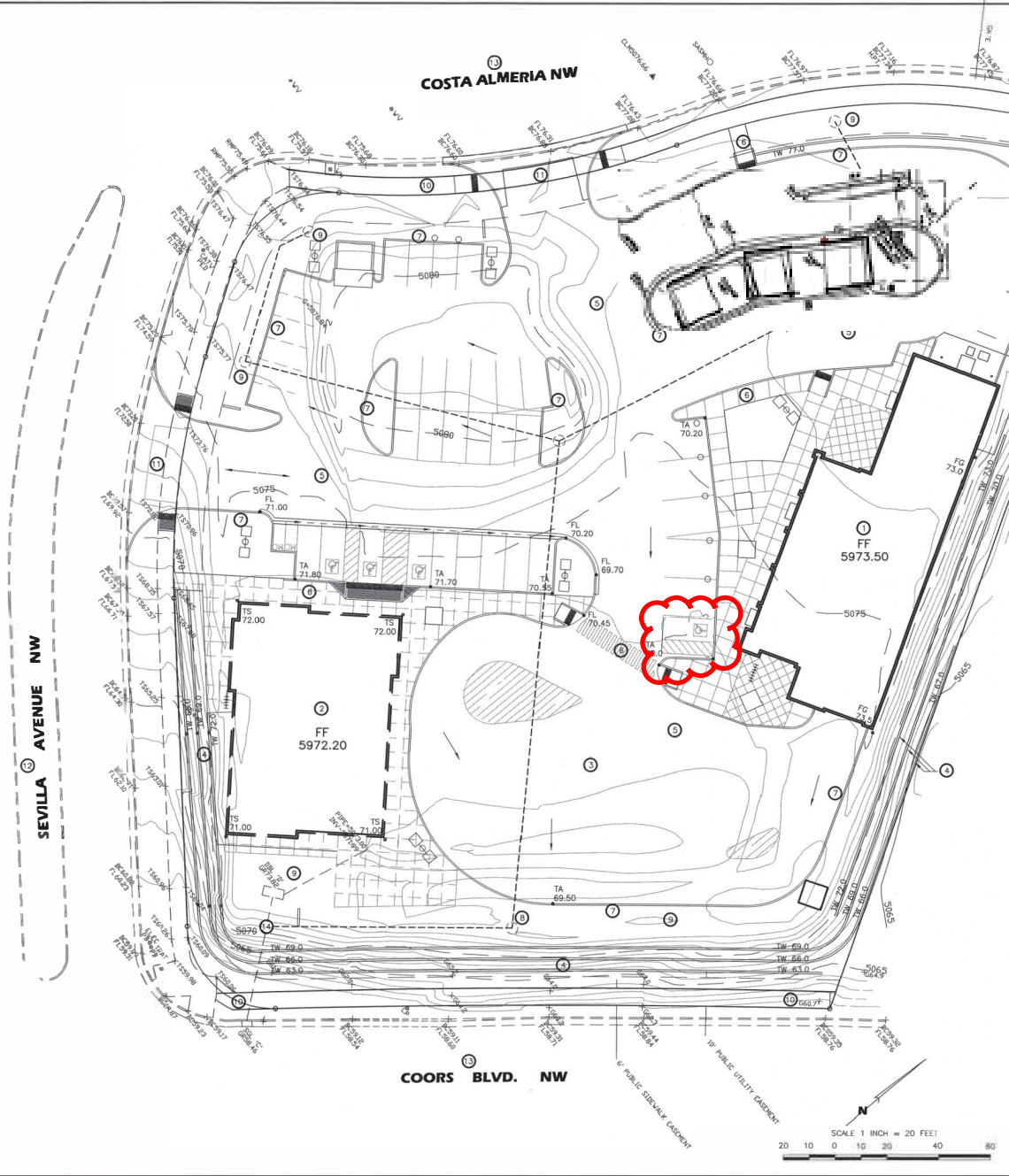
REV	DATE	BY	REVISION
04/10/2018		CDC	ADDED CANOPY GRID LINES
7/17/17		JS	DRB AA REVIS
5/22/17		JS	DRB AA
9/12/16		JS	DRB COMMENTS

MODULUS ARCHITECTS
 220 COPPER AVE. N.W. SUITE 350
 ALBUQUERQUE, NEW MEXICO 87102
 PHONE (505) 338-1499 FAX (505) 338-1498



PROJECT TITLE 5401 SEVILLA AVE. NW	DRAWN BY: US
COORS & SEVILLA ALBUQUERQUE, NM	PROJECT MANAGER JONATHAN STERN
JOB NO. -	SHEET TITLE ARCHITECTURAL SITE PLAN
DATE 11/11/22	SCALE AS NOTED

GRADING PLAN



DRAINAGE NOTES

1. THE SITE IS PRESENTLY VOID OF CONSTRUCTION WITH THE EXCEPTION OF A TEMPORARY DETENTION POND AND A D.B. "D" CATCH BASIN w/ AN OUTLET TO THE PUBLIC STORM DRAIN. THERE IS VERY LITTLE VEGETATION ON THE SITE WHICH SLOPES GENTLY DOWN TO THE EAST (EXCEPTING A SOIL STOCKPILE AT THE SOUTHWEST CORNER OF THE LOT). THE WEST SIDE OF THE SITE IS RELATIVELY EVEN WITH THE ADJUTING STREET. THREE OTHER THREE SIDES OF THE LOT SLOPE STEEPLY DOWN TO THE LOT LINE.
2. THE EXISTING STEEP SLOPES ON THE LOT BOUNDARIES WILL BE REPLACED BY LOW TIERED RETAINING WALLS WITH LANDSCAPED AREAS BETWEEN THE WALLS.
3. THE SITE IS LOCATED IN RAINFALL ZONE 1. THERE WILL BE AN INCREASE (ABOVE EXISTING CONDITIONS) IN RUNOFF VOLUMES AND FLOW RATES DUE TO DEVELOPMENT. SEE TABLE BELOW FOR EXISTING AND FUTURE FLOW RATES AND RUNOFF VOLUMES.
4. RUNOFF FROM IMPERVIOUS AREAS ARE ROUTED TO SCATTERED ONSITE PONDS SIZED TO RETAIN FIRST FLUSH FLOWS. OVERFLOW FROM THESE PONDS IS ROUTED (VIA AN ONSITE DRAINAGE SYSTEM) TO THE EXISTING ONSITE PRIVATE SYSTEM WHICH DRAINS TO THE PUBLIC STORM DRAIN SYSTEM.
5. THE SITE IS LOCATED IN AN AREA DESIGNATED "ZONE X" PER FEMA FIRM MAP NO. 114H, DATED AUGUST, 2012.
6. EXISTING TOPOGRAPHY FOR THE SITE WAS OBTAINED BY HARRIS SURVEYING, INC IN NOVEMBER, 2015.

DRAINAGE DATA

CONDITION	RETURN PERIOD	STORM TREATMENT TYPE	TREATMENT AREA	EXCESS PRECIPITATION	PEAK RATE	RUNOFF VOLUME	RUNOFF RATE
I	N	-	-	in.	in.	cu. ft.	cfs
-	Year	-	sq. ft.	(table 6)	(table 9)	-	-
EXISTING	10	A	79619	0.08	0.24	531	0.44
		B	0	0.22	0.76	0	0.00
		C	0	0.44	1.49	0	0.00
		D	0	1.24	2.89	0	0.00
		TOTAL	79619			531	0.44
DEVELOPED	10	A	79619	0.08	0.24	0	0.00
		B	19974	0.22	0.76	386	0.35
		C	0	0.44	1.49	0	0.00
		D	59645	1.24	2.89	6163	3.98
		TOTAL	79619			6530	4.31
	100	A	0	0.44	1.29	0	0.00
		B	19974	0.67	2.03	1115	0.93
		C	0	0.99	2.87	0	0.00
		D	59645	1.97	4.37	9792	5.98
		TOTAL	79619			10907	6.91

TOTAL FIRST FLUSH VOLUME
 VOLUME = IMPERVIOUS AREA X (0.42-0.10)/12
 = 1590 CUBIC FEET

LEGEND

- TBM TEMPORARY BENCHMARK
- G GROUND
- FF FINISH FLOOR
- FG FINISH GRADE
- FL FLOWLINE
- TA TOP OF ASPHALT
- TC TOP OF CONCRETE
- BC TOP OF CURB
- TP TOP OF EARTH PAD
- TS TOP OF SIDEWALK
- TH TOP OF WALL
- FH FIRE HYDRANT
- WM WATER METER
- WV WATER VALVE
- MH MANHOLE
- CB CATCH BASIN GRATE
- GM GAS METER
- GV GAS VALVE
- LP LIGHT POLE
- PP POWER POLE
- GW GUY WIRE
- PEE ELEC. OR TEL PEDESTAL
- RD ROOF DRAINAGE POINT
- SR SURFACE RUNOFF DIRECTION
- EXISTING 5' CONTOUR
- EXISTING 1' CONTOUR
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION

VICINITY MAP NO. F-11



FEMA FIRM PANEL NO. 114H



KEYED NOTES

1. PROPOSED CAR WASH
2. PROPOSED SHELL
3. PROPOSED COVERED AREA
4. PROPOSED 3' HIGH DRY STACK OR MASONRY RETAINING WALLS w/ 3'+ PLANTING AREA BETWEEN WALLS.
5. PROPOSED HEAVY AND LIGHT DUTY ASPHALT PAVEMENTS.
6. PROPOSED DESIGNATED WALK.
7. PROPOSED CONCRETE HEADER CURB.
8. PROPOSED STORM DRAIN SYSTEM TO EXISTING STORM DRAIN.
9. PROPOSED RETENTION POND FOR INITIAL STORM RUNOFF w/ OVER FLOW TO STORM DRAIN SYSTEM.
10. PROPOSED 6" CONCRETE PUBLIC SIDEWALK PER COA STD. DET. 2430.
11. PROPOSED PRIVATE ENTRANCE DETAIL PER COA STD. DET. 2426.
12. EXISTING PAVED STREET WITH CONCRETE CURB, GUTTER & SIDEWALK.
13. EXISTING PAVED STREET WITH CONCRETE CURB & GUTTER.
14. PROPOSED WATER QUALITY MANHOLE.

LEGAL DESCRIPTION

TRACT 'J', VISTA DE LA LUZ

PERMANENT BENCHMARK

ACS STATION 11--F11. ELEVATION 5029.526 (NAVD 1988)

NO.	DATE	REVISIONS	BY

PROFESSIONAL LAND SURVEYOR
 STATE OF NEW MEXICO
 No. 11111

project title
**5401 SEVILLA AVE. NW
 ALBUQUERQUE, NM**

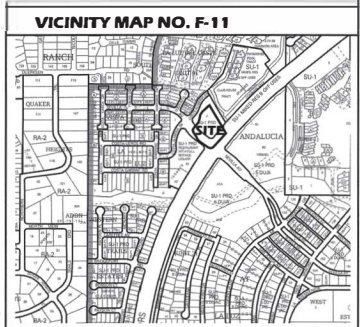
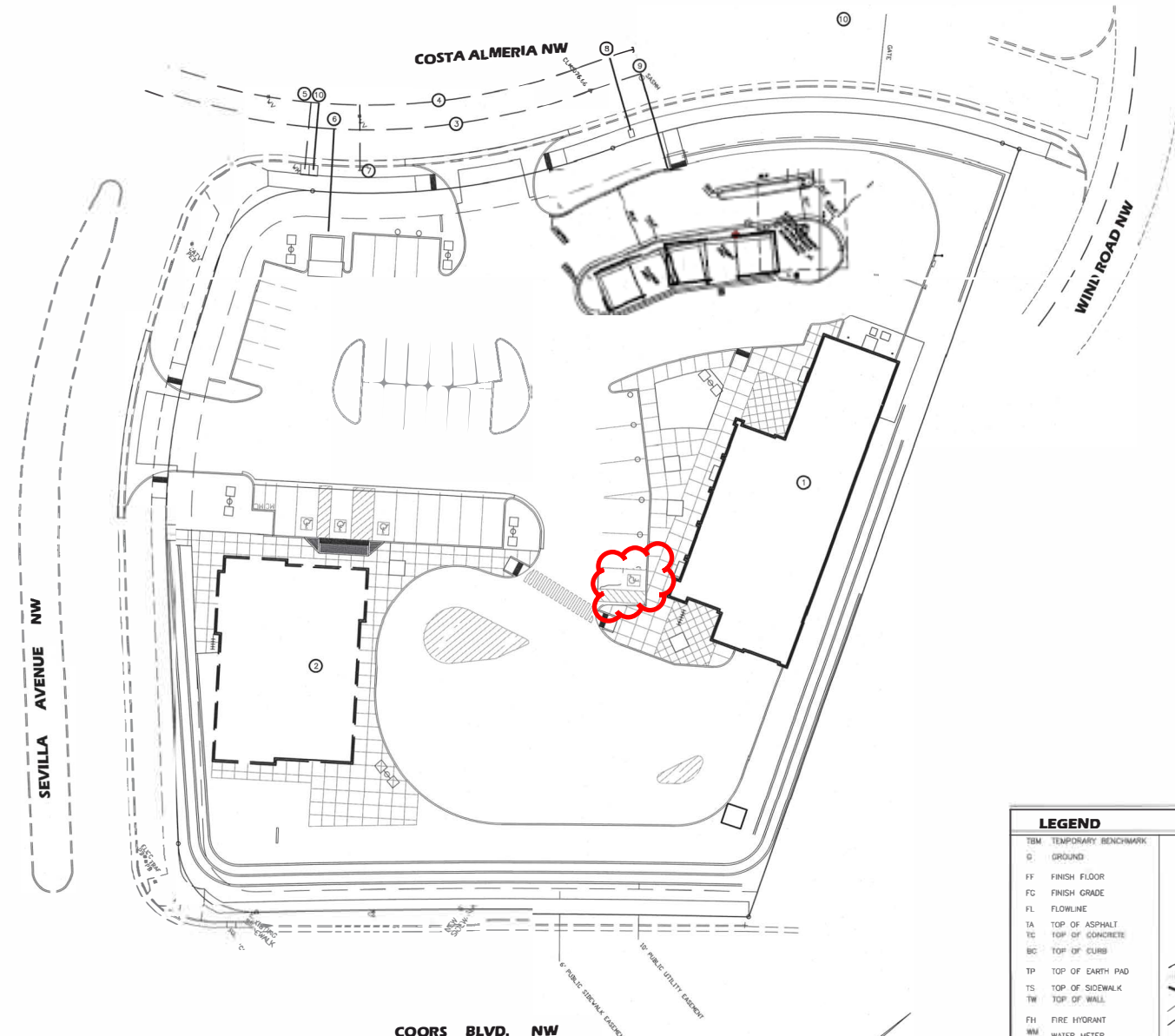
sheet title
CONCEPTUAL G&D PLAN

drawn by: meto design by: JJB project no. 1518

07/05/16

BORDENAVE DESIGNS
 P.O. BOX 91194, ALBUQUERQUE, NM 87199
 (505)823-1344 FAX (505)821-9105

GRADING PLAN



- KEYED NOTES**
1. PROPOSED CAR WASH
 2. PROPOSED BUILDING SHELL
 3. EXISTING 8" PVC SAS
 4. EXISTING 8" PVC WATER
 5. EXISTING 2" WATER SERVICE. USE FOR IRRIGATION SYSTEM.
 6. EXISTING 4" SAS SERVICE.
 7. EXISTING 6" WATER LINE WITH GATE VALVE. INSTALL FIRE HYDRANT
 8. PROPOSED 2" WATER SERVICE AND METER BOX
 9. PROPOSED 4" SAS SERVICE
 10. PROPOSED 1" WATER SERVICE.

LEGAL DESCRIPTION

TRACT 'J', VISTA DE LA LUZ

PERMANENT BENCHMARK

ACS STATION 11-F11, ELEVATION 5029.526 (NAVD 1988)

LEGEND

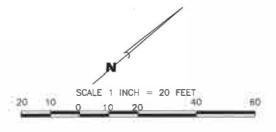
TBM	TEMPORARY BENCHMARK	GM	GAS WATER
G	GROUND	GV	GAS VALVE
FF	FINISH FLOOR	LP	LIGHT POLE
FC	FINISH GRADE	PP	POWER POLE
FL	FLOWLINE	GW	GUY WIRE
TA	TOP OF ASPHALT	PED	ELEC. OR TEL. PEDESTAL
TC	TOP OF CONCRETE	RD	ROAD DRAINAGE POINT
BC	TOP OF CURB		
TP	TOP OF EARTH PAD		
TS	TOP OF SIDEWALK		
TW	TOP OF WALL		
FH	FIRE HYDRANT		
WM	WATER METER		
WV	WATER VALVE		
M1	MANHOLE		
CB	CATCH BASIN GRATE		

	FEMA FLOODPLAIN BOUNDARY
	DRAINAGE BASIN BOUNDARY
	EROSION SETBACK LINE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	EXISTING SPOT ELEVATION
	PROPOSED SPOT ELEVATION
	RECORD SPOT ELEVATION

NO.	DATE	REVISIONS

REVISIONS
 Project title
X
5401 SEVILLA AVE. NW
ALBUQUERQUE, NM
WET UTILITY PLAN
 drawn by: melo design by: JJB project no: 15118
 09/01/16

BORDENAVE DESIGNS
 P.O. BOX 91194, ALBUQUERQUE, NM 87199
 (505)823-1344 FAX (505)821-8105

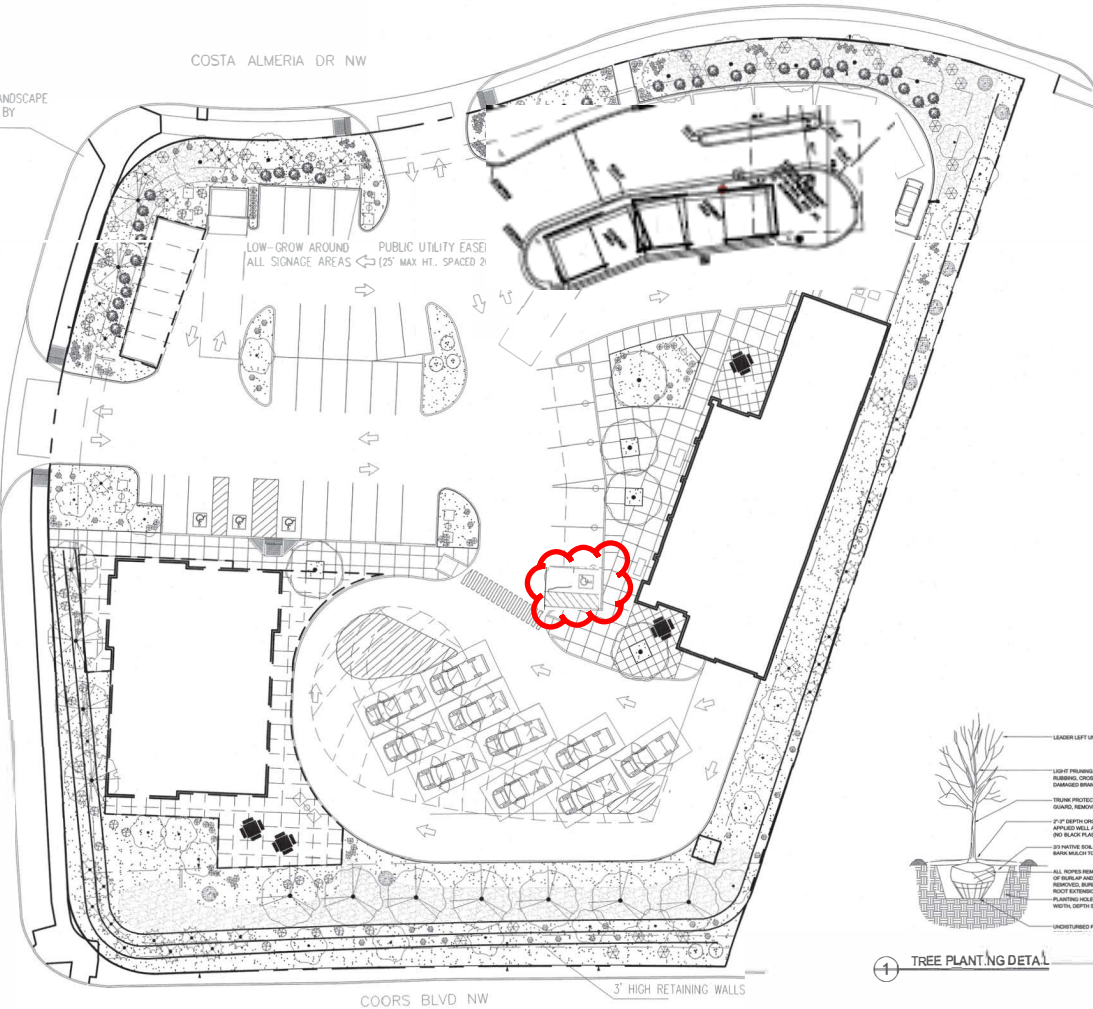


EXISTING RIGHT OF WAY LANDSCAPE AREAS TO BE MAINTAINED BY PROPERTY MANAGER

COSTA ALMERIA DR NW

SEVILLA AVE NW

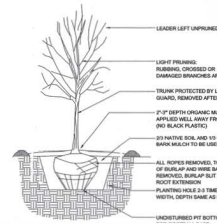
COORS BLVD NW



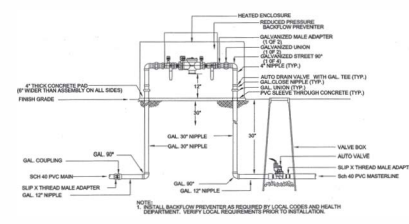
PLANT SCHEDULE NEW SITE PLAN

TREES	QTY	BOTANICAL NAME / COMMON NAME	SIZE	WATER	COVERAGE
	5	Cercis canadensis texensis / Texas Redbud	2" B&B	Medium	
	6	Clatagia trichanthos 'Inermis' 'Truehedge' / Thornless Honey Locust	2" B&B	Medium	
	8	Prunus cerasifera / Potted Plum	2" B&B	Medium	
DECIDUOUS TREES	QTY	BOTANICAL NAME / COMMON NAME	SIZE	WATER	COVERAGE
	20	Forestiera nemoralis / New Mexican Privet	2-4" in	Medium	40 x 20 = 800 sf
	7	Pistacia chinensis / Chinese Pistache	2" B&B	Medium	45 x 7 = 315 sf
SHRUBS	QTY	BOTANICAL NAME / COMMON NAME	SIZE	WATER	COVERAGE
	28	Crypthanthus nasutus / Rubber Rabbitbrush	5 gal	Low	35 x 25 = 875 sf
	30	Juniperus horizontalis 'Blue Chip' / Blue Chip Juniper	5 gal	Medium	35 x 30 = 1,050 sf
	64	Philox subulata 'Emerald Cushion Blue' / Blue Creeping Philox	1 gal	Medium	5 x 64 = 320 sf
DECIDUOUS SHRUBS	QTY	BOTANICAL NAME / COMMON NAME	SIZE	WATER	COVERAGE
	38	Berteris thunbergii / Japanese Greenleaf Barberry	5 gal	Medium	15 x 38 = 570 sf
	16	Ceanothus glaberrimus / Yellow Bell of Paradise	5 gal	Low	40 x 16 = 640 sf
GRASSES	QTY	BOTANICAL NAME / COMMON NAME	SIZE	WATER	COVERAGE
	33	Andropogon calamagrostis / Needlegrass silver spike grass	5 gal	Low	30 x 33 = 990 sf
	56	Calamagrostis x occulta 'Karl Foerster' / Feather Reed Grass	1 gal	Medium	25 x 56 = 1,400 sf
	62	Heterostachys serpyllifera / Blue Oat Grass	5 gal	Medium	25 x 62 = 2,050 sf
	8	Sporobolus wrightii / Big Soraton 'windbreaker'	5 gal	Medium	25 x 8 = 200 sf

Total landscape coverage = 9,210 sf



1 TREE PLANTING DETAIL



1 RP BACKFLOW/MASTER VALVE DETAIL

growing better Up
Heads
LANDSCAPE CONTRACTORS
www.headsuplandscapes.com
PO Box 10597
Albuquerque, NM 87184
505.898.9815
505.898.2105 (fax)
design@hulc.com



Date: 2/24/2016
Revisions:
▲ 3/31/2016
▲
▲
▲

Drawn by: E.C.G.
Reviewed by: Hulc

Buckner Carwash
5401 Sevilla Ave NW
Albuquerque, New Mexico



Scale: 1" = 20'
10 0 20 40

LANDSCAPE DATA

CROSS LOT AREA	81,580 SF
LESS BUILDING(S)	5,276 SF
NET LOT AREA	76,304 SF
REQUIRED LANDSCAPE 1% OF NET LOT AREA	11,446 SF
PROVIDED LANDSCAPE	24,771 SF
PERCENT OF NET LOT AREA	32. %
HIGH WATER USE TURF NONE PROPOSED	
REQUIRED STREET TREES	19
PROVIDED AT 20' O.C. SPACING STREET	21
REQUIRED PARKING LOT TREES	5
PROVIDED AT 1 PER 10 SPACES (49 SPACES/10)	10
REQUIRED LANDSCAPE COVERAGE 75% LIVE VEGETATIVE MATERIAL	8,585 SF MIN
PROVIDED LANDSCAPE COVERAGE	9,210 SF (80%)

NOTE

MAINTENANCE OF LANDSCAPE (ONSITE AND WITHIN ROW) TO BE MAINTAINED BY PROPERTY OWNER

PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION SYSTEM WITH REDUCED PRESSURE BACKFLOW PREVENTER PER CITY OF ALBUQUERQUE

WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER

THIS PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE 6-1-1. PLANTING RESTRICTIONS APPROACH

IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN. 75% LIVE GROUND COVER OF LANDSCAPE AREAS AT MATURITY PER ORDINANCE 14-16-3-10. (SEE CALCULATIONS PROVIDED ABOVE)

LANDSCAPE AREAS TO BE MULCHED WITH GRAVEL MULCH AT 3" DEPTH MINIMUM OVER FILTER FABRIC

APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE OR IMPLY COMPLIANCE WITH, OR EXEMPTION FROM, THE C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE 6-1-1.

NO PARKING SPACE SHALL BE MORE THAN 100' FROM A TREE

STREET TREES TO CONFORM TO STREET TREE ORDINANCE 6-2-2

LANDSCAPE PLAN TO CONFORM TO ZONING REGULATIONS ORDINANCE 14-16-3-10.

LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ALLOWED IN THIS AREA

TREES ALONG STREET TO BE LOCATED SO AS NOT TO BLOCK SIGNAGE.

IRRIGATION NOTE

DRIP SYSTEM RUN CYCLES: ESTABLISHMENT AND SUMMER: 1 HOUR/2 DAYS A WEEK
SPRING: 1 HOUR/2-3 DAYS A WEEK
FALL: 1 HOUR/2-3 DAYS A WEEK
WINTER: 1 HOUR/2 DAYS PER MONTH

MATERIALS LEGEND

- 78" MOUNTAIN AIR BROWN GRAVEL (over filter fabric)
- 2"-4" BLUE SAIS COBBLE (over filter fabric)
- AREA NOT IN CONTRACT

GENERAL NOTES

GRAPHIC SYMBOLS TAKE PRECEDENCE OVER WRITTEN QUANTITIES AND KEYS ON PLAN.

TWO WEEKS PRIOR TO PLANTING, THE CONTRACTOR SHALL SUBMIT TO THE OWNER/OWNER'S REP. A PLANT PHOTO SUBMITTAL FOR APPROVAL. IF REQUESTED BY THE OWNER, THE LANDSCAPE ARCHITECT WILL "TAG THE MATERIAL"

EACH PHOTO SHALL CLEARLY SHOW THE SIZE, FORM, AND BRANCHING STRUCTURE AND QUALITY OF OF THE PLANT.

NO PARTIAL OR INCOMPLETE SUBMITTAL WILL BE ACCEPTED FOR REVIEW. ANY REJECTED SPECIES WILL BE SUBJECT TO RESUBMITTAL.

SAMPLES OF RIVER ROCK ARE TO BE PROVIDED TO OWNER/TENANT FOR REVIEW AND APPROVAL TWO (2) WEEKS PRIOR TO CONSTRUCTION. NO COBBLESTONE IS TO BE INSTALLED WITHOUT PRIOR APPROVAL FROM TEXAS ROADHOUSE.

CONTRACTOR TO PROVIDE SITE IRRIGATION FOR LANDSCAPE AREAS AROUND BUILDING PERIMETER ONLY. IRRIGATION FOR THIS AREA

TO BE DRIP IRRIGATION. IRRIGATION SYSTEM TO BE DESIGNED AND INSTALLED PER ALL LOCAL, STATE AND FEDERAL CODES.

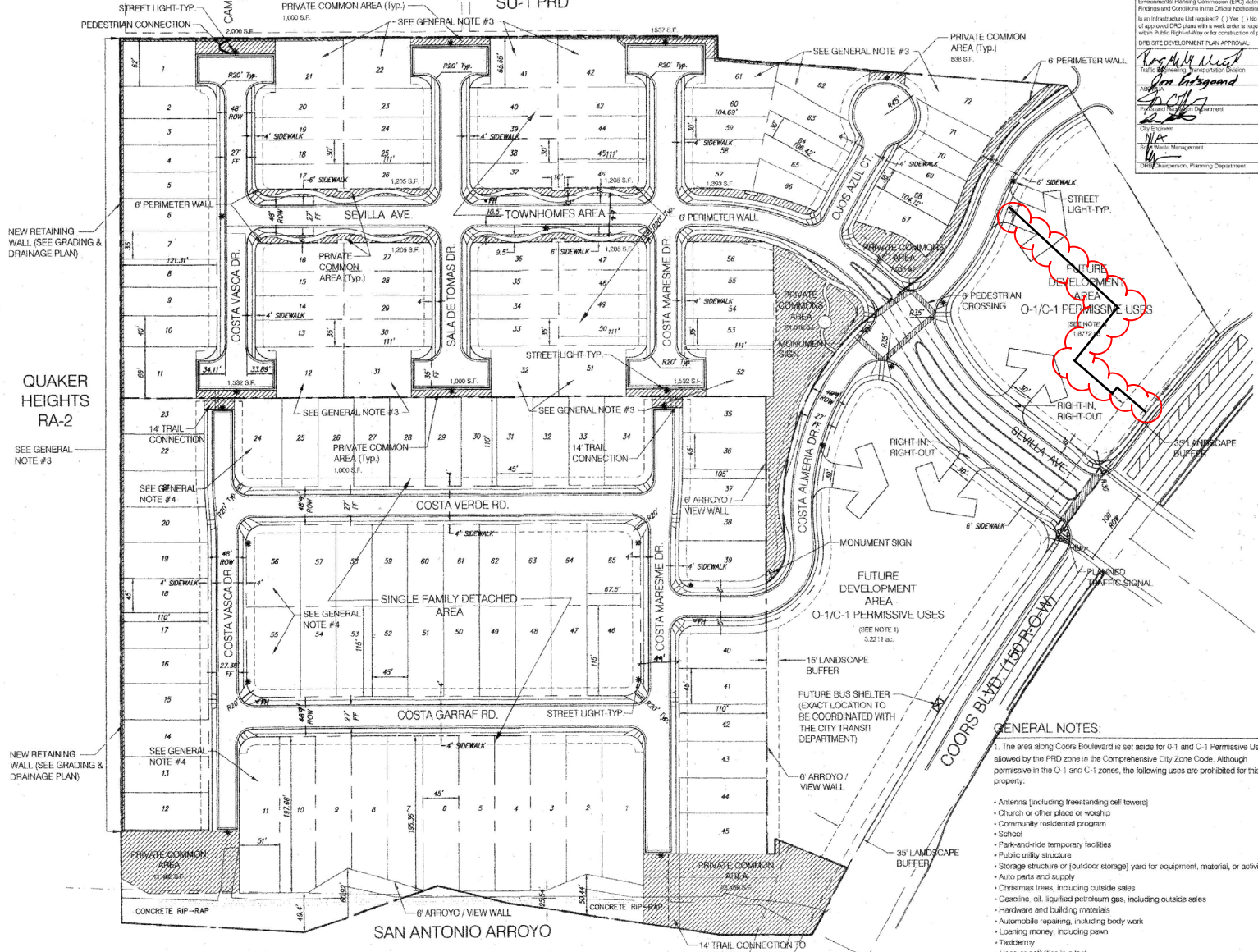
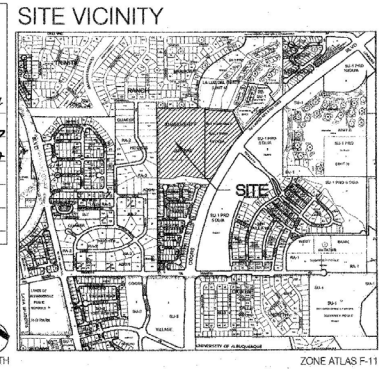
IN AREAS OF THE SITE WHERE THERE IS NO IRRIGATION SYSTEM, THE CONTRACTOR WILL BE REQUIRED TO HAND WATER ALL PLANT MATERIAL FOR THE DURATION OF AN ENTIRE GROWING SEASON UNTIL PLANT MATERIAL IS ESTABLISHED.

Sheet Title:
Landscape Plan

Sheet Number:
LS-01

LA LUZ DEL SOL
SU-1 PRD

PROJECT NUMBER: 1004675
 Application Number: 17501-0028
 This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC) dated September 18, 2017 and the Findings and Conditions in the Official Notification of Decision as submitted to an Infrastructure List required? () Yes () No. If yes, then a set of approved DRC plans with work order is required for any construction within Public Right-of-Way or for construction of public improvements.
 DRB SITE DEVELOPMENT PLAN APPROVAL:
 Date: 12/15/17
 Date: 12/13/17
 Date: 8/13/17
 Date: 12/13/17
 Date: 12/13/17
 Date: 12/13/17



SITE DATA:
 SITE ACREAGE: 29.32 acres
 Zoning: SU-1 for PRD (10 du/lot)
 Land Use: 65 Single Family Residential Dwelling Units, 72 Townhomes, 5.1 acres O-1/C-1 Permissive (with exceptions), and 1.55 acres Private Commons Area.
 Gross Residential Density: 5.96 du/acre
 F.A.R. (O-1/C-1): 25 Mex
 Maximum Building Height: For Non-Residential - As allowed in the O-1 Zone per the City Comprehensive Zoning Code. For Residential - See General Note #3 and #4.
 Setbacks: See Design Standards, Sheet 5.
 Landscape: See Landscape Plan, Sheets 2 and 3.

PROJECT NUMBER: 1004675
 Application Number: ~~06PRD-01097~~ 06PRD-01097
 This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated April 20, 2006 and the Findings and Conditions in the Official Notification of Decision as submitted.
 Is an Infrastructure List required? Yes () No. If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.
 DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

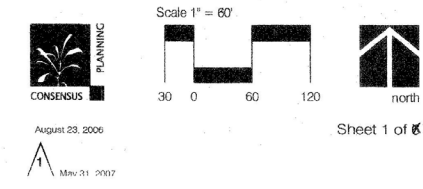
<i>[Signature]</i> Engineering/Transportation Division	8/30/06
<i>[Signature]</i> Water Utility Department	8/30/06
<i>[Signature]</i> Parks and Recreation Department	8/30/06
<i>[Signature]</i> City Engineer	8/30/06
<i>[Signature]</i> Solid Waste Management	
<i>[Signature]</i> DRB Chairperson, Planning Department	8/31/06

- GENERAL NOTES:**
- The area along Coors Boulevard is set aside for O-1 and C-1 Permissive Uses, as allowed by the PRD zone in the Comprehensive City Zone Code. Although permissive in the O-1 and C-1 zones, the following uses are prohibited for this property:
 - Antenna (including freestanding cell towers)
 - Church or other place of worship
 - Community residential program
 - School
 - Park-and-ride temporary facilities
 - Public utility structure
 - Storage structure or (outdoor storage) yard for equipment, material, or activity
 - Auto parts and supply
 - Christmas trees, including outside sales
 - Gasoline, oil, liquefied petroleum gas, including outside sales
 - Hardware and building materials
 - Automobile repairing, including body work
 - Lending money, including pawn
 - Tenantry
 - Uses or activities in a tent
 - The O-1/C-1 area will require separate Site Plan Approval by the Environmental Planning Commission when a specific development is proposed.
 - All of the lots along the west boundary of the entire site shall be 1-story, flat-roofed, and not to exceed 15 feet in height. In addition, Lots 12, 21, 22, 31, 32, 41, 42, 51, 52, 61, 62, and 72 within the townhome area (North) shall be 1-story, flat-roofed, and not to exceed 15 feet in height.
 - Lots 10, 11, 24, 25, 55, and 56 of the single family detached area (south) shall have a finished peak elevation a minimum of 18 feet below the top of the westernmost perimeter wall. In addition, Lots 10, 11, 24, 25, 55, and 56 of the single family detached area (south) shall be 1-story.

SITE PLAN FOR SUBDIVISION
VISTAS de LA LUZ
SUBDIVISION

Prepared for:
 T.S. McNaney & Associates
 3 Wind Road NW
 Albuquerque, NM 87120

Prepared by:
 Consensus Planning, Inc.
 302 Eighth Street NW
 Albuquerque, NM 87102



ADMINISTRATIVE AMENDMENT
 File # 07-06180 Project # 1004675
 amend finished plan
 revision for date 10/11/24
 05 SS + 56
 APPROVED BY: *[Signature]* DATE: 10/21/27

EXHIBIT 1

PARKING CALCULATIONS:

CAR WASH: 2 PER 1000 SF GFA OF RETAIL, OFFICE, AND WAITING AREA

1,564.84 SF = 3 SPACES REQUIRED

RETAIL: 1 PER 200 SF GFA

5, 021 SF = 25 SPACES REQUIRED

PARKING CALCULATIONS: TOTAL SPACES REQUIRED 28 + 15%: 43

TOTAL SPACES PROVIDED: 57

ACCESSIBLE PARKING REQUIRED: 2 SPACE TOTAL SPACES PROVIDED: 4

MOTORCYCLE PARKING REQUIRED: 2 SPACES TOTAL SPACES PROVIDED: 2

BICYCLE PARKING REQUIRED: 3 TOTAL SPACES PROVIDED: 3

DIMENSIONAL STANDARDS:

Setbacks	Requirements	Retail Dimensions	Car Wash Dimensions
Front, minimum	5ft	143'-11"	94'-4"
Front, maximum	N/A	-	-
Side, minimum	Interior: 0 ft.; Street side of corner lots: 5 ft.	16'-9" & 5'-0"	94'-10" & 96'-6"
Side, maximum	N/A	-	-
Rear, minimum	15ft	42'-7"	16'-4"
Rear, maximum	N/A	-	-

LANDSCAPE REQUIERMENTS:

CARWASH:

15% OF PARCEL SF – BUILDING SF

51937 SF - 5548 SF*.15 = 6958.35 SF REQUIRED

14901 SF PROVIDED

RETAIL:

15% OF PARCEL SF – BUILDING SF

29643 SF – 5021 SF*.15 = 3693.3 SF REQUIRED

9005 SF PROVIDED