

# CONSTRUCTION PLANS FOR ALOFT HOTEL

## ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO JANUARY, 2026



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	TCL
	SOLID WASTE
	FIRE ONE



VICINITY MAP M-15-Z  
SCALE NONE

#### NOTICE TO CONTRACTORS

- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION (UPDATE #9)
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (260-1990) FOR LOCATION OF EXISTING UTILITIES.
- ANY WORK AFFECTING AN ARTERIAL ROADWAY REQUIRES 24-HOUR CONSTRUCTION.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR SURVEYOR IMMEDIATELY SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- SEVEN (7) WORKING DAYS PRIOR TO BEGINNING OF CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT TO CONSTRUCTION COORDINATION DIVISION A DETAILED CONSTRUCTION SCHEDULE. TWO(2) WORKING DAYS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM THE CONST. COORDINATION DIVISION. CONTRACTOR SHALL NOTIFY BARRICADE ENGINEER (924-3400) PRIOR TO OCCUPYING AN INTERSECTION. REFER TO STANDARD SPECIFICATIONS.
- ALL STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED WITH PLASTIC REFLECTORIZED PAVEMENT MARKINGS BY THE CONTRACTOR TO LOCATION AS EXISTING OR AS INDICATED BY THIS PLAN SET.
- CONTRACTOR SHALL NOTIFY THE ENGINEER NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK IN ORDER THAT THE ENGINEER MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS. CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE ENGINEER AND SHALL NOTIFY THE ENGINEER AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. REPLACEMENT SHALL BE DONE ONLY BY THE CITY SURVEYOR. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATIONS OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR SHALL, AT HIS OWN EXPENSE, ADJUST THE MONUMENT COVER TO THE NEW GRADE UNLESS OTHERWISE SPECIFIED. REFER TO SECTION 4.4 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS. ANY PERMANENT SURVEY MONUMENT LOCATED WITHIN 50' OF THIS PROJECT THAT IS NOT SHOWN ON THE PLAN AND IS DESTROYED DURING CONSTRUCTION WILL BE REPLACED AT THE DESIGNERS EXPENSE.
- CONTRACTOR SHALL MAINTAIN A GRAFFITI-FREE WORK SITE. CONTRACTOR SHALL PROMPTLY REMOVE ANY AND ALL GRAFFITI FROM EQUIPMENT, WHETHER PERMANENT OR TEMPORARY.
- FOR STORM DRAIN CONSTRUCTION, RCP PIPE JOINTS SHALL NOT BE GROUTED PRIOR TO FINAL INSPECTION. FINAL INSPECTION WILL DETERMINE JOINTS TO BE GROUTED FOR FINAL ACCEPTANCE OF THE CONSTRUCTION.
- ALL UTILITY WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH NEW MEXICO UTILITIES, INC. SPECIFICATIONS FOR WATER AND WASTEWATER FACILITIES (MOST RECENT REVISIONS).
- THE CONTRACTOR SHALL COORDINATE WITH THE WATER AUTHORITY SEVEN (7) DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER INFRASTRUCTURE. WORK REQUIRING SHUTOFF OF FACILITIES DESIGNATED AS MASTER PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY 14 DAYS IN ADVANCE OF PERFORMING SUCH WORK. ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES. SHUTOFF REQUESTS MUST BE MADE ONLINE AT [http://www.abqewa.org/water\\_shut\\_off\\_and\\_turn\\_on\\_procedures.aspx](http://www.abqewa.org/water_shut_off_and_turn_on_procedures.aspx)
- ALL EXCAVATION, TRENCHING, AND SHORING ACTIVITIES MUST BE CARRIED OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
- ELECTRONIC MARKER DEVICES (EMS) WILL BE PLACED ACCORDING TO SECTION 170 OF THE COA STANDARD SPECIFICATIONS.
- CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING ALL CONSTRUCTION SIGNING UNTIL PROJECT HAS BEEN ACCEPTED BY THE COA.

#### THE FOLLOWING NOTES ALSO APPLY WHEN CHECKED

- ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAVING.
- BACKFILL COMPACTION SHALL BE ACCORDING TO SPECIFIED STREET USE.
- TACK COAT REQUIREMENTS SHALL BE DETERMINED BY THE PROJECT ENGINEER.
- SIDEWALKS AND WHEELCHAIR RAMP WITHIN THE CURB RETURNS SHALL BE CONSTRUCTED WHEREVER A NEW CURB RETURN IS CONSTRUCTED.
- IF CURB IS DEPRESSED FOR A DRIVEPAD, THE DRIVEPAD SHALL BE CONSTRUCTED PRIOR TO ACCEPTANCE OF CURB AND GUTTER.
- ALL STORM DRAINAGE FACILITIES SHALL BE COMPLETED PRIOR TO FINAL ACCEPTANCE.

**TERRA WEST, LLC**  
5571 MIDWAY PARK PLACE NE  
ALBUQUERQUE, NEW MEXICO 87109  
505-858-3100  
www.tierrowestllc.com

REV	SHEETS	CITY ENGINEER	DATE	USER	DEPT.	DATE	USER	DEPT.	DATE
ENGINEERS STAMP & SIGNATURE		APPROVALS		ENGINEER		DATE		*****	
 RONALD R. BOHANNAN P.E. #7868 01/06/2026		DRC Chairman						APPROVED FOR CONSTRUCTION	
		Transportation							
		Water/Wastewater							
		Hydrology							
		AMAFCA							
		Constr. Mngmt.						City Engineer	
		Constr. Coord.						Date	
		CITY PROJECT NO.						SHEET 01 OF 45	

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GENERAL NOTES

- ALL WORK DETAILED ON THESE PLANS, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS AND DRAWINGS.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, ORDINANCES, RULES, AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- CONTRACTOR SHALL ASSUME THE SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD HARMLESS THE OWNER AND ENGINEER FROM ANY AND ALL LIABILITY REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPT LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.
- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN RIGHT-OF-WAY.
- CONTRACTOR SHALL NOTIFY THE CONSTRUCTION ENGINEER (OR PROJECT MANAGER) NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK IN ORDER THAT THE CITY OF ALBUQUERQUE SURVEYOR MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS. CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE CITY OF ALBUQUERQUE SURVEYOR AND SHALL NOTIFY THE CITY OF ALBUQUERQUE SURVEYOR AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. ONLY THE CITY OF ALBUQUERQUE SURVEYOR SHALL REPLACE SURVEY MONUMENTS. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATIONS OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR SHALL, AT HIS OWN EXPENSE, ADJUST THE MONUMENT COVER TO THE NEW GRADE UNLESS OTHERWISE SPECIFIED.
- EXISTING UTILITY LINE LOCATIONS ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND LINES MAY EXIST WHERE NONE ARE SHOWN. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR SHALL CONTACT NEW MEXICO ONE CALL SYSTEM (260-1990) FOR LOCATION OF EXISTING UTILITIES. CONTRACTOR SHALL THEN EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL PERTINENT EXISTING UTILITIES AND/OR OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY. CONTRACTOR SHALL THEN COORDINATE RELOCATION OF UTILITY LINES WITH UTILITY COMPANIES AS REQUIRED. ANY DAMAGE CAUSED BY FAILURE TO LOCATE, IDENTIFY, AND PRESERVE ANY EXISTING UTILITIES IS THE FULL RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR SHALL ASSIST THE ENGINEER/INSPECTOR IN THE RECORDING OF DATA ON ALL UTILITY LINES AND ACCESSORIES AS REQUIRED BY THE CITY OF ESPANOLA FOR THE PREPARATION OF "AS BUILT" DRAWINGS. CONTRACTOR SHALL NOT COVER UTILITY LINES AND ACCESSORIES UNTIL ALL DATA HAS BEEN RECORDED.
- CONTRACTOR SHALL ASSUME FINANCIAL RESPONSIBILITY FOR ANY DAMAGE TO EXISTING PAVEMENT, PAVEMENT MARKINGS, SIGNAGE, CURB AND GUTTER, HANDICAP RAMPS, AND SIDEWALK DURING CONSTRUCTION APART FROM THOSE SECTIONS INDICATED ON THE PLANS, AND SHALL REPAIR OR REPLACE, PER THE STANDARD SPECIFICATIONS, ANY SUCH DAMAGE.
- CONTRACTOR SHALL MAINTAIN A GRAFFITI-FREE WORK SITE. CONTRACTOR SHALL PROMPTLY REMOVE ANY AND ALL GRAFFITI FROM EQUIPMENT, WHETHER PERMANENT OR TEMPORARY.
- CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE AND MAINTAIN ALL CONSTRUCTION SIGNING UNTIL THE PROJECT HAS BEEN ACCEPTED BY THE CITY AND OTHER JURISDICTIONAL AUTHORITIES WHERE APPLICABLE.
- CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS SHOWN. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS IS THE RESPONSIBILITY OF THE CONTRACTOR, INCLUDING ANY SUCH COSTS INCURRED.
- REMOVALS SHALL BE DISPOSED OF OFF-SITE AND SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

TRANSPORTATION

- ANY STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED WITH THERMO-PLASTIC REFLECTORIZED PAVEMENT MARKING BY CONTRACTOR TO THE SAME LOCATION AS EXISTING OR AS INDICATED BY THIS PLAN SET.
- REMOVAL OF EXISTING CURB & GUTTER AND SIDEWALKS SHALL BE TO THE NEAREST JOINT.
- OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
- THE SUBGRADE PREP SHALL EXTEND ONE FOOT BEYOND THE FREE EDGE OF NEW CURB AND GUTTER AND SIDEWALK.
- CONTRACTOR TO TEST SUBGRADE R-VALUE PRIOR TO CONSTRUCTION. IN THE EVENT THE R-VALUE IS LESS THAN 50, REMOVE 2 FEET OF SUBGRADE MATERIAL AND IMPORT MATERIAL WITH R-VALUE GREATER THAN 50 OR CONTACT THE ENGINEER IMMEDIATELY SO THE PAVEMENT SECTION CAN BE MODIFIED.
- AT ALL PAVEMENT REMOVAL AND REPLACEMENTS, SAW-CUT EDGES SHALL BE STRAIGHT AND CLEAN, AND LONGITUDINAL JOINTS SHALL NOT BE PLACED WITHIN WHEEL PATHS. PATCHES SHALL BE REGULAR AND SQUARE OR RECTANGULAR, WITH FOUR STRAIGHT SIDES. FINISHED PAVEMENT SURFACE SHALL BE FLUSH WITH EXISTING PAVEMENT SURFACE, WITH NO SPILLOVER OF ASPHALT OR TACK COAT. CARE MUST BE TAKEN TO AVOID DAMAGING THE INTEGRITY OR APPEARANCE OF SURROUNDING PAVEMENTS; IF DAMAGED, THE ENTIRE SURFACE PATCH MUST BE EXPANDED TO COVER DAMAGES.
- CONTRACTOR WILL ENSURE THE ASPHALT HAS A SMOOTH, UNIFORM EDGE WHEN REMOVING AND REPLACING CURB AND GUTTER. IF THE ASPHALT EDGE IS NOT SMOOTH AND UNIFORM, CONTRACTOR WILL SAW CUT AND REPLACE A ONE-FOOT STRIP OF ASPHALT ALONG THE FULL SECTION BEING REPLACED.

HYDROLOGY

- ALL STORM DRAINS SHALL BE RCP CLASS III UNLESS OTHERWISE NOTED ON THE PLANS.
  - RCP SHALL BE INSTALLED SO THAT THE JOINT GAP AT THE HOME POSITION SHALL CONFORM TO THE APPROVED MANUFACTURER'S RECOMMENDATION. MANUFACTURER'S RECOMMENDED JOINT GAP TOLERANCES FOR EACH PIPE SIZE AND TYPE SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO PLACEMENT OF PIPE. RCP JOINTS SHALL NOT BE GROUTED UNLESS DIRECTED BY THE ENGINEER AND WITH CITY APPROVAL.
- WATER & SEWER
- ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAVING. EXISTING VALVES AND MANHOLES SHALL NOT BE BURIED OR PAVED OVER BUT RIMS SHALL BE ADJUSTED TO MATCH NEW GRADE.
  - MANHOLE RIMS, FIRE HYDRANT ELEVATIONS, AND FLANGE ELEVATIONS SHOWN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY AND ADJUST TO FINAL PAVEMENT OR SURFACE GRADES.
  - PROPOSED WATERLINE MATERIALS SHALL BE PVC PIPE MEETING AWWA C-900: DR18 REQUIREMENTS (6" - 12") OR DUCTILE IRON PIPE MEETING AWWA C-150 REQUIREMENTS (6" - 48"),
  - ALL WATERLINE FITTINGS, VALVES, BENDS, TEES, CROSSES AND APPURTENANCES SHALL HAVE RESTRAINED JOINTS UNLESS OTHERWISE NOTED ON THE PLANS. THE JOINT RESTRAINT REQUIREMENTS SHOULD BE DELINEATED WITHIN A JOINT RESTRAINT TABLE.
  - ALL SANITARY SEWER LINE STATIONING REFERS TO SANITARY SEWER CENTERLINE STATIONING. EXCEPT WHEN PROFILED WITHIN A PROPOSED OR EXISTING STREET, WHERE STREET STATIONING SHALL GOVERN.
  - ALL FINAL BACKFILL FOR TRENCHES SHALL BE COMPACTED TO A MINIMUM OF 95% MAXIMUM DENSITY PER ASTM D-1557.
  - AT UTILITY CROSSINGS, WHERE LESS THAN 18" OF VERTICAL SEPARATION FROM STORM DRAIN PIPING OR STRUCTURES IS PROPOSED, LEAN FILL CONSTRUCTION (PER SECTION 207 OF THE STANDARD SPECIFICATIONS) SHALL BE USED TO PROTECT THE WATER OR SEWER LINE. LEAN FILL SHALL EXTEND A PERPENDICULAR DISTANCE OF 5 FEET ON EACH SIDE OF THE STORM PIPE OR STRUCTURE.

OTHER COMMON NOTES

- ALL EXCAVATION, TRENCHING, AND SHORING ACTIVITIES MUST BE ACCOMPLISHED IN ACCORDANCE WITH OSHA 29CFR 1926.650 SUBPART P.
- WHEN DISTURBING MORE THAN ¼ ACRES, CONTRACTOR SHALL SECURE A "TOPSOIL DISTURBANCE PERMIT" PRIOR TO BEGINNING CONSTRUCTION.
- IN ADVANCE OF CONSTRUCTION, CONTRACTOR SHALL DETERMINE IF OVERHEAD UTILITY LINES, SUPPORT STRUCTURES, POLES, GUYS, ETC. ARE AN OBSTRUCTION TO CONSTRUCTION OPERATIONS. IF ANY OBSTRUCTION TO CONSTRUCTION OPERATIONS IS EVIDENT, CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH THE APPROPRIATE UTILITY OWNER TO REMOVE OR SUPPORT THE UTILITY OBSTRUCTION. ANY COST ASSOCIATED WITH THIS EFFORT SHALL BE THE RESPONSIBILITY OF CONTRACTOR.
- LOCAL ELECTRIC COMPANY WILL PROVIDE AT NO COST TO NMDOT OR THE CONTRACTOR THE REQUIRED PERSONNEL FOR INSPECTION OR OBSERVATION DEEMED NECESSARY BY LOCAL ELECTRIC COMPANY WHILE THE CONTRACTOR IS EXPOSING THE LOCAL ELECTRIC COMPANY'S CABLES. HOWEVER, THE CONTRACTOR SHALL BE CHARGED THE TOTAL COST ASSOCIATED WITH REPAIRS TO ANY DAMAGED CABLES OR FOR ANY COST ASSOCIATED WITH SUPPORTING OR RELOCATING THE POLES AND CABLES DURING CONSTRUCTION.
- CONTRACTOR SHALL SUPPORT AND PROTECT ALL EXISTING, UNDERGROUND UTILITY LINES WHICH BECOME EXPOSED DURING CONSTRUCTION. PAYMENT FOR SUPPORTING WORK SHALL BE INCIDENTAL TO WATERLINE AND/OR SEWER LINE COSTS.
- CONTRACTOR IS TO SUPPORT, PROTECT, AND MAINTAIN THE INTEGRITY OF ALL UNDERGROUND TELEPHONE, ELECTRIC CABLES AND CABLE TELEVISION UTILITIES AT NO ADDITIONAL COST TO THE OWNER. CABLE IS TO BE SUPPORTED AT A MAXIMUM SPACING OF FIFTEEN (15) FEET. CONTRACTOR SHALL COORDINATE WITH AND MAKE NECESSARY PAYMENT (IF ANY) TO UTILITY OWNER FOR DE-ENERGIZATION OF CABLES OR SUPPORT OF CABLES BY THE UTILITY OWNER.
- CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY OR PRIVATE ROADWAY EASEMENTS TO PREVENT ANY EXCAVATED MATERIAL BEING WASHED DOWN THE STREET OR INTO ANY PUBLIC DRAINAGE FACILITY.
- CONTRACTOR SHALL CONDUCT ALL WORK IN A MANNER WHICH WILL MINIMIZE INTERFERENCE WITH LOCAL TRAFFIC.
- ALL EXISTING SIGNS, MARKERS, DELINEATORS, ETC., WITHIN THE CONSTRUCTION LIMITS SHALL BE REMOVED, STORED AND RE-SET BY THE CONTRACTOR.
- DISPOSAL SITE FOR ALL EXCESS EXCAVATION MATERIAL AND UNSUITABLE MATERIAL SHALL BE ARRANGED BY THE CONTRACTOR IN COMPLIANCE WITH ALL APPLICABLE ENVIRONMENTAL REGULATIONS. NO SEPARATE MEASUREMENT OR PAYMENT WILL BE MADE FOR COSTS ASSOCIATED WITH OBTAINING A DISPOSAL SITE AND HAUL THERETO.
- IF CULTURAL RESOURCES, SUCH AS HISTORIC OR PREHISTORIC ARTIFACTS, OR HUMAN REMAINS ARE DISCOVERED DURING EXCAVATION OR CONSTRUCTION, WORK SHALL CEASE AND THE CONSTRUCTION ENGINEER SHALL NOTIFY THE COUNTY OFFICE OF THE MEDICAL EXAMINER. IF THE MEDICAL EXAMINER DETERMINES THAT HUMAN REMAINS ARE NOT PRESENT, THE CONSTRUCTION ENGINEER SHALL NOTIFY THE STATE HISTORIC PRESERVATION OFFICER (SHP) AT 827-6320.

	<b>ENGINEER'S SEAL</b> ALOFT HOTEL ALBUQUERQUE, NM	DRAWN BY MR
	<b>GENERAL NOTES</b>	DATE 01/06/2026
01/06/2026	 TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NEW MEXICO 87109 (505)858-3100	SHEET # <b>02</b>
RONALD R. BOHANNAN P.E. #7868		JOB # 2021133

**Weighted E Method**

Zone:  
Zone 2  
Existing Basin

Basin	Basin Area			Treatments								100-Year		
	Area (sf)	Area (acres)	Area (sq miles)	Treatment A		Treatment B		Treatment C		Treatment D		Weighted E (in)	Volume (ac-ft)	Flow cfs
On-Site Basin	45,071	1.03	0.002	0%	0.00	0%	0.00	0%	0.00	100%	1.03	2,330	0.201	4.49
Off-Site Basins	657,320.4	15.09	0.024	0%	0.00	0%	0.00	12%	1.88	88%	13.21	2,168	2.726	63.07
<b>Total</b>	<b>702,391.9</b>	<b>16.125</b>	<b>0.02519</b>		<b>0.00</b>		<b>0.000</b>		<b>1.880</b>		<b>14.245</b>		<b>0.201</b>	<b>67.56</b>

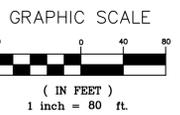
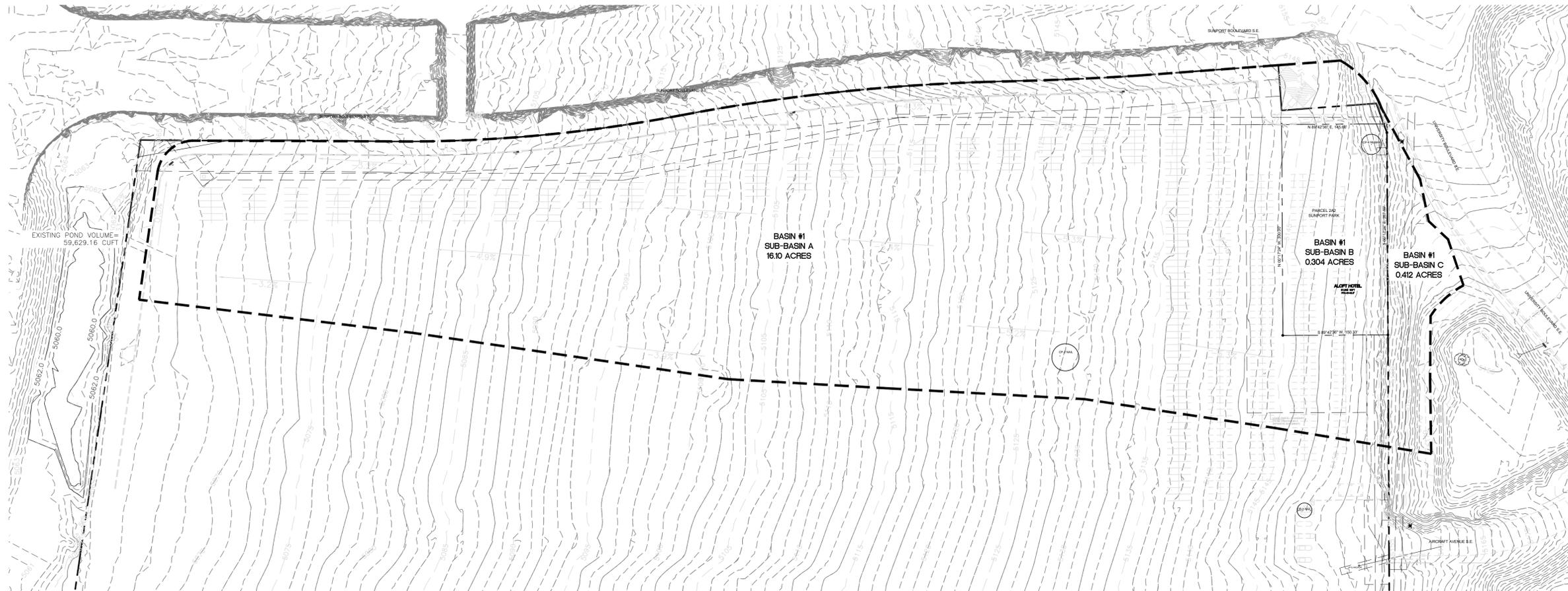
Check  
100% 1.03  
100% 15.09



VICINITY MAP: 1501 AIRCRAFT AVENUE SE, ALBUQUERQUE, NM.

**LEGAL DESCRIPTION:**

A CERTAIN PARCEL OF LAND BEING AND COMPRISING ALL OF PARCEL "2A", OF SUNPORT PARK, ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT OF LOTS 1A, 1B, 2A AND 2B IN BLOCK 3, PARCELS 1-A-1, 1-A-2, 1-B-1 IN BLOCK 4, PARCELS 2A, 2B, 3C AND 2D OF SUNPORT PARK, RECORDED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON JANUARY 18, 1996, IN PLAT BOOK 96C, FOLIO 22. LESS AND EXCEPTING THEREFROM THAT PORTION AFFECTED BY THAT CERTAIN PERMANENT ORDER OF ENTRY ENTERED JUNE 28, 2018 IN BERNALILLO COUNTY DISTRICT COURT CAUSE NO. CV-2016-02511.



City of Albuquerque  
Planning Department  
Development Review Services  
**HYDROLOGY SECTION**  
**APPROVED**  
DATE: 1/29/2026  
BY: *[Signature]*  
HydroTran # M15D057

THE APPROVAL OF THESE PLANS/REPORTS SHALL NOT BE CONSIDERED TO PERMIT VIOLATIONS OF ANY CITY ORDINANCE OR STATE LAW, AND SHALL NOT PREVENT THE CITY OF ALBUQUERQUE FROM REQUESTING CORRECTIONS FOR ERRORS OR DIMENSIONS IN PLANS, SPECIFICATIONS, OR CONSTRUCTION DOCUMENTS. SUCH APPROVALS/REPORTS SHALL NOT BE CHANGED, MODIFIED OR ALTERED WITHOUT AUTHORIZATION.  
THE APPROVAL OF THESE PLANS/REPORTS SHALL EXPIRE TWO (2) YEARS AFTER THE APPROVAL DATE IF NO BUILDING PERMIT HAS BEEN FILED ON THE DEVELOPMENT.

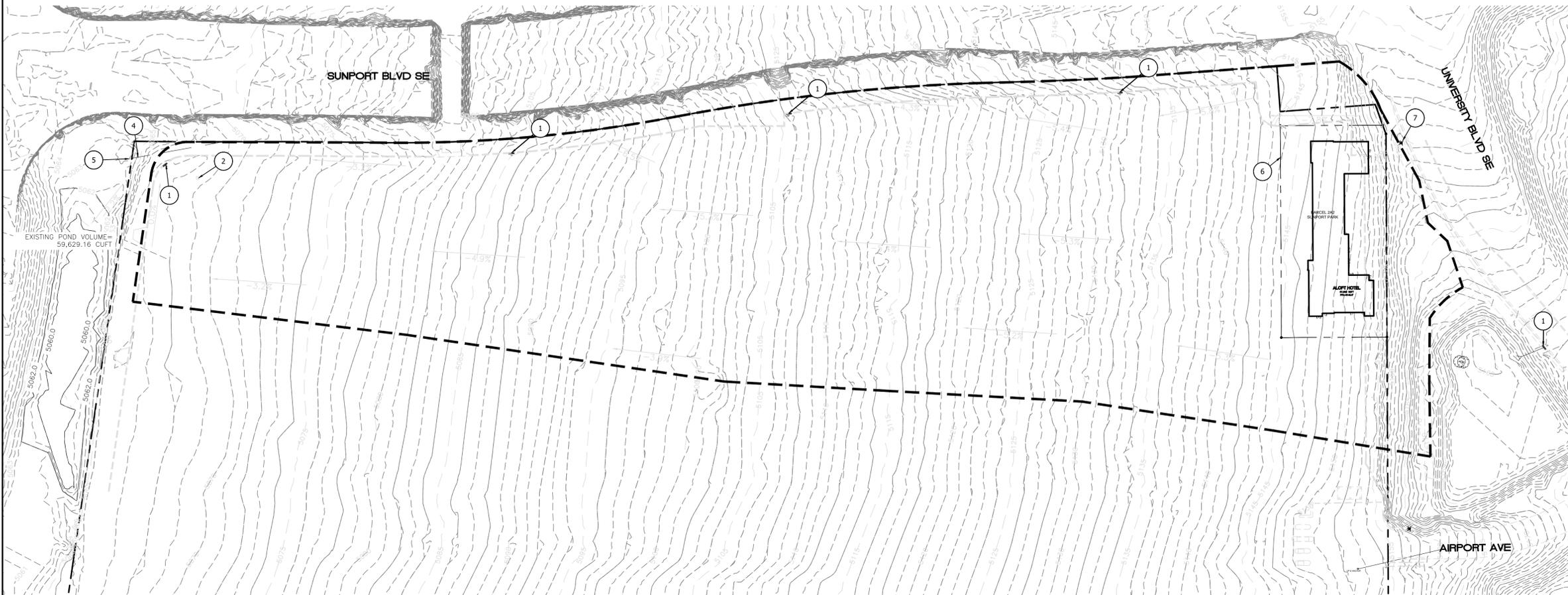
ENGINEER'S SEAL	ALOFT HOTEL ALBUQUERQUE, NM EXISTING BASIN	DRAWN BY MR
		DATE 01/06/2026
		TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100
RONALD R. BOHANNAN P.E. #7868	JOB # 2021133	

**Weighted E Method**

Zone:  
Zone 2  
Developed Basin

Basin	Basin Area			Treatments								100-Year		
	Area (sf)	Area (acres)	Area (sq miles)	Treatment A %	Treatment A (acres)	Treatment B %	Treatment B (acres)	Treatment C %	Treatment C (acres)	Treatment D %	Treatment D (acres)	Weighted E (in)	Volume (ac-ft)	Flow cfs
On-Site Basin	45,071	1.03	0.002	0%	0.00	15%	0.16	0%	0.00	85%	0.88	2.101	0.181	4.18
Off-Site Basins	657,320.4	15.09	0.024	0%	0.00	0%	0.00	13%	1.92	87%	13.17	2.165	2.722	63.01
<b>Total</b>	<b>702,391.9</b>	<b>16.125</b>	<b>0.02519</b>		<b>0.00</b>		<b>0.155</b>		<b>1.920</b>		<b>14.049</b>		<b>0.181</b>	<b>67.20</b>

Check  
100% 1.03  
100% 15.09



**KEYED NOTES**

- ① EXISTING STORM DRAIN (SD) DROP INLET
- ② EXISTING SANITARY SEWER (SAS) MANHOLE (MH)
- ③ NOT USED
- ④ EXISTING STORM SEWER UTILITY EASEMENT
- ⑤ STORM DRAIN OUTLET
- ⑥ PLAT BOUNDARY
- ⑦ EXISTING PUBLIC FIRE HYDRANT

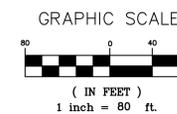
**LEGEND**

- CURB & GUTTER
- - - PROPERTY LINE
- - - EASEMENT
- - - CENTERLINE
- - - RIGHT-OF-WAY
- ▭ BUILDING
- ▭ PROPOSED SIDEWALK
- ▭ EXISTING CURB & GUTTER
- ▭ LANDSCAPING
- - - EXISTING INDEX CONTOUR
- - - EXISTING CONTOUR
- ON-SITE FLOW
- OFF-SITE FLOW
- - - BASIN BOUNDARY LINE

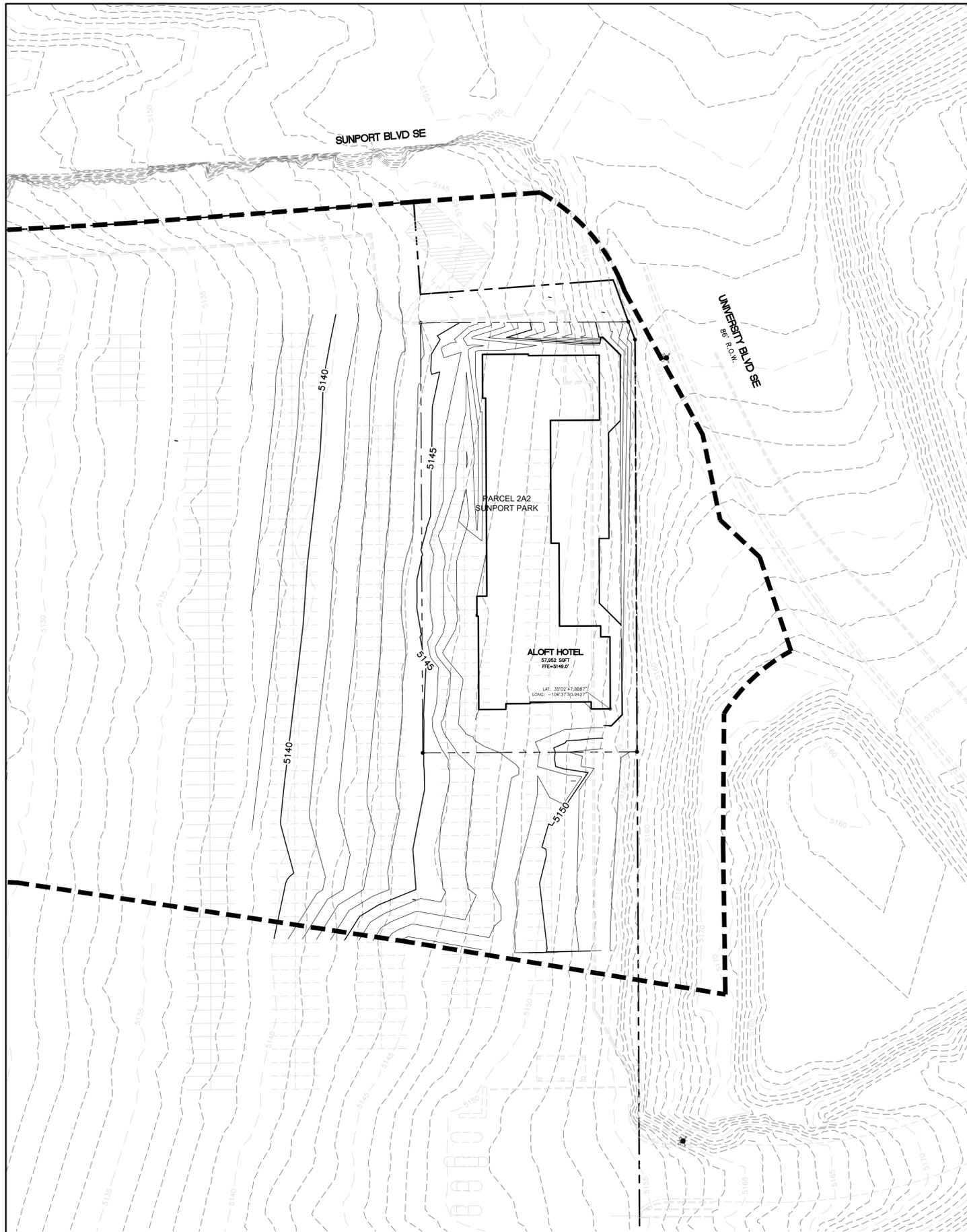
**STORM WATER QUALITY IN-LIEU TABLES**

Stormwater Quality Volume					
Acres	SF	Rainfall (in)	Rainfall (ft)	SWQV (CF)	SWQV (Acre-Ft)
0.88	38,332.80	0.26	0.022	830.5	0.02

Payment In-Lieu Amount		
SWQV (CF)	\$/CF	Total Amount
830.54	\$ 8.00	\$ 6,644.35

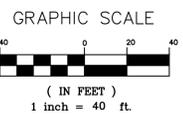


ENGINEER'S SEAL  RONALD R. BOHANNAN P.E. #7868	<b>ALOFT HOTEL</b> <b>ALBUQUERQUE, NM</b> <b>BASIN</b>	DRAWN BY MR DATE 01/06/2026
	 <b>TERRA WEST, LLC</b> 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NEW MEXICO 87109 (505)858-3100	SHEET # <b>04</b> JOB # 2021133



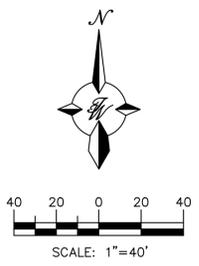
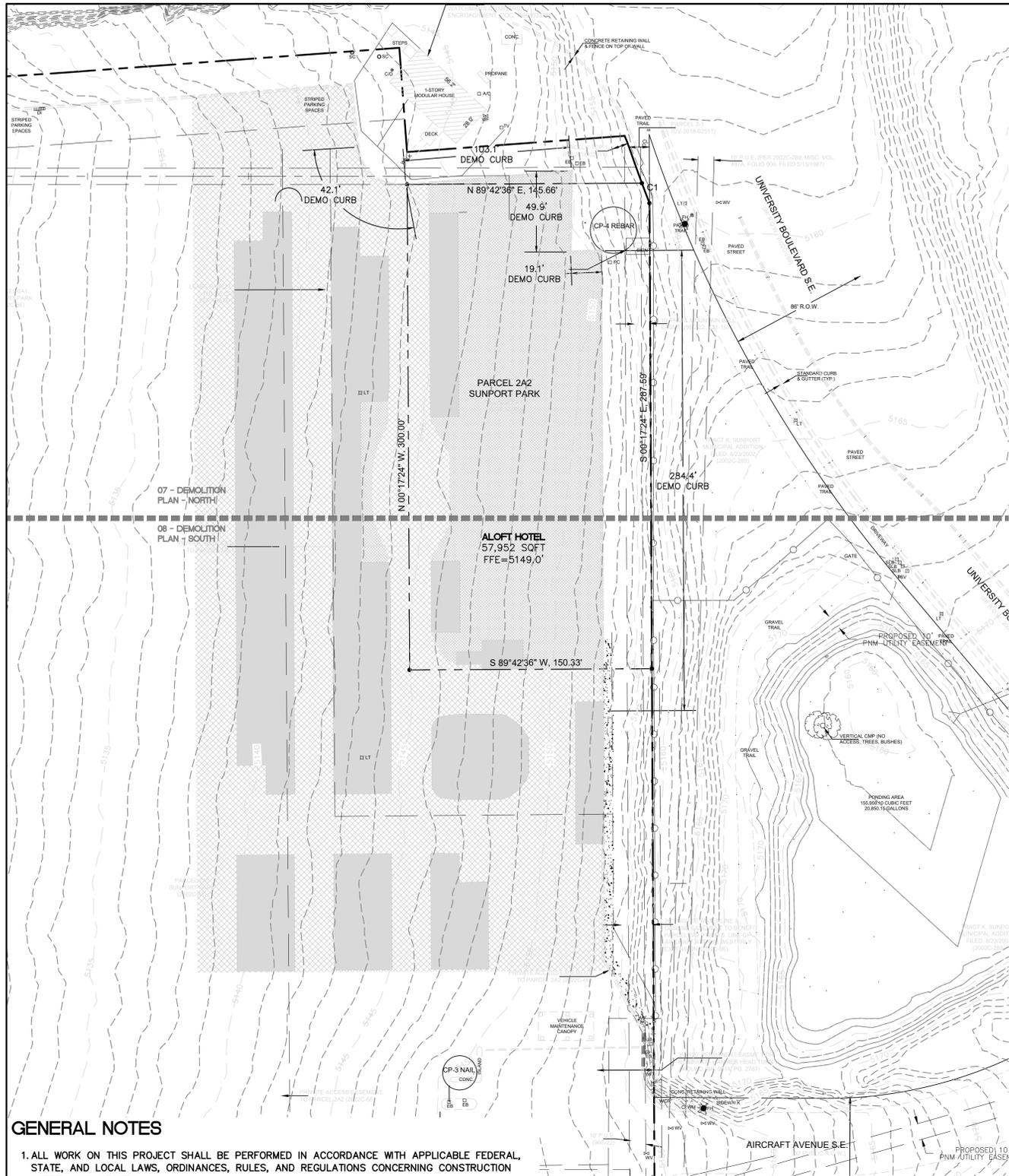
**LEGEND**

- CURB & GUTTER
- PROPERTY LINE
- BUILDING
- PROPOSED SIDEWALK
- EXISTING CURB & GUTTER
- BASIN BOUNDARY LINE
- 5010 PROPOSED MINOR CONTOUR
- 5010 PROPOSED MAJOR CONTOUR



City of Albuquerque  
 Planning Department  
 Development Review Services  
**HYDROLOGY SECTION**  
**APPROVED**  
 DATE: 1/29/2026  
 BY: *Ronald R. Bohannon*  
 HydroTeam: M15D057  
THE APPROVAL OF THESE PLANS/PERMITS SHALL NOT BE CONSIDERED TO  
 GUARANTEE THE ACCURACY OF ANY CITY ORDINANCE OR STATE LAW, AND  
 SHALL NOT PREVENT THE CITY OF ALBUQUERQUE FROM ENFORCING  
 CURRENT CODES FOR SUBJECT OR EMPLOYED IN FLUIDS, SPILLAGE, LEAKS,  
 OR CONSTRUCTION AND MAINTENANCE. SUCH APPROVALS AND PERMITS SHALL  
 NOT BE ALIENATED, MODIFIED OR ALTERED WITHOUT THE ORGANIZATION.  
 THE APPROVAL OF THESE PLANS/PERMITS SHALL EXPIRE TWELVE  
 YEARS AFTER THE APPROVAL DATE IF NO RELATED PERMIT HAS BEEN  
 FILED BY THE DEVELOPER.

ENGINEER'S SEAL  RONALD R. BOHANNAN P.E. #7868	<b>ALOFT HOTEL</b> <b>ALBUQUERQUE, NM</b> <b>PROPOSED SITE BASIN</b>	DRAWN BY MR DATE 01/06/2026
	 <b>TIERRA WEST, LLC</b> 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NEW MEXICO 87109 (505)858-3100	SHEET # <b>05</b> JOB # 2021133



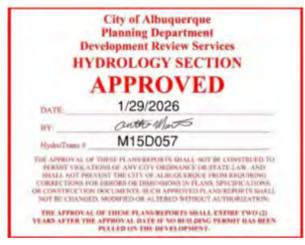
LEGEND	
	CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	CENTERLINE
	RIGHT-OF-WAY
	BUILDING
	SIDEWALK
	EXISTING CURB & GUTTER
	DEMOLISH EXISTING PARKING STRIPE
	LANDSCAPING
	RETAINING WALL
	SETBACK LINE
	LIGHT TRAFFIC RESURFACE (39,373.52 SF)
	HEAVY TRAFFIC RESURFACE (62,188.93 SF)
	DEMO/DISPOSE EXISTING ASPHALT (28,015.41 SF)

**GENERAL NOTES**

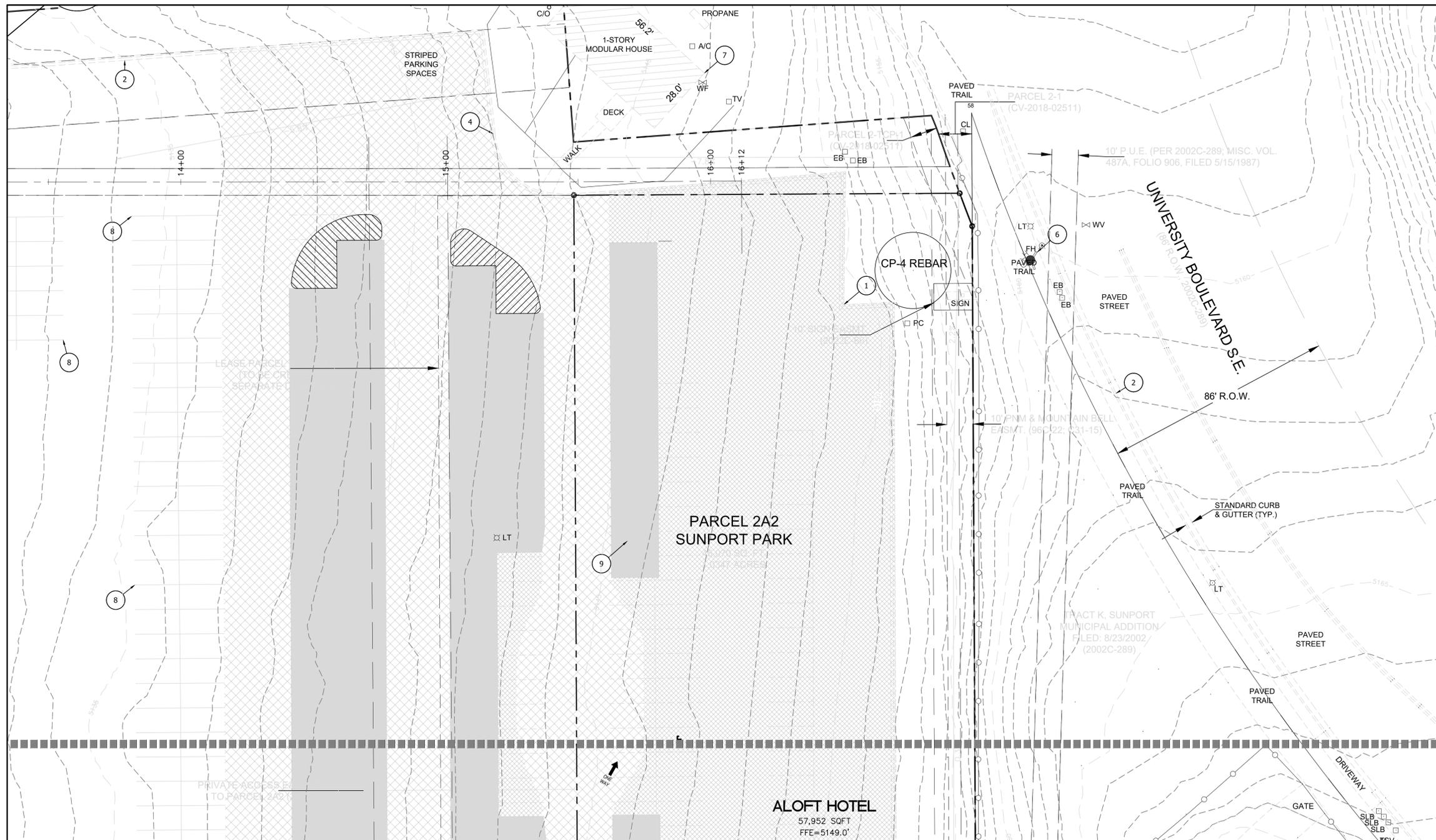
1. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, ORDINANCES, RULES, AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
2. CONTRACTOR SHALL ASSUME THE SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD HARMLESS THE OWNER AND ENGINEER FROM ANY AND ALL LIABILITY REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPT LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.
3. CONTRACTOR SHALL ASSIST THE ENGINEER/INSPECTOR IN THE RECORDING OF DATA ON ALL UTILITY LINES AND ACCESSORIES AS REQUIRED BY THE CITY OF ALBUQUERQUE FOR THE PREPARATION OF "AS BUILT" DRAWINGS. CONTRACTOR SHALL NOT COVER UTILITY LINES AND ACCESSORIES UNTIL ALL DATA HAS BEEN RECORDED.
4. CONTRACTOR SHALL ASSUME FINANCIAL RESPONSIBILITY FOR ANY DAMAGE TO EXISTING PAVEMENT, PAVEMENT MARKINGS, SIGNAGE, CURB AND GUTTER, HANDICAP RAMPS, AND SIDEWALK DURING CONSTRUCTION APART FROM THOSE SECTIONS INDICATED ON THE PLANS, AND SHALL REPAIR OR REPLACE, PER THE STANDARD SPECIFICATIONS, ANY SUCH DAMAGE.
5. CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS SHOWN. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS IS THE RESPONSIBILITY OF THE CONTRACTOR, INCLUDING AND SUCH COSTS INCURRED.
6. REMOVALS SHALL BE DISPOSED OF OFF-SITE AND SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

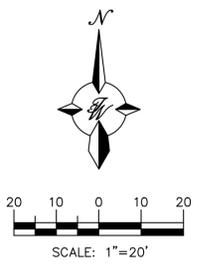
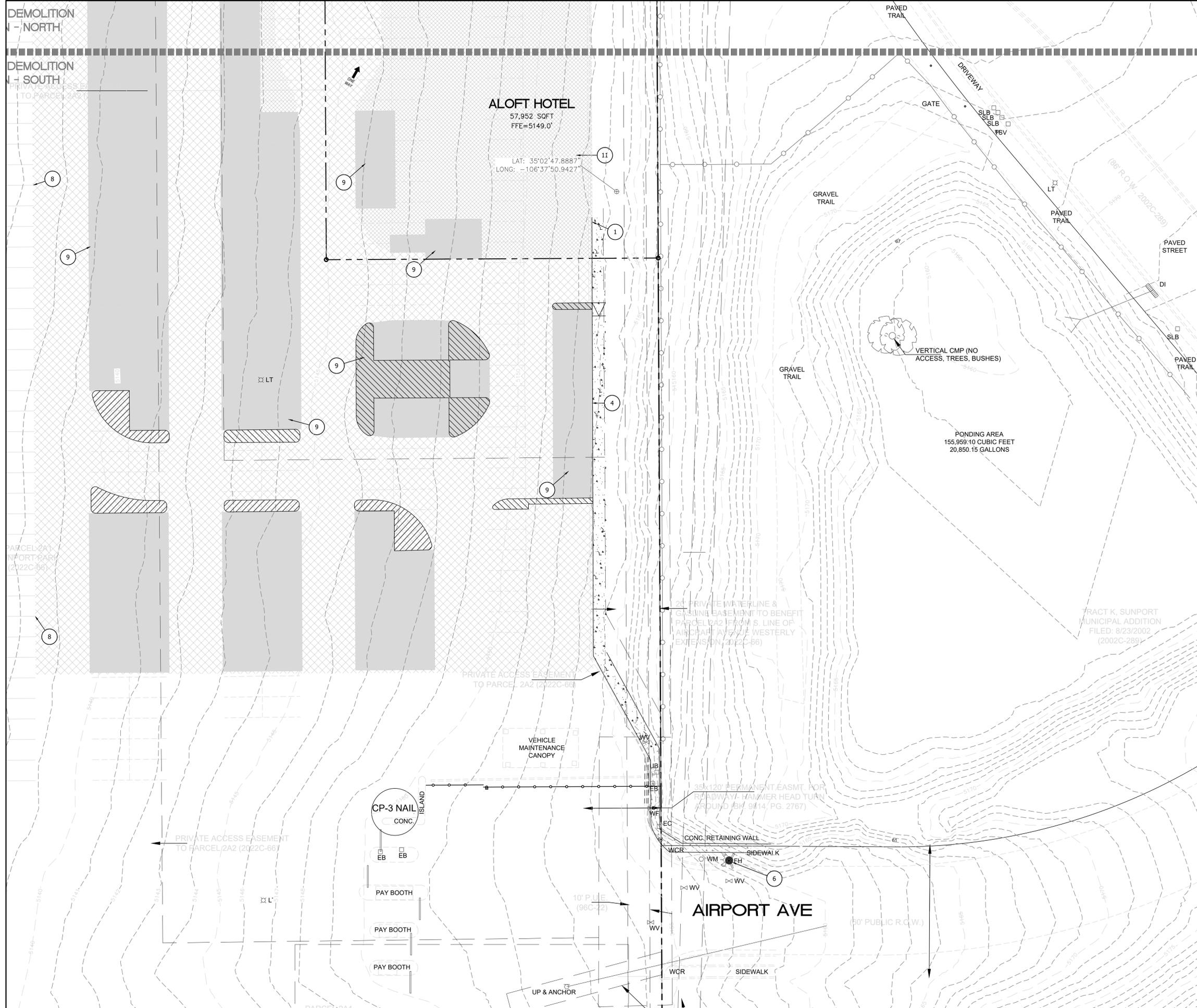
- WATER & SEWER**
1. ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAVING. EXISTING VALVES AND MANHOLES SHALL NOT BE BURIED OR PAVED OVER BUT RIMS SHALL BE ADJUSTED TO MATCH NEW GRADE PER COA STANDARD DRAWINGS 2460 AND 2461.
  2. MANHOLE RIMS, FIRE HYDRANT ELEVATIONS, AND FLANGE ELEVATIONS SHOWN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY AND ADJUST TO FINAL PAVEMENT OR SURFACE GRADES.
  3. THE CONTRACTOR SHALL COORDINATE WITH THE WATER AUTHORITY SEVEN (7) DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER INFRASTRUCTURE. WORK REQUIRING SHUTOFF OF FACILITIES DESIGNATED AS MASTER PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY 14 DAYS IN ADVANCE OF PERFORMING SUCH WORK. ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES. SHUTOFF REQUEST MUST BE MADE ONLINE AT [HTTP://ABCWUA.ORG/WATER\\_SHUT\\_OFF\\_AND\\_TURN\\_ON\\_PROCEDURES.ASPX](http://abcwua.org/water_shut_off_and_turn_on_procedures.aspx)
  4. PROPOSED WATERLINE MATERIALS SHALL BE PVC PIPE MEETING AWWA C-900: DR18 REQUIREMENTS (6" - 12") OR DUCTILE IRON PIPE MEETING AWWA C-150 REQUIREMENTS (6" - 48").
  5. ALL WATERLINE FITTINGS, VALVES, BENDS, TEES, CROSSES AND APPURTENANCES SHALL HAVE RESTRAINED JOINTS UNLESS OTHERWISE NOTED ON THE PLANS. THE JOINT RESTRAINT REQUIREMENTS SHOULD BE DELINEATED WITHIN A JOINT RESTRAINT TABLE.

6. ALL SANITARY SEWER LINE STATIONING REFERS TO SANITARY SEWER CENTERLINE STATIONING. EXCEPT WHEN PROFILED WITHIN A PROPOSED OR EXISTING STREET, WHERE STREET STATIONING SHALL GOVERN.
7. ALL FINAL BACKFILL FOR TRENCHES SHALL BE COMPACTED TO A MINIMUM OF 95% MAXIMUM DENSITY PER ASTM D-1557 AND AS DIRECTED BY STANDARD SPECIFICATIONS SECTION 701.14.2 AND STANDARD DRAWING NUMBER 2465.
8. ELECTRONIC MARKER SPHERES (EMS) WILL BE PLACED ACCORDING TO THE CITY OF ALBUQUERQUE SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS REVISED THROUGH UPDATE #9.
9. CONTRACTOR SHALL INSTALL A 4" X 4" X 5' POST AND EMS AT THE END OF EACH SANITARY SEWER SERVICE.
10. CONTRACTOR SHALL PROVIDE THE PROPOSED HYDRO TESTING PLANS TO THE WUA INSPECTIONS FOR APPROVAL PRIOR TO BEGINNING TESTING OPERATIONS.
11. AT UTILITY CROSSINGS, WHERE LESS THAN 18" OF VERTICAL SEPARATION FROM STORM DRAIN PIPING OR STRUCTURES IS PROPOSED, LEAN FILL CONSTRUCTED (PER SECTION 207 OF THE STANDARD SPECIFICATIONS) SHALL BE USED TO PROTECT THE WATER OR SEWER LINE. LEAN FILL SHALL EXTEND A PERPENDICULAR DISTANCE OF 5 FEET ON EACH SIDE OF THE STORM PIPE OR STRUCTURE.



	<b>ALOFT HOTEL</b> <b>ALBUQUERQUE, NM</b>	DRAWN BY MR
	<b>DEMOLITION PLAN</b>	DATE 01/06/2026
	SHEET # <b>06</b>	JOB # 2021133



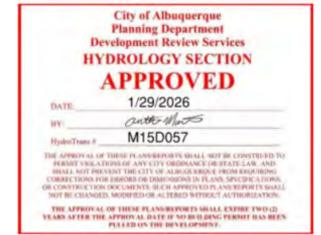


**LEGEND**

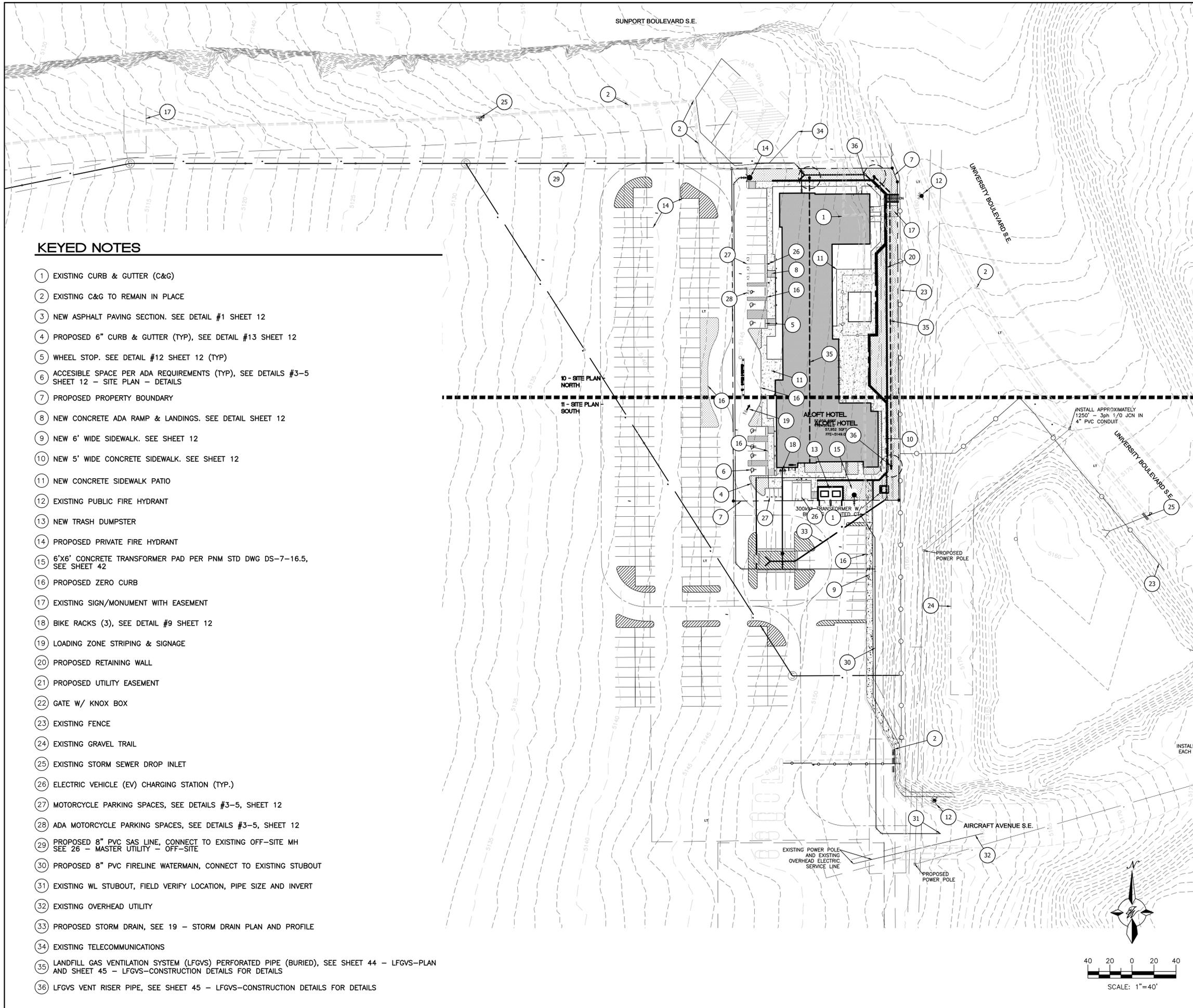
- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- RIGHT-OF-WAY
- BUILDING
- SIDEWALK
- EXISTING CURB & GUTTER
- DEMOLISH EXISTING PARKING STRIPE
- LANDSCAPING
- RETAINING WALL
- SETBACK LINE
- LIGHT TRAFFIC ASPHALT
- HEAVY TRAFFIC ASPHALT
- DEMO EXISTING ASPHALT

**KEYED NOTES**

- ① REMOVE AND DISPOSE EXISTING CURB & GUTTER (C&G), SEE SHEET 07 - DEMOLITION PLAN - NORTH
- ② EXISTING C&G TO REMAIN IN PLACE
- ③ DEMOLISH EXISTING GRAVEL PATH, MATCH EXISTING GRADE
- ④ END OF EXISTING ON-SITE C&G DEMOLITION
- ⑤ NOT USED
- ⑥ EXISTING FIRE HYDRANT (2) TO REMAIN IN PLACE, SEE THIS SHEET AND 07 - DEMOLITION PLAN - NORTH
- ⑦ ADJOINING PROPERTY
- ⑧ EXISTING STRIPING TO REMAIN
- ⑨ RESURFACE AND RE-STRIPING PROPOSED PARKING AREA, SEE SHEET 31 - PAVING PLAN
- ⑩ PROPERTY SETBACK LINE
- ⑪ DEMOLISH AND DISPOSE EXISTING ASPHALT



ENGINEER'S SEAL  01/06/2026 RONALD R. BOHANNAN P.E. #7868	<b>ALOFT HOTEL</b> <b>ALBUQUERQUE, NM</b>	DRAWN BY MR
	<b>DEMOLITION PLAN - SOUTH</b>	DATE 01/06/2026
 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NEW MEXICO 87109 (505)858-3100	SHEET # <b>08</b>	JOB # 2021133



VICINITY MAP: M-15-Z

**KEYED NOTES**

- 1 EXISTING CURB & GUTTER (C&G)
- 2 EXISTING C&G TO REMAIN IN PLACE
- 3 NEW ASPHALT PAVING SECTION. SEE DETAIL #1 SHEET 12
- 4 PROPOSED 6" CURB & GUTTER (TYP), SEE DETAIL #13 SHEET 12
- 5 WHEEL STOP. SEE DETAIL #12 SHEET 12 (TYP)
- 6 ACCESSIBLE SPACE PER ADA REQUIREMENTS (TYP), SEE DETAILS #3-5 SHEET 12 - SITE PLAN - DETAILS
- 7 PROPOSED PROPERTY BOUNDARY
- 8 NEW CONCRETE ADA RAMP & LANDINGS. SEE DETAIL SHEET 12
- 9 NEW 6' WIDE SIDEWALK. SEE SHEET 12
- 10 NEW 5' WIDE CONCRETE SIDEWALK. SEE SHEET 12
- 11 NEW CONCRETE SIDEWALK PATIO
- 12 EXISTING PUBLIC FIRE HYDRANT
- 13 NEW TRASH DUMPSTER
- 14 PROPOSED PRIVATE FIRE HYDRANT
- 15 6'X6' CONCRETE TRANSFORMER PAD PER PNM STD DWG DS-7-16.5, SEE SHEET 42
- 16 PROPOSED ZERO CURB
- 17 EXISTING SIGN/MONUMENT WITH EASEMENT
- 18 BIKE RACKS (3), SEE DETAIL #9 SHEET 12
- 19 LOADING ZONE STRIPING & SIGNAGE
- 20 PROPOSED RETAINING WALL
- 21 PROPOSED UTILITY EASEMENT
- 22 GATE W/ KNOX BOX
- 23 EXISTING FENCE
- 24 EXISTING GRAVEL TRAIL
- 25 EXISTING STORM SEWER DROP INLET
- 26 ELECTRIC VEHICLE (EV) CHARGING STATION (TYP.)
- 27 MOTORCYCLE PARKING SPACES, SEE DETAILS #3-5, SHEET 12
- 28 ADA MOTORCYCLE PARKING SPACES, SEE DETAILS #3-5, SHEET 12
- 29 PROPOSED 8" PVC SAS LINE, CONNECT TO EXISTING OFF-SITE MH SEE 26 - MASTER UTILITY - OFF-SITE
- 30 PROPOSED 8" PVC FIRELINE WATERMAIN, CONNECT TO EXISTING STUBOUT
- 31 EXISTING WL STUBOUT, FIELD VERIFY LOCATION, PIPE SIZE AND INVERT
- 32 EXISTING OVERHEAD UTILITY
- 33 PROPOSED STORM DRAIN, SEE 19 - STORM DRAIN PLAN AND PROFILE
- 34 EXISTING TELECOMMUNICATIONS
- 35 LANDFILL GAS VENTILATION SYSTEM (LFGVS) PERFORATED PIPE (BURIED), SEE SHEET 44 - LFGVS-PLAN AND SHEET 45 - LFGVS-CONSTRUCTION DETAILS FOR DETAILS
- 36 LFGVS VENT RISER PIPE, SEE SHEET 45 - LFGVS-CONSTRUCTION DETAILS FOR DETAILS

**LEGAL DESCRIPTION:**

A CERTAIN PARCEL OF LAND BEING AND COMPRISING ALL OF PARCEL "2A", OF SUNPORT PARK, ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLATS OF LOTS 1A, 1B, 2A AND 2B IN BLOCK 3, PARCELS 1-A-1, 1-A-2, 1-B-1 IN BLOCK 4, PARCELS 2A, 2B, 3C AND 2D OF SUNPORT PARK, RECORDED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON JANUARY 18, 1996, IN PLAT BOOK 96C, FOLIO 22. LESS AND EXCEPTING THEREFROM THAT PORTION AFFECTED BY THAT CERTAIN PERMANENT ORDER OF ENTRY ENTERED JUNE 28, 2018 IN BERNALILLO COUNTY DISTRICT COURT CAUSE NO. CV-2016-02511

**LEGEND**

- CURB & GUTTER
- BOUNDARY LINE
- - - EASEMENT
- - - CENTERLINE
- - - RIGHT-OF-WAY
- ▭ BUILDING
- ▭ SIDEWALK
- - - EXISTING CURB & GUTTER
- - - EXISTING BOUNDARY LINE
- ▨ LANDSCAPING
- ▨ SETBACK LINE
- ▨ RETAINING WALL
- ▨ LFGVS VAPOR BARRIER (15,682.20 SF)
- FENCE
- w- PROPOSED WATERLINE
- ss- PROPOSED SANITARY SEWER LINE
- sd- PROPOSED STORM DRAIN PIPE
- - - LANDFILL GAS VENTILATION SYSTEM (LFGVS)
- ⊗ LFGVS PIPE RISER

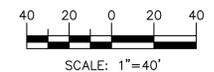
**SITE DATA**

LOT AREA: 45,070.00 SQFT (1.0347 ACRES)  
 CURRENT ZONING: NR-BP (PER IDO ZONING MAP)  
 PROPOSED ZONING: NR-BP  
 PROPOSED USE: HOTEL  
 BUILDING AREA: 57,952.00 SQFT  
 BUILDING SETBACK:  
 FRONT 20'  
 REAR 10'  
 SIDE 10'

NUMBER OF BEDS: 79 BEDS  
 1 PARKING SPACE PER 2 BEDS = 108 SPACES REQUIRED

PARKING PROVIDED: 111 SPACES  
 ACCESSIBLE SPACES PROVIDED: 6 SPACES (6 VAN ACCESSIBLE)  
 (4 MOTORCYCLE)  
 (6 ELECTRICAL VEHICLE)  
 TOTAL 111 SPACES

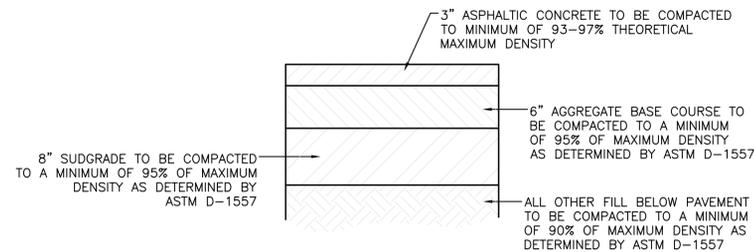
LANDSCAPE REQUIRED: 10% OF LOT AREA = 4,507.0 SF  
 LANDSCAPE PROVIDED: 10,991.1 SF



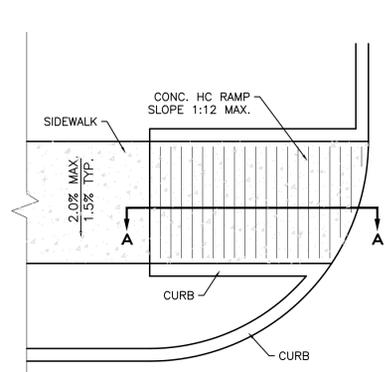
ENGINEER'S SEAL  RONALD R. BOHANNAN P.E. #7868	<b>ALOFT HOTEL</b> <b>ALBUQUERQUE, NM</b>	DRAWN BY MR
	<b>SITE PLAN</b>	DATE 01/06/2026
TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NEW MEXICO 87109 (505)858-3100	SHEET # <b>09</b>	JOB # 2021133







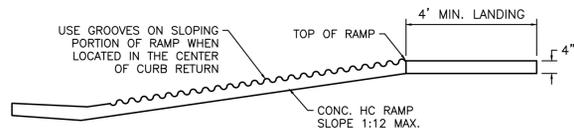
**1 - AUTOMOBILE DRIVEWAYS AND AREAS SUBJECT TO SEMI-TRUCKS TYPICAL PAVING SECTION**  
NTS



**NOTES:**

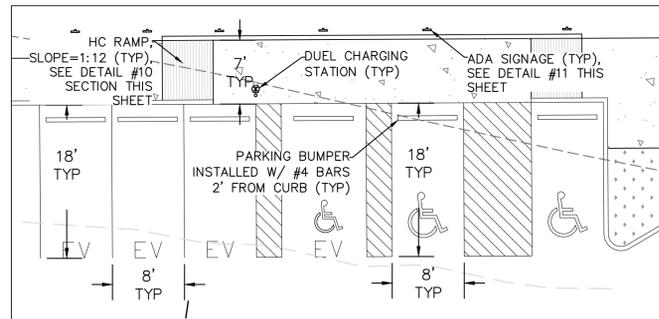
1. THE SURFACE OF RAMP AND SIDES SHALL HAVE A TRANSVERSE BROOMED SURFACE TEXTURE ROUGHER THAN THE SURROUNDING SIDEWALK.
2. THE RAMP SHALL BE GROOVED IN A TRANSVERSE PATTERN WITH 1/4" GROOVES APPROXIMATELY 1-1/2" O.C. SEE SECTION A-A.
3. THE BOTTOM OF THE RAMP SHALL HAVE A 1/4" LIP OF 45°.
4. RAMP SIDE SLOPE VARIES UNIFORMLY FROM A MAXIMUM OF UP TO 10% AT CURB TO CONFORM WITH LONGITUDINAL SIDEWALK SLOPE ADJACENT TO TOP OF THE RAMP.
5. CONSTRUCT PER A.D.A. STANDARDS.

**PLAN**

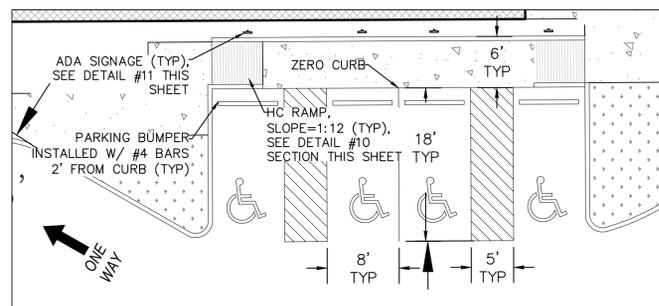


**SECTION A-A**

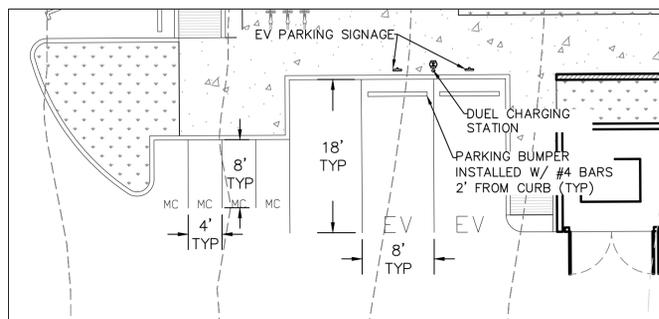
**2 - UNIDIRECTIONAL HC RAMP**  
SCALE: NTS



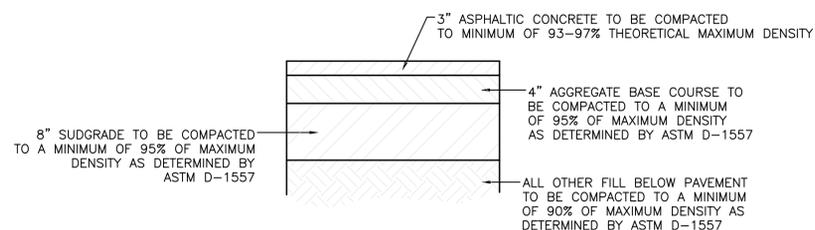
**3 - ADA AND EV PARKING DETAIL**  
NTS



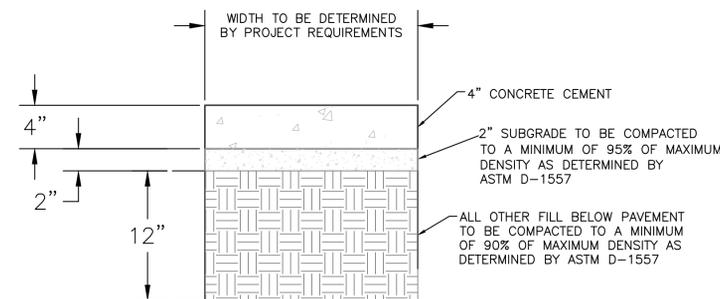
**4 - ADA AND EV PARKING DETAIL**  
NTS



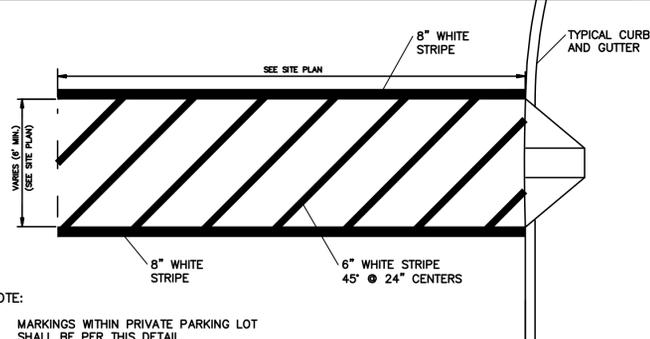
**5 - ADA AND MOTORCYCLE PARKING**  
NTS



**6 - AUTOMOBILE PARKING TYPICAL PAVING SECTION**  
NTS



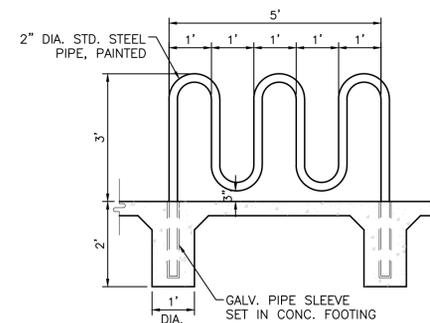
**7 - CONCRETE SIDEWALK SECTION**



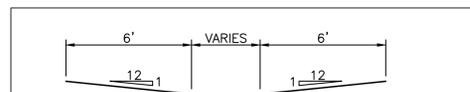
**NOTE:**

1. MARKINGS WITHIN PRIVATE PARKING LOT SHALL BE PER THIS DETAIL.
2. THESE MARKINGS ARE TO BE PAINTED REFLECTIVE WHITE.

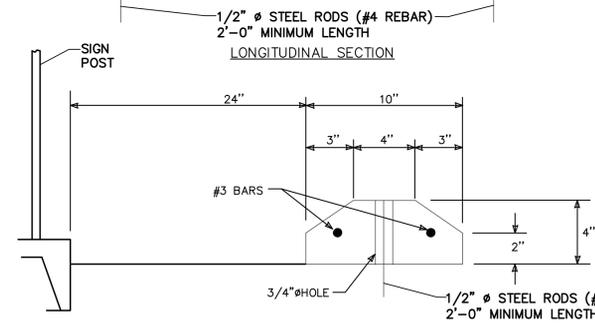
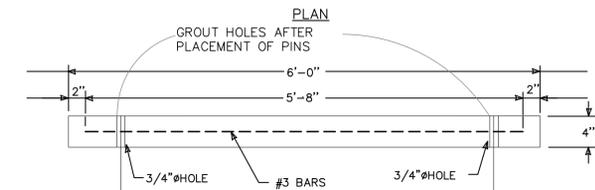
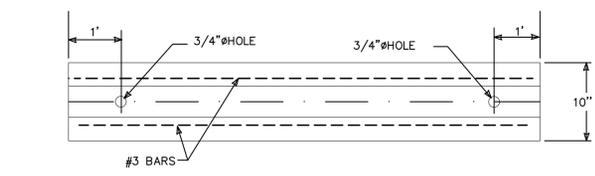
**8 - CROSSWALK/PED. CROSSING**  
NTS



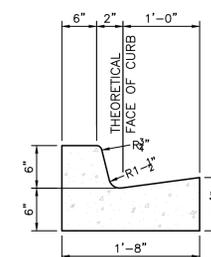
**9 - BIKE RACK DETAIL**  
SCALE: NTS



**10 - HC PARKING DETAIL SECTION A-A**  
NTS



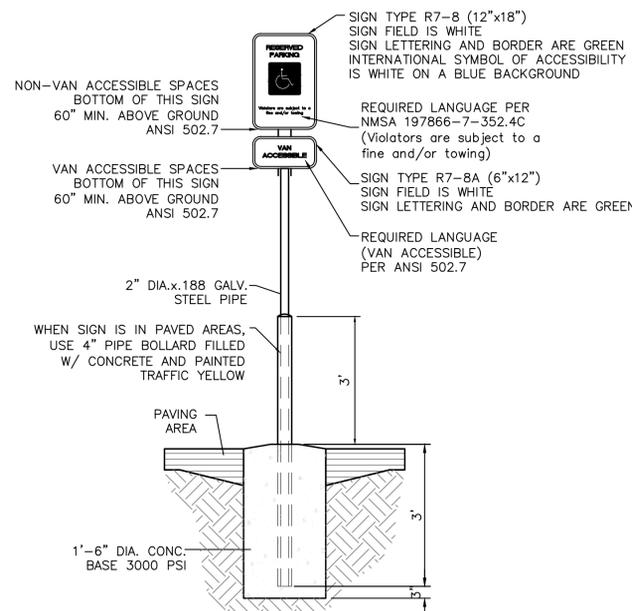
**12 - WHEEL STOP**  
NTS



**CURB GENERAL NOTES:**

1. ALL CURBS TO BE CONSTRUCTED OF PORTLAND CEMENT CONCRETE, PER COA STD SPECIFICATIONS.
2. PROVIDE CONTRACTION JTS. 12' MAX., SPACING, 1/2" EXP. JTS. AT CURB RETURNS AND AT A MAX. SPACING OF 120' BETWEEN CURB RETURNS AND EACH SIDE OF SEPARATELY CONSTRUCTED DRIVEWAYS. CONTRACTION JTS., SHALL BE EITHER SAWED OR TOOLED A MINIMUM OF 1" DEEP AT FINISHED FACES.
3. ALL EDGES SHALL BE EDGED WITH A 3/8" RADIUS EDGING TOOL.
4. 1/4" ISOLATION JOINT SHALL BE PLACED BETWEEN SIDEWALK AND CURB WHEN CAST ADJACENT TO EACH OTHER.

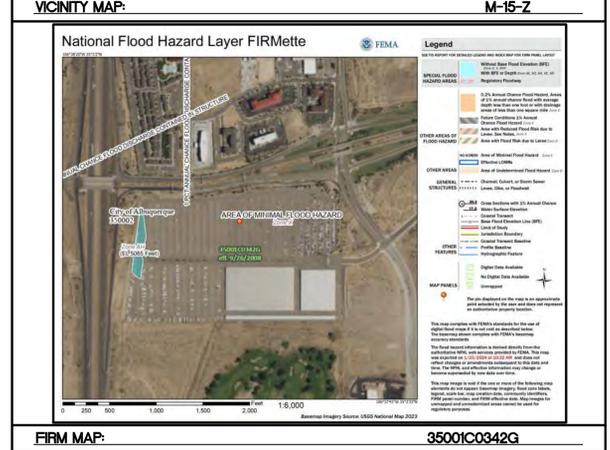
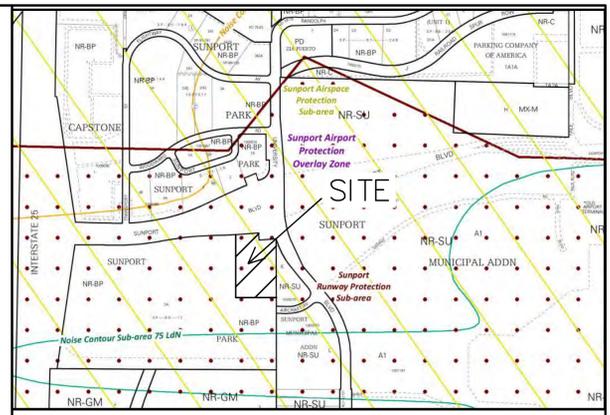
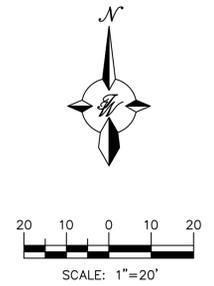
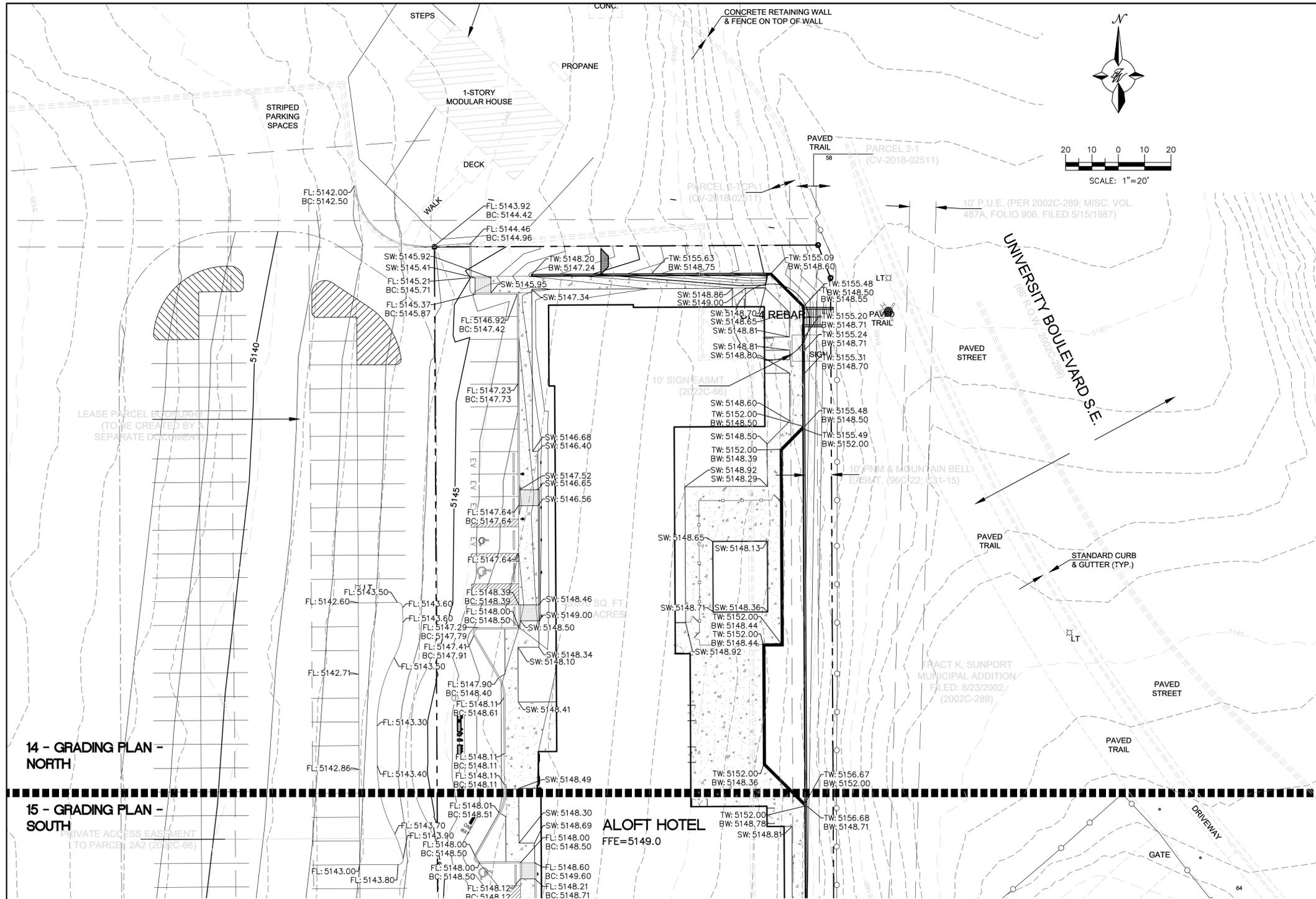
**13 - 6" PRIVATE CURB + GUTTER**  
NTS



**11 - ACCESSIBLE PARKING SIGN**  
NTS

ENGINEER'S SEAL	ALLOFT HOTEL ALBUQUERQUE, NM	DRAWN BY MR
	SITE PLAN - DETAILS	DATE 01/06/2026
		SHEET # <b>12</b>
RONALD R. BOHANNAN P.E. #7868	5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NEW MEXICO 87109 (505)858-3100	JOB # 2021133





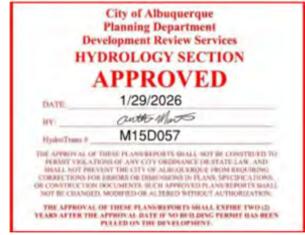
14 - GRADING PLAN - NORTH

15 - GRADING PLAN - SOUTH

**LEGEND**

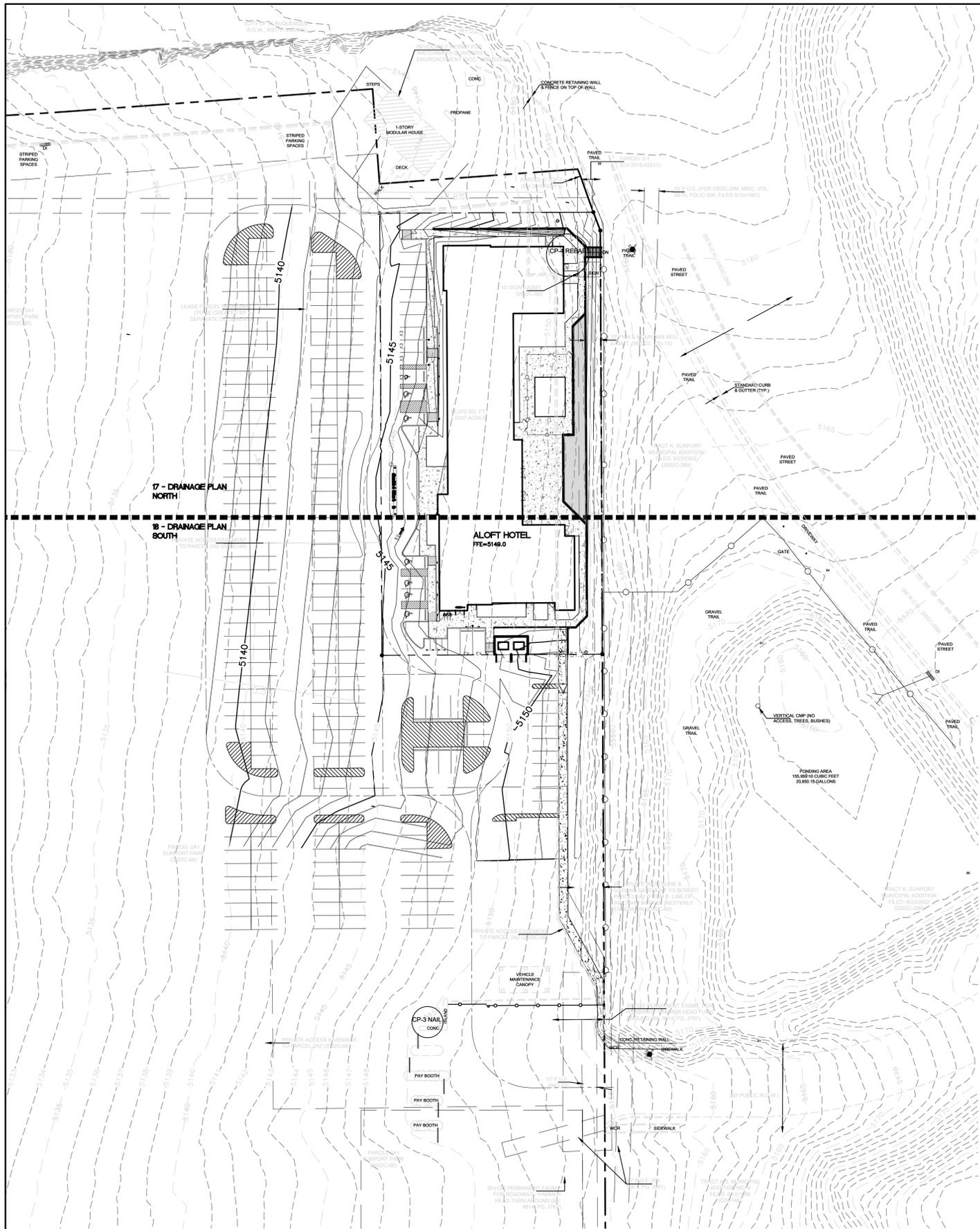
	CURB & GUTTER
	BOUNDARY LINE
	RIGHT-OF-WAY
	BUILDING
	PROPOSED SIDEWALK
	EXISTING CURB & GUTTER
	WATER BLOCK
	LANDSCAPING
	EXISTING INDEX CONTOUR
	EXISTING CONTOUR
	EXISTING STORM SEWER
	EXISTING INDEX CONTOUR
	EXISTING CONTOUR
	PROPOSED DROP INLET
	TRENCH DRAIN GRATE
	PROPOSED SPOT ELEVATION

**CAUTION**  
 ALL EXISTING GRADES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL GRADES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



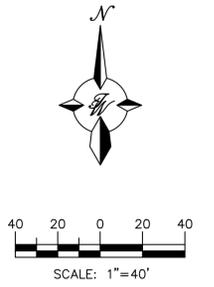
ENGINEER'S SEAL RONALD R. BOHANNON NEW MEXICO PROFESSIONAL ENGINEER 7868 01/06/2026 RONALD R. BOHANNON P.E. #7868	<b>ALOFT HOTEL ALBUQUERQUE, NM</b>  <b>GRADING PLAN - NORTH</b>  TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	DRAWN BY MR DATE 01/06/2026  SHEET # <b>14</b>  JOB # 2021133
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**LEGEND**

- CURB & GUTTER
- BOUNDARY LINE
- RIGHT-OF-WAY
- BUILDING
- PROPOSED SIDEWALK
- EXISTING CURB & GUTTER
- WATER BLOCK
- LANDSCAPING
- EXISTING INDEX CONTOUR
- EXISTING CONTOUR
- EXISTING STORM SEWER
- EXISTING INDEX CONTOUR
- EXISTING CONTOUR
- PROPOSED DROP INLET
- PROPOSED SPOT ELEVATION

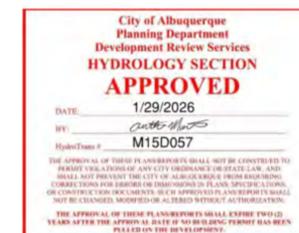


**EXISTING DRAINAGE:**

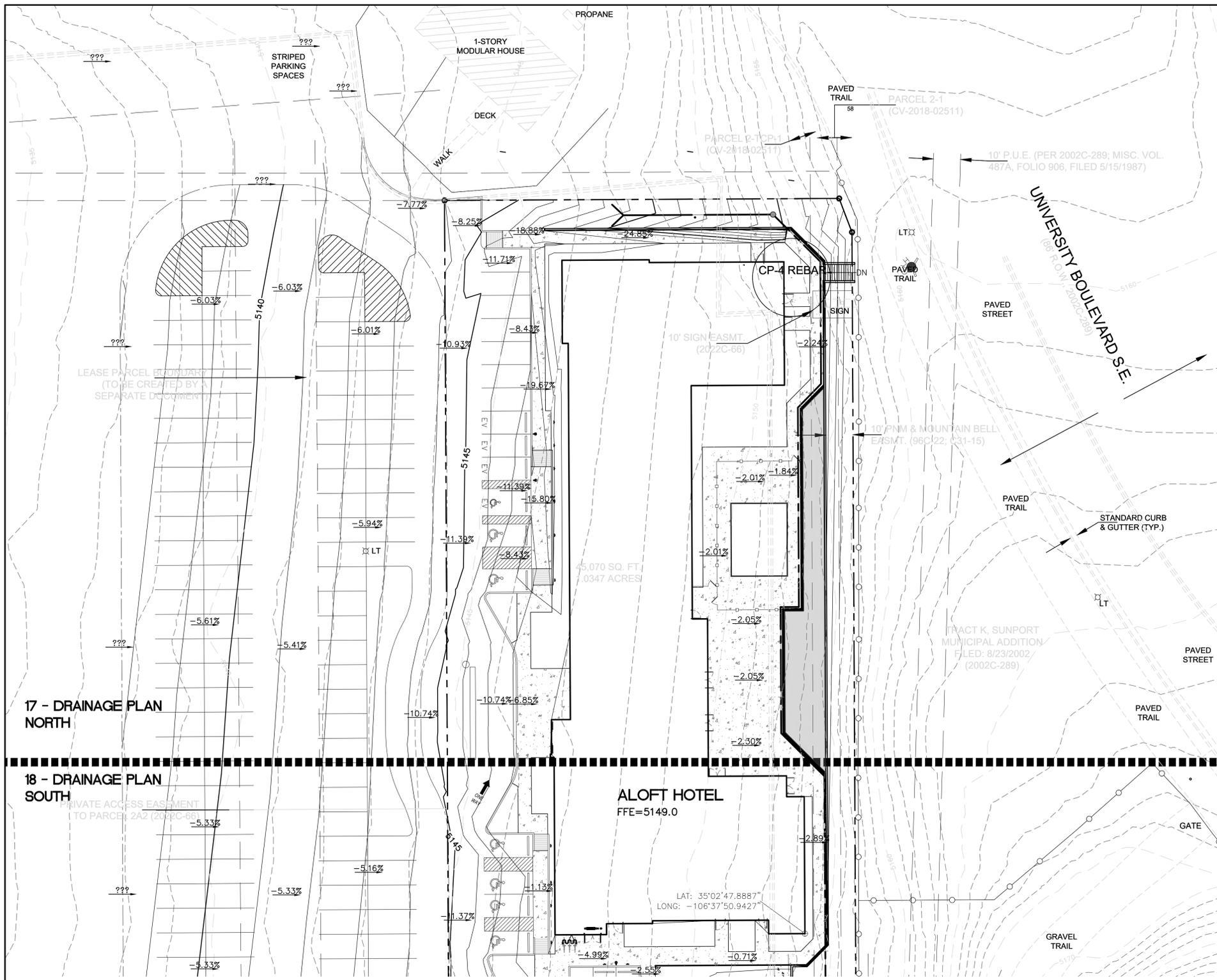
EXISTING: THE PROPOSED ALOFT HOTEL DEVELOPMENT IS LOCATED ON THE SOUTHWEST CORNER OF SUNPORT BLVD SE AND UNIVERSITY BLVD SE. THE ALOFT HOTEL SITE TOTALS 1.03 ACRES AND IS ZONED NR-BP. LEGALLY DESCRIBED AS PARCEL 2-A-2 PLAT OF PARCELS 2A1 AND 2A2 SUNPORT PARK SUBDIVISION (REPLAT OF PARCEL 2A, SUNPORT PARK) CONT 1.0347 AC. THE SITE IS BOUNDED BY SUNPORT BLVD TO THE NORTH, AN EXISTING LONG TERM PARKING FACILITY TO THE WEST AND SOUTH, AND A 2.22 ACRE CITY OF ALBUQUERQUE MAINTAINED DRAINAGE POND TO THE EAST WHICH IS ZONED NR-SU. THE EXISTING PARKING FILED SITE FLOWS DO A DRAINAGE POND TO THE WEST WHICH APPEARS TO SUBSEQUENTLY BE ROUTED VIA A 30" CULVERT UNDERNEATH I-25 WHERE IT DISCHARGES. USING PUBLICLY AVAILABLE TOPO OF THE SITE THE POND TO THE WEST HAS AN APPROXIMATE VOLUME OF 59,629.16 CF.

**PROPOSED DRAINAGE:**

PROPOSED: THE PROPOSED DEVELOPMENT IS LOCATED AT THE SW CORNER OF SUNPORT BLVD AND UNIVERSITY BLVD IT IS BORDERED TO THE EAST AND THE SOUTH BY THE EXISTING LONG TERM PARKING FACILITY. THE NEW DEVELOPMENT PROPOSES A NEW HOTEL SITE, RECONFIGURATION OF THE EXISTING PARKING LOT TO ACCOMMODATE THE NEW USE, NEW LANDSCAPING, NEW POOL, AND NEW SECONDARY EMERGENCY ACCESS FOR FIRE PROTECTION. THE HOTEL SITE IS 1.03 ACRES, WHILE THE OFFSITE BASINS THAT CONTRIBUTE TO THE SAME PONDING INLETS IS 15.09 ACRES FOR A TOTAL OF 13.12 ACRES. THE MAJORITY OF THE DRAINAGE IS PROPOSED TO CONTINUE TO SHEET FLOW (AS IT CURRENTLY DOES) OVER THE ASPHALT AND TO THE POND FACILITY LOCATED AT THE WESTERN EDGE OF THE LONG TERM PARKING FACILITY.



	<b>ALOFT HOTEL</b> <b>ALBUQUERQUE, NM</b>	DRAWN BY MR
	<b>DRAINAGE PLAN</b>	DATE 01/06/2026
	5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NEW MEXICO 87109 (505)858-3100	SHEET # <b>16</b>
RONALD R. BOHANNAN P.E. #7868	01/06/2026	JOB # 2021133



City of Albuquerque  
Planning Department  
Development Review Services  
**HYDROLOGY SECTION**  
**APPROVED**

DATE: 1/29/2026  
BY: *[Signature]*  
Hydrology #: M15D057

THE APPROVAL OF THESE PLANS AND SPECIFICATIONS SHALL NOT BE CONSIDERED TO BE A GUARANTEE OF ANY CITY ENGINEER OR DESIGNER. ANY AND ALL SHALL NOT PREVENT THE CITY OF ALBUQUERQUE FROM ENFORCEING CODES, ORDINANCES, AND REGULATIONS. THE CITY OF ALBUQUERQUE SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO PERSONS OR PROPERTY CAUSED BY THE CONSTRUCTION OF ANY STRUCTURE OR INFRASTRUCTURE. THE CITY OF ALBUQUERQUE SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO PERSONS OR PROPERTY CAUSED BY THE OPERATION OF ANY STRUCTURE OR INFRASTRUCTURE. THE APPROVAL OF THESE PLANS AND SPECIFICATIONS SHALL EXPIRE TWO (2) YEARS AFTER THE APPROVAL DATE IF NO SUBSEQUENT PERMIT HAS BEEN FILED BY THE DEVELOPER.

**LEGEND**

- CURB & GUTTER
- BOUNDARY LINE
- RIGHT-OF-WAY
- BUILDING
- PROPOSED SIDEWALK
- EXISTING CURB & GUTTER
- WATER BLOCK
- LANDSCAPING
- EXISTING INDEX CONTOUR
- EXISTING CONTOUR
- EXISTING STORM SEWER
- EXISTING INDEX CONTOUR
- EXISTING CONTOUR
- PROPOSED DROP INLET
- PROPOSED SPOT ELEVATION

SCALE: 1"=20'

**17 - DRAINAGE PLAN NORTH**

**18 - DRAINAGE PLAN SOUTH**

**ALOFT HOTEL**  
FFE=5149.0

LAT: 35°02'47.8887"  
LONG: -106°37'50.9427"

**EXISTING DRAINAGE:**

EXISTING: THE PROPOSED ALOFT HOTEL DEVELOPMENT IS LOCATED ON THE SOUTHWEST CORNER OF SUNPORT BLVD SE AND UNIVERSITY BLVD SE. THE ALOFT HOTEL SITE TOTALS 1.03 ACRES AND IS ZONED NR-BP. LEGALLY DESCRIBED AS PARCEL 2-A-2 PLAT OF PARCELS 2A1 AND 2A2 SUNPORT PARK SUBDIVISION (REPLAT OF PARCEL 2A, SUNPORT PARK) CONT 1.0347 AC. THE SITE IS BOUNDED BY SUNPORT BLVD TO THE NORTH, AN EXISTING LONG TERM PARKING FACILITY TO THE WEST AND SOUTH, AND A 2.22 ACRE CITY OF ALBUQUERQUE MAINTAINED DRAINAGE POND TO THE EAST WHICH IS ZONED NR-SU. THE EXISTING PARKING FILED SITE SLOPES EAST TO WEST AT AN AVERAGE SLOPE OF 5%. THE MAJORITY OF THE PARKING LOT SHEET FLOWS DO A DRAINAGE POND TO THE WEST WHICH APPEARS TO SUBSEQUENTLY BE ROUTED VIA A 30" CULVERT UNDERNEATH I-25 WHERE IT DISCHARGES. USING PUBLICLY AVAILABLE TOPO OF THE SITE THE POND TO THE WEST HAS AN APPROXIMATE VOLUME OF 59,629.16 CF.

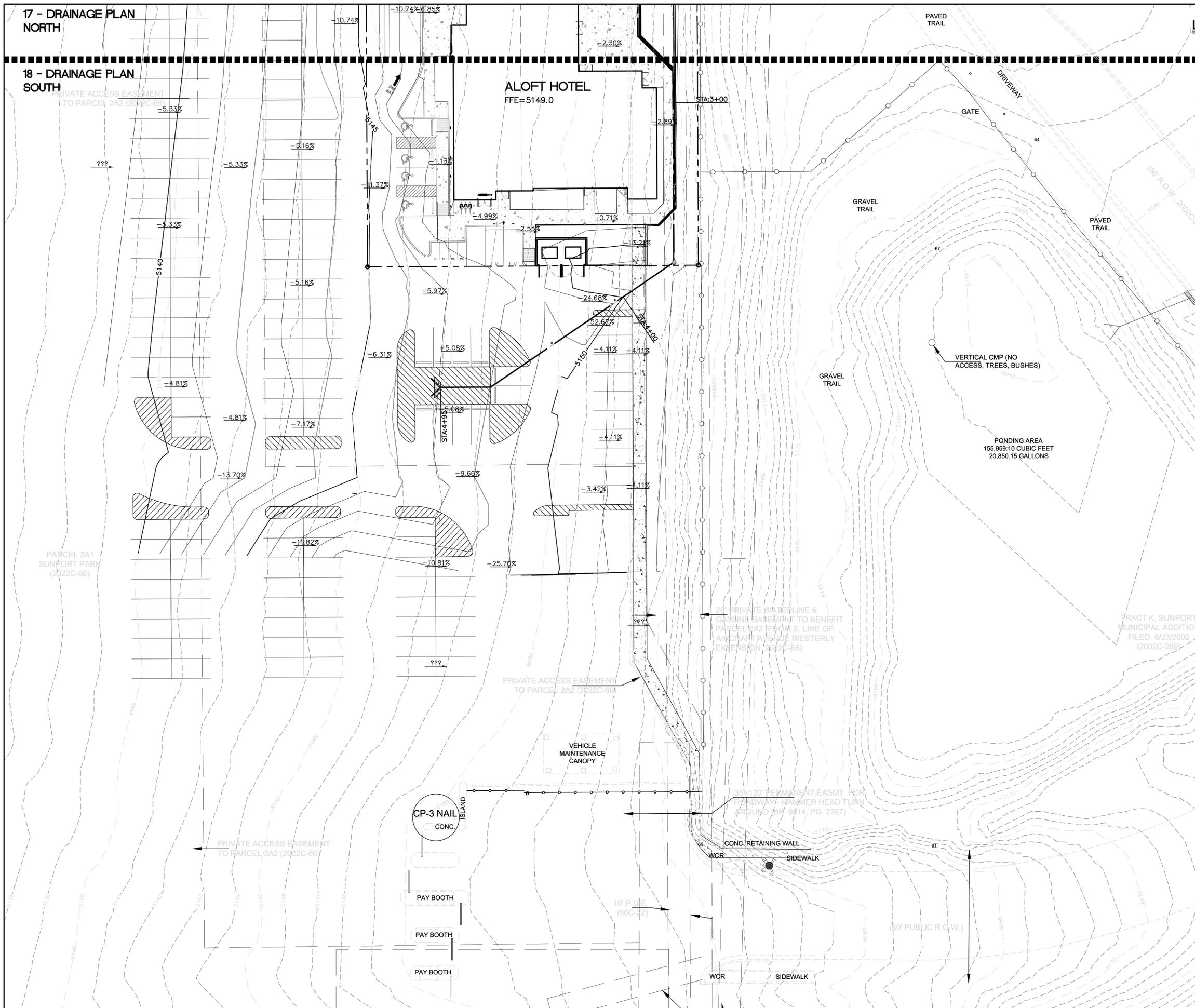
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	<b>ALOFT HOTEL</b> ALBUQUERQUE, NM	DRAWN BY MR
	<b>DRAINAGE PLAN NORTH</b>	DATE 01/06/2026
01/06/2026 RONALD R. BOHANNAN P.E. #7868	 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NEW MEXICO 87109 (505)858-3100	SHEET # <b>17</b>  JOB # 2021133

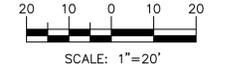
17 - DRAINAGE PLAN NORTH

18 - DRAINAGE PLAN SOUTH



LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- RIGHT-OF-WAY
- BUILDING
- PROPOSED SIDEWALK
- EXISTING CURB & GUTTER
- WATER BLOCK
- LANDSCAPING
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- PROPOSED SPOT ELEVATION



City of Albuquerque  
Planning Department  
Development Review Services  
**HYDROLOGY SECTION**  
**APPROVED**

DATE: 1/29/2026  
BY: *[Signature]*  
HydroTeam P: M15D057

THE APPROVAL OF THESE PLANS AND PERMITS SHALL NOT BE CONSIDERED TO BE A GUARANTEE OF ANY CITY ORDINANCE OR STATE LAW, AND SHALL NOT PREVENT THE CITY OF ALBUQUERQUE FROM ENFORCING ORDINANCE TERMS FOR BARRIERS OR OBSTRUCTIONS TO PLANS, SPECIFIC TO THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND SHALL NOT BE CHANGED, MODIFIED OR ALTERED WITHOUT AUTHORIZATION. THE APPROVAL OF THESE PLANS AND PERMITS SHALL EXPIRE TWO (2) YEARS AFTER THE APPROVAL DATE IF NO BUILDING PERMIT HAS BEEN FILED BY THE DEVELOPER.

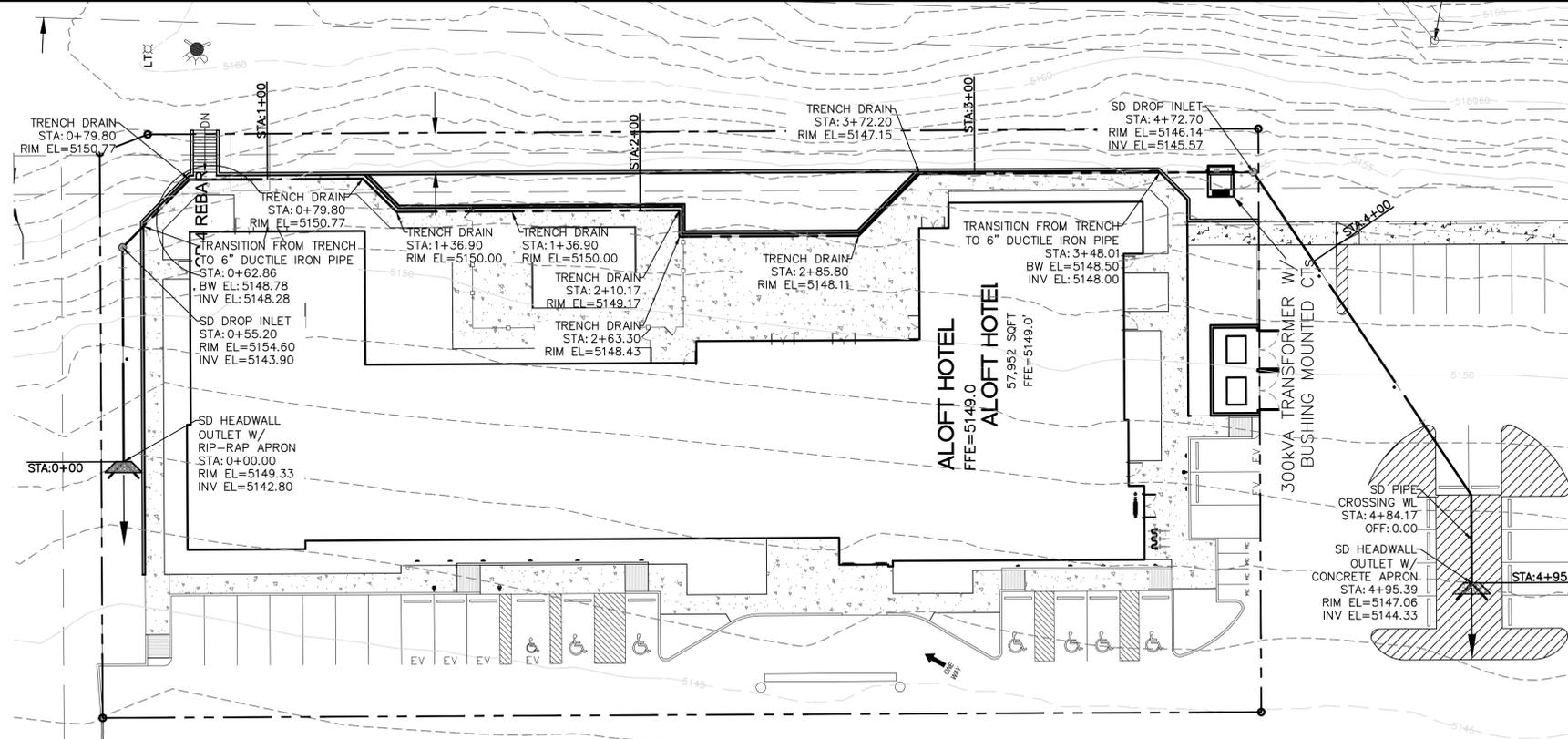
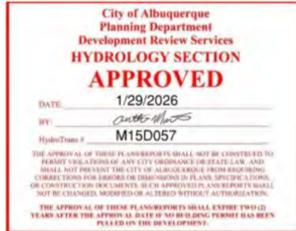
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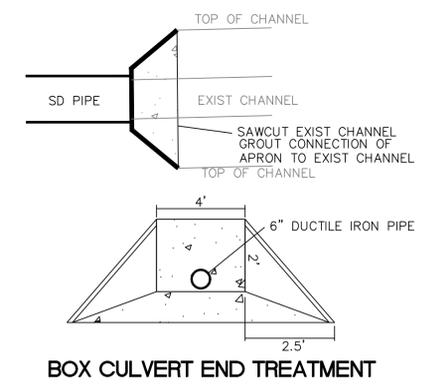
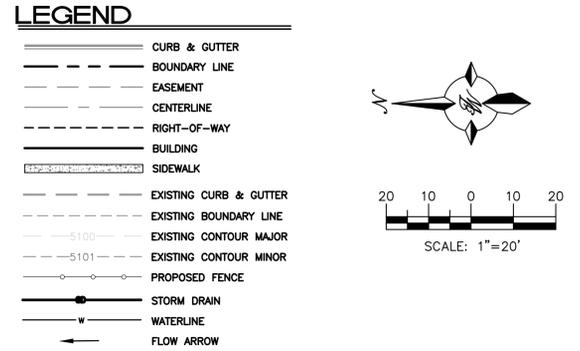
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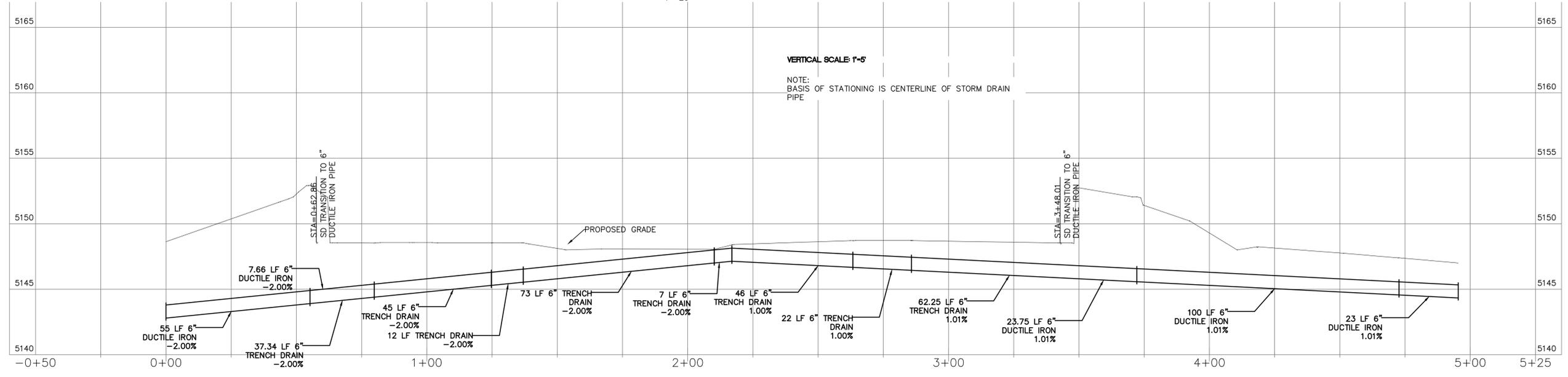
<p>RONALD R. BOHANNAN P.E. #7868</p>	<p>ALOFT HOTEL ALBUQUERQUE, NM</p>	<p>DRAWN BY MR</p>
	<p>DRAINAGE PLAN SOUTH</p>	<p>DATE 01/06/2026</p>
	<p>TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NEW MEXICO 87109 (505)858-3100</p>	<p>SHEET # <b>18</b></p>
<p>JOB # 2021133</p>		



**STORM DRAIN PLAN DETAIL**  
1"=20'



**BOX CULVERT END TREATMENT**



**STORM DRAIN PROFILE**  
1"=20'

**NOTICE TO CONTRACTORS**

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HERON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE COMPACTED TO A MINIMUM OF 95% MAXIMUM DENSITY AND CONFORM TO NM DOT SPECIFICATION 2019 WHEN IN DOT ROW.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
8. THE PROPOSED DEVELOPMENT REQUIRES AN APPROVED BACKFLOW PREVENTION DEVICE TO BE INSTALLED PRIOR TO WATER SERVICE BEING PROVIDED. AN INSPECTION BY THE WATER AUTHORITY CROSS CONNECTION SECTION WILL BE REQUIRED PRIOR TO ISSUING A METER PROVIDING WATER TO THE DEVELOPMENT. PLEASE CONTACT THE CROSS CONNECTION INSPECTOR TO COORDINATE AN INSPECTION AT 505-289-3465 OR CROSS CONNECTION MANAGER AT 505-289-3454 FOR MORE INFORMATION.

**GENERAL NOTES:**

1. 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS NOTED.
2. REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATION.
3. ALL STUBS AND UTILITY LOCATIONS MUST BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
4. CLEAN OUTS TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
5. CLEAN OUTS & MANHOLE TIE POINTS ARE TAKEN USING THE NW PROPERTY CORNER X=10,000, Y=10,000 SEE TABLE 2.
6. SEE ARCHITECTURAL PLANS FOR LIGHTING CONDUITS AND TELEPHONE LINES.
7. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.

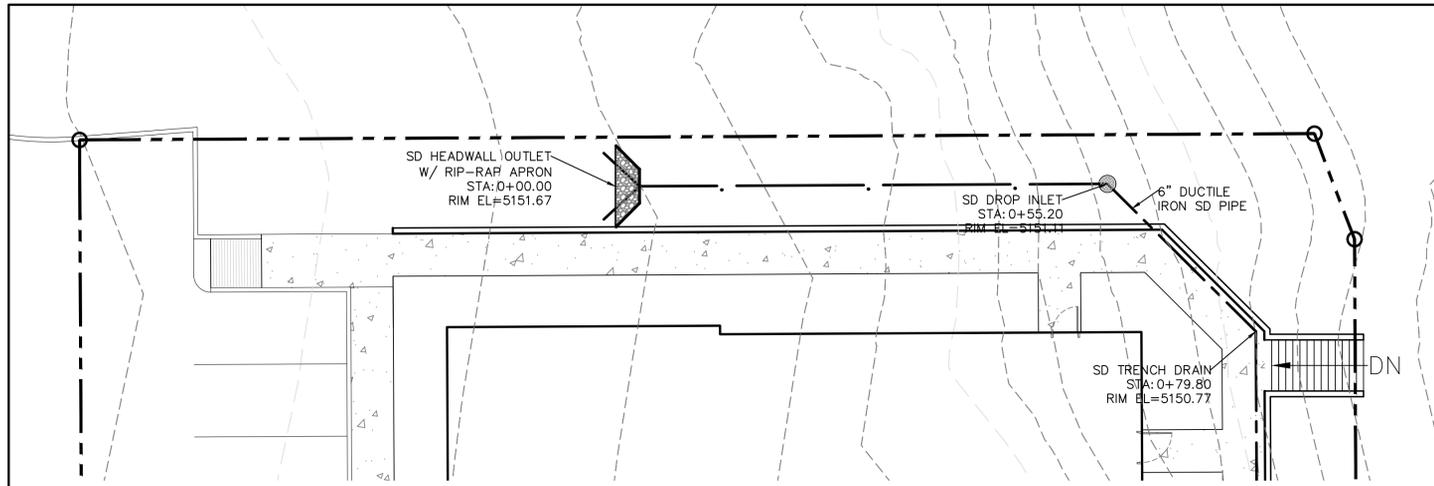
**NOTES**

1. SEE MASTER UTILITY PLAN FOR SANITARY SEWER SERVICE CONNECTION DETAILS.
2. ALL FIRE HYDRANTS ARE TO BE BUILT PER C.O.A. STD DWG #2340 W/BLOCKING
3. ALL EXISTING UTILITY CONNECTION LOCATIONS AND INVERTS MUST BE FIELD VERIFIED PRIOR TO AND CONSTRUCTION OF UTILITIES.
4. SEE SHEET -- FOR RESTRAINING TABLE

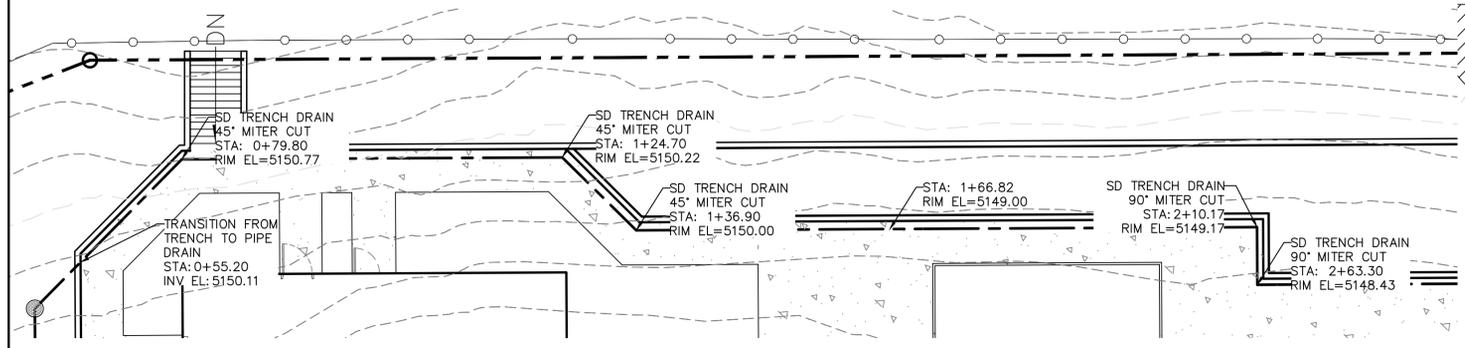
**CAUTION**

EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

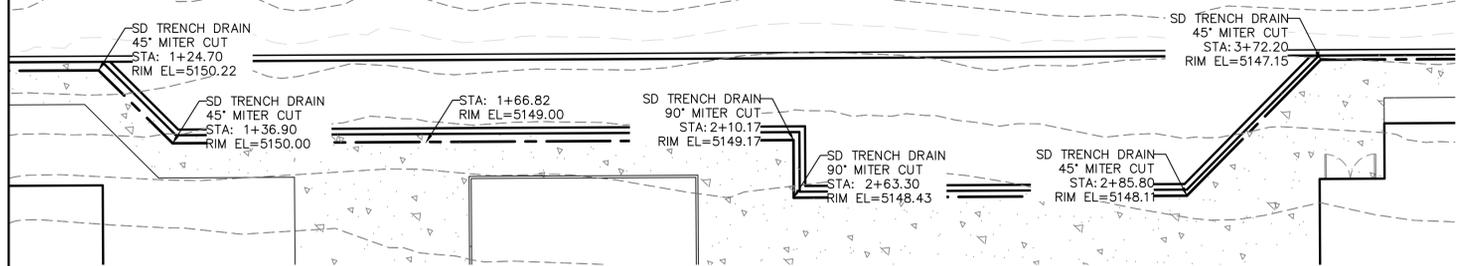
	<b>ALLOFT HOTEL</b> ALBUQUERQUE, NM	DRAWN BY MR
	<b>STORM DRAIN PLAN AND PROFILE</b>	DATE 01/06/2026
01/06/2026 RONALD R. BOHANNAN P.E. #7868	5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NEW MEXICO 87109 (505)858-3100	SHEET # <b>19</b> JOB # 2021133



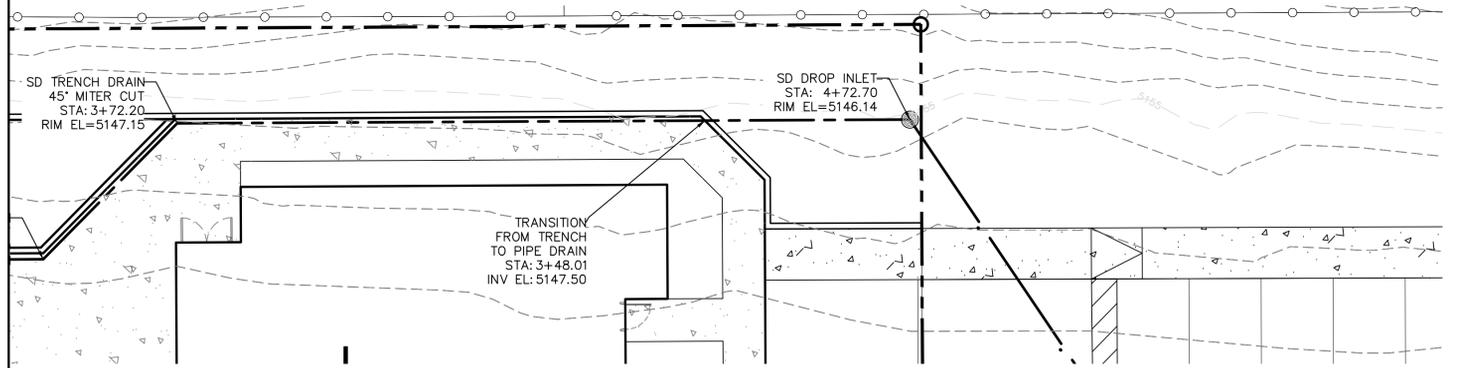
**DETAIL A-A - ON-SITE STORM DRAIN SYSTEM**  
1"=10'



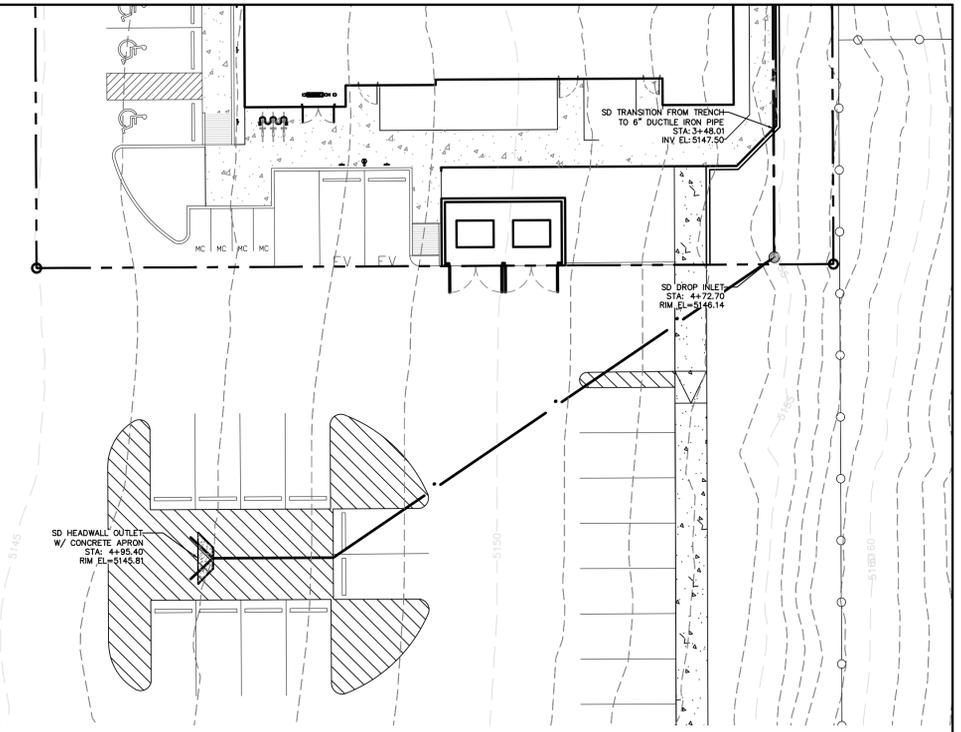
**DETAIL B-B - ON-SITE STORM DRAIN SYSTEM**  
1"=10'



**DETAIL C-C - ON-SITE STORM DRAIN SYSTEM**  
1"=10'

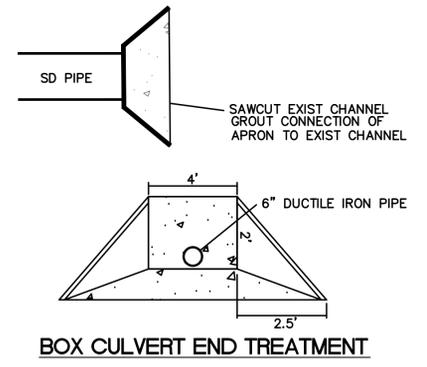


**DETAIL D-D - ON-SITE STORM DRAIN SYSTEM**  
1"=10'



**DETAIL E-E - ON-SITE STORM DRAIN SYSTEM**  
1"=10'

- LEGEND**
- CURB & GUTTER
  - BOUNDARY LINE
  - - - EASEMENT
  - - - CENTERLINE
  - - - RIGHT-OF-WAY
  - ▭ BUILDING
  - ▭ SIDEWALK
  - - - EXISTING CURB & GUTTER
  - - - EXISTING BOUNDARY LINE
  - - - PROPOSED FENCE
  - STORM DRAIN
  - - - WATERLINE



City of Albuquerque  
Planning Department  
Development Review Services  
**HYDROLOGY SECTION**  
**APPROVED**  
DATE: 1/29/2026  
BY: *[Signature]*  
Hydrology #: M15D057

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ENGINEER'S SEAL  
RONALD R. BOHANNAN  
NEW MEXICO  
7868  
PROFESSIONAL ENGINEER  
*[Signature]*  
01/06/2026  
RONALD R. BOHANNAN  
P.E. #7868

ALOFT HOTEL  
ALBUQUERQUE, NM  
**STORM DRAIN DETAIL VIEWS**

TERRA WEST, LLC  
5571 MIDWAY PARK PLACE NE  
ALBUQUERQUE, NEW MEXICO 87109  
(505)858-3100

DRAWN BY  
MR  
DATE  
01/06/2026

SHEET #  
**20**

JOB #  
2021133

**PROPOSED**

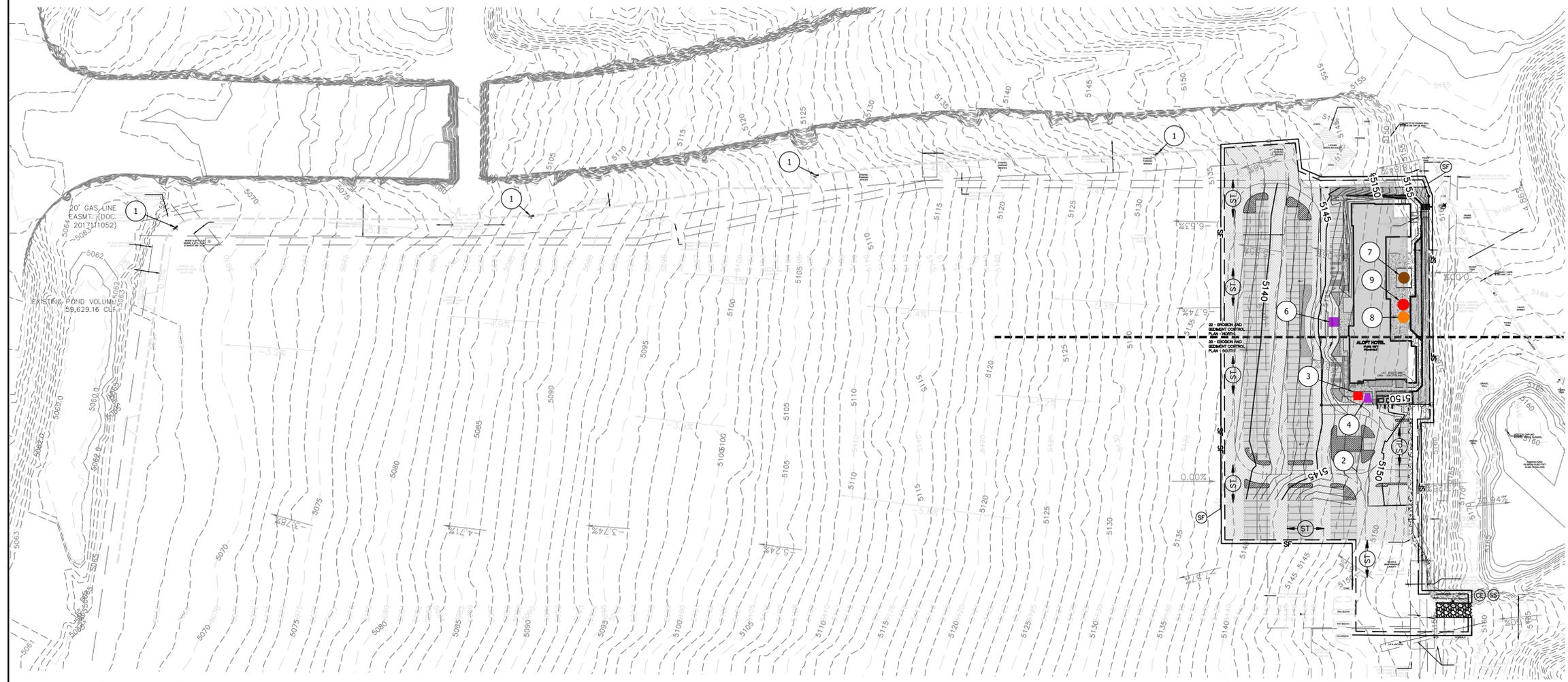
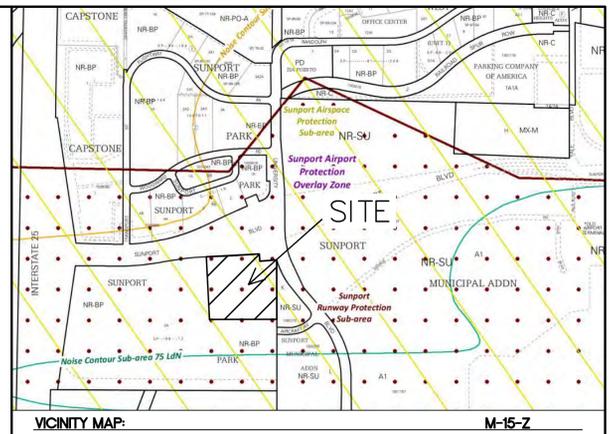
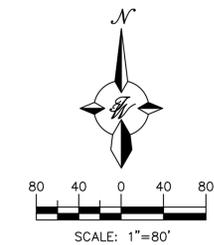
- XXXX--- EXISTING CONTOUR ELEVATIONS
- S--- STORM DRAIN
- X.XX% DIRECTION OF OVERLAND FLOW W/ GRADE
- ← LIMITS OF DRAINAGE SUB-BASIN
- LIMITS OF DISTURBANCE
- SILT FENCE

**EROSION NOTES**

- PS PERMANENT SEEDING
- TPS TEMPORARY PARKING AND STORAGE
- PROVIDE BARRICADE AT ALL ENTRANCE LOCATIONS W/O TEMP STONE CONSTRUCTION EXIT
- CE CONSTRUCTION ENTRANCE/TRACKING OUT CONTROL
- SS SWPPP SIGN
- SF SILT FENCE

**EROSION DETAILS**

- AV ANTI-VORTEX DEVICE
- CD ROCK CHECK DAM
- CE STABILIZED CONSTRUCTION EXIT
- DD TEMPORARY DIVERSION DIKE
- DS DEWATERING SYSTEM / STRUCTURE
- SF TEMPORARY SILT FENCE
- ST TEMPORARY SEDIMENT TRAP
- IP1 BLOCK AND AGGREGATE INLET SEDIMENT FILTER
- IP3 GRAVEL AND WIRE MESH INLET SEDIMENT FILTER
- IP5 GRAVEL CURB INLET SEDIMENT FILTER
- IP6 SILT FENCE INLET PROTECTION
- OP1 OUTLET PROTECTION RIP-RAP PAD (SEE SIZE THIS SHEET)
- EOL PERMANENT EROSION CONTROL LINING
- SB TEMPORARY SEDIMENT BASIN



**LEGEND**

- 6" HEADER CURB
- BOUNDARY LINE
- EASEMENT
- ACCESS CENTERLINE
- BUILDING
- EXISTING CURB & GUTTER
- STABILIZED CONSTRUCTION EXIT
- LIMITS OF DISTURBANCE
- SF SILT FENCE
- ▲ PORTABLE CONCRETE WASHOUT BIN WITH SIGN (1)
- PORTABLE TOILET (1)
- STOCKPILE (1)
- MATERIAL STORAGE (1)
- SPILL KIT (1)
- DUMPSTER (1)
- LIGHT TRAFFIC ASPHALT
- HEAVY TRAFFIC ASPHALT
- DEMO EXISTING ASPHALT

**KEYED NOTES**

- ① CURB INLET PROTECTION, SEE DETAIL ON SHEET 25 - EROSION CONTROL DETAILS
- ② CONSTRUCTION EXIT (CE) AND TRACK OUT CONTROL TO BE MADE FROM 2-3" COURSE AGGREGATE, AT 6" DEEP
- ③ PORTABLE TOILET - WITHIN SECONDARY CONTAINMENT SYSTEM IF ON IMPERVIOUS SURFACES (1)
- ④ PORTABLE CONCRETE WASHOUT BIN W/ SIGN
- ⑤ NOT USED
- ⑥ DUMPSTER (1)
- ⑦ STOCKPILES (1)
- ⑧ SPILL KIT (1)
- ⑨ MATERIAL STORAGE (1)

**SEQUENCE OF CONSTRUCTION:**

1. INSTALL STABILIZED CONSTRUCTION ENTRANCES
2. POST PUBLIC NOTICE PER DETAILS
3. INSTALL DOWN GRADIENT PERIMETER CONTROLS
4. THE ENTIRE SITE WILL BE GRADED TO DRAIN TO THE PROPOSED PONDS AT ALL TIMES DURING CONSTRUCTION. INSTALL SEDIMENT BASINS PRIOR TO CLEARING REST OF THE SITE.
5. NOTIFY SWPPP COMPLIANCE INSPECTOR OF COMPLETION OF ABOVE.
6. BEGIN SOIL DISTURBING ACTIVITIES
7. PROVIDE TEMPORARY STABILIZATION OF DISTURBED AREAS OR STOCKPILES
8. INSTALL UNDERGROUND UTILITIES
9. START CONSTRUCTION OF HOTEL
10. FINISH GRADING THE SITE
11. PAVE COMMON ACCESS DRIVE AISLES AND SIDEWALKS
12. INSTALL LANDSCAPING ON SITE.

**GROUND COVER (PRE-CONSTRUCTION)**

THE UNDISTURBED AND PRE-CONSTRUCTION GROUND COVER CONSISTS OF UNCOMPACTED SOIL WITH NATIVE GRASSES, WEEDS, AND SHRUBS WITH MINIMAL TO NO DISTURBANCES TO GRADING.

**SWPPP PURPOSE**

THE PURPOSE OF THIS SWPPP IS TO APPLY SWPPP CONTROLS THAT ARE REQUIRED DURING DEVELOPMENT OF SITE AND PUBLIC RIGHT OF WAYS.

**STORMWATER TEAM MEMBERS**

BMP INSTALLATION, MAINTENANCE AND CORRECTIVE ACTIONS

PHONE \_\_\_\_\_  
 EMAIL \_\_\_\_\_

INSPECTIONS NAME \_\_\_\_\_  
 PHONE \_\_\_\_\_  
 EMAIL \_\_\_\_\_

**LIST OF OPERATORS**

OPERATOR 1 NAME \_\_\_\_\_  
 PHONE \_\_\_\_\_  
 EMAIL \_\_\_\_\_

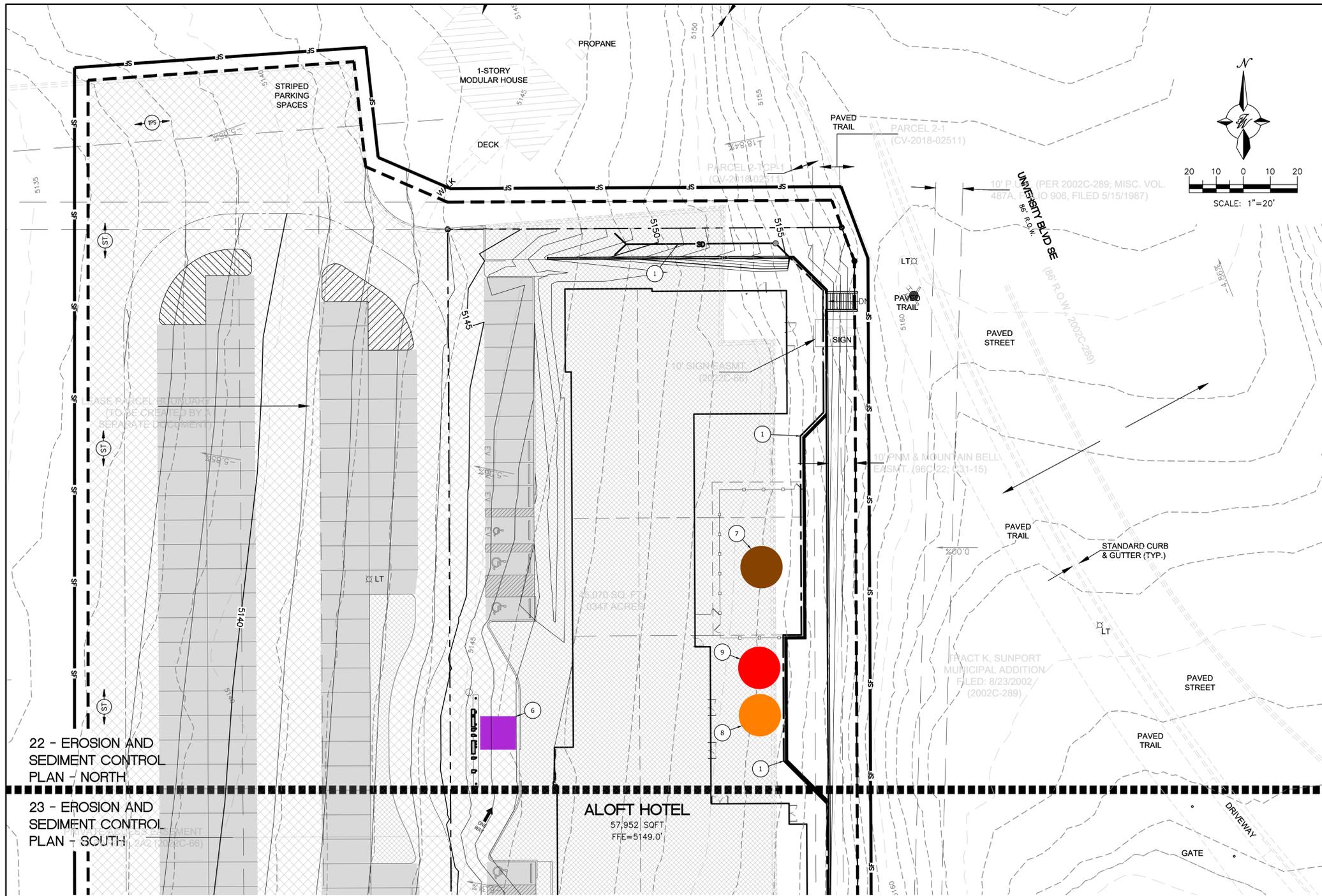
OPERATOR 2 NAME \_\_\_\_\_  
 PHONE \_\_\_\_\_  
 EMAIL \_\_\_\_\_

OPERATOR 3 NAME \_\_\_\_\_  
 PHONE \_\_\_\_\_  
 EMAIL \_\_\_\_\_

**GENERAL NOTES:**

- PHASE 1: FIRST PHASE OF CONSTRUCTION WILL BE LIMITED TO DEMOLITION OF THE ASPHALT AT THE BUILDING PAD AND UTILITY TRENCHES.
- PHASE 2: REMAINING DEMOLITION/REMOVAL OF ASPHALT FOR BALANCE OF SITE GRADING ACTIVITIES.

	ALOFT HOTEL ALBUQUERQUE, NM <b>EROSION AND SEDIMENT CONTROL PLAN</b>	DRAWN BY MR DATE 01/06/2026
	TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NEW MEXICO 87109 (505)858-3100	SHEET # <b>21</b> JOB # 2021133



**LEGEND**

- 6" HEADER CURB
- - - BOUNDARY LINE
- - - EASEMENT
- - - ACCESS CENTERLINE
- BUILDING
- - - EXISTING CURB & GUTTER
- ▨ STABILIZED CONSTRUCTION EXIT
- - - LIMITS OF DISTURBANCE
- SF SILT FENCE
- ▲ PORTABLE CONCRETE WASHOUT BIN WITH SIGN (1)
- PORTABLE TOILET (1)
- STOCKPILE (1)
- MATERIAL STORAGE (1)
- SPILL KIT (1)
- DUMPSTER (1)
- ▨ LIGHT TRAFFIC ASPHALT
- ▨ HEAVY TRAFFIC ASPHALT
- ▨ DEMO EXISTING ASPHALT

**KEYED NOTES**

- ① PROPOSED STORM TRENCH DRAIN, SEE SHEETS 16 – DRAINAGE PLAN AND SHEET 19 – STORM DRAIN PLAN AND PROFILE FOR DETAILS
- ② NOT USED
- ③ NOT USED
- ④ NOT USED
- ⑤ NOT USED
- ⑥ DUMPSTER (1)
- ⑦ STOCKPILES (1)
- ⑧ SPILL KIT (1)
- ⑨ MATERIAL STORAGE (1)

**SEQUENCE OF CONSTRUCTION:**

1. INSTALL STABILIZED CONSTRUCTION ENTRANCES
2. POST PUBLIC NOTICE PER DETAILS
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4. THE ENTIRE SITE WILL BE GRADED TO DRAIN TO THE PROPOSED PONDS AT ALL TIMES DURING CONSTRUCTION. INSTALL SEDIMENT BASINS PRIOR TO CLEARING REST OF THE SITE.
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8. INSTALL UNDERGROUND UTILITIES
9. START CONSTRUCTION OF HOTEL
10. FINISH GRADING THE SITE
11. PAVE COMMON ACCESS DRIVE AISLES AND SIDEWALKS
12. INSTALL LANDSCAPING ON SITE.

22 - EROSION AND SEDIMENT CONTROL PLAN - NORTH

23 - EROSION AND SEDIMENT CONTROL PLAN - SOUTH

**PROPOSED**

- XXXX— EXISTING CONTOUR ELEVATIONS
- S— STORM DRAIN
- X.XX% DIRECTION OF OVERLAND FLOW W/ GRADE
- ← LIMITS OF DRAINAGE SUB-BASIN
- - - LIMITS OF DISTURBANCE
- SF SILT FENCE

**EROSION NOTES**

- PS PERMANENT SEEDING
- TPS TEMPORARY PARKING AND STORAGE
- PROVIDE BARRICADE AT ALL ENTRANCE LOCATIONS W/O TEMP STONE CONSTRUCTION EXIT
- CE CONSTRUCTION ENTRANCE/TRACKING OUT CONTROL
- SS SWPPP SIGN
- SF SILT FENCE

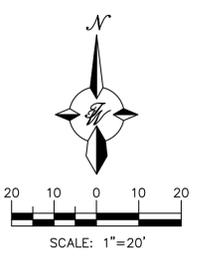
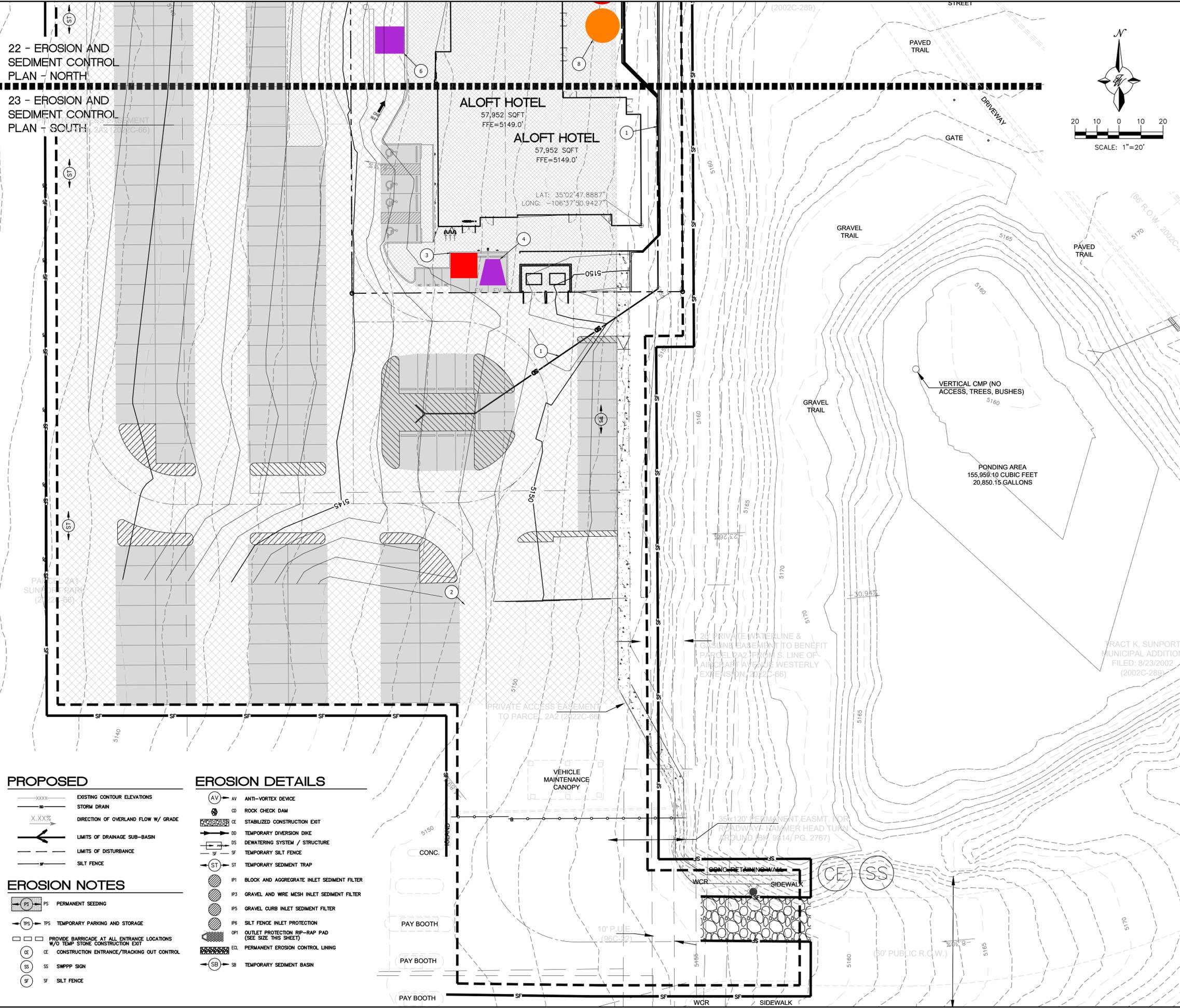
**EROSION DETAILS**

- AV ANTI-VORTEX DEVICE
- CD ROCK CHECK DAM
- CE STABILIZED CONSTRUCTION EXIT
- DD TEMPORARY DIVERSION DIKE
- DS DEWATERING SYSTEM / STRUCTURE
- SF TEMPORARY SILT FENCE
- ST TEMPORARY SEDIMENT TRAP
- IP1 BLOCK AND AGGREGATE INLET SEDIMENT FILTER
- IP3 GRAVEL AND WIRE MESH INLET SEDIMENT FILTER
- IP5 GRAVEL CURB INLET SEDIMENT FILTER
- IP6 SILT FENCE INLET PROTECTION
- OP1 OUTLET PROTECTION RIP-RAP PAD (SEE SIZE THIS SHEET)
- EC1 PERMANENT EROSION CONTROL LINING
- SB TEMPORARY SEDIMENT BASIN

	<b>ALOFT HOTEL</b> ALBUQUERQUE, NM <b>EROSION AND SEDIMENT CONTROL PLAN - NORTH</b>	DRAWN BY MR
	01/06/2026	DATE 01/06/2026
01/06/2026	<b>TERRA WEST, LLC</b> 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NEW MEXICO 87109 (505)858-3100	SHEET # <b>22</b>
RONALD R. BOHANNAN P.E. #7868		JOB # 2021133

22 - EROSION AND SEDIMENT CONTROL PLAN - NORTH

23 - EROSION AND SEDIMENT CONTROL PLAN - SOUTH



### LEGEND

	6" HEADER CURB
	BOUNDARY LINE
	EASEMENT
	ACCESS CENTERLINE
	BUILDING
	EXISTING CURB & GUTTER
	STABILIZED CONSTRUCTION EXIT
	LIMITS OF DISTURBANCE
	SILT FENCE
	PORTABLE CONCRETE WASHOUT BIN WITH SIGN (1)
	PORTABLE TOILET (1)
	STOCKPILE (1)
	MATERIAL STORAGE (1)
	SPILL KIT (1)
	DUMPSTER (1)
	LIGHT TRAFFIC ASPHALT
	HEAVY TRAFFIC ASPHALT
	DEMO EXISTING ASPHALT

- ### KEYED NOTES
1. PROPOSED STORM DRAIN, SEE SHEETS 16 - DRAINAGE PLAN AND SHEET 19 - STORM DRAIN PLAN AND PROFILE FOR DETAILS
  2. CONSTRUCTION EXIT (CE) AND TRACK OUT CONTROL TO BE MADE FROM 2-3" COURSE AGGREGATE, AT 6" DEEP
  3. PORTABLE TOILET - WITHIN SECONDARY CONTAINMENT SYSTEM IF ON IMPERVIOUS SURFACES (1)
  4. PORTABLE CONCRETE WASHOUT BIN W/ SIGN
  5. NOT USED
  6. DUMPSTER (1)
  7. NOT USED
  8. SPILL KIT (1)
  9. NOT USED

- ### SEQUENCE OF CONSTRUCTION:
1. INSTALL STABILIZED CONSTRUCTION ENTRANCES
  2. POST PUBLIC NOTICE PER DETAILS
  3. INSTALL DOWN GRADIENT PERIMETER CONTROLS
  4. THE ENTIRE SITE WILL BE GRADED TO DRAIN TO THE PROPOSED PONDS AT ALL TIMES DURING CONSTRUCTION. INSTALL SEDIMENT BASINS PRIOR TO CLEARING REST OF THE SITE.
  5. NOTIFY SWPPP COMPLIANCE INSPECTOR OF COMPLETION OF ABOVE.
  6. BEGIN SOIL DISTURBING ACTIVITIES
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  8. INSTALL UNDERGROUND UTILITIES
  9. START CONSTRUCTION OF HOTEL
  10. FINISH GRADING THE SITE
  11. PAVE COMMON ACCESS DRIVE AISLES AND SIDEWALKS
  12. INSTALL LANDSCAPING ON SITE.

### PROPOSED

	EXISTING CONTOUR ELEVATIONS
	STORM DRAIN
	DIRECTION OF OVERLAND FLOW W/ GRADE
	LIMITS OF DRAINAGE SUB-BASIN
	LIMITS OF DISTURBANCE
	SILT FENCE

### EROSION NOTES

	PS PERMANENT SEEDING
	TPS TEMPORARY PARKING AND STORAGE
	PROVIDE BARRICADE AT ALL ENTRANCE LOCATIONS W/O TEMP STONE CONSTRUCTION EXIT
	CE CONSTRUCTION ENTRANCE/TRACKING OUT CONTROL
	SS SWPPP SIGN
	SF SILT FENCE

### EROSION DETAILS

	AV ANTI-VORTEX DEVICE
	CD ROCK CHECK DAM
	CE STABILIZED CONSTRUCTION EXIT
	DD TEMPORARY DIVERSION DIKE
	DS DEWATERING SYSTEM / STRUCTURE
	SF TEMPORARY SILT FENCE
	ST TEMPORARY SEDIMENT TRAP
	IP1 BLOCK AND AGGREGATE INLET SEDIMENT FILTER
	IP3 GRAVEL AND WIRE MESH INLET SEDIMENT FILTER
	IP5 GRAVEL CURB INLET SEDIMENT FILTER
	IP6 SILT FENCE INLET PROTECTION
	OP1 OUTLET PROTECTION RIP-RAP PAD (SEE SIZE THIS SHEET)
	ECL PERMANENT EROSION CONTROL LINING
	SB TEMPORARY SEDIMENT BASIN

	<b>ALOFT HOTEL</b> ALBUQUERQUE, NM <b>EROSION AND SEDIMENT CONTROL PLAN - SOUTH</b>	DRAWN BY MR DATE 01/06/2026
	5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NEW MEXICO 87109 (505)858-3100	SHEET # <b>23</b> JOB # 2021133

**STORM WATER POLLUTION PREVENTION PLAN**

**A. SITE DESCRIPTION**

1. See vicinity map on grading plan for location and legal description. The site will require grading in accordance with the attached Grading and Drainage Plan.

2. The first major activities that will disturb the soil will consist of the clearing and grubbing the site. After clearing and grubbing are complete, the site will be graded. The site will consist of both cut and fill areas.

3. The total area of disturbance for this commercial development is as shown on the Grading Plan, but greater than 5 acres. Clearing, grading and construction of the site shall proceed in accordance with the general notes on the site, grading, landscape and erosion control plans.

4. The estimated runoff coefficients of the site, before and after construction activities, are shown in the Grading and Drainage Plan. The new site is unimproved and covered with native grass.

5. A Grading Plan, Landscape Plan and Erosion Control Plan are included as part of this Storm Water Pollution Prevention Plan. All drainage patterns, areas of soil disturbance, structural controls, and nonstructural controls will be shown on those plans.

**B. SEQUENCE OF CONSTRUCTION**

1. Install stabilized construction entrances.
2. Prepare temporary parking and storage area.
3. Construct the silt fences and straw bale barriers as necessary
4. Clear and grub the site.
5. Begin grading the site.
6. Start construction of building.
7. Install utilities and curbs and gutters.
8. Install inlet and outlet protection devices.
9. Prepare site for paving.
10. Pave site.
11. Complete grading and install permanent seeding and planting or surface treatment as approved.
12. Remove all temporary erosion and sediment control devices (only if site is stabilized). The site is stabilized when all soil disturbing activities are completed and a landscaped cover for unpaved areas, and areas not covered by permanent structures, has been employed.

Note: The contractor shall be responsible for implementing, restoring and/or revising the temporary sediment and erosion control measures (silt fences, straw bale barriers, etc.) As necessary during construction to help prevent soil erosion and storm water pollution.

**C. CONTROLS**

1. Erosion and Sediment Controls  
 "The City has accepted establishment of natural vegetation as a stabilization method. Once the stand of natural vegetation has been established it is considered stabilized and in lieu of established vegetation the contractor can place 2 inches of 3/4 inch gravel mulch with an approved hydro-seeding mixture on slopes for permanent protection"

A. Stabilization Practices  
 1. Temporary Seeding: Disturbed areas where construction has temporarily ceased must be stabilized within fourteen (14) days of the last disturbance. Areas that will again be disturbed within twenty-one (21) days do not have to be stabilized.

2. Permanent Stabilization: Disturbed portions of the site where construction activity has permanently stopped shall be permanently seeded as required. These areas shall be seeded no later than 14 days after the last construction activity in that area. Refer to the Grading Plan and Specifications for details.

**B. STRUCTURAL PRACTICES**

1. Silt Fence: Silt fences shall be placed and constructed in accordance with the Grading and Erosion Control Plan.

2. Straw Bale Barriers: Straw bale barriers shall be placed and constructed in accordance with the Grading and Erosion Control Plan.

3. Inlet and Outlet Protection: Inlet and Outlet protection shall be installed at proposed detention pond inlets and curb opening outlets in accordance with the Grading and Erosion Control Plan.

4. Rock Outlet Protection: Hand placed rip-rap pads shall be provided at discharge points in accordance with the Grading and Erosion Control Plan. These rip-rap pads shall be placed as soon as practicable.

5. Slope Protection: Brow ditches to be installed at the top and toe of slopes as shown on the Grading Plan. All slopes to be stabilized with Sod, Straw, Mulch or an approved wire or jute mat or combination of the above. Hydro seed slopes as required.

6. Drainage Systems: All Drainage systems are to be installed per the approved Grading Plan and any subsequently approved document. All drainage systems are to be protected in place.

**2. Other Controls**

A. Temporary Construction Entrances: Off-site vehicle tracking of sediment shall be controlled by providing temporary gravel construction entrances. When the action of vehicles traveling over the gravel construction entrances is not sufficient in removing the majority of the mud, the tires must be washed before the vehicles enter a public road. When off-site tracking occurs, the deposits shall be removed from the roads.

B. Temporary Parking and Storage: A temporary parking and storage area (gravel base) shall be established on the site. The temporary parking and storage area shall also be used as the equipment maintenance area, equipment cleaning area, employee break area, and area for locating portable facilities, office trailers, and toilet facilities.

C. Dust Control: Dust on the site shall be minimized by sprinkling water on dry areas of the site. The use of motor oils and other petroleum based toxic liquids for dust suppression operations are prohibited.

D. Construction Waste: All construction waste and trash (paper, plastic, wood, scrap metals, rubber, etc.) Shall be collected and stored in containers with lids or covers that can be placed over the container prior to rainfall. This waste shall be disposed of according to state and local solid waste management regulations.

E. Hazardous Waste: All hazardous waste (paints, acids for cleaning masonry surfaces, cleaning solvents, concrete curing compounds and additives, etc.) shall be disposed of according to local, state, and federal regulations.

F. Sanitary Waste: Sanitary waste that is generated on the site shall be disposed of in accordance with local and state regulations.

G. Concrete Truck Waste: Excess concrete and wash water shall be disposed of in a manner that prevents contact between these materials and storm water that is discharged from the site.

H. Vehicle and Equipment Cleaning: Wash water generated from vehicle and equipment cleaning shall be disposed of in a manner that prevents contact between these materials and storm water that is discharged from the site.

**D. MATERIAL MANAGEMENT**

1. Petroleum Products: All on-site vehicles shall be monitored for leaks and receive regular preventive maintenance to reduce the chance of leakage. Petroleum products (oils, gasoline, lubricants, asphaltic substances, etc.) shall be stored in tightly sealed containers which are clearly labeled. Any asphalt substances used on-site will be applied according to the manufacturer's recommendations.

2. Paints: All containers shall be tightly sealed and stored when not required for use. Excess paint shall not be discharged to the storm sewer or temporary ponding area but will be properly disposed of according to manufacturer's instructions or state and local requirements.

3. Fertilizers: Fertilizers used shall be applied only in the minimum amounts recommended by the manufacturer. Once applied, fertilizer shall be worked into the soil (4 to 6 inches) to limit exposure to storm water. Fertilizers shall be stored in a covered area.

4. Hazardous Products: Products shall be kept in original containers unless they are not resealable. Original labels and material safety data shall be retained (the labels contain important product information). If surplus products must be disposed of, local, state, and federal requirements shall be followed.

**E. SPILL CONTROL PRACTICES**

1. Materials shall be tightly sealed in containers that are clearly labeled and shall be neatly and securely stacked.

2. Materials and equipment necessary for spill cleanups shall be kept in the material storage area on-site.

3. All spills shall be cleaned up immediately after discovery.

4. The spill area shall be kept well ventilated and personnel shall wear appropriate protective clothing to prevent injury from contact with a hazardous substance.

5. Spills of toxic or hazardous materials shall be reported to the appropriate local, state and federal government agencies as soon as possible, regardless of the size.

6. Contaminated materials shall be disposed of according to local, state and federal requirements.

7. One person shall be selected to be the spill prevention and cleanup coordinator.

**F. GOOD HOUSEKEEPING**

The following good housekeeping practices shall be followed on-site during the construction project:

1. Neat and orderly storage of any chemicals, fertilizers, fuels, etc., that are being stored on the site.

2. Regular garbage, rubbish, construction waste, and sanitary waste disposal.

3. Prompt cleanup of any spills that have occurred.

4. Cleanup of sediment that has been deposited off of the site by vehicle tracking, wind, and storm water.

**G. MAINTENANCE**

All measures stated in this Storm Water Pollution Prevention Plan and on the Grading & Landscape Plans for the prevention of storm water pollution and erosion control shall be maintained in complete functional condition until the final stabilization of the site. All erosion and sedimentation control measures shall be cleaned and repaired in accordance with the following (refer to the Grading and Erosion Control Plan and the Detail Sheet for construction details):

1. The straw bales used for the straw bale barriers shall be fixed or replaced if they show signs of undermining or deterioration.

2. All seeded areas shall be checked regularly to see that a good stand of grass is maintained. Areas should be reseeded and fertilized as needed to provide a good stand of grass for erosion control.

3. Silt fences shall be repaired to their original conditions if damaged. Sediment shall be removed from the silt fences when it reaches one-third to one-half the height of the silt fence.

4. The construction entrances shall be maintained in a condition which will prevent tracking or flow of mud onto public rights-of-way. This may require periodic top dressing as conditions demand.

5. The temporary parking and storage area shall be kept in good condition (suitable for parking and storage). This may require periodic top dressing as conditions demand.

6. If the stones in the block and aggregate inlet sediment filters become clogged with sediment, the stones shall be pulled away, cleaned and replaced.

**H. INSPECTION**

Qualified personnel shall inspect all erosion, sedimentation, and storm water pollution devices stated in this Storm Water Pollution Prevention Plan and on the Erosion Control Plan at least once every seven calendar days and within 24 hours of the end of a rainfall event of 0.5 inches or more or equivalent snowfall. Disturbed areas and areas used for material storage that area exposed to precipitation shall be inspected for evidence of, or the potential for, pollutants entering the drainage systems. Erosion and sediment control measures identified in the Storm Water Pollution Prevention Plan and the Erosion Control Plan shall be observed to ensure that they are operating correctly. Discharge locations shall be inspected to ascertain whether the erosion and sedimentation control measures are effective in preventing significant impacts to receiving waters.

Based on the results of the inspection, the erosion and sedimentation control measures shall be revised or modified as appropriate, but in no case shall it take more than seven calendar days following the inspection to revise or modify the erosion and sediment control measures.

**I. NON-STORM WATER DISCHARGE**

Anticipated non-storm water discharges on the construction site may include the following:

1. Water line flushing from the newly installed water lines. Silt fences shall be used to collect sediment from water that is flushed from new water lines.

2. Discharge from fire fighting activities. Any materials from fire fighting activities that may pollute the storm water shall be disposed of in a proper manner.

3. Water discharge from dust control. Silt fences shall be used to collect sediment from discharge waters associated with dust control.

**J. APPROVED STATE OR LOCAL PLANS**

To the best knowledge of all parties involved with the implementation of this Storm Water Pollution Prevention Plan, all measures and consideration specified in this plan meet the requirements of the Federal Register, Part II, Environmental Protection Agency, Proposed Reassurance of NPDES General Permits for Storm Water discharges From Construction Activities, June 2, 1997. This Plan was prepared in accordance with the EPA Storm Water Management for Construction Activities.

**K. SIGNATURE REQUIREMENTS**

The Contractor shall obtain and sign copies of all reports and certifications required by NPDES and general permit for Storm Water discharges from construction activities as required by the permit during the period the permit is active on this site. All records are to be kept on site and presented to authorized officials as noted in the permit.

**L. NOTICE OF TERMINATION**

When all areas covered by the Federal Register, Part II, Environmental Protection Agency, Proposed Reissuance of NPDES General Permits for Storm Water Discharges from construction activities, have been stabilized (by permanent seeding and mulching, paving, landscaping, sodding, etc.) The permit shall be terminated. The GENERAL CONTRACTOR shall submit a Notice of Termination (Form N.O.T.) Of a General Permit to discharge storm water associated with construction activities.

**STORM WATER POLLUTION PREVENTION PLAN CERTIFICATION**

"I certify, under penalty of law, that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gathered and evaluated the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information including the possibility of fine and imprisonment for knowing violations."

Name (please print): Ronald R. Bohannon Title: Owner, Tierra West, LLC

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

**CONTRACTOR / SUBCONTRACTOR CERTIFICATION**

"I certify, under penalty of law, that I understand the terms and conditions of the general National Pollutant Discharge Elimination System (NPDES) Permit that authorizes the storm water discharge associated with industrial activity from the construction site identified as part of this certification. Further, by my signature, I understand that I am becoming a co-permittee, along with the owner(s) and other contractors and subcontractors signing such certifications, to the general NPDES permit for the storm water discharges associated with industrial activity from the identified site. As a co-permittee, I understand that I, and my company, are legally required under the Environmental Protection Act and the Clean Water Act to ensure compliance with the terms and conditions of the Storm Water Pollution Prevention Plan developed under the NPDES permit and the terms of the NPDES permit."

NOTE: The General Contractor and any Subcontractors involved with the implementation of this Storm Water Pollution Prevention Plan shall sign an individual copy of this certification and state in the space provided the measures in which they are responsible for performing (make copies if needed).

Please check one (X)

CONTRACTOR (X): SUBCONTRACTOR ( )

COMPANY NAME: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_  
 TELEPHONE: \_\_\_\_\_

SITE: LOCATION (CITY, STATE): \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_

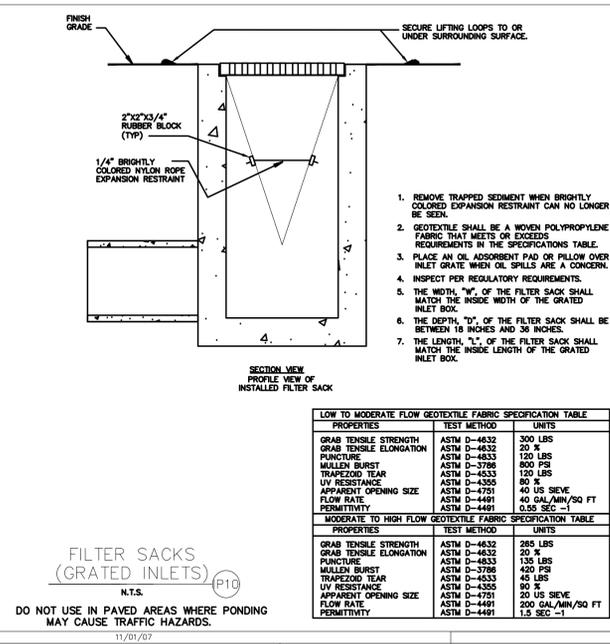
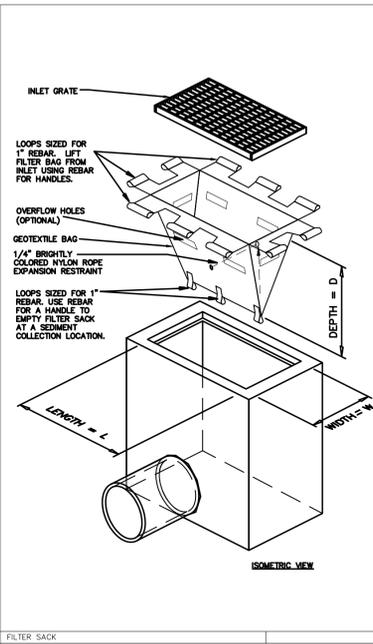
Name (please print): \_\_\_\_\_ Title: \_\_\_\_\_

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Storm Water Pollution Prevention Plan measures that your company is responsible for performing:

\_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

	ALLOFT HOTEL	DRAWN BY
	ALBUQUERQUE, NM	MR
	EROSION CONTROL	DATE
	NOTES	01/06/2026
		SHEET #
		24
	5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NEW MEXICO 87109 (505)858-3100	JOB #
		2021133



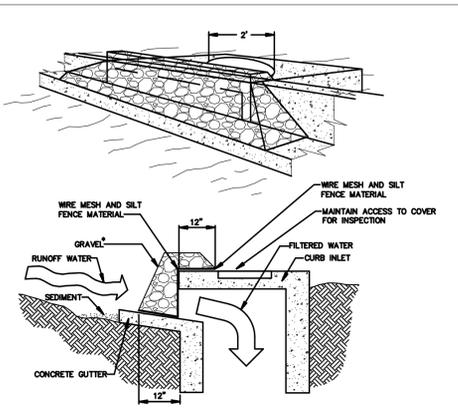
PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D-4832	300 LBS
GRAB TENSILE ELONGATION	ASTM D-4832	20 %
PUNCTURE	ASTM D-4833	130 LBS
MULLEN BURST	ASTM D-3798	900 PFI
TRAPEZOID TEAR	ASTM D-4533	130 LBS
UV RESISTANCE	ASTM D-4355	80 %
APPARENT OPENING SIZE	ASTM D-4751	40 US SIEVE
FLOW RATE	ASTM D-4491	40 GAL/MIN/SQ FT
PERMITIVITY	ASTM D-4491	0.55 SEC-1

PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D-4832	265 LBS
GRAB TENSILE ELONGATION	ASTM D-4832	20 %
PUNCTURE	ASTM D-4833	130 LBS
MULLEN BURST	ASTM D-3798	400 PFI
TRAPEZOID TEAR	ASTM D-4533	45 LBS
UV RESISTANCE	ASTM D-4355	40 US SIEVE
APPARENT OPENING SIZE	ASTM D-4751	20 US SIEVE
FLOW RATE	ASTM D-4491	200 GAL/MIN/SQ FT
PERMITIVITY	ASTM D-4491	1.9 SEC-1

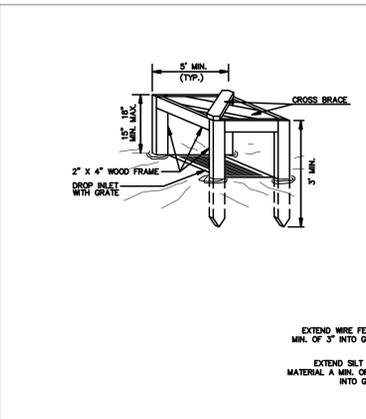
**FILTER SACKS (GRADED INLETS)**  
N.T.S. (P10)  
DO NOT USE IN PAVED AREAS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS.

DT-SDP 11/01/07



**GRAVEL CURB INLET SEDIMENT FILTER**  
N.T.S. (P5)

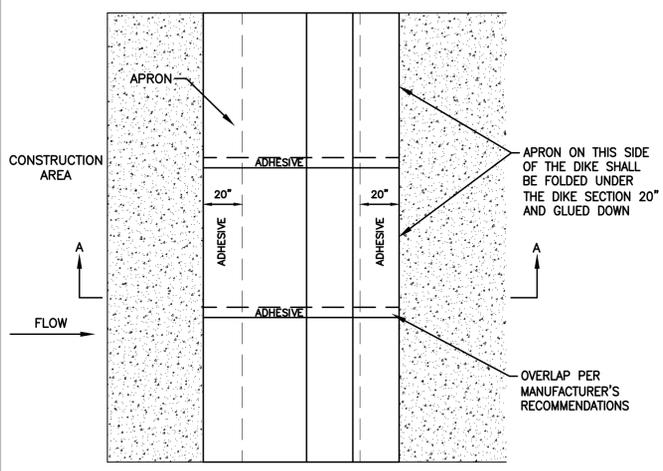
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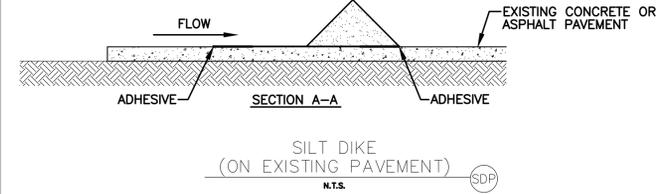
**SILT FENCE INLET PROTECTION**  
N.T.S. (P6)

- ATTACH THE WOVEN WIRE FENCE TO EACH POST AND THE GEOTEXTILE TO THE WOVEN WIRE FENCE (SPACED EVERY 30") WITH THREE WIRE TIES OR OTHER FASTENERS, ALL SPACED WITHIN THE TOP 8" OF THE FABRIC. ATTACH EACH DIAGONALLY AS DEGREES THROUGH THE FABRIC, WITH EACH PUNCTURE AT LEAST 1" VERTICALLY APART.
- WHEN TWO SECTIONS OF SILT FENCE MATERIAL ADJACENT TO EACH OTHER, THEY SHALL BE OVERLAPPED ACROSS TWO POSTS.
- MAINTENANCE SHALL BE PERFORMED AS NOTED IN THE SWPPP. DEPTH OF ACCUMULATED SEDIMENTS MAY NOT EXCEED ONE-HALF THE HEIGHT OF THE FABRIC. MAINTENANCE CLEANOUT MUST BE CONDUCTED REGULARLY TO PREVENT ACCUMULATED SEDIMENTS FROM REACHING ONE-HALF THE HEIGHT OF THE SILT FENCE MATERIAL ABOVE GRADE.
- ALL SILT FENCE INLETS SHALL INCLUDE WIRE SUPPORT.

11/02/07 SF INLET

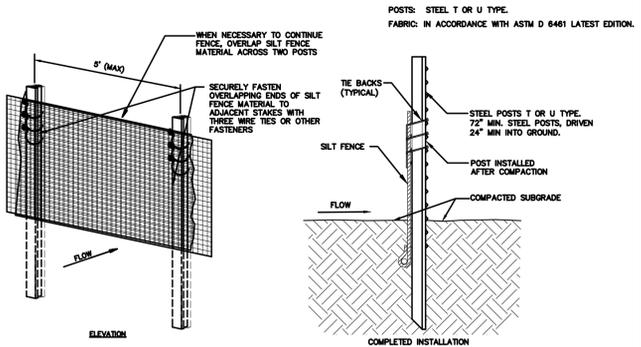
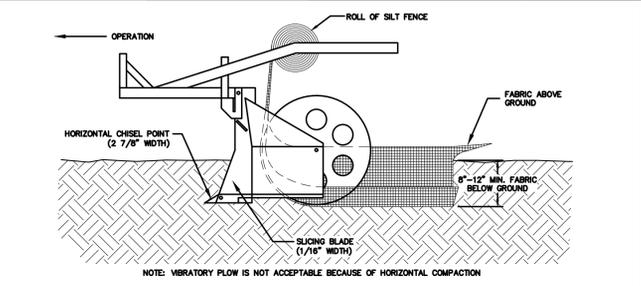


- DIKE PLAN VIEW**
- NOTES:
- INSTALLED SILT DIKE UNIT SHALL HAVE CONTINUOUS AND FIRM CONTACT WITH PAVEMENT.
  - ADHESIVES SHALL BE LIQUID NAIL OR APPROVED EQUAL FOR CONCRETE PAVEMENT APPLICATIONS AND EMULSIFIED ASPHALT FOR ASPHALT APPLICATIONS. ADHESIVE SHALL BE PLACED WHERE THE UNITS OVERLAP AND A 20" STRIP ALONG BOTH EDGES.



**SILT DIKE (ON EXISTING PAVEMENT)**  
N.T.S. (SDP)

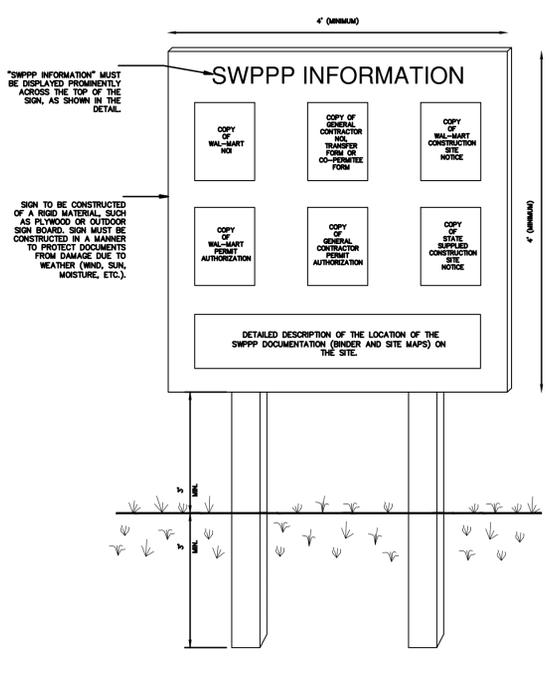
DT-SDP 11/01/07



- SPECIFICATIONS FOR STATIC SLICING METHOD FOR SILT FENCE INSTALLATION**
- STATIC SLICING SHALL BE USED TO ANCHOR SILT FENCE FABRIC IN ORDER TO NOT USE THE WIRE BACKING.
- SILT FENCE SHALL BE INSTALLED PER ASTM D-6462-03 LATEST EDITION.
  - INSTALL POSTS AT A MAXIMUM OF 5'-0" APART.
  - INSTALL POSTS AT A MINIMUM DEPTH OF 24" ON THE DOWNSTREAM SIDE OF THE SILT FENCE, AND AS CLOSE AS POSSIBLE TO THE FABRIC, ENABLING POSTS TO SUPPORT UPSTREAM WATER PRESSURE ON THE FABRIC.
  - INSTALL POSTS WITH THE NIPPLES FACING AWAY FROM THE SILT FENCE FABRIC.
  - ATTACH THE FABRIC TO EACH POST WITH THREE TIES, ALL SPACED WITHIN THE TOP 8" OF THE FABRIC. ATTACH EACH DIAGONALLY AS DEGREES THROUGH THE FABRIC, WITH EACH PUNCTURE AT LEAST 1" VERTICALLY APART. ALSO, EACH TIE SHOULD BE POSITIONED TO HANG ON A POST NIPPLE WHEN PORTHOLE TO PREVENT SAGGING.
  - WRAP APPROXIMATELY 6" OF FABRIC AROUND THE END POSTS AND SECURE WITH 3 TIES.
  - WHEN NECESSARY TO CONTINUE FENCE, OVERLAP SILT FENCE MATERIAL ACROSS TWO POSTS.
  - NO MORE THAN 24" OF A 36" FABRIC IS ALLOWED ABOVE GROUND LEVEL.
  - DRIVE POST A MINIMUM OF 24" INTO THE GROUND.
  - THE INSTALLATION SHOULD BE CHECKED AND CORRECTED FOR ANY DEVIATIONS BEFORE COMPACTION. USE A FLAT-BLADED SHOVEL TO TUCK FABRIC DEEPER INTO THE SILT IF NECESSARY.
  - COMPACT THE SOIL IMMEDIATELY NEXT TO THE SILT FENCE FABRIC WITH THE FRONT WHEEL OF THE TRACTOR, SKID STEER, OR ROLLER EXERTING AT LEAST 60 POUNDS PER SQ. INCH. COMPACT EACH SIDE TWICE FOR A TOTAL OF FOUR TRIPS.
  - MAINTENANCE SHALL BE PERFORMED AS NOTED IN THE SWPPP. DEPTH OF ACCUMULATED SEDIMENTS MAY NOT EXCEED ONE-HALF THE HEIGHT OF THE FENCE. MAINTENANCE CLEANOUT MUST BE CONDUCTED REGULARLY TO PREVENT ACCUMULATED SEDIMENTS FROM REACHING ONE-HALF THE HEIGHT OF THE FENCE FABRIC ABOVE GRADE.
  - WHEN TWO SECTIONS OF SILT FENCE MATERIAL ADJACENT TO EACH OTHER THEY SHALL BE OVERLAPPED A MINIMUM OF 60" ACROSS TWO POSTS, AS SHOWN.
  - ADD POST CAPS AS NEEDED BASED ON SITE CONDITIONS AND APPLICABLE AGENCY REQUIREMENTS.

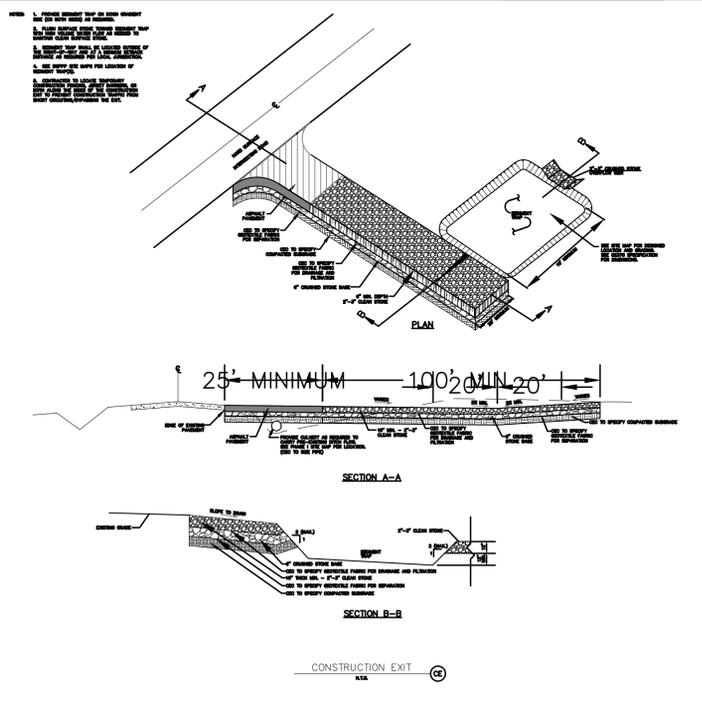
**NON-WIRE BACKED SLICING METHOD FOR SILT FENCE INSTALLATION**  
N.T.S. (SF)

DT-GRNSF 11/01/07



- SWPPP INFORMATION SIGN**  
N.T.S. (SS)
- NOTES:
- THE SWPPP INFORMATION SIGN MUST BE LOCATED NEAR THE CONSTRUCTION EXIT OF THE SITE, SUCH THAT IT IS ACCESSIBLE AND VIEWABLE BY THE GENERAL PUBLIC, BUT NOT OBSTRUCTING VIEWS AS TO CAUSE A SAFETY HAZARD.
  - ALL POSTED DOCUMENTS MUST BE MAINTAINED IN A CLEARLY READABLE CONDITION AT ALL TIMES THROUGHOUT CONSTRUCTION AND UNTIL THE NOTICE-OF-TERMINATION (NOT) IS FILED FOR THE PROJECT.
  - CONTRACTOR SHALL POST OTHER STORM WATER AND/OR EROSION AND SEDIMENT CONTROL RELATED PERMITS ON THE SIGN AS REQUIRED BY THE GOVERNING AGENCY.
  - SIGN SHALL BE LOCATED OUTSIDE OF PUBLIC RIGHT-OF-WAY AND EASEMENTS UNLESS APPROVED BY THE GOVERNING AGENCY.
  - CONTRACTOR IS RESPONSIBLE FOR ENSURING STABILITY OF THE SWPPP INFORMATION SIGN.

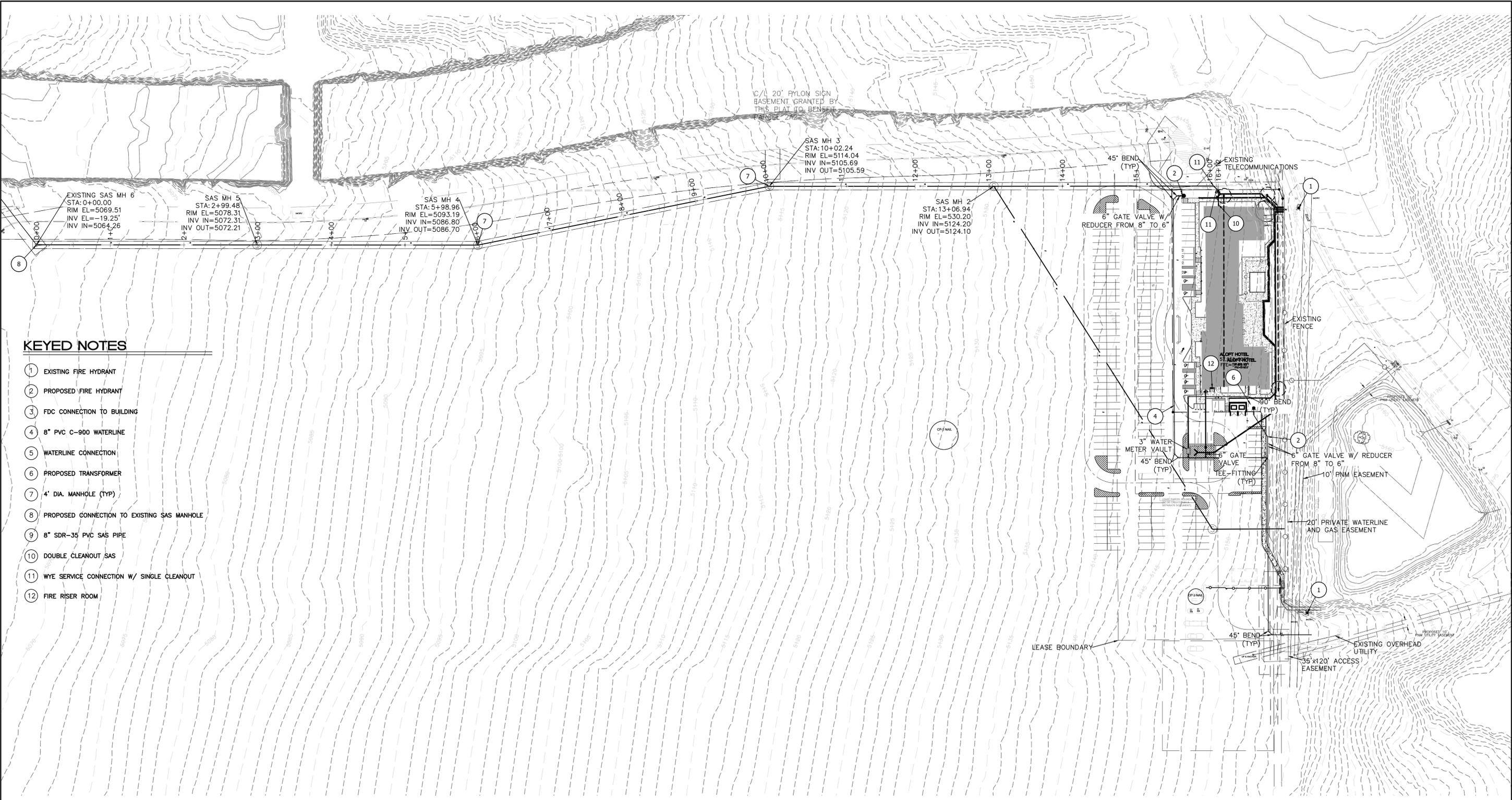
DT-GRNSF 11/01/07



- CONSTRUCTION EXIT SIGN**  
N.T.S. (SC)
- NOTES:
- THE CONSTRUCTION EXIT SIGN MUST BE LOCATED NEAR THE CONSTRUCTION EXIT OF THE SITE, SUCH THAT IT IS ACCESSIBLE AND VIEWABLE BY THE GENERAL PUBLIC, BUT NOT OBSTRUCTING VIEWS AS TO CAUSE A SAFETY HAZARD.
  - ALL POSTED DOCUMENTS MUST BE MAINTAINED IN A CLEARLY READABLE CONDITION AT ALL TIMES THROUGHOUT CONSTRUCTION AND UNTIL THE NOTICE-OF-TERMINATION (NOT) IS FILED FOR THE PROJECT.
  - CONTRACTOR SHALL POST OTHER STORM WATER AND/OR EROSION AND SEDIMENT CONTROL RELATED PERMITS ON THE SIGN AS REQUIRED BY THE GOVERNING AGENCY.
  - SIGN SHALL BE LOCATED OUTSIDE OF PUBLIC RIGHT-OF-WAY AND EASEMENTS UNLESS APPROVED BY THE GOVERNING AGENCY.
  - CONTRACTOR IS RESPONSIBLE FOR ENSURING STABILITY OF THE CONSTRUCTION EXIT SIGN.

DT-GRNSF 11/02/07

	<b>ALFOTO HOTEL</b> ALBUQUERQUE, NM <b>EROSION CONTROL</b> <b>DETAILS</b>	DRAWN BY MR DATE 01/06/2026
	01/06/2026 RONALD R. BOHANNAN P.E. #7868	5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NEW MEXICO 87109 (505)858-3100



**KEYED NOTES**

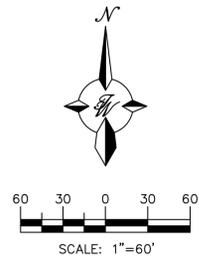
- 1 EXISTING FIRE HYDRANT
- 2 PROPOSED FIRE HYDRANT
- 3 FDC CONNECTION TO BUILDING
- 4 8" PVC C-900 WATERLINE
- 5 WATERLINE CONNECTION
- 6 PROPOSED TRANSFORMER
- 7 4' DIA. MANHOLE (TYP)
- 8 PROPOSED CONNECTION TO EXISTING SAS MANHOLE
- 9 8" SDR-35 PVC SAS PIPE
- 10 DOUBLE CLEANOUT SAS
- 11 WYE SERVICE CONNECTION W/ SINGLE CLEANOUT
- 12 FIRE RISER ROOM

**LEGEND**

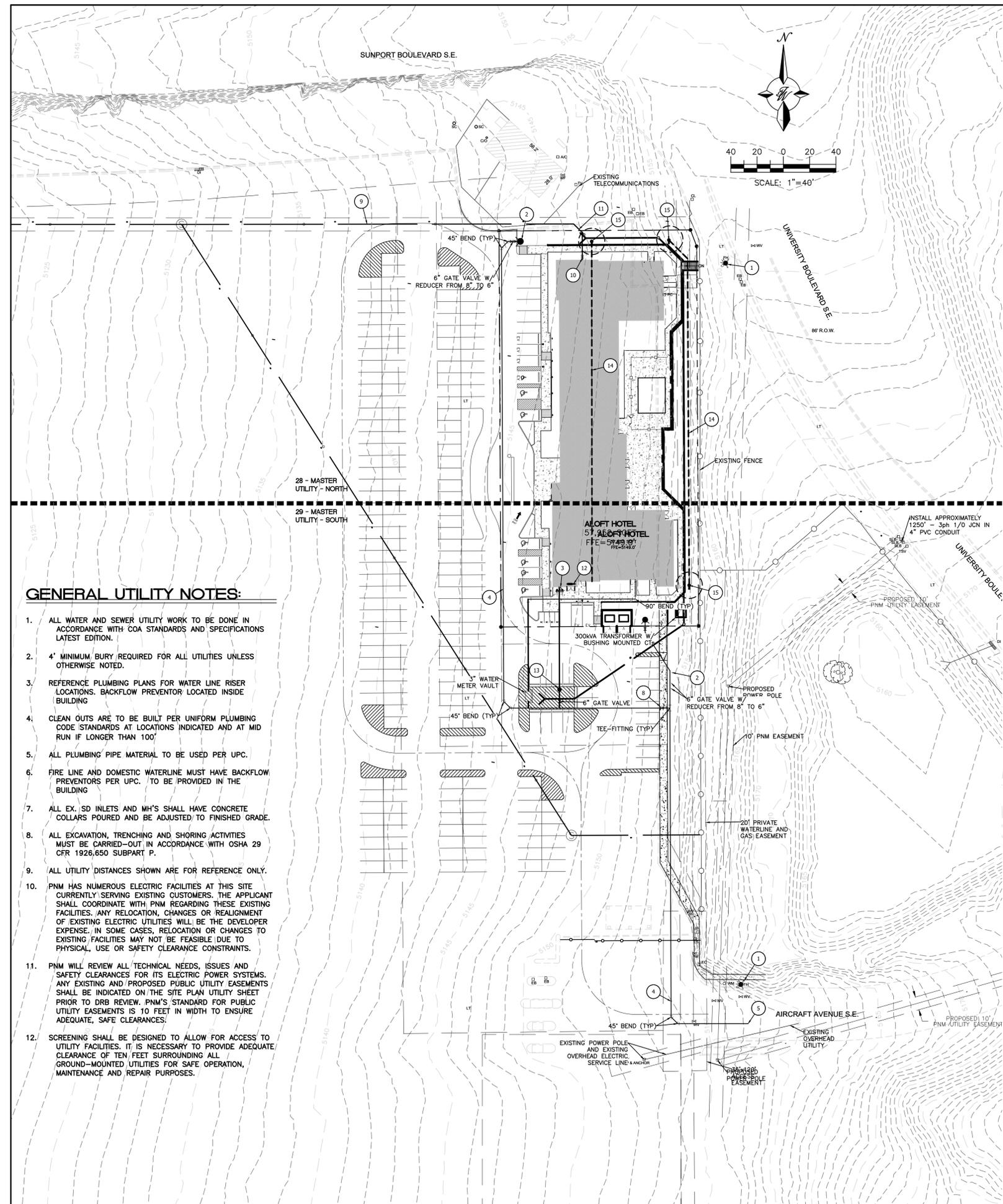
- CURB & GUTTER
- - - BOUNDARY LINE
- - - EASEMENT
- - - CENTERLINE
- - - RIGHT-OF-WAY
- ▭ BUILDING
- ▭ SIDEWALK
- - - EXISTING CURB & GUTTER
- - - EXISTING BOUNDARY LINE
- - - PROPOSED FENCE
- - - SANITARY SEWER LINE
- - - WATERLINE
- - - BURIED ELECTRIC
- PROPOSED HYDRANT
- NEW SAS MH
- NEW WATER METER

**CAUTION**

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



ENGINEER'S SEAL  RONALD R. BOHANNAN P.E. #7868	<b>ALOFT HOTEL</b> ALBUQUERQUE, NM	DRAWN BY MR
	<b>MASTER UTILITY - OFF-SITE</b>	DATE 01/06/2026
01/06/2026 TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NEW MEXICO 87109 (505)858-3100	SHEET # <b>26</b>	JOB # 2021133



**LEGEND**

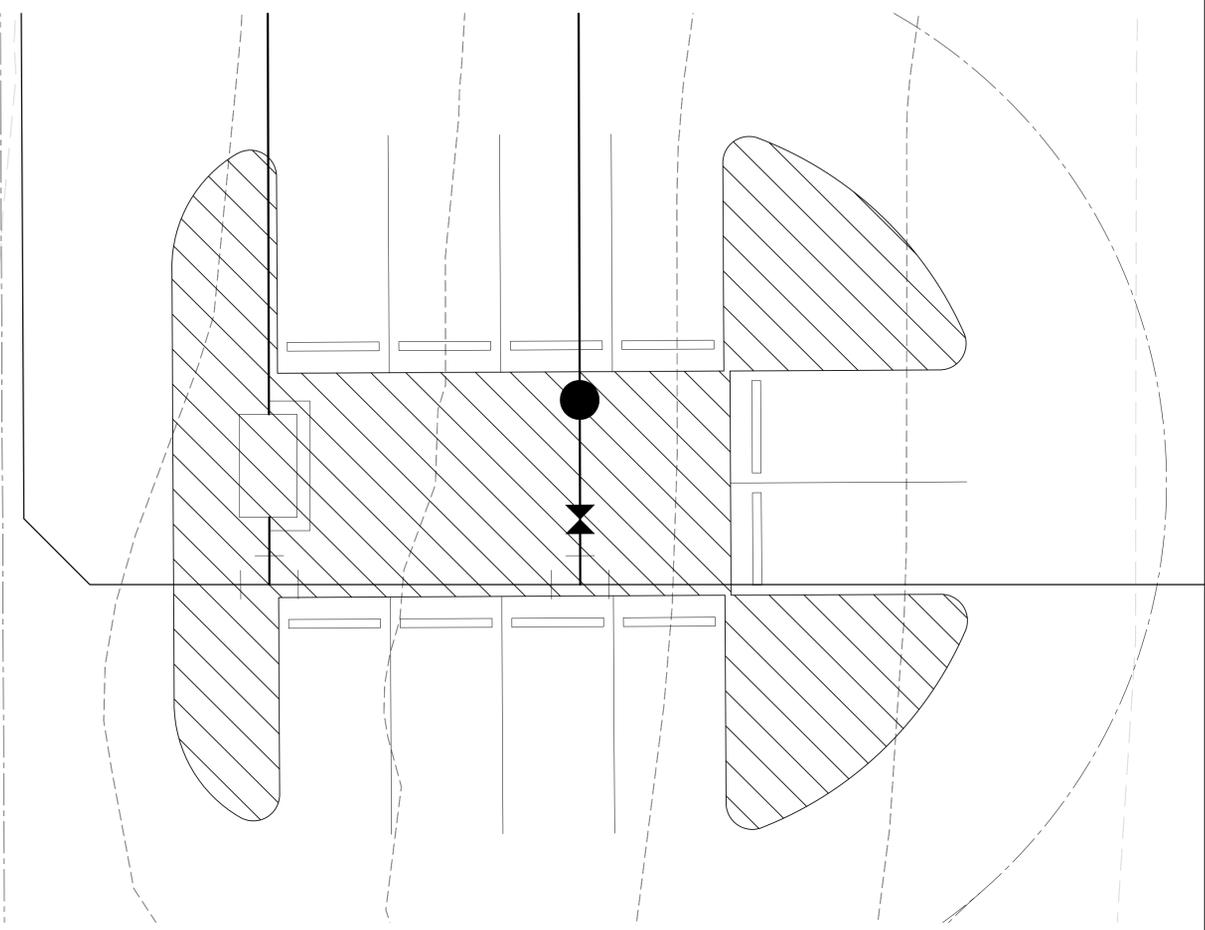
- CURB & GUTTER
- - - BOUNDARY LINE
- - - EASEMENT
- - - CENTERLINE
- ▭ BUILDING
- ▭ SIDEWALK
- - - EXISTING CURB & GUTTER
- - - EXISTING BOUNDARY LINE
- - - PROPOSED FENCE
- SS PROPOSED SANITARY SEWER LINE
- W PROPOSED WATERLINE
- SD PROPOSED STORM DRAIN
- P BURIED ELECTRIC
- PROPOSED HYDRANT
- NEW SAS MH
- NEW WATER METER
- - - LFGVS PIPE (BURIED)
- - - LFGVS PIPE RISER
- ▨ LFGVS VAPOR BARRIER (15,682.20 SF)

**KEYED NOTES**

- 1 EXISTING PUBLIC FIRE HYDRANT
- 2 PROPOSED FIRE HYDRANT
- 3 FDC CONNECTION TO BUILDING
- 4 8" PVC C-900 WATERLINE (WL)
- 5 WATERLINE CONNECTION TO EXISTING, FIELD VERIFY EXISTING WL LOCATION AND PIPE INVERT
- 6 PROPOSED TRANSFORMER
- 7 4' DIA. MANHOLE (TYP)
- 8 8" WL GATE VALVE
- 9 8" PVC SAS SDR-35 LINE, SEE SHEET 30 - SANITARY SEWER PLAN AND PROFILE
- 10 DOUBLE CLEANOUT SAS
- 11 WYE SERVICE CONNECTION W/ SINGLE CLEANOUT
- 12 FIRE RISER ROOM, SEE ARCHITECTURAL PLANS
- 13 PROPOSED PIV
- 14 LFGVS PERFORATED PIPE, SEE SHEET 44 - LFGVS-PLAN AND 45 - LFGVS-CONSTRUCTION DETAILS FOR DETAILS
- 15 LFGVS PIPE RISER, SEE SHEET 44 - LFGVS-PLAN AND 45 - LFGVS-CONSTRUCTION DETAILS FOR DETAILS

**GENERAL UTILITY NOTES:**

1. ALL WATER AND SEWER UTILITY WORK TO BE DONE IN ACCORDANCE WITH COA STANDARDS AND SPECIFICATIONS LATEST EDITION.
2. 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
3. REFERENCE PLUMBING PLANS FOR WATER LINE RISER LOCATIONS. BACKFLOW PREVENTOR LOCATED INSIDE BUILDING
4. CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS AT LOCATIONS INDICATED AND AT MID RUN IF LONGER THAN 100'
5. ALL PLUMBING PIPE MATERIAL TO BE USED PER UPC.
6. FIRE LINE AND DOMESTIC WATERLINE MUST HAVE BACKFLOW PREVENTORS PER UPC. TO BE PROVIDED IN THE BUILDING
7. ALL EX. SD INLETS AND MH'S SHALL HAVE CONCRETE COLLARS POURED AND BE ADJUSTED TO FINISHED GRADE.
8. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
9. ALL UTILITY DISTANCES SHOWN ARE FOR REFERENCE ONLY.
10. PNM HAS NUMEROUS ELECTRIC FACILITIES AT THIS SITE CURRENTLY SERVING EXISTING CUSTOMERS. THE APPLICANT SHALL COORDINATE WITH PNM REGARDING THESE EXISTING FACILITIES. ANY RELOCATION, CHANGES OR REALIGNMENT OF EXISTING ELECTRIC UTILITIES WILL BE THE DEVELOPER EXPENSE. IN SOME CASES, RELOCATION OR CHANGES TO EXISTING FACILITIES MAY NOT BE FEASIBLE DUE TO PHYSICAL, USE OR SAFETY CLEARANCE CONSTRAINTS.
11. PNM WILL REVIEW ALL TECHNICAL NEEDS, ISSUES AND SAFETY CLEARANCES FOR ITS ELECTRIC POWER SYSTEMS. ANY EXISTING AND PROPOSED PUBLIC UTILITY EASEMENTS SHALL BE INDICATED ON THE SITE PLAN UTILITY SHEET PRIOR TO DRB REVIEW. PNM'S STANDARD FOR PUBLIC UTILITY EASEMENTS IS 10 FEET IN WIDTH TO ENSURE ADEQUATE, SAFE CLEARANCES.
12. SCREENING SHALL BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET SURROUNDING ALL GROUND-MOUNTED UTILITIES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.



**WATERLINE DETAIL**  
1"=10'

**CAUTION**

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ENGINEER'S SEAL  RONALD R. BOHANNAN P.E. #7868	<b>ALOFT HOTEL</b> <b>ALBUQUERQUE, NM</b>	DRAWN BY MR
	<b>MASTER UTILITY</b>	DATE 01/06/2026
TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NEW MEXICO 87109 (505)858-3100		SHEET # <b>27</b>
		JOB # 2021133



UTILITY - NORTH

29 - MASTER  
UTILITY - SOUTH

ALOFT HOTEL  
57,952 SQFT  
FFE=5149.0'

300kVA TRANSFORMER W/  
BUSHING MOUNTED CTs

PROPOSED  
POWER POLE

EXISTING POWER POLE  
AND EXISTING  
OVERHEAD ELECTRIC  
SERVICE LINE & ANCHOR

PROPOSED  
POWER POLE

**LEGEND**

- CURB & GUTTER
- - - BOUNDARY LINE
- - - EASEMENT
- - - CENTERLINE
- - - RIGHT-OF-WAY
- ▭ BUILDING
- ▨ SIDEWALK
- EXISTING CURB & GUTTER
- - - EXISTING BOUNDARY LINE
- PROPOSED FENCE
- SS SANITARY SEWER LINE
- W WATERLINE
- P BURIED ELECTRIC
- PROPOSED HYDRANT
- ⊕ NEW SAS MH
- ⊕ NEW WATER METER

**KEYED NOTES**

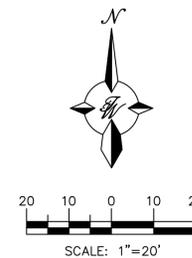
- ① EXISTING FIRE HYDRANT
- ② PROPOSED FIRE HYDRANT
- ③ FDC CONNECTION TO BUILDING
- ④ 8" PVC C-900 WATERLINE
- ⑤ WATERLINE CONNECTION
- ⑥ PROPOSED TRANSFORMER
- ⑦ 4' DIA. MANHOLE (TYP)
- ⑧ PROPOSED CONNECTION TO EXISTING SAS MANHOLE
- ⑨ 8" SDR-35 PVC SAS PIPE
- ⑩ DOUBLE CLEANOUT SAS
- ⑪ WYE SERVICE CONNECTION W/ SINGLE CLEANOUT
- ⑫ FIRE RISER ROOM

**GENERAL UTILITY NOTES:**

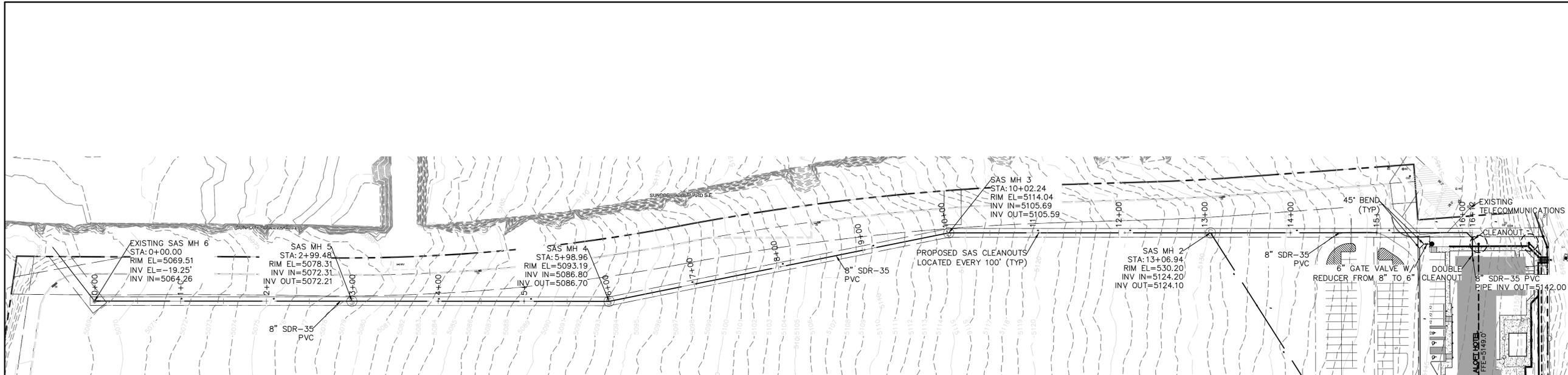
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**CAUTION**

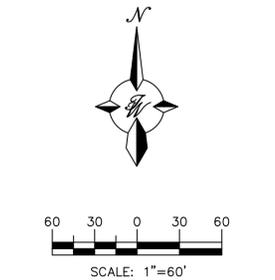
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ENGINEER'S SEAL  RONALD R. BOHANNAN P.E. #7868	<b>ALOFT HOTEL</b> ALBUQUERQUE, NM	DRAWN BY MR
	<b>MASTER UTILITY - SOUTH</b>	DATE 01/06/2026
 TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NEW MEXICO 87109 (505)858-3100	SHEET # <b>29</b>	JOB # 2021133

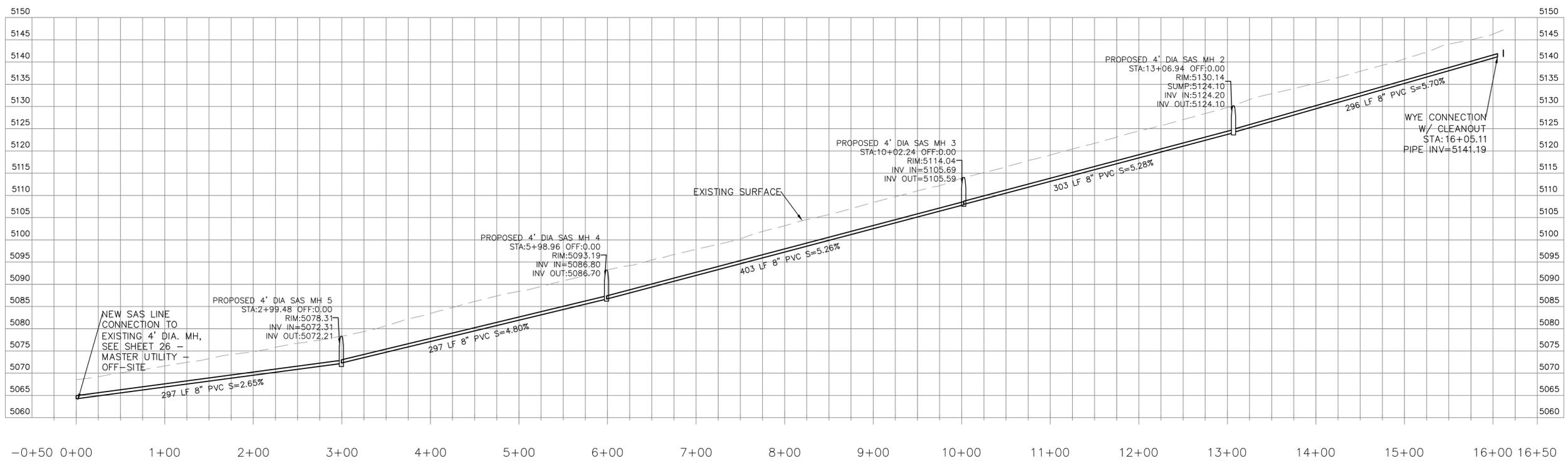


**SAS UTILITY PLAN**  
1"=60'



**LEGEND**

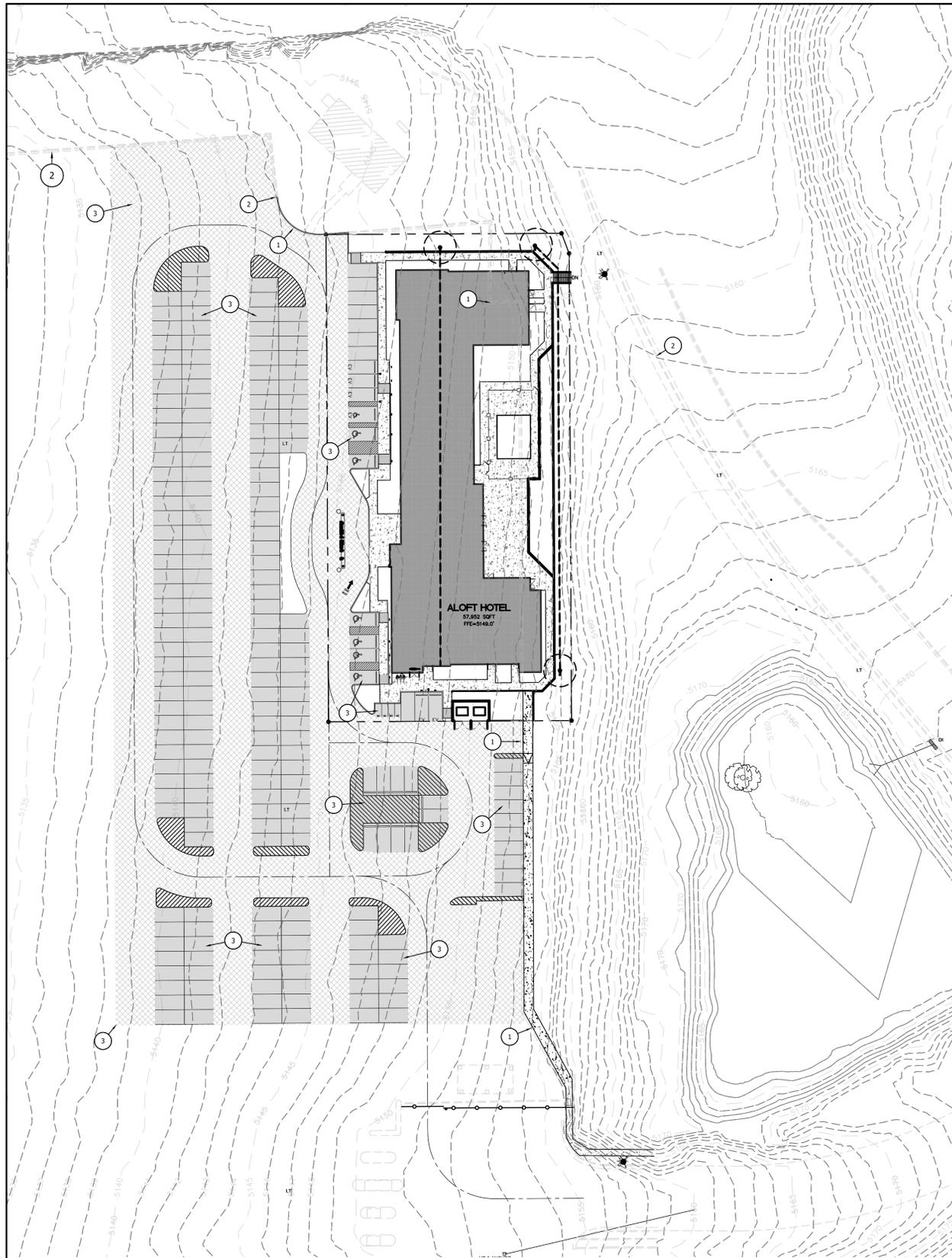
	CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	CENTERLINE
	RIGHT-OF-WAY
	BUILDING
	SIDEWALK
	EXISTING CURB & GUTTER
	EXISTING BOUNDARY LINE
	PROPOSED FENCE
	SANITARY SEWER LINE
	WATERLINE
	BURIED ELECTRIC
	PROPOSED FIRE HYDRANT
	EXISTING FIRE HYDRANT
	NEW SAS MH
	NEW SAS CLEANOUT
	EXISTING SAS MH
	NEW WATER METER



**SAS UTILITY PROFILE**  
1"=60'

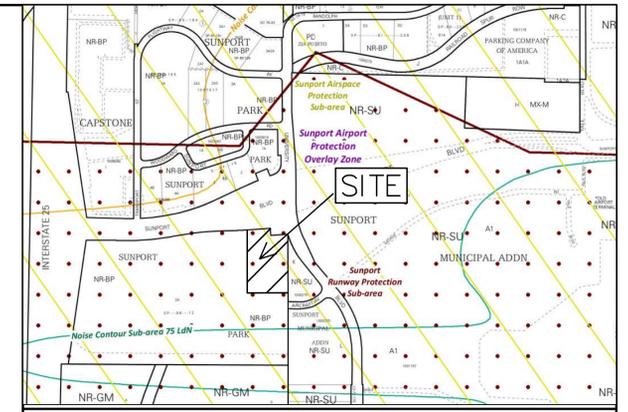
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	<b>ALFLO HOTEL</b> ALBUQUERQUE, NM <b>SANITARY SEWER PLAN</b> <b>AND PROFILE</b>	DRAWN BY MR DATE 01/06/2026
	5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NEW MEXICO 87109 (505)858-3100	SHEET # <b>30</b> JOB # 2021133



**LEGEND**

- CURB & GUTTER
- - - BOUNDARY LINE
- - - EASEMENT
- - - CENTERLINE
- - - RIGHT-OF-WAY
- ▬ BUILDING
- ▬ SIDEWALK
- - - EXISTING CURB & GUTTER
- ▬ LANDSCAPING
- - - SETBACK LINE
- ▨ RETAINING WALL
- ▨ HEAVY TRAFFIC ASPHALT
- ▨ LIGHT TRAFFIC ASPHALT
- 5100 CONTOUR MAJOR
- 5100 CONTOUR MINOR



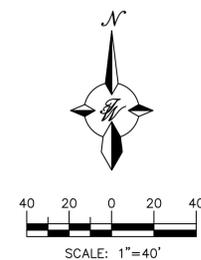
VICINITY MAP: M-15-Z

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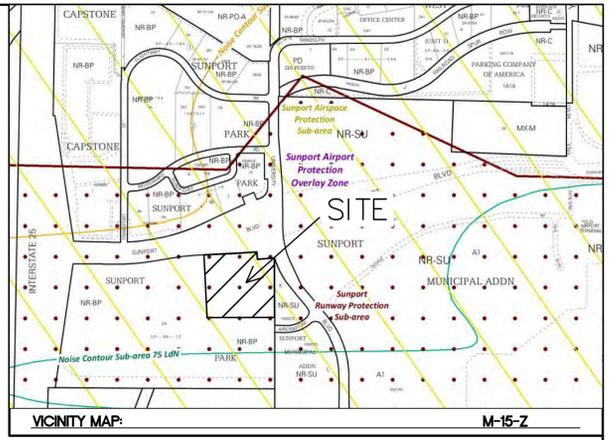
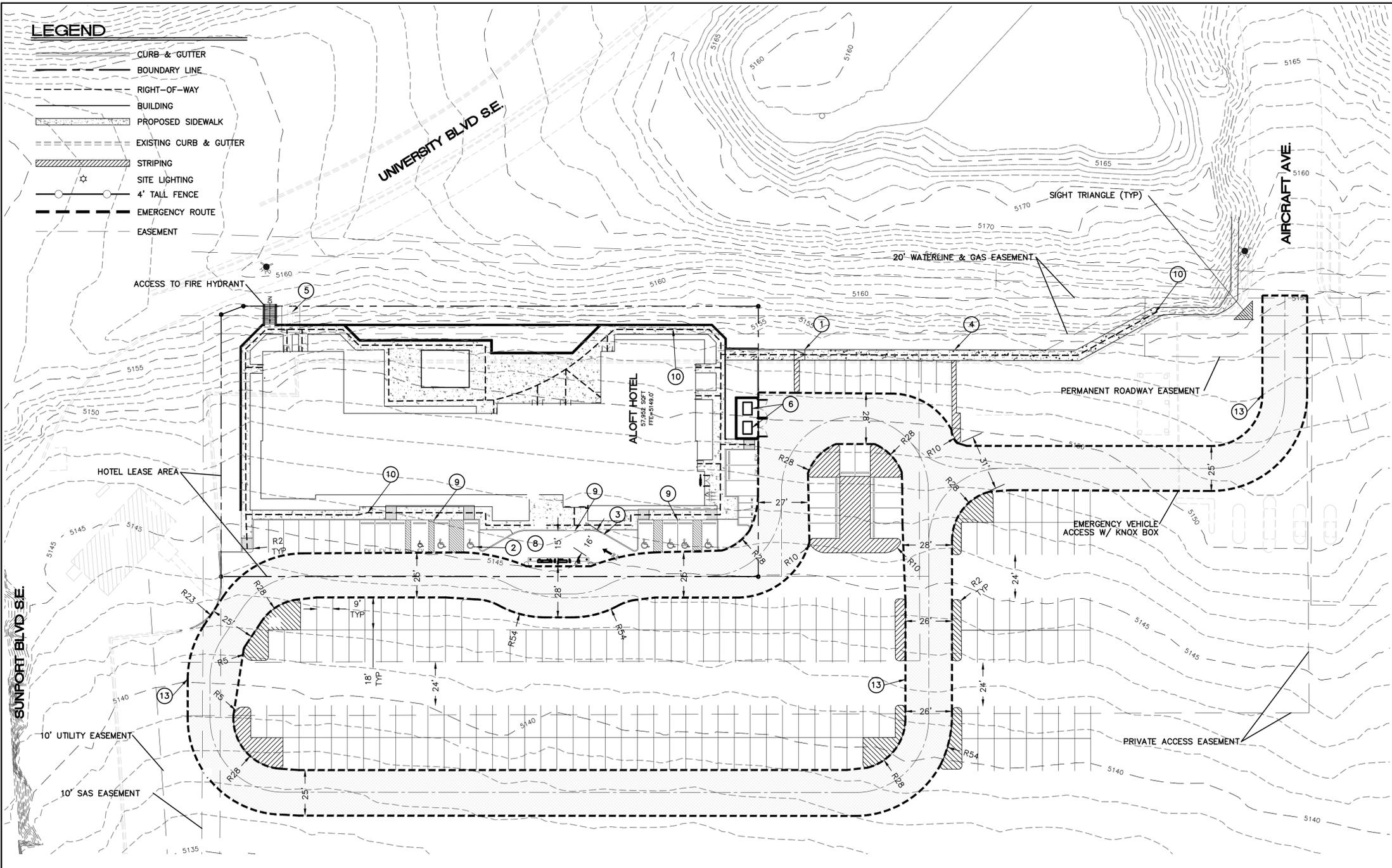
A CERTAIN PARCEL OF LAND BEING AND COMPRISING ALL OF PARCEL "2A", OF SUNPORT PARK, ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLATS OF LOTS 1A, 1B, 2A AND 2B IN BLOCK 3, PARCELS 1-A-1, 1-A-2, 1-B-1 IN BLOCK 4, PARCELS 2A, 2B, 3C AND 2D OF SUNPORT PARK, RECORDED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON JANUARY 18, 1996, IN PLAT BOOK 950, FOLIO 22, LESS AND EXCEPTING THEREFROM THAT PORTION AFFECTED BY THAT CERTAIN PERMANENT ORDER OF ENTRY ENTERED JUNE 28, 2018 IN BERNALILLO COUNTY DISTRICT COURT CAUSE NO. CV-2016-02511

**KEYED NOTES**

- ① REMOVE EXISTING CURB & GUTTER (C&G), SEE SHEET 06 - DEMOLITION PLAN
- ② EXISTING C&G TO REMAIN IN PLACE
- ③ EXISTING GRAVEL ACCESS ROAD TO REMAIN



ENGINEER'S SEAL  RONALD R. BOHANNAN P.E. #7868	<b>ALOFT HOTEL</b> <b>ALBUQUERQUE, NM</b>	DRAWN BY MR
	<b>PAVING PLAN</b>	DATE 01/06/2026
TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NEW MEXICO 87109 (505)858-3100	SHEET # <b>31</b>	JOB # 2021133



UPC: 101505518105930320  
 PARCELS 2-A-2 PLAT OF PARCELS 2A1 AND 2A2 SUNPORT  
 PARK SUBDIVISION (REPLAT OF PARCEL 2A, SUNPORT PAR)

**SITE DATA**

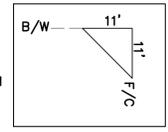
PROPOSED USAGE:	HOTEL
LOT AREA:	1,0347 AC
ZONING:	NR-BP
TOTAL NO. ROOMS/UNITS:	108 UNITS
1 SPACE PER 2 BEDS:	79
BUILDING AREA	57,952 SF
BUILDING SETBACK	
FRONT	20'
REAR	10'
SIDE	10'
PARKING REQUIREMENTS:	
TOTAL PARKING REQUIRED	108
TOTAL PARKING PROVIDED	111
ACCESSIBLE PARKING SPACES REQUIRED	6 SPACES
ACCESSIBLE PARKING SPACES PROVIDED	6 SPACES
BICYCLE PARKING REQUIRED = 3 SPACES (2 SPACES + 1 SPACE/6,000SF)	
BICYCLE PARKING PROVIDED = 3 SPACES	
MOTORCYCLE PARKING REQUIRED = 4 SPACES	
MOTORCYCLE PARKING PROVIDED = 4 SPACES	

**KEYED NOTES**

- ① UNIDIRECTIONAL ACCESSIBLE RAMP TO SIDEWALK, SEE DETAILS SHEET 40
- ② ACCESSIBLE PARKING W/ WHEEL STOP & SIGN PER ADA STANDARDS, SEE DETAIL SHEET 33
- ③ STANDARD CURB AND GUTTER PER COA STD DWG 2415A, DETAIL SHEET 39
- ④ 5' CONCRETE WALK PER COA STD DWG 2430 FLUSH WITH ASPHALT, SEE DETAIL SHEET 39
- ⑤ MONUMENT SIGN
- ⑥ TRASH DUMPSTER W/RECYCLE, SEE DETAIL SHEET 42
- ⑦ NOT USED
- ⑧ LOADING AREA
- ⑨ ADA PUBLIC ACCESS PATHWAY TO BE FLUSH
- ⑩ ADA ACCESSIBLE ROUTE
- ⑪ NOT USED
- ⑫ NOT USED
- ⑬ EMERGENCY VEHICLE ACCESS EASEMENT

**SIGHT TRIANGLE NOTE:**

LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE



**PRIVATE ONSITE WORK NOTE:**

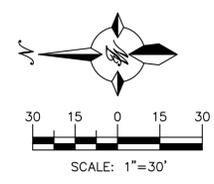
ALL PROPOSED IMPROVEMENTS SHOWN INSIDE THE PROPOSED PROPERTY LINES AND EXISTING PROPERTY LINES TO REMAIN ARE DEEMED PRIVATE ONSITE WORK AND WILL REQUIRE BUILDING PERMIT AND/OR GRADING PERMIT APPROVAL TO CONSTRUCT.

**PUBLIC WORK NOTE:**

ALL PROPOSED IMPROVEMENTS SHOWN OUTSIDE THE PROPOSED PROPERTY LINES AND EXISTING PROPERTY LINES TO REMAIN ARE DEEMED PUBLIC OFFSITE WORK AND WILL REQUIRE DRC WORK ORDER APPROVAL TO CONSTRUCT.

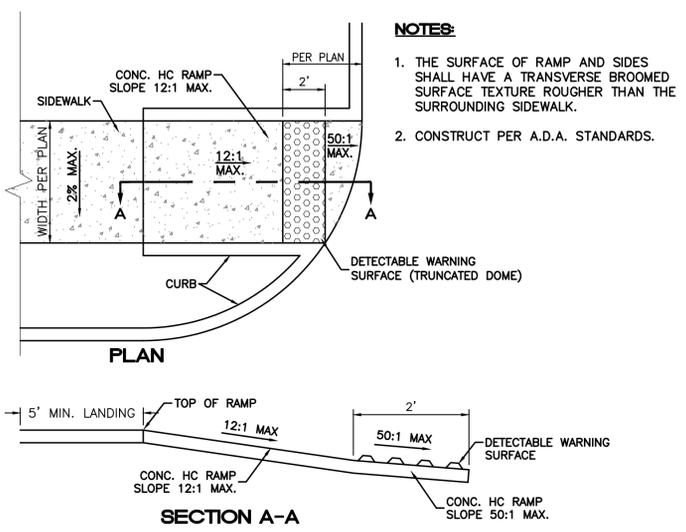
**PAVEMENT SURFACE NOTE:**

ALL DRIVE AISLES AND PARKING SPACES SHALL BE ASPHALT UNLESS OTHERWISE LABELED.



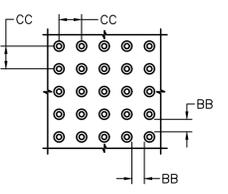
ENGINEER'S SEAL  RONALD R. BOHANNAN P.E. #7868	<b>ALOFT HOTEL</b> <b>ALBUQUERQUE, NM</b> <b>TRAFFIC CIRCULATION</b> <b>LAYOUT</b>	DRAWN BY MR DATE 01/06/2026
	 <b>TIERRA WEST, LLC</b> 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # <b>32</b> JOB # 2021133

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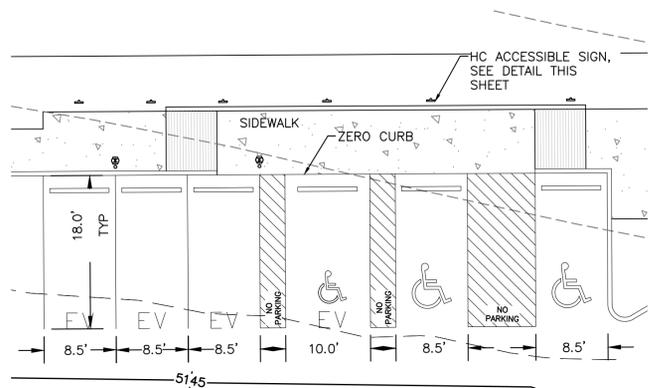


**NOTES:**  
 1. THE SURFACE OF RAMP AND SIDES SHALL HAVE A TRANSVERSE BROOMED SURFACE TEXTURE ROUGHER THAN THE SURROUNDING SIDEWALK.  
 2. CONSTRUCT PER A.D.A. STANDARDS.

**DOME SECTION**  
 BD - BASE DIAMETER 0.9" MIN  
 TD - TOP DIAMETER 50% OF BD MIN TO 65% OF BD MAX



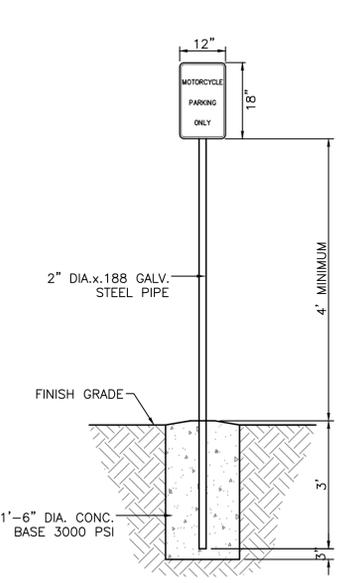
**DOME SPACING**  
 CC - CENTER TO CENTER SPACING 2.35"  
 BB - BASE TO BASE SPACING 1.48" MIN



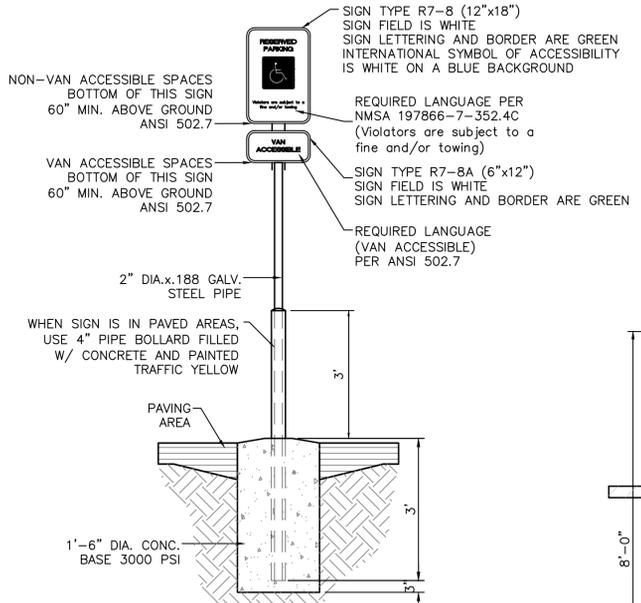
**NOTES:**  
 1) INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL BE PAINTED ON THE PAVEMENT AT REAR OF SPACE, WHITE SYMBOL ON BLUE BACKGROUND.  
 2) PARKING SPACE LINES AND DIAGONAL STRIPING TO BE PAINTED BLUE.  
 3) ACCESS AISLE SHALL HAVE THE WORDS "NO PARKING" IN CAPITAL LETTERS, EACH OF WHICH SHALL BE AT LEAST ONE FOOT HIGH AND AT LEAST TWO INCHES WIDE, PLACED AT THE REAR OF THE PARKING SPACE SO AS TO BE CLOSE TO WHERE AN ADJACENT VEHICLE'S REAR TIRES WOULD BE PLACED.

**HC PARKING DETAILS**  
 1"=10'

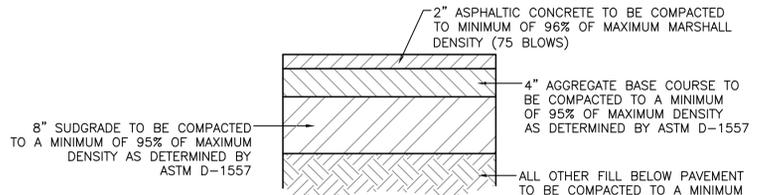
**UNIDIRECTIONAL HC RAMP**  
 NOT TO SCALE



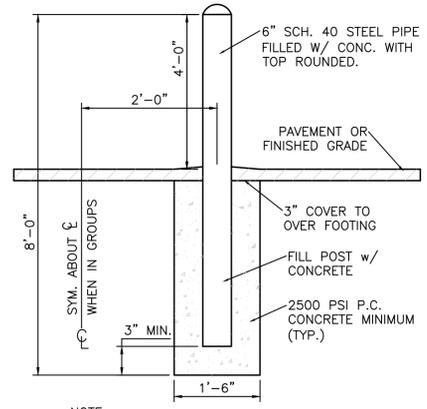
**MOTORCYCLE PARKING SIGN**  
 NTS



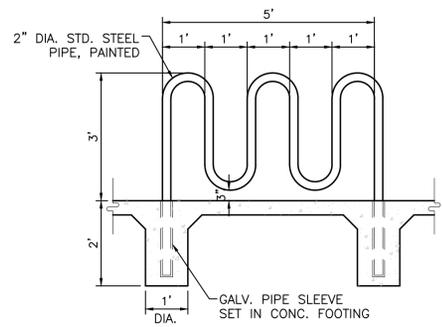
**ACCESSIBLE PARKING SIGN**  
 NTS



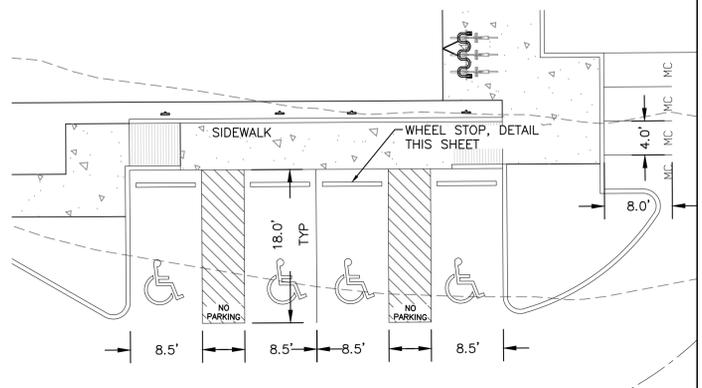
**AUTOMOBILE PARKING TYPICAL PAVING SECTION**  
 1" = 1'



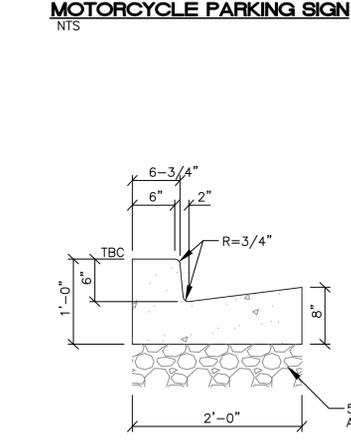
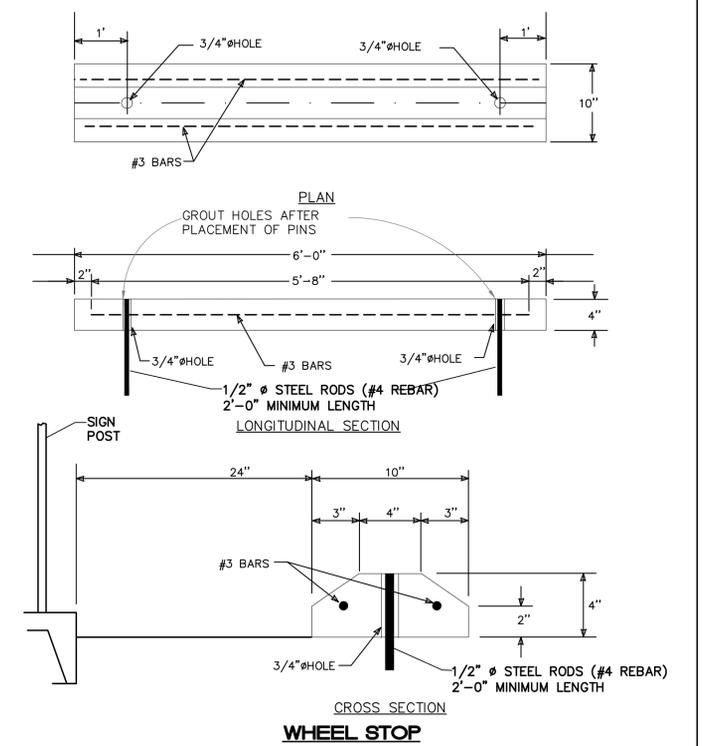
**BOLLARD DETAIL**  
 NTS



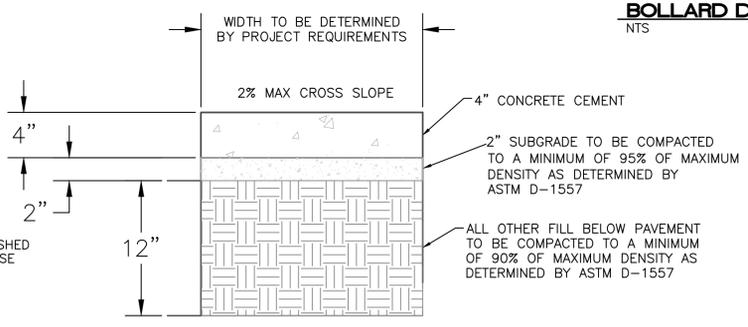
**BIKE RACK DETAIL**  
 SCALE: NTS



**WHEEL STOP**  
 1"=10'

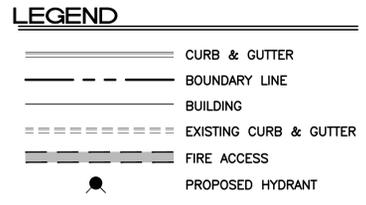
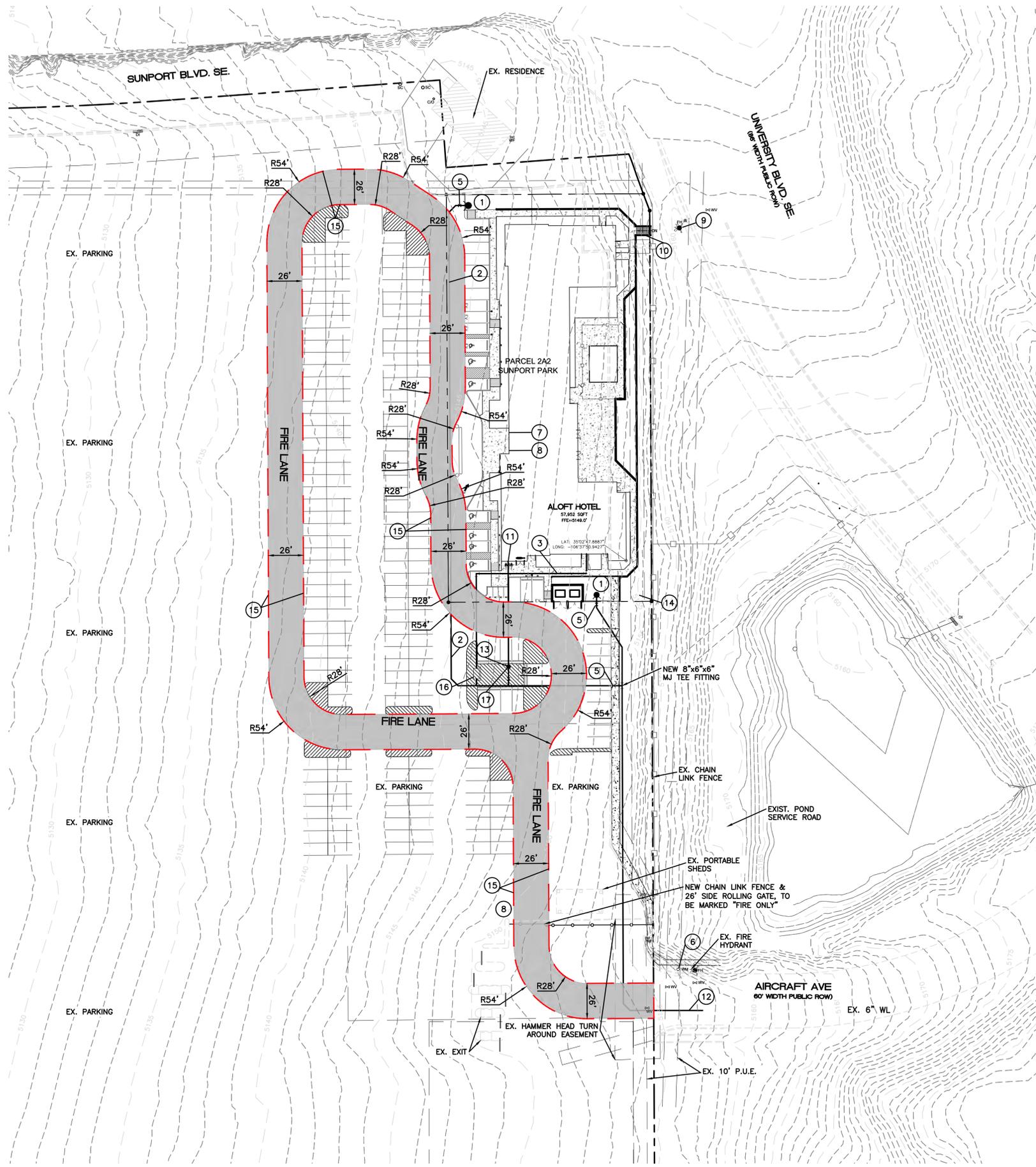


**STANDARD CURB AND GUTTER**  
 NTS



**CONCRETE SIDEWALK SECTION**

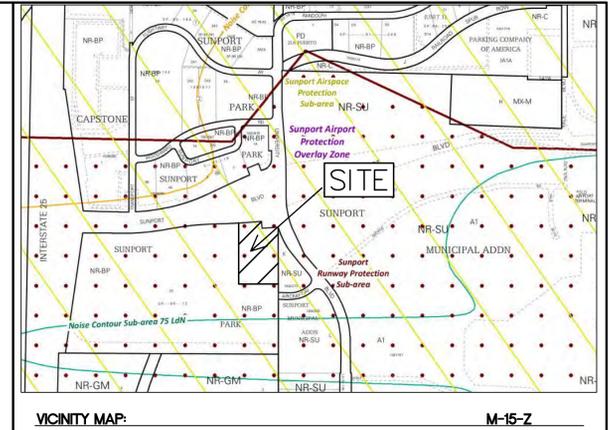
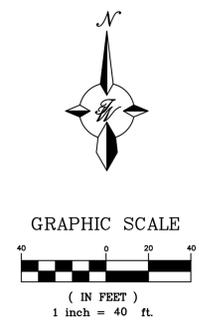
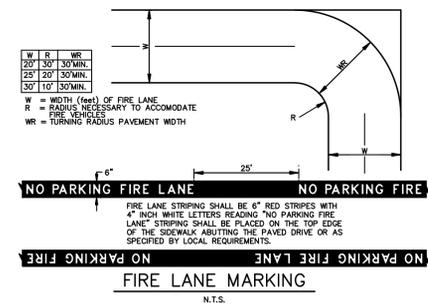
ENGINEER'S SEAL  RONALD R. BOHANNAN P.E. #7868	<b>ALOFT HOTEL</b> <b>ALBUQUERQUE, NM</b> <b>TRAFFIC CIRCULATION</b> <b>LAYOUT - DETAILS</b>	DRAWN BY MR
	DATE 01/06/2026	SHEET # <b>33</b>
01/06/2026 RONALD R. BOHANNAN P.E. #7868	<b>TIERRA WEST, LLC</b> 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	JOB # 2021133



### CAUTION

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

- ### NOTES
- ON SITE FIRE LANE ROAD SHALL BE MARKED ON BOTH SIDES, AS DIRECTED BY FIRE MARSHALL.
  - FIRE APPARATUS ACCESS ROADS SHALL NOT EXCEED 10 PERCENT IN GRADE AND SHALL HAVE AN ALL WEATHER DRIVING SURFACE CAPABLE OF SUPPORTING THE IMPOSED LOAD OF FIRE APPARATUS WEIGHING AT LEAST 75000 LBS.
  - KEY BOX (KNOX BOX) SHALL BE MOUNTED BETWEEN 4 AND 6 FEET ABOVE GRADE AND SHALL BE ILLUMINATED. SEE PLAN FOR LOCATION.
  - TYPICAL CURB RETURN AND ROAD WIDTHS ARE SHOWN TO ALLOW FOR TURNING MOVEMENT OF FIRE VEHICLES ON MAIN AND SECONDARY STREETS INTERNAL TO THE PARK.
  - REFERENCE THE 2009 INTERNATIONAL FIRE CODE APPENDIX B, C, AND D FOR CODE CRITERIA.



### LEGAL DESCRIPTION:

A CERTAIN PARCEL OF LAND BEING AND COMPRISING ALL OF PARCEL "2A", OF SUNPORT PARK, ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLATS OF LOTS 1A, 1B, 2A AND 2B IN BLOCK 3, PARCELS 1-A-1, 1-A-2, 1-B-1, 1-B-2, 1-C AND 2D OF SUNPORT PARK, RECORDED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON JANUARY 18, 1996, IN PLAT BOOK 96C, FOLIO 22. LESS AND EXCEPTING THEREFROM THAT PORTION AFFECTED BY THAT CERTAIN PERMANENT ORDER OF ENTRY ENTERED JUNE 28, 2018 IN BERNALILLO COUNTY DISTRICT COURT CAUSE NO. CV-2016-02511

SUNPORT SUITES (1501 AIRCRAFT AVE. SE.)  
CITY OF ALBUQUERQUE,  
BERNALILLO COUNTY

BUILDING TOTAL AREA: 58,102 SF

CONSTRUCTION TYPE: V-A FULLY SPRINKLED  
MAX BUILDING HEIGHT: 50'-0"

FIRE FLOW: 2,125 GPM  
REQ. FIRE HYDRANTS: 3

- ### KEYED NOTES
- PROPOSED FIRE HYDRANT W/PRIVATE GATE VALVE
  - 6" WATERLINE
  - 3" DOMESTIC WL SERVICE
  - PUBLIC GATE VALVE
  - 6" PRIVATE GATE VALVE
  - EXISTING 2" WL METER
  - BUILDING ADDRESS
  - KNOX BOX LOCATION
  - EXISTING PUBLIC FIRE HYDRANT
  - STAIRS AND PATHWAY FOR PUBLIC FH ACCESS
  - FDC
  - 8" WATERLINE
  - POST INDICATOR VALVE
  - 8" REMOVABLE BOLLARDS
  - FIRE LANE MARKINGS
  - 3" WATER METER PIT SEE COA STD DWG #2370
  - CLASS 1 STANDPIPE

	<b>ALOFT HOTEL</b> <b>ALBUQUERQUE, NM</b>	DRAWN BY MR
	<b>FIRE ONE PLAN</b>	DATE 01/06/2026
	5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # <b>34</b>
RONALD R. BOHANNAN P.E. #7868	01/06/2026	JOB # 2021133

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**PAVEMENT DESIGN STANDARDS**

1. TRANSVERSE LIMITS OF PAVING SUBGRADE PREP SHALL EXTEND TO A MIN OF 1 FOOT BEYOND THE BACK OF CURB.
2. FOR TRANSVERSE PAVEMENT STRUCTURE EXTENDING BELOW BOTTOM OF CURB:
  - A. AGGREGATE BASE COURSE (ABC), TREATED ABC, TREATED SUBGRADE SOILS, AND ASPHALT CONCRETE (AC) STRUCTURE EXTENDING MORE THAN 1/2 INCH BELOW THE BOTTOM OF A CURB OR CURB & GUTTER SHALL EXTEND TRANSVERSELY UNDER AND BEHIND THE CURB OR CURB & GUTTER TO A MIN OF 1 FOOT BEYOND THE BACK OF CURB.
  - B. SEE TABLE FOR LIFT MATERIAL REQUIREMENTS.
3. CITY STANDARD PAVEMENT DESIGNS BASED ON AN R-VALUE  $\geq$  50 AND MAXIMUM TRAFFIC VOLUMES DEFINED BELOW:
  - a. LOCAL RESIDENTIAL STREETS (SEE STD. DWG 2405 A)  
ROADWAY PROVIDES ACCESS TO A MAXIMUM OF 50 RESIDENTIAL LOTS OR HAS A MAXIMUM AWDT OF 500.
  - b. MAJOR LOCAL STREETS (SEE STD DWG 2405 B)  
ROADWAY TO HAVE A MAXIMUM AWDT OF 3000.
  - c. ROADS CLASSIFIED ON THE LONG RANG MAJOR STREET PLAN REQUIRE A PAVEMENT DESIGN IN ACCORDANCE WITH SECTION 7 OF THE DEVELOPMENT PROCESS MANUAL

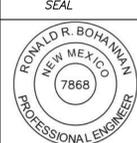
PAVEMENT CONSTRUCTION MATERIALS				
MATERIAL	COMPACTED LIFTS [1]		NOTES	CONSTRUCTION TOLERANCES [3]
	MINIMUM	MAXIMUM		
FILL	4"	8"	SEE SECTION 204	$\pm 1 \frac{1}{4}"$ (0.10 FT)
SUBGRADE	4"	8"	SEE SECTION 301	$\pm 1 \frac{1}{4}"$ (0.10 FT)
AGGREGATE BASE COURSE (ABC)	4"	6"	SEE SECTION 302	$\pm 1/2"$ (0.04 FT)
BITUMINOUS TREATED BASE (BTB)	4"	6"	SEE SECTION 305	$\pm 1/2"$ (0.04 FT)
CONCRETE TREATED BASE (CTB)	4"	6"	SEE SECTION 307	$\pm 1/2"$ (0.04 FT)
ASPHALT CONCRETE (AC)			SEE SECTION 116	
TYPE A, SP-II	3"	4"		$\pm 1/4"$ (0.02 FT)
TYPE B, SP-III [3]	2 1/2"	4"		$\pm 1/4"$ (0.02 FT)
TYPE C, SP-IV	1 1/2"	3"		$\pm 1/4"$ (0.02 FT)
TYPE D, SP-IV	1"	2"		$\pm 1/4"$ (0.02 FT)
TREATED SOILS	4"	8"	SEE SECTION 304	

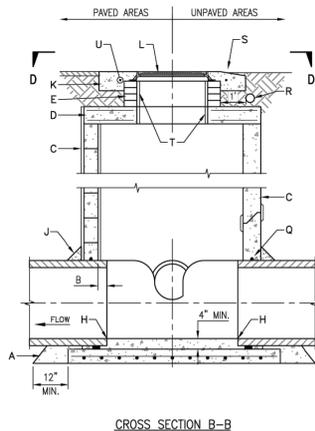
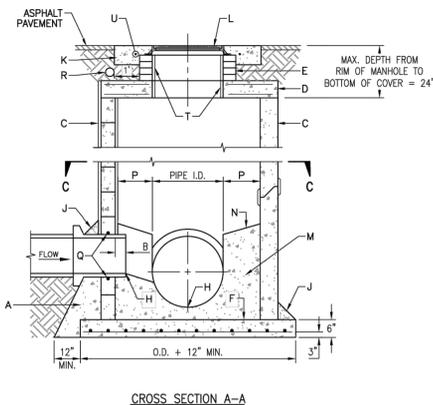
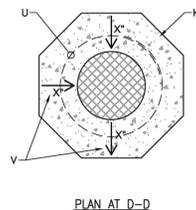
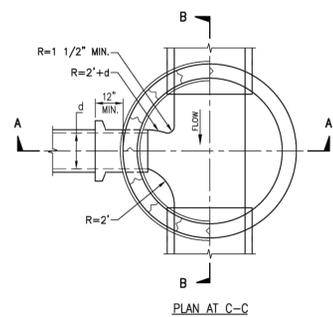
[1] THE LIFT THICKNESS/DEPTH(S) FOR A PAVEMENT SECTION SHALL BE IDENTIFIED IN TYPICAL PAVEMENT SECTIONS ON A PROJECT'S PLANS AND IN A PROJECT'S SPECIFICATIONS.

[2] MEASURED WITH A 10-FOOT STRAIGHT EDGE IN ANY DIRECTION.

[3] MINIMUM LIFT THICKNESS CAN BE 2" WITH ENGINEER APPROVAL

REVISIONS	CITY OF ALBUQUERQUE
	PAVING
	PAVEMENT DESIGN STANDARDS
	DWG. 2400      OCTOBER 2022

 01/06/2026 RONALD R. BOHANNAN P.E. #7868	ENGINEER'S SEAL ALOFT HOTEL ALBUQUERQUE, NM	DRAWN BY MR
	DETAILS 1	DATE 01/06/2026
	 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NEW MEXICO 87109 (505)858-3100	SHEET # <b>35</b>
		JOB # 2021133



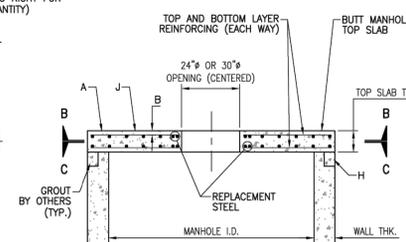
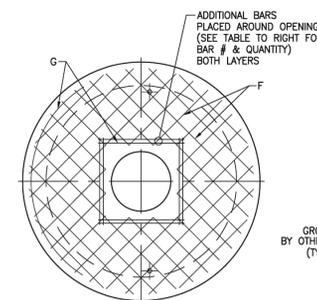
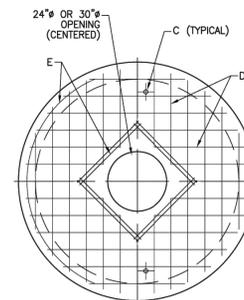
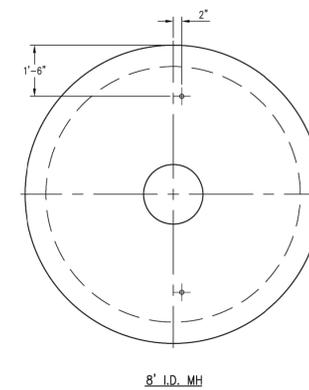
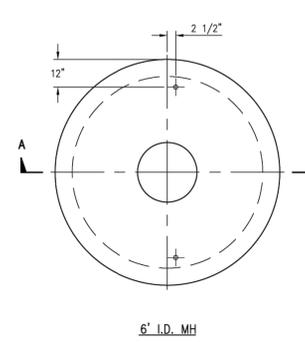
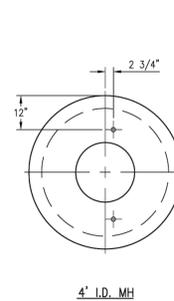
**GENERAL NOTES**

- USE TYPE "C" MANHOLE FOR DEPTHS < 6' MEASURED FROM INVERT TO RIM.
- CONTRACTOR HAS OPTION TO CONSTRUCT TYPE "C" MANHOLE IN LIEU OF TYPE "E" MANHOLE FOR DEPTHS ≥ 6'.
- MANHOLES > 18' IN DEPTH SHALL BE CONSTRUCTED OF PRECAST CONCRETE SECTIONS ONLY.
- DESIGN APPLIES TO 4' TO 6' I.D. MANHOLES.
- COMPACT ALL BACKFILL AROUND MANHOLE TO 95% (ASTM).
- USE NON-SHRINK GROUT FOR JOINTS, FILLETS AND PIPE PENETRATIONS.
- APPLY WATERPROOFING COATING TO EXTERIOR OF MANHOLE IN AREAS WHERE GROUNDWATER IS PRESENT.
- AN INTERIOR COATING, WITH A WATER AUTHORITY APPROVED EPOXY RESIN-TYPE MATERIAL, SHALL BE APPLIED TO MANHOLES ON MAINS LARGER THAN 24" IN DIAMETER.
- POSITION MANHOLE OPENING OVER THE CENTER OF MANHOLE.

**CONSTRUCTION NOTES**

- CONCRETE PIPE SUPPORTS SHALL EXTEND OUTSIDE OF MANHOLE TO BELL OF FIRST JOINT AND SHALL CRADLE PIPE TO SPRING LINE. NOT APPLICABLE FOR FLEXIBLE PIPE.
- PIPE PENETRATION INTO MANHOLE SHALL BE FLUSH TO 2" MAX., MEASURED AT SPRINGLINE OF PIPE.
- MANHOLE MAY BE CONSTRUCTED OF CONCRETE BLOCK, POURED CONCRETE, OR PRECAST REINFORCED CONCRETE. IF PRECAST CONCRETE IS USED, USE MASTIC GASKETS AND APPLY NON-SHRINK GROUT TO EXTERIOR AND INTERIOR OF EXPANSION JOINTS. IF BLOCK IS USED, APPLY 1/2" THICK MORTAR COATING TO EXTERIOR AND INTERIOR OF MANHOLE.
- PRECAST CONCRETE TOP SLAB, SEE STANDARD DRAWING 2107.
- USE MAX. 4 COURSES GRADE MS BRICK ON UNPAVED STREET FOR FUTURE ADJUSTMENT OF MANHOLE FRAME TO PAVEMENT GRADE.
- CONCRETE BASE TO BE POURED IN PLACE USING NO. 4 BARS AT 6" O.C. EA. WAY FOR MANHOLE DEPTH OF ≥ 16". NO. 4 BARS AT 12" O.C. EA. WAY FOR MANHOLE DEPTH OF < 16".
- INVERT ELEVATION OF STUB OR LATERAL AS SHOWN ON PLANS.
- 6" GROUT FILLET ON UPPER HALF OF PIPE AND AROUND BASE.
- OCTAGONAL CONCRETE PAD, SEE STANDARD DWG. 2461 FOR REFERENCE.
- MANHOLE FRAME AND COVER, SEE DRAWING 2109. INSTALL A 24" COVER FOR SEWER LINE ≤ 24", AND A 32" COVER FOR SEWER LINE > 24".
- CONCRETE, SEE SPECIFICATION SECTION 101.
- SLOPE 1" PER FT. FROM PIPE CROWN.
- SHELF TO BE 9" WIDE MIN.
- APPROVED WATERSTOP TO BE COMPATIBLE WITH TYPE OF PIPE.
- ELECTRONIC MARKER DEVICE (EMD), SEE STANDARD SPECIFICATION SECTION 170.
- CONCRETE COLLAR IN UNPAVED AREAS, SEE STANDARD DRAWING 2461.
- APPLY 1/2" THICK MORTAR COATING TO INTERIOR OF OPENING.
- #4 REBAR PER STANDARD DRAWING 2461.
- TOP OF CONCRETE COLLAR SHALL BE STAMPED WITH LINE SIZE AND FLOW DIRECTION ARROWS. MINIMUM LETTER SIZE SHALL BE 3" IN HEIGHT.

REVISIONS	WATER AUTHORITY
JAN. 2013	SANITARY SEWER MANHOLE TYPE "C"
	DWG. 2101 OCT. 2017



**GENERAL NOTES**

- ALL MANHOLES ≥ 20' IN DEPTH WILL REQUIRE AN INTERMEDIATE LANDING IN THE MANHOLE BARREL. TYPE "C" MANHOLE TOP SLABS SHALL BE USED AS INTERMEDIATE LANDINGS.
- INTERMEDIATE LANDINGS SHALL BE LOCATED AT THE MID POINT ±2' OF THE HEIGHT OF THE MANHOLE. AT NO TIME SHALL AN INTERMEDIATE LANDING OR A SIZE ADJUSTMENT TOP BE INSTALLED CLOSER THAN 8' UP FROM THE INVERT OF THE MANHOLE.

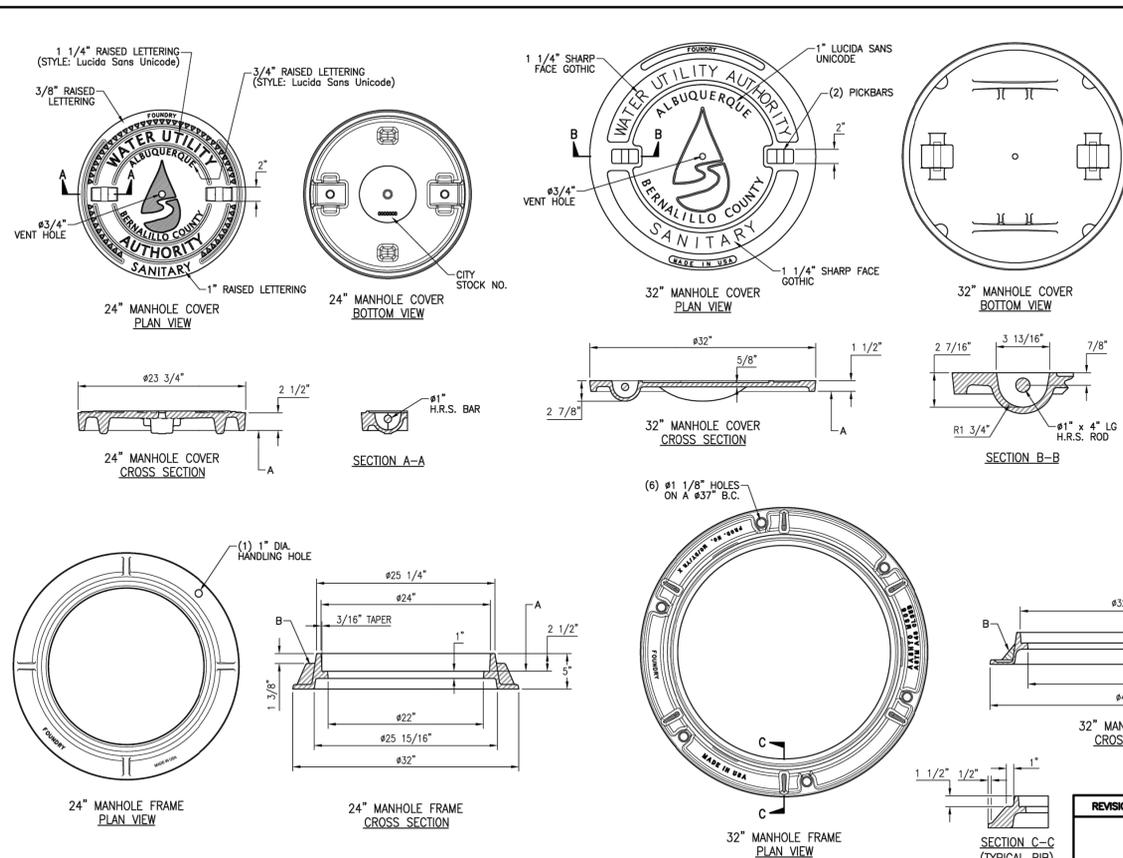
**CONSTRUCTION NOTES**

- PRECAST REINFORCED CONCRETE MANHOLE TOP SLAB.
- ALL BARS TO HAVE 1 1/2" MIN. COVER.
- 1" PIPE SLEEVE VERTICALLY THROUGH TOP SLAB.
- TOP MAT NO. 4 BARS 6" O.C. EACH WAY FOR 4', 6' AND 8' I.D. MANHOLES.
- NO. 4 BARS.
- BOTTOM MAT NO. 4 BARS 6" O.C. EACH WAY FOR 4' AND 6' I.D. MANHOLES, NO. 8 BARS 8" O.C. EACH WAY FOR 8' I.D. MANHOLES.
- NO. 4 BARS FOR 4' AND 6' I.D. MANHOLES.
- WHEN PRECAST MANHOLE SECTIONS ARE USED, TOP SLAB SHALL BE MODIFIED TO SHAPE OF APPROPRIATE SIZE TONGUE AND GROOVE JOINT.
- CONCRETE, SEE SECTION 101.

MANHOLE I.D.	48"	60"	72"	96"	120"
TOP SLAB THK.	8"	8"	8"	10"	10"
WALL THK.	5"	6"	7"	9"	11"
TOP LAYER STEEL (N <sup>2</sup> /FT)	0.40	0.40	0.40	0.40	0.40
BTM LAYER STEEL (N <sup>2</sup> /FT)	0.40	0.43	0.50	1.19	1.19
REPLACEMENT STEEL (BAR #)	(8)#5's	(8)#5's	(8)#5's	(8)#5's	(8)#5's
APPROX. WEIGHT (LBS.)	1,521	2,513	3,720	8,468	13,355

- NOTES:
- f<sub>c</sub> = 4000 psi (MIN.)
  - f<sub>y</sub> = 60,000 (MIN.)
  - 1 1/2" MINIMUM CLEAR CONCRETE COVER OVER REINFORCEMENT
  - HS-20 LIVE LOAD
  - SEE TABLE FOR APPROXIMATE WEIGHT

REVISIONS	WATER AUTHORITY
	SANITARY SEWER CONCRETE MANHOLE TOP SLAB TYPE "C"
	DWG. 2107 JAN. 2013



**GENERAL NOTES**

- REFERENCE SPECIFICATION SECTIONS 161 AND 163.
- ONLY PRODUCTS CAST IN THE USA WILL BE ACCEPTABLE.

**24" GENERAL NOTES**

- STANDARD 24" GRAY IRON MANHOLE FRAME AND DUCTILE IRON COVER. APPROXIMATE WEIGHTS: COVER=127 LBS., FRAME=150 LBS., TOTAL=277 LBS. (TOLERANCE= ±5%)

**32" GENERAL NOTES**

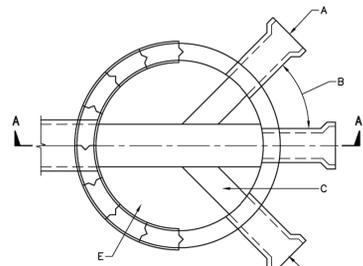
- STANDARD 32" GRAY IRON MANHOLE FRAME AND DUCTILE IRON COVER. APPROXIMATE WEIGHTS: COVER=167 LBS., FRAME=125 LBS., TOTAL=292 LBS. (TOLERANCE= ±5%)

**CONSTRUCTION NOTES**

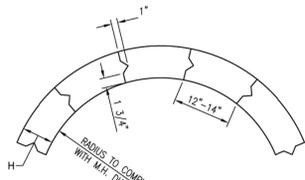
- MACHINED SURFACE.
- GUSSETS OPTIONAL IF REQUIRED BY MANUFACTURER.

REVISIONS	WATER AUTHORITY
	SANITARY SEWER MANHOLE FRAMES AND COVERS
	DWG. 2109 JAN. 2013

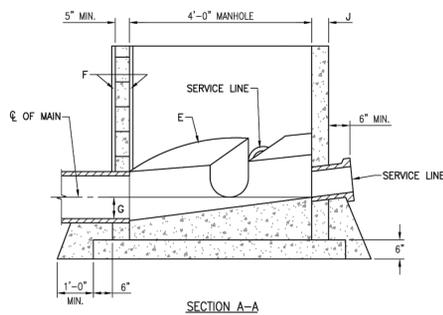
	<b>ALOFT HOTEL</b> <b>ALBUQUERQUE, NM</b>	DRAWN BY MR
	<b>DETAILS 2</b>	DATE 01/06/2026
	5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NEW MEXICO 87109 (505)858-3100	SHEET # <b>36</b>
RONALD R. BOHANNAN P.E. #7868	01/06/2026	JOB # 2021133



SERVICE LINE AT DEAD END OR CUL-DE-SAC



TYPICAL CONCRETE BLOCK DETAIL



SECTION A-A

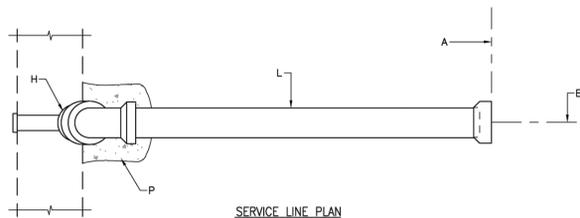
**GENERAL NOTES**

1. ALL CONCRETE SHELFS SLOPES TO BE 1" PER FT.
2. 1/4" PER FT. MIN. SLOPE FOR 4" OR 6" SERVICE LINE.
3. NEW SERVICE CONNECTIONS TO EXISTING MANHOLES MUST BE CORE DRILLED.
4. 8" OR LARGER SERVICE CONNECTIONS MUST BE MADE TO A MANHOLE.

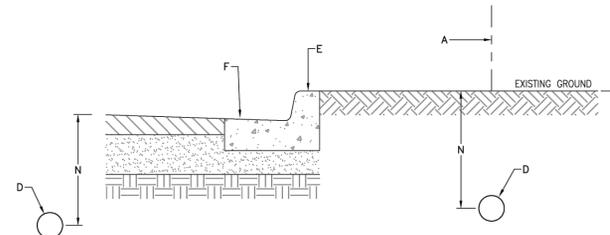
**CONSTRUCTION NOTES**

- A. CAST IRON SERVICE STUB.
- B. VARIABLE WITH MAX. ANGLE OF 90°.
- C. FORM INVERT IN SHELF.
- D. BELL END.
- E. CONCRETE, SEE SECTION 101.
- F. MANHOLE MAY BE CONSTRUCTED OF CONCRETE BLOCK, POURED CONCRETE, OR PRECAST REINFORCED CONCRETE. IF PRECAST CONCRETE IS USED, USE MASTIC GASKETS AND APPLY NON-SHRINK GROUT TO EXTERIOR AND INTERIOR OF EXPANSION JOINTS. IF BLOCK IS USED, APPLY 1/2" THICK MORTAR COATING TO EXTERIOR AND INTERIOR OF MANHOLE.
- G. INVERT ELEVATIONS OF SERVICE LINES SHALL BE THE SAME AS THE SPRING LINE ELEVATION OF THE SEWER MAIN.
- H. MIN. 5" BLOCK FOR 4" I.D. MANHOLE, 6" BLOCK OR DOUBLEWALL OF 2-5" BLOCKS FOR 6" OR 8" DIAMETER MANHOLES.
- J. PRECAST WALL THICKNESS:  
4" I.D. MANHOLE - 5" MIN.  
6" I.D. MANHOLE - 7" MIN.  
8" I.D. MANHOLE - 9" MIN.

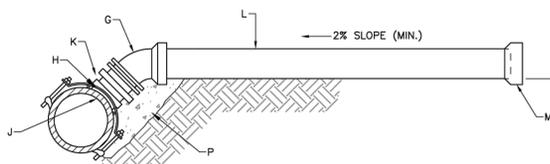
REVISIONS	WATER AUTHORITY
	SANITARY SEWER SERVICE LINE CONNECTIONS AT MANHOLE
	DWG. 2118 JAN. 2013



SERVICE LINE PLAN



CROSS SECTION



**GENERAL NOTES**

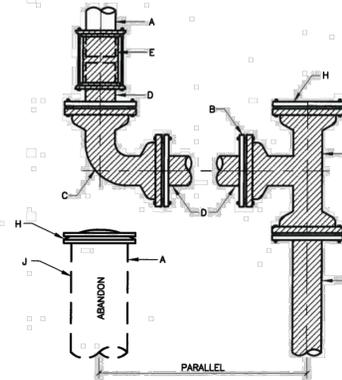
1. ALL SERVICE LINES SHALL CONFORM TO THE PLUMBING CODE OF THE CITY OF ALBUQUERQUE.
2. THE SANITARY SEWER SERVICE LATERAL IS CONSIDERED 'PRIVATE' FROM THE MAIN LINE, INCLUDING THE SERVICE TEE TO THE PROPERTY LINE AND BEYOND. ALL MAINTENANCE AND/OR REPLACEMENT IS THE RESPONSIBILITY OF THE PROPERTY OWNER FOR WHICH IT IS PROVIDING THE SERVICE.

**CONSTRUCTION NOTES**

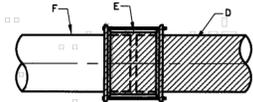
- A. RIGHT-OF-WAY LINE.
- B. CENTER LINE OF SERVICE LINE.
- C. MINIMUM OF 4" TO 6" FROM INVERT TO TOP OF CURB AT RIGHT-OF-WAY LINE. MINIMUM DEPTH WILL DEPEND ON THE DEPTH OF THE MAIN SEWER LINE, THE MINIMUM SERVICE LINE SLOPE, THE DEPTH OF THE LOT BEING SERVED, LOCATION OF THE HOUSE ON THE LOT, AND THE GRADE OF THE LOT.
- D. ELECTRONIC MARKER DEVICE (EMD), SEE STANDARD SPECIFICATION SECTION 170.
- E. STAMP OR CHISEL PIPE DIAMETER, AND "3" ON TOP OF CURB OVER LOCATION OF SERVICE LINE, MINIMUM 1/4" DEEP.
- F. CURB & GUTTER.
- G. 22.5" OR 45" DEEP.
- H. CORE DRILL.
- J. SERVICE LINE SHALL NOT PROTRUDE INTO SEWER MAIN.
- K. SANITARY SEWER TAPPING TEE, PER WATER AUTHORITY APPROVED PRODUCTS LIST. DO NOT OVER TIGHTEN SADDLE BOLTS WHICH WOULD PREVENT FREE PASSAGE OF REQUIRED MANDREL. IN-LINE WYE CONNECTIONS ARE ALSO ACCEPTABLE FOR NEW CONSTRUCTION.
- L. SERVICE LINE, AND NEW SERVICE CONNECTIONS TO EXISTING SEWER MAINS.
- M. PLUG OR CAP UNTIL LATERAL IS PLACED IN SERVICE.
- N. DEPTH PLACEMENT PER SECTION 170, AND MANUFACTURER'S RECOMMENDATIONS.
- P. BACKFILL UNDER SERVICE WITH MINIMUM 1 CUBIC FOOT OF CONCRETE.

REVISIONS	WATER AUTHORITY
JAN. 2013 JAN. 2018	SANITARY SEWER SERVICE LINE DETAILS
	DWG. 2125 MAY 2019

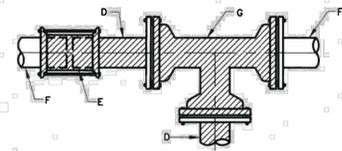
	<b>ALOFT HOTEL</b> <b>ALBUQUERQUE, NM</b>	DRAWN BY MR
	<b>DETAILS 3</b>	DATE 01/06/2026
		SHEET # <b>37</b>
5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NEW MEXICO 87109 (505)858-3100	JOB # 2021133	



REPLACEMENT OF STEEL LINES 4"-12"  
CONNECTION DETAILS



TRANSITION COUPLING  
FROM D.I., P.V.C., OR A.C.  
TO D.I. OR P.V.C.



TEE INSERTION D.I., P.V.C. OR A.C. PIPE

**GENERAL NOTES:**

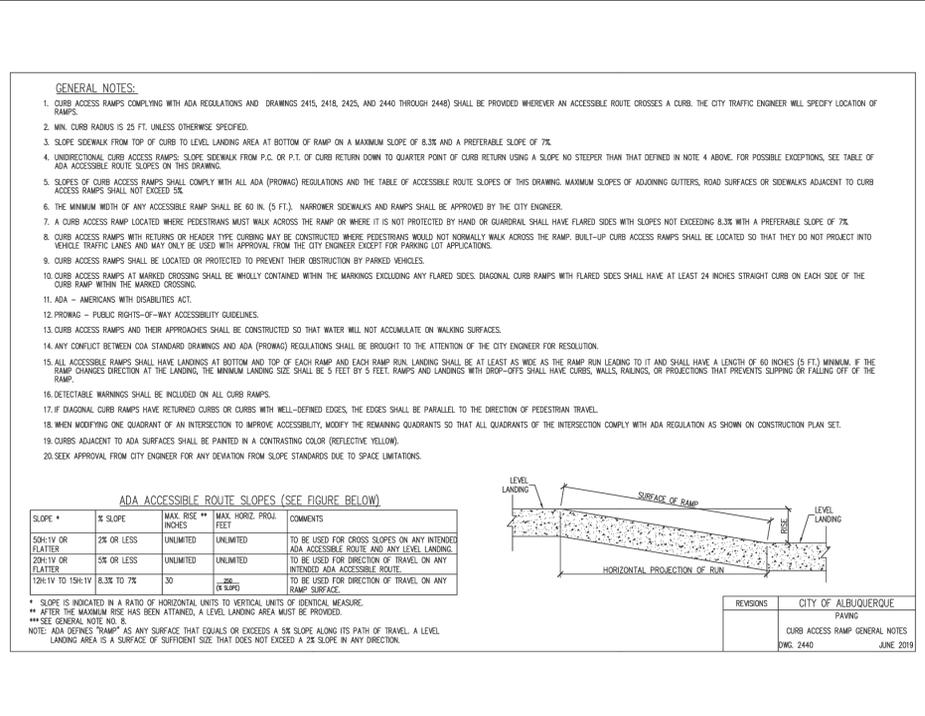
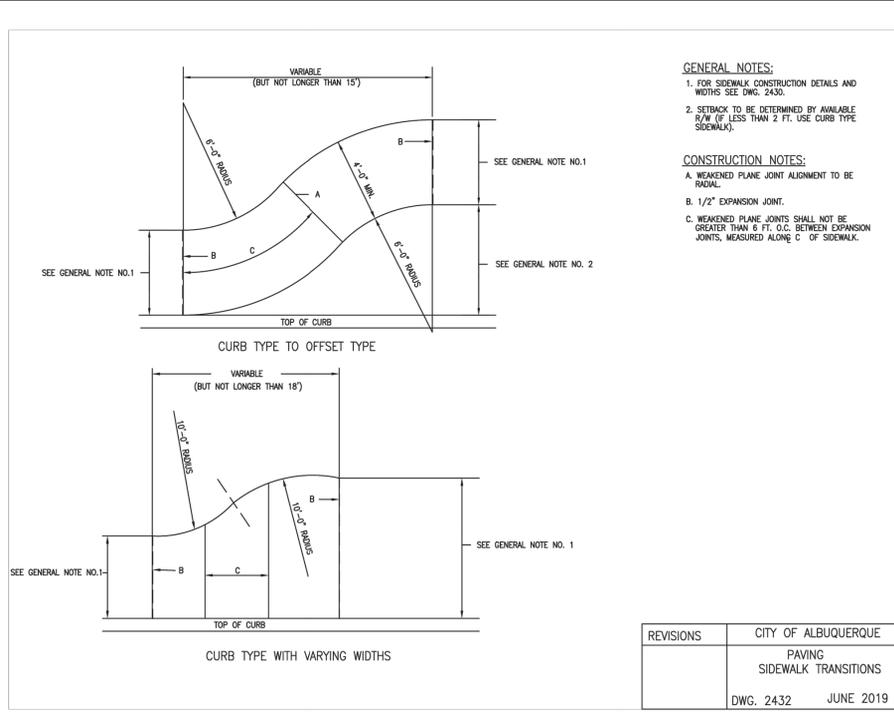
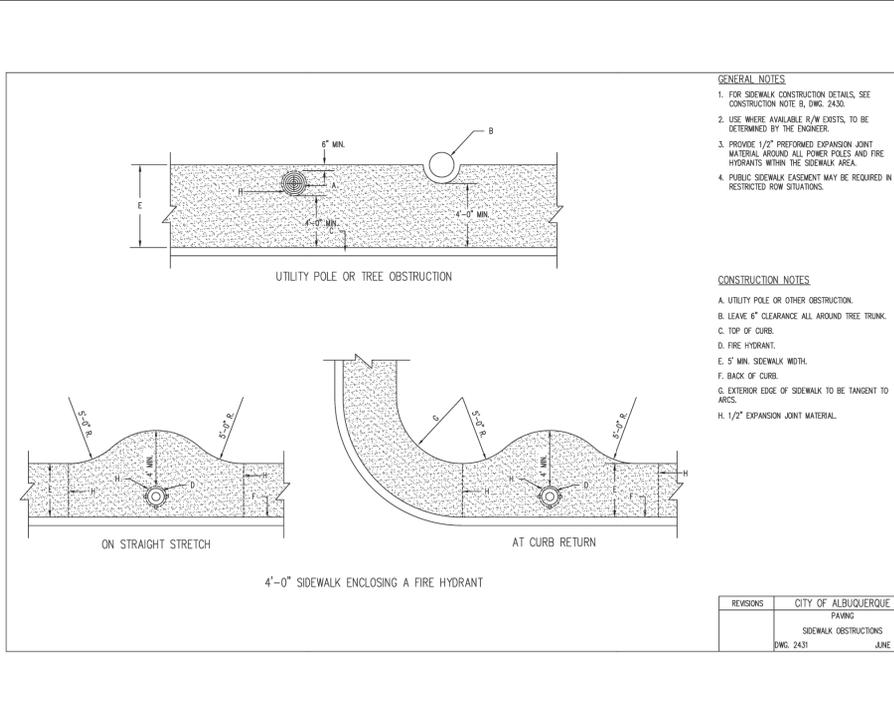
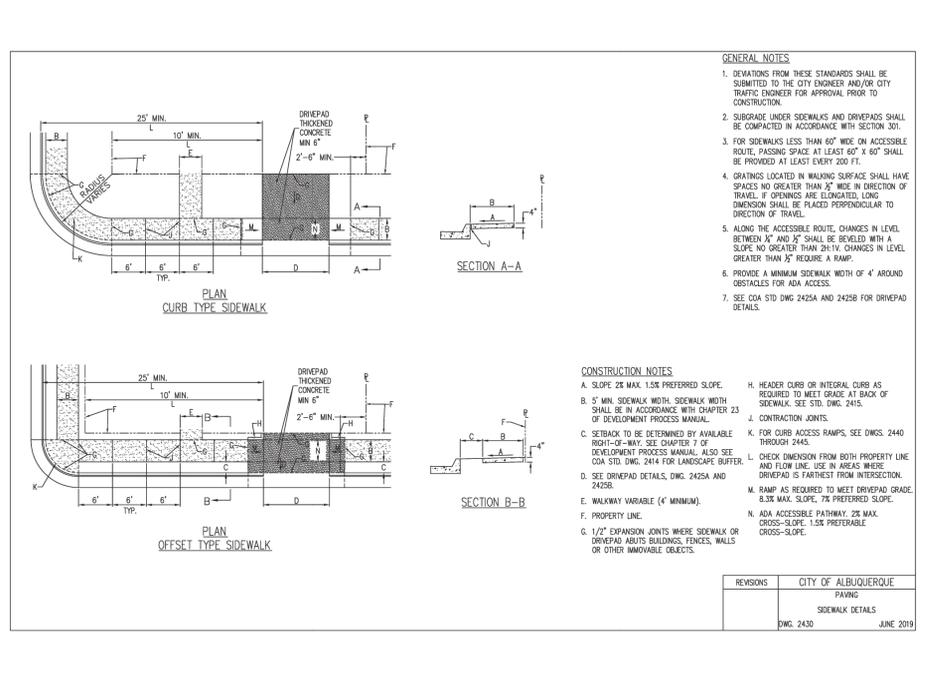
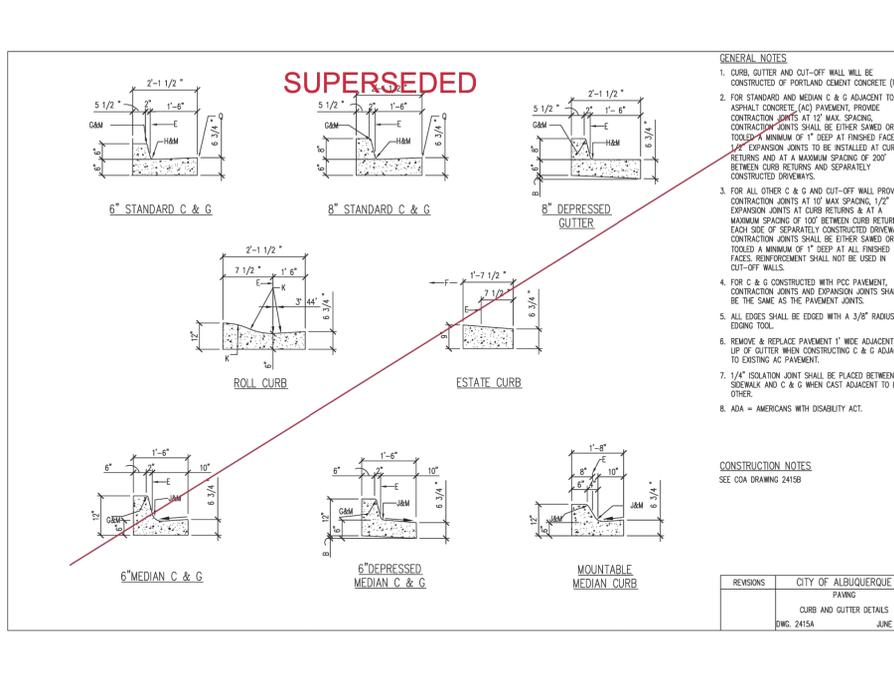
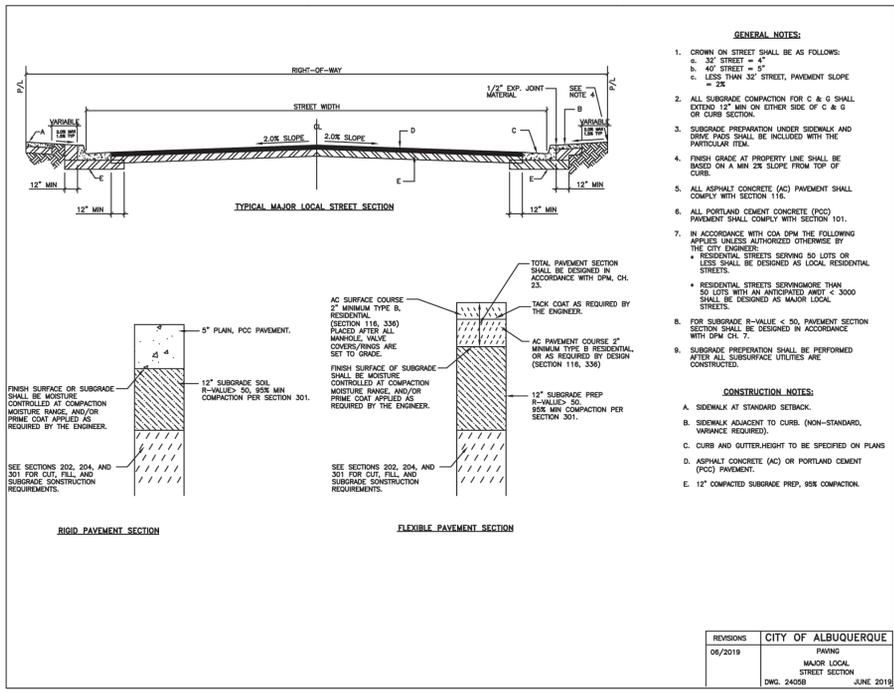
- 1 ALL NEW PIPE AND FITTINGS SHALL BE PROVIDED WITH THRUST CONTROL.
- 2 THRUST CONTROL SHALL BE BY RESTRAINED JOINTS ONLY UNLESS DIRECTED OTHERWISE BY ENGINEER.
- 3 EMD'S ARE REQUIRED AT VALVES, TEES, FLANGED OUTLETS (ON CONCRETE CYLINDER PIPES), AND CAPPED OR PLUGGED ENDS. SEE SPECIFICATION SECTION 170 FOR LOCATIONS.

**CONSTRUCTION NOTES:**

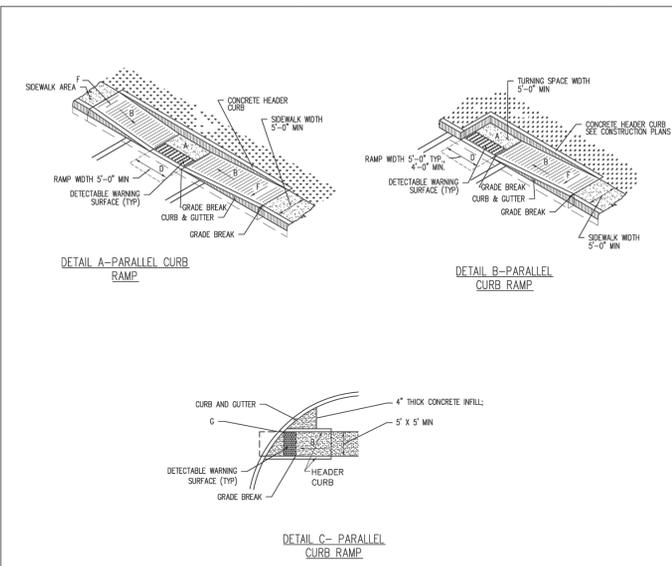
- A EXISTING STEEL PIPE.
- B REDUCE AT TEE, IF EXISTING LINE IS SMALLER THAN NEW LINE.
- C M.J., C.I. ELBOW WITH JOINT RESTRAINT.
- D NEW D.I. OR P.V.C., WITH VALVE AS DIRECTED.
- E RESTRAINED TRANSITION COUPLING FOR A.C. RESTRAINED SOLID SLEEVE FOR D.I., C.I. AND PVC.
- F EXISTING D.I., C.I., P.V.C., OR A.C. IF A.C., USE ADAPTER APPROVED BY ENGINEER OR AS APPROVED ON THE CURRENT WATER AUTHORITY APPROVED PRODUCTS LIST.
- G M.J. D.I. TEE WITH JOINT RESTRAINT.
- H M.J., C.I. PLUG OR CAP WITH JOINT RESTRAINT.
- J REMOVE AT LEAST 10' OF PIPE TO BE ABANDONED AND CAP OR PLUG.

REVISIONS	WATER AUTHORITY
	WATER
	WATERLINE CONNECTION
	DETAILS
	DWG. 2301 JANUARY 2011

 01/06/2026 RONALD R. BOHANNAN P.E. #7868	<b>ALOFT HOTEL</b> <b>ALBUQUERQUE, NM</b>  <b>DETAILS 4</b>	DRAWN BY MR
		DATE 01/06/2026
		SHEET # <b>38</b>
TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NEW MEXICO 87109 (505)858-3100		JOB # 2021133



	<b>ENGINEER'S SEAL</b> RONALD R. BOHANNAN NEW MEXICO PROFESSIONAL ENGINEER #7868 01/06/2026 RONALD R. BOHANNAN P.E. #7868	<b>ALOFT HOTEL</b> <b>ALBUQUERQUE, NM</b> <b>DETAILS 5</b>  TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NEW MEXICO 87109 (505)858-3100	DRAWN BY MR  DATE 01/06/2026  SHEET #  <b>39</b>  JOB # 2021133
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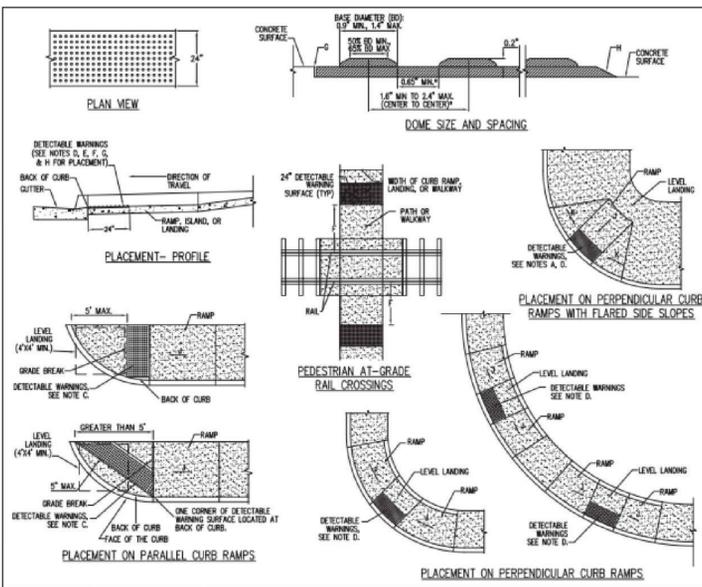
**GENERAL NOTES**

1. RUNNING SLOPE OF A CURB RAMP SHALL NOT REQUIRE THE RAMP LENGTH TO EXCEED 15 FEET TO AVOID CHANGING THE SLOPE INDEFINITELY WHEN CONNECTING TO STEEP GRADES. WHEN APPLYING THE 15-FOOT MAXIMUM LENGTH, THE RUNNING SLOPE OF THE CURB RAMP SHALL BE EXTENDED AS FLAT AS THE MAXIMUM EXTENT AS FEASIBLE.
2. SEE CDA STD. DWG. 2446 FOR DETECTABLE WARNING DOME DETAILS.

**CONSTRUCTION NOTES**

- A. TURNING SPACE SHALL HAVE MAXIMUM CROSS SLOPE AND LONGITUDINAL SLOPE OF 2.0% (PREFERRED SLOPE OF 1.5%). TURNING SPACE SHALL BE 5.0 FT BY 5.0 FT AT THE TOP OF THE CURB RAMP.
- B. 8.3% MAX. SLOPE OF RAMP, 7% PREFERRED SLOPE OF RAMP.
- C. GRADE BREAKS AT THE TOP AND BOTTOM OF CURB RAMP RUNS SHALL BE PERPENDICULAR TO THE DIRECTION OF THE RAMP RUN. GRADE BREAKS SHALL NOT BE PERMITTED ON THE SURFACE OF RAMP RUNS AND TURNING SPACE. SURFACE SLOPES THAT MEET AT GRADE BREAKS SHALL BE FLUSH.
- D. COUNTER SLOPE OF THE GUTTER OR STREET AT THE FOOT OF A CURB RAMP, RUN OR TURNING SPACE SHALL BE 5% MAX.
- E. FLARED SIDES ARE TO HAVE A SLOPE OF 10% MAX. MEASURED PARALLEL TO THE BACK OF THE CURB.
- F. 2% MAXIMUM CROSS-SLOPE, 1.5% PREFERRED CROSS-SLOPE.
- G. FILLET SHARP CURVES EXPOSED TO TRAFFIC TO 6" MINIMUM RADIUS.

REVISIONS	CITY OF ALBUQUERQUE
	PAVING
	PARALLEL AND DIAGONAL CURB RAMPS
	DWG. 2443
	JUNE 2019



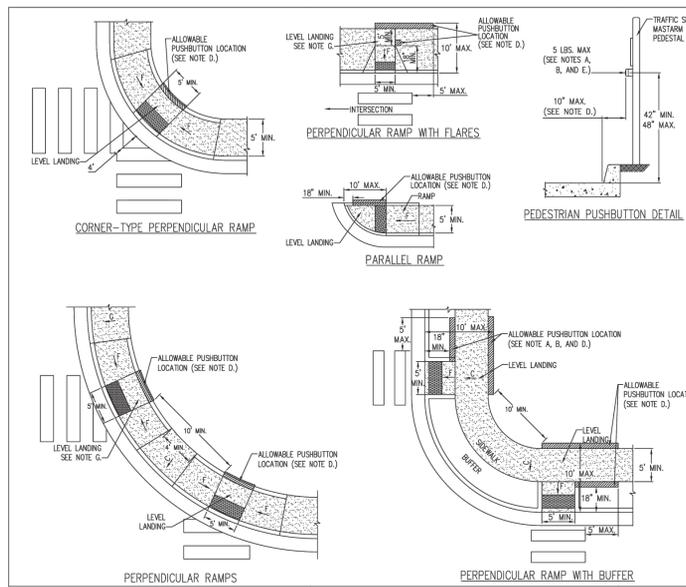
**GENERAL NOTES**

1. PROVIDE DETECTABLE WARNINGS ON ANY CURB RAMP OR LANDING WHERE THE ACCESSIBLE ROUTE CROSSES A PUBLIC STREET. DETECTABLE WARNINGS ARE NOT REQUIRED AT DRIVEWAYS UNLESS THE DRIVEWAY IS PROVIDED WITH BRUSHED CONCRETE, GRATES OR IS PERMITTED TO OPERATE LIKE A PUBLIC STREET AS DETERMINED BY THE CITY ENGINEER.
2. SELECT A DETECTABLE WARNING SURFACE THAT CONTRASTS VISUALLY (LIGHT-ON-DARK OR DARK-ON-LIGHT) WITH ADJACENT SURFACES.
3. IN NEW CONSTRUCTION, INITIAL CAST-IN-PLACE REPLEASIBLE DETECTABLE WARNING PLATES, PANELS, TILES OR PANELS. IN RETROFIT, INSTALLED SURFACE-APPLIED DETECTABLE WARNING PANELS WITH BRUSHED EDGES. SURFACE APPLIED PANELS SHALL BE MECHANICALLY ANCHORED.

**CONSTRUCTION NOTES**

- A. INITIAL DETECTABLE WARNING SURFACE SO THAT IT EXTENDS 24" IN THE DIRECTION OF TRAVEL FOR THE FULL WIDTH (NOT INCLUDING SIDE FLARES OF THE RAMP OR LANDING).
- B. PLACE DETECTABLE WARNINGS SO THAT THE ROWS OF TRUNCATED DOMES ARE ALIGNED PERPENDICULAR TO THE GRADE BREAK BETWEEN THE RAMP OR LANDING AND THE ROADWAY.
- C. ON PARALLEL CURB RAMPS, PLACE DETECTABLE WARNINGS ON THE RAMP SURFACE AT THE GRADE BREAK IF GRADE BREAK IS WITHIN 5' FROM BACK OF CURB. IF GRADE BREAK IS GREATER THAN 5' FROM BACK OF CURB, PLACE DETECTABLE WARNINGS AT A DIAGONAL USING A MINIMUM DISTANCE OF 5' FROM FACE OF CURB.
- D. ON PERPENDICULAR CURB RAMPS, PLACE DETECTABLE WARNINGS IN LINE WITH THE BACK OF CURB. DETECTABLE WARNING SURFACES ON THE ENTRANCE AND EXIT SIDES OF THE ISLAND CAN BE SEPARATED BY 2' MIN. OF WALKWAY. IF NECESSARY TO ACHIEVE 2' MIN. SEPARATION, PLACE DETECTABLE WARNINGS IN LINE WITH THE FACE OF CURB. IF THE ISLAND HAS NO CURB, PLACE DETECTABLE WARNINGS AT THE EDGE OF ROADWAY. SEE CDA STD. DWG. 2446.
- E. ON CUT-THROUGH ISLANDS, PLACE DETECTABLE WARNINGS AT THE BACK OF CURB.
- F. PLACE DETECTABLE WARNINGS AT RAIL CROSSINGS SO THAT THE EDGE NEAREST THE RAIL IS 6" TO 12" FROM THE CENTERLINE OF THE NEAREST SIGNAL. ALSO, ROWS OF TRUNCATED DOMES PARALLEL TO THE DIRECTION OF TRAVEL.
- G. RECESS OF CAST-IN DETECTABLE WARNINGS SO THAT THE SURFACE TO WHICH THE TRUNCATED DOMES ARE ATTACHED IS FLUSH WITH THE ADJACENT CONCRETE.
- H. IN RETROFIT, DETECTABLE WARNING MAT MAY BE MECHANICALLY ANCHORED TO THE SURFACE OF THE CONCRETE IF THE MAT EDGE IS BEVELED WITH A MINIMUM SLOPE OF 24%.
- I. 8.3% MAX. SLOPE, 7% PREFERRED SLOPE.
- J. SIDE FLARED SIDES.
- K. SIDE FLARED SIDES.

REVISIONS	CITY OF ALBUQUERQUE
	PAVING
	DETECTABLE WARNINGS
	DWG. 2446
	JUNE 2019



**GENERAL NOTES**

1. PROVIDE PEDESTRIAN SIGNALS AT ALL SIGNALIZED INTERSECTIONS AND ELSEWHERE AS DIRECTED BY THE CITY TRAFFIC ENGINEER.
2. OBTAIN RIGHT-OF-WAY OR EASEMENT AS REQUIRED TO CONSTRUCT PEDESTRIAN SIGNAL EQUIPMENT IN LOCATIONS REQUIRED BY ADA REGULATIONS AND AS SHOWN ON THIS SHEET. IF SUCH PLACEMENT IS INFEASIBLE, PROVIDE AND MAKE RECORD OF SUCH INFEASIBILITY BY REASONABLE OBJECTIVE ANALYSIS TO THE SATISFACTION OF THE USER DEPARTMENT.

**CONSTRUCTION NOTES**

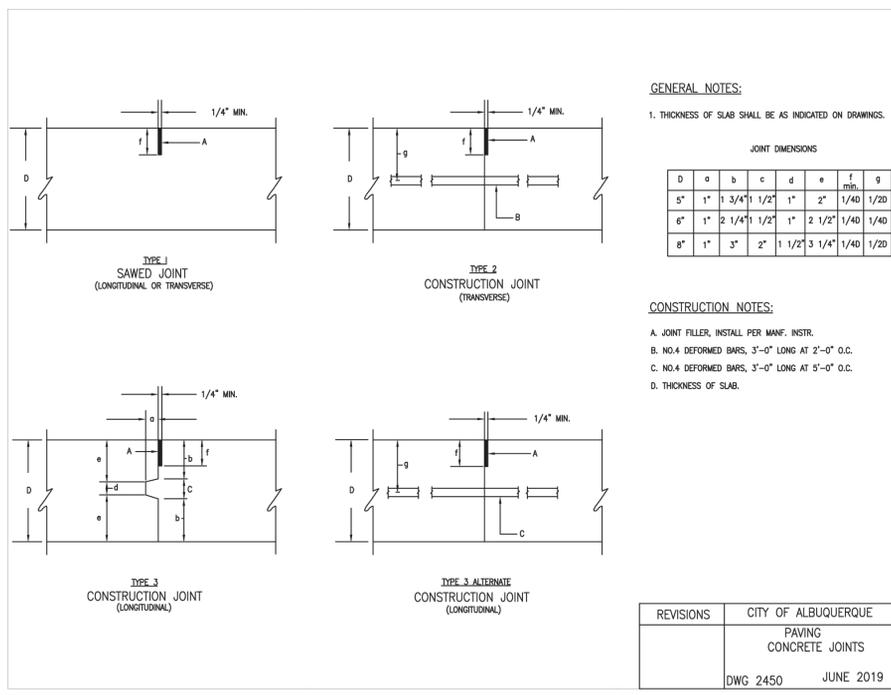
- A. MOUNT THE FACE OF THE PUSHBUTTON PARALLEL TO THE CROSSWALK BEING SERVED AND FACING THE INTERSECTION. IF THE PUSHBUTTON IS MOUNTED BEHIND THE SIDEWALK, MOUNT THE FACE OF THE BUTTON PERPENDICULAR TO THE CROSSWALK.
- B. MOUNT THE PEDESTRIAN PUSHBUTTON SUCH THAT IT IS ACCESSIBLE FROM A LEVEL LANDING CENTERED ON THE LANDING, AND MOUNTED ON THE LANDING SIDE OF THE SIGNAL POLE.
- C. 2% MAX. SLOPE, 1.5% PREFERRED SLOPE.
- D. SETBACK FROM THE LEVEL LANDING TO THE PUSHBUTTON OF UP TO 10" IS ALLOWED IF THE PEDESTRIAN CAN ACCESS THE PUSHBUTTON BY REACHING TO THE SIDE. IF FORWARD REACH IS REQUIRED, THE PUSHBUTTON MUST BE MOUNTED FLUSH WITH THE EDGE OF THE LEVEL LANDING. THE PUSHBUTTON MAY BE INSTALLED ON AN EXTENSION ARM (12" MAX. LENGTH) IF THE SIGNAL POLE CANNOT BE SET CLOSE ENOUGH TO THE LANDING TO FULFILL THE SETBACK REQUIREMENT.
- E. MEASURE THE FORCE REQUIRED TO ACTIVATE THE PUSHBUTTON USING A DOOR PRESSURE GAUGE WITH A RANGE OF AT LEAST 0-7 LBS.
- F. 8.3% MAX. SLOPE, 7% PREFERRED SLOPE.

REVISIONS	CITY OF ALBUQUERQUE
	PAVING
	PEDESTRIAN PUSH BUTTON PLACEMENT LOCATION NEAR CURB RAMPS
	DWG. 2445
	JUNE 2019

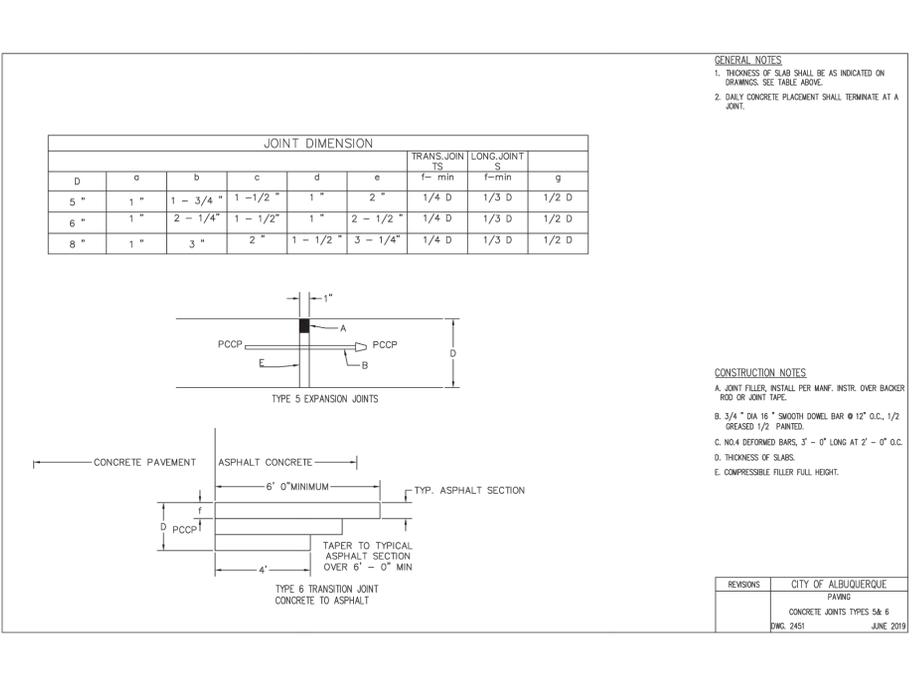
ENGINEER'S SEAL  
RONALD R. BOHANNAN  
NEW MEXICO PROFESSIONAL ENGINEER  
7868  
01/06/2026  
RONALD R. BOHANNAN  
P.E. #7868

ALOFT HOTEL  
ALBUQUERQUE, NM  
DETAILS 6  
TIERRA WEST, LLC  
5571 MIDWAY PARK PLACE NE  
ALBUQUERQUE, NEW MEXICO 87109  
(505)858-3100

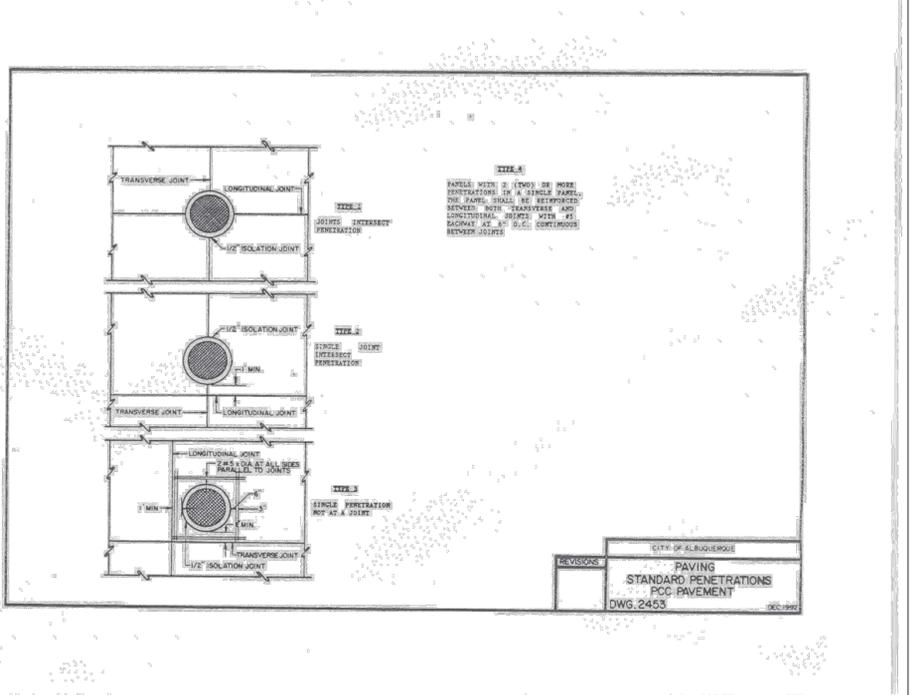
DRAWN BY MR  
DATE 01/06/2026  
SHEET # 40  
JOB # 2021133



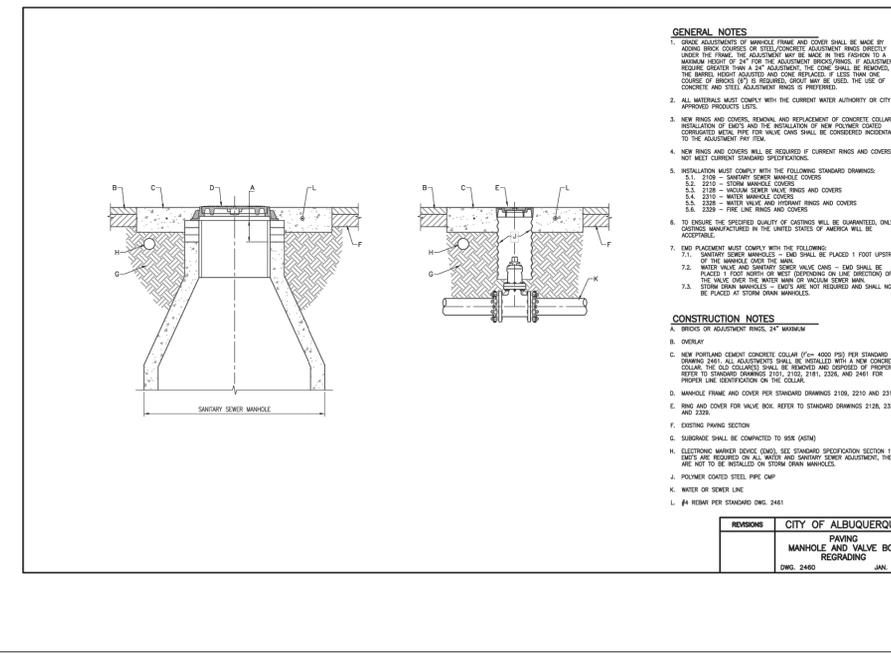
REVISIONS	CITY OF ALBUQUERQUE
	PAVING CONCRETE JOINTS
DWG 2450	JUNE 2019



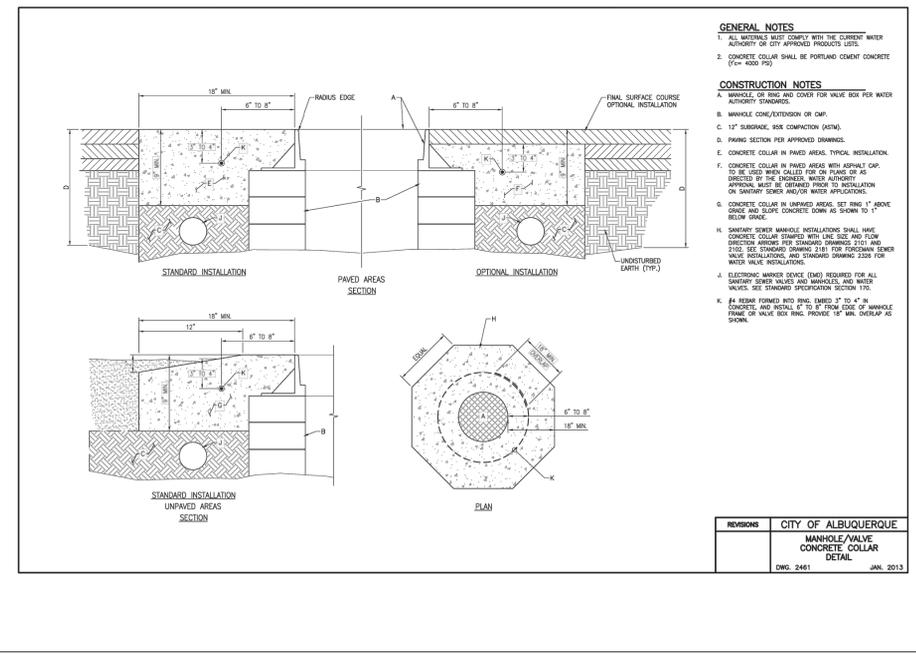
REVISIONS	CITY OF ALBUQUERQUE
	PAVING CONCRETE JOINTS TYPES 5 & 6
DWG. 2451	JUNE 2019



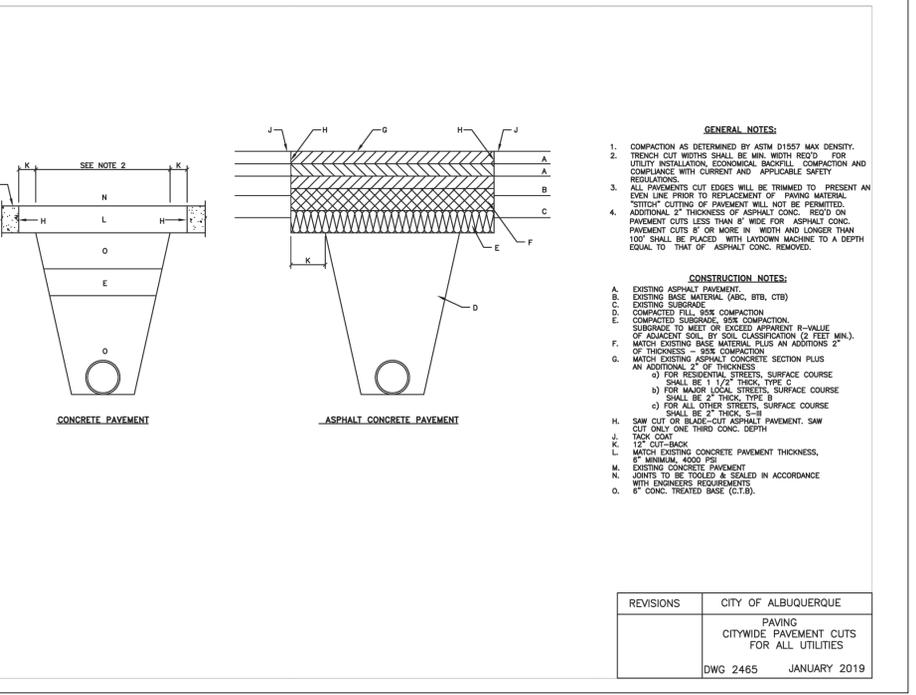
REVISIONS	CITY OF ALBUQUERQUE
	PAVING STANDARD PENETRATIONS PCC PAVEMENT
DWG 2453	JUNE 2019



REVISIONS	CITY OF ALBUQUERQUE
	PAVING MANHOLE AND VALVE BOX REPAIRING
DWG. 2460	JUN. 2013

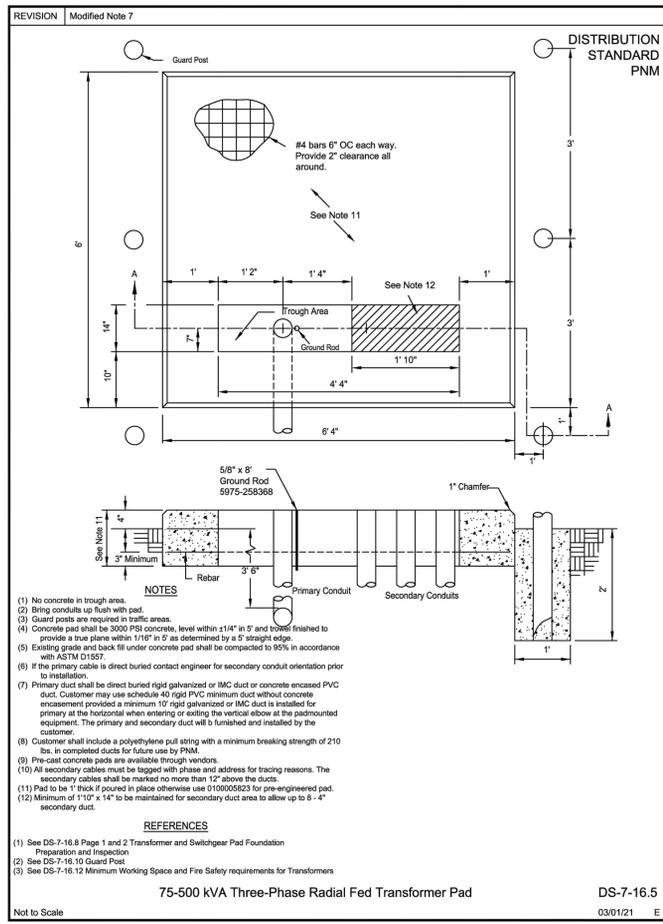


REVISIONS	CITY OF ALBUQUERQUE
	MANHOLE/VALVE CONCRETE COLLAR DETAIL
DWG. 2461	JUN. 2013



REVISIONS	CITY OF ALBUQUERQUE
	PAVING CITYWIDE PAVEMENT CUTS FOR ALL UTILITIES
DWG 2465	JANUARY 2019

	<b>ALOFT HOTEL</b> <b>ALBUQUERQUE, NM</b> <b>DETAILS 7</b>	DRAWN BY MR
	01/06/2026	DATE 01/06/2026
01/06/2026 RONALD R. BOHANNAN P.E. #7868	TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NEW MEXICO 87109 (505)858-3100	SHEET # <b>41</b>
		JOB # 2021133



ENGINEER'S SEAL	ALLOFT HOTEL ALBUQUERQUE, NM	DRAWN BY MR
	DETAILS 8	DATE 01/06/2026
		SHEET # 42
 01/06/2026 RONALD R. BOHANNAN P.E. #7868	5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NEW MEXICO 87109 (505)858-3100	JOB # 2021133

**NOTES**

1. PURPOSE

THESE DESIGN DRAWINGS, STANDARD DETAILS, AND ASSOCIATED SPECIFICATIONS ON THE DRAWINGS ARE FOR A LANDFILL GAS VENT SYSTEM (LFGVS) AROUND THE PERIMETER OF THE EXISTING BUILDING. THE INTENT OF THE SYSTEM IS TO PROVIDE PUBLIC SAFETY AND WELFARE BY CONTROLLING LANDFILL GAS THAT COULD POTENTIALLY MIGRATE TOWARD THE BUILDING. THIS SYSTEM IS NOT INTENDED TO CONTROL FLAMMABLE VAPORS THAT COULD ORIGINATE IN AND MIGRATE FROM OTHER SOURCES WHICH INCLUDE, BUT ARE NOT LIMITED TO, LEAKING UNDERGROUND STORAGE TANKS, HAZARDOUS MATERIAL TRANSMISSION PIPING, OR SIMILAR EQUIPMENT. THIS DESIGN PRESENTS THE DESIGN FOR A PASSIVE SYSTEM WHICH VENTS LANDFILL GAS FROM THE SITE TO ABOVE GRADE VIA HORIZONTAL SOIL GAS COLLECTORS AND VERTICAL VENT PIPING.

2. GENERAL REQUIREMENTS

– SOIL GAS COLLECTOR PIPING AND ASSOCIATED VENTS SHALL BE INSTALLED TO VENT LANDFILL GAS (LFG).

– THE DETAILS PRESENTED IN THESE PLANS AND SPECIFICATIONS SHALL BE UTILIZED IN THE CONSTRUCTION OF THE SYSTEM SHOWN HEREIN. COMPONENTS OF THE SYSTEM SHALL BE PRODUCTS MANUFACTURED BY VENDORS CITED HEREIN. REFERENCE TO THESE PRODUCTS ARE PROVIDED TO DESCRIBE THE SYSTEM AND MATERIALS ONLY AND MAY BE SUBSTITUTED FOR EQUIVALENT PRODUCTS IF APPROVED BY THE LFG VENT SYSTEM DESIGNER.

– INSTALLATION OF EQUIPMENT AND MATERIALS SHALL BE PER MANUFACTURER'S INSTRUCTIONS TO ENSURE WARRANTY, IF PROVIDED BY MANUFACTURER.

– THE SYSTEM SHALL BE MAINTAINED AND SERVICED IN PROPER WORKING CONDITION, AND MEET ALL REQUIREMENTS OF OPERATION AND MAINTENANCE PLANS. THE TESTING, MAINTENANCE AND SERVICE PROCEDURE FOR THE SYSTEM SHALL BE PERFORMED IN ACCORDANCE WITH PLANS PROVIDED FOR THE SYSTEM. THE OPERATION AND MAINTENANCE PLANS SHALL BE APPROVED BY APPLICABLE AUTHORITIES HAVING JURISDICTION AT THIS LOCATION.

3. DESIGN CRITERIA

3.1. LFG VENT SYSTEM

THIS SYSTEM HAS BEEN DESIGNED TO COMPLY WITH GENERALLY ACCEPTED PRACTICES OF THE USEPA AND PORTIONS OF THE METHANE HAZARD MITIGATION STANDARD PLAN WHICH COMPLIES WITH THE REQUIREMENTS OF THE METHANE SEEPAGE REGULATIONS OF DIVISION 71 OF THE LOS ANGELES BUILDING CODE. THE DETAILS, DESIGN COMPONENTS, AND SPECIFICATIONS AS CITED HEREIN FOR THIS SYSTEM ARE INTENDED TO MODEL THE STANDARD PLAN.

3.2. SYSTEM COMPONENTS

THE CONSTRUCTION OF THE SYSTEM SHALL CONSIST OF, BUT NOT BE LIMITED TO THE FOLLOWING:

- 4-INCH PERFORATED SCH. 40 PVC PIPE IN GRAVEL-LINED TRENCHES FOR LFG COLLECTORS
- 4-INCH CAST IRON PIPE FOR LFG EXHAUST VENT RISERS
- PASSIVE VENTILATOR ON OUTLET OF VENTS

ALL MATERIALS ARE TO BE DELIVERED TO THE PROJECT SITE IN THEIR ORIGINAL UNBROKEN PACKAGES BEARING THE MANUFACTURER'S LABEL SHOWING BRAND, WEIGHT, VOLUME, BATCH NUMBER AND DATE. MATERIALS ARE TO BE STORED AT THE PROJECT SITE IN STRICT COMPLIANCE WITH THE MANUFACTURER'S INSTRUCTIONS.

4. QUALITY ASSURANCE

1.) A PRE-INSTALLATION CONFERENCE SHALL BE HELD PRIOR TO THE INSTALLATION OF THE LFGVS VENT SYSTEM TO COORDINATE INSTALLATION CONDITIONS AND PROCEDURES.

2.) THE INSTALLATION OF THE LFGVS SHALL BE INTERMITTENTLY OBSERVED BY THE DESIGNER OR HIS DESIGNATED REPRESENTATIVE. INSPECTIONS SHALL TYPICALLY BE PERFORMED PRIOR TO, DURING, AND SUBSEQUENT TO THE INSTALLATION OF THE CERTAIN COMPONENTS OF THE VENT SYSTEM. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNER AND LFGVS DESIGNER WITHIN 72 HOURS OF BEGINNING ANY PORTION OF THIS WORK.

3.) PRIOR TO INSTALLATION OF THE VENT SYSTEM COMPONENTS, THE LFGVS DESIGNER SHALL INSPECT AND APPROVE THE COMPONENTS IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS. INSTALLATION OF SYSTEM COMPONENTS SHALL NOT PROCEED WITHOUT WRITTEN APPROVAL BY THE SYSTEM DESIGNER. ADDITIONALLY, DESIGNER SHALL CONDUCT INSPECTIONS AS CITED HEREIN.

5. SUBMITTALS

THE CONTRACTOR SHALL SUBMIT THE FOLLOWING SHOP DRAWINGS TO THE SYSTEM DESIGNER FOR REVIEW/APPROVAL:

- 4-INCH PERFORATED SCH. 40 PVC PIPE FOR LFG COLLECTORS
- #57 GRAVEL (OR EQUIVALENT) IN LFG COLLECTOR TRENCH
- 4-INCH CAST IRON LFG EXHAUST VENT RISERS
- PASSIVE VENTILATOR ON OUTLETS OF LFG EXHAUST VENT RISERS

AT THE COMPLETION OF INSTALLATION, THE DESIGNER SHALL SUBMIT A LETTER TO THE OWNER CERTIFYING THAT SYSTEM INSTALLATION WAS COMPLETED IN ACCORDANCE WITH THE PROJECT PLANS AND SPECIFICATIONS AS WELL AS MANUFACTURER SPECIFICATIONS.

6. JOB CONDITIONS

1.) THE AREAS ADJACENT TO THE SYSTEM COMPONENTS ARE TO BE PROTECTED BY THE CONTRACTOR FOR THE PERFORMANCE OF THIS SCOPE OF WORK DURING THE INSTALLATION.

2.) WORK IS TO BE PERFORMED ONLY WHEN EXISTING AND FORECASTED WEATHER CONDITIONS ARE WITHIN THE MANUFACTURER RECOMMENDATIONS FOR THE MATERIAL AND PRODUCTS USED.

3.) FIELD SITUATIONS NOT SPECIALLY DETAILED SHALL BE HANDLED PER THE INTENT OF THESE PLANS AND SPECIFICATIONS WITH THE APPROVAL OF THE SYSTEM DESIGNER.

4.) APPROPRIATE CARE SHALL BE EXERCISED TO PROTECT VENT SYSTEM COMPONENTS SUBSEQUENT TO INSTALLATION. VENT SYSTEM COMPONENTS SHALL BE PROTECTED FROM PEDESTRIAN AND EQUIPMENT TRAFFIC.

7. INSTALLATION

7.1. SYSTEM PIPING INSTALLATION

PIPING INSTALLED BELOW GRADE FOR THE SYSTEM SHALL NOT BE COVERED UNTIL THE SYSTEM DESIGNER OR HIS DESIGNEE HAS INSPECTED PIPING AND FITTINGS.

8. INSPECTIONS

1.) ALL COMPONENTS OF THIS SYSTEM SHALL BE INSPECTED BY THE DESIGNER. AT A MINIMUM, INSPECTION SHALL TAKE PLACE AT THE FOLLOWING STAGES OF THE INSTALLATION, AS DEEMED NECESSARY BY THE DESIGNER:

- INSTALLATION OF THE LFG COLLECTORS
- PLACEMENT OF GRAVEL AROUND LFG COLLECTORS
- INSTALLATION OF LFG VENT RISERS
- PASSIVE VENTILATOR ON OUTLETS OF VENTS

2.) SERVICES LISTED IN THIS SPECIFICATION AS BEING REQUIRED BY THE SYSTEM DESIGNER ARE DEPENDENT UPON OWNER AUTHORIZATION OF SAID SERVICES TO DESIGNER, AND NOTIFICATIONS TO THE DESIGNER OF THE PROJECT STATUS BY THE SYSTEM INSTALLATION CONTRACTOR. IF THESE SERVICES ARE NOT PERFORMED BY THE SYSTEM DESIGNER, THE MANUFACTURER'S WARRANTY OF CERTAIN EQUIPMENT OR MATERIALS MAY BE VOIDED.

RECOMMENDED VENT SYSTEM TASKS SUMMARY

SPECIFIC NOTES:

1. PRIOR TO INITIATING WORK, THE CONTRACTOR WILL SUBMIT FOR APPROVAL A SCHEDULE TO THE OWNER, FOR THE COMPLETION OF THE PROJECT.
2. REUSE SOIL EXCAVATED FROM THE LANDFILL GAS COLLECTION SYSTEM SHALL BE PLACED AT A LOCATION DESIGNATED BY THE OWNER TO PROMOTE POSITIVE DRAINAGE.
3. CONTRACTOR WILL BE RESPONSIBLE FOR DEWATERING ALL EXCAVATIONS. EXCAVATIONS WITHIN THE LANDFILL MAY ENCOUNTER LEACHATE. CONTRACTOR SHALL MAKE ALL SAFETY AND ENVIRONMENTAL PRECAUTIONS TO PROTECT ITS WORKERS AND SUBCONTRACTORS AT NO ADDITIONAL COST TO THE OWNER.

EROSION AND SEDIMENT CONTROL:

1. EROSION AND SEDIMENT CONTROL WILL BE INSTALLED DURING CLEARING OPERATIONS AND SHALL BE COMPLETED AS PER PLANS AND SPECIFICATIONS PRIOR TO GRADING AND MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED. SEE CIVIL PLANS.

2. CONTRACTOR WILL INSPECT AND REPAIR AS NECESSARY EROSION AND SEDIMENT CONTROLS DAILY AND FOLLOWING EACH RAIN.

3. CONTRACTOR WILL ADD EROSION AND SEDIMENT CONTROLS AS NECESSARY TO PREVENT SEDIMENTATION AND DAMAGE TO ADJACENT AREAS AND AS DIRECTED BY THE OWNER OR OWNER'S REPRESENTATIVE.

4. CONTRACTOR IS RESPONSIBLE FOR MONITORING DOWNSTREAM CONDITIONS THROUGHOUT THE CONSTRUCTION PERIOD AND CLEARING ANY DEBRIS AND SEDIMENT RESULTING FROM CONSTRUCTION.

5. ADDITIONAL EROSION AND SEDIMENT CONTROL WILL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTION BY OTHERS.

6. STABILIZATION MEASURES SHALL BE INITIATED IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY CEASED WITHIN 2 WEEKS. AREAS WHERE WORK HAS PERMANENTLY CEASED SHALL BE STABILIZED IMMEDIATELY.

EARTHWORK:

1. EXCAVATIONS ARE UNCLASSIFIED AND COULD INCLUDE REMOVAL OF EARTH FILLS, RUBBLE, TRASH, AND OTHER MATERIALS ENCOUNTERED IN EXCAVATION AND GRADING OPERATIONS TO DEPTH AND EXTENT SHOWN ON DRAWINGS SPECIFIED. THE OWNER OR HIS REPRESENTATIVE SHALL BE THE FINAL AUTHORITY AND SHALL MAKE THE FINAL DECISION DURING CONSTRUCTION AS TO THE DEPTH AND EXTENT TO WHICH MATERIALS MUST BE REMOVED AND REPLACED.

2. SURVEY BENCHMARKS, MONUMENTS, AND OTHER SURFACE REFERENCE POINTS WILL BE PROTECTED FROM DAMAGE AND DISPLACEMENT. IF DISTURBED OR DESTROYED, THEY WILL BE REPLACED AT THE CONTRACTORS EXPENSE.

3. CONTRACTOR SHALL KEEP DIRT, DUST, NOISE, AND OTHER OBJECTIONABLE NUISANCES TO A MINIMUM.

4. ALL FILL AREAS ARE TO BE PROOF ROLLED AS DEFINED IN THE SPECIFICATIONS.

5. CUT AND FILL SLOPES FOR STRUCTURAL EMBANKMENTS SHALL NOT EXCEED 3 FT. HORIZONTAL TO 1 FT. VERTICAL.

6. FINAL COVER SHALL MEET THE REQUIREMENTS OUTLINED IN THE PLANS AND SPECIFICATIONS FOR THIS FACILITY, IF APPLICABLE.

UTILITIES:

1. THE LOCATION OF EXISTING UNDERGROUND FACILITIES INDICATED ON THE PLANS ARE APPROXIMATE BASES ON BEST AVAILABLE INFORMATION PROVIDED TO THE ENGINEER BY THE OWNER. LOCATIONS AND HAVE NOT BEEN FIELD VERIFIED BY THE ENGINEER OR OWNER. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAKE ARRANGEMENTS WITH THE OWNER TO LOCATE SUCH UNDERGROUND FACILITIES PRIOR TO WORKING IN THE AREA TO CONFIRM THEIR EXACT LOCATION AND TO DETERMINE WHETHER ANY ADDITIONAL FACILITIES, OTHER THAN THOSE SHOWN ON THE PLAN, MAY BE PRESENT. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL UNDERGROUND FACILITIES FOUND.

2. THE CONTRACTOR SHALL BE REQUIRED TO PROVIDE AND MAINTAIN ALL NECESSARY WARNING AND SAFETY DEVICES (FLASHING LIGHTS, BARRICADES, SIGNS, ETC.) TO PROTECT THE PUBLIC SAFETY AND HEALTH, IF REQUIRED, UNTIL ALL WORK HAS BEEN COMPLETED AND ACCEPTED BY THE OWNER.

3. THE CONTRACTOR SHALL CONTACT MEDICI CONSULTING GROUP AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION ON THIS PROJECT. CONTRACTOR SHALL COORDINATE ALL PHASES OF INSPECTION OF THIS PROJECT.

4. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH THE PRIVATE UTILITY COMPANIES ON THE RELOCATION OF ALL UTILITY POLES, AERIAL FACILITIES, AND UNDERGROUND CONDUITS REQUIRED BY THIS PROJECT.

GENERAL NOTES:

1. EXISTING CONTOURS SHOWN ON THESE PLANS ARE BASED ON A FIELD SURVEY PERFORMED BY OTHERS.

2. SLOPES AND GRADES ARE IN UNITS OF FT/FT, UNLESS OTHERWISE NOTED.

3. THE EROSION CONTROL FEATURES REQUIRED BY THESE PLANS ARE THE MINIMUM FEATURES REQUIRED. ADDITIONAL FEATURES MAY BE REQUIRED TO CONTROL EROSION.

4. SURVEY CONTROL POINTS AND CONSTRUCTION CONTROL POINTS LISTED ON THESE DRAWINGS ARE BASED ON STATE PLANE COORDINATES (NAD 83 COLORADO CENTRAL).

5. PERMANENT SITE MONUMENTS ARE SHOWN ON APPROPRIATE DRAWINGS AND SHOULD BE FIELD VERIFIED.

6. THE MATERIAL QUANTITIES SHOWN ON THESE PLANS ARE ESTIMATES ONLY.

7. PROJECT SITE IS A FORMER SOLID WASTE LANDFILL FACILITY, AS SUCH; CONDITIONS ARE SUBJECT TO CHANGE WITH TIME. CONTROLS, IN PARTICULAR VERTICAL CONTROLS, SHOULD BE EXPECTED (AND ANTICIPATED) TO VARY FROM THOSE SHOWN ON THESE DRAWINGS DUE TO ON-GOING SUBSIDENCE RESULTING FROM REFUSE DECOMPOSITION. RELATIVE ELEVATION DIFFERENCES IN EXISTING AND PROPOSED ELEVATIONS SHOWN ON THESE DRAWINGS SHALL BE ADJUSTED ACCORDINGLY. LOCATION OF STRUCTURES SHALL BE PLACED IN ACCORDANCE WITH HORIZONTAL CONTROLS. VERTICAL PLACEMENT OF STRUCTURES SHALL BE IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS, OR AS APPROVED BY THE ENGINEER.

8. CONSTRUCTION OF LANDFILL GAS COLLECTION AND VENT SYSTEM COULD INVOLVE REFUSE EXCAVATION. THE CONTRACTOR SHALL MAKE ALL SAFETY AND ENVIRONMENTAL PRECAUTIONS TO PROTECT ITS WORKERS AND SUBCONTRACTORS, AT NO ADDITIONAL COST TO THE OWNER. ALL EXCAVATED WASTES SHALL BE PLACED AT THE WORKING FACE AS DIRECTED BY OWNER.

9. ALL BIDS SHALL BE BASED ON A SINGLE SITE ACCESS.

10. ANY AND ALL FINES IMPOSED ON THE OWNER BY ANY REGULATORY AGENCY DUE TO ACTIONS OF THE CONTRACTOR SHALL BE PAID BY THE CONTRACTOR.

11. CONTRACTOR SHALL EXAMINE AREAS FOR CONDITIONS UNDER WHICH WORK IS TO BE PERFORMED. REPORT IN WRITING TO OWNER OR OWNER'S REPRESENTATIVE ALL CONDITIONS CONTRARY TO THOSE SHOWN ON THE DRAWINGS OR SPECIFIED HEREIN AND ALL OTHER CONDITIONS THAT WILL AFFECT SATISFACTORY EXECUTION OF WORK. DO NOT PROCEED WITH WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. STARTING WORK CONSTITUTES ACCEPTANCE OF THE CONDITIONS UNDER WHICH WORK IS TO BE PERFORMED. AFTER SUCH ACCEPTANCE, THE CONTRACTOR SHALL, AT HIS EXPENSE, BE RESPONSIBLE FOR CORRECTING ALL UNSATISFACTORY AND DEFECTIVE WORK RESULTING FROM SUCH UNSATISFACTORY CONDITIONS.

12. THE CONTRACTOR SHALL INSTALL TEMPORARY BARRIERS, FENCES, BARRICADES, LIGHTS, WARNING SIGNS, AND OTHER DEVICES NECESSARY TO PROTECT STRUCTURES, UTILITIES, LANDSCAPING, EXCAVATIONS, AND OTHER ITEM AS NECESSARY. PROTECT SURVEY BENCHMARKS AND MONUMENTS FROM DISPLACEMENT.

13. ALL WORK SHALL BE PERFORMED IN A PROFESSIONAL MANNER.

14. DEVIATIONS FROM THESE PLANS AND SPECIFICATIONS WITHOUT PRIOR WRITTEN CONSENT OF THE ENGINEER AND THE OWNERS REPRESENTATIVE MAY CAUSE THE WORK TO BE UNACCEPTABLE AND BE ADJUSTED OR REPAIRED AT THE CONTRACTORS EXPENSE.

15. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL NECESSARY LICENSES AND PERMITS ASSOCIATED WITH THE CONSTRUCTION OF THIS PROJECT UNLESS NOTIFIED OTHERWISE IN WRITING BY THE OWNER.

16. ALL WORK SHALL HAVE A ONE YEAR WARRANTY. ONE YEAR WARRANTY WILL BECOME EFFECTIVE WHEN THE PROJECT IS SUBSTANTIALLY COMPLETE.

17. ALL BOREHOLES THAT ARE NOT COMPLETED AT THE END OF THE DAY ARE TO BE COVERED WITH A METAL WELL COVER CAPABLE OF PREVENTING ANY PERSON FROM FALLING INTO THE HOLE. THE HOLE MUST THEN BE COVERED WITH A PIECE OF PLYWOOD TO SUBSTANTIALLY COVER THE ENTIRE HOLE. SOIL MUST BE PLACED ON TOP OF THE PLYWOOD TO FURTHER PREVENT GAS EMISSIONS.

18. THE CONTRACTOR IS TO BE ADVISED THAT THE POTENTIAL FOR ENCOUNTERING ASBESTOS-CONTAINING MATERIALS (ACM) EXISTS. ACM, IF ENCOUNTERED, SHALL BE MANAGED IN ACCORDANCE WITH THE MMP AND IN COMPLIANCE WITH CDPHE AIR REGULATIONS NO. 8 AND TITLE 6 OF THE COLORADO CODE OF REGULATIONS, PARAGRAPH 1007-2, PART 1- REGULATIONS PERTAINING TO SOLID WASTE SITES AND FACILITIES., SECTION 5.5 MANAGEMENT OF REGULATED ASBESTOS-CONTAMINATED SOIL.

19. OWNER TO PROVIDE AS-BUILT SURVEY INCLUDING GROUND SHOTS FOR THE LFG COLLECTOR AND DISCHARGE POINTS. PIPES SHALL BE SURVEYED AT ALL JUNCTIONS, FITTINGS, CONNECTIONS, AND HEADER ACCESS RISERS, EVERY 50 FEET MAXIMUM ON PIPE RUNS, AND OTHER PERTINENT COMPONENTS.

STANDARD OF CARE AND LIMITATIONS – TERRACON'S SERVICES WILL BE PERFORMED IN A MANNER CONSISTENT WITH GENERALLY ACCEPTED PRACTICES OF THE PROFESSION UNDERTAKEN IN SIMILAR DESIGNS IN THE SAME GEOGRAPHICAL AREA DURING THE SAME TIME PERIOD. PLEASE NOTE THAT TERRACON DOES NOT WARRANT THE WORK OF THIRD PARTIES SUPPLYING INFORMATION USED IN THE PREPARATION OF THE VENT SYSTEM DESIGN. THESE SERVICES WILL BE PERFORMED IN ACCORDANCE WITH THE SCOPE OF WORK AGREED WITH TERRACON'S CLIENT AS REFLECTED IN OUR PROPOSAL.

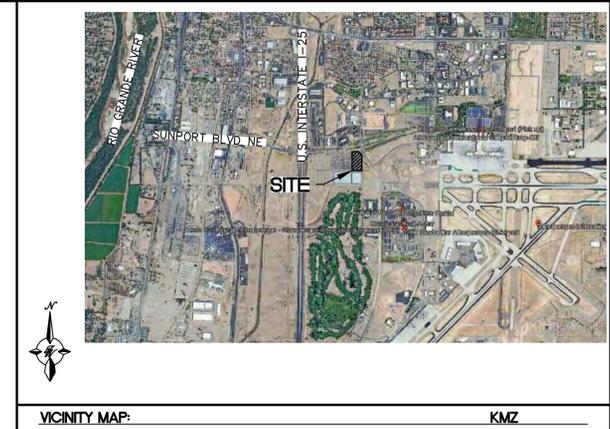
**NOTICE FOR CONTRACTOR**

ALL CONTRACTORS AND SUBCONTRACTORS PERFORMING WORK SHOWN ON OR RELATED TO THESE PLANS SHALL CONDUCT THEIR OPERATIONS SO THAT ALL EMPLOYEES ARE PROVIDED A SAFE PLACE TO WORK AND THE PUBLIC IS PROTECTED. ALL CONTRACTORS AND SUBCONTRACTORS SHALL COMPLY WITH THE "OCCUPATIONAL SAFETY AND HEALTH REGULATIONS" OF THE U.S. DEPARTMENT OF LABOR AND ALL LOCAL AND STATE REGULATIONS.

THE OWNER AND THE DESIGNER SHALL NOT BE RESPONSIBLE IN ANY WAY FOR CONTRACTORS AND SUBCONTRACTORS COMPLIANCE WITH THE "OCCUPATIONAL SAFETY AND HEALTH REGULATIONS" OF THE U.S. DEPARTMENT OF LABOR AND ALL LOCAL AND STATE REGULATIONS.

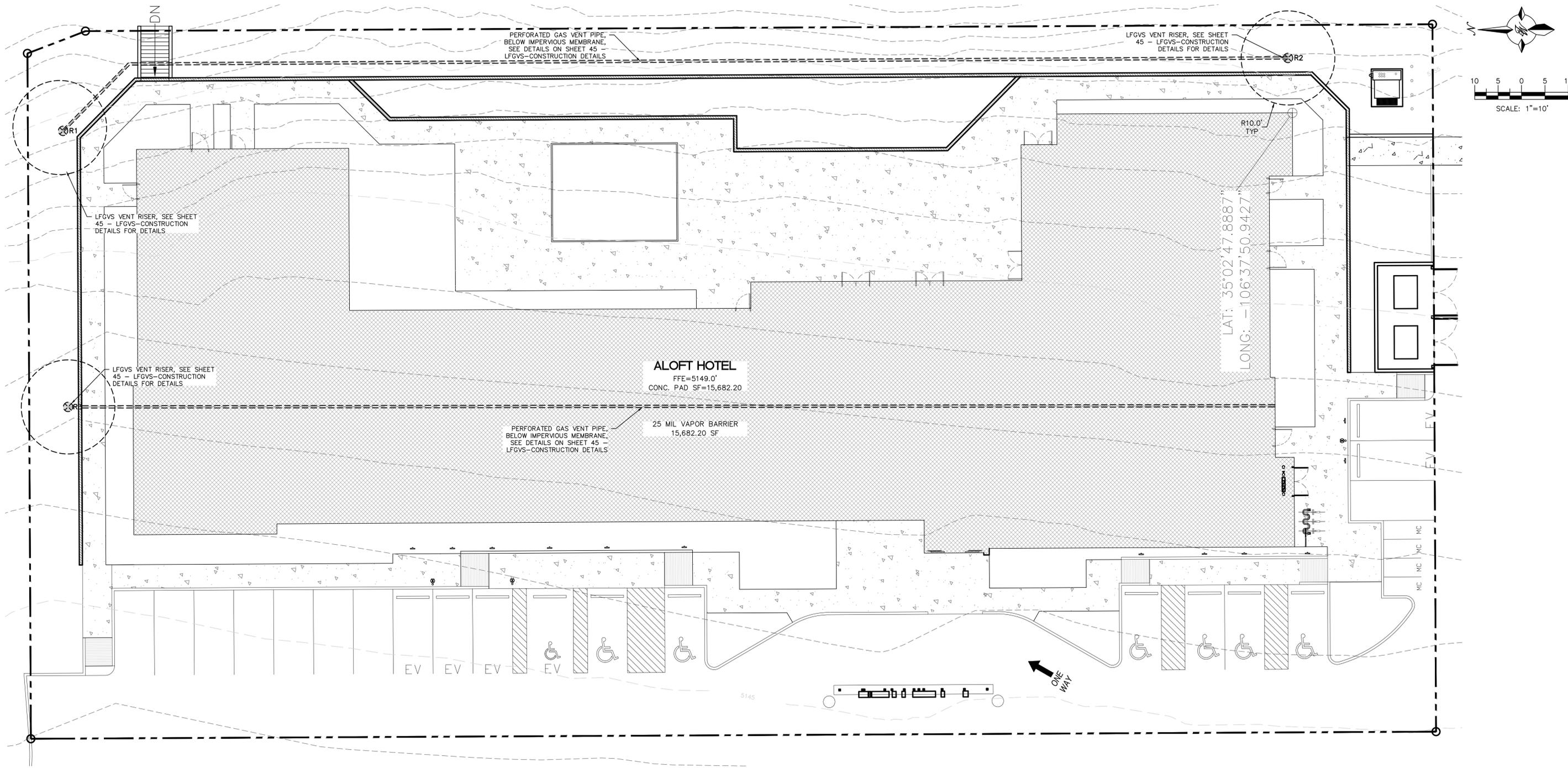
CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD THE OWNER AND THE VMS DESIGNER HARMLESS FROM ANY AND ALL LIABILITY REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPT FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE VMS DESIGNER.

IN CASE OF CONFLICT BETWEEN THESE PLANS AND OTHER SITE DESIGN DOCUMENTS AND/OR MANUFACTURER SPECIFICATIONS / REQUIREMENTS THE APPROPRIATE PARTIES / COMPANIES WITH CONFLICTING DOCUMENTATION SHALL CONFER TO DETERMINE A MUTUALLY AGREED UPON SOLUTION.



VICINITY MAP: KMZ

	<b>ALOFT HOTEL</b> <b>ALBUQUERQUE, NM</b>	<small>DRAWN BY MR</small> <small>DATE</small> 01/06/2026
	<b>LFGVS-GENERAL NOTES</b>	<small>SHEET #</small> <b>43</b>
01/06/2026 RONALD R. BOHANNAN P.E. #7868	TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	<small>JOB #</small> 2021133



**ALOFT HOTEL**  
 FFE=5149.0'  
 CONC. PAD SF=15,682.20

25 MIL VAPOR BARRIER  
 15,682.20 SF

LAT: 35°02'47.8887"  
 LONG: -106°37'50.9427"

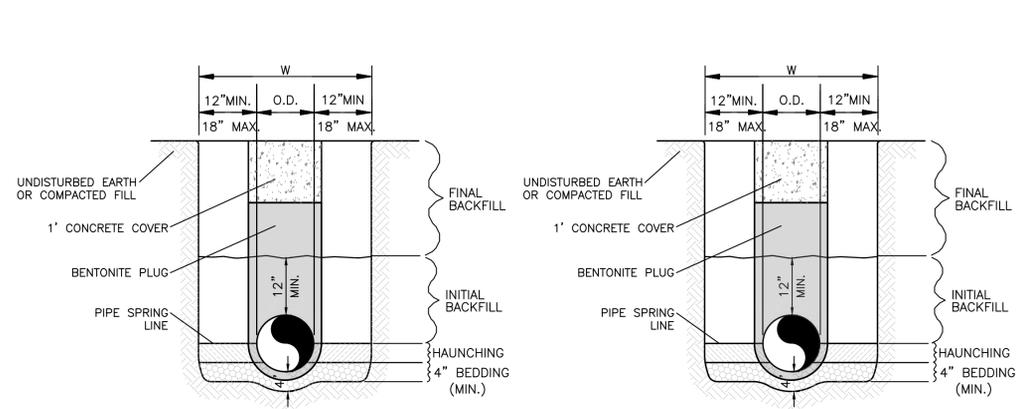
**LEGEND**

- CURB & GUTTER
- BOUNDARY LINE
- BUILDING
- 10' FRESH AIR EXCLUSION ZONE
- LFG COLLECTOR AND TRENCH
- LFG COLLECTOR HEADER
- SIDEWALK
- LANDSCAPING
- RETAINING WALL
- R1 SOIL GAS EXHAUST VENT RISER - 4" CAST IRON PIPE
- 25 MIL VAPOR BARRIER (15,682.20 SF), SEE SHEET 45 - LFGVS-CONSTRUCTION DETAILS

**NOTES**

1. 10-FOOT RADIUS FROM STACK OUTLET TO ANY MECHANICAL AIR INTAKE OR BUILDING OPENINGS.
2. ENTIRE CONCRETE BUILDING PAD (15,682.20 SF) TO BE PROTECTED W/ IMPERVIOUS MEMBRANE (15 MIL VAPOR BARRIER-STEGO WRAP OR SIMILAR) FOR LANDFILL GAS VENTILATION SYSTEM, SEE LANDFILL MITIGATION-CONSTRUCTION DETAIL SHEET FOR DETAILS.

ENGINEER'S SEAL 	<b>ALOFT HOTEL</b> <b>ALBUQUERQUE, NM</b> <b>LFGVS-PLAN</b>	DRAWN BY MR DATE 01/06/2026
01/06/2026 RONALD R. BOHANNAN P.E. #7868	<b>TIERRA WEST, LLC</b> 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NEW MEXICO 87109 (505)858-3100	SHEET # <b>44</b> JOB # 2021133

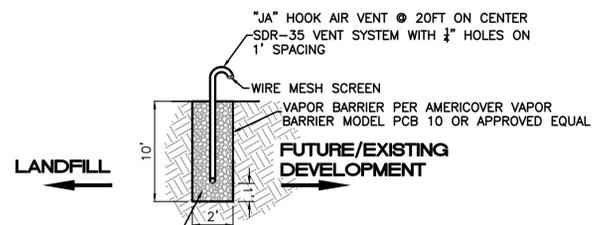


**WATER LINE**

**SANITARY SEWER**

**GENERAL NOTES**

- BEDDING SHALL BE CLASS I-A WORKED BY HAND. IF GROUNDWATER IS ANTICIPATED, THEN BEDDING SHALL BE CLASS I-B COMPACTED TO 85% STANDARD PROCTOR. (SEE SPECIFICATIONS FOR GRADATION)
- HAUNCHING SHALL BE WORKED AROUND THE PIPE BY HAND TO ELIMINATE VOIDS AND SHALL BE CLASS I-A OR CLASS I-B OR CLASS II COMPACTED TO 85% PROCTOR.
- INITIAL BACKFILL SHALL BE CLASS I-A WORKED BY HAND, OR CLASS I-B OR CLASS II COMPACTED TO 85% STANDARD PROCTOR.
- INITIAL BACKFILL NOT UNDER PAVED AREAS CAN BE COMPACTED TO 90% STANDARD PROCTOR.
- FINAL BACKFILL SHALL BE CLASS I, OR II COMPACTED AS NOTED IN NOTES 3. AND 4.
- FINAL BACKFILL NOT UNDER PAVED AREAS CAN BE TYPE II COMPACTED TO 95% STANDARD PROCTOR.
- ALL MATERIALS ARE CLASSIFIED IN ACCORDANCE WITH ASTM D 2321-89.
- ALL MATERIALS SHALL BE INSTALLED IN MAXIMUM 8" LOOSE LIFTS IN ACCORDANCE WITH ASTM D 698.
- FILL SALVAGED FROM EXCAVATION SHALL BE FREE OF DEBRIS, ORGANICS AND ROCKS LARGER THAN 3".
- ALL TRENCH EXCAVATIONS SHALL BE SLOPED, SHORED, SHEETED, BRACED, OR OTHERWISE SUPPORTED IN COMPLIANCE WITH OSHA REGULATIONS AND LOCAL ORDINANCES. (SEE SPECIFICATIONS)

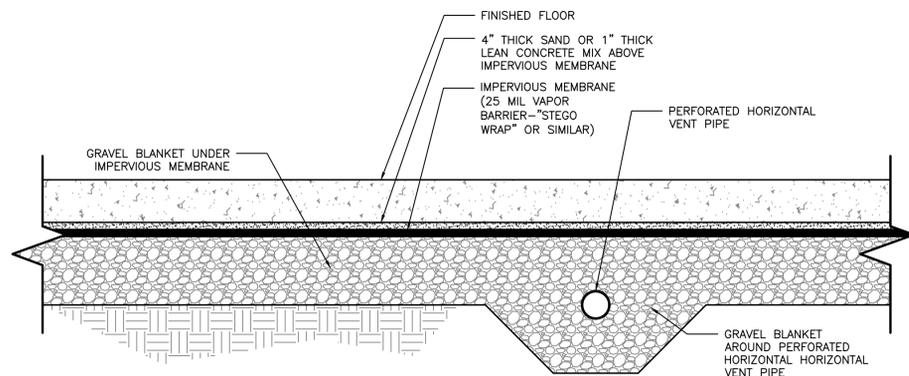


**VAPOR MITIGATION TRENCH W/ VENT SYSTEM**

NOTE: TRENCH SHALL BE 10'. IF DEPTH IS NOT ACCEPTED BY THE CITY, THE TRENCH DEPTH TO BE DETERMINED IN THE FIELD BUT SHALL BE NO LESS THAN 20' BELOW GRADE OR 5' INTO NATIVE AS DETERMINED BY FIELD GEOLOGIST.

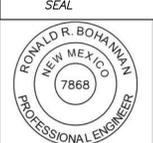
**UTILITY TRENCH AND BEDDING DETAIL**

NTS



**SUB-SLAB VENT SYSTEM-NO GROUNDWATER**

NTS

ENGINEER'S SEAL  RONALD R. BOHANNAN P.E. #7868	ALOFT HOTEL ALBUQUERQUE, NM	DRAWN BY MR
	LANDFILL MITIGATION - CONSTRUCTION DETAILS	DATE 01/06/2026
TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NEW MEXICO 87109 (505)858-3100	SHEET # <b>45</b>	JOB # 2021133

**GENERAL NOTES**

- IN CASE OF DISCREPANCIES IN PLANT QUANTITIES SHOWN ON THE PLANT SCHEDULE AND THOSE SHOWN ON THE PLAN, THE QUANTITIES SHOWN ON THE PLAN SHALL PREVAIL. CONTRACTOR SHALL VERIFY ALL QUANTITIES PRIOR TO BID AND INSTALLATION.
- POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES SHALL BE PROVIDED TO THE LANDSCAPE CONTRACTOR AND SHALL BE MAINTAINED BY THE LANDSCAPE CONTRACTOR THROUGHOUT THE DURATION OF THE PROJECT.
- GRADING OF THE SITE PER THE GRADING PLAN IS NOT INCLUDED IN THE SCOPE OF WORK OF THE LANDSCAPE CONTRACTOR. GRADES PER THE GRADING PLAN SHALL BE PROVIDED TO THE LANDSCAPE CONTRACTOR +/- 1/10TH OF A FOOT, BY OTHERS.
- ALL MAINTENANCE OF THE LANDSCAPE AND IRRIGATION SYSTEMS SHALL BE PROVIDED BY OWNER. NO CONTRACTUAL MAINTENANCE SHALL BE INCLUDED UNLESS OTHERWISE SPECIFIED IN THE BIDDING DOCUMENTS.
- WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER. THE LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR ANY RESTRICTIONS OF IRRIGATION WATER USE BY ANY GOVERNING BODY.
- PER 5-6(C)(4)(a) A MINIMUM OF 5 SPECIES MUST BE USED IN THE LANDSCAPED AREA.
- PER 5-6(C)(4)(b) ONLY TREES AND SHRUBS SELECTED FROM THE OFFICIAL ALBUQUERQUE PLANT PALETTE OF LOW WATER USE, DROUGHT TOLERANT, OR XERIC SPECIES AND SHOWN ON A LANDSCAPE PLAN CAN COUNT TOWARD THE REQUIREMENTS OF THIS SUBSECTION 14-16-5-6(C) (GENERAL LANDSCAPING STANDARDS), EXCEPT THAT, UPON PRESENTATION OF EVIDENCE, THE RELEVANT DECISION-MAKING BODY MAY AUTHORIZE ALTERNATIVE SPECIES OR CULTIVARS THAT MEET ALL OF THE FOLLOWING REQUIREMENTS:
  - MEET THE INTENDED PURPOSE OF THAT TYPE OF LANDSCAPING.
  - ARE NOT HAZARDOUS.
  - ARE NOT IDENTIFIED AS INVASIVE ON A CITY OR STATE PLANT LIST.
  - ARE NOT LISTED IN THE CITY'S WEED IDENTIFICATION HANDBOOK.
  - ARE EQUALLY HARDY TO THE NEW MEXICO CLIMATE.
- PER 5-3(D)(3)(a) 3. SHADE TREES ALONG REQUIRED PEDESTRIAN WALKWAYS ARE REQUIRED PURSUANT TO SUBSECTION 14-16-5-6(C)(4)(i) (REQUIRED PLANT MATERIALS AND SITE AMENITIES). 5-6(C)(4)(i) SHADE TREES PLANTED APPROXIMATELY 25 FEET ON-CENTER ARE REQUIRED ALONG ALL REQUIRED PEDESTRIAN WALKWAYS. IF THE WALKWAY IS LESS THAN FEET LONG, AT LEAST ONE TREE IS REQUIRED, OR, WHERE THERE IS INSUFFICIENT SPACE FOR A TREE, A TRELLIS OF AT LEAST 8 FEET HIGH FOR AT LEAST 5 FEET ALONG THE WALKWAY SHALL BE PROVIDED.
- PER 5-6(F)(1)(i) 1 OF THE IDO, ANY PARKING LOT LOCATED WITHIN 30 FEET OF THE FRONT LOT LINE SHALL BE SCREENED FROM THE STREET EITHER BY A MASONRY WALL CONSTRUCTED OF A MATERIAL SIMILAR IN TEXTURE, APPEARANCE, AND COLOR TO THE STREET-FACING FAÇADE OF THE PRIMARY BUILDING (BUT EXCLUDING EXPOSED CMU BLOCK) AT LEAST 3 BUT NOT MORE THAN 4 FEET IN HEIGHT, OR BY A LANDSCAPE BUFFER AT LEAST 10 FEET IN WIDTH WITH A CONTINUOUS LINE OF EVERGREEN SHRUBBERY 3 FEET IN HEIGHT, OR BY OTHER MEANS THAT THE PLANNING DIRECTOR DETERMINES PROVIDES EQUAL OR BETTER SCREENING OF THE HEADLIGHTS OF PARKED VEHICLES.
- PER 5-6(C)(9)(a), ALL PLANTING OF VEGETATED MATERIAL OR INSTALLATION OF ANY LANDSCAPING, BUFFERING, OR SCREENING MATERIAL IN THE PUBLIC RIGHT-OF-WAY SHALL REQUIRE THE PRIOR APPROVAL OF THE CITY. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE, REPAIRS, OR LIABILITY FOR ALL THE LANDSCAPING PLACED IN OR OVER THE PUBLIC RIGHT-OF-WAY.
- PER 5-6(C)(9)(b), ANY TREES THAT OVERHANG A PUBLIC SIDEWALK OR MAJOR PUBLIC OPEN SPACE SHALL BE TRIMMED TO MAINTAIN A 8 FOOT CLEARANCE OVER THE SIDEWALK. ANY TREES THAT OVERHANG A PUBLIC STREET SHALL BE TRIMMED TO MAINTAIN A 9' CLEARANCE OVER THE STREET SURFACE.
- PURSUANT TO 5-6(C)(5)(e), BARK MULCH AREAS CLEARLY DELINEATED ON PLANS FOR LANDSCAPE AREAS AND 9' RADIUS TREES.
- PURSUANT TO 5-6(C)(7)(a), ALL VEGETATION HAS BEEN LOCATED A MINIMUM OF 3' IN ANY DIRECTION FROM FIRE HYDRANTS, VALVE VAULTS, HOSE BIBS, MANHOLES, HYDRANTS AND FIRE DEPARTMENT CONNECTIONS.
- PURSUANT TO 5-6(C)(10)(a), TREES AND SHRUBS SHALL NOT BE PLANTED IN UTILITY EASEMENTS UNLESS THERE IS NO OTHER PRACTICABLE LOCATION ON THE LOT WHERE THE LANDSCAPING WOULD ACHIEVE ITS INTENDED PURPOSE.
- PURSUANT TO 5-6(C)(10)(b), TREES SHALL NOT BE PLANTED WITHIN 10' IN ANY DIRECTION OF THE CENTERLINE OF A SEWER OR WATER LINE.
- CLEAR SIGHT TRIANGLE NOTE: LANDSCAPING, SIGNAGE, WALLS, FENCES, TREES, AND SHRUBBERIES BETWEEN 3' AND 8' TALL (AS MEASURED FROM THE GUTTER PAN) ARE NOT ALLOWED WITHIN THE CLEAR SIGHT TRIANGLE.

**PLANT SCHEDULE**

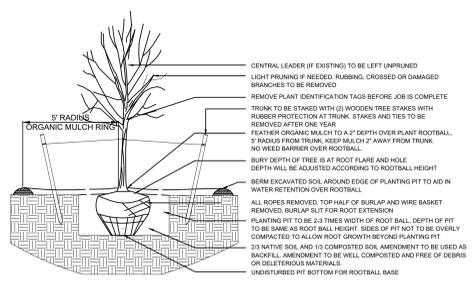
SYMBOL	QTY	BOTANICAL / COMMON NAME	SIZE
<b>DECIDUOUS TREE</b>			
	6	ACER NEGUNDO 'SENSATION' / SENSATION BOX ELDER MAPLE	2" B&B
	3	CERCIS RENIFORMIS 'OKLAHOMA' / OKLAHOMA RED BUD	2" B&B
	4	CHLOPSIS LINEARIS / DESERT WILLOW	25 GAL
	3	CRATAEGUS CRUS-GALLI 'INHERMS' / THORNLASS HAWTHORN	2" B&B
	5	PYRUS CALLERYANA 'CLEVELAND SELECT' / CLEVELAND SELECT PEAR	2" B&B
	4	ULMUS PROPINQUA 'EMERALD SUNSHINE' / EMERALD SUNSHINE ELM	2" B&B
<b>EVERGREEN TREE</b>			
	3	JUNIPERUS CHINENSIS 'SPARTAN' / SPARTAN JUNIPER	15 GAL
<b>DESERT ACCENT</b>			
	9	AGAVE OVATIFOLIA / WHALE'S TONGUE AGAVE	5 GAL
	9	DASYLIRION TEXANUM / TEXAS SOTOL	5 GAL
	6	HESPERALOE PARVIFLORA / RED YUCCA	5 GAL
	6	YUCCA BACCATA / BANANA YUCCA	5 GAL
<b>ORNAMENTAL GRASS</b>			
	35	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS	1 GAL
	16	HELIOTROPICUM SEMPERVIRENS / BLUE OAT GRASS	1 GAL
<b>DECIDUOUS SHRUBS</b>			
	17	BERBERIS THUNBERGII 'CRIMSON PYGMY' / CRIMSON PYGMY BARBERRY	5 GAL
	16	CARYOPTERIS X CLANDONENSIS 'DARK KNIGHT' / BLUE MIST SPIREA	5 GAL
	24	RIBES AUREUM / GOLDEN CURRANT	5 GAL
	8	ROSA X 'KNOCK OUT' / KNOCK OUT ROSES	5 GAL
	14	SALVIA GREGGII 'ULTRAVIOLET' / ULTRAVIOLET AUTUMN SAGE	1 GAL
<b>EVERGREEN SHRUBS</b>			
	6	PRINUS MUSDY / MUGO PINE	5 GAL
	39	RHAPHANOLIS INDICA / INDIAN HAWTHORN	5 GAL
	12	SANTOLINA CHAMAECYPARISSUS / LAVENDER COTTON	1 GAL

**MATERIALS SCHEDULE**

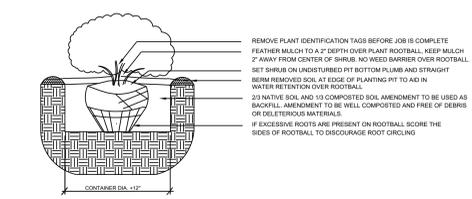
SYMBOL	DESCRIPTION	QTY
	MOUNTAIN BROWN GRAVEL, 3" DEPTH OVER FILTER FABRIC	6,638 SF
	BARK MULCH, 3" DEPTH	5,613 SF
	LARGE BOULDER	6
	MEDIUM BOULDER	15

**LANDSCAPE DATA**

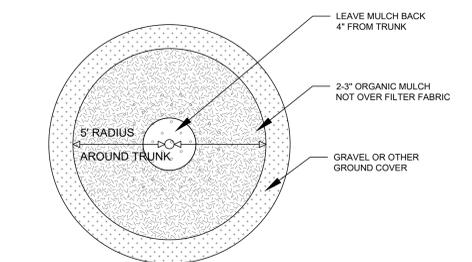
IDO UPC#	ZONING DESIGNATION	REQUIRED	PROVIDED	%
101906403903830134	NR-BP			
	GROSS LOT AREA (SF)	45,070		
	BUILDING AREA (SF)	15,570		
	NET LOT AREA (SF)	29,500		
<b>MINIMUM LANDSCAPE</b>				
AREA (SF) - MINIMUM 15% OF NET LOT AREA*		4,425	12,250	42%
TOTAL VEGETATIVE COVERAGE (SF) @ PLANT MATURITY (75% OF LANDSCAPE AREA)		3,319	12,750	288%
VEGETATIVE COVERAGE (SF) OF GROUND-LEVEL PLANTS (25% OF TOTAL, MINIMUM)		830	2,413	73%
*PER IDO 14-16-5-6(C)(2)(b), IN DT-UC-MB-PT AREAS, MINIMUM IS 10% OF NET LOT AREA.				
**FOR MULTIFAMILY DWELLING, MINIMUM IS 25% OF NET LOT AREA. SEE 14-16-5-3(B)(6) FOR DETAILS.				
<b>PLANTING AREA MULCH</b>				
GRAVEL OR CRUSHER FINES (SF)		MAX. 75%	6,638	54%
*PER IDO 14-16-5-6(C)(2) The use of gravel or crusher fines as ground cover is limited to a maximum 50 percent in DT-UC-MB areas.				
<b>STREET TREES - 1 PER 25 LF</b>				
STREET FRONTAGE (LF)		-	0	
STREET TREES		-	0	
*PER IDO 14-16-5-6(C)(2)(b) TREES THAT ARE PLANTED WITHIN 30 FEET OF THE BACK OF CURB OF THE ABUTTING STREET MAY FULFILL THIS REQUIREMENT.				
<b>PARKING LOT INTERIOR</b>				
PARKING STALLS				
PARKING LOT AREA (SF)		-	11,917	
LANDSCAPED AREA (10% OF PARKING LOT AREA)*		1,192	1,556	
TREES (1 PER TO PARKING SPACES)		11.1	11	
*PER IDO 14-16-5-6(F)(2), FOR PARKING LOTS CONTAINING 50 OR FEWER SPACES, MINIMUM IS 10% OF PARKING LOT AREA.				
<b>TOTALS</b>				
TREES		18	28	
*PER IDO 14-16-5-6(C)(3)(a), IF AREAS REQUIRED TO BE LANDSCAPED BY 2 OR MORE PROVISIONS OF THIS SECTION 14-16-5-6 OVERLAP EACH OTHER, THE PROVISION REQUIRING THE GREATER AMOUNT OF LANDSCAPING SHALL APPLY, AND LANDSCAPING PROVIDED THAT MEETS THE GREATER REQUIREMENT SHALL COUNT TOWARD FULFILLING THE OVERLAPPING REQUIREMENTS.				



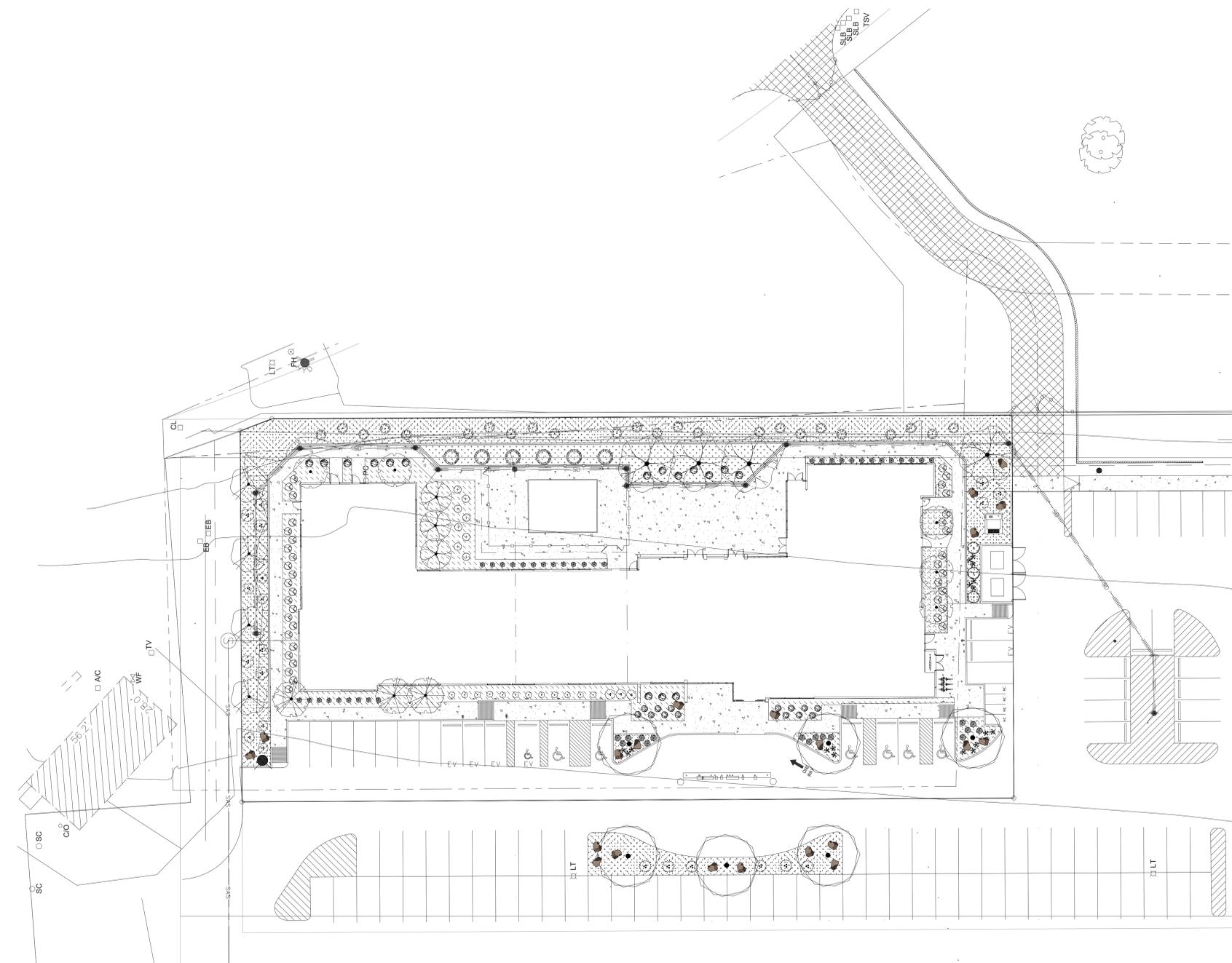
1 TREE PLANTING DETAIL



2 SHRUB PLANTING DETAIL



3 TREE DETAIL



**YELLOWSTONE**  
LANDSCAPE  
www.yellowstonelandscape.com  
P O Box 10597  
Albuquerque, NM 87184  
505.898.9615  
design@yellowstonelandscape.com

11/4/25

Date: 11/04/2025  
Revisions:  
  
 Drawn by: CC  
Reviewed by: CM

Albuquerque Aloft  
Albuquerque, New Mexico

NORTH  
Scale: 1" = 20'  
10 0 20 40

Sheet Title:  
**Landscape Plan**  
Sheet Number:  
**LP-01**

**GENERAL NOTES:**

- A. See door and window schedule sheet for window and door types. Aluminum doors, windows and louvers to be prefinished in clear anodized aluminum. All windows to be aluminum with thermally broken frames.
- B. Provide blocking and power for all exterior signage. All signage shall be as per hotel standards (size, color, etc.). Signage shall be aluminum channels, internally lit (L.E.D.), with colored acrylic faces. Final sign package shall be submitted under separate sign permit for approval. Coordinate installation of exterior signage prior to closing up the walls.
- C. Stucco system to be Dryvit EFS typical. Provide "Y" joints as shown. Install as per manufacturers' requirements and details. Colors shall match paint colors noted.
- D. Air Moisture Barrier (AMB) shall be liquid applied, typical throughout. Install as per manufacturers' requirements based on the finishes to be used. Utilize sheathing tape, flashing membrane, drainage tape, and other accessories as necessary for a complete single course system.
- E. Roof drainage shall be via internal roof drains and piping unless noted otherwise.
- F. Metal gutters and downspouts shall be pre-finished. Pitch downspouts away from building foundation.
- G. Building lighting is primarily via L.E.D. recessed cans and wall mounted L.E.D. lights.

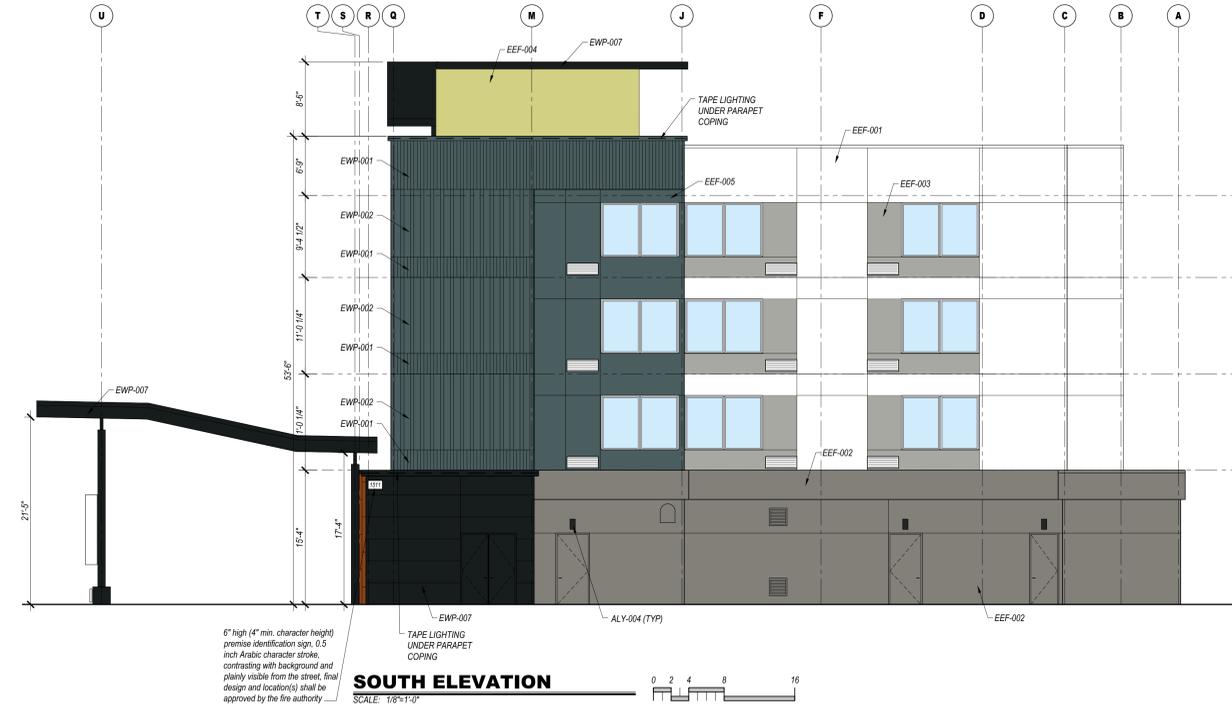


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 NEW MEXICO 87199-3366  
 info@design2function.com  
 505-823-6481  
 2025 Design 2 Function, LLC



**COLOR/MATERIAL LEGEND**

- EEF-001: EFS DRYVIT HDP FINISH (SW 9622 WHITE SAIL)
- EEF-002: EFS DRYVIT HDP FINISH (SW 9554 GOING GREY)
- EEF-003: EFS DRYVIT ACRYLIC OVER HDP (SW 7066 GRAY MATTERS)
- EEF-004: MCM PANEL @ ROOFTOP "SWOOP" ONLY (SW 9031 PRIMAVERA)
- EEF-001: EFS DRYVIT ACRYLIC OVER HDP (SW 6223 STILL WATER)
- EWP-001: METAL PANEL PAC-CLAD BOX RIB 1 (SW 6223 STILL WATER) INSTALLED OVER "Z" GIRTS OVER C.I.
- EWP-002: METAL PANEL PAC-CLAD BOX RIB 2 (SW 6223 STILL WATER) INSTALLED OVER "Z" GIRTS OVER C.I.
- EWP-003: METAL PANEL KNOTWOOD WALL PANEL, KEC100, 4" CLADDING NO REVEAL (CHESNUT) INSTALLED OVER "Z" GIRTS OVER C.I.
- EWP-004: METAL TRIMCOPING/ETC. (COLOR TO MATCH ADJACENT FINISH)
- EWP-006: METAL PANEL KNOTWOOD SOFFIT/CEILING PANEL, KEC100, 4" CLADDING, NO REVEAL (CHESNUT)
- EWP-007: NORTHCLAD ACM SERIES WITH PANELS BY ALPOLIC, COLOR CZZ ANTHRA ZINC, RAINSCREEN SYSTEM INSTALLED OVER "Z" GIRTS OVER C.I.



**SOUTH ELEVATION**  
 SCALE: 1/8"=1'-0"



**WEST ELEVATION**  
 SCALE: 1/8"=1'-0"

**Aloft Hotel by Marriott**  
 1515 Aircraft Ave SE  
 Albuquerque, NM 87106

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 Due to weather or printing techniques, only printed dimensions shall be used. Contractors shall verify all layout, dimensions and other needed information prior to bidding or construction.  
 DFC's releases "As for Construction" unless noted otherwise.

**DRAWING ISSUE DATES:**  
 6/1/25 Permit Set

**REVISION DATES:**

**PROJECT MANAGER:**  
 NICK PIRKL  
**DRAWN BY:**  
 NAP

**SHEET TITLE:**  
 SOUTH AND WEST ELEVATIONS

**GENERAL NOTES:**

- A. See door and window schedule sheet for window and door types. Aluminum doors, windows and louvers to be prefinished in clear anodized aluminum. All windows to be aluminum with thermally broken frames.
- B. Provide blocking and power for all exterior signage. All signage shall be as per hotel standards (size, color, etc.). Signage shall be aluminum channels, internally lit (L.E.D.), with colored acrylic faces. Final sign package shall be submitted under separate sign permit for approval. Coordinate installation of exterior signage prior to closing up the walls.
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- F. Metal gutters and downspouts shall be pre-finished. Pitch downspouts away from building foundation.
- G. Building lighting is primarily via L.E.D. recessed cans and wall mounted L.E.D. lights.



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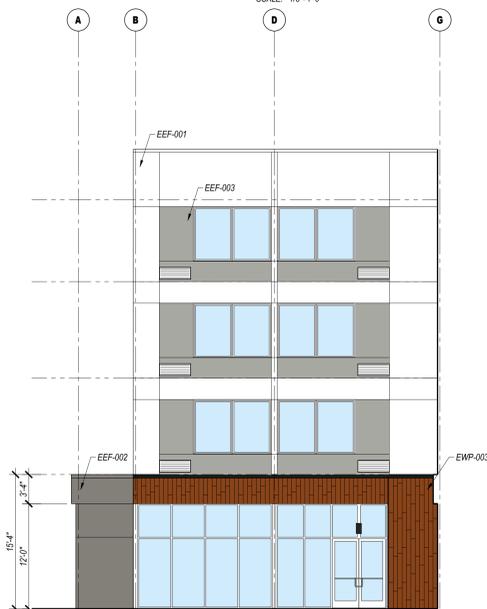


**COLOR/MATERIAL LEGEND**

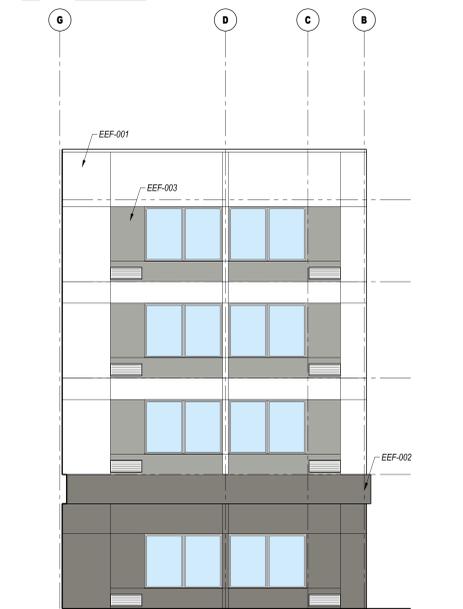
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- EWP-007: NORTHCLAD ACM SERIES WITH PANELS WITH ALPOLIC COLOR CZZ ANTHRA ZINC, RAINSCREEN SYSTEM INSTALLED OVER 2" GIRTS OVER C.I.



**NORTH ELEVATION**  
 SCALE: 1/8"=1'-0"



**NORTH ELEVATION**  
 SCALE: 1/8"=1'-0"



**SOUTH ELEVATION**  
 SCALE: 1/8"=1'-0"



**EAST ELEVATION**  
 SCALE: 1/8"=1'-0"

**Aloft Hotel by Marriott**  
 1515 Aircraft Ave SE  
 Albuquerque, NM 87106

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**DRAWING/ISSUE DATES:**  
 6/16/25 Permit Set

**REVISION DATES:**

**PROJECT MANAGER:**  
 NICK PIRKL  
**DRAWN BY:**  
 NAP

**SHEET TITLE:**  
 NORTH AND EAST ELEVATIONS

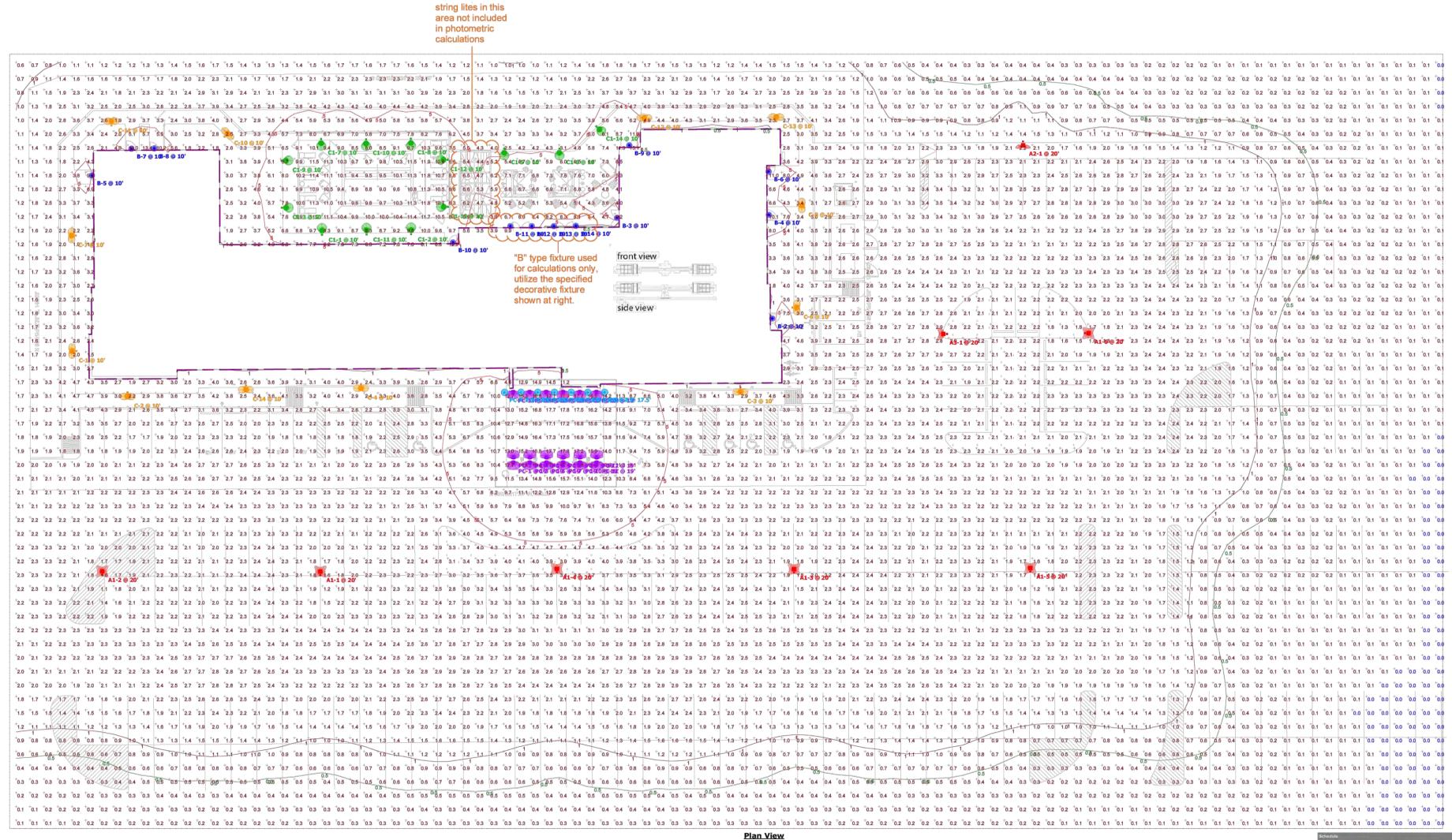
**A2.2**  
 SHEET: 55 OF 146



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 2025 Design 2 Function, LLC



**Aloft Hotel by Marriott**  
 1515 Aircraft Ave SE  
 Albuquerque, NM 87106



**SITE PHOTOMETRIC PLAN**  
 SCALE: 1"=20'

NO.	REVISION	DATE	BY	CHKD.	DESCRIPTION
1					ISSUE FOR PERMIT
2					ISSUE FOR PERMIT
3					ISSUE FOR PERMIT
4					ISSUE FOR PERMIT
5					ISSUE FOR PERMIT
6					ISSUE FOR PERMIT
7					ISSUE FOR PERMIT
8					ISSUE FOR PERMIT
9					ISSUE FOR PERMIT
10					ISSUE FOR PERMIT

REVISION DATES:  
 PROJECT MANAGER:  
 NICK PIROLI  
 DRAWN BY:  
 MAP  
 SHEET TITLE:  
 SITE PHOTOMETRIC PLAN



# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

July 30, 2025

Ronald R. Bohannon, P.E.  
Tierra West, LLC  
5571 Midway Park Place NE  
Albuquerque, NM 87109

**Re: Aloft Hotel Sunport**  
**1501 Aircraft Ave. SE**  
**Traffic Circulation Layout**  
Engineer's Stamp 7/18/2025 (M15D057)

Dear Mr. Bohannon,

The TCL submittal received 6/30/2025 is approved for Building Permit by Transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

PO Box 1293

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, to ABQ Plan for CO for Transportation to evaluate.

Albuquerque

NM 87103

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

www.cabq.gov

Sincerely,

Ernest Armijo, P.E.  
Principal Engineer, Planning Dept.  
Development Review Services

C: CO Clerk, File



# City of Albuquerque

Planning Department  
Development Review Services Division

## Traffic Scoping Form (REV 12/2020)

**Project Title:** Akshar Hospitality, LLC Building Permit #: \_\_\_\_\_ Hydrology File #: \_\_\_\_\_  
Zone Atlas Page: M-15-Z DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_  
Legal Description: \_\_\_\_\_  
City Address: 1501 Aircraft Avenue SE

**Applicant:** Tierra West LLC on behalf of Akshar Hospitality, LLC Contact: Derek Bohannan  
Address: 5571 Midway Park Pl NE, Albuquerque NM 87109  
Phone#: 505-858-3100 Fax#: \_\_\_\_\_ E-mail: derek@volopervidi.com

### Development Information

Build out/Implementation Year: 2023 Current/Proposed Zoning: NR-BP/NR-BP

Project Type: New: (x) Change of Use: ( ) Same Use/Unchanged: ( ) Same Use/Increased Activity: ( )

Proposed Use (mark all that apply): Residential: ( ) Office: (x) Retail: ( ) Mixed-Use: ( )

Describe development and Uses: 104-Unit limited service hotel, to be built at the NE section of  
parking facility known as "Airport Parking I-25 & Sunport"

Days and Hours of Operation (if known): 24 hours a day, 7 days a week

### Facility

Building Size (sq. ft.): 44,210 SF GFA

Number of Residential Units: \_\_\_\_\_

Number of Commercial Units: \_\_\_\_\_

### Traffic Considerations

Expected Number of Daily Visitors/Patrons (if known):\* \_\_\_\_\_

Expected Number of Employees (if known):\* 25

Expected Number of Delivery Trucks/Buses per Day (if known):\* \_\_\_\_\_

Trip Generations during PM/AM Peak Hour (if known):\*  $\frac{ITE-11th\ ed.\ 310-Hotel\ (61/45)}{PM-31Enter/30Exit\ AM-25Ent/20Exit}$

Driveway(s) Located on: Street Name Aircraft Ave

Adjacent Roadway(s) Posted Speed: Street Name Sunport Blvd Posted Speed 35 mph

Street Name University Blvd Posted Speed 40 mph

\* If these values are not known, assumptions will be made by City staff. Depending on the assumptions, a full TIS may be required

**Roadway Information (adjacent to site)**

Comprehensive Plan Corridor Designation/Functional Classification: Commuter  
(arterial, collector, local, main street)

Comprehensive Plan Center Designation: n/a  
(urban center, employment center, activity center)

Jurisdiction of roadway (NMDOT, City, County): City

Adjacent Roadway(s) Traffic Volume: 13,472 (2016 TAQA) Volume-to-Capacity Ratio: .25-.50  
COG ID# 26650 (if applicable)

Adjacent Transit Service(s): Bus Route 222 Nearest Transit Stop(s): Bus Stop Route 222 on Spirit Drive

Is site within 660 feet of Premium Transit?: NO

Current/Proposed Bicycle Infrastructure: Paved Multiple Use Trail along University Corridor closed to automotive traffic. Also designated bike lanes along University. Proposed paved trail along Sunport.  
(bike lanes, trails)

Current/Proposed Sidewalk Infrastructure: Sidewalk or Paved trail along adjacent roadways

**Relevant Web-sites for Filling out Roadway Information:**

City GIS Information: <http://www.cabq.gov/gis/advanced-map-viewer>

Comprehensive Plan Corridor/Designation: <https://abc-zone.com/document/abc-comp-plan-chapter-5-land-use> (map after Page 5-5)

Road Corridor Classification: <https://www.mrcog-nm.gov/DocumentCenter/View/1920/Long-Range-Roadway-System-LRRS-PDF?bidId=>

Traffic Volume and V/C Ratio: <https://www.mrcog-nm.gov/285/Traffic-Counts> and <https://public.mrcog-nm.gov/taqa/>

Bikeways: [http://documents.cabq.gov/planning/adopted-longrange-plans/BTFP/Final/BTFP%20FINAL\\_Jun25.pdf](http://documents.cabq.gov/planning/adopted-longrange-plans/BTFP/Final/BTFP%20FINAL_Jun25.pdf) (Map Pages 75 to 81)

**TIS Determination**

**Note:** Changes made to development proposals / assumptions, from the information provided above, will result in a new TIS determination.

Traffic Impact Study (TIS) Required: Yes [ ] No  Borderline [ ]

Thresholds Met? Yes [ ] No

Mitigating Reasons for Not Requiring TIS: Previously Studied: [ ]

Notes:

*M. P. ... P.E.*

2/11/2022

TRAFFIC ENGINEER

DATE



## **Submittal**

The Scoping Form must be submitted as part of any building permit application, DRB application, or EPC application. See the Development Process Manual Chapter 7.4 for additional information.

Submit by email to the City Traffic Engineer [mgrush@cabq.gov](mailto:mgrush@cabq.gov) . Call 924-3362 for information.

### **Site Plan/Traffic Scoping Checklist**

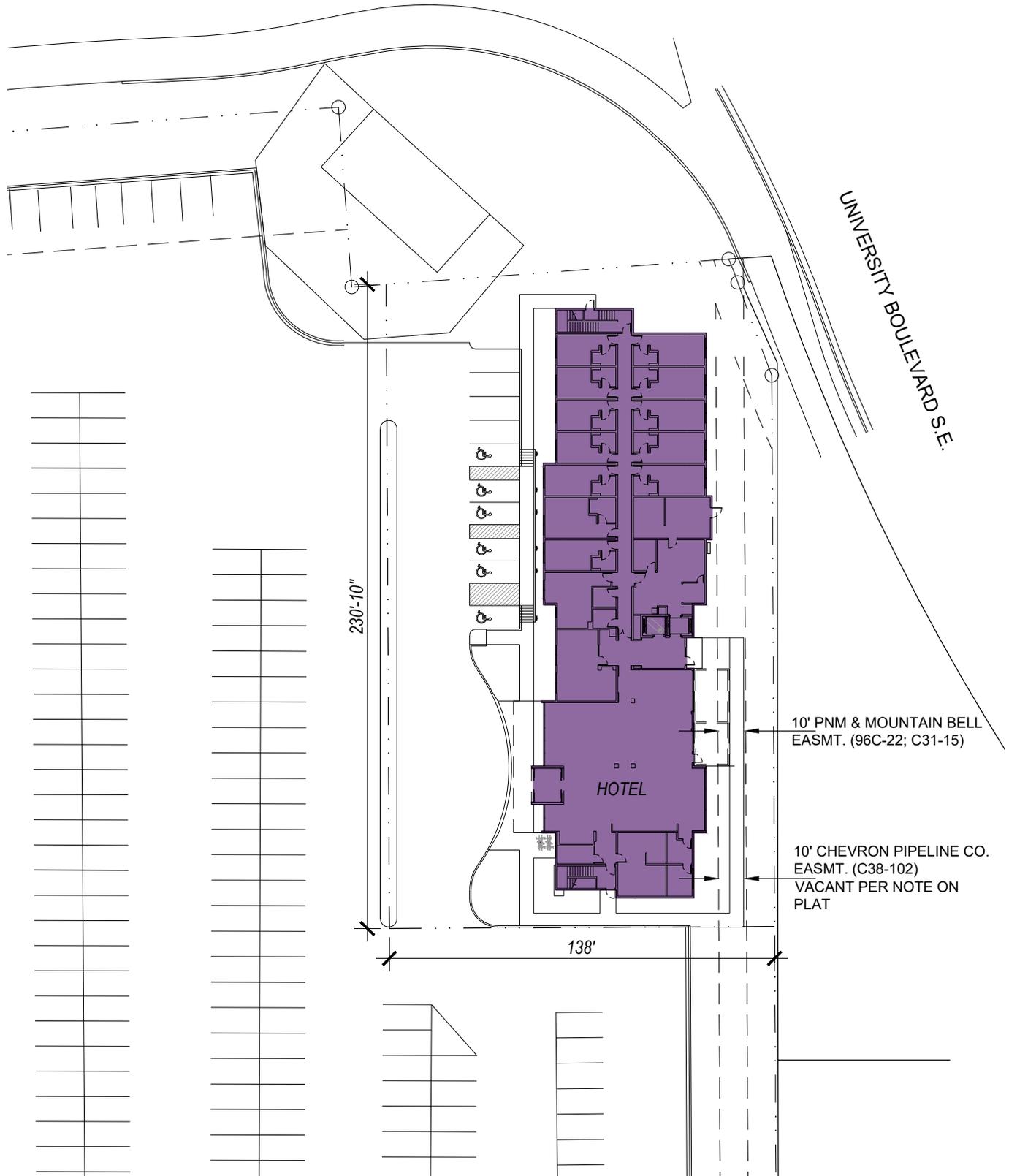
Site plan, building size in sq. ft. (show new, existing, remodel), to include the following items as applicable:

1. Access -- location and width of driveways
2. Sidewalks (Check DPM and IDO for sidewalk requirements. Also, Centers have wider sidewalk requirements.)
3. Bike Lanes (check for designated bike routes, long range bikeway system) ([check MRCOG Bikeways and Trails in the 2040 MTP map](#))
4. Location of nearby multi-use trails, if applicable ([check MRCOG Bikeways and Trails in the 2040 MTP map](#))
5. Location of nearby transit stops, transit stop amenities (eg. bench, shelter). Note if site is within 660 feet of premium transit.
6. Adjacent roadway(s) configuration (number of lanes, lane widths, turn bays, medians, etc.)
7. Distance from access point(s) to nearest adjacent driveways/intersections.
8. Note if site is within a Center and more specifically if it is within an Urban Center.
9. Note if site is adjacent to a Main Street.
10. Identify traffic volumes on adjacent roadway per MRCOG information. If site generates more than 100 vehicles per hour, identify v/c ratio on this form.



SUNPORT BOULEVARD S.E.

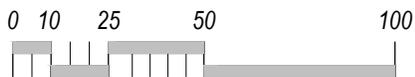
UNIVERSITY BOULEVARD S.E.



# Sunport Hotel

SCALE: 1"=50'-0"

10/14/21



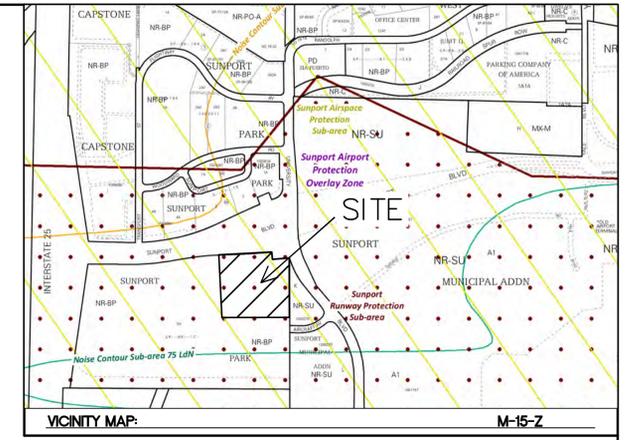
4TH FLOOR =	30 ROOMS =	11,000 S.F.
3RD FLOOR =	30 ROOMS =	11,000 S.F.
2ND FLOOR =	30 ROOMS =	11,000 S.F.
1ST FLOOR =	10 ROOMS =	11,210 S.F.
<b>TOTAL =</b>	<b>100 ROOMS =</b>	<b>44,210 S.F.</b>



**DESIGN 2 FUNCTION, LLC**  
 P.O. BOX 93368  
 ALBUQUERQUE  
 NEW MEXICO 87199-3368  
 info@design2functionllc.com  
 505-823-6481  
 © 2021 Design 2 Function, LLC

**LEGEND**

- CURB & GUTTER
- BOUNDARY LINE
- - - RIGHT-OF-WAY
- BUILDING
- ▨ PROPOSED SIDEWALK
- ▨ EXISTING CURB & GUTTER
- ▨ STRIPING
- ☆ SITE LIGHTING
- 4' TALL FENCE
- EMERGENCY ROUTE
- - - EASEMENT



UPC: 101505518105930320  
 PARCELS 2-A-2 PLAT OF PARCELS 2A1 AND 2A2 SUNPORT  
 PARK SUBDIVISION (REPLAT OF PARCEL 2A, SUNPORT PAR)

**SITE DATA**

PROPOSED USAGE:	HOTEL
LOT AREA:	1.0347 AC
ZONING:	NR-BP
TOTAL NO. ROOMS/UNITS:	108 UNITS
1 SPACE PER 2 BEDS:	79
BUILDING AREA:	57,952 SF
BUILDING SETBACK:	
FRONT	20'
REAR	10'
SIDE	10'
PARKING REQUIREMENTS:	
TOTAL PARKING REQUIRED	108
TOTAL PARKING PROVIDED	111
ACCESSIBLE PARKING SPACES REQUIRED	6 SPACES
ACCESSIBLE PARKING SPACES PROVIDED	6 SPACES
BICYCLE PARKING REQUIRED = 3 SPACES (2 SPACES + 1 SPACE/6,000SF)	
BICYCLE PARKING PROVIDED = 3 SPACES	
MOTORCYCLE PARKING REQUIRED = 4 SPACES	
MOTORCYCLE PARKING PROVIDED = 4 SPACES	

**KEYED NOTES**

- ① UNIDIRECTIONAL ACCESSIBLE RAMP TO SIDEWALK, SEE DETAILS SHEET 26
- ② ACCESSIBLE PARKING W/ WHEEL STOP & SIGN PER ADA STANDARDS, SEE DETAIL SHEET 19
- ③ STANDARD CURB AND GUTTER PER COA STD DWG 2415A, DETAIL SHEET 25
- ④ 5' CONCRETE WALK PER COA STD DWG 2430 FLUSH WITH ASPHALT, SEE DETAIL SHEET 25
- ⑤ MONUMENT SIGN
- ⑥ TRASH DUMPSTER W/RECYCLE, SEE DETAIL SHEET 28
- ⑦ NOT USED
- ⑧ LOADING AREA
- ⑨ ADA PUBLIC ACCESS PATHWAY TO BE FLUSH
- ⑩ ADA ACCESSIBLE ROUTE
- ⑪ NOT USED
- ⑫ SECONDARY EMERGENCY ACCESS
- ⑬ EMERGENCY VEHICLE ACCESS EASEMENT

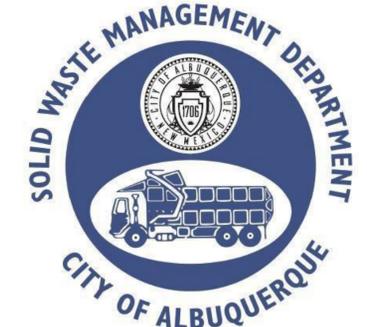
SUNPORT BLVD SE

**SIGHT TRIANGLE NOTE:**  
 LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE

**PRIVATE ONSITE WORK NOTE:**  
 ALL PROPOSED IMPROVEMENTS SHOWN INSIDE THE PROPOSED PROPERTY LINES AND EXISTING PROPERTY LINES TO REMAIN ARE DEEMED PRIVATE ONSITE WORK AND WILL REQUIRE BUILDING PERMIT AND/OR GRADING PERMIT APPROVAL TO CONSTRUCT.

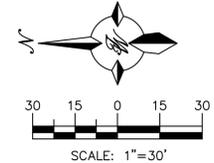
**PUBLIC WORK NOTE:**  
 ALL PROPOSED IMPROVEMENTS SHOWN OUTSIDE THE PROPOSED PROPERTY LINES AND EXISTING PROPERTY LINES TO REMAIN ARE DEEMED PUBLIC OFFSITE WORK AND WILL REQUIRE DRC WORK ORDER APPROVAL TO CONSTRUCT.

**PAVEMENT SURFACE NOTE:**  
 ALL DRIVE AISLES AND PARKING SPACES SHALL BE ASPHALT UNLESS OTHERWISE LABELED.



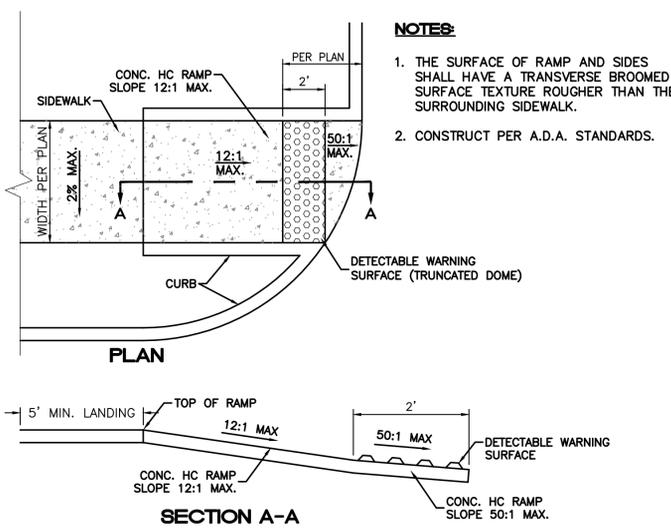
Approved for access by the Solid Waste Department.  
 All containers must be made accessible for pick up between the hours of 5AM and 8PM.  
 Reviewer: ADRIAN MAREZ  
 Date: 11-5-25

TRAFFIC CIRCULATION LAYOUT APPROVED  
 Ernest Armijo 7/30/2025  
 Signed Date

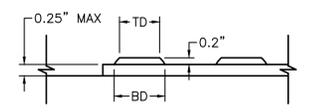


ENGINEER'S SEAL  RONALD R. BOHANNAN P.E. #7868	ALOFT HOTEL ALBUQUERQUE, NM TRAFFIC CIRCULATION LAYOUT	DRAWN BY MR DATE 07/18/2025
	TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # <b>18</b>

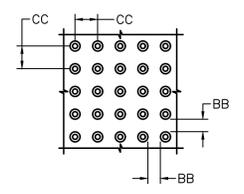
Z:\2021\2021133 Sunport Suites Hotel - Photos View Construction\2021133\_TCL.dwg, Jul 21, 2025 -- 11:53pm



- NOTES:**
1. THE SURFACE OF RAMP AND SIDES SHALL HAVE A TRANSVERSE BROOMED SURFACE TEXTURE ROUGHER THAN THE SURROUNDING SIDEWALK.
  2. CONSTRUCT PER A.D.A. STANDARDS.

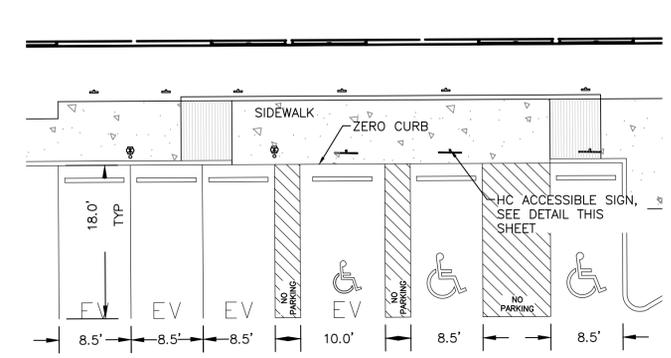


**DOMES SECTION**  
 BD - BASE DIAMETER 0.9" MIN  
 TD - TOP DIAMETER 50% OF BD MIN TO 65% OF BD MAX



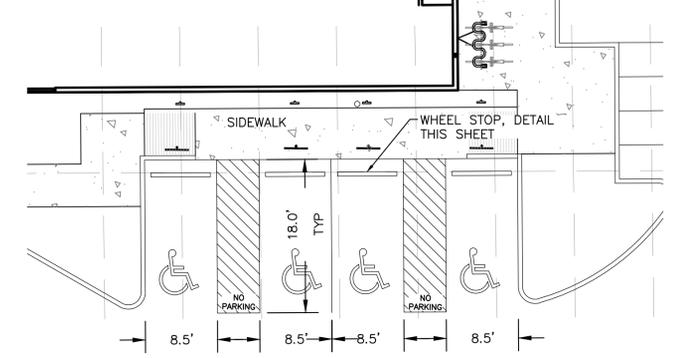
**DOMES SPACING**  
 CC - CENTER TO CENTER SPACING 2.35"  
 BB - BASE TO BASE SPACING 1.48" MIN

**TRAFFIC CIRCULATION LAYOUT APPROVED**  
*Ernest Armiya* 7/30/2025  
 Signed Date

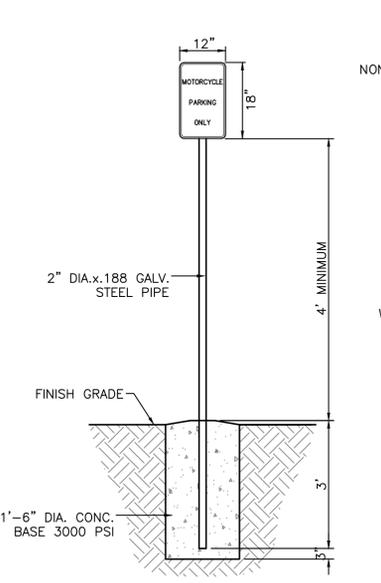


- NOTES:**
- 1) INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL BE PAINTED ON THE PAVEMENT AT REAR OF SPACE, WHITE SYMBOL ON BLUE BACKGROUND.
  - 2) PARKING SPACE LINES AND DIAGONAL STRIPING TO BE PAINTED BLUE.
  - 3) ACCESS AISLE SHALL HAVE THE WORDS "NO PARKING" IN CAPITAL LETTERS, EACH OF WHICH SHALL BE AT LEAST ONE FOOT HIGH AND AT LEAST TWO INCHES WIDE, PLACED AT THE REAR OF THE PARKING SPACE SO AS TO BE CLOSE TO WHERE AN ADJACENT VEHICLE'S REAR TIRES WOULD BE PLACED.

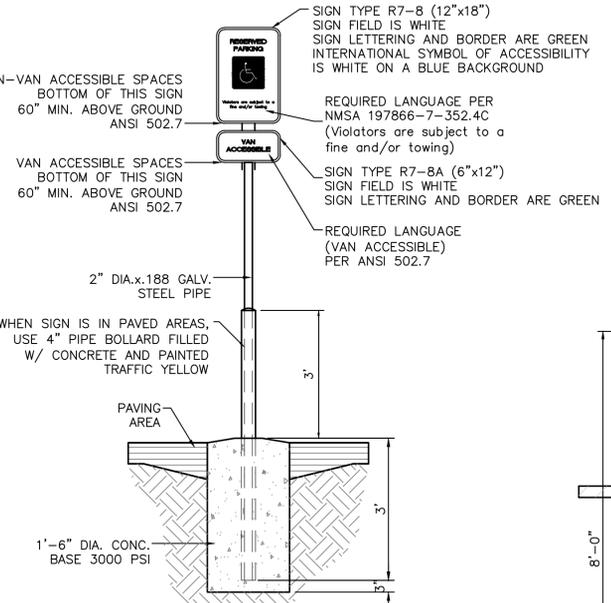
**HC PARKING DETAILS**  
1"=10'



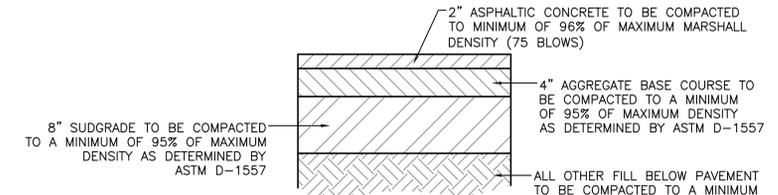
**UNIDIRECTIONAL HC RAMP**  
NOT TO SCALE



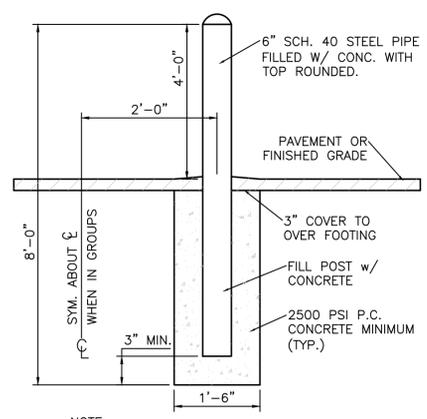
**MOTORCYCLE PARKING SIGN**  
NTS



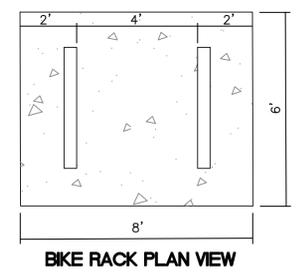
**ACCESSIBLE PARKING SIGN**  
NTS



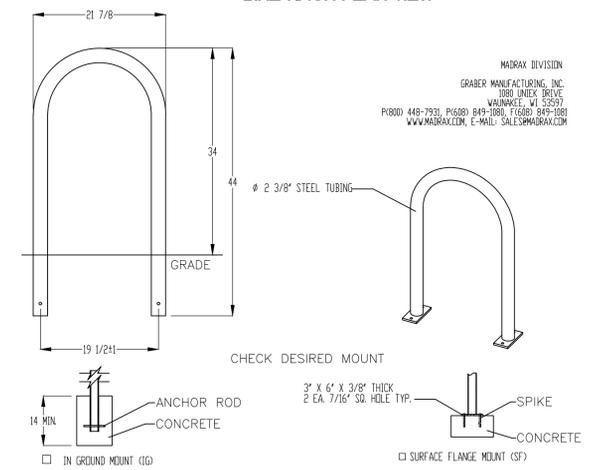
**AUTOMOBILE PARKING TYPICAL PAVING SECTION**  
1" = 1"



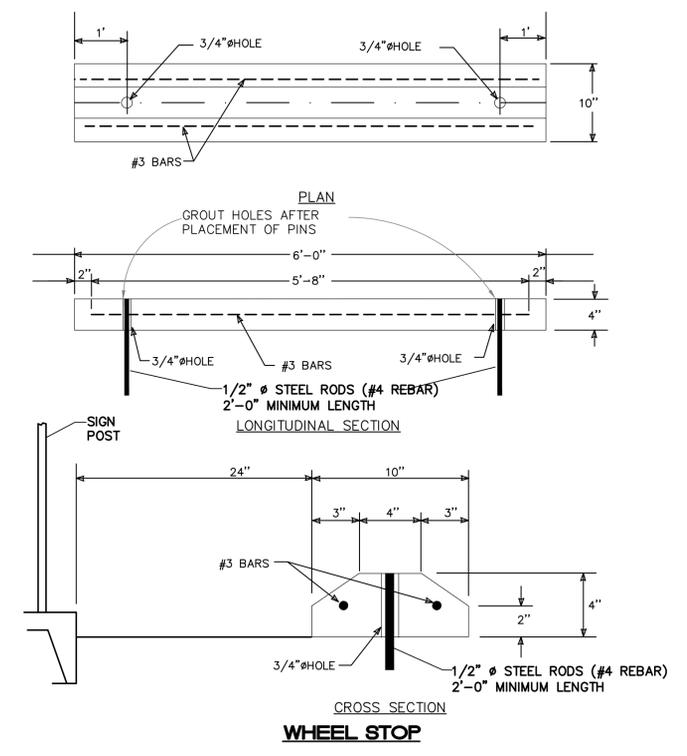
**BOLLARD DETAIL**  
NTS



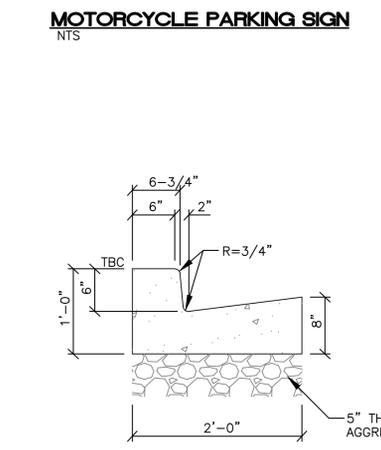
**BIKE RACK PLAN VIEW**



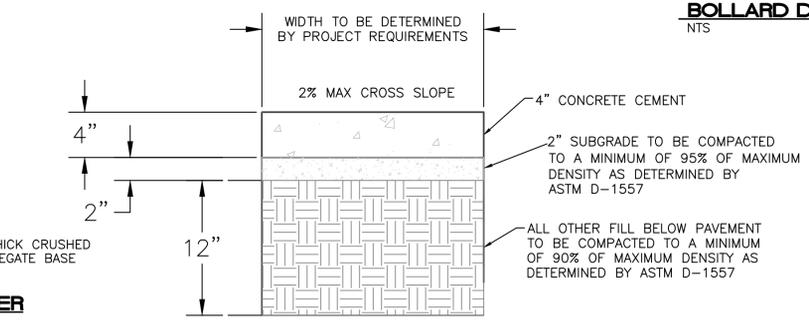
**BIKE RACK DETAIL**  
SCALE: NONE



**WHEEL STOP**



**STANDARD CURB AND GUTTER**  
NTS



**CONCRETE SIDEWALK SECTION**

- PRODUCT:** U230-1G(SF)  
**DESCRIPTION:** U BIKE RACK  
**DATE:** 10-4-18  
**ENG:** SMC
- NOTES:**
1. INSTALL BIKE RACKS ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
  2. CONSULTANT TO SELECT COLOR/FINISH. SEE MANUFACTURER'S SPECIFICATIONS.
  3. SEE SITE PLAN FOR LOCATION OR CONSULT OWNER.
  4. BIKE RACK SHALL HAVE A 1 FEET CLEAR ZONE ALL AROUND.
  5. EACH BIKE RACK SPACE SHALL BE AT LEAST 6 FEET LONG AND 2 FEET WIDE.

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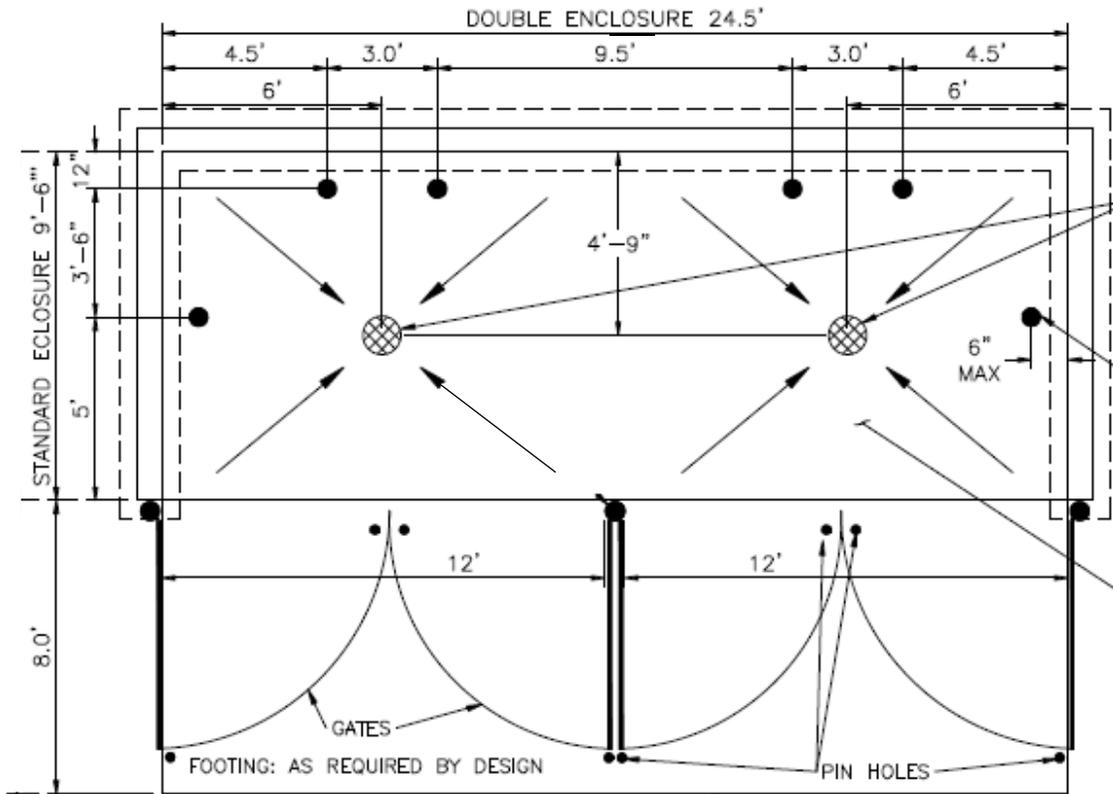
ENGINEER'S SEAL  RONALD R. BOHANNAN P.E. #7868	<b>ALOFT HOTEL ALBUQUERQUE, NM</b> <b>TRAFFIC CIRCULATION LAYOUT - DETAILS</b>	DRAWN BY MR
		DATE 07/18/2025
		SHEET # <b>19</b>
	TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	JOB # 2021133

**City of Albuquerque**  
**Solid Waste Management Department**  
 4600 Edith Blvd NE  
 Albuquerque, NM 87107

Attention: All Restaurants, Food Services, Food Distributors. A Sanitary Sewer Drain is required. It should measure 6' to center from side walls, and 4'-9" from back wall to center.

Side bollards are to measure a max of 6" to center from the side enclosure wall.

Concrete Slab Minimum Requirements 6" Thick 4000 PSI 3/4 Aggregate w/6x6-10/10WWM or equal slope to drain 1/8" per foot

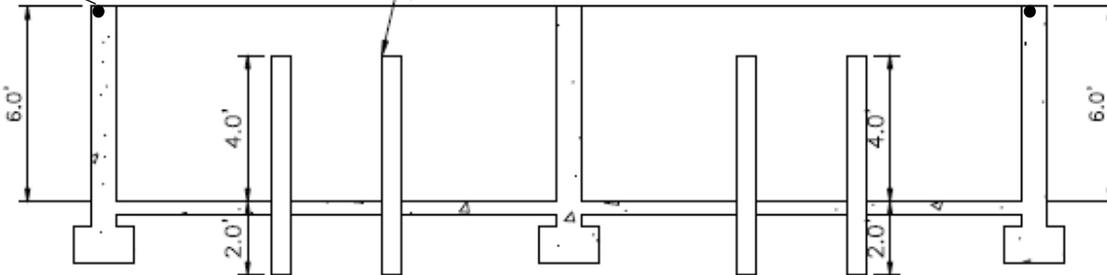


Apron Required In front of Each Enclosure (6" with reinforcing to withstand 57,000 lbs.)

Apron Minimum Requirements 4000 PSI 3/4" Aggregate With 6" Thick Concrete With 6X6-10/10 WWM or Equal With 1/2" Expansion Joint Between Slab and Apron

6" outside diameter concrete filled steel pipe shall be encased in 12" concrete all around and embedded 2'

Bond Beam



It is not the intention of the Solid Waste Department to control the design of an enclosure. It is the intent to give the minimum width, length, and height for varied types of enclosures.

Additional information concerning these specifications may be obtained by calling the Solid Waste Management Department at (505) 761-8125

**\*\*\*Trash enclosures are intended for dumpsters only.\*\*\***

**\*\*\*If casters are required for service a level smooth hard surface (Asphalt, Concrete) is required from the edge of the apron\*\*\***



**ALBUQUERQUE FIRE MARSHAL'S  
DIVISION OFFICE PLANS  
CHECKING DIVISION  
PERMIT**  
PERMIT NUMBER: FP-25-100720  
APPROVED DATE: 12/24/2025  
**APPROVED**

THESE CONSTRUCTION DOCUMENTS WERE REVIEWED AND APPROVED BY THE ALBUQUERQUE FIRE MARSHAL'S OFFICE IN ACCORDANCE WITH THE CITY ORDINANCE, THE INTERNATIONAL FIRE CODE, AND NFPA STANDARDS. THIS PERMIT IS VALID FOR 180 DAYS. FINAL INSPECTION IS REQUIRED.  
**FIRE FLOW: 2125GPM, 3 HYDRANTS**

**LEGEND**

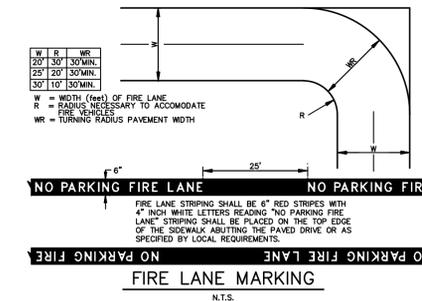
- CURB & GUTTER
- - - BOUNDARY LINE
- ▭ BUILDING
- - - EXISTING CURB & GUTTER
- - - FIRE ACCESS
- PROPOSED HYDRANT

**CAUTION**

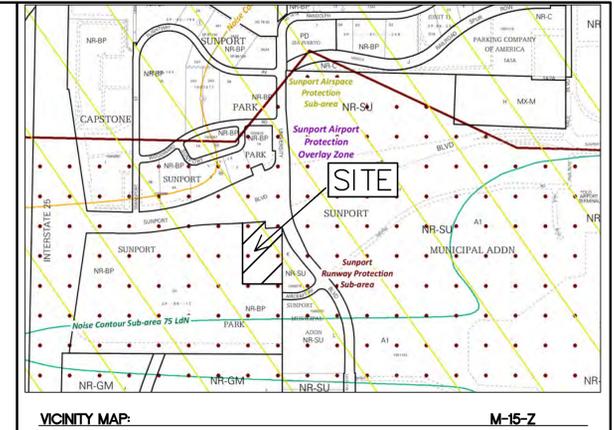
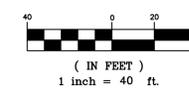
ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

**NOTES**

1. ON SITE FIRE LANE ROAD SHALL BE MARKED ON BOTH SIDES, AS DIRECTED BY FIRE MARSHALL
2. FIRE APPARATUS ACCESS ROADS SHALL NOT EXCEED 10 PERCENT IN GRADE AND SHALL HAVE AN ALL WEATHER DRIVING SURFACE CAPABLE OF SUPPORTING THE IMPOSED LOAD OF FIRE APPARATUS WEIGHING AT LEAST 75000 LBS.
3. KEY BOX (KNOX BOX) SHALL BE MOUNTED BETWEEN 4 AND 6 FEET ABOVE GRADE AND SHALL BE ILLUMINATED. SEE PLAN FOR LOCATION.
4. TYPICAL CURB RETURN AND ROAD WIDTHS ARE SHOWN TO ALLOW FOR TURNING MOVEMENT OF FIRE VEHICLES ON MAIN AND SECONDARY STREETS INTERNAL TO THE PARK.
5. REFERENCE THE 2009 INTERNATIONAL FIRE CODE APPENDIX B, C, AND D FOR CODE CRITERIA.



GRAPHIC SCALE



**LEGAL DESCRIPTION:**

A CERTAIN PARCEL OF LAND BEING AND COMPRISING ALL OF PARCEL "2A", OF SUNPORT PARK, ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLATS OF LOTS 1A, 1B, 2A AND 2B IN BLOCK 3, PARCELS 1-A-1, 1-A-2, 1-B-1 IN BLOCK 4, PARCELS 2A, 2B, 3C AND 2D OF SUNPORT PARK, RECORDED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON JANUARY 18, 1996, IN PLAT BOOK 96C, FOLIO 22. LESS AND EXCEPTING THEREFROM THAT PORTION AFFECTED BY THAT CERTAIN PERMANENT ORDER OF ENTRY ENTERED JUNE 28, 2018 IN BERNALILLO COUNTY DISTRICT COURT CAUSE NO. CV-2016-02511

SUNPORT SUITES (1501 AIRCRAFT AVE. SE.)  
CITY OF ALBUQUERQUE,  
BERNALILLO COUNTY

BUILDING TOTAL AREA: 58,102 SF

CONSTRUCTION TYPE: V-A FULLY SPRINKLED  
MAX BUILDING HEIGHT: 50'-0"

FIRE FLOW: 2,125 GPM  
REQ. FIRE HYDRANTS: 3

**KEYED NOTES**

- 1 PROPOSED FIRE HYDRANT W/PRIVATE GATE VALVE
- 2 6" WATERLINE
- 3 3" DOMESTIC WL SERVICE
- 4 PUBLIC GATE VALVE
- 5 6" PRIVATE GATE VALVE
- 6 EXISTING 2" WL METER
- 7 BUILDING ADDRESS
- 8 KNOX BOX LOCATION
- 9 EXISTING PUBLIC FIRE HYDRANT
- 10 STAIRS AND PATHWAY FOR PUBLIC FH ACCESS
- 11 FDC
- 12 8" WATERLINE
- 13 POST INDICATOR VALVE
- 14 8" REMOVABLE BOLLARDS
- 15 FIRE LANE MARKINGS
- 16 3" WATER METER PIT SEE COA STD DWG #2370
- 17 CLASS 1 STANDPIPE

ENGINEER'S SEAL  RONALD R. BOHANNAN P.E. #7868	<b>ALOFT HOTEL ALBUQUERQUE, NM</b>	DRAWN BY MR
	<b>FIRE ONE PLAN</b>	DATE 12/19/2025
12/19/2025 RONALD R. BOHANNAN P.E. #7868	<b>TIERRA WEST, LLC</b> 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # <b>34</b>  JOB # 2021133