

01 AA APPLICATION



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

| Administrative Decisions | Decisions Requiring a Public Meeting or Hearing | Policy Decisions |
|---|---|--|
| <input type="checkbox"/> Archaeological Certificate (Form P3) | <input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1) | <input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z) |
| <input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L) | <input type="checkbox"/> Master Development Plan (Form P1) | <input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L) |
| <input type="checkbox"/> Alternative Signage Plan (Form P3) | <input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L) | <input type="checkbox"/> Amendment of IDO Text (Form Z) |
| <input checked="" type="checkbox"/> Minor Amendment to Site Plan (Form P3) | <input type="checkbox"/> Demolition Outside of HPO (Form L) | <input type="checkbox"/> Annexation of Land (Form Z) |
| <input type="checkbox"/> WTF Approval (Form W1) | <input type="checkbox"/> Historic Design Standards and Guidelines (Form L) | <input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z) |
| | <input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2) | <input type="checkbox"/> Amendment to Zoning Map – Council (Form Z) |
| | | Appeals |
| | | <input type="checkbox"/> Decision by EPC, LC, ZHE, or City Staff (Form A) |

APPLICATION INFORMATION

| | | |
|---|-------------------------|----------------------------|
| Applicant: Presbyterian Healthcare Services | | Phone: 505.841.1234 |
| Address: P.O. Box 26666 | | Email: |
| City: Albuquerque | State: NM | Zip: 87125 |
| Professional/Agent (if any): Will Gleason, Dekker Perich Sabatini | | Phone: 505.761.9700 |
| Address: 7601 Jefferson NE Suite 100 | | Email: willg@dpsdesign.org |
| City: Albuquerque | State: NM | Zip: 87109 |
| Proprietary Interest in Site: | List <u>all</u> owners: | |

BRIEF DESCRIPTION OF REQUEST

Minor Amendment to approved Site Development Plan to facilitate site improvements for the approved hospital addition. Site improvements include modifications to landscape areas due to accidental removal of existing landscaping.

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

| | | |
|---|-----------------------|--------------------------------|
| Lot or Tract No.: See Attached Site Information | Block: | Unit: |
| Subdivision/Addition: | MRGCD Map No.: | UPC Code: |
| Zone Atlas Page(s): K-15 | Existing Zoning: MX-H | Proposed Zoning: MX-H |
| # of Existing Lots: 9 | # of Proposed Lots: 9 | Total Area of Site (acres): 27 |

LOCATION OF PROPERTY BY STREETS

| | | |
|--|---------------------|----------------------|
| Site Address/Street: 1100 Central Ave SE | Between: Oak St. SE | and: Sycamore St. SE |
|--|---------------------|----------------------|

CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

1000575, 1001620, 1010958, 1011126

| | |
|----------------------------|---|
| Signature: | Date: May 27, 2022 |
| Printed Name: Will Gleason | <input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent |

FOR OFFICIAL USE ONLY

| Case Numbers | Action | Fees | Case Numbers | Action | Fees |
|--------------|--------|------|--------------|--------|------|
| | | | | | |
| | | | | | |
| | | | | | |

| | |
|-----------------------|------------|
| Meeting/Hearing Date: | Fee Total: |
| Staff Signature: | Date: |
| | Project # |

02 FORM P3

FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS

A single PDF file of the complete application including all plans and documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other on-line resources such as Dropbox or FTP.

INFORMATION REQUIRED FOR ALL ADMINISTRATIVE DECISIONS OR AMENDMENTS

- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and label

ARCHEOLOGICAL CERTIFICATE

- Archaeological Compliance Documentation Form with property information section completed
- Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)

MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(2)
 - The approved Site Plan being amended
 - Copy of the Official Notice of Decision associated with the prior approval
 - The proposed Site Plan, with changes circled and noted
- Refer to the Site Plan Checklist for information needed on the proposed Site Plan.*

N/A Completed Site & Building Design Considerations Form in accordance with IDO Section 5-2(D) for new commercial and multifamily development except if the development is industrial or the multifamily is less than 25 units

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Z)(1)(a)
 - The approved Site Development Plan being amended
 - Copy of the Official Notice of Decision associated with the prior approval
 - The proposed Site Development Plan, with changes circled and noted
- Refer to the Site Plan Checklist for information needed on the proposed Site Plan.*
- Completed Site & Building Design Considerations Form in accordance with IDO Section 5-2(D) for new commercial and multifamily development except if the development is industrial or the multifamily is less than 25 units

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

ACCELERATED EXPIRATION SITE PLAN

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)(c)
- Site Plan to be Expired

ALTERNATIVE SIGNAGE PLAN

- Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)
- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(C)(3)(b)
- Required notices with content per IDO Section 14-16-6-4(K)
 - Office of Neighborhood Coordination notice inquiry response and proof of emailed notice to affected Neighborhood Association representatives
- Sign Posting Agreement

ALTERNATIVE LANDSCAPE PLAN

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-5-6(C)(16)
- Landscape Plan

03 LETTER OF AUTHORIZATION

May 20, 2022

Mr. Anthony Santi
Dekker/Perich/Sabatini LLC
7601 Jefferson NE, Suite 100
Albuquerque, NM 87109

Zoning Enforcement Officer (ZEO),
City of Albuquerque Planning Department
600 Second Street NW | Albuquerque, NM 87102

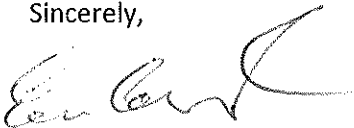
**RE: Request for a Minor Amendment of a Site Development Plan
Landscape and Irrigation Improvements
Presbyterian Healthcare Services
Presbyterian Main Hospital Campus located at 1100 Central Ave SE, Albuquerque, NM 87106
(Tracts 1-9 Presbyterian Hospital – Main Campus Phase 1 Replat)**

Dear ZEO:

This Letter authorizes Dekker/Perich/Sabatini LLC to represent Presbyterian Healthcare Services with regard to the design and approval of all necessary steps related to the regulatory and permitting process with the city of Albuquerque. This letter authorizes Dekker/Perich/Sabatini LLC to act as Presbyterian Healthcare Services' agent as necessary with the permitting and associated approval processes required for the proposed Improvements on the property referenced above.

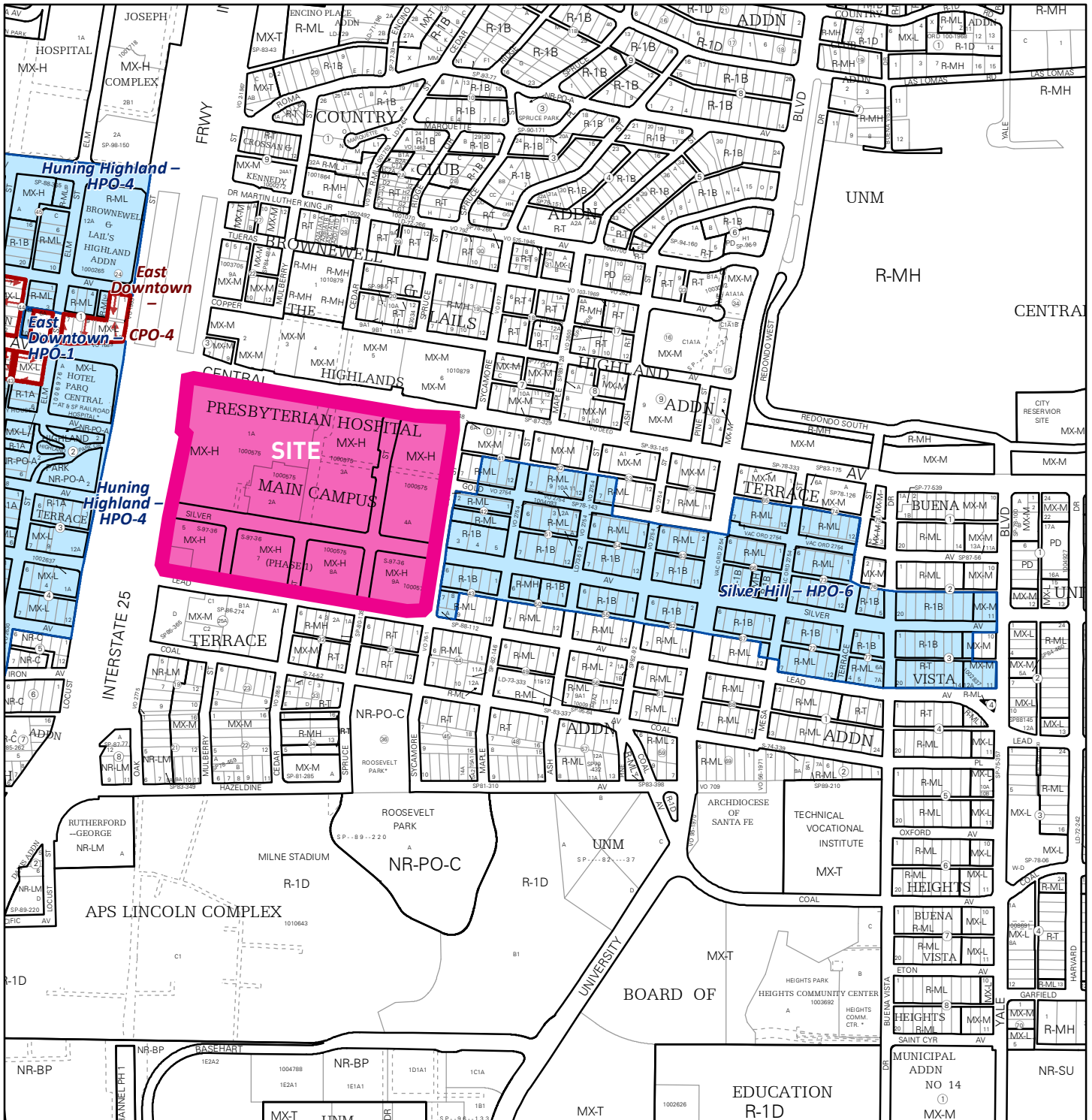
Please contact me at 563-6635 if there are any questions.

Sincerely,



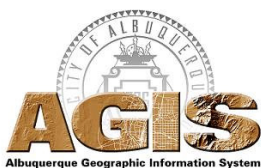
Eric Cornish
Vice President Real Estate

04 ZONE ATLAS MAP

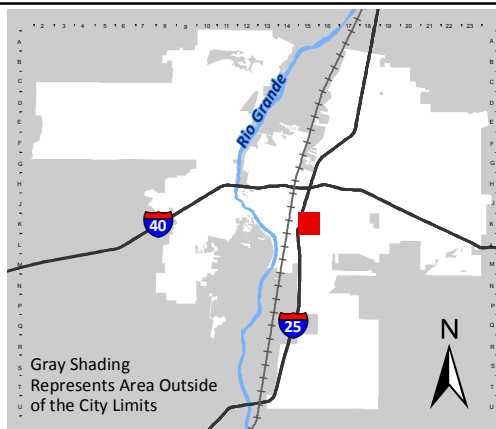


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018

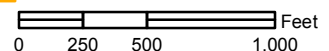


IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones are established by the Integrated Development Ordinance (IDO).



Zone Atlas Page:
K-15-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone



05 JUSTIFICATION LETTER

May 27, 2022

Zoning Enforcement Officer (ZEO)
 City of Albuquerque Planning Department
 600 Second Street NW | Albuquerque, NM 87102

**Re: Request for Administrative Amendment of a Site Development Plan
 Presbyterian Healthcare Services, Project #2019-002661**

Dear ZEO,

Presbyterian Healthcare Services, owner of the subject property, is seeking to amend the existing site development plan (approved in 2006) for Presbyterian Hospital located at 1100 Central Ave SE in order to replace landscaping that was accidentally disturbed during construction of a new hospital tower addition approved by the EPC on September 12, 2019 (Project #2019-002661).

This proposed amendment encompasses replacement of landscaping in several areas that include the following:

- 5,277 sf of streetscape landscaping along Silver Ave between Oak St to about 110 feet east of Mulberry St will be replaced
- 1,135 sf of streetscape landscaping along the west side of Mulberry St from Silver Ave to the driveway approximately 157 feet south of Silver Ave will be replaced
- 712 sf of streetscape landscaping along the east side of Mulberry St from Silver Ave to the driveway approximately 122 feet south of Silver Ave will be replaced
- 1,796 sf of interior landscape at the northeast corner of the energy center at Silver Ave and Mulberry St will be replaced
- 3,868 sf of interior landscape at the GI Lab parking lot at Silver Ave and Mulberry St will be replaced

The table below summarizes the changes that would result from the site plan modifications.

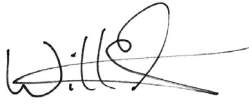
| Comparison Item | Approved Plan | Proposed AA | Proposed Change | % Change |
|-------------------|---------------|-------------|-----------------|-------------|
| Total landscaping | 42,502 sf | 46,459 sf | 3,957 sf | 9.31 |

The requested landscaping replacements outlined above equate to a 9.31 percent change and therefore fall within the allowable 10% threshold for minor Administrative Amendments established in Table 6-4-5 which can be approved administratively by the Zoning Enforcement Officer (ZEO).

The proposed site plan amendment complies with all applicable standards of the IDO, the DPM, and other adopted city regulations per the review and decision criteria of Section 6-5(G)(3).

Based upon the rationale presented in this letter, we respectfully request administrative approval of the proposed Site Development Plan Amendment to facilitate the expansion of the Presbyterian Downtown campus. Upon completion, we feel that this project will contribute to the goals and growth policies of the Comprehensive Plan and ensure that Presbyterian is able to offer top quality healthcare services to the greater Albuquerque community. If you have any questions or need clarification of anything contained herein, please contact me at (505)761-9700.

Sincerely,

A handwritten signature in black ink, appearing to read "Will Gleason". The signature is stylized with a large, looped "W" and a cursive "G".

Will Gleason, AICP
Principal, Dekker Perich Sabatini
Agent for Presbyterian Healthcare Services

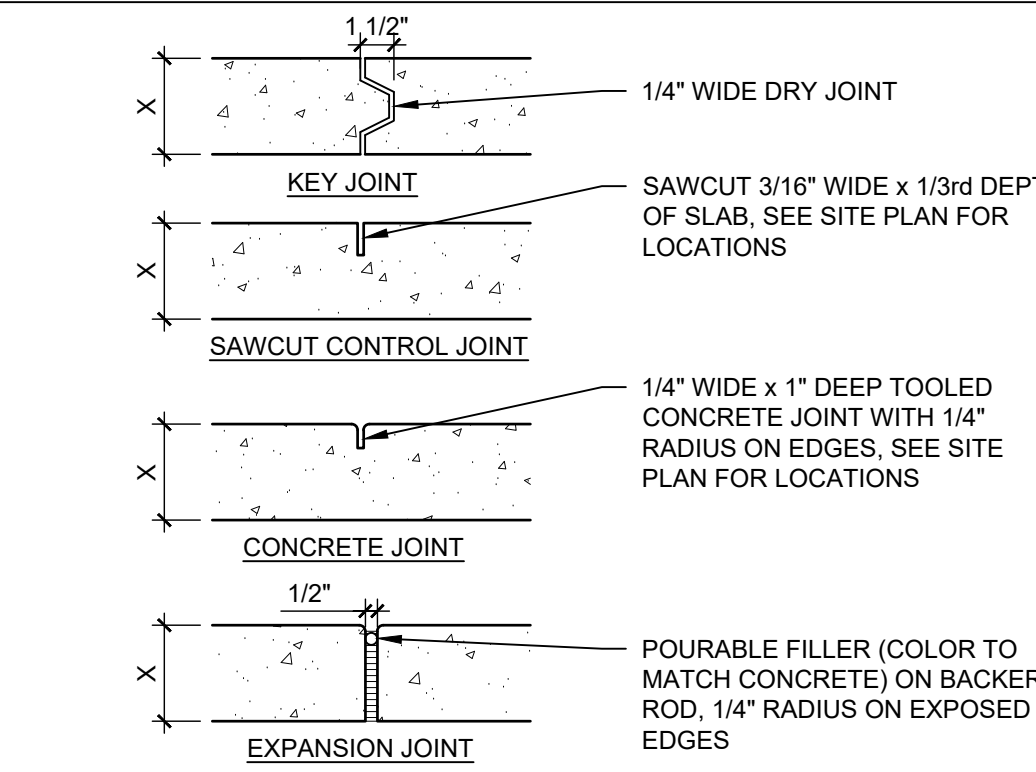
06 PREVIOUS APPROVED SITE PLAN

GENERAL NOTES

- EXISTING LANDSCAPE AREAS ADJACENT TO THE PROJECT SITE ARE TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION.
- ALL PARKING AREAS DRIVE AISLES AND AUTOMOTIVE CIRCULATION PATHS TO BE ASPHALT PAVING.
- ALL SIDEWALKS AND RAMPS TO BE CONCRETE.

KEYED NOTES

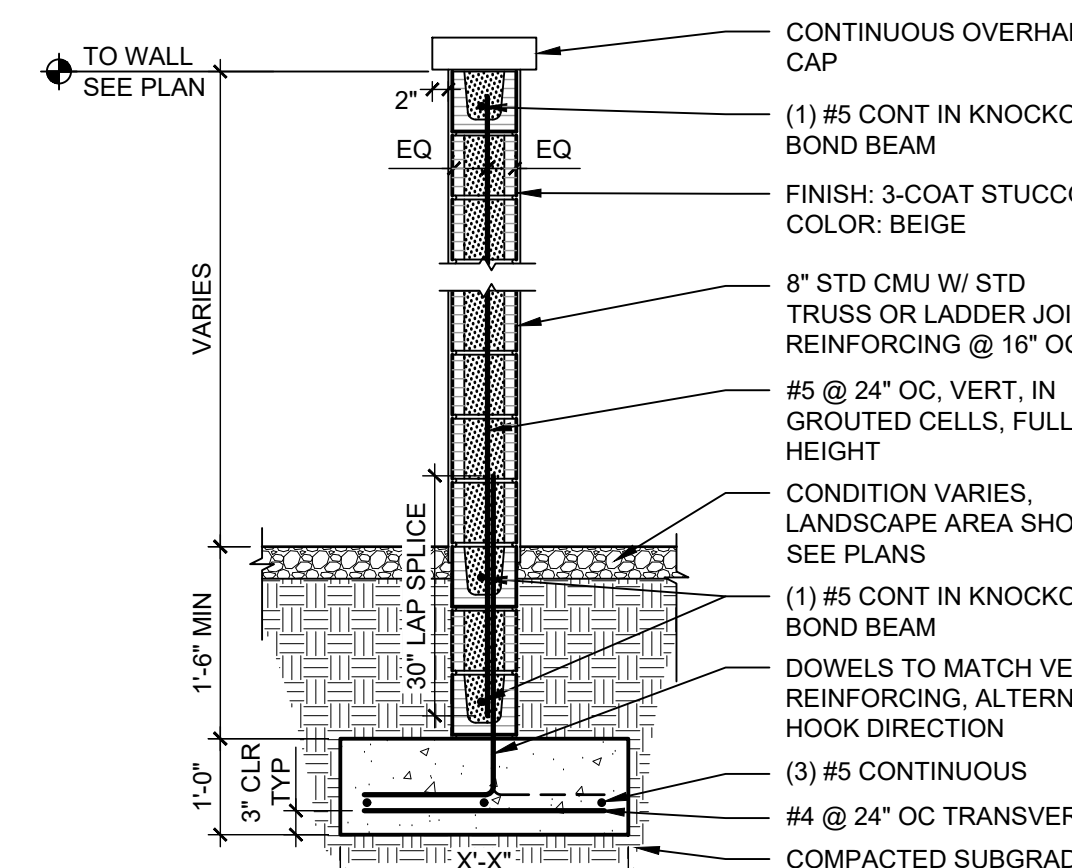
- PARKING LOT STRIPING, 4" WIDE TYPICAL, COLOR: WHITE
- NEW CURB AND GUTTER, SEE DETAIL A5/SDP1-2
- CANOPY OVERHEAD
- NEW 6" WIDE CONCRETE SIDEWALK, SEE DETAIL B5/SDP1-2
- LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE SIGNS, WALL, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- NEW 8" WIDE CONCRETE SIDEWALK.
- NEW ELECTRICAL EQUIPMENT.
- EXISTING TRASH COMPACTOR.
- EXISTING ELECTRICAL EQUIPMENT.
- DECORATIVE CONCRETE.
- 8" HIGH CMU SCREEN WALL WITH BEIGE STUCCO FINISH, SEE DETAIL C5/SDP1-2
- 6" HIGH CMU SCREEN WALL WITH BEIGE STUCCO FINISH, SEE DETAIL C5/SDP1-2
- NEW MECHANICAL EQUIPMENT.
- PROPOSED FUTURE TRASH COMPACTOR.
- FUTURE LOADING DOCK, SEE B6/SDP1-2



| CONTROL AND EXPANSION JOINT SPACING - UNLESS NOTED OTHERWISE ON PLANS | | | | |
|---|--|---------|----------------------|-------------|
| APPROX WIDTH OF CONCRETE | CURB & GUTTER, ROLL, HEADER, FLUSH CURBS | 5' WALK | 8' WALK & BLDG APRON | 8'-12' WALK |
| CONTROL JOINTS | 4' OC | 5' OC | 8' OC | 6' OC |
| EXPANSION JOINTS | 16' OC | 15' OC | 24' OC | 18' OC |

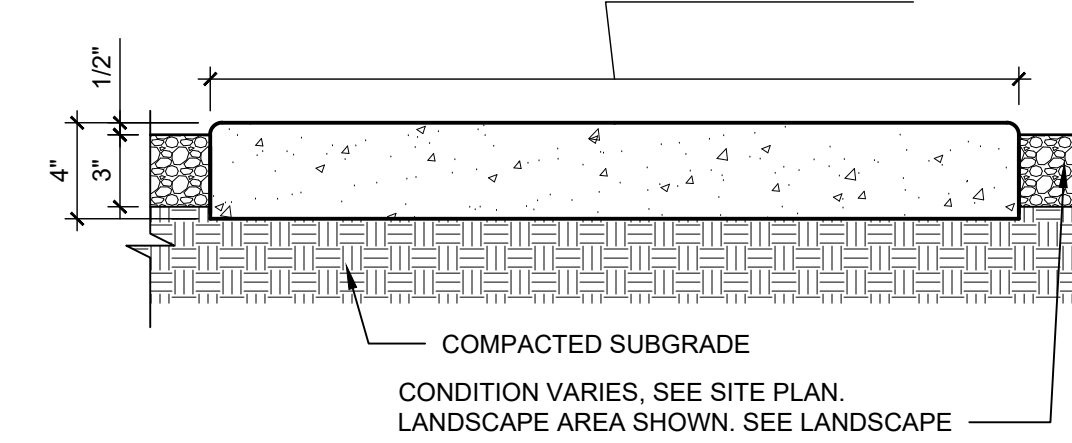
D5 CONCRETE JOINTS & JOINT SPACING
1 1/2" = 1'-0"

- NOTE:
1. GROUT ALL CELLS BELOW GRADE.



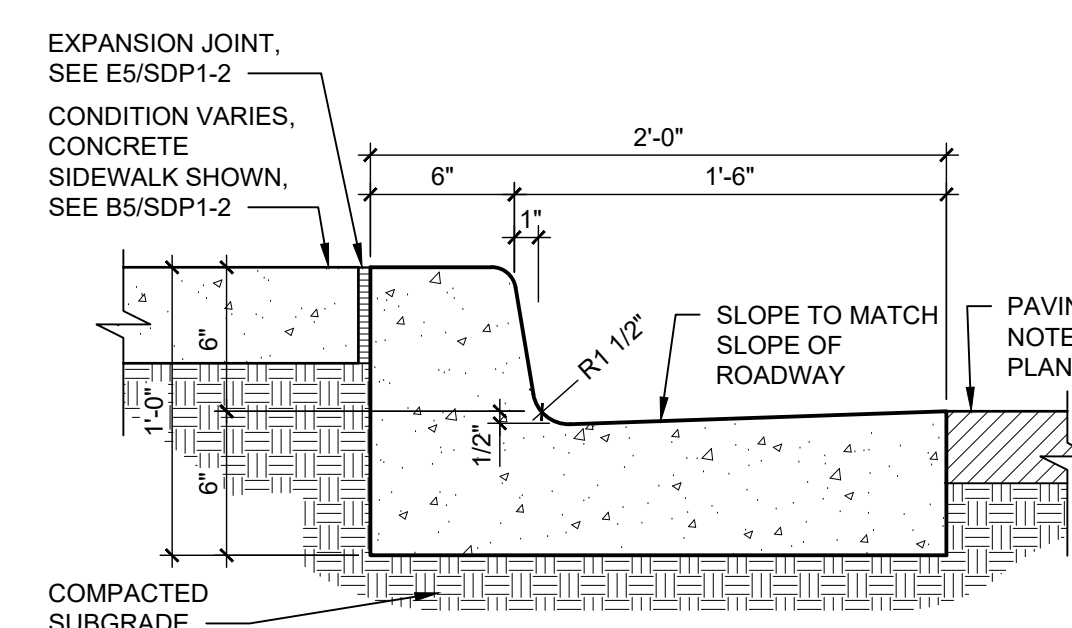
C5 CMU SCREEN WALL
1 1/2" = 1'-0"

- NOTES:
1. SEE SITE PLANS AND E5/SDP1-2 FOR JOINTING.
2. CAST-IN-PLACE CONCRETE PAVING, LIGHT BROOM FINISH PERPENDICULAR TO TRAFFIC FLOW WITH 1/2" RADIUS ON EXPOSED EDGES.
3. INTEGRAL COLOR WHERE NOTED ON PLANS.
4. FINISH GRADE FOR LANDSCAPE AREAS SHALL BE 1/2" BELOW TOP OF PAVING.
5. ALL SIDEWALK/RAMPS SHALL NOT EXCEED 2% MAX CROSS SLOPE.
VARIES, SEE SITE PLAN

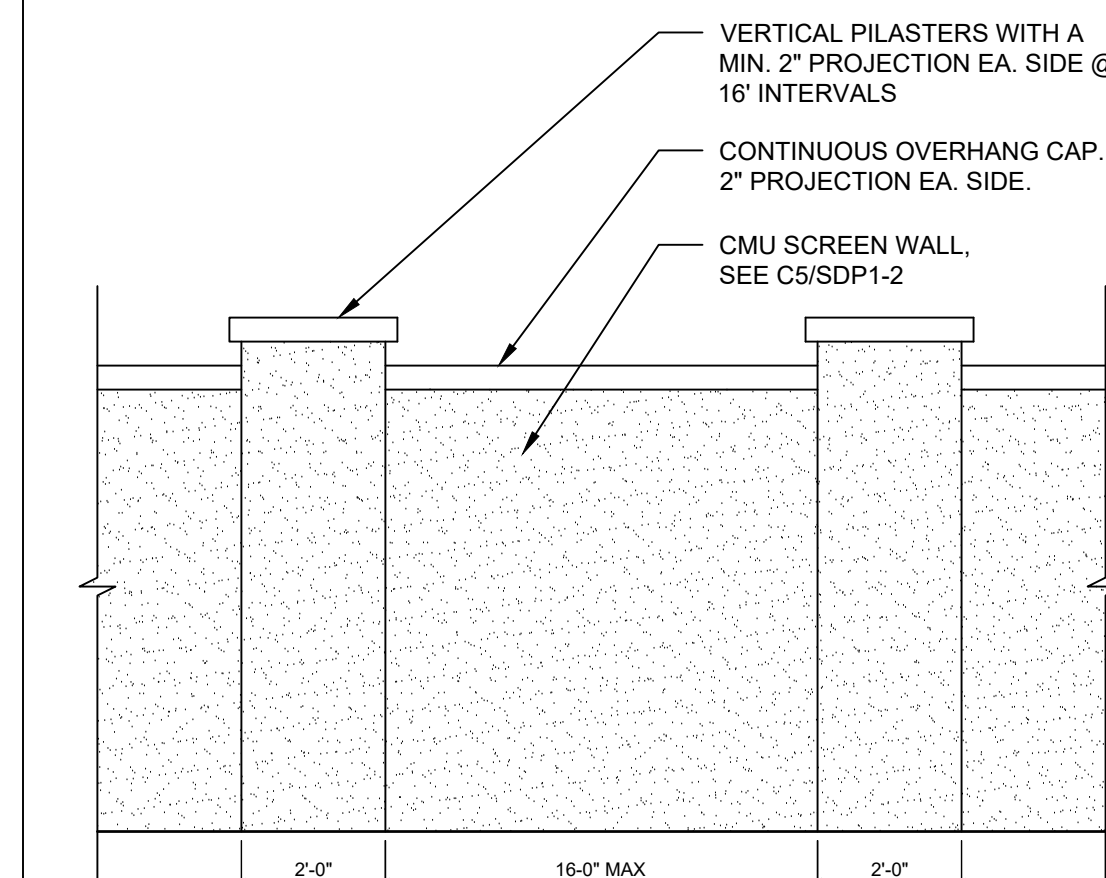


B5 CONCRETE SIDEWALK
1 1/2" = 1'-0"

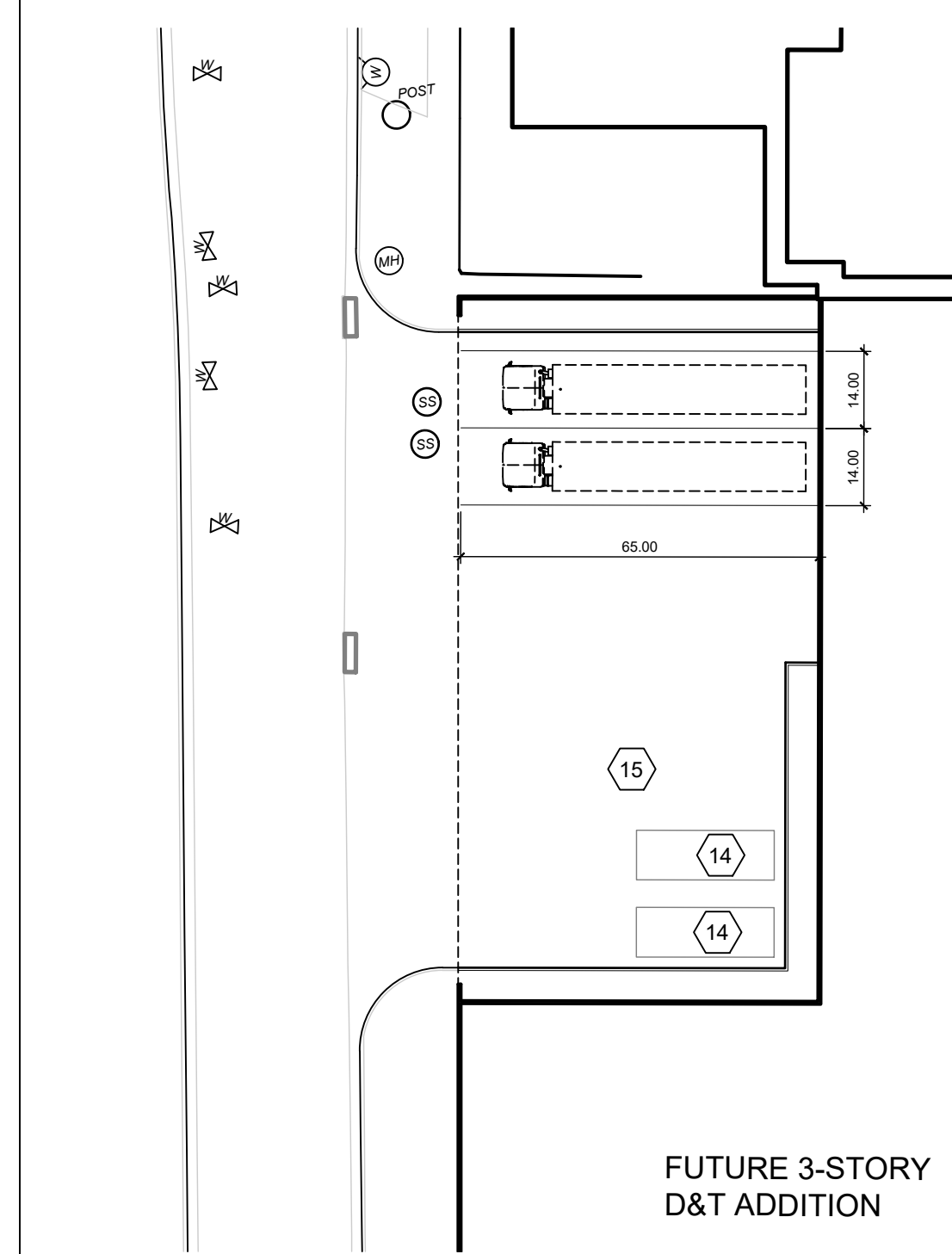
- NOTES:
1. WHERE BACK OF CURB AND GUTTER IS EXPOSED ALONG A RAMP, ADD 1/2" RADIUS ON EXPOSED EDGES.
2. CAST-IN-PLACE CONCRETE, LIGHT BROOM FINISH, WITH 1/2" RADIUS ON EXPOSED EDGES.



A5 CONCRETE CURB & GUTTER
1 1/2" = 1'-0"



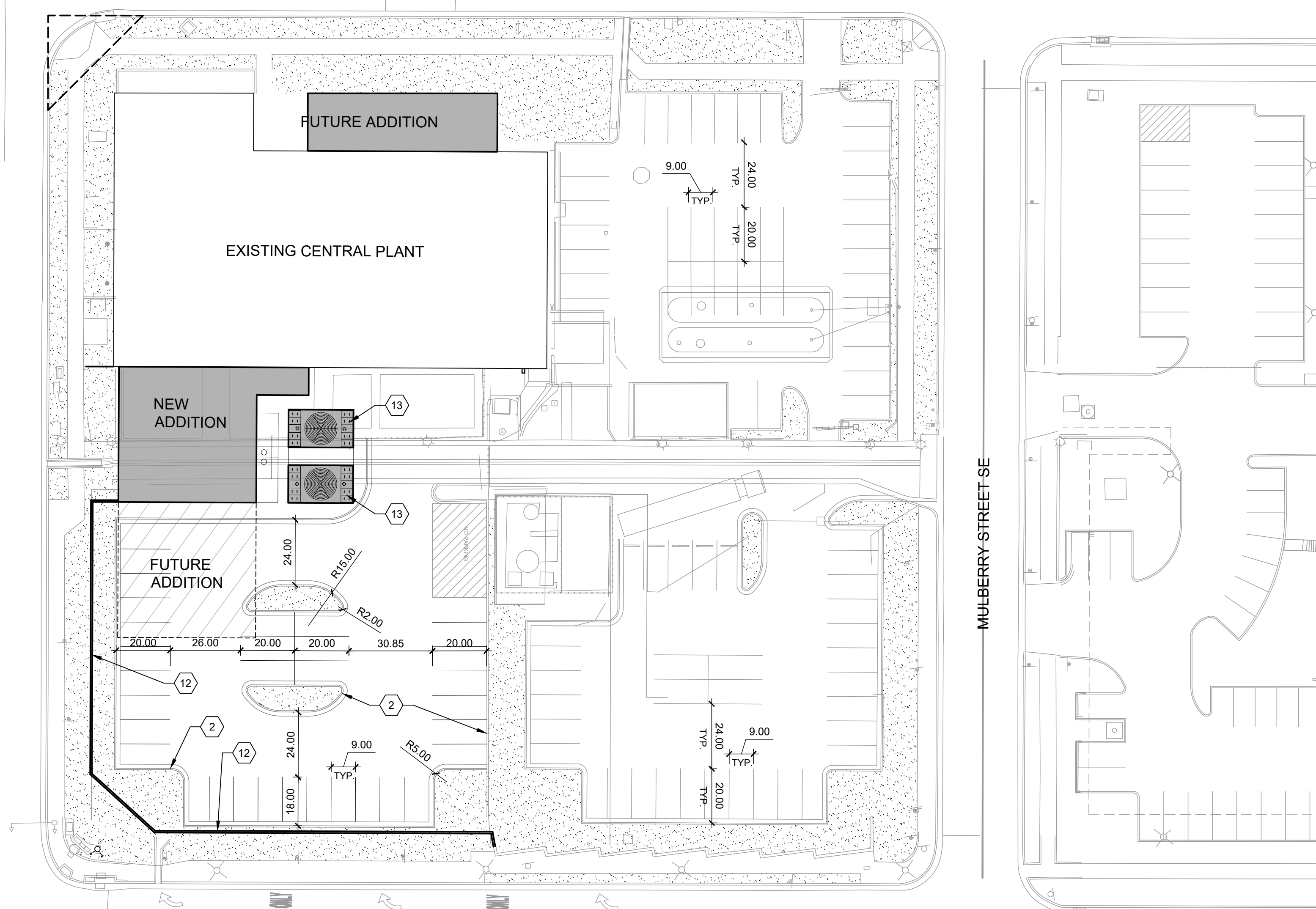
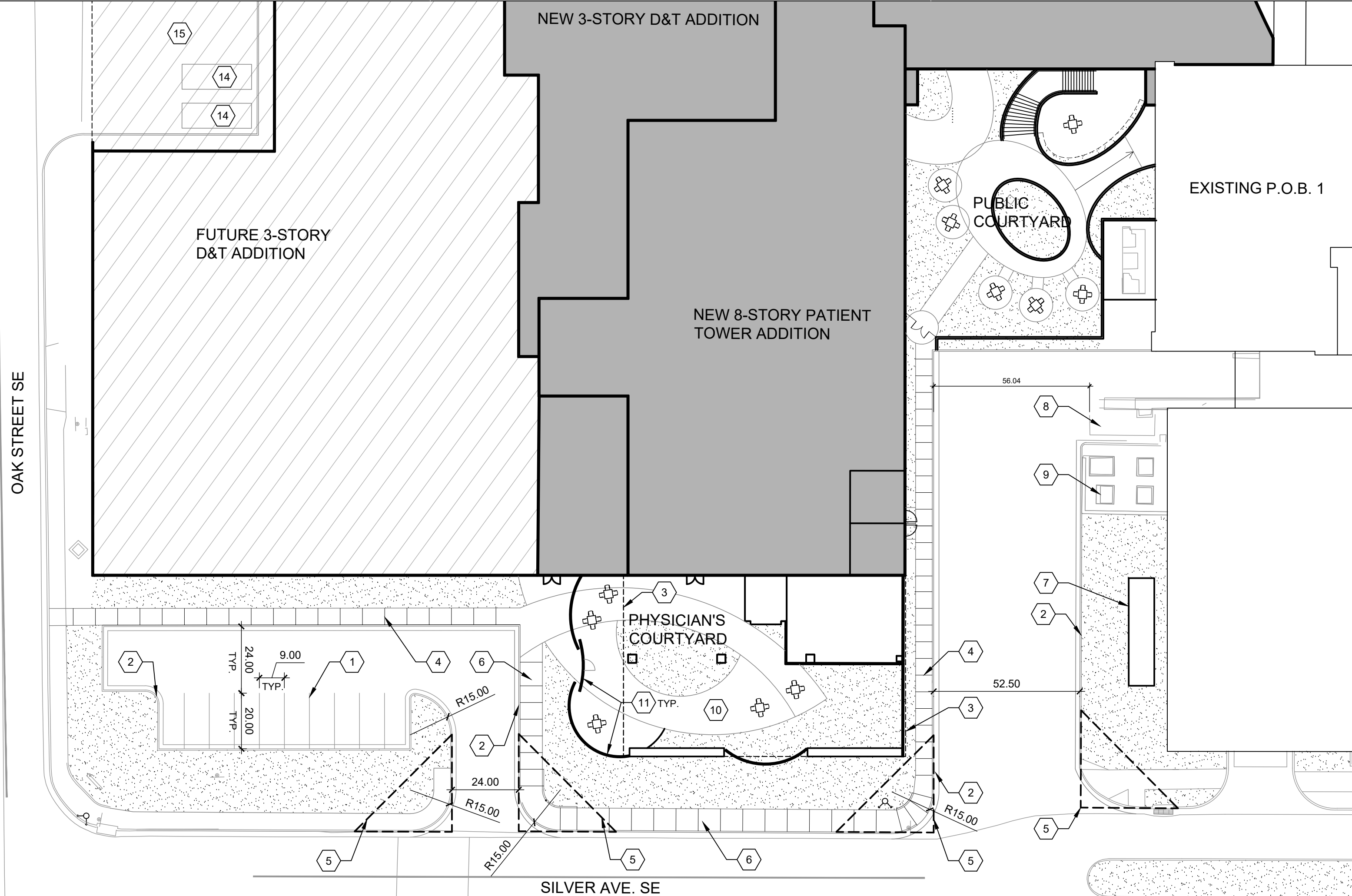
C6 SCREEN WALL ELEVATION
3/8" = 1'-0"



B6 ENLARGED PLAN
1" = 30'-0"

LEGEND

- PREMISE BOUNDARY
- PROPERTY LINE
- LANDSCAPE AREA
- POLE LIGHT
- SIDEWALK RAMP (ARROW POINTS DOWN)
- FIRE HYDRANT



A4 SITE PLAN - AREA A
1" = 30'-0"

GENERAL NOTES

- EXISTING LANDSCAPE AREAS ADJACENT TO THE PROJECT SITE ARE TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION.
- ALL PARKING AREAS DRIVE AISLES AND AUTOMOTIVE CIRCULATION PATHS TO BE ASPHALT PAVING.
- ALL SIDEWALKS AND RAMPS TO BE CONCRETE.

SHEET KEYED NOTES

- NEW CONCRETE SIDEWALK, SEE DETAIL B2/SDP1-4
- EXISTING SIDEWALK TO REMAIN
- NEW ACCESSIBLE RAMP, SEE DETAIL B4/SDP1-4
- CONCRETE CURB AND GUTTER, SEE DETAIL A2/SDP1-4
- NEW ELECTRICAL EQUIPMENT
- LANDSCAPE AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE SIGNS, WALL, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- NEW 6' WIDE SCORED CONCRETE CROSSWALK, SEE DETAIL B1/SDP1-4
- PARKING LOT STRIPING, 4" WIDE TYPICAL, COLOR: WHITE
- STAIRS OVERHEAD
- NEW CONCRETE STAIRS
- EXISTING BIKE LANE
- ACCESSIBLE PARKING, SEE DETAIL C1/SDP1-4
- STOP LINE PAVEMENT STRIPING, SEE DETAIL C2/SDP1-4
- THE PARKING STRUCTURE SHALL COMPLY WITH SECTION 5-9(C) BUILDING HEIGHT STEPDOWN. THE BUILDING IS BEYOND 50' FROM A PROTECTED LOT AS REQUIRED BY 5-9(C)(2). SEE ALSO SDP5-4 BUILDING ELEVATIONS.
- ADA ACCESSIBLE PARKING SIGN (TYPICAL), SEE DETAIL B3/SDP1-4
- MOTORCYCLE PARKING SIGN (TYPICAL), SEE DETAIL A3/SDP1-4

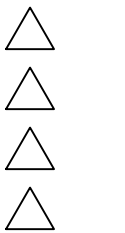
SEAL

PROJECT

PRESBYTERIAN HOSPITAL
SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

1100 Central Ave SE
Albuquerque, NM 87106

REVISIONS



DRAWN BY

REVIEWED BY

DATE 10/14/2019

PROJECT NO. 19-0010.001

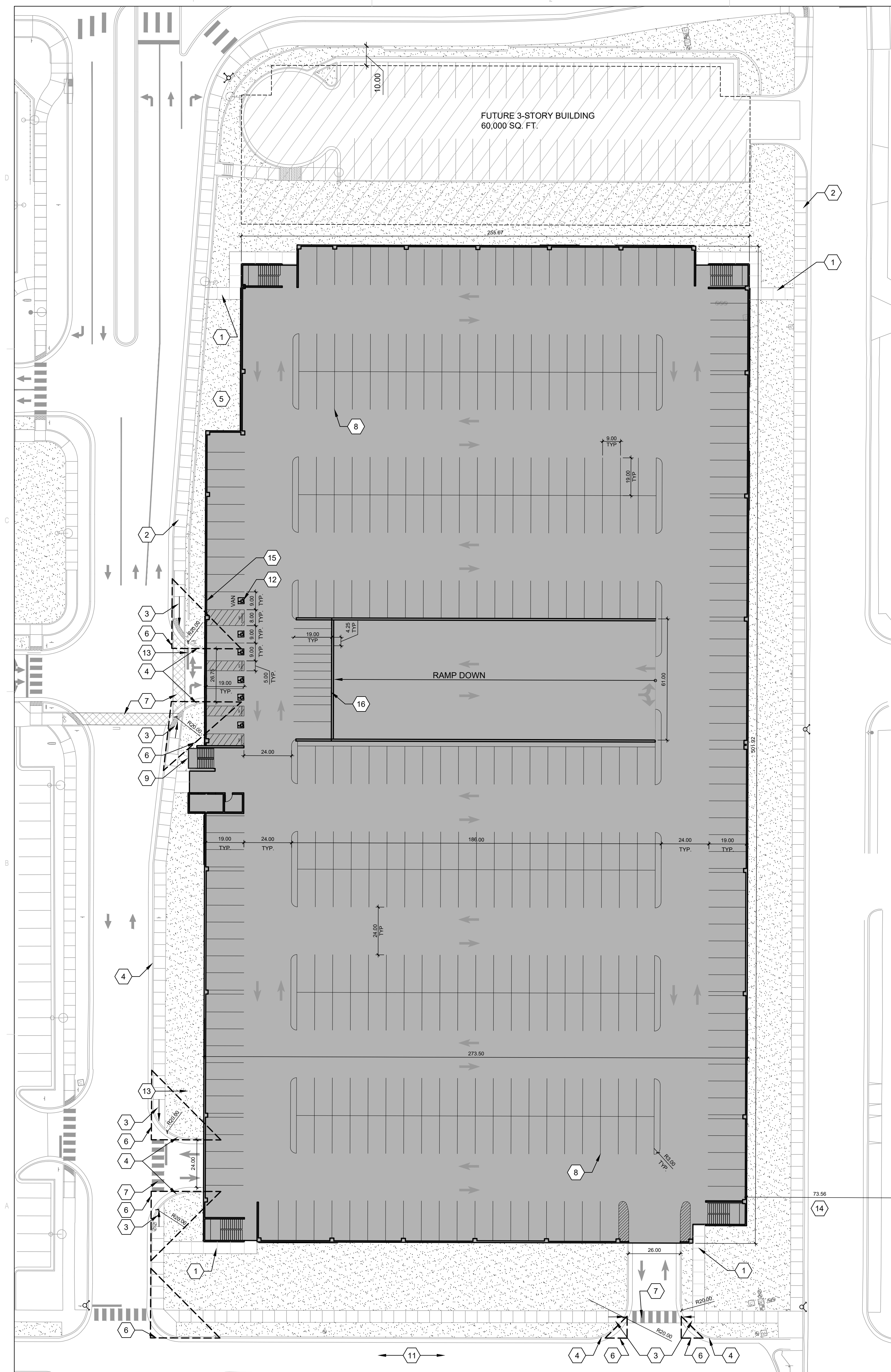
DRAWING NAME

SITE PLAN - AREA B

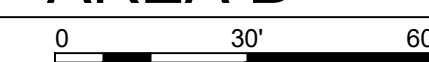
SHEET NO.

SDP1-3

OF

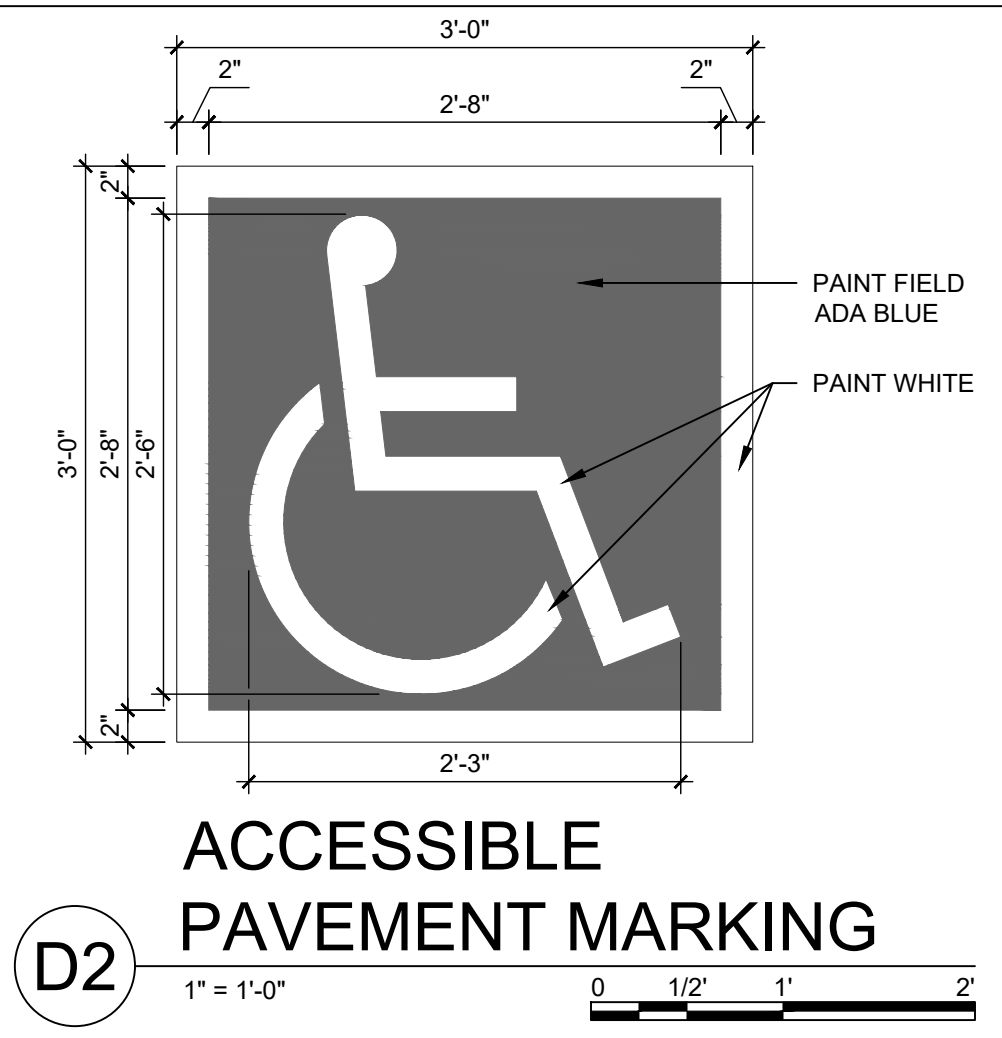


A4 SITE PLAN - AREA B
1" = 30'-0"

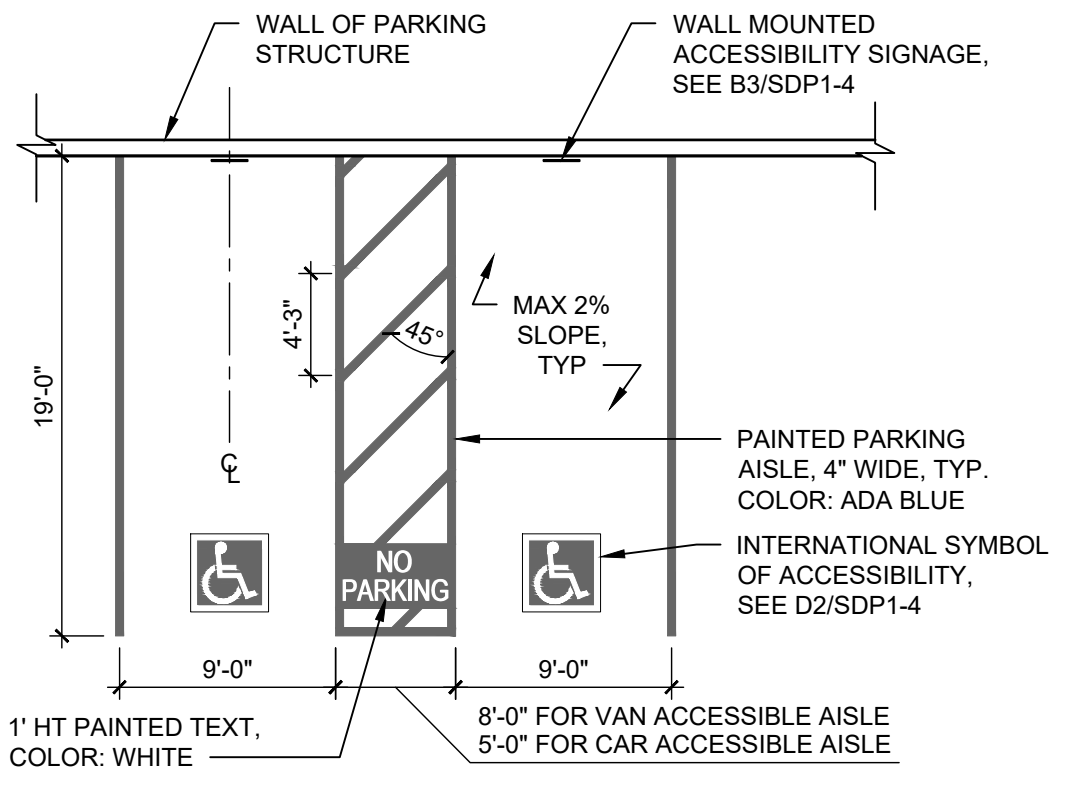


LEGEND

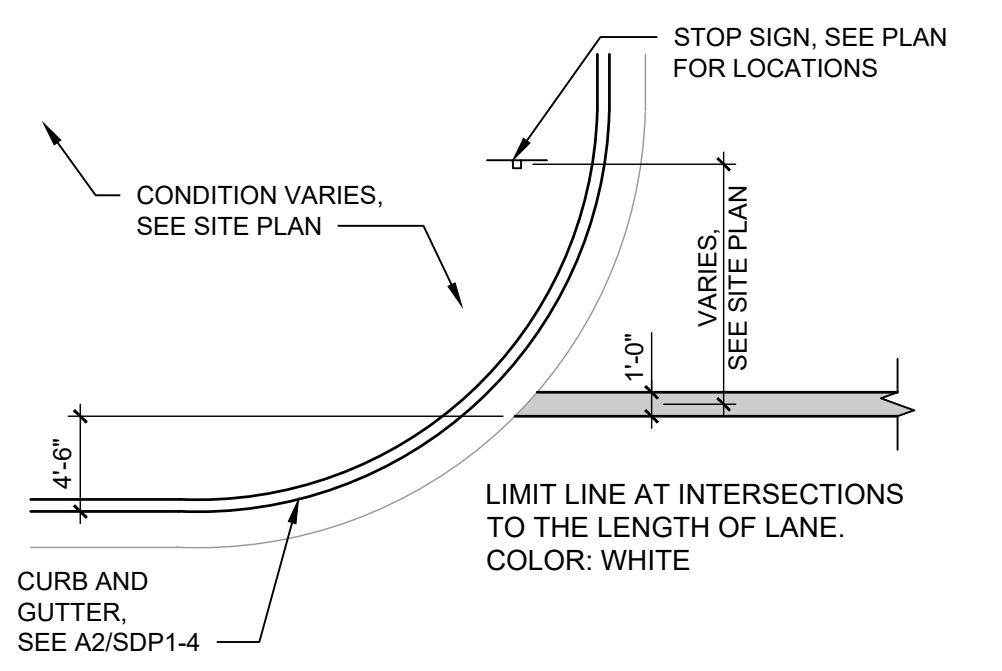
- PROPERTY LINE
- PREMISE BOUNDARY
- 6' WIDE CROSSWALK
- LANDSCAPE AREA
- POLE LIGHT
- SIDEWALK RAMP (ARROW POINTS DOWN)
- EXISTING FIRE HYDRANT



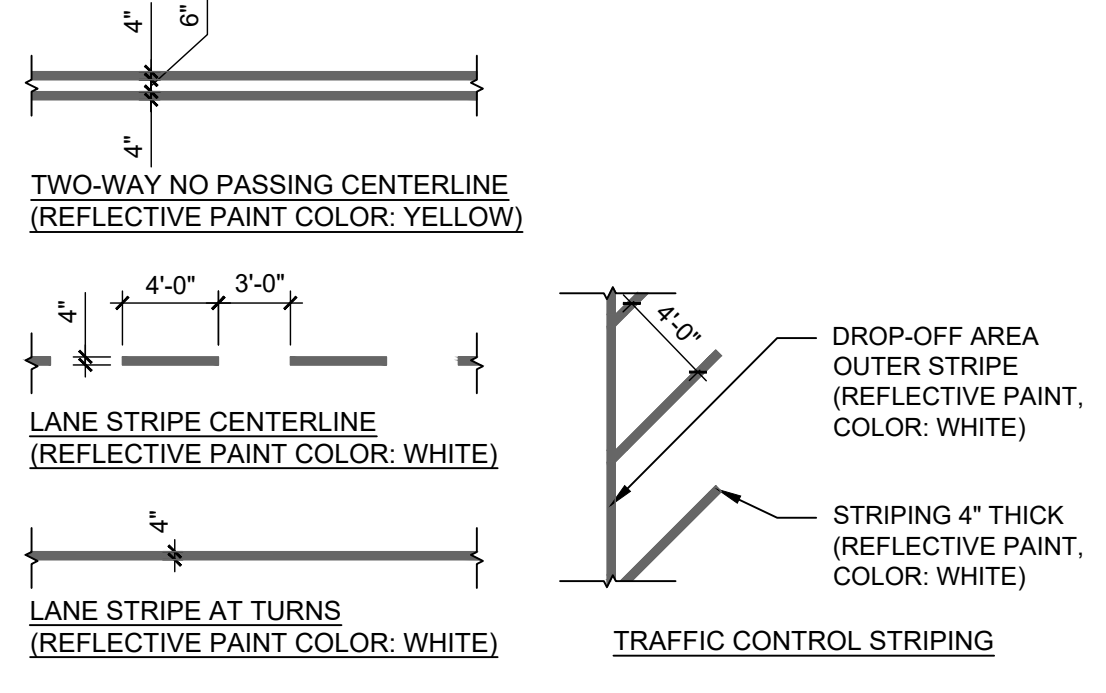
D2 ACCESSIBLE PAVEMENT MARKING
1" = 1'-0"
0 1/2' 1' 2'



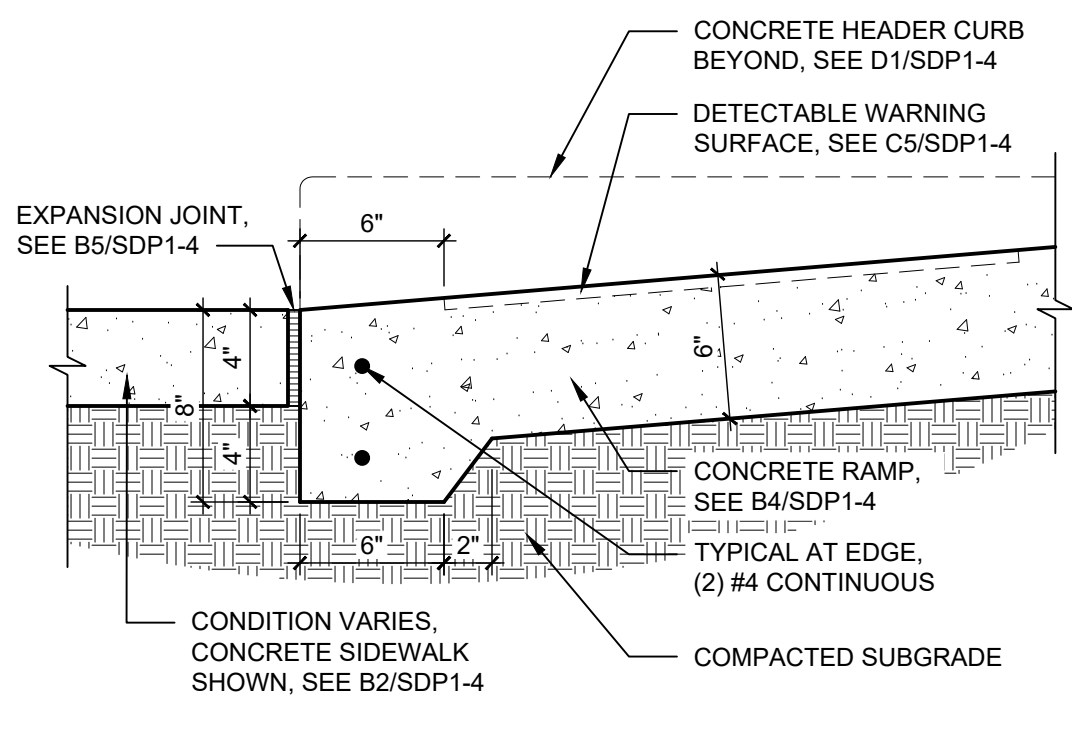
C1 ACCESSIBLE PARKING
1/8" = 1'-0"
0 4' 8' 16'



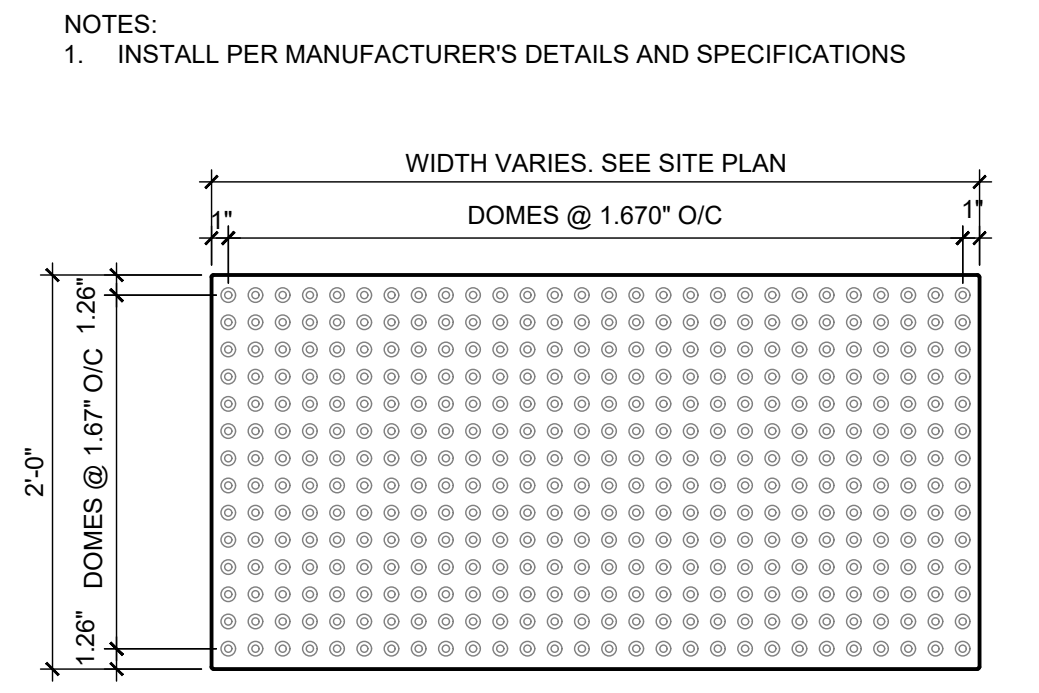
C2 STOP LINE PAVEMENT STRIPING
1/8" = 1'-0"
0 4' 8' 16'



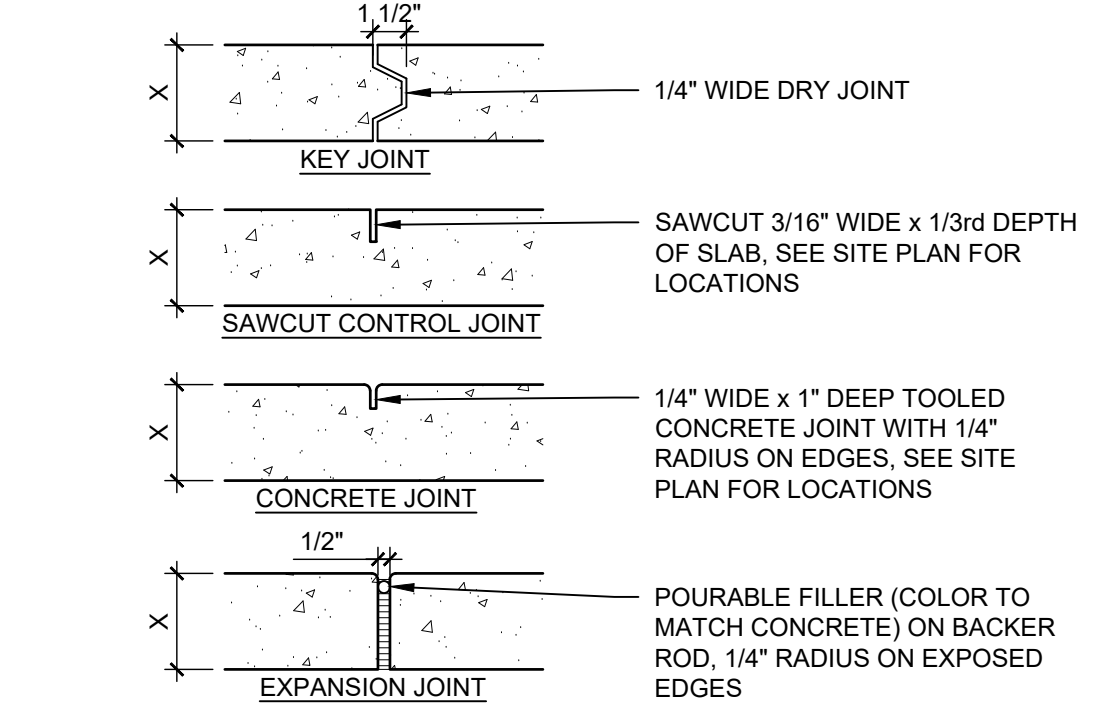
C3 ROADWAY STRIPING
1/8" = 1'-0"
0 4' 8' 16'



C4 RAMP TRANSITION
1 1/2" = 1'-0"
0 1/2' 1' 1 1/2'

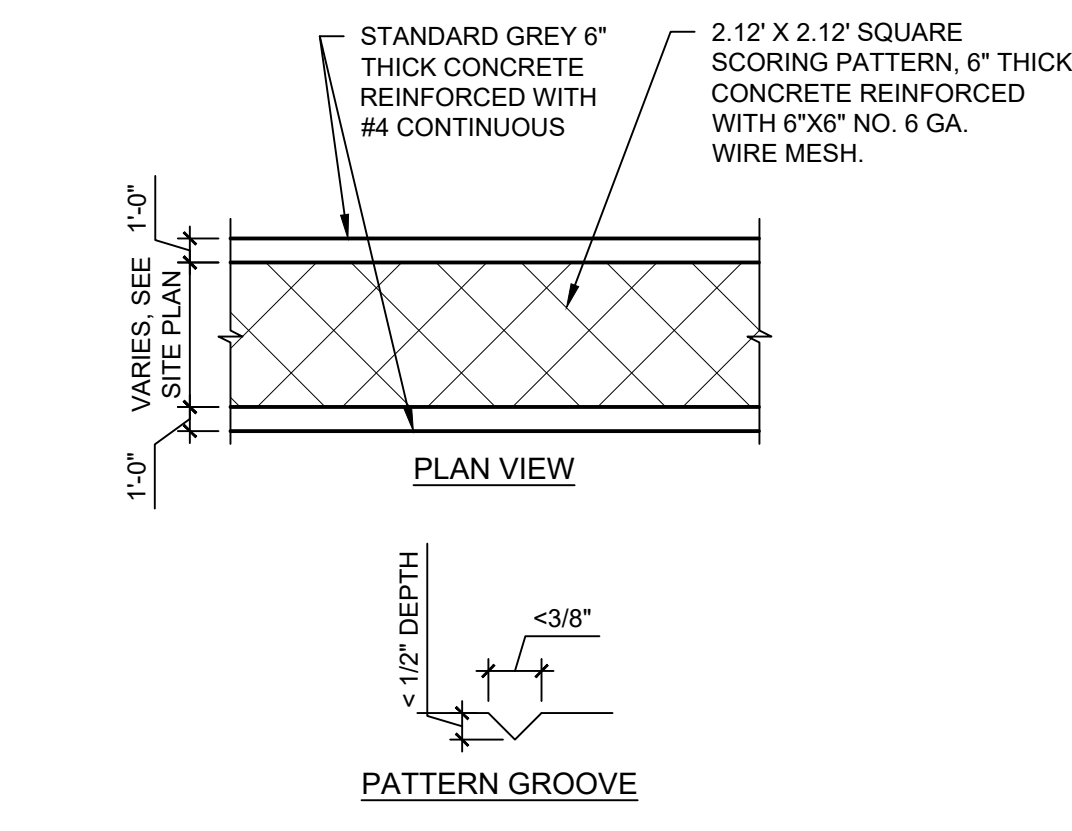


C5 DETECTABLE WARNING SURFACE
1" = 1'-0"
0 1/2' 1' 2'

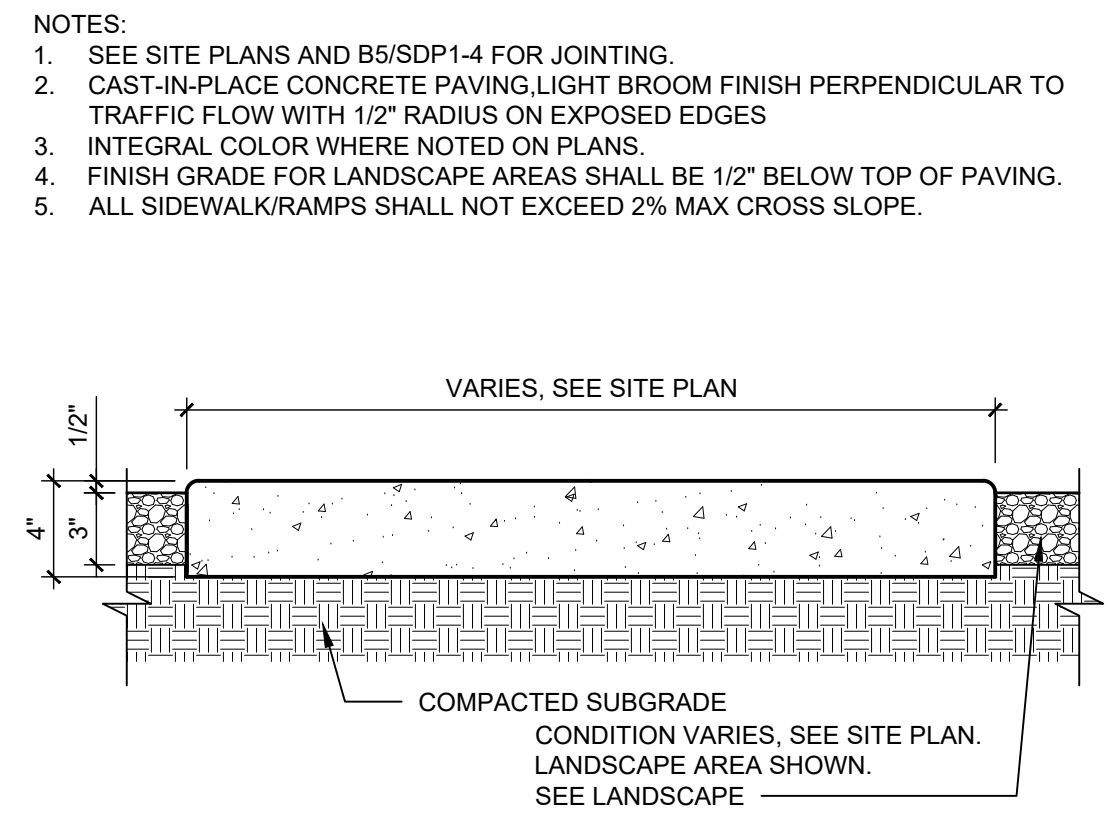


| CONTROL AND EXPANSION JOINT SPACING - UNLESS NOTED OTHERWISE ON PLANS | | | | |
|---|--|---------|----------------------|-------------|
| APPROX WIDTH OF CONCRETE | CURB & GUTTER, ROLL, HEADER, FLUSH CURBS | 5' WALK | 8' WALK & BLDG APRON | 6'-12' WALK |
| CONTROL JOINTS | 4' OC | 5' OC | 8' OC | 6' OC |
| EXPANSION JOINTS | 16' OC | 15' OC | 24' OC | 18' OC |

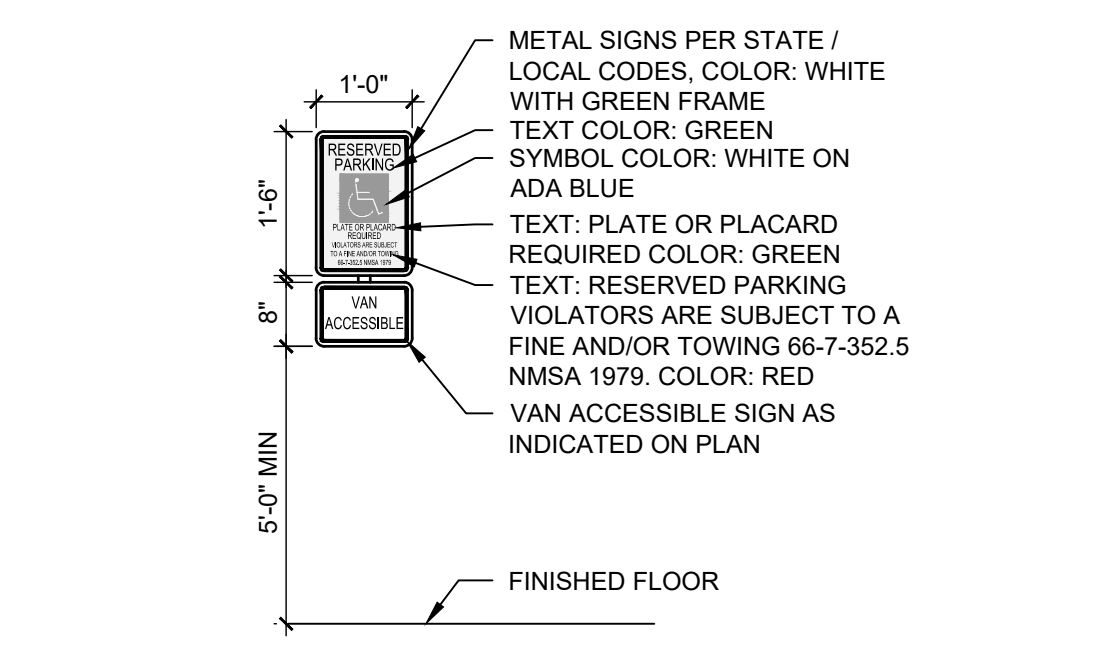
B5 CONCRETE JOINTS & JOINT SPACING
1 1/2" = 1'-0"
0 1/2' 1' 1 1/2'



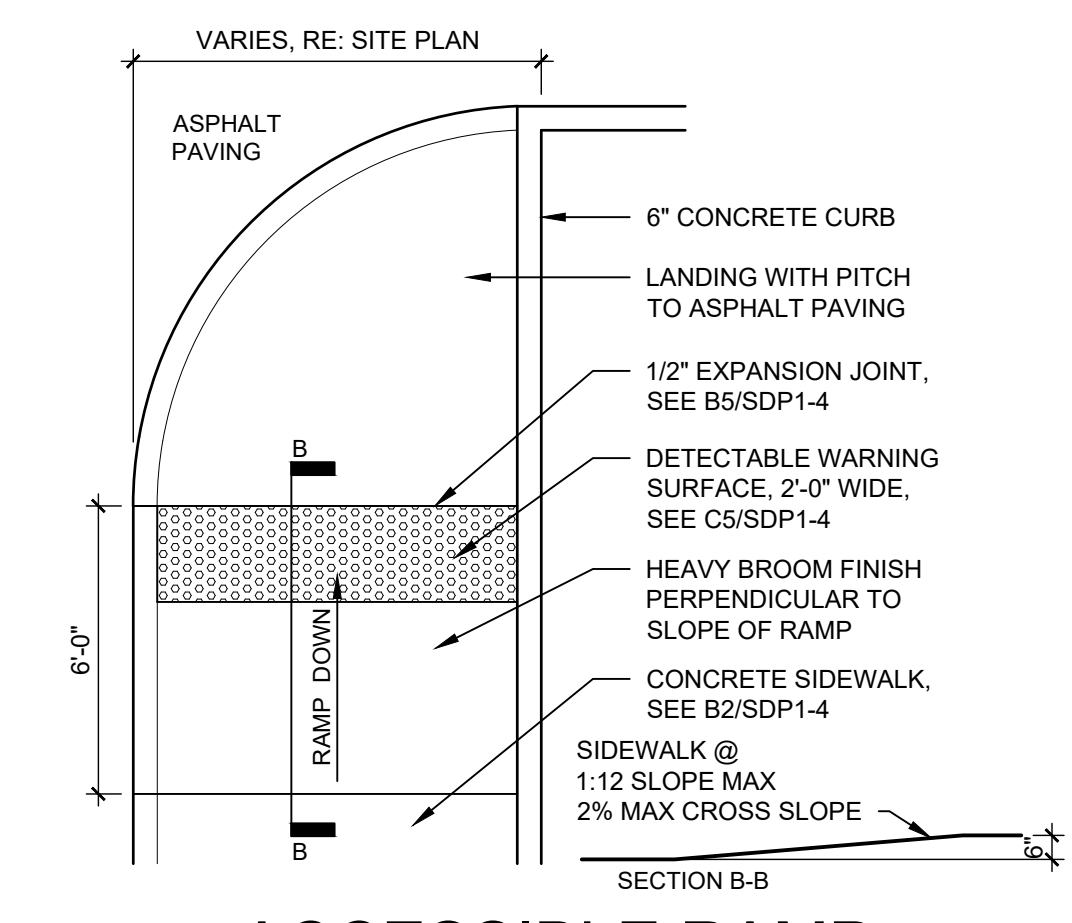
B1 CONCRETE CROSSWALK
1/8" = 1'-0"
0 4' 8' 16'



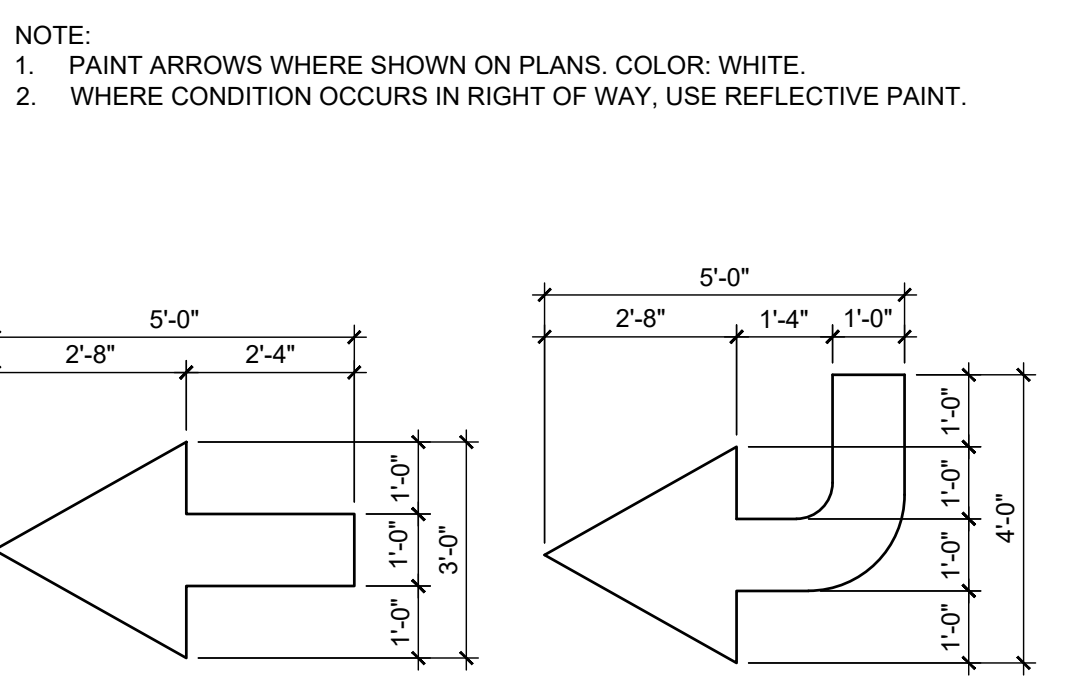
B2 CONCRETE SIDEWALK
1 1/2" = 1'-0"
0 1/2' 1' 1 1/2'



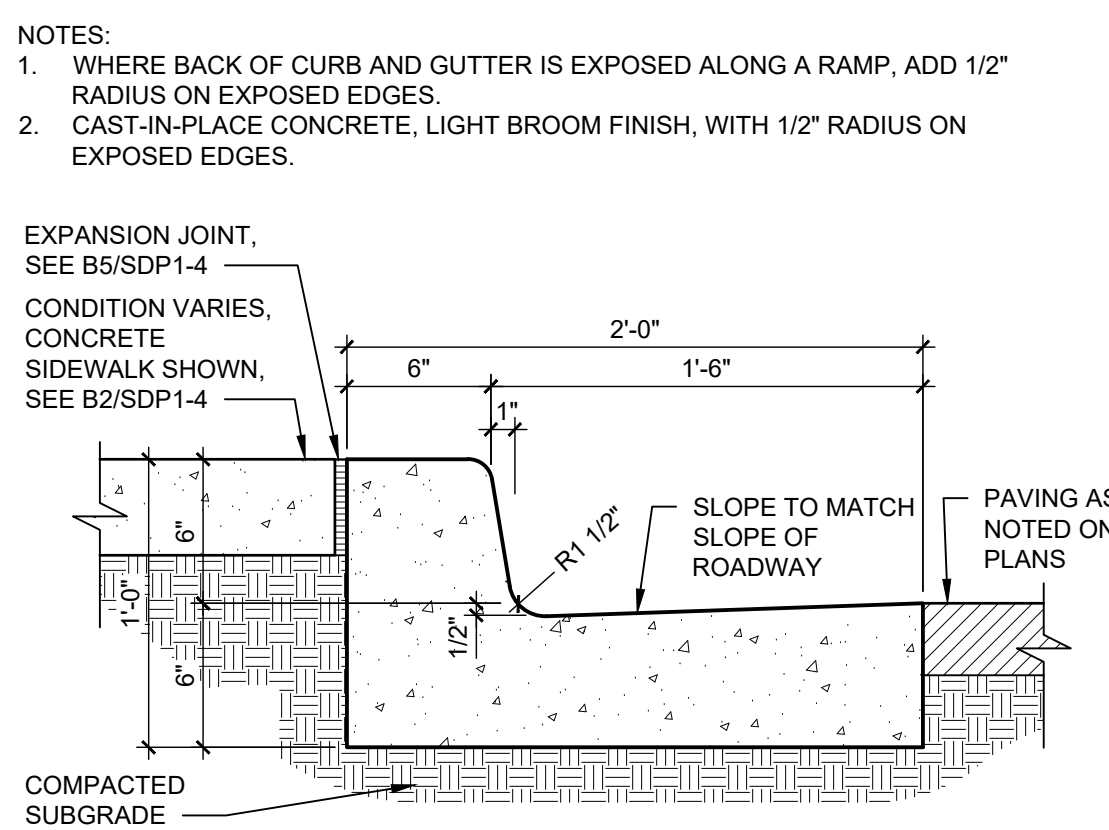
B3 H.C. SIGN
1/2" = 1'-0"
0 1' 2' 4'



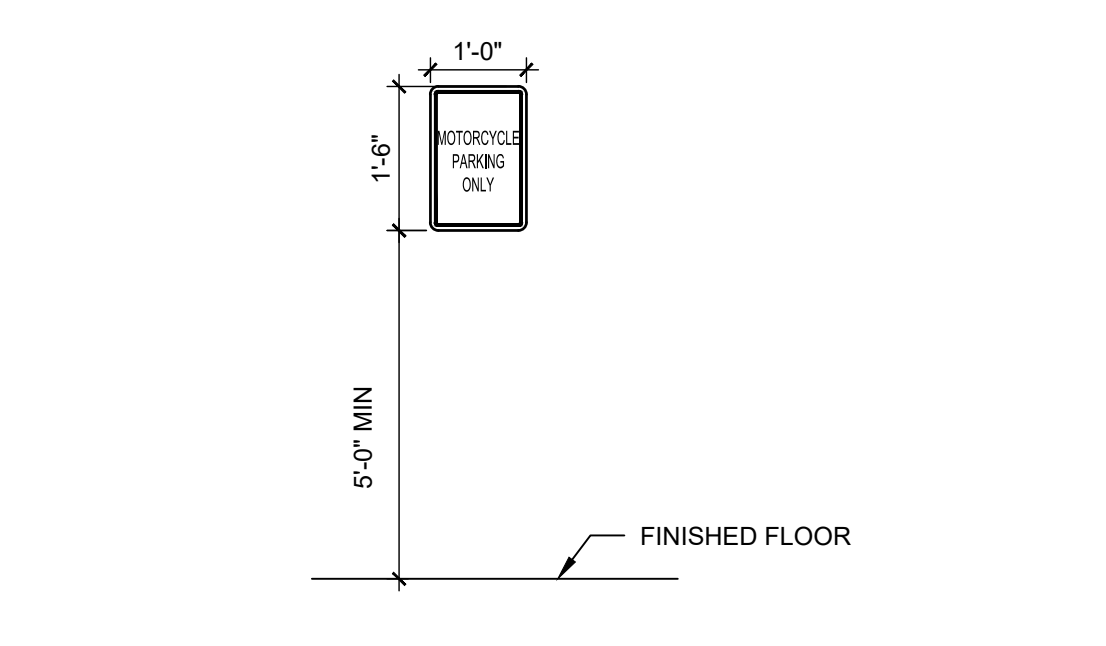
B4 ACCESSIBLE RAMP
1/4" = 1'-0"
0 2' 4' 8'



A1 DIRECTIONAL PAVEMENT ARROW
3/8" = 1'-0"
0 2' 4' 8'



A2 CONCRETE CURB & GUTTER
1 1/2" = 1'-0"
0 1/2' 1' 1 1/2'



A3 MOTORCYCLE SIGN
1/2" = 1'-0"
0 1' 2' 4'

NOTE:
1. PAINT ARROWS WHERE SHOWN ON PLANS, COLOR: WHITE.
2. WHERE CONDITION OCCURS IN RIGHT OF WAY, USE REFLECTIVE PAINT.

NOTES:
1. WHERE BACK OF CURB AND GUTTER IS EXPOSED ALONG A RAMP, ADD 1/2" RADIUS ON EXPOSED EDGES.
2. CAST-IN-PLACE CONCRETE, LIGHT BROOM FINISH, WITH 1/2" RADIUS ON EXPOSED EDGES.

EXPANSION JOINT, SEE B5/SDP1-4
CONDITION VARIES, CONCRETE SIDEWALK SHOWN, SEE B2/SDP1-4
SLOPE TO MATCH SLOPE OF ROADWAY
PAVING AS NOTED ON PLANS
COMPACTED SUBGRADE

NOTES:
1. INSTALL PER MANUFACTURER'S DETAILS AND SPECIFICATIONS

GENERAL NOTES

- A. RESPONSIBILITY FOR MAINTENANCE: THE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTENANCE OF THE LANDSCAPE DURING CONSTRUCTION AND DURING A 90 DAY-MAINTENANCE PERIOD FOLLOWING SUBSTANTIAL COMPLETION. THE OWNER WILL BE RESPONSIBLE FOR MAINTENANCE FOLLOWING THE 90-DAY MAINTENANCE PERIOD.
- B. STATEMENT OF COMPLIANCE WITH CITY OF ALBUQUERQUE: THE LANDSCAPE DESIGN WILL COMPLY WITH THE CITY OF ALBUQUERQUE'S GENERAL LANDSCAPING REGULATIONS AND WATER CONSERVATION ORDINANCES.
- C. TIMING OF LANDSCAPE INSTALLATION: INSTALLATION OF THE LANDSCAPING SHALL BE COMPLETE WITHIN 60 DAYS OF THE RELATED BUILDING'S OCCUPANCY.
- D. SURFACE TREATMENT: ALL LANDSCAPE AREAS SHALL BE COVERED WITH MULCH.
- E. LANDSCAPE FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3' AND 8' (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.
- F. MINIMUM PLANT SIZES ARE AS PER CITY OF ALBUQUERQUE STANDARDS: 2" CALIPER TREES, 6" HEIGHT CONIFERS, AND 1 GALLON SHRUBS.
- G. ALL AREAS DISTURBED DURING CONSTRUCTION, INCLUDING AREAS NOT WITHIN THE PROPERTY LINE, WILL BE STABILIZED.
- H. ROOF DRAINS: SURFACE DRAINAGE OFF DOWNSPOUTS SHALL BE DIRECTED AWAY FROM BUILDINGS INTO LANDSCAPE AREAS OR ENGINEERED DRAINAGE SYSTEM. REFER TO CIVIL.
- I. VEGETATIVE SCREENING SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS SHALL ALLOW 10' OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5' OF CLEARANCE ON THE REMAINING SIDES FOR SAFE OPERATION AND MAINTENANCE.
- J. CONTRACTOR IS TO VERIFY ALL EXISTING UTILITY LOCATIONS BEFORE EXCAVATION AND PLANTING.
- K. NEW PLANTINGS DO NOT INCLUDE HIGH WATER TURF.
- L. THE ABILITY TO PROVIDE STREET TREES IS LIMITED BY UTILITY EASEMENTS AND EXISTING UTILITIES.
- M. ORGANIC BARK MULCH IS PROVIDED AT EACH TREE FROM ROOT BALL EXTENDING OUT TO DRIPLINE PER CITY OF ALBUQUERQUE IDO 14-16-5-6(C)(5)(b)
- N. LANDSCAPE BEDS SHALL BE DEPRESSED BELOW ADJACENT SIDEWALK GRADE.

IRRIGATION NOTES

- 1. ALL PLANTINGS SHALL BE IRRIGATED BY AUTOMATED IRRIGATION SYSTEMS, WITH PROGRAMMABLE SETTINGS, AUTOMATED SMART CONTROLLER, AND MOISTURE SENSOR TO AVOID OVERWATERING.
- 2. IRRIGATION TO EXISTING PLANTINGS TO REMAIN SHALL REMAIN OPERATIONAL. THE IRRIGATION SYSTEMS SHALL NOT IRRIGATE IMPERVIOUS SURFACES, INCLUDING SIDEWALKS, DRIVEWAYS, STREETS AND PARKING OR LOADING AREAS.
- 3. IRRIGATION POINTS OF CONNECTION TO THE CITY WATER WILL BE LOCATED WITHIN PROPERTY LIMITS AND SHALL COMPLY WITH THE CITY OF ALBUQUERQUE REDUCED PRESSURE BACKFLOW PREVENTER STANDARDS AND SPECIFICATIONS.
- 4. IRRIGATION POINTS OF CONNECTION TO THE CITY WATER WILL BE LOCATED WITHIN PROPERTY LIMITS AND SHALL COMPLY WITH THE CITY OF ALBUQUERQUE REDUCED PRESSURE BACKFLOW PREVENTER STANDARDS AND SPECIFICATIONS.
- 5. RUN TIMES AND IRRIGATION ZONES SHALL BE BASED UPON PLANT SPECIES AND THEIR ESTABLISHMENT. RUN TIMES SHALL BE REGULARLY ADJUSTED ACCORDING TO PLANT MATURITY, SEASON, LOCATION AND PERFORMANCE.
- 6. WHERE POSSIBLE NEW IRRIGATION WILL BE CONNECTED TO AN EXISTING SYSTEM. THERE ARE MULTIPLE IRRIGATION SYSTEMS ACROSS THE CAMPUS.
- 7. IRRIGATION SYSTEM CONNECTIONS AND MAINLINES WILL BE LOCATED OUTSIDE OF FUTURE WORK ZONES.
- 8. PER CITY OF ALBUQUERQUE STANDARD IRRIGATION SPECIFICATIONS, THERE WILL BE (3) 0.25 GPM BUBBLERS PER TREE AND (1) 0.25 GPM BUBBLER PER SHRUB.

LEGEND

| SYMBOL | NOTES |
|---|--|
| | GRAVEL MULCH LANDSCAPE AREA |
| | ORGANIC MULCH LANDSCAPE AREA |
| | GRAVEL MULCH LANDSCAPE AREA IN R.O.W. (EXCLUDED FROM LANDSCAPE CALCULATIONS) |
| *GRAVEL MULCH WILL NOT EXCEED 50% OF PLANTING BED COVERAGE PER CITY OF ALBUQUERQUE IDO 14-16-5-6(C)(5)(c) | |
| | EXISTING TREE TO REMAIN |
| | TABLE AND SEATING |
| | PROPERTY LINE |
| | CAMPUS BOUNDARY |
| | PARKING LOT BOUNDARY |

LANDSCAPE CALCULATIONS

GROSS LOT AREA = 26.33 AC = 1,147,082 SF
 AREA OF LOT COVERED BY BUILDING FOOTPRINT = 536,715 SF
 NET LOT AREA = 610,367 SF

REQUIRED LANDSCAPE
 REQUIRED LANDSCAPE AREA = 61,037 SF (10% OF NET LOT AREA)
 EXISTING LANDSCAPE AREA = 156,093 SF
 LANDSCAPE BEING REMOVED = 47,341 SF
 LANDSCAPE BEING ADDED = 45,696 SF
 PROVIDED LANDSCAPE AREA EXISTING TO REMAIN + NEW = 154,360 SF (25% OF NET LOT AREA) (see hatch legend for exclusions from landscape areas)

REQUIRED STREET TREES
 REQUIRED STREET TREES = 1 TREE PER 25' LINEAR FEET OF STREET FRONTAGE

STREET TREES
 SYCAMORE STREET FRONTAGE = 567'
 TREES REQUIRED = 23
 TREES PROVIDED = 23
 SPRUCE STREET FRONTAGE = 569'
 TREES REQUIRED = 23
 TREES PROVIDED = 17 (9 ADDITIONAL TREES SHOWN NORTH OF STRUCTURE)
 SILVER AVE FRONTAGE (NORTH SIDE, OAK TO MULBERRY) = 300'
 TREES REQUIRED = 12
 TREES PROVIDED = 0, NEW UTILITY EASEMENT THROUGH THIS AREA
 SILVER AVE FRONTAGE (NORTH SIDE, SPRUCE TO SYCAMORE) = 300'
 TREES REQUIRED = 12
 TREES PROVIDED = 12
 SILVER AVE FRONTAGE (SOUTH SIDE, OAK TO MULBERRY) = 300'
 TREES REQUIRED = 12
 TREES PROVIDED = 0 (1 EXISTING TREE TO REMAIN)

REQUIRED VEGETATIVE COVERAGE
 TOTAL VEGETATIVE COVER REQUIRED = 34,206 SF (75% OF NEW LANDSCAPE AREA)
 TOTAL VEGETATIVE COVER PROVIDED = 42,502 SF (94% OF NEW LANDSCAPE AREA)

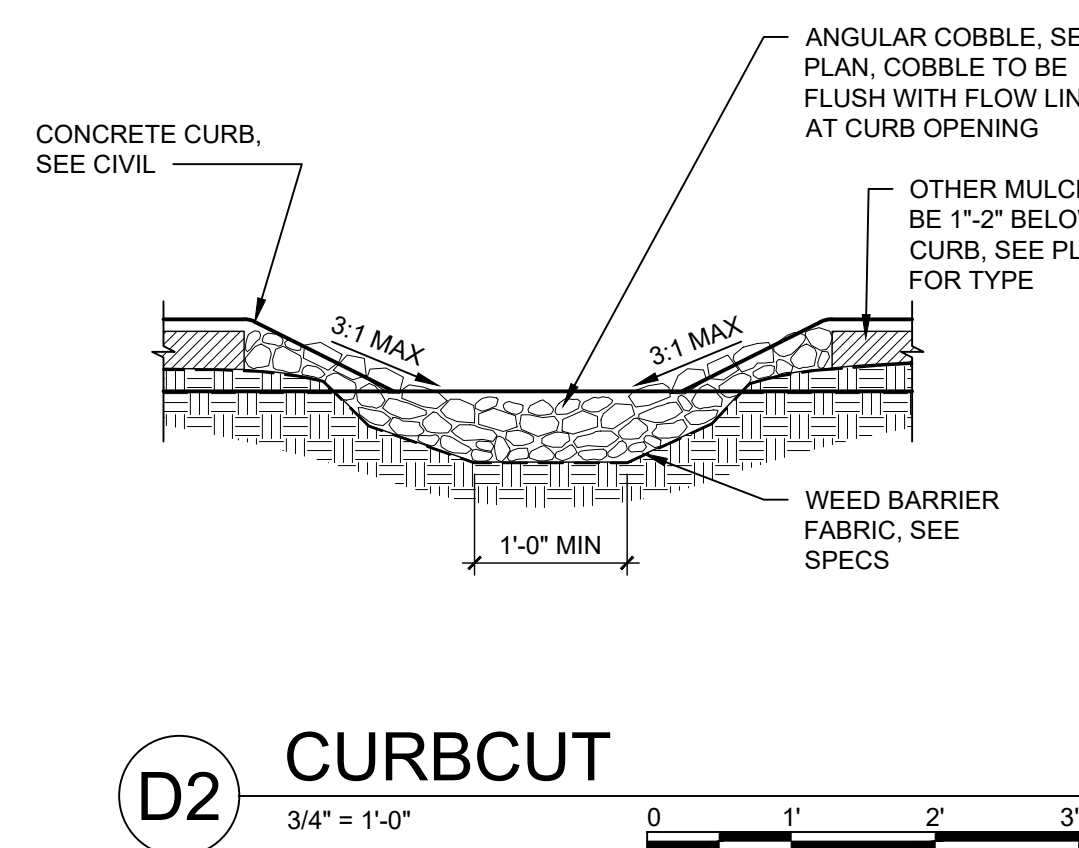
TOTAL GROUND-LEVEL PLANT COVER REQUIRED = 11,402 SF (25% OF LANDSCAPE AREA)
TOTAL GROUND-LEVEL PLANT COVER PROVIDED = 11,571 SF (25% OF LANDSCAPE AREA)

ROCK MULCH COVERAGE
 TOTAL ROCK MULCH COVER ALLOWED = 22,804 SF (50% OF LANDSCAPE AREA)
 TOTAL ROCK MULCH COVER PROVIDED = 22,448 SF (49% OF LANDSCAPE AREA)

| | |
|--|---|
| SURFACE PARKING LOT AREA #1 TOTAL AREA = 6,247 SF TOTAL # OF SPACES = 10 TREE REQUIRED: 1 TREES PROVIDED: 1 | SURFACE PARKING LOT AREA #2 TOTAL AREA = 20,411 SF TOTAL # OF SPACES = 33 TREE REQUIRED: 4 TREES PROVIDED: 5 |
|--|---|

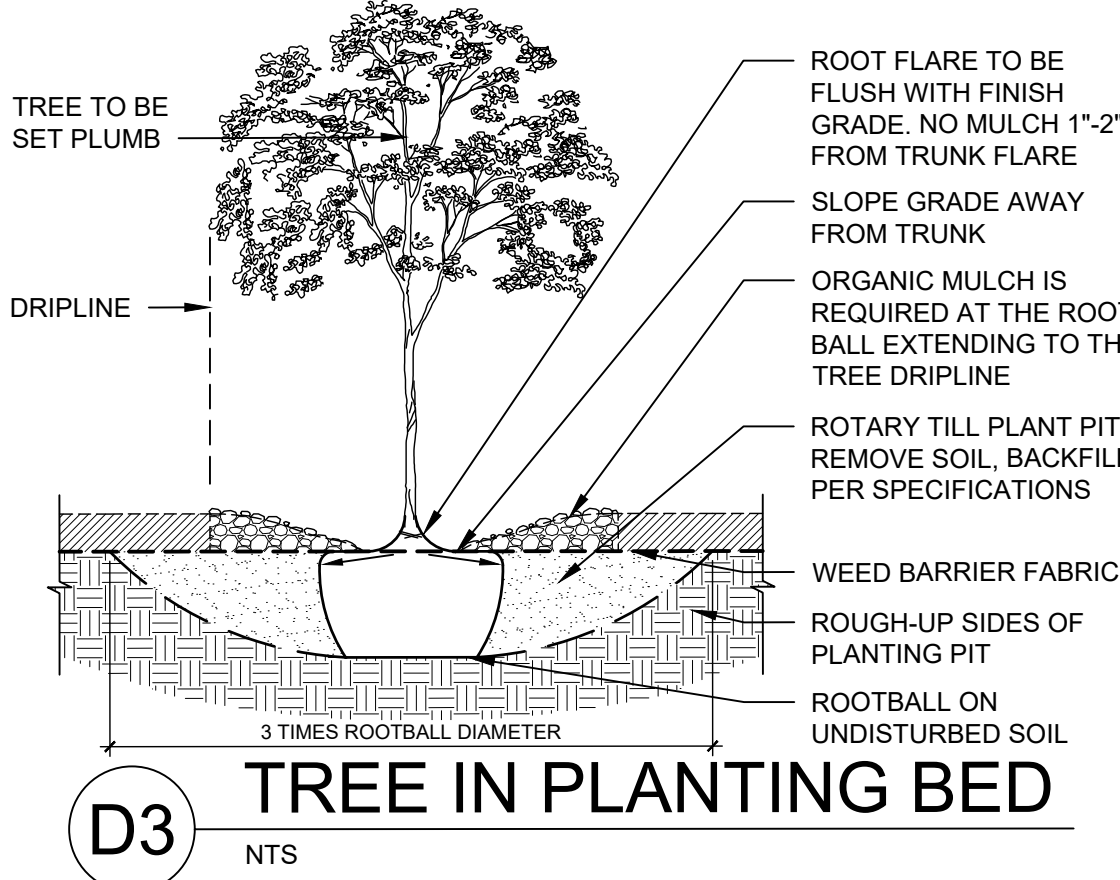
NOTES:

- 1. SEE PLANS FOR CURB CUT LOCATIONS.



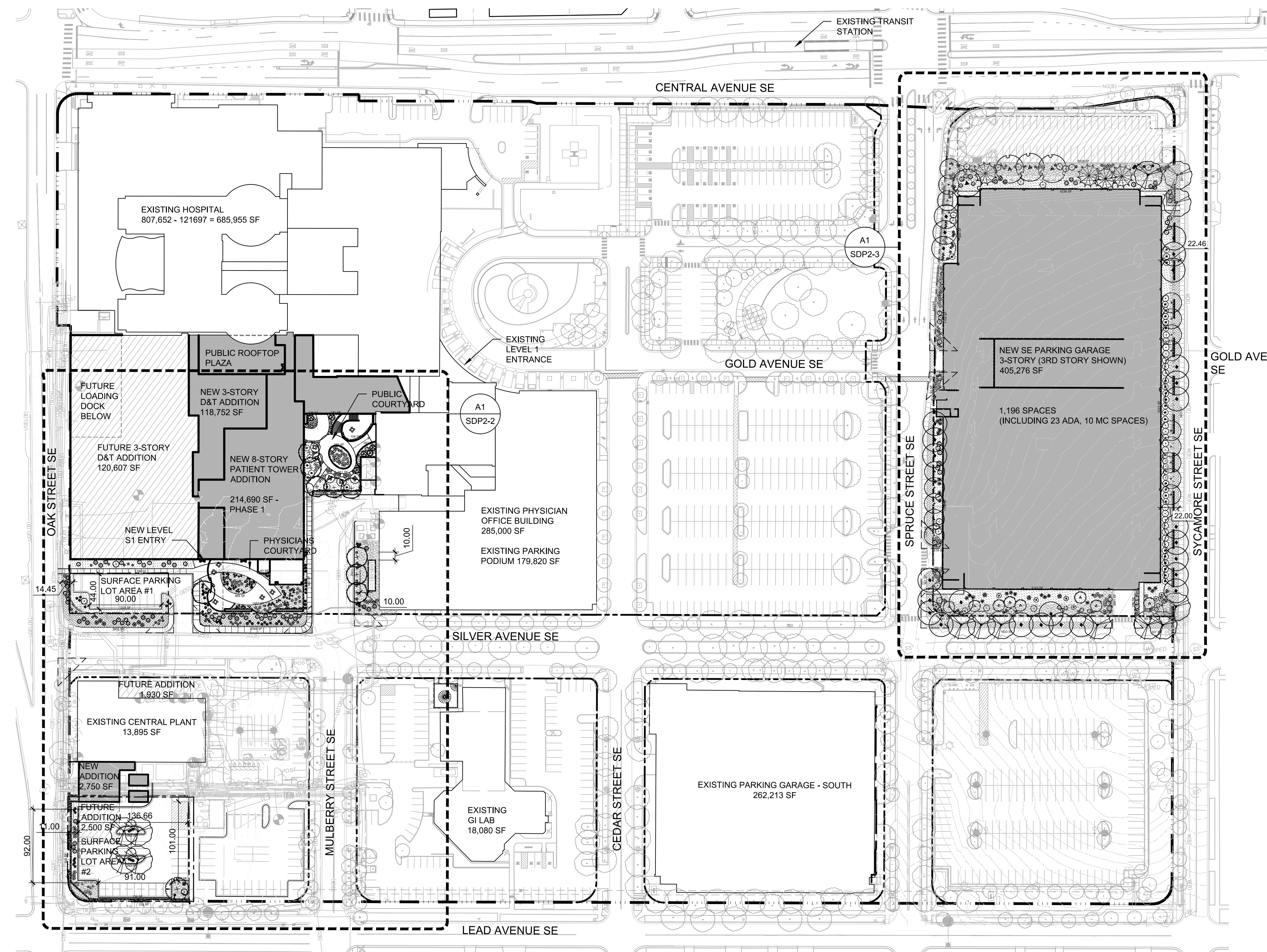
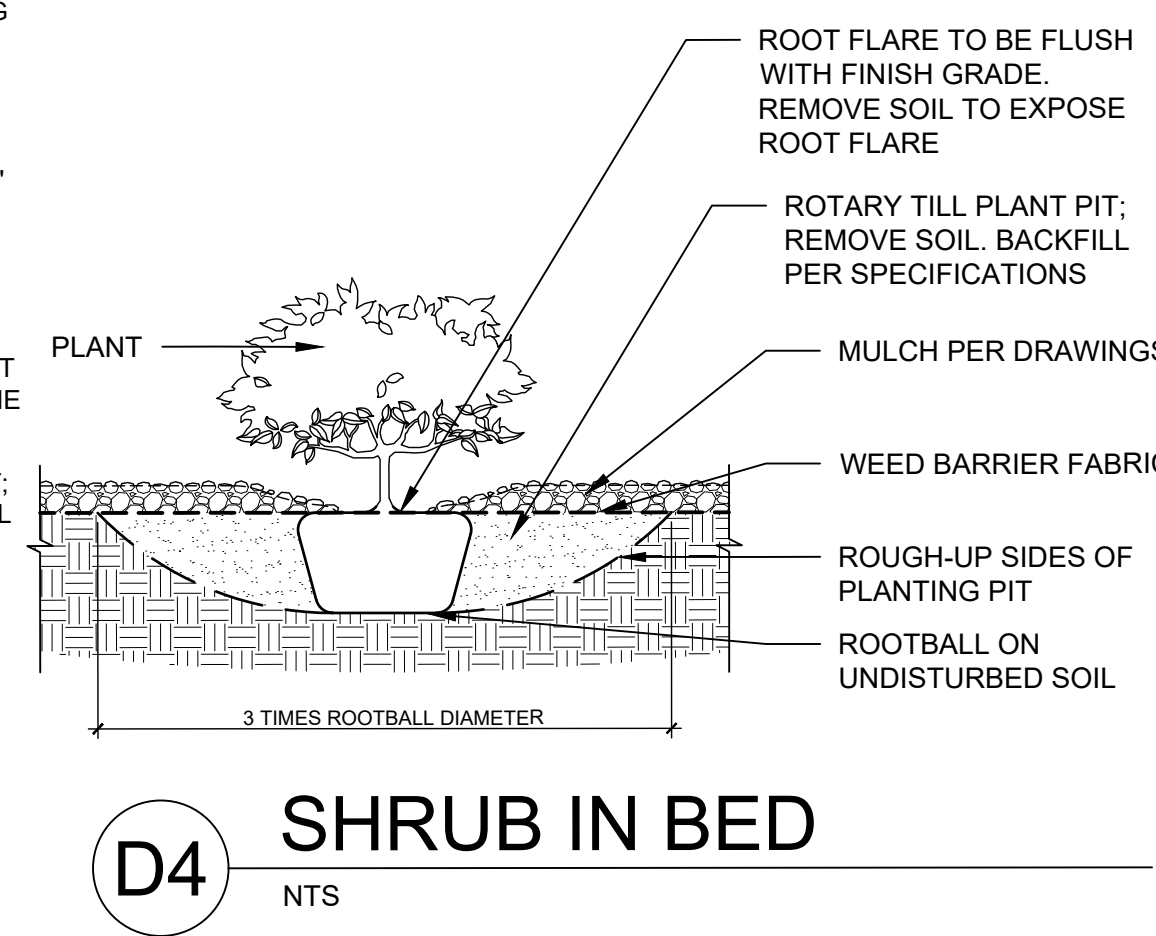
NOTE:

- 1. PRIOR TO BACKFILLING, ALL MATERIAL SUCH AS CONTAINERS, WIRE, BURLAP AND ROPE SHALL BE COMPLETELY REMOVED.
- 2. ORGANIC BARK MULCH IS REQUIRED AT EACH TREE FROM ROOT BALL EXTENDING OUT TO DRIPLINE PER COA IDO 14-16-5-6(C)(5)(b)



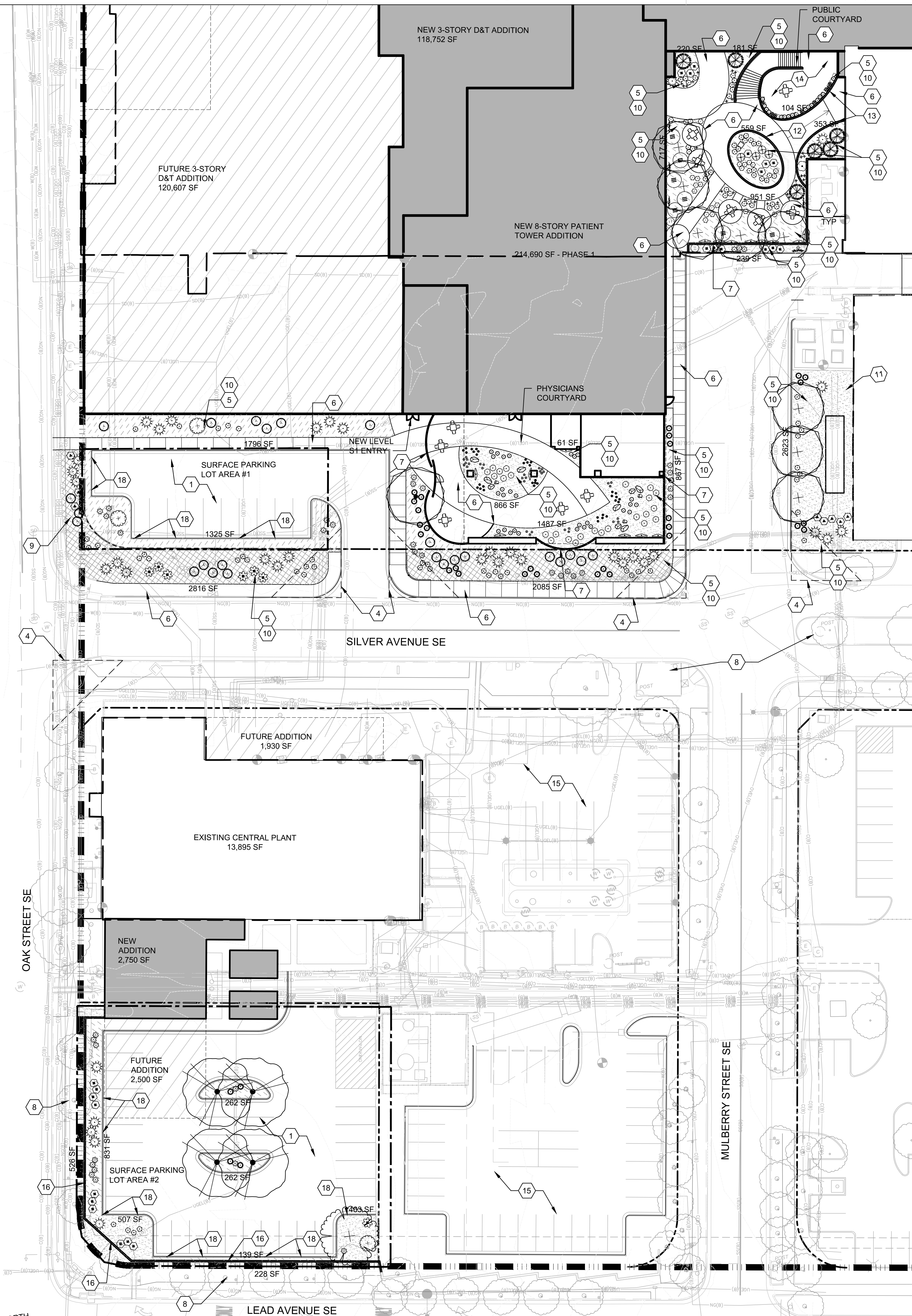
NOTES:

- 1. PRIOR TO BACKFILLING, ALL MATERIAL SUCH AS CONTAINERS, WIRE, BURLAP AND ROPE SHALL BE COMPLETELY REMOVED.



LANDSCAPE PLAN

A1



GENERAL NOTES

- A. FOR MAINTENANCE STATEMENT AND IRRIGATION SYSTEM INFORMATION, SEE SDP 2-1.
- B. MINIMUM PLANT SIZES ARE AS PER CITY OF ALBUQUERQUE STANDARDS: 2" CALIPER TREES, 6' HEIGHT CONIFERS, AND 1 GALLON SHRUBS.

SHEET KEYNOTES

- | | | |
|--|---|--|
| 1. SURFACE PARKING AREA | 9. NEW PLANTINGS FOR SCREENING / BUFFERING | 15. EXISTING SURFACE PARKING LOT TO REMAIN |
| 2. EXISTING EASEMENT | 10. NEW PLANTING FOR GENERAL LANDSCAPING | 16. SITE WALL FOR SCREENING |
| 3. NEW EASEMENT | 11. CLEARANCE AROUND GROUND MOUNTED UTILITY | 17. 6' TALL VEGETATIVE BUFFER PER IDO COA |
| 4. CLEAR SIGHT TRIANGLE | 12. SEAT WALL | 17.6' TALL VEGETATIVE BUFFER PER IDO COA |
| 5. PERVIOUS AREA | 13. 3' MAX LANDSCAPE RETAINING WALL | 18. CURB CUT, SEE D2/SDP2-1 |
| 6. IMPERVIOUS AREA | 14. BALCONY WITH SEATING ABOVE AND BELOW | |
| 7. 6'-8" TALL SCREEN WALL OR FENCE W/ GATE | | |
| 8. EXISTING PLANTINGS TO REMAIN | | |

PLANT LEGEND

| TREES | BOTANICAL NAME | COMMON NAME |
|------------|--------------------------------------|----------------------------|
| | JUNIPERUS SCOPULORUM 'MOONGLOW' | MOONGLOW JUNIPER |
| | ROBINIA PSEUDOACACIA 'PURPLE ROBE' | PURPLE ROBE LOCUST |
| | ULMUS X 'ACCOLADE' | ACCOLADE ELM |
| | ULMUS X 'FRONTIER' | FRONTIER ELM |
| | ZELKOVA SERRATA 'GREEN VASE' | GREEN VASE ZELKOVA |
| SHRUBS | BOTANICAL NAME | COMMON NAME |
| | BACCHARIS X 'STARN' | THOMPSON BROOM |
| | CARYOPTERIS X CLANDONENSIS | BLUE MIST SHRUB |
| | CHAMAEBATIARIA MILLEFOLIUM | FERNBUSH |
| | ELAEAGNUS PUNGENS | SILVERBERRY |
| | ERICAMERIA NAUSEOSA | CHAMISA |
| | JUNIPERUS SABINA 'BUFFALO' | BUFFALO JUNIPER |
| | MAHONIA REPENS | CREEPING MAHONIA |
| | ROSA BANKSIAE | YELLOW LADY BANKS ROSE |
| | ROSMARINUS OFFICINALIS 'TUSCAN BLUE' | TUSCAN BLUE ROSEMARY |
| | SALVIA GREGGII 'FURMANS RED' | FURMAN'S RED SALVIA |
| GRASSES | BOTANICAL NAME | COMMON NAME |
| | BOUTELOUA 'BLONDE AMBITION' | BLONDE AMBITION BLUE GRAMA |
| | CAREX APPALACHICA | APPALACHIAN SEDGE |
| | HELICTOTRICHON SEMPERVIRENS | BLUE AVENA GRASS |
| | SORGHASTRUM NUTANS | INDIAN GRASS |
| PERENNIALS | BOTANICAL NAME | COMMON NAME |
| | ANEMOPSIS CALIFORNICA | YERBA MANSA |
| | AQUILEGIA CHRYSANTHA | GOLDEN SPUR COLUMBINE |
| | ECHINACEA PURPUREA | PURPLE CONEFLOWER |
| | LAVANDULA X INTERMEDIA 'GROSSO' | GROSSO LAVENDER |
| SUCCULENTS | BOTANICAL NAME | COMMON NAME |
| | HESPERALOE PARVIFLORA | RED YUCCA |
| | NOLINA MICROCARPA | BEARGRASS |
| VINE | BOTANICAL NAME | COMMON NAME |
| | CAMPISIS RADICANS | TRUMPET VINE |
| | HEDERA HELIX | ENGLISH IVY |
| | PARTHENOISSUS TRICUSPIDATA | BOSTON IVY |
| | WISTERIA SINENSIS | WISTERIA |

LEGEND

| SYMBOL | NOTES |
|--------|--|
| | 3/4"Ø ROCK MULCH AMARETTO BROWN 3" DEPTH OVER FILTER FABRIC IN R.O.W. NOT INCLUDED IN LANDSCAPE CALCULATIONS |
| | 3/4"Ø ROCK MULCH AMARETTO BROWN 3" DEPTH OVER FILTER FABRIC |
| | SHREDDED SCREENED BARK MULCH 3" DEPTH OVER FILTER FABRIC |
| | EXISTING TREE TO REMAIN |
| | TABLE AND SEATING |
| | PROPERTY LINE |
| | CAMPUS BOUNDARY |
| | PARKING LOT BOUNDARY |



7601 JEFFERSON NE, SUITE 100
ALBUQUERQUE, NM 87109
505.761.9700 / DPSDESIGN.ORG
ARCHITECT

ENGINEER

PROJECT

PRESBYTERIAN HOSPITAL
SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
1100 Central Ave SE
Albuquerque, NM 87106

REVISIONS

| | |
|--|--|
| | |
| | |
| | |
| | |

| | |
|--------------|-------------|
| DRAWN BY | TC |
| REVIEWED BY | MB |
| DATE | 10/01/2019 |
| PROJECT NO. | 19-0010.001 |
| DRAWING NAME | |

LANDSCAPE PLAN
ENLARGMENT

SHEET NO.
SDP2-2
OF

**VEGETATIVE SCREEN
CALCULATION ON SYCAMORE**

LENGTH OF 6' TALL VEGETATIVE SCREEN: 360'
VEGETATIVE SCREEN DESIGNED SO AT MATURITY NO MORE
THAN 90' OF THE SCREEN IS OPEN.

CALCULATION:
360' x 0.75 = 270' SOLID
360' - 270' = 90' OPEN

GENERAL NOTES

- A. FOR MAINTENANCE STATEMENT AND IRRIGATION SYSTEM INFORMATION, SEE SDP 2-1.
- B. MINIMUM PLANT SIZES ARE AS PER CITY OF ALBUQUERQUE STANDARDS: 2" CALIPER TREES, 6' HEIGHT CONIFERS, AND 1 GALLON SHRUBS.

SHEET KEYNOTES

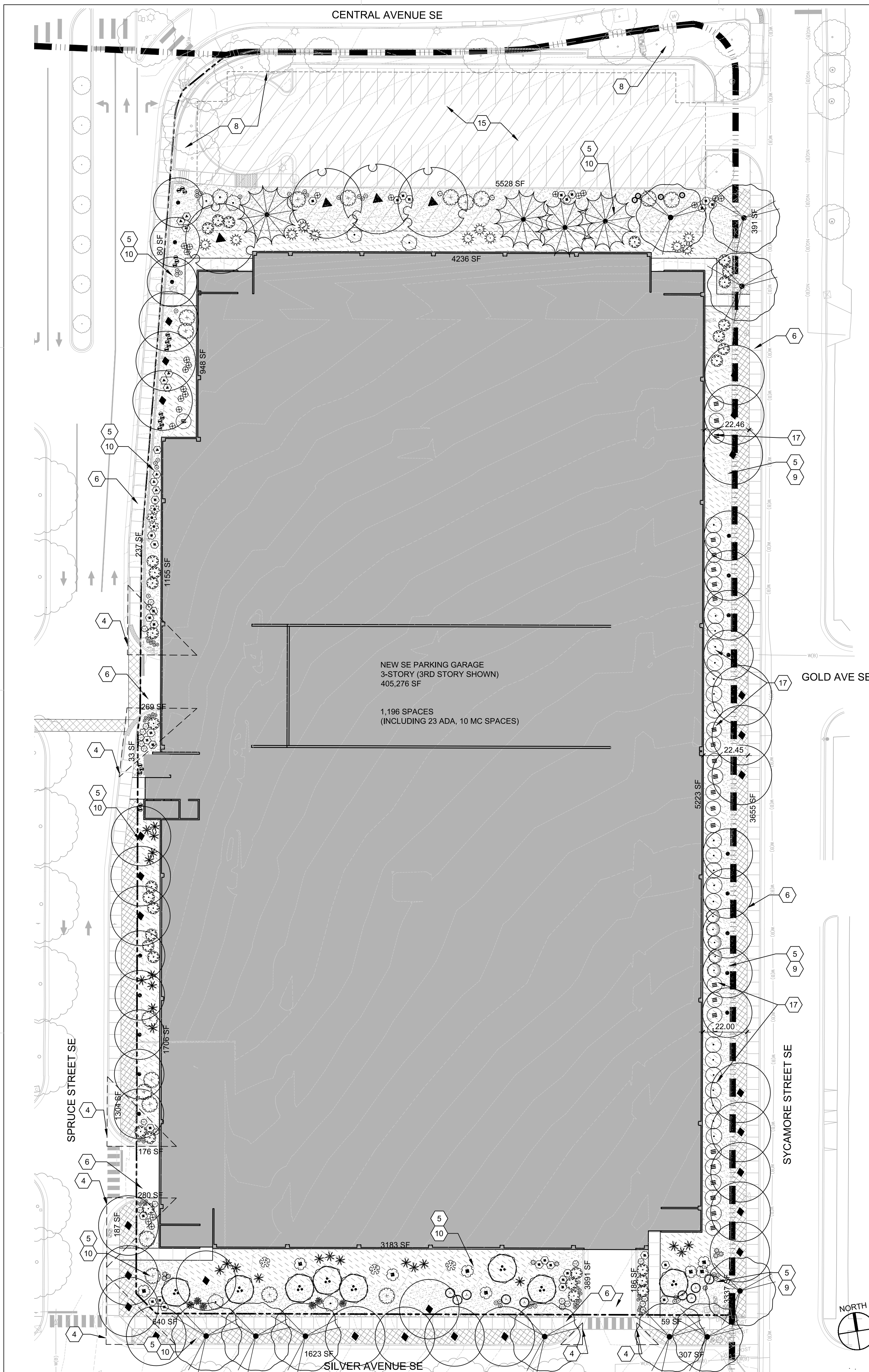
- 1. SURFACE PARKING AREA
- 2. EXISTING EASEMENT
- 3. NEW EASEMENT
- 4. CLEAR SIGHT TRIANGLE
- 5. PERVIOUS AREA
- 6. IMPERVIOUS AREA
- 7. 6'-8" TALL SCREEN WALL OR FENCE W/ GATE
- 8. EXISTING PLANTINGS TO REMAIN
- 9. NEW PLANTINGS FOR SCREENING / BUFFERING
- 10. NEW PLANTING FOR GENERAL LANDSCAPING
- 11. CLEARANCE AROUND GROUND MOUNTED UTILITY
- 12. SEAT WALL
- 13. 3' MAX LANDSCAPE RETAINING WALL
- 14. BALCONY WITH SEATING ABOVE AND BELOW
- 15. EXISTING SURFACE PARKING LOT TO REMAIN
- 16. SITE WALL FOR SCREENING
- 17. 6' TALL VEGETATIVE BUFFER PER IDO COA IDO 14-16-5-6(E)2(b), BUFFER DESIGNED TO BE 75% OPAQUE AT MATURITY
- 18. CURB CUT, SEE D2/SDP2-1

PLANT LEGEND

| TREES | BOTANICAL NAME | COMMON NAME |
|------------|--|-----------------------------|
| | FORESTIERA NEOMEXICANA | NEW MEXICO PRIVET |
| | PINUS NIGRA | AUSTRIAN BLACK PINE |
| | PISTACIA CHINENSIS | CHINESE PISTACHE |
| | QUERCUS BUCKLEYI | BUCKLEY OAK |
| | QUERCUS MUEHLENBERGII | CHINKAPIN OAK |
| | ULMUS X 'ACCOLADE' | ACCOLADE ELM |
| SHRUBS | BOTANICAL NAME | COMMON NAME |
| | BACCHARIS X 'STARN' | THOMPSON BROOM |
| | BUDDLEJA DAVIDII 'BLACK KNIGHT' | BLACK KNIGHT BUTTERFLY BUSH |
| | CALLIRHOE INVOLUCRATA | PURPLE POPPYMALLOW |
| | CHAMAEBATIARIA MILLEFOLIUM | FERNBUSH |
| | COTONEASTER PARNEYI | COTONEASTER |
| | ELAEAGNUS PUNGENS | SILVERBERRY |
| | ERICAMERIA NAUSEOSA | CHAMISA |
| | JUNIPERUS SABINA 'BUFFALO' *ALL JUNIPER SPECIES TO BE FEMALE ONLY | BUFFALO JUNIPER |
| | POTENTILLA FRUTICOSA 'ABBOTSWOOD' | ABBOTSWOOD POTENTILLA |
| | RHUS AROMATICA 'GRO-LOW' | GRO-LOW SUMAC |
| | ROSA MEIDILAND | WHITE MEIDILAND ROSE |
| | ROSMARINUS OFFICINALIS 'TUSCAN BLUE' | TUSCAN BLUE ROSEMARY |
| | SALVIA GREGGII 'FURMANS RED' | FURMAN'S RED SALVIA |
| GRASSES | BOTANICAL NAME | COMMON NAME |
| | BOUTELOUA 'BLONDE AMBITION' | BLONDE AMBITION BLUE GRAMA |
| | CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' | KARL FOERSTER GRASS |
| | FESTUCA IDAHOENSIS 'SISKIYOU BLUE' | SISKIYOU BLUE FESCUE |
| SUCCULENTS | BOTANICAL NAME | COMMON NAME |
| | AGAVE HAVARDIANA | HAVARD'S CENTURY PLANT |
| | HESPERALOE PARVIFLORA | RED YUCCA |
| | NOLINA MICROCARPA | BEARGRASS |
| | OPUNTIA SANTA-RITA | SANTA RITA PRICKLYPEAR |
| | YUCCA SCHOTTII | MOUNTAIN YUCCA |
| | YUCCA BACCATA | BANANA YUCCA |

LEGEND

| SYMBOL | NOTES | SYMBOL | NOTES |
|--------|---|--------|-------------------------|
| | 3/4" ROCK MULCH AMARETTO BROWN 3" DEPTH OVER FILTER FABRIC IN R.O.W. NOT INCLUDED IN LANDSCAPE CALCULATIONS | | EXISTING TREE TO REMAIN |
| | 3/4" ROCK MULCH AMARETTO BROWN 3" DEPTH OVER FILTER FABRIC | | TABLE AND SEATING |
| | SHREDDED SCREENED BARK MULCH 3" DEPTH OVER FILTER FABRIC | | PROPERTY LINE |
| | | | CAMPUS BOUNDARY |
| | | | PARKING LOT BOUNDARY |



LANDSCAPE PLAN

1" = 30'-0"

**DEKKER
PERICH
SABATINI**

7601 JEFFERSON NE, SUITE 100
ALBUQUERQUE, NM 87109
505.761.9700 / DPSDESIGN.ORG

SEAL

NOT FOR CONSTRUCTION
PROJECT

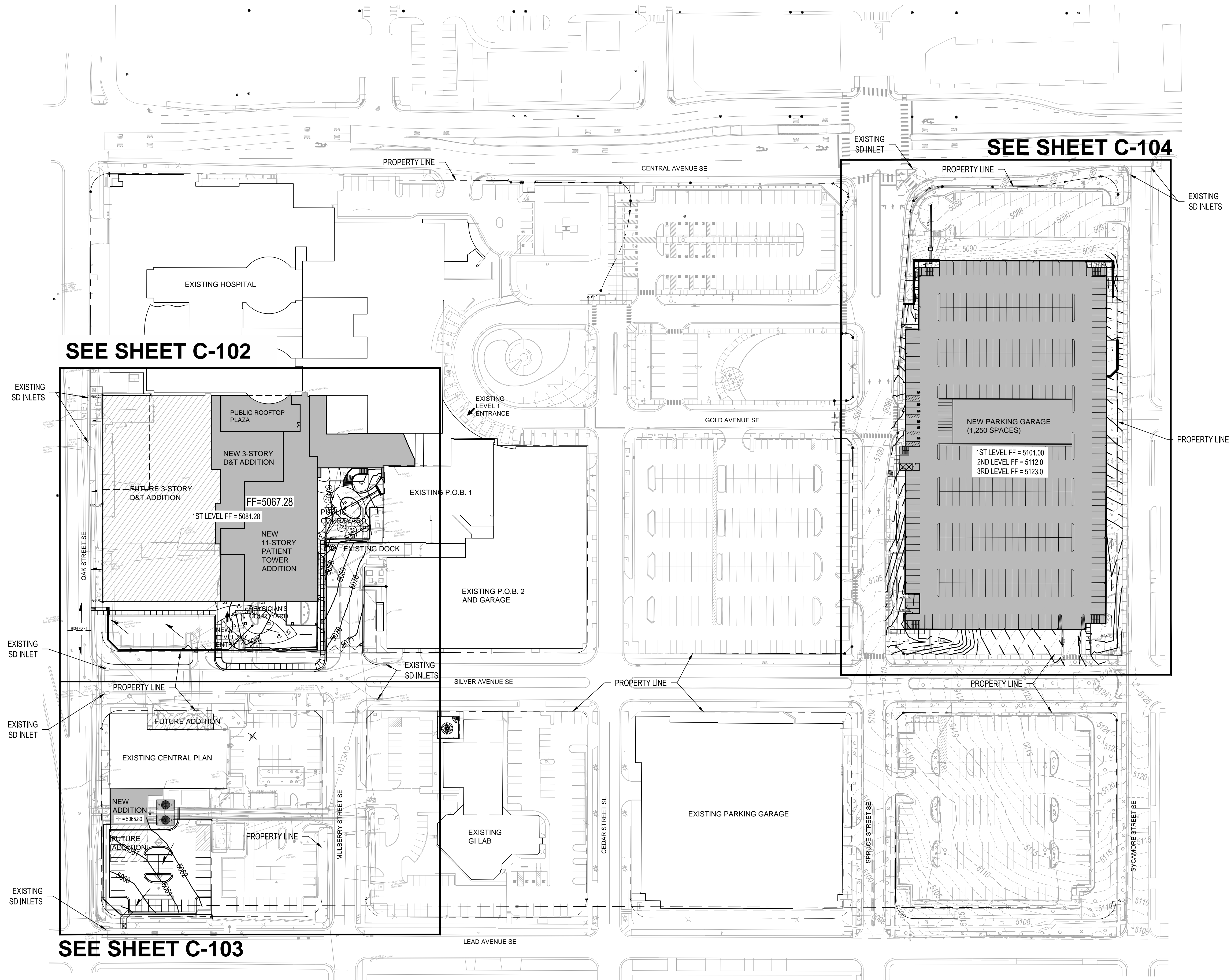
PRESBYTERIAN HOSPITAL
SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
1100 Central Ave SE
Albuquerque, NM 87106

REVISIONS
△
△
△
△

DRAWN BY BO
REVIEWED BY GSB
DATE 10/29/2019
PROJECT NO. 19-0010.001
DRAWING NAME

CONCEPTUAL
OVERALL
GRADING AND
DRAINAGE PLAN

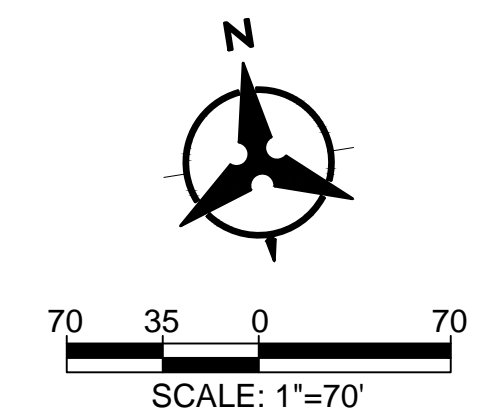
SHEET NO.
C-101
OF



SEE SHEET C-102

SEE SHEET C-104

SEE SHEET C-103



GENERAL NOTES

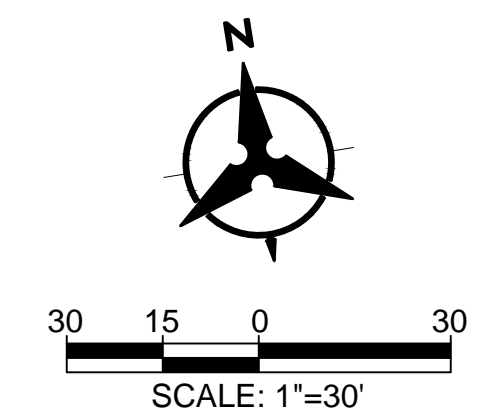
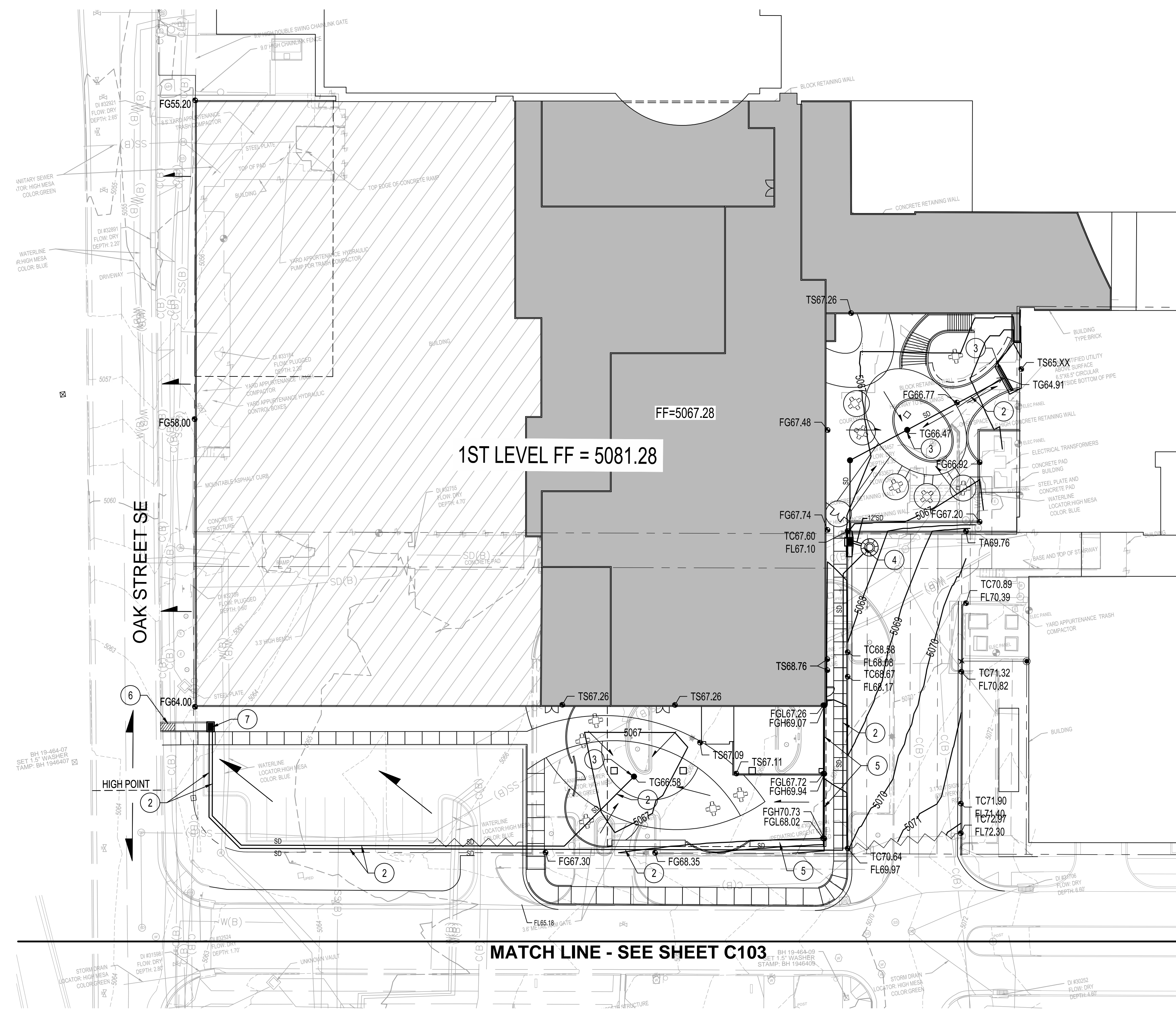
- 1. CURB CUTS SHOWN ON THE PLAN HAVE BEEN LOCATED TO DIRECT SITE RUNOFF TO LANDSCAPE WATER HARVESTING AREAS. THE LOCATIONS WILL BE REFINED AS THE DESIGN DEVELOPS.

KEYED NOTES

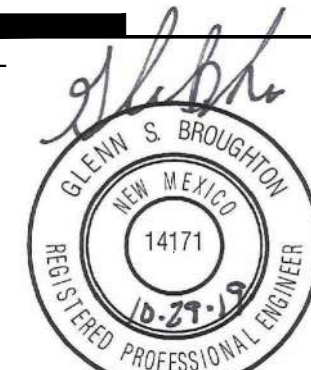
- 1. CURB CUT. 2. STORM DRAIN. 3. AREA DRAIN. 4. STORM DRAIN LIFT STATION. 5. RETAINING WALL. 6. 3 - 24" WIDE SIDEWALK CULVERTS & CONCRETE RIBBON CHANNEL. 7. PUMP DISCHARGE / OVERFLOW INLET.

GRADING LEGEND

- 2.0% DIRECTION OF FLOW 23.00 PROPOSED SPOT ELEVATION 5100 PROPOSED INDEX CONTOUR 5101 PROPOSED INTERMEDIATE CONTOUR WATER BLOCK



SEAL



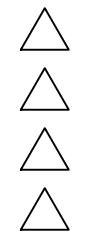
NOT FOR CONSTRUCTION

PROJECT

PRESBYTERIAN HOSPITAL
SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

1100 Central Ave SE
Albuquerque, NM 87106

REVISIONS



| | |
|--------------|-------------|
| DRAWN BY | BO |
| REVIEWED BY | GSB |
| DATE | 10/29/2019 |
| PROJECT NO. | 19-0010.001 |
| DRAWING NAME | |

**CONCEPTUAL
GRADING AND
DRAINAGE PLAN
AREA A**

SHEET NO.

C-103
OF

GENERAL NOTES

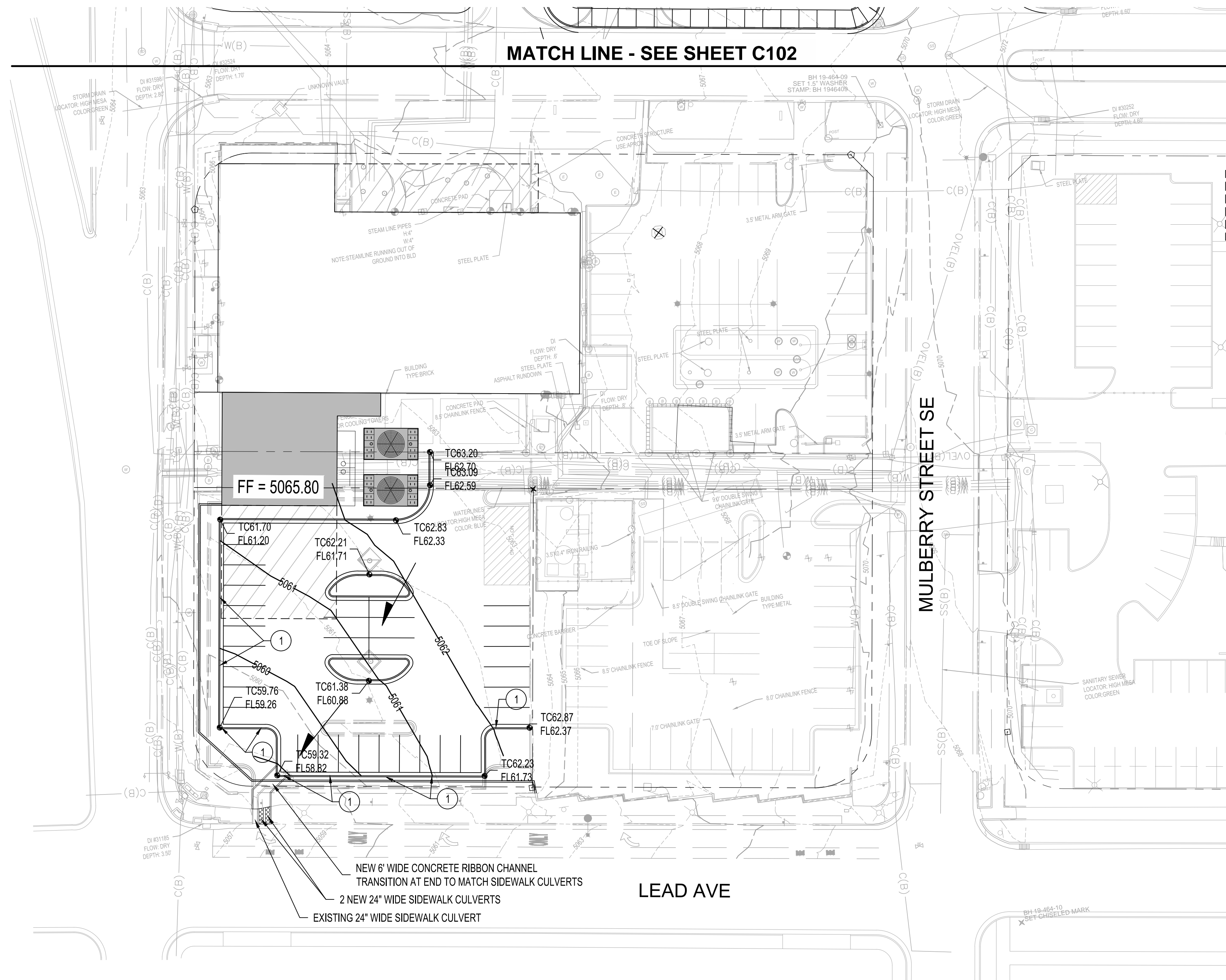
- CURB CUTS SHOWN ON THE PLAN HAVE BEEN LOCATED TO DIRECT SITE RUNOFF TO LANDSCAPE WATER HARVESTING AREAS. THE LOCATIONS WILL BE REFINED AS THE DESIGN DEVELOPS.

KEYED NOTES

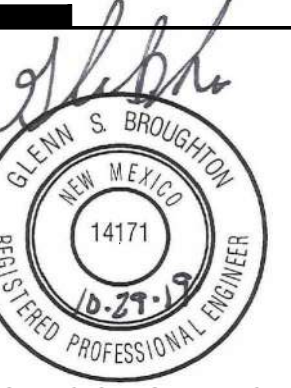
- CURB CUT.
- STORM DRAIN.
- AREA DRAIN.
- STORM DRAIN LIFT STATION.
- RETAINING WALL.
- SIDEWALK CULVERT.
- PUMP DISCHARGE.

GRADING LEGEND

- 2.0% DIRECTION OF FLOW
- 23.00 PROPOSED SPOT ELEVATION
- 5100 PROPOSED INDEX CONTOUR
- 5101 PROPOSED INTERMEDIATE CONTOUR
- WATER BLOCK



SEAL



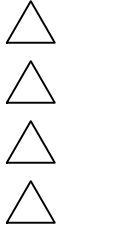
NOT FOR CONSTRUCTION

PROJECT

PRESBYTERIAN HOSPITAL
SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

1100 Central Ave SE
Albuquerque, NM 87106

REVISIONS



| | |
|--------------|-------------|
| DRAWN BY | BO |
| REVIEWED BY | GSB |
| DATE | 10/29/2019 |
| PROJECT NO. | 19-0010.001 |
| DRAWING NAME | |

CONCEPTUAL
GRADING AND
DRAINAGE PLAN
AREA B

SHEET NO.

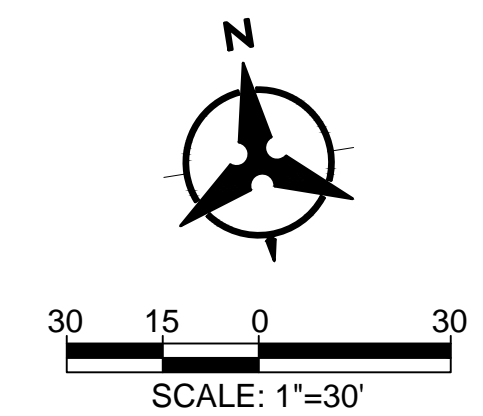
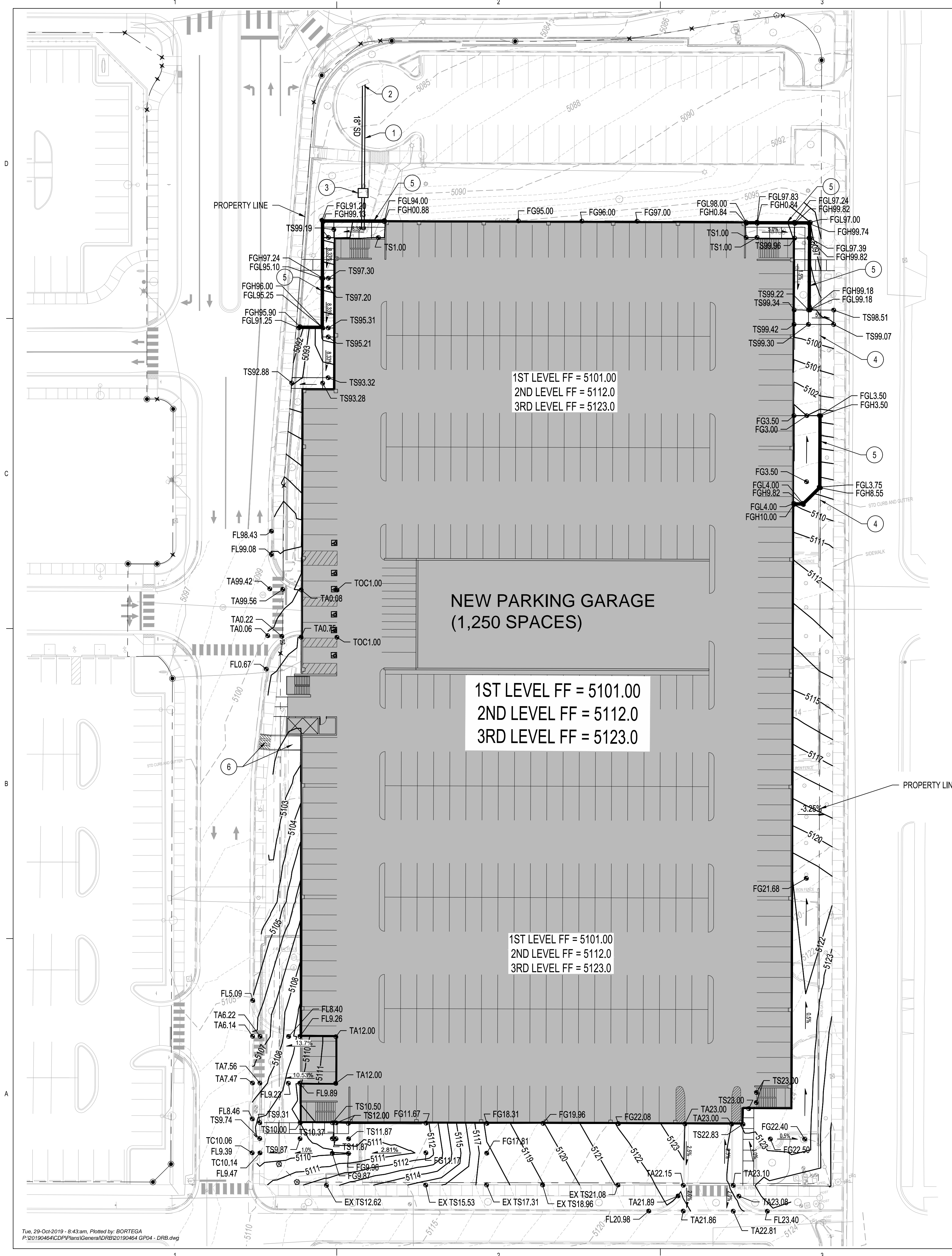
C-104
OF

KEYED NOTES

1. NEW STORM DRAIN PIPE.
2. CONNECT TO EXISTING PRIVATE STORM DRAIN INLET.
3. SAND / OIL INTERCEPTOR.
4. EXISTING RETAINING WALL TO BE REMOVED.
5. NEW RETAINING WALL.
6. 3 - 24" WIDE SIDEWALK CULVERTS & CONCRETE RIBBON CHANNEL.

GRADING LEGEND



- 2.0% DIRECTION OF FLOW
- 23.00 PROPOSED SPOT ELEVATION
- 5100 PROPOSED INDEX CONTOUR
- 5101 PROPOSED INTERMEDIATE CONTOUR

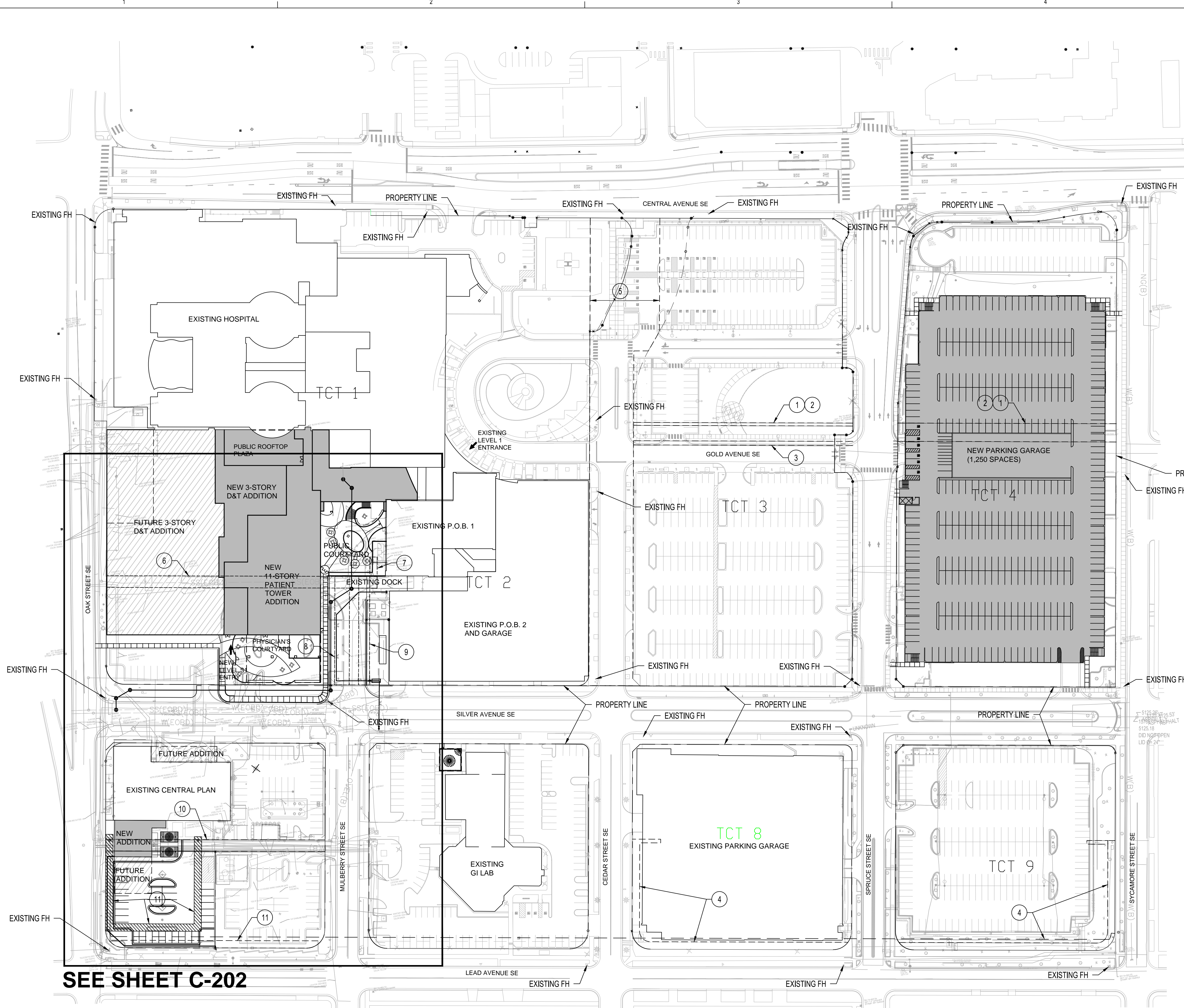


EASEMENT KEYED NOTES

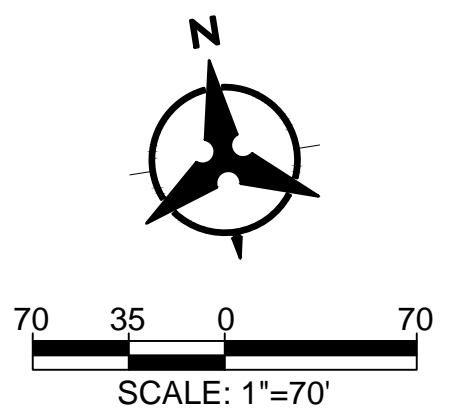
- EXISTING 25' WIDE PUBLIC SANITARY SEWER & PUBLIC WATER LINE EASEMENT TO BE VACATED.
- VACATION OF EASEMENT WILL REQUIRE RELOCATION OF THE EXISTING SANITARY SEWER LINE.
- EXISTING 26.75' WIDE PUBLIC DRAINAGE EASEMENT TO REMAIN.
- EXISTING 10' WIDE PNM UNDERGROUND EASEMENT TO REMAIN.
- EXISTING PUBLIC SANITARY SEWER, DRAINAGE & PUBLIC WATER LINE EASEMENT TO REMAIN.
- EXISTING 16' PRIVATE SANITARY SEWER EASEMENT TO BE VACATED.
- EXISTING 10' PUBLIC UTILITY EASEMENT TO BE VACATED. PUBLIC WATER LINE WILL BE REMOVED.
- EXISTING 20' PUBLIC WATER LINE TO BE VACATED. PUBLIC WATER LINE WILL BE REMOVED.
- EXISTING 15' GAS LINE EASEMENT TO BE VACATED.
- EXISTING 16' WIDE PUBLIC SANITARY SEWER EASEMENT & P.U.E. TO BE VACATED. PORTION OF EASEMENT TO REMAIN
- 10' P.U.E. TO BE GRANTED.

LEGEND

-  EXISTING EASEMENT TO BE VACATED
-  NEW EASEMENT TO BE GRANTED



SEE SHEET C-202



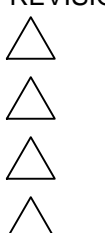
SEAL

PROJECT

PRESBYTERIAN HOSPITAL
SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

1100 Central Ave SE
Albuquerque, NM 87106

REVISIONS



DRAWN BY BO
REVIEWED BY GSB
DATE 10/01/2019
PROJECT NO. 19-0010.001
DRAWING NAME

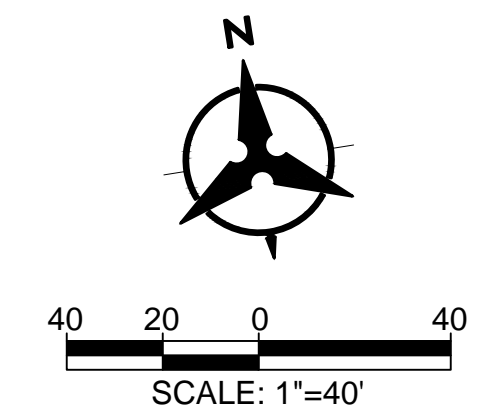
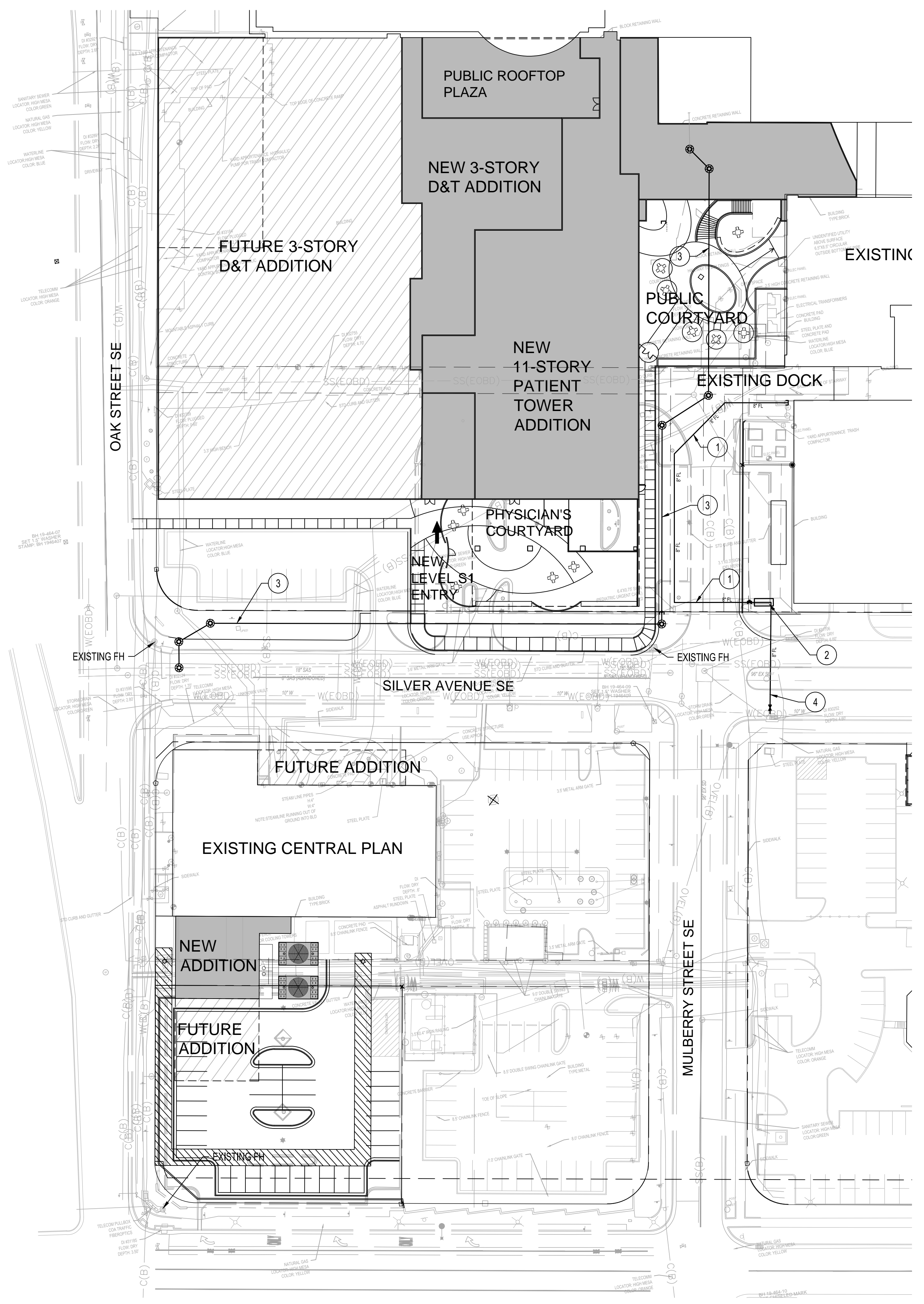
**CONCEPTUAL
UTILITY PLAN**

SHEET NO.

C-202
OF

KEYED NOTES

1. NEW PRIVATE 8" FIRE LINE.
2. NEW BACK FLOW PREVENTER IN HEATED ENCLOSURE.
3. NEW PRIVATE 10" SANITARY SEWER LINE.
4. NEW PUBLIC 8" FIRE LINE.



Date: Jul 23, 2019 - 2:01pm User: JSMetling . . . Drawing File: H:\8030.01\CAD\AutoCAD\PH New Patient Tower Site Development -Entitlements\Sheets\Electrical\EPC ES101.dwg . . . Lost Saved By: JSMetling Jul 23, 2019 - 1:59pm . . . Layout Name: EPC TOWER SITE PLAN

GENERAL NOTES

- REFER TO ARCHITECTURAL FOR BUILDING MOUNTED SIGNAGE LOCATIONS.

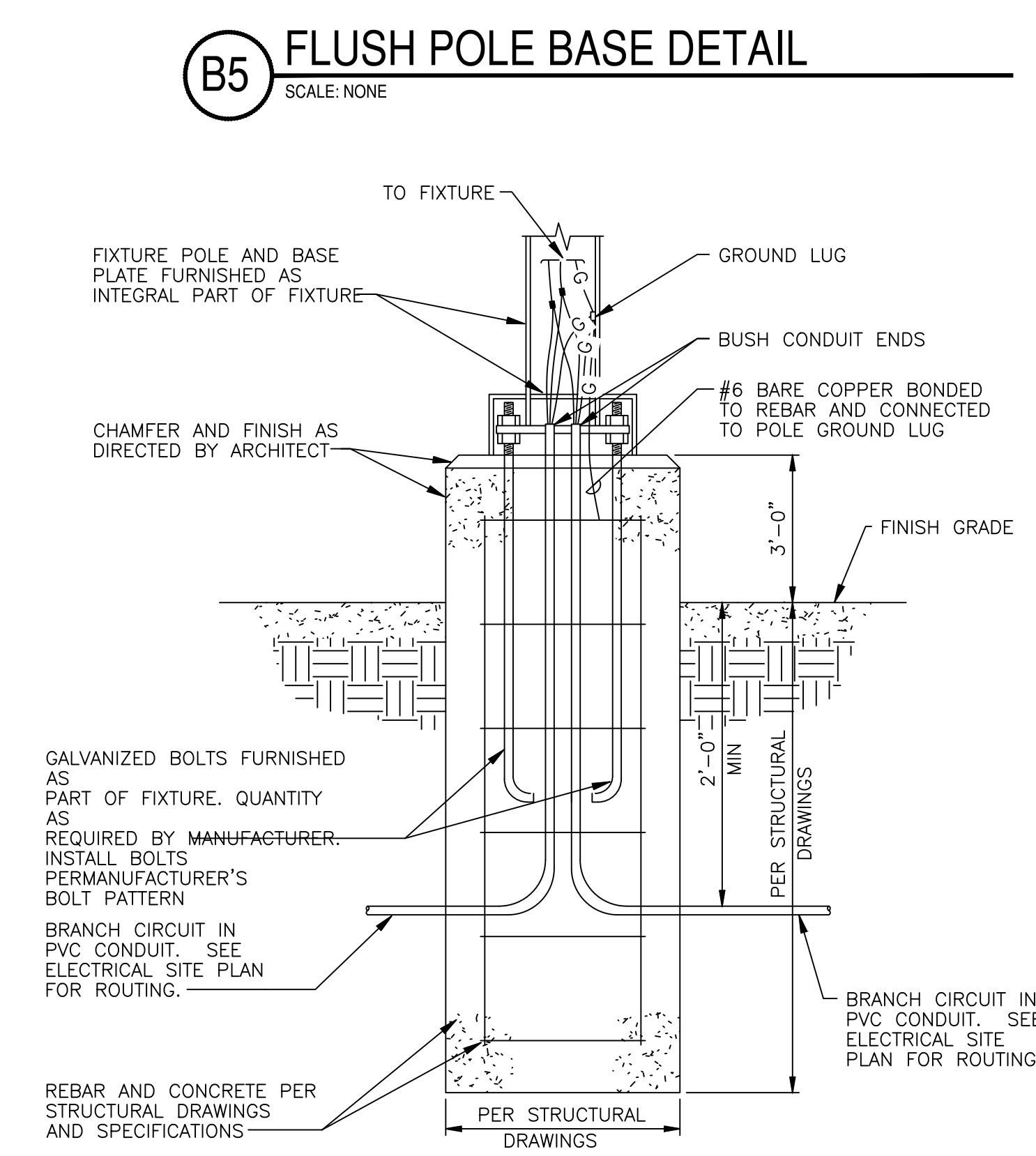
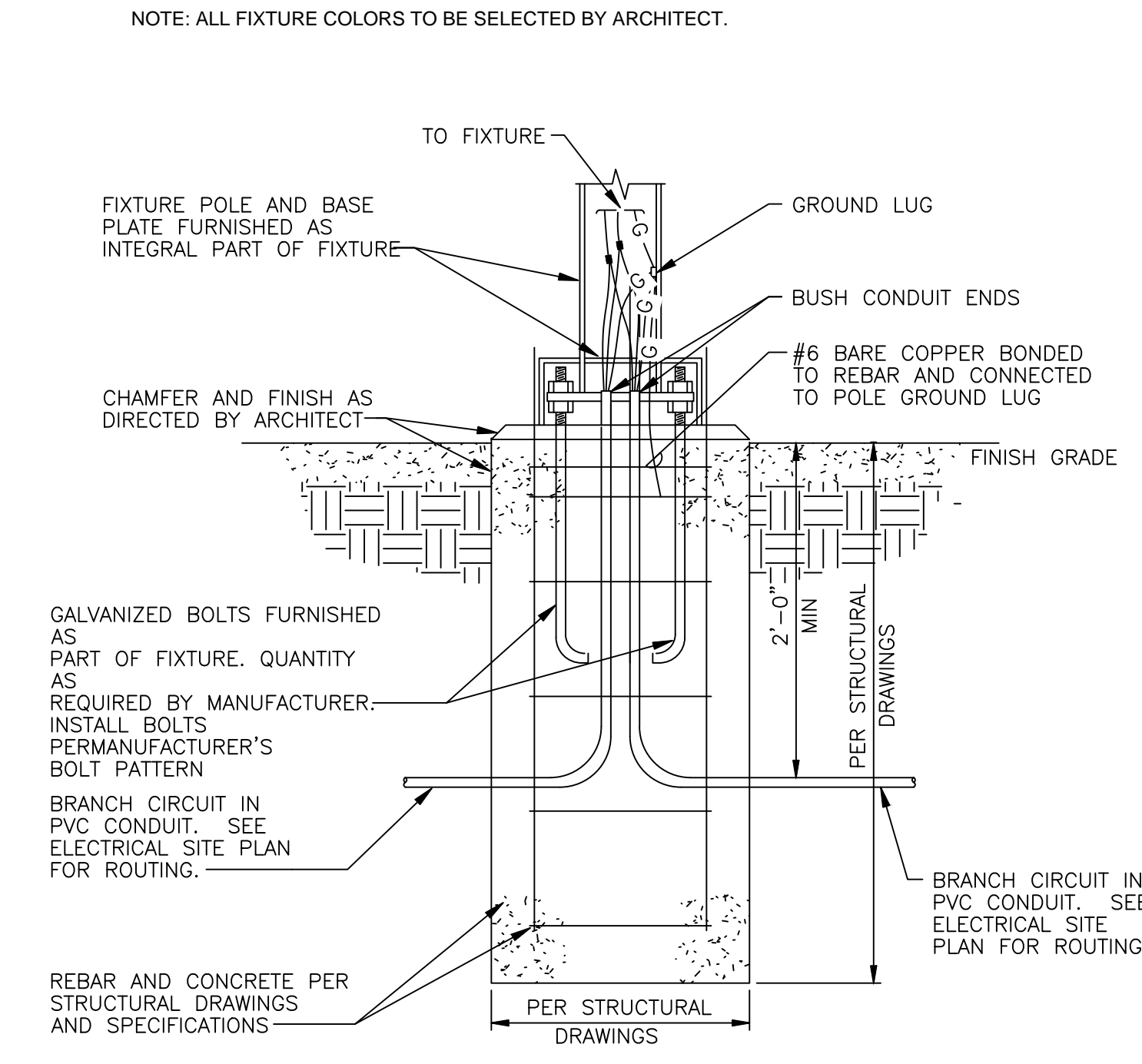
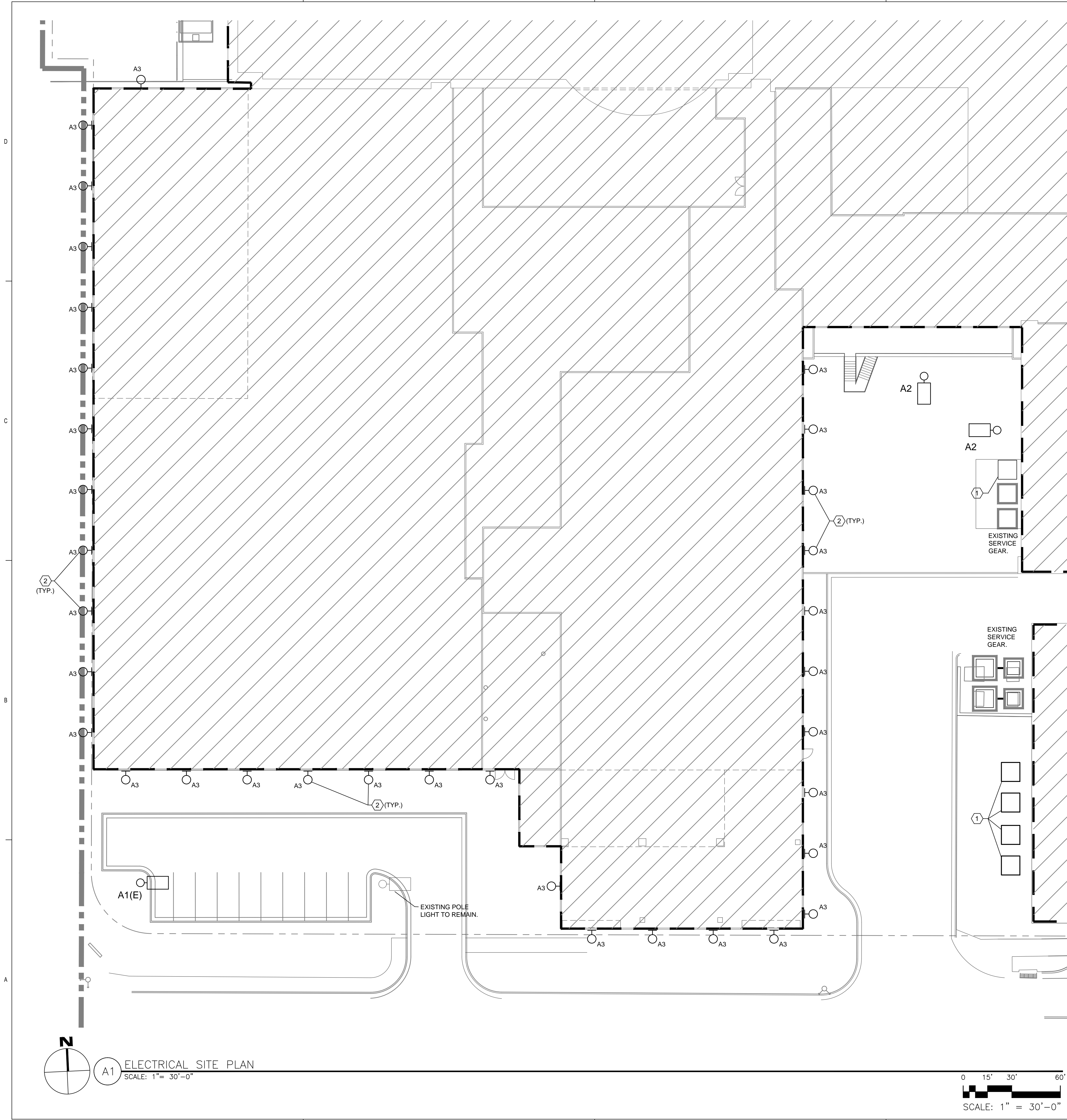
SHEET KEYED NOTES

- APPROXIMATE LOCATION OF ELECTRICAL SERVICE GEAR INCLUDING PAD MOUNT TRANSFORMERS AND SWITCHGEAR.
- MOUNTING HEIGHT FOR BUILDING MOUNTED LIGHTING AT 10'.

LIGHTING FIXTURE SCHEDULE

| TYPE | DESCRIPTION | MOUNTING | WATTS/VOLTAGE | MANUFACTURER/MODEL | LUMENS |
|--------|---|--|---------------|--------------------------------|--------|
| A1 (E) | FULL CUT OFF LED POLE MOUNT, SINGLE HEAD, EXISTING RELOCATED. | 20' POLE ON 3" CONCRETE STRUCTURAL BASE. | 78 WATTS/277V | GE | 8110 |
| A2 | FULL CUT OFF LED POLE MOUNT, SINGLE HEAD, EXISTING RELOCATED. | 12' POLE ON FLUSH CONCRETE BASE. | 78 WATTS/277V | GARDCO #P26-140L-1675-NWG2-AR3 | 8110 |
| A3 | FULL CUT OFF LED WALL MOUNT | WALL MOUNT, MOUNTING HEIGHT 10' | 30 WATTS/277V | STONCO #PW30-NW-G1-277V | 3090 |

NOTE: ALL FIXTURE COLORS TO BE SELECTED BY ARCHITECT.



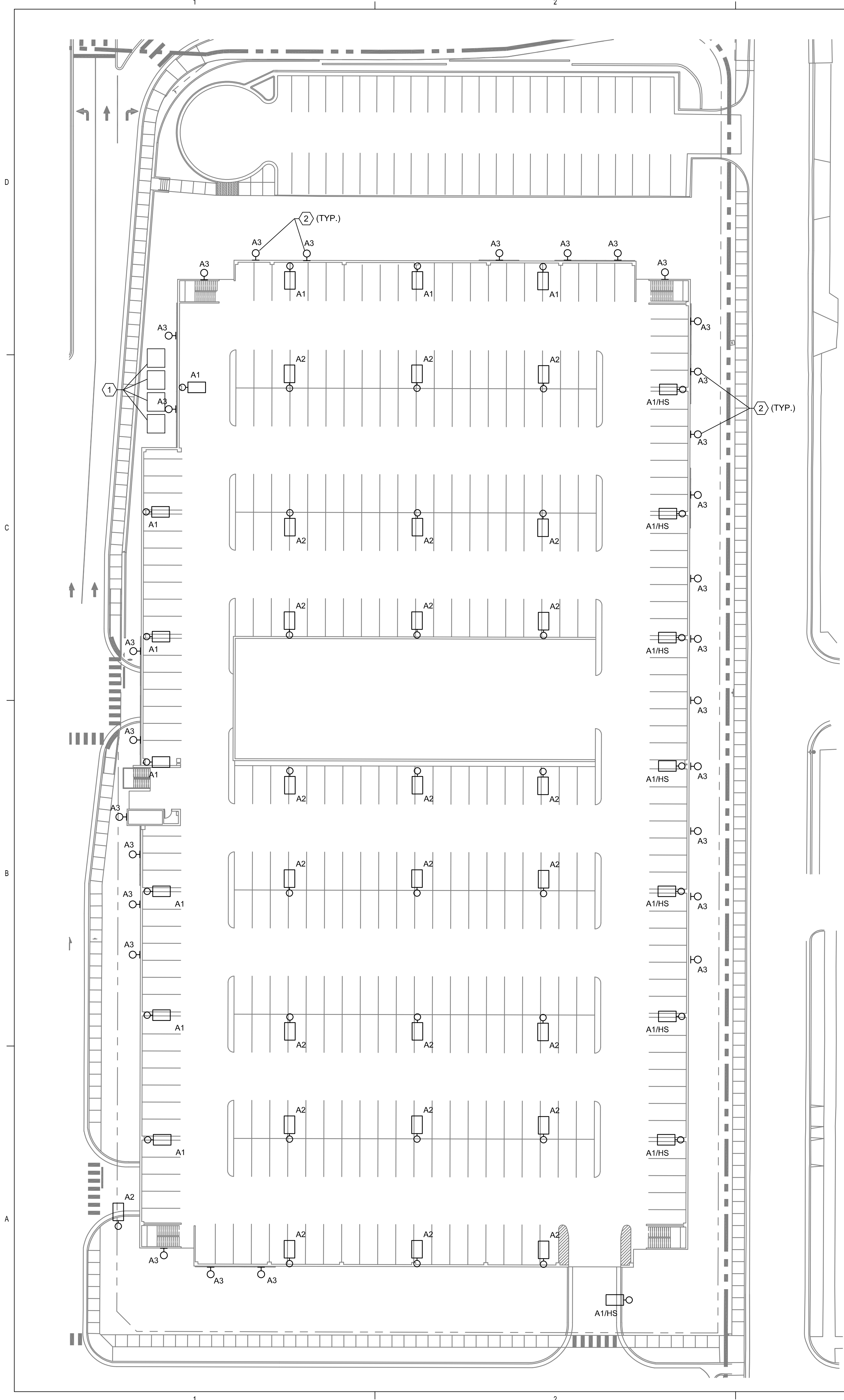
REVISIONS

| | |
|---|--|
| △ | |
| △ | |
| △ | |
| △ | |

| | |
|--------------|-------------|
| DRAWN BY | - |
| REVIEWED BY | - |
| DATE | 10/01/2019 |
| PROJECT NO. | 19-0010.001 |
| DRAWING NAME | |

EPC ELECTRICAL SITE PLAN

Date: Aug 21, 2019 - 4:10pm User:tdgallegos . . . Drawing File: H:\8030.01\CAD\AutoCAD\PH New Patient Tower Site Development - Entitlements\Sheets\Electrical\EPC ES101.dwg . . . Last Saved By: tdgallegos Aug 21, 2019 - 3:10pm . . . Layout Name: EPC GARAGE SITE PLAN



SHEET KEYED NOTES

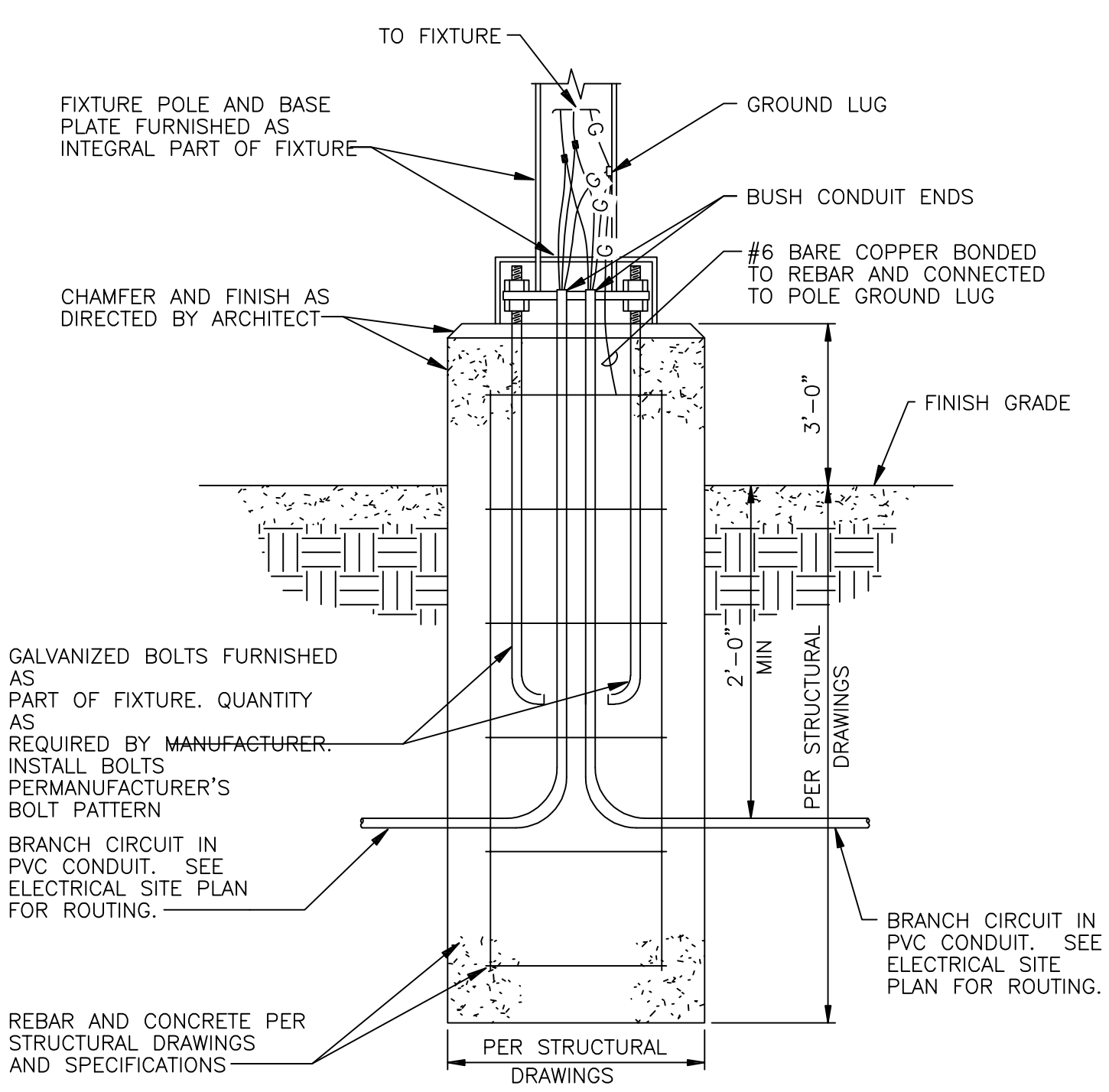
- APPROXIMATE LOCATION OF ELECTRICAL SERVICE GEAR INCLUDING PAD MOUNT TRANSFORMERS AND SWITCHGEAR.
- MOUNTING HEIGHT FOR BUILDING MOUNTED LIGHTING VARIES DEPENDENT ON GRADE. REFER TO ARCHITECTURAL ELEVATIONS.

GENERAL NOTES

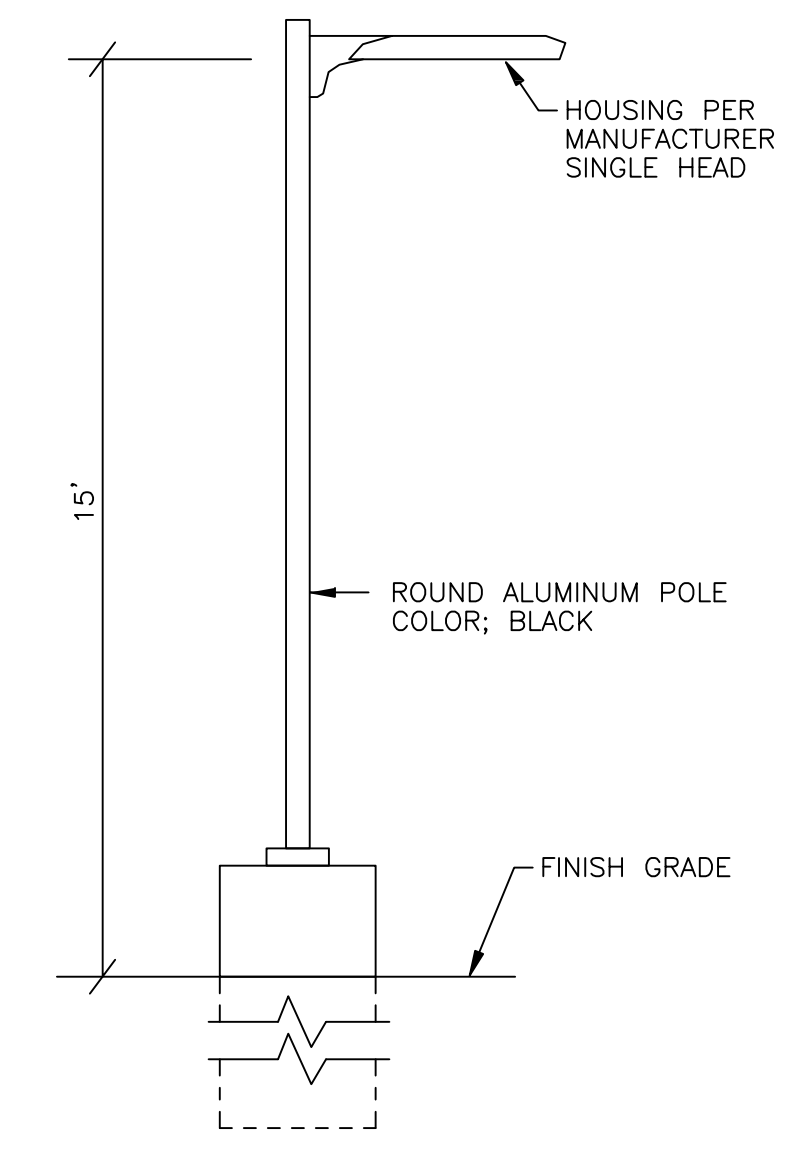
- POLE MOUNTED FIXTURES ALONG RESIDENTIAL STREET SHALL BE PROVIDED WITH HOUSE SIDE SHIELDS.
- REFER TO ARCHITECTURAL FOR BUILDING MOUNTED SIGNAGE LOCATIONS.
- STRUCTURAL BASES FOR POLE LIGHTING ON TOP OF PARKING STRUCTURE SHALL BE INTEGRAL TO THE STRUCTURAL SYSTEMS AND DESIGNED BY THE STRUCTURAL ENGINEER.

| LIGHTING FIXTURE SCHEDULE | | | | | | |
|---------------------------|---|---|---------------|------------------------------------|--------|-----------------------------------|
| TYPE | DESCRIPTION | MOUNTING | WATTS/VOLTAGE | MANUFACTURER/MODEL | LUMENS | NOTES |
| A1 | FULL CUT OFF LED POLE MOUNT, SINGLE HEAD, COMFORT OPTICS, TYPE 3 DIST | 12' POLE ON 3' CONCRETE STRUCTURAL BASE. | 76 WATTS/277V | GARDCO #P26-140L-1675-NWG2-AR3-DIM | 8110 | "HS" INDICATES HOUSE SIDE SHIELD. |
| A2 | FULL CUT OFF LED POLE MOUNT, SINGLE HEAD, COMFORT OPTICS, TYPE 5 DIST | 12' POLE ON 3' CONCRETE STRUCTURAL BASE. | 76 WATTS/277V | GARDCO #P26-140L-1675-NWG2-AR5-DIM | 8168 | "HS" INDICATES HOUSE SIDE SHIELD. |
| A3 | FULL CUT OFF LED WALL MOUNT | WALL MOUNT, MOUNTING HEIGHTS NOT LESS THAN 9' | 30 WATTS/277V | STONCO #PW30-NW-G1-277V | 3090 | |

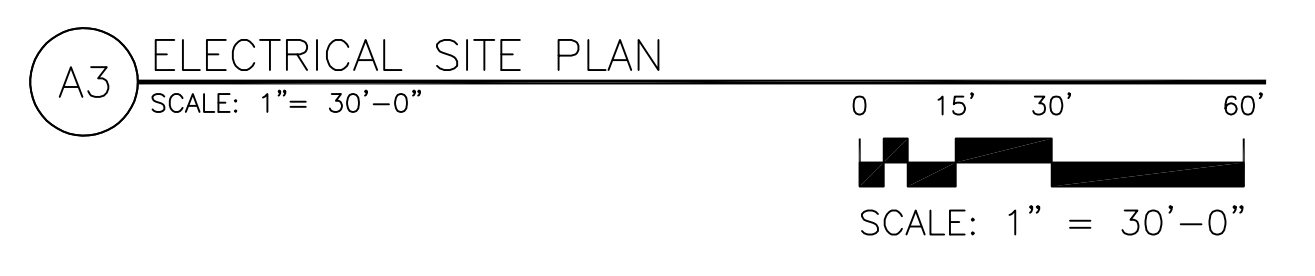
NOTE: ALL FIXTURE COLORS TO BE SELECTED BY ARCHITECT.



FREE STANDING POLE BASE DETAIL
SCALE: NONE (APPLIES TO FIXTURES NOT MOUNTED IN PARKING STRUCTURE.)



FREE STANDING POLE DETAIL



7601 JEFFERSON NE, SUITE 100
ALBUQUERQUE, NM 87109
505.761.9700 / DPSDESIGN.ORG
ARCHITECT



ENGINEER

PROJECT

PRESBYTERIAN HOSPITAL
 SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
 1100 Central Ave SE
 Albuquerque, NM 87106

| REVISIONS | |
|-----------|--|
| △ | |
| △ | |
| △ | |
| △ | |

| | |
|--------------|-------------|
| DRAWN BY | - |
| REVIEWED BY | - |
| DATE | 10/01/2019 |
| PROJECT NO. | 19-0010.001 |
| DRAWING NAME | |

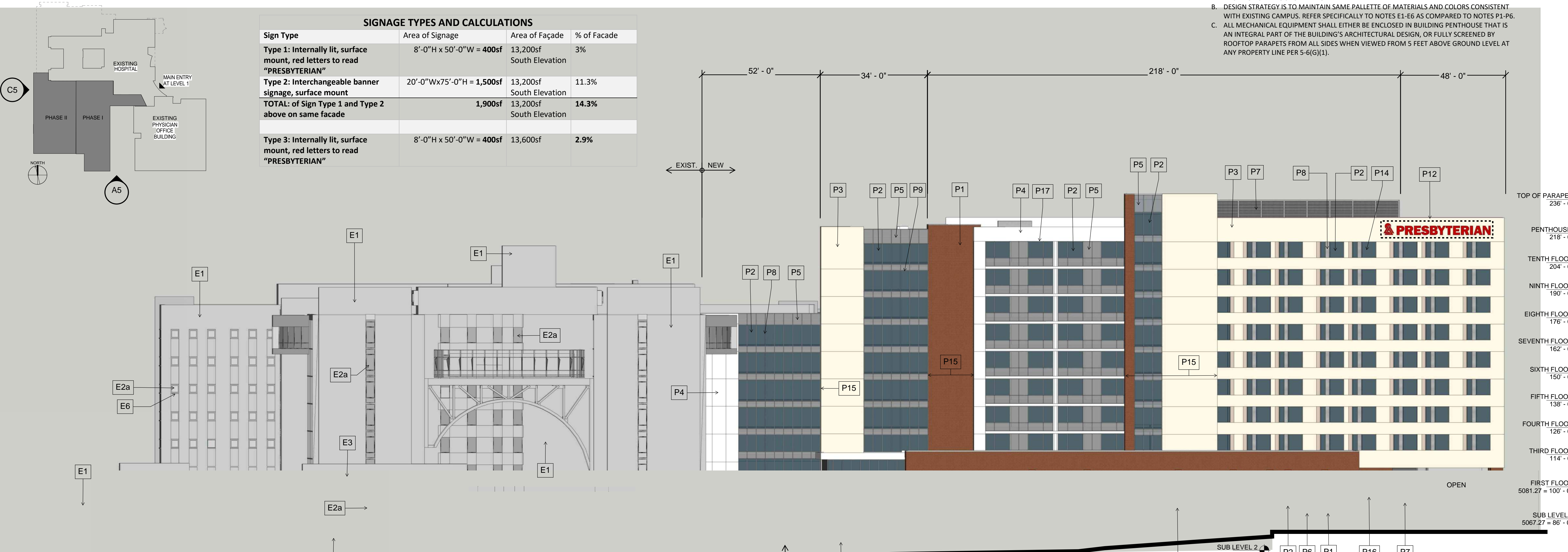
EPC ELECTRICAL SITE PLAN

SHEET NO. **ES102** OF

GENERAL NOTES:

- A. EXISTING BUILDING SHOWN IN GREY.
- B. DESIGN STRATEGY IS TO MAINTAIN SAME PALLETTE OF MATERIALS AND COLORS CONSISTENT WITH EXISTING CAMPUS. REFER SPECIFICALLY TO NOTES E1-E6 AS COMPARED TO NOTES P1-P6.
- C. ALL MECHANICAL EQUIPMENT SHALL EITHER BE ENCLOSED IN BUILDING PENTHOUSE THAT IS AN INTEGRAL PART OF THE BUILDING'S ARCHITECTURAL DESIGN, OR FULLY SCREENED BY ROOFTOP PARAPETS FROM ALL SIDES WHEN VIEWED FROM 5 FEET ABOVE GROUND LEVEL AT ANY PROPERTY LINE PER 5-6(G)(1).

| Sign Type | Area of Signage | Area of Façade | % of Façade |
|---|---------------------------|---------------------------------|--------------|
| Type 1: Internally lit, surface mount, red letters to read "PRESBYTERIAN" | 8'-0"H x 50'-0"W = 400sf | 13,200sf South Elevation | 3% |
| Type 2: Interchangeable banner signage, surface mount | 20'-0"Wx75'-0"H = 1,500sf | 13,200sf South Elevation | 11.3% |
| TOTAL: of Sign Type 1 and Type 2 above on same façade | 1,900sf | 13,200sf South Elevation | 14.3% |
| Type 3: Internally lit, surface mount, red letters to read "PRESBYTERIAN" | 8'-0"H x 50'-0"W = 400sf | 13,600sf | 2.9% |



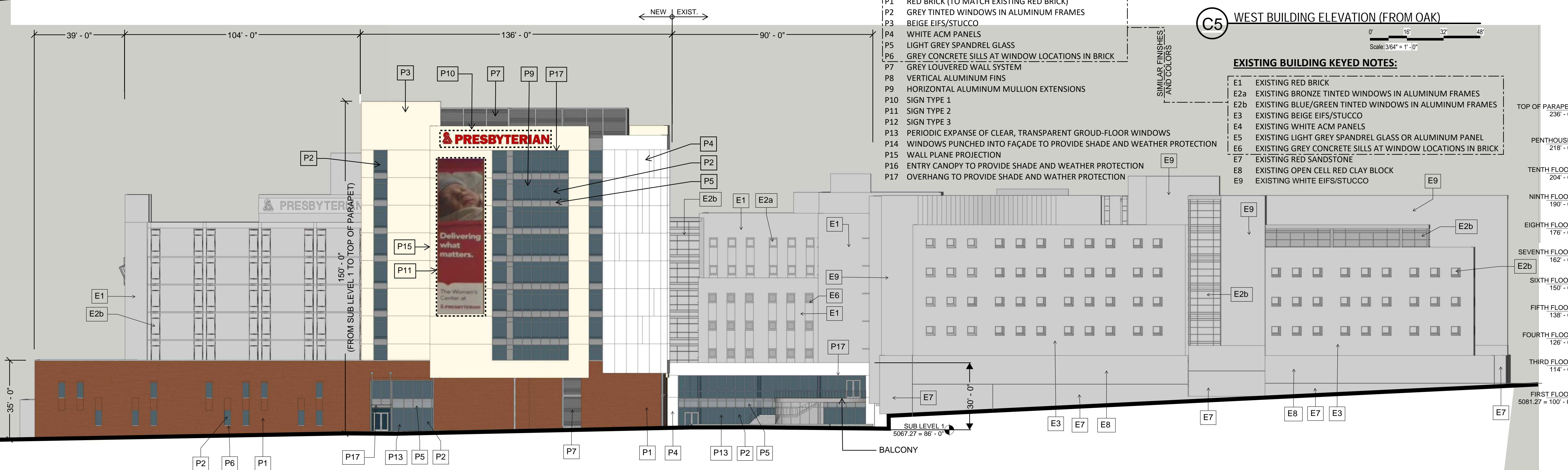
PROPOSED BUILDING KEYED NOTES:

- P1 RED BRICK (TO MATCH EXISTING RED BRICK)
- P2 GREY TINTED WINDOWS IN ALUMINUM FRAMES
- P3 BEIGE EIFS/STUCCO
- P4 WHITE ACM PANELS
- P5 LIGHT GREY SPANDREL GLASS
- P6 GREY CONCRETE SILLS AT WINDOW LOCATIONS IN BRICK
- P7 GREY LOUVERED WALL SYSTEM
- P8 VERTICAL ALUMINUM FINIS
- P9 HORIZONTAL ALUMINUM MULLION EXTENSIONS
- P10 SIGN TYPE 1
- P11 SIGN TYPE 2
- P12 SIGN TYPE 3
- P13 PERIODIC EXPANSE OF CLEAR, TRANSPARENT GROUND-FLOOR WINDOWS
- P14 WINDOWS PUNCHED INTO FAÇADE TO PROVIDE SHADE AND WEATHER PROTECTION
- P15 WALL PLANE PROJECTION
- P16 ENTRY CANOPY TO PROVIDE SHADE AND WEATHER PROTECTION
- P17 OVERHANG TO PROVIDE SHADE AND WATHER PROTECTION

C5 WEST BUILDING ELEVATION (FROM OAK)

EXISTING BUILDING KEYED NOTES:

- E1 EXISTING RED BRICK
- E2a EXISTING BRONZE TINTED WINDOWS IN ALUMINUM FRAMES
- E2b EXISTING BLUE/GREEN TINTED WINDOWS IN ALUMINUM FRAMES
- E3 EXISTING BEIGE EIFS/STUCCO
- E4 EXISTING WHITE ACM PANELS
- E5 EXISTING LIGHT GREY SPANDREL GLASS OR ALUMINUM PANEL
- E6 EXISTING GREY CONCRETE SILLS AT WINDOW LOCATIONS IN BRICK
- E7 EXISTING RED SANDSTONE
- E8 EXISTING OPEN CELL RED CLAY BLOCK
- E9 EXISTING WHITE EIFS/STUCCO



A5 SOUTH BUILDING ELEVATION (FROM SILVER)

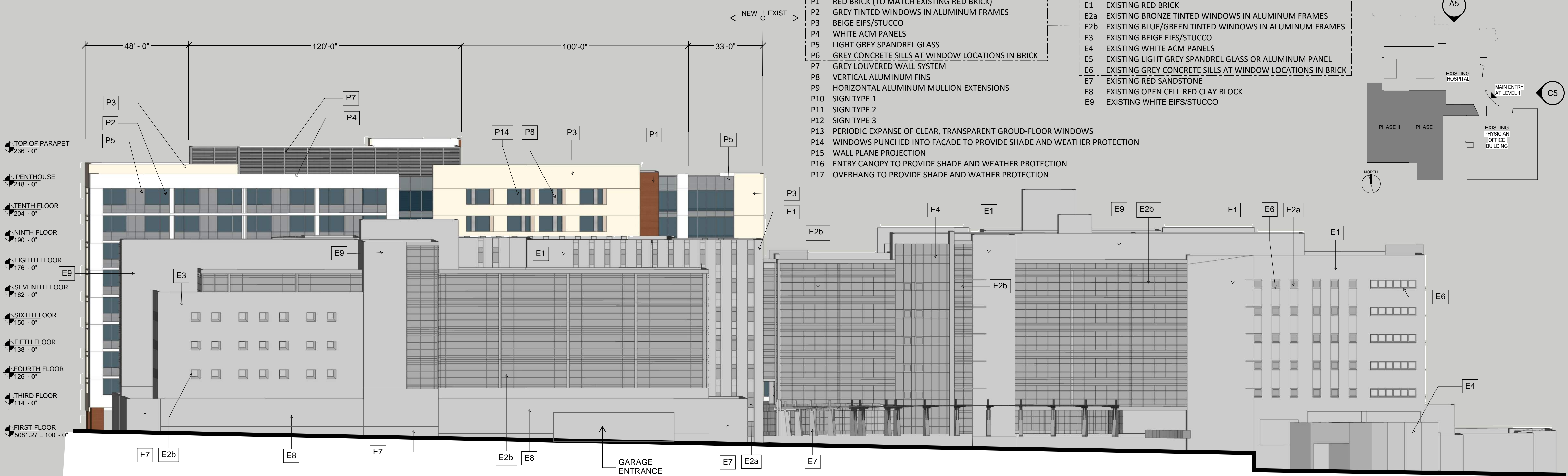
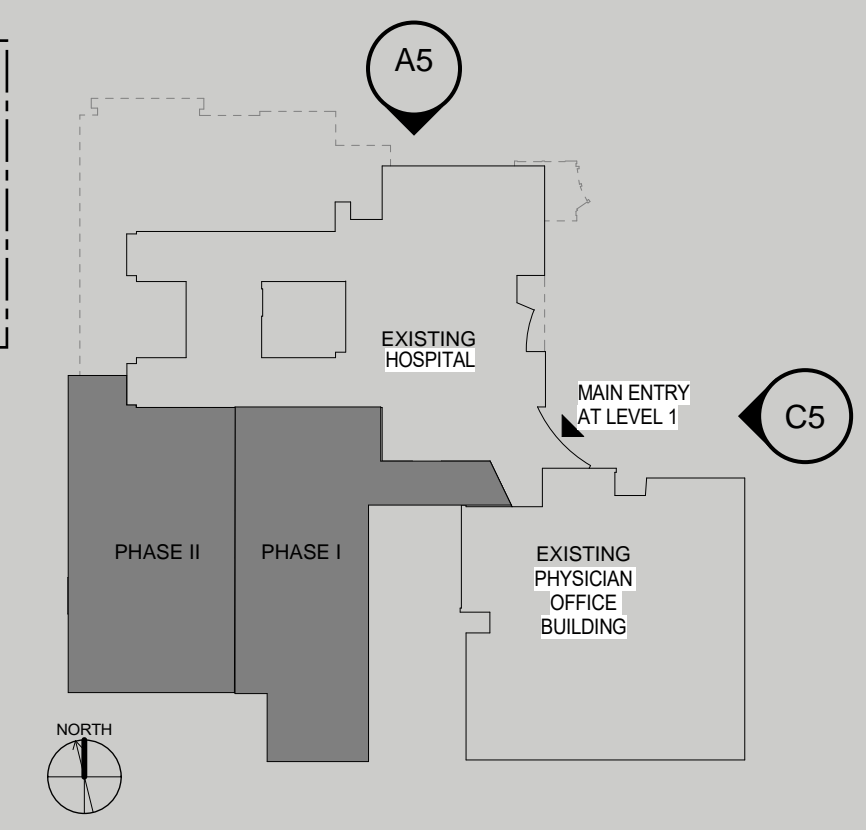
Scale: 3/64" = 1' - 0"

PROPOSED BUILDING KEYED NOTES:

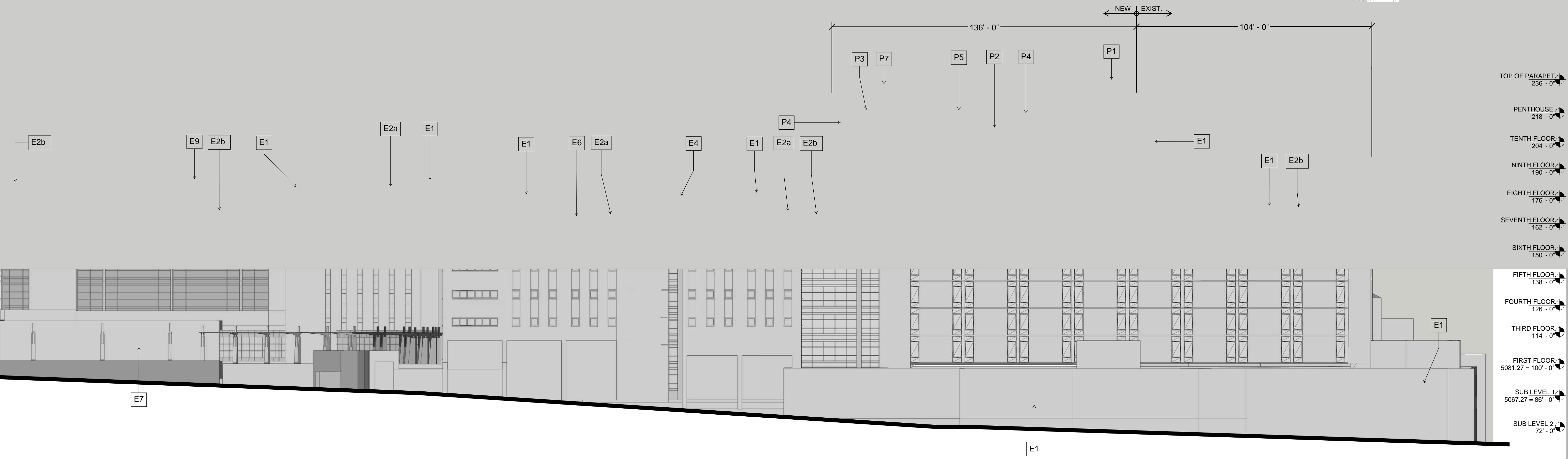
- P1 RED BRICK (TO MATCH EXISTING RED BRICK)
- P2 GREY TINTED WINDOWS IN ALUMINUM FRAMES
- P3 BEIGE EIFS/STUCCO
- P4 WHITE ACM PANELS
- P5 LIGHT GREY SPANDREL GLASS
- P6 GREY CONCRETE SILLS AT WINDOW LOCATIONS IN BRICK
- P7 GREY LOUVERED WALL SYSTEM
- P8 VERTICAL ALUMINUM FINIS
- P9 HORIZONTAL ALUMINUM FINIS
- P10 SIGN TYPE 1
- P11 SIGN TYPE 2
- P12 SIGN TYPE 3
- P13 PERIODIC EXPANSE OF CLEAR, TRANSPARENT GROUND-FLOOR WINDOWS
- P14 WINDOWS PUNCHED INTO FAÇADE TO PROVIDE SHADE AND WEATHER PROTECTION
- P15 WALL PLANE PROJECTION
- P16 ENTRY CANOPY TO PROVIDE SHADE AND WEATHER PROTECTION
- P17 OVERHANG TO PROVIDE SHADE AND WATHER PROTECTION

EXISTING BUILDING KEYED NOTES:

- E1 EXISTING RED BRICK
- E2a EXISTING BRONZE TINTED WINDOWS IN ALUMINUM FRAMES
- E2b EXISTING BLUE/GREEN TINTED WINDOWS IN ALUMINUM FRAMES
- E3 EXISTING BEIGE EIFS/STUCCO
- E4 EXISTING WHITE ACM PANELS
- E5 EXISTING LIGHT GREY SPANDREL GLASS OR ALUMINUM PANEL
- E6 EXISTING GREY CONCRETE SILLS AT WINDOW LOCATIONS IN BRICK
- E7 EXISTING RED SANDSTONE
- E8 EXISTING OPEN CELL RED CLAY BLOCK
- E9 EXISTING WHITE EIFS/STUCCO



C5 EAST BUILDING ELEVATION Scale: 3/64" = 1' - 0"



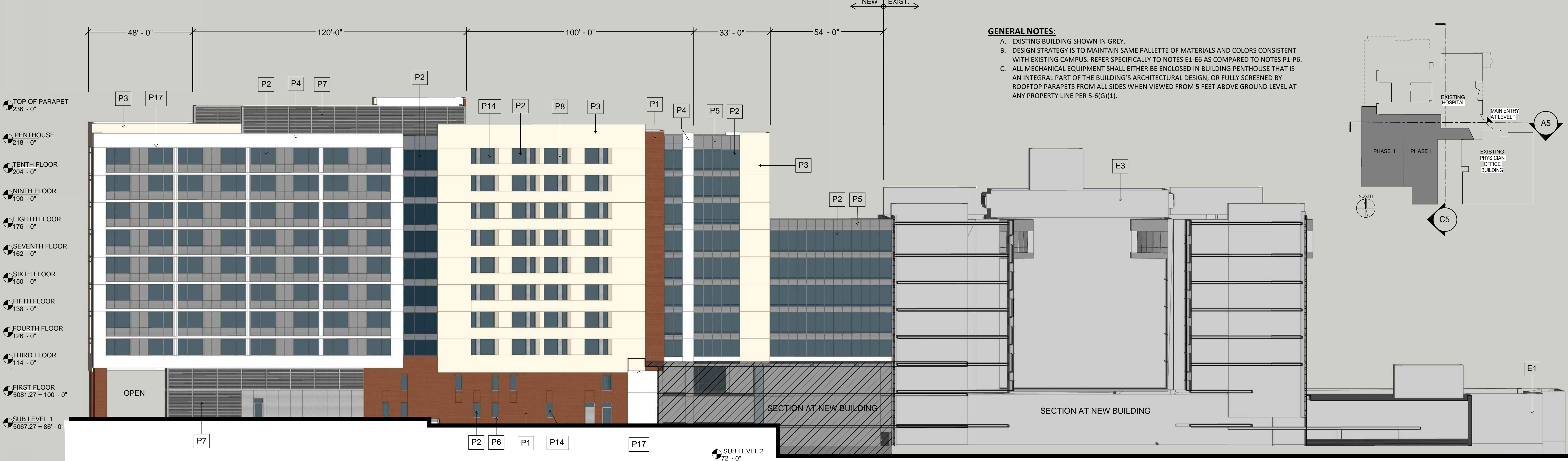
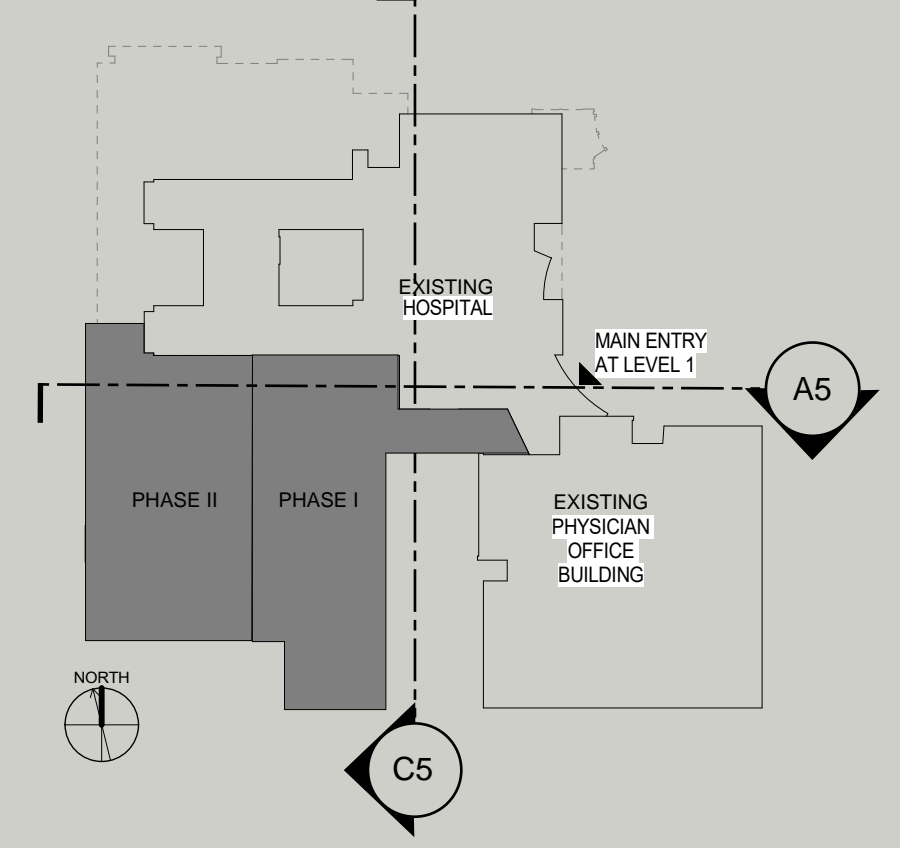
A5 NORTH BUILDING ELEVATION (FROM CENTRAL) Scale: 3/64" = 1' - 0"

GENERAL NOTES:

- A. EXISTING BUILDING SHOWN IN GREY.
- B. DESIGN STRATEGY IS TO MAINTAIN SAME PALLETTE OF MATERIALS AND COLORS CONSISTENT WITH EXISTING CAMPUS. REFER SPECIFICALLY TO NOTES E1-E6 AS COMPARED TO NOTES P1-P6.
- C. ALL MECHANICAL EQUIPMENT SHALL EITHER BE ENCLOSED IN BUILDING PENTHOUSE THAT IS AN INTEGRAL PART OF THE BUILDING'S ARCHITECTURAL DESIGN, OR FULLY SCREENED BY ROOFTOP PARAPETS FROM ALL SIDES WHEN VIEWED FROM 5 FEET ABOVE GROUND LEVEL AT ANY PROPERTY LINE PER 5-6(G)(1).

GENERAL NOTES:

- A. EXISTING BUILDING SHOWN IN GREY.
- B. DESIGN STRATEGY IS TO MAINTAIN SAME PALLETTE OF MATERIALS AND COLORS CONSISTENT WITH EXISTING CAMPUS. REFER SPECIFICALLY TO NOTES E1-E6 AS COMPARED TO NOTES P1-P6.
- C. ALL MECHANICAL EQUIPMENT SHALL EITHER BE ENCLOSED IN BUILDING PENTHOUSE THAT IS AN INTEGRAL PART OF THE BUILDING'S ARCHITECTURAL DESIGN, OR FULLY SCREENED BY ROOFTOP PARAPETS FROM ALL SIDES WHEN VIEWED FROM 5 FEET ABOVE GROUND LEVEL AT ANY PROPERTY LINE PER 5-6(G)(1).



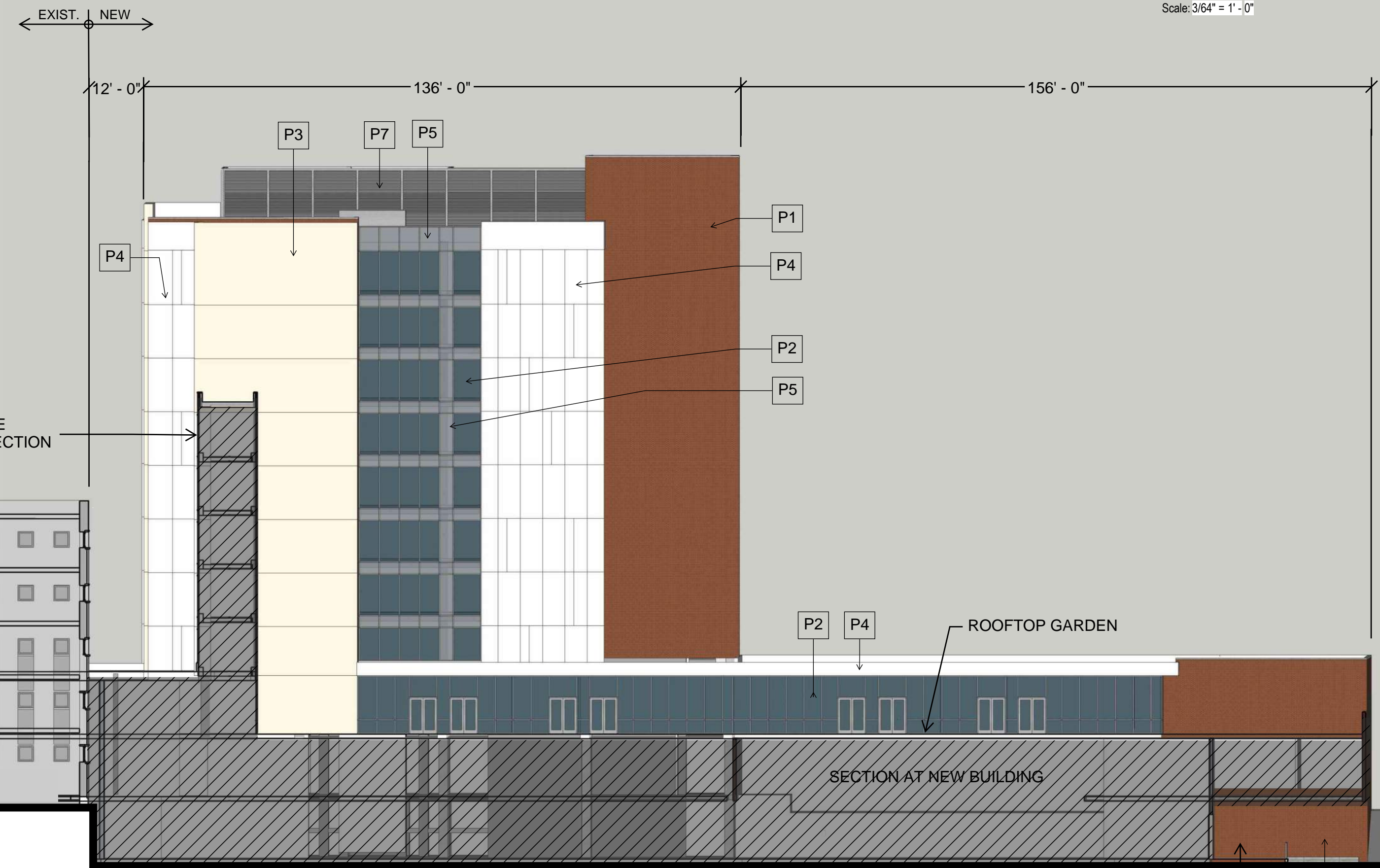
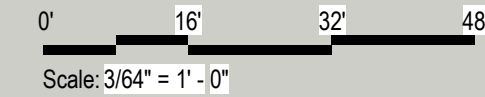
PROPOSED BUILDING KEYED NOTES:

- P1 RED BRICK (TO MATCH EXISTING RED BRICK)
- P2 GREY TINTED WINDOWS IN ALUMINUM FRAMES
- P3 BEIGE EIFS/STUCCO
- P4 WHITE ACM PANELS
- P5 LIGHT GREY SPANDREL GLASS
- P6 GREY CONCRETE SILLS AT WINDOW LOCATIONS IN BRICK
- P7 GREY LOUVERED WALL SYSTEM
- P8 VERTICAL ALUMINUM FINIS
- P9 HORIZONTAL ALUMINUM MULLION EXTENSIONS
- P10 SIGN TYPE 1
- P11 SIGN TYPE 2
- P12 SIGN TYPE 3
- P13 PERIODIC EXPANSE OF CLEAR, TRANSPARENT GROUND-FLOOR WINDOWS
- P14 WINDOWS PUNCHED INTO FAÇADE TO PROVIDE SHADE AND WEATHER PROTECTION
- P15 WALL PLANE PROJECTION
- P16 ENTRY CANOPY TO PROVIDE SHADE AND WEATHER PROTECTION
- P17 OVERHANG TO PROVIDE SHADE AND WATHER PROTECTION

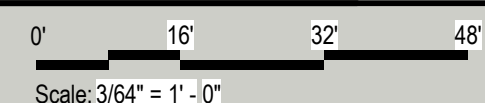
EXISTING BUILDING KEYED NOTES:

- E1 EXISTING RED BRICK
- E2a EXISTING BRONZE TINTED WINDOWS IN ALUMINUM FRAMES
- E2b EXISTING BLUE/GREEN TINTED WINDOWS IN ALUMINUM FRAMES
- E3 EXISTING BEIGE EIFS/STUCCO
- E4 EXISTING WHITE ACM PANELS
- E5 EXISTING LIGHT GREY SPANDREL GLASS OR ALUMINUM PANEL
- E6 EXISTING GREY CONCRETE SILLS AT WINDOW LOCATIONS IN BRICK
- E7 EXISTING RED SANDSTONE
- E8 EXISTING OPEN CELL RED CLAY BLOCK
- E9 EXISTING WHITE EIFS/STUCCO

C5 EAST BUILDING ELEVATION / SECTION



A5 NORTH BUILDING ELEVATION / SECTION



| | |
|----------------|---------------------|
| TOP OF PARAPET | 236' - 0" |
| PENTHOUSE | 218' - 0" |
| TENTH FLOOR | 204' - 0" |
| NINTH FLOOR | 190' - 0" |
| EIGHTH FLOOR | 176' - 0" |
| SEVENTH FLOOR | 162' - 0" |
| SIXTH FLOOR | 150' - 0" |
| FIFTH FLOOR | 138' - 0" |
| FOURTH FLOOR | 126' - 0" |
| THIRD FLOOR | 114' - 0" |
| FIRST FLOOR | 5081.27 = 100' - 0" |
| SUB LEVEL 1 | 5067.27 = 86' - 0" |
| SUB LEVEL 2 | 72' - 0" |

REVISIONS

- △
- △
- △
- △
- △
- △

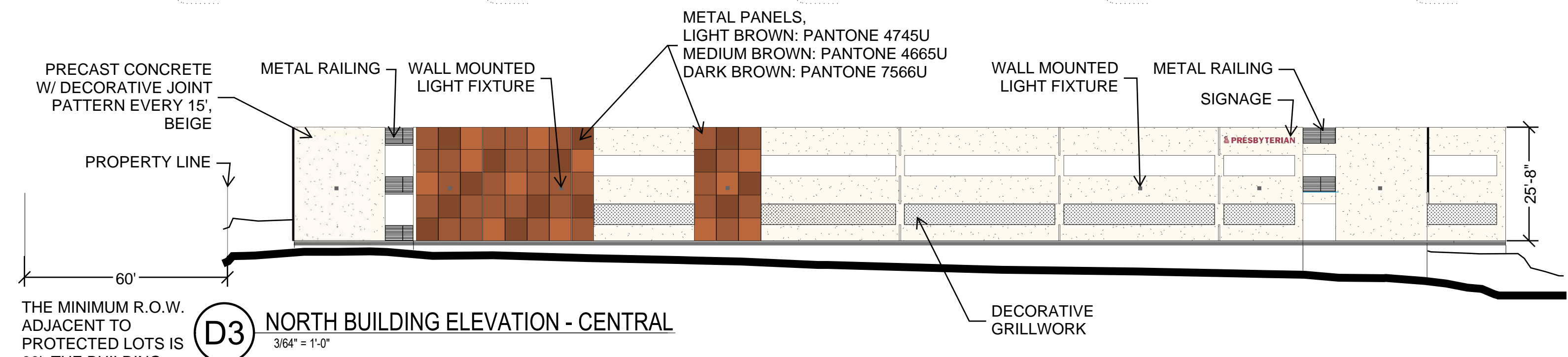
| | |
|-------------|-------------|
| DRAWN BY | RS |
| REVIEWED BY | TV, LRA |
| DATE | 10/01/2019 |
| PROJECT NO. | 19-0010.001 |

DRAWING NAME

BUILDING ELEVATIONS

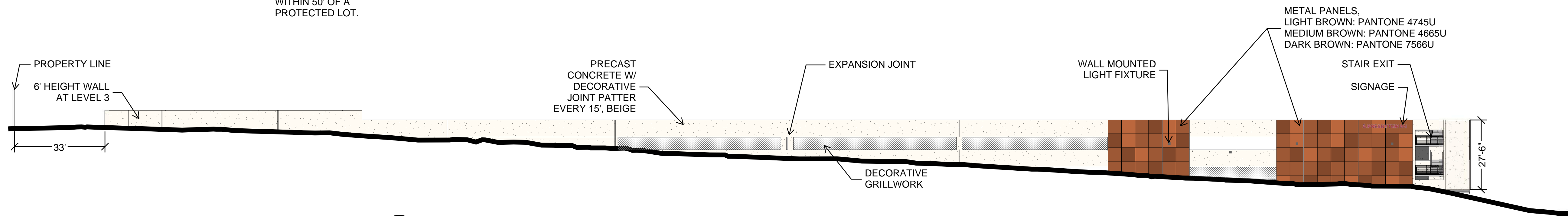
SHEET NO

SDP5 - 3

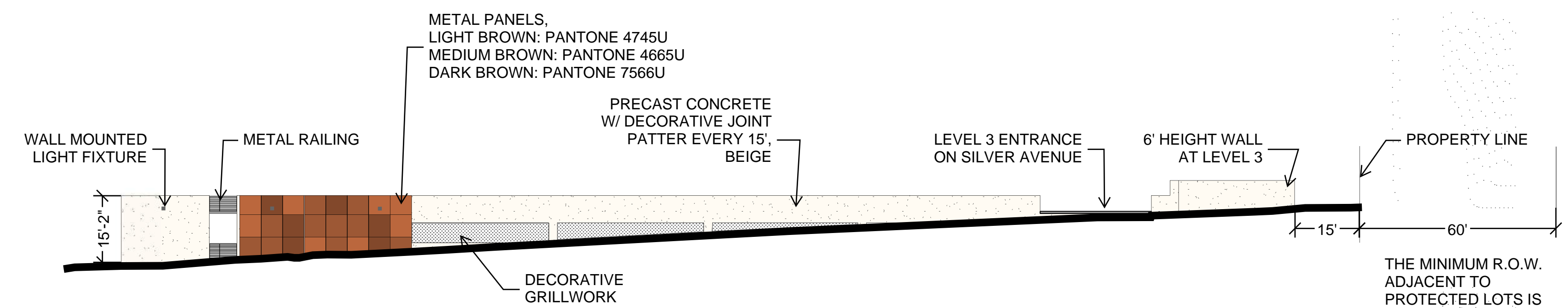


D3 NORTH BUILDING ELEVATION - CENTRAL
3/16" = 1'-0"

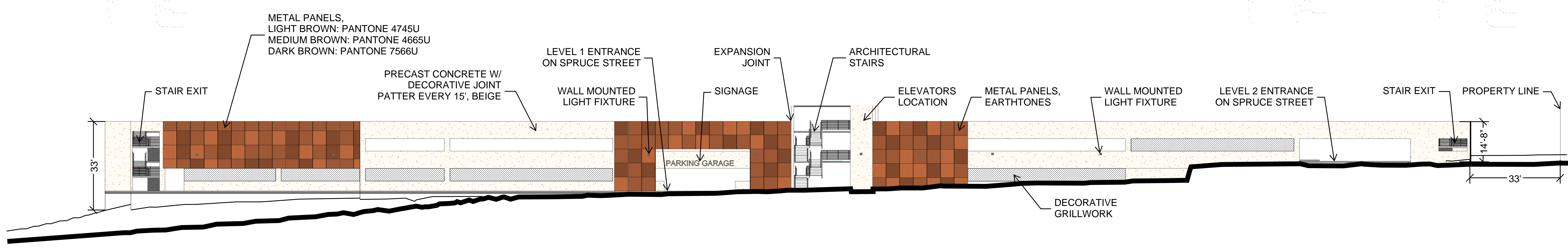
THE MINIMUM R.O.W. ADJACENT TO PROTECTED LOTS IS 60'. THE BUILDING COMPLIES WITH SECTION 5-9(C) IS NOT WITHIN 50' OF A PROTECTED LOT.



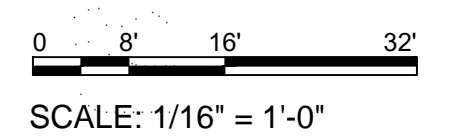
C3 EAST BUILDING ELEVATION - SYCAMORE
3/16" = 1'-0"

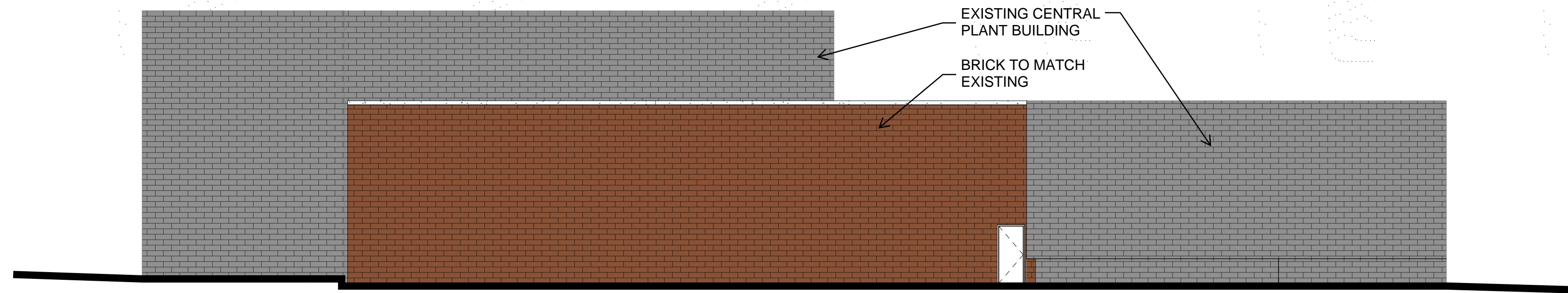


B3 SOUTH BUILDING ELEVATION - SILVER
3/16" = 1'-0"

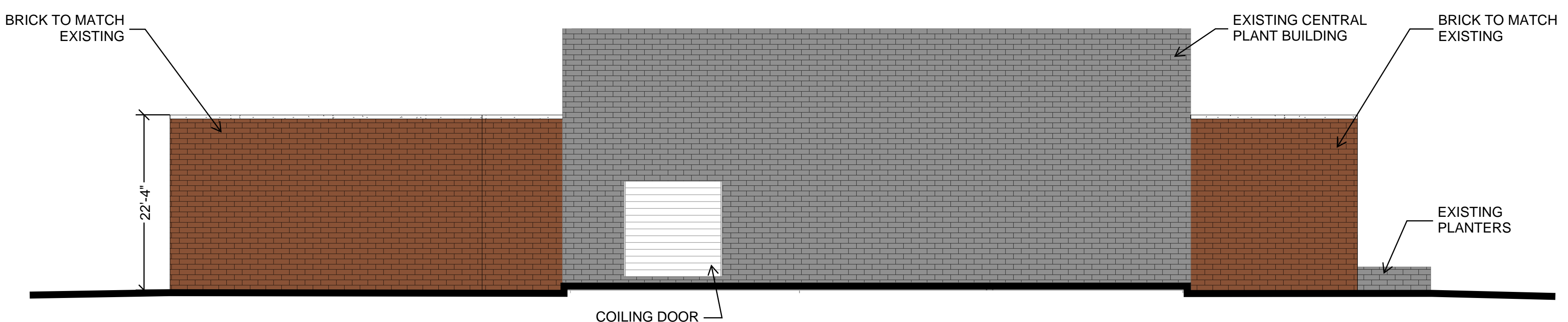


A3 WEST BUILDING ELEVATION - SPRUCE
3/16" = 1'-0"

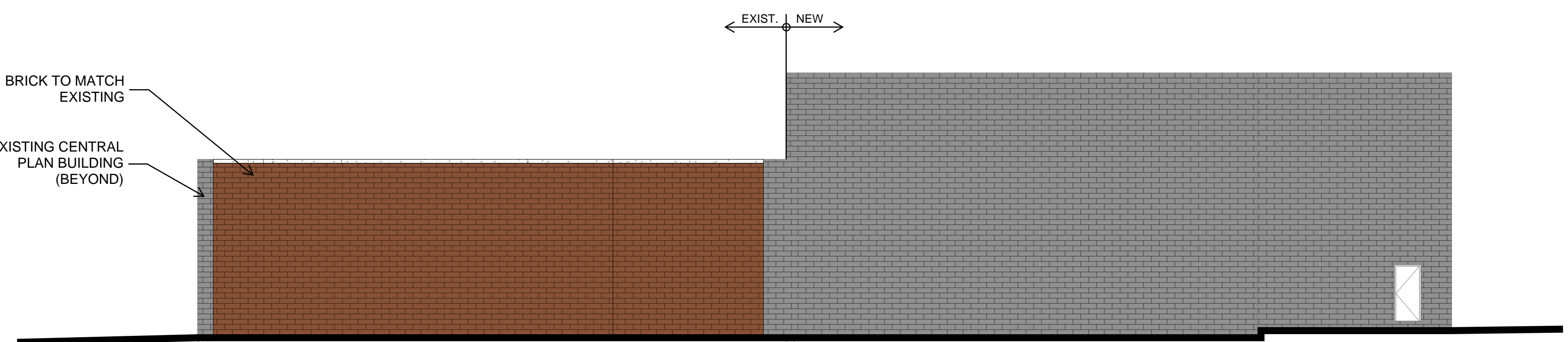




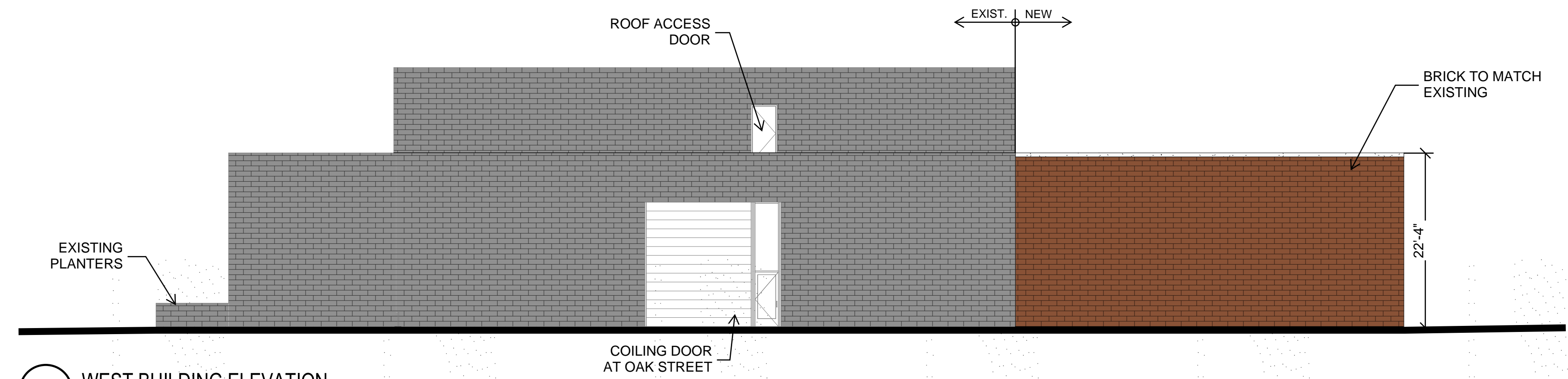
D2 NORTH BUILDING ELEVATION
3/32" = 1'-0"



C2 EAST BUILDING ELEVATION
3/32" = 1'-0"

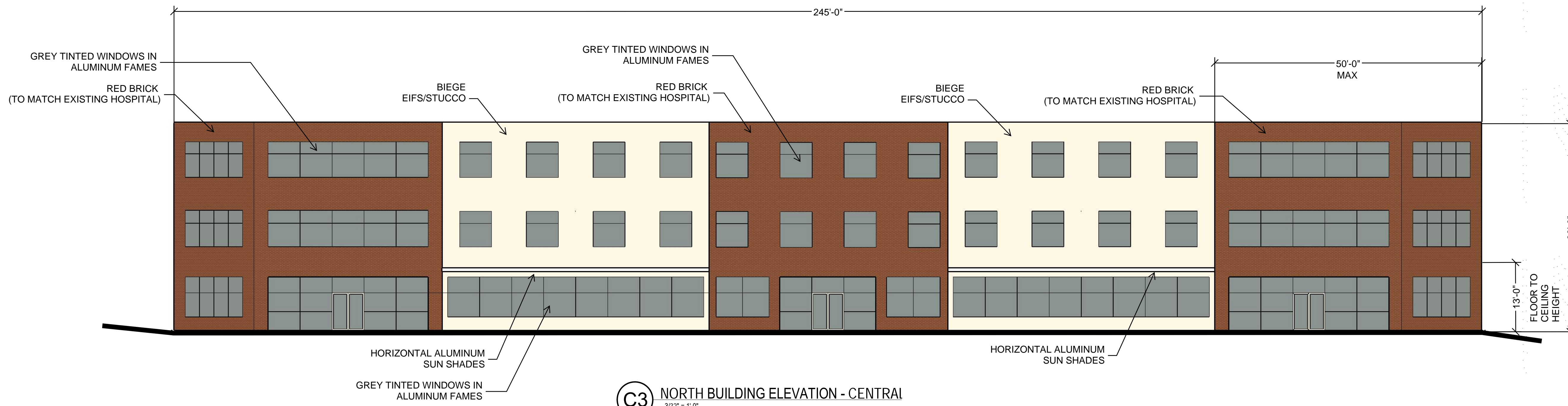


B2 SOUTH BUILDING ELEVATION
3/32" = 1'-0"

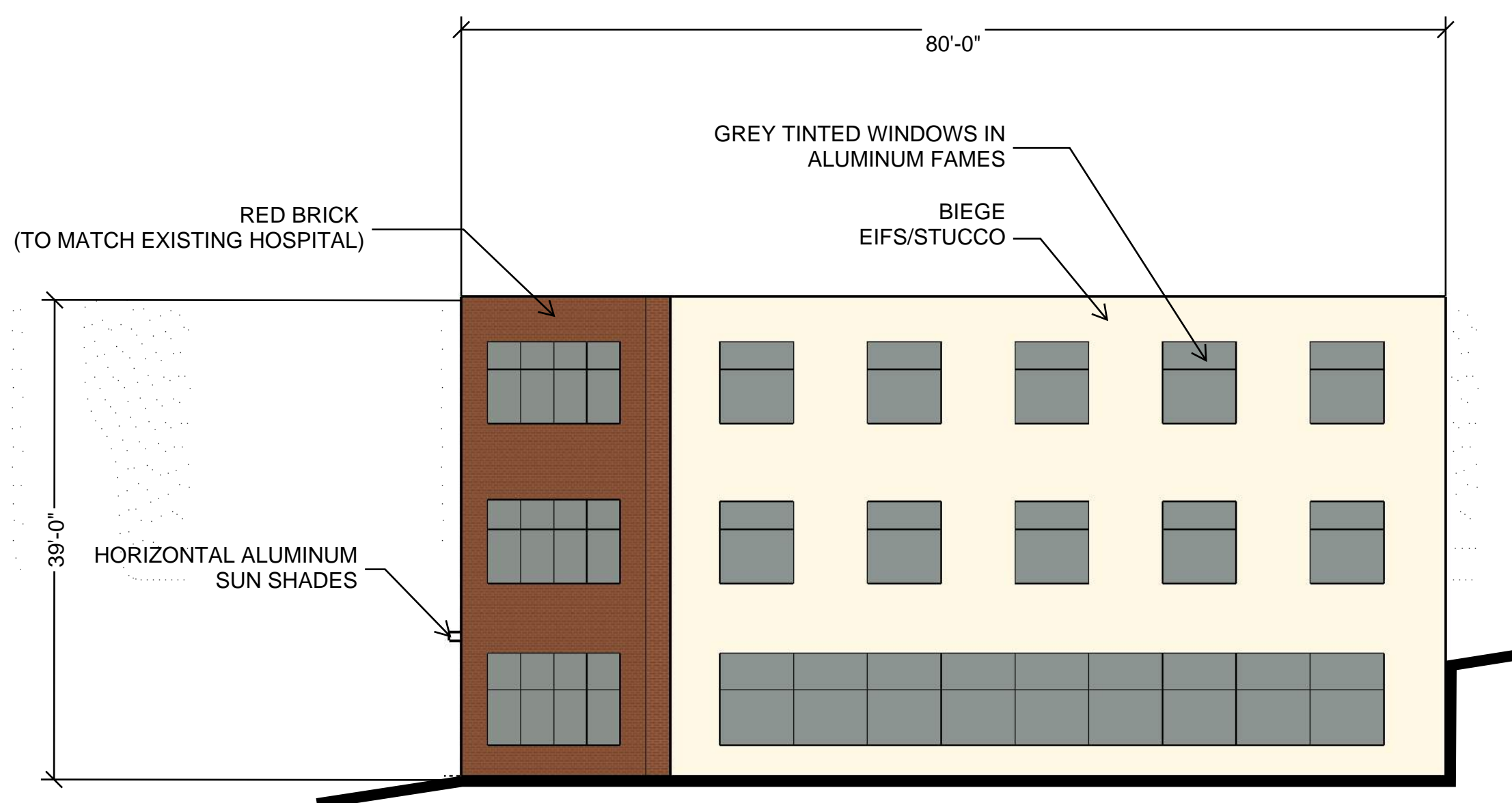


A2 WEST BUILDING ELEVATION
3/32" = 1'-0"

GENERAL NOTE:
FACADES SHALL COMPLY WITH SECTION 5/11(E)(2)



C3 NORTH BUILDING ELEVATION - CENTRAL
3/32" = 1'-0"



A3 WEST BUILDING ELEVATION - SPRUCE
3/32" = 1'-0"

PROJECT

PRESBYTERIAN HOSPITAL SITE
DEVELOPMENT PLAN FOR
BUILDING PERMIT
1100 Central Ave SE
Albuquerque, NM 87106

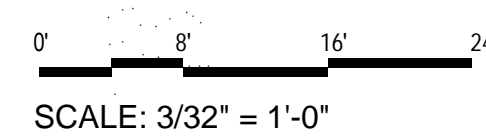
REVISIONS

- △
- △
- △
- △
- △
- △

| | |
|-------------|-------------|
| DRAWN BY | P. MOORE |
| REVIEWED BY | A. SANTI |
| DATE | 10/01/2019 |
| PROJECT NO. | 19-0010.001 |

DRAWING NAME
BUILDING ELEVATIONS

SHEET NO.
SDP5-6





REVISIONS

| | |
|---|--|
| △ | |
| △ | |
| △ | |
| △ | |

DRAWN BY

REVIEWED BY

DATE 10/14/2019

PROJECT NO. 19-0010.011

DRAWING NAME

FIRE 1 PLAN 19-000707
(PHASE 1)
FIRE ACCESS
PLANS CHECKING DIVISION
SOFT COPY
CONSTRUCTION TYPE 1A
SPRINKLER
APPROVED/ DISAPPROVED
DATE 11-6-19

GENERAL NOTES

1. ALL ACCESS ROADS AND FIRE LANES SHALL BE CAPABLE OF SUPPORTING AN IMPOSED LOAD OF A FIRE APPARATUS WEIGHING 75,000 LBS.
2. THE MINIMUM DRIVE ISLE WIDTH SHALL BE 24' UNLESS NOTED OTHERWISE.
3. ALL ACCESS ROADS AND FIRE LANES SHALL ACCOMMODATE A 28' MINIMUM INSIDE TURNING RADIUS.
4. BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS OR BUILDING IDENTIFICATION PLACED IN A POSITION PLAINLY LEGIBLE AND VISIBLE FROM THE STREET.
5. ALL DRIVING SURFACES SHALL NOT EXCEED 10 PERCENT IN GRADE.
6. FIRE DEPARTMENT CONNECTIONS SHALL BE LOCATED WITHIN 100' OF A HYDRANT AND BE UNOBSTRUCTED FROM ANY OBJECT FOR A MINIMUM DISTANCE OF 3'.
7. POST INDICATOR VALVES SHALL BE PROVIDED PER NFPA 13.
8. A KNOX BOX SHALL BE PROVIDED AT THE ENTRANCE OF THE PROPOSED BUILDINGS.
9. CLASS 1 STANDPIPE SYSTEM SHALL BE INSTALLED THROUGHOUT AND THE STANDPIPE FDC SHALL BE LOCATED WITHIN 100' OF A HYDRANT.

PROJECT DATA

HOSPITAL AREA
PHASE 1 ADDITION: 333,442 SQ. FT.
FIRE FLOW CALCULATION AREA: 835,845 SQ. FT.
TOTAL AREA OF LARGEST 3 SUCCESSIVE FLOORS (IFC B104.3)
CONSTRUCTION TYPE: 1A, SPRINKLERED
OCCUPANCY TYPE: I-2, HOSPITAL
AN AUTOMATIC SPRINKLER AND SMOKE DETECTION SYSTEM SHALL BE INSTALLED THROUGHOUT THE BUILDING. SPRINKLER CONTRACTOR TO SUBMIT SHOP DRAWINGS TO THE AUTHORITY HAVING JURISDICTION. FIRE ALARM SYSTEM TO BE PROVIDED.
FIRE FLOW: IFC TABLE B105.1(2) AND B105.2
FIRE FLOW CALCULATION AREA: 835,845 SQ. FT. = 6,000(5) = 3,000 GPM
FIRE HYDRANTS: REQUIRED 3 EXISTING 8 (AVERAGE 400' SPACING)

OPEN GARAGE AREA
FIRE FLOW CALCULATION AREA: 135,214 SQ. FT.
TOTAL AREA OF THE LARGEST FLOOR (IFC B104.3)
CONSTRUCTION TYPE: 1B, NON-SPRINKLERED
FIRE FLOW: IFC TABLE B105.1(2)
FIRE FLOW CALCULATION AREA: 135,214 SQ. FT. = 4,000 GPM
FIRE HYDRANTS: REQUIRED 4 EXISTING 5 (AVERAGE 350' SPACING)

CENTRAL PLANT
FIRE FLOW CALCULATION AREA: 21,727 SQ. FT.
CONSTRUCTION TYPE: 1A, SPRINKLERED
FIRE FLOW: IFC TABLE B105.1(2) AND B105.2
FIRE FLOW CALCULATION AREA: 21,727 SQ. FT. = 1,500(5) = 750 GPM
THE REDUCED FIRE-FLOW SHALL NOT BE LESS THAN 1,000 GPM
FIRE HYDRANTS: REQUIRED 1 EXISTING 3 (AVERAGE 500' SPACING)

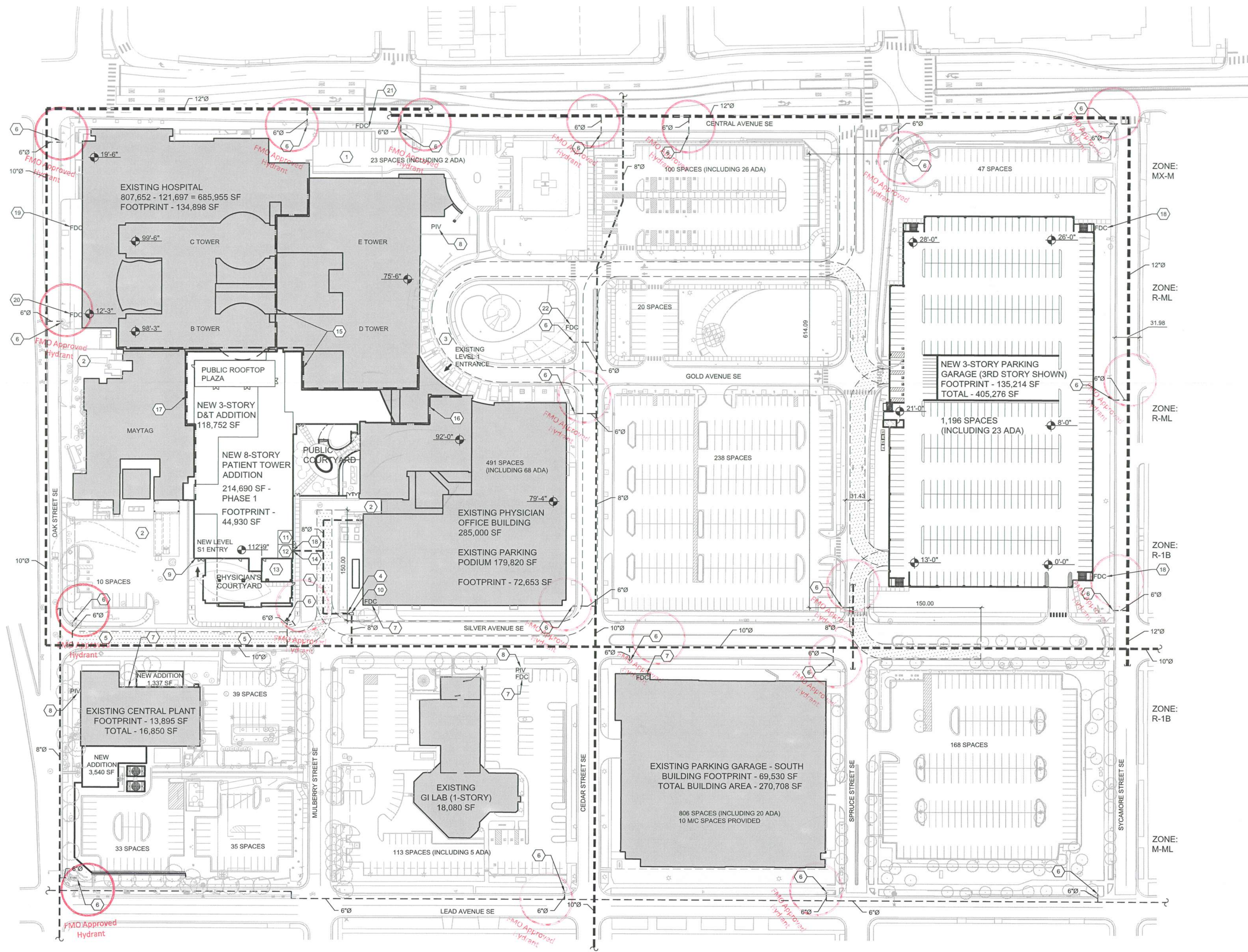
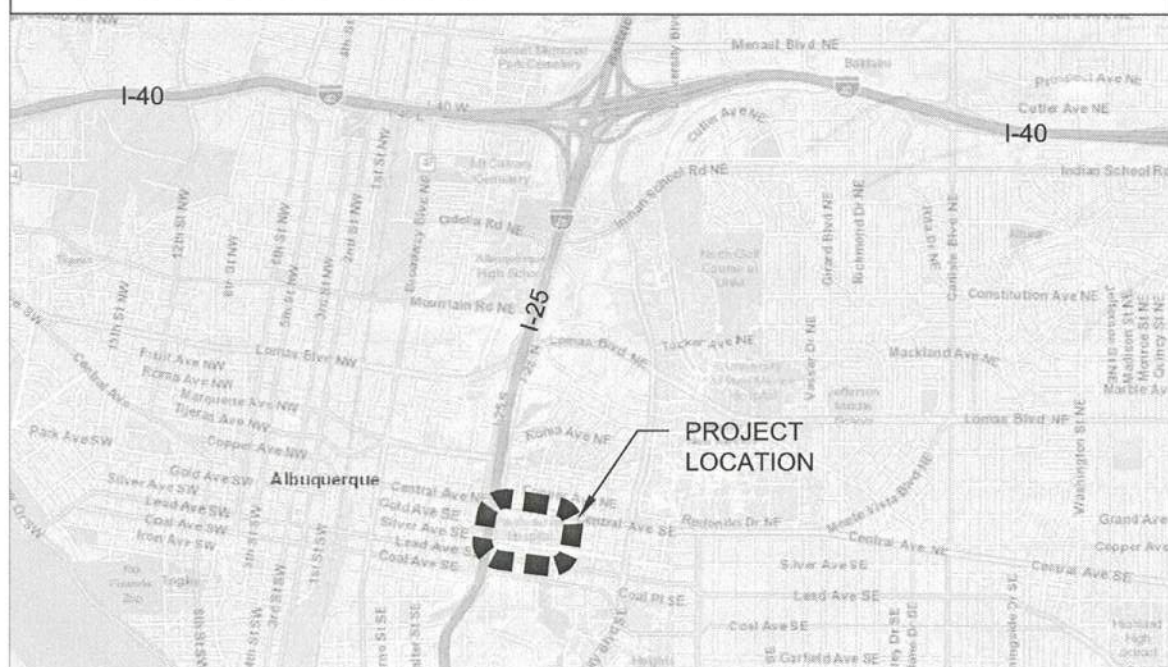
SHEET KEYED NOTES

1. EXISTING AMBULANCE LOADING AREA
2. EXISTING LOADING DOCK
3. EXISTING PATIENT DROP-OFF
4. PROPOSED POST INDICATOR VALVE (PIV)
5. FIRE LANE MARKINGS TO BE APPLIED TO CURBS BOTH SIDES OF THE INDICATED FIRE LANE AND SHALL COMPLY WITH FIRE ORDINANCE 503.3 AND 503.3.1
6. EXISTING FIRE HYDRANT LOCATION
7. EXISTING FIRE DEPARTMENT CONNECTION (FDC)
8. EXISTING POST INDICATOR VALVE (PIV)
9. PROPOSED KNOX BOX LOCATION
10. PROPOSED BACKFLOW PREVENTER
11. PROPOSED FIRE COMMAND CENTER
12. PROPOSED FIRE PUMP ROOM
13. SECONDARY WATER SUPPLY FOR HIGH RISE
14. THE FIRE DEPARTMENT CONNECTION SHALL BE 3' CLEAR OF PARKING. THERE SHALL BE A 5' SEPARATION BETWEEN THE FIRE DEPARTMENT CONNECTION AND THE HYDRANT. THE HYDRANT SHALL BE 3' CLEAR OF PARKING
15. EXISTING 2-HR RATED FIRE SEPARATION
16. EXISTING 3-HR RATED FIRE SEPARATION
17. PROPOSED 2-HR RATED FIRE SEPARATION
18. PROPOSED FIRE DEPARTMENT CONNECTION (FDC)
19. EXISTING COMBINED STANDPIPE/SPRINKLER FDC (C TOWER)
20. EXISTING COMBINED STANDPIPE/SPRINKLER FDC (B TOWER AND MAYTAG)
21. EXISTING STANDPIPE FDC (D&E TOWERS)
22. EXISTING SPRINKLER FDC (D&E TOWERS)

LEGEND

- EXISTING FIRE ACCESS LANE
- - - PROPOSED FIRE ACCESS LANE
- ⊕ FIRE HYDRANT
- FDC FIRE DEPARTMENT CONNECTION (FDC)
- PIV POST INDICATOR VALVE (PIV)
- HEIGHT AS MEASURED FROM THE HIGHEST OCCUPIABLE FLOOR TO THE LOWEST ADJACENT GRADE
- EXISTING 2-HR RATED FIRE SEPARATION
- EXISTING 3-HR RATED FIRE SEPARATION
- - - PROPOSED 2-HR RATED FIRE SEPARATION

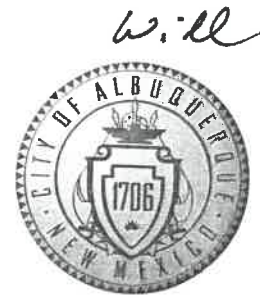
VICINITY MAP



07 PREVIOUS APPROVAL NOD

06 PREVIOUS APPROVAL NOD

CITY OF ALBUQUERQUE



PLANNING DEPARTMENT
URBAN DESIGN & DEVELOPMENT DIVISION
600 2nd Street NW, 3rd Floor, 87102
P.O. Box 1293, Albuquerque, NM 87103
Office (505) 924-3860 Fax (505) 924-3339

OFFICIAL NOTIFICATION OF DECISION

September 13, 2019

RECEIVED

SEP 16 2019

Presbyterian Healthcare Services **Project #2019-002661**
P.O. Box 26666 SI-2019-00250 – Site Plan
Albuquerque, NM 87125-6666

Dekker/Perich/Sabatini

LEGAL DESCRIPTION:

The above action for Tracts 1-A, 2-A, 3-A, 4-A and 9-A, Plat of Tract 1-A, 2-A, 3-A, 4-A and 9-A Presbyterian Hospital-Main Campus; Tracts 5, 6, and 7 Plat of Tracts 1 thru 9 Presbyterian Hospital- Main Campus Phase One; Tract 8-A Correction Plat of Tract 8-A Presbyterian Hospital- Main Campus Phase One, zoned MX-H, located south of Central Ave. SE, north of Lead Ave. SE, east of Oak St. SE, and west of Sycamore St. SE (1100 Central Ave. SE), containing approximately 28 acres. (K-15). Staff Planner: Catalina Lehner

PO Box 1293

Albuquerque On September 12, 2019 the Environmental Planning Commission (EPC) voted to APPROVE Project 2019-002661/SI-2019-00250, a Site Plan-EPC Major Amendment, based on the following Findings and subject to the following Conditions of Approval:

NM 87103 FINDINGS:

1. The request is for a Major Amendment of a Prior Approval of a Site Development Plan for a property known as the Presbyterian Downtown Hospital Campus, located south of Central Avenue SE, north of Lead Avenue SE, east of Oak Street SE, and west of Sycamore Street SE (1100 Central Avenue SE- the "subject site"). The subject site is approximately 28 acres and is owned by Presbyterian Healthcare Services.
2. The request consists of the following four major changes to the existing, governing site development plan:
 1. Additional square footage of 454,000 sf for hospital support and patient rooms in two phases-
 - o Phase I: a 3-story addition (118,752 square feet)
 - o Phase I: an 8-story patient tower on top of the 3-story addition (214,690 square feet); 2-stories/20-feet higher than highest point on existing hospital located directly to the south of the existing hospital.
 - o Phase II: addition to 3-story (120,607 square feet)
 2. Additional square footage of 8,000 sf to the Central Plant mechanical area-

OFFICIAL NOTICE OF DECISION

Project #2019-002661

September 12, 2019

Page 2 of 10

- Phase I: addition (2,750 square feet)
 - Phase II: addition (4,430 square feet)
 - 3. Additional square footage of 405,276 sf for a three-story parking garage with 1196 spaces, Phase I
 - 4. Associated, ancillary site work
- 3. The request exceeds the thresholds for a Minor Amendment, and therefore is being considered pursuant to Section 14-16-6-4(Y)(1)(b)1, which states that Major Amendments shall be reviewed and decided by the decision-making body that issued the approval being amended. The EPC approved the existing site development plan for the subject site prior to effective date of the IDO. Pursuant to IDO Section 14-6-4(P)(2), the decision-making body may impose conditions necessary to bring the application into compliance with the requirements of this IDO.
- 4. The subject site is located in an Area of Change area as designated by the Comprehensive Plan. Located along Central Ave., the subject site is along a Main Street Corridor and is in a Premium Transit Area. Central Ave. is the only street that is currently designated a Premium Transit Corridor.
- 5. The Albuquerque/Bernalillo County Comprehensive Plan, the Integrated Development Ordinance (IDO), and the Sycamore Metropolitan Redevelopment Plan are incorporated herein by reference and made part of the record for all purposes.
- 6. The request generally furthers the following, applicable Goal and policies regarding Centers and Corridors:
 - A. Goal 5.1-Centers & Corridors: Grow as a community of strong Centers connected by a multi-modal network of Corridors.

Policy 5.1.1-Desired Growth: Capture regional growth in Centers and Corridors to help shape the built environment into a sustainable development pattern.

The request would allow new infill development and well-paying employment opportunities to be located along a designated Corridor, a location that is deemed appropriate area to accommodate higher density and intensity of growth over time to facilitate the City's vision for sustainable growth patterns, while reducing development pressures on the urban fringe and established neighborhoods.
 - B. Policy 5.1.2-Development Areas: Direct more intense growth to Centers and Corridors and use Development Areas to establish and maintain appropriate density and scale of development within areas that should be more stable.

As stated above, directing intense healthcare uses into a long established medical campus within a designated Premium Transit Corridor and an Area of Change would ensure that the higher density and intensity of development is absorbed in areas deemed appropriate by the Comprehensive Plan, thereby protecting the stability, density, and scale of established residential neighborhoods and Areas of Consistency.
 - C. Policy 5.1.8-Premium Transit Corridors: Foster corridors that prioritize high capacity, high-frequency transit service, with mixed-use, transit oriented development within walking

OFFICIAL NOTICE OF DECISION

Project #2019-002661

September 12, 2019

Page 3 of 10

distance of transit stations.

The request is a proposed expansion on a designated Main Street and Premium Transit Corridor which promotes higher-density development near the street as intended and transit, thereby helping to shape the environment into a sustainable development pattern. The request increases density, intensity, and capacity along a high-frequency transit service, the Albuquerque Rapid Transit (ART) by providing additional uses to include more health-related services within walking distance of a transit station. The location of the increased capacity across from the expected hotel, multi-family, commercial mixed-use development should deliver a synergy intended along this corridor.

7. The request furthers the following Comprehensive Plan Goals and policies pertaining to development patterns:

Goal 5.3-Efficient Development Patterns: Promote development patterns that maximize the utility of existing infrastructure and public facilities and the efficient use of land to support the public good.

Policy 5.3.1-Infill Development: Support additional growth in areas with existing infrastructure and public facilities.

Infilling more intense healthcare services into an established medical campus with existing city infrastructure, which can be easily served by transit, leverages public and private investments.

Policy 5.3.3-Compact Development: Encourage development that clusters buildings and uses in order to provide landscaped open space and/or plazas and courtyards.

The request proposes an increase in density and services along existing high-capacity corridors including Central Avenue and Interstate-25, which promotes a development pattern that maximizes these existing public facilities and infrastructure. In addition, this request encourages the clustering of buildings and increases the height of existing buildings in order to provide landscaped open space on-site.

8. The request generally furthers Goal 5.6, Policy 5.6.2, and Policy 5.6.4 as follows:

Goal 5.6-City Development Areas: Encourage and direct growth to Areas of Change where it is expected and desired and ensure that development in and near Areas of Consistency reinforces the character and intensity of the surrounding area.

Policy 5.6.2-Areas of Change: Direct growth and more intense development to Centers, Corridors, industrial and business parks, and Metropolitan Redevelopment Areas where change is encouraged.

Policy 5.6.4 -Appropriate Transitions: Provide transitions in Areas of Change for development abutting Areas of Consistency through adequate setbacks, buffering, and limits on building height and massing.

The subject site is located in a designated Area of Change, identified by the Comp Plan as an appropriate location for the development of higher density and intensity growth that can be supported by multi-modal transportation. The intent is specifically to focus on “new urban-scale development that benefits job creation and expanded housing options” so that additional

OFFICIAL NOTICE OF DECISION

Project #2019-002661

September 12, 2019

Page 4 of 10

residents, services, and jobs can be accommodated in locations ready for new development.

The request directs more intense healthcare services to a designated Premium Transit Corridor in an Area of Change, areas where higher density and intensity development is desired and encouraged, and best-served with transit and other infrastructure. Allowing healthcare services within these areas encourages development that expands well-paying employment opportunities that are easily accessed by a variety of travel modes.

The subject site is also located in, and encouraging development and change in, the Sycamore Metropolitan Redevelopment Area. The subject site provides an appropriate transition from Central Avenue where Areas of Change are largely located to the Areas of Consistency in the surrounding neighborhoods through setbacks buffering and limiting the height of the proposed parking garage. Because the subject site is located near many intense uses including a Premium Transit Corridor, Interstate-25, Downtown, UNM, and CNM, it is an appropriate location for higher development and density.

9. The request furthers the following Goal and policies regarding Transportation:

Goal 6.1-Transportation Integration: Plan, develop, operate, and maintain a transportation system to support the planned character of existing and future land uses.

Policy 6.1.3-Auto Demand: Reduce the need for automobile travel by increasing mixed-use development, infill development within Centers, and travel demand management (TDM) programs.

Policy 6.1.2-Transit-Oriented Development: Prioritize transit-supportive density, uses, and building design along Transit Corridors.

The subject site is located on Central Avenue, currently the only Premium Transit Corridor in the City. Therefore, increasing transit-supportive density, intensity, and capacity, including jobs and hospital users in this location, as opposed to locations on other corridors, generally reduces the need for automobile travel and increases infill development.

10. The request furthers the following Goal and policy pairs regarding Urban Design:

- A. Goal 7.3-Sense of Place: Reinforce sense of place through context-sensitive design of development and streetscapes.

Policy 7.3.5-Development Quality: Encourage innovative and high quality design in all development.

The project will reinforce the streetscape with the architectural additions and will provide open space through the interior of the campus which provides a sense of place. Though the applicant is generally proposing high quality materials, IDO requirements regarding provision of outdoor space and building façade design are not met.

- B. Goal 7.4-Context-Sensitive Parking: Design parking facilities to match the development context and complement the surrounding built environment.

Policy 7.4.1-Parking Strategies: Provide parking options, optimize parking efficiencies, and plan for parking as essential infrastructure.

OFFICIAL NOTICE OF DECISION

Project #2019-002661

September 12, 2019

Page 5 of 10

The project will include context sensitive parking by providing a parking garage with high quality materials that will complement the surrounding built environment, though façade design needs to meet IDO requirements. The structure will provide parking options by providing essential parking infrastructure to support the hospital functions.

11. The request does not further the following Goal and policy regarding walkability:

Goal 7.2 Pedestrian-Accessible Design: Increase walkability in all environments, promote pedestrian-oriented development in urban contexts, and increase pedestrian safety in auto-oriented contexts.

Policy 7.2.1 Walkability: Ensure convenient and comfortable pedestrian travel.

The project will increase development in a generally walkable environment; however, proposed crosswalks are striped and do not meet IDO requirements. The project also includes a large parking garage near Central Avenue, which creates a “dead” use in a Premium Transit area significant for pedestrians. The IDO requires a maximum setback of 15-feet from Central Avenue, a Main Street Corridor, to promote walkability but the applicant is proposing an unspecified future commercial building that may not be developed.

12. Conditions of approval are needed to create compliance with applicable IDO regulations and to provide clarification and to ensure that all applicable requirements are met.
13. The applicant notified the Silver Hill Neighborhood Association, the Spruce Park Neighborhood Association, the Sycamore Neighborhood Association, the University Heights Neighborhood Association, the Victory Hills Neighborhood Association, the Edo Neighborhood Association, and the Huning Highland Historic District Association, as required. The applicant also notified property owners within 100-feet of the subject site’s boundaries, as required. Staff has not been contacted as of this writing.
14. The applicant conducted three neighborhood meetings on June 26th, July 1st, and July 17th of 2019 prior to application. Most of the concerns focused on the proposed parking garage, as well as general safety, noise, and traffic impacts to the adjacent neighborhoods.

CONDITIONS OF APPROVAL:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB) to ensure all technical issues are resolved. The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. The applicant shall meet with the Staff planner prior to applying to the DRB to ensure that all conditions of approval are met. Upon receiving final approvals, the applicant shall submit a finalized version of the site plan for filing at the Planning Department.

OFFICIAL NOTICE OF DECISION

Project #2019-002661

September 12, 2019

Page 6 of 10

3. Setbacks:

The request shall comply with the Mixed-Use Zone District Dimensional Standards in Table 5-1-2, particularly the maximum front setback of 15-feet along Central Avenue, by doing one of the following: A Variance-EPC, moving the parking garage to meet the requirement, or including a structure (that meets the IDO definition of a structure) that will be constructed as part of the site plan.

4. Neighborhood Edges:

A. The parking garage shall comply with Section 5-9-(C), Building Height Stepdown, and not exceed 30 feet in height.

B. A note shall be added to the site plan to explain how the compliance is shown on the elevations.

5. Pedestrian Circulation:

A. The crosswalks shall comply with Section 5-3-(D)(3)(C) regarding appropriate materials for crosswalks.

B. The crosswalk detail shall be updated accordingly.

6. Parking Calculations:

A. The parking calculations shall be revised to incorporate the appropriate parking provision rates in the IDO.

B. The accessible parking calculations shall be revised to include the accessible parking with the regular parking pursuant to 5-5(C)(7).

C. The motorcycle parking calculations shall be redone and the required motorcycle parking provided pursuant to IDO 5-5(D).

7. Parking Area Design:

A. The parking structure shall be designed using CEPTED principles as required in Section 5-5(G); see conditions from the Police Department.

B. Loading spaces shall be shown on the site plan and compliance with the requirements in Section 5-5(H), regarding layout and design of loading areas, demonstrated.

8. Walls:

A. The proposed, new walls shall comply with the wall design requirements in 5-7(E).

B. A front-facing wall detail shall be provided.

9. Lighting: The maximum, allowable height for light poles in the mixed-use zone districts, 20 feet pursuant to IDO 5-8-(D)(7), shall be indicated on the light pole detail.

OFFICIAL NOTICE OF DECISION

Project #2019-002661

September 12, 2019

Page 7 of 10

10. Outdoor Gathering Areas:

- A. The applicant shall provide outdoor gathering areas required in PT areas pursuant to Section 5-11(E)(3).
- B. Calculations for the outdoor gathering areas shall be provided.

11. Landscaping:

- A. A calculation shall be provided demonstrate compliance with the definition of Vegetative Screen, which is required pursuant to Section 5-6(E)(2)(b), in PT areas. Additional plants shall be added if the vegetative screen is less than 75% opaque, as required.
- B. The width of the landscape buffer along Lead Ave. SE shall be clarified and meet applicable requirements, including amount of plant material.
- C. Only female juniper shall be used (Pollen Ordinance).
- D. Landscaping beds shall be depressed below grade.
- E. A curb cut detail shall be provided.
- F. Curb cuts shall be labeled and match locations on the grading and drainage plan(s).

12. Street Trees:

- A. The applicant shall coordinate with the City Forester regarding street trees, especially along Silver Ave., including a survey of street trees, removal of dead or near-dead trees, and evaluation of the irrigation system to ensure tree health over time.
- B. Street trees shall be replaced as necessary and comply with the IDO and the Street Tree Ordinance.

13. Façade Design

- A. The proposed parking garage shall incorporate additional design elements to comply with Section 5-5(G)(3) and 5-5(G)(4).
- B. The color of the panels on the parking garage shall be specified (not earthtone).

14. CONDITIONS FROM THE CITY ENGINEER/TRANSPORTATION:

- Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed development site plan, as required by the Development Review Board (DRB).
- Site plan shall comply and be in accordance with all applicable City of Albuquerque requirements, including the Development Process Manual and current ADA criteria.

The following comments need to be addressed prior to DRB:

- Please list the width and length for all existing and proposed parking spaces. If they are all the same list as typical.

OFFICIAL NOTICE OF DECISION

Project #2019-002661

September 12, 2019

Page 8 of 10

- The ADA accessible spaces must include an access aisle. Van accessible aisles should be 8ft wide; all others should be 5ft wide.
- The ADA parking spaces should each have an accessible parking sign and must have the required language per 66-7-352.4C NMSA 1978 "Violators Are Subject to a Fine and/or Towing." Please call out detail and location of HC signs.
- The ADA access aisles shall have the words "NO PARKING" in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978)
- List radii for all curves shown; for passenger vehicles, the minimum end island radius for passenger vehicles is 15 ft. Radius for delivery trucks, fire trucks, etc. is 25 ft. or larger.
- Per DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the HC parking stall access aisles to the building entrances. Please clearly show this pathway and provide details.
- Please provide a copy of approval from Solid Waste.

On the west side of Mulberry Street just south of Silver Avenue, provide sidewalk connection around power pole at the driveway access and a new 4-foot ADA pathway. Reconstruct this access prior to final plat approval or provide infrastructure list showing improvement.

15. CONDITION FROM NMDOT:

Possible Impacted NMDOT roadway(s): I-25 & Central Interchange & Oak St Department. The NMDOT is requiring the owner and engineering consultant to continue coordination with NMDOT Assistant Traffic Engineer Margaret Haynes 505-288-2086 Margaret.haynes@state.nm.us on the proposed improvements and potential offsite improvements.

16. CONDITIONS FROM HYDROLOGY:

- A. Hydrology recommends that final signoff of this Site Plan be delegated to the Development Review Board in order to identify Infrastructure requirements, project phasing, and conformance with the Flood Hazard and Drainage Control Ordinance.
- B. The grading plan included in the Site Plan is insufficient in addressing the above concerns; a more detailed plan will be required prior to DRB approval.

17. CONDITION FROM THE SOLID WASTE MANAGEMENT DIVISION:

Clearly indicate all existing refuse areas within the proposed addition areas on Site Plan (Pg. SDP 1-1) to verify continued, safe refuse truck access.

18. CONDITIONS FROM THE POLICE DEPARTMENT:

- A. Ensure adequate lighting throughout the project – exterior lighting on the Community Center and any future building(s).
- B. Ensure adequate lighting throughout the project, to include parking areas, pedestrian

OFFICIAL NOTICE OF DECISION

Project #2019-002661

September 12, 2019

Page 9 of 10

walkways, and courtyards.

- C. Ensure natural surveillance and clear lines of sight throughout the facility. Natural surveillance requires a space free from natural and physical barrier (i.e. open picket vs. solid fences). Establish a clear line of sight from the parking areas to the street and the buildings and from the buildings and street the parking areas.
- D. Limit and clearly delineate access to the property; i.e. Employee Parking, Visitor Parking, Deliveries.
- E. Clearly delineate public, semi-public, semi-private, and private space throughout the project.
- F. Install *No Trespassing* signs that cite the City Ordinance so that they are visible immediately upon entering the property.
- G. Consider installing electronic surveillance (cameras) to monitor entrance and exit points, parking areas, Central Plant and other potential high theft areas.

19. CONDITIONS FROM PNM:

- A. This project may impact electric substation capacity needs for the surrounding area. As a condition, it is necessary for the developer to contact PNM's New Service Delivery Department early in the process to coordinate electric service regarding the project to avoid potential delays in meeting in-service target dates. Contact:
Andrew Gurule, PNM Service Center
4201 Edith Boulevard NE Albuquerque, NM 87107
Phone: (505) 241-0589
- B. There is an existing overhead electric distribution line and an underground distribution line located along the north side of the alley between Silver SE and Lead SE within the area of the proposed new addition to the Central Plant. The electric lines should be indicated on Sheet SDPI-2.
- C. Any relocation, changes or realignment regarding existing electric utilities will be the developer's expense. In some cases, relocation or changes to existing facilities may not be feasible due to physical, use or safety clearance constraints. PNM will review all technical needs, issues and safety clearances for its electric systems.
- D. It is necessary for the applicant to coordinate with PNM's New Service Delivery to ensure that compliance with the National Electrical Safety Code for both horizontal and vertical clearances are met between the existing distribution line and the proposed building footprint. The customer must also ensure applicable OSHA safe working clearance requirements for employees and equipment with respect to PNM's lines are met during and after construction of the building.

For relocations of overhead and underground electrical equipment, please contact:

Mike Moyer, PNM Service Center

4201 Edith Boulevard NE, Albuquerque, NM 87107, Phone: (505) 241-3697.

Will

OFFICIAL NOTICE OF DECISION
Project #2019-002661
September 12, 2019
Page 10 of 10

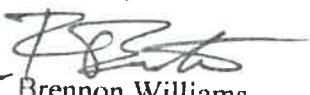
RECEIVED
SEP 16 2019
Dekker/Perich/Sabatini

APPEAL: If you wish to appeal this decision, you must do so within 15 days of the EPC's decision or by **SEPTEMBER 27, 2019**. The date of the EPC's decision is not included in the 15-day period for filing an appeal, and if the 15th day falls on a Saturday, Sunday or Holiday, the next working day is considered as the deadline for filing the appeal.

For more information regarding the appeal process, please refer to Section 14-16-6 of the IDO, Administration and Enforcement. A Non-Refundable filing fee will be calculated at the Land Development Coordination Counter and is required at the time the appeal is filed. It is not possible to appeal EPC Recommendations to City Council; rather, a formal protest of the EPC's Recommendation can be filed within the 15 day period following the EPC's recommendation.

You will receive notification if any person files an appeal. If there is no appeal, you can receive Building Permits at any time after the appeal deadline quoted above, provided all conditions imposed at the time of approval have been met. Successful applicants are reminded that other regulations of the City Zoning Code must be complied with, even after approval of the referenced application(s).

Sincerely,


for Brennan Williams
Planning Director

BW/CL

- cc: Presbyterian Healthcare Services, P.O. Box 26666, ABQ, NM 87125-6666
- Dekker/Perich/Sabtini (DPS), Attn: Will Gleason, 7601 Jefferson NE, Suite 100, ABQ, NM 87109
- Silver Hill NA, James Montalbano, 1409 Silver Ave. SE, ABQ, NM 87106
- Silver Hill NA, Jill Marley Berry, 1906 Silver Ave. SE, ABQ, NM 87106
- Spruce Park NA, Peter Feibelman, 1401 Sigma Chi Rd. NE, ABQ, NM 87106
- Spruce Park NA, James Tolbert, 424 Spruce St. NE, ABQ, NM 87106
- Sycamore NA, Peter Schilke, 1217 Coal Ave. SE, ABQ, NM 87106
- Sycamore NA, Mardon Gardelia, 411 Maple St. NE, ABQ, NM 87106
- University Heights NA, Julie Kidder, 120 Vassar Dr. SE, ABQ, NM 87106
- University Heights NA, Don Hancock, 105 Stanford Dr. SE, ABQ, NM 87106
- Victory Hills NA, Patricia Wilson, 505 Dartmouth Dr. SE, ABQ, NM 87106
- Victory Hills NA, Erin Engelbrecht, P.O. Box 40298, ABQ, NM 87196
- Edo NA, Inc., Rob Dickson, P.O. Box 27439, ABQ, NM 87125
- Edo NA, Inc., Vince DiGregory, P.O. Box 14616, ABQ, NM 87191
- Huning Highland Historic Dist. Association, Bonnie Anderson, 321 High St. SE, ABQ, NM 87102
- Huning Highland Historic Dist. Association, Ann Carson, 416, Walter St. SE, ABQ, NM 87102
- Alan Varela, avarela@cabq.gov

08 PROPOSED SITE PLAN - APPLICABLE SHEETS



REVISIONS

| | |
|------------|-------------|
| 05/27/2022 | AA REVISION |
| ▲ | |
| ▲ | |
| ▲ | |
| ▲ | |

| | |
|--------------|----------------|
| DRAWN BY | TC |
| REVIEWED BY | MB |
| DATE | 07/25/2019 |
| PROJECT NO. | 19-0010.001 |
| DRAWING NAME | LANDSCAPE PLAN |

LANDSCAPE PLAN

GENERAL NOTES

- RESPONSIBILITY FOR MAINTENANCE: THE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTENANCE OF THE LANDSCAPE DURING CONSTRUCTION AND DURING A 90 DAY-MAINTENANCE PERIOD FOLLOWING SUBSTANTIAL COMPLETION. THE OWNER WILL BE RESPONSIBLE FOR MAINTENANCE FOLLOWING THE 90-DAY MAINTENANCE PERIOD.
- STATEMENT OF COMPLIANCE WITH CITY OF ALBUQUERQUE: THE LANDSCAPE DESIGN WILL COMPLY WITH THE CITY OF ALBUQUERQUE'S GENERAL LANDSCAPING REGULATIONS AND WATER CONSERVATION ORDINANCES.
- TIMING OF LANDSCAPE INSTALLATION: INSTALLATION OF THE LANDSCAPING SHALL BE COMPLETE WITHIN 60 DAYS OF THE RELATED BUILDING'S OCCUPANCY.
- SURFACE TREATMENT: ALL LANDSCAPE AREAS SHALL BE COVERED WITH MULCH.
- ALL AREAS DISTURBED DURING CONSTRUCTION, INCLUDING AREAS NOT WITHIN THE PROPERTY LINE, WILL BE STABILIZED.
- MINIMUM PLANT SIZES ARE AS PER CITY OF ALBUQUERQUE STANDARDS: 2" CALIPER TREES, 6" HEIGHT CONIFERS, AND 1 GALLON SHRUBS.
- ROOF DRAINS: SURFACE DRAINAGE OFF DOWNSPOUTS SHALL BE DIRECTED AWAY FROM BUILDINGS INTO LANDSCAPE AREAS OR ENGINEERED DRAINAGE SYSTEM. REFER TO CIVIL.
- VEGETATIVE SCREENING SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS SHALL ALLOW 10' OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5' OF CLEARANCE ON THE REMAINING SIDES FOR SAFE OPERATION AND MAINTENANCE.
- CONTRACTOR IS TO VERIFY ALL EXISTING UTILITY LOCATIONS BEFORE EXCAVATION AND PLANTING.
- NEW PLANTINGS DO NOT INCLUDE HIGH WATER TURF.
- THE ABILITY TO PROVIDE STREET TREES IS LIMITED BY UTILITY EASEMENTS AND EXISTING UTILITIES.
- ORGANIC BARK MULCH IS PROVIDED AT EACH TREE FROM ROOT BALL EXTENDING OUT TO DRIPLINE PER CITY OF ALBUQUERQUE IDO 14-16-5-6(C)(5)(b)
- LANDSCAPE BEDS SHALL BE DEPRESSED BELOW ADJACENT SIDEWALK GRADE.

IRRIGATION NOTES

- ALL PLANTINGS SHALL BE IRRIGATED BY AUTOMATED IRRIGATION SYSTEMS, WITH PROGRAMMABLE SETTINGS, AUTOMATED SMART CONTROLLER, AND MOISTURE SENSOR TO AVOID OVERWATERING.
- IRRIGATION TO EXISTING PLANTINGS TO REMAIN SHALL REMAIN OPERATIONAL.
- THE IRRIGATION SYSTEMS SHALL NOT IRRIGATE IMPERVIOUS SURFACES, INCLUDING SIDEWALKS, DRIVEWAYS, STREETS AND PARKING OR LOADING AREAS.
- IRRIGATION POINTS OF CONNECTION TO THE CITY WATER WILL BE LOCATED WITHIN PROPERTY LINES AND SHALL COMPLY WITH THE CITY OF ALBUQUERQUE REDUCED PRESSURE BACKFLOW PREVENTER STANDARDS AND SPECIFICATIONS.
- RUN TIMES AND IRRIGATION ZONES SHALL BE BASED UPON PLANT SPECIES AND THEIR ESTABLISHMENT. RUN TIMES SHALL BE REGULARLY ADJUSTED ACCORDING TO PLANT MATURITY, SEASON, LOCATION AND PERFORMANCE.
- WHERE POSSIBLE NEW IRRIGATION WILL BE CONNECTED TO AN EXISTING SYSTEM. THERE ARE MULTIPLE IRRIGATION SYSTEMS ACROSS THE CAMPUS.
- IRRIGATION SYSTEM CONNECTIONS AND MAINLINES WILL BE LOCATED OUTSIDE OF FUTURE WORK ZONES.
- PER CITY OF ALBUQUERQUE STANDARD IRRIGATION SPECIFICATIONS, THERE WILL BE (3) 0.25 GPM BUBBLERS PER TREE AND (1) 0.25 GPM BUBBLER PER SHRUB.

LEGEND

| SYMBOL | NOTES |
|--------|--|
| | GRAVEL MULCH LANDSCAPE AREA |
| | ORGANIC MULCH LANDSCAPE AREA |
| | GRAVEL MULCH LANDSCAPE AREA IN R.O.W. (EXCLUDED FROM LANDSCAPE CALCULATIONS) |
| | EXISTING TREE TO REMAIN |
| | TABLE AND SEATING |
| | PROPERTY LINE |
| | CAMPUS BOUNDARY |
| | PARKING LOT BOUNDARY |

*GRAVEL MULCH WILL NOT EXCEED 50% OF PLANTING BED COVERAGE PER CITY OF ALBUQUERQUE IDO 14-16-5-6(C)(5)(c)

LANDSCAPE CALCULATIONS

GROSS LOT AREA = 26.33 AC = 1,147,082 SF
 AREA OF LOT COVERED BY BUILDING FOOTPRINT = 536,715 SF
 NET LOT AREA = 610,367 SF
 REQUIRED LANDSCAPE AREA = 61,037 SF (10% OF NET LOT AREA)
 EXISTING LANDSCAPE AREA = 156,093 SF
 LANDSCAPE BEING REMOVED = 51,209 SF
 LANDSCAPE BEING ADDED = 52,887 SF
 PROVIDED LANDSCAPE AREA EXISTING TO REMAIN + NEW = 157,571 SF (25% OF NET LOT AREA)
 (see hatch legend for exclusions from landscape areas)

REQUIRED STREET TREES
 REQUIRED STREET TREES = 1 TREE PER 25' LINEAR FEET OF STREET FRONTAGE

STREET TREES
 SYCAMORE STREET FRONTAGE = 567'
 TREES REQUIRED = 23
 TREES PROVIDED = 23

SPRUCE STREET FRONTAGE = 569'
 TREES REQUIRED = 23
 TREES PROVIDED = 17 (9 ADDITIONAL TREES SHOWN NORTH OF STRUCTURE)

SILVER AVE FRONTAGE (NORTH SIDE, OAK TO MULBERRY) = 300'
 TREES REQUIRED = 12
 TREES PROVIDED = 0, NEW UTILITY EASEMENT THROUGH THIS AREA

SILVER AVE FRONTAGE (NORTH SIDE, SPRUCE TO SYCAMORE) = 300'
 TREES REQUIRED = 12
 TREES PROVIDED = 12

SILVER AVE FRONTAGE (SOUTH SIDE, OAK TO MULBERRY, UTILITIES NEAR CORNER) = 300'
 TREES REQUIRED = 12
 TREES PROVIDED = 4 (UTILITIES UNDER PARKWAY LANDSCAPE AREA)

SILVER AVE FRONTAGE (SOUTH SIDE, MULBERRY TO EAST LIMIT OF DISTURBANCE) = 109'
 TREES REQUIRED = 5
 TREES PROVIDED = 2 (+1 EXISTING TREE TO REMAIN, UTILITIES NEAR CORNER)

MULBERRY ST (WEST SIDE, PARKING LOT ENTRY TO SILVER AVE) = 156'
 TREES REQUIRED = 7
 TREES PROVIDED = 5 (UTILITIES NEAR CORNER OF MULBERRY & SILVER)

MULBERRY ST (EAST SIDE, PARKING LOT ENTRY TO SILVER AVE) = 122'
 TREES REQUIRED = 5
 TREES PROVIDED = 5 (UTILITIES NEAR CORNER OF MULBERRY & SILVER)

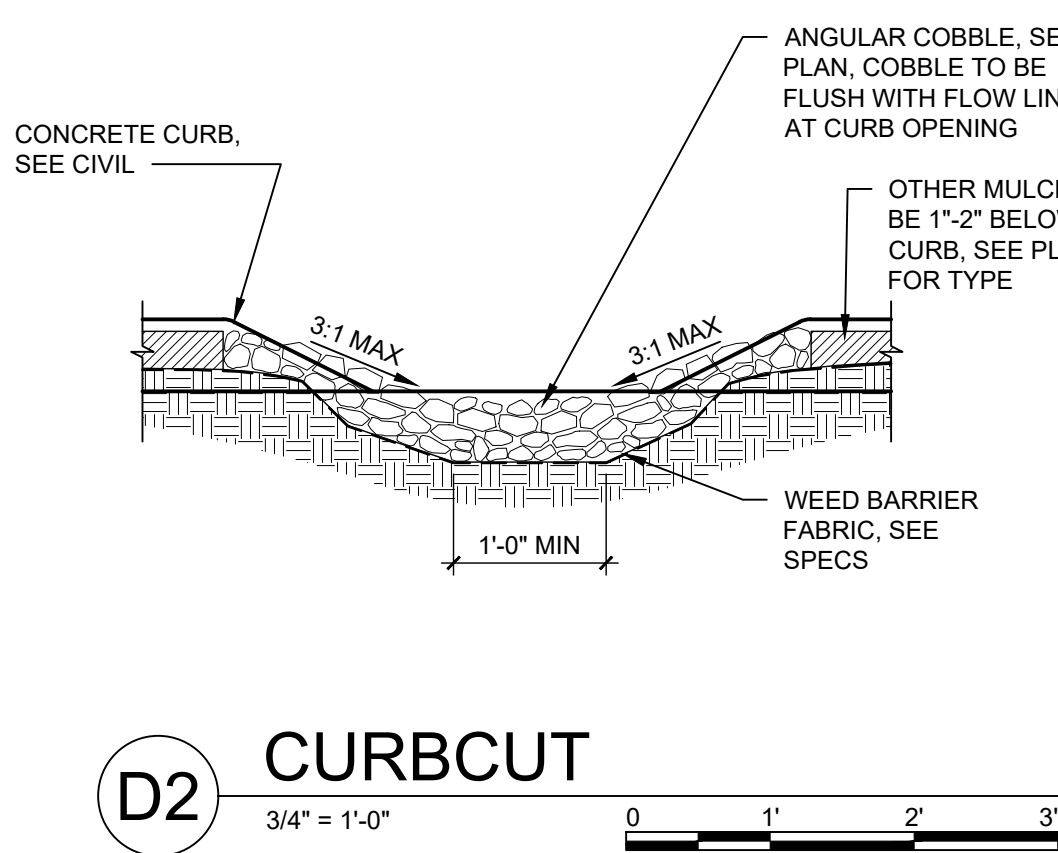
REQUIRED VEGETATIVE COVERAGE
 TOTAL VEGETATIVE COVER REQUIRED = 37,495 SF (75% OF NEW LANDSCAPE AREA)
 TOTAL VEGETATIVE COVER PROVIDED = 46,459 SF (92% OF NEW LANDSCAPE AREA)

TOTAL GROUND-LEVEL PLANT COVER REQUIRED = 12,498 SF (25% OF LANDSCAPE AREA)
 TOTAL GROUND-LEVEL PLANT COVER PROVIDED = 15,119 SF (30% OF LANDSCAPE AREA)

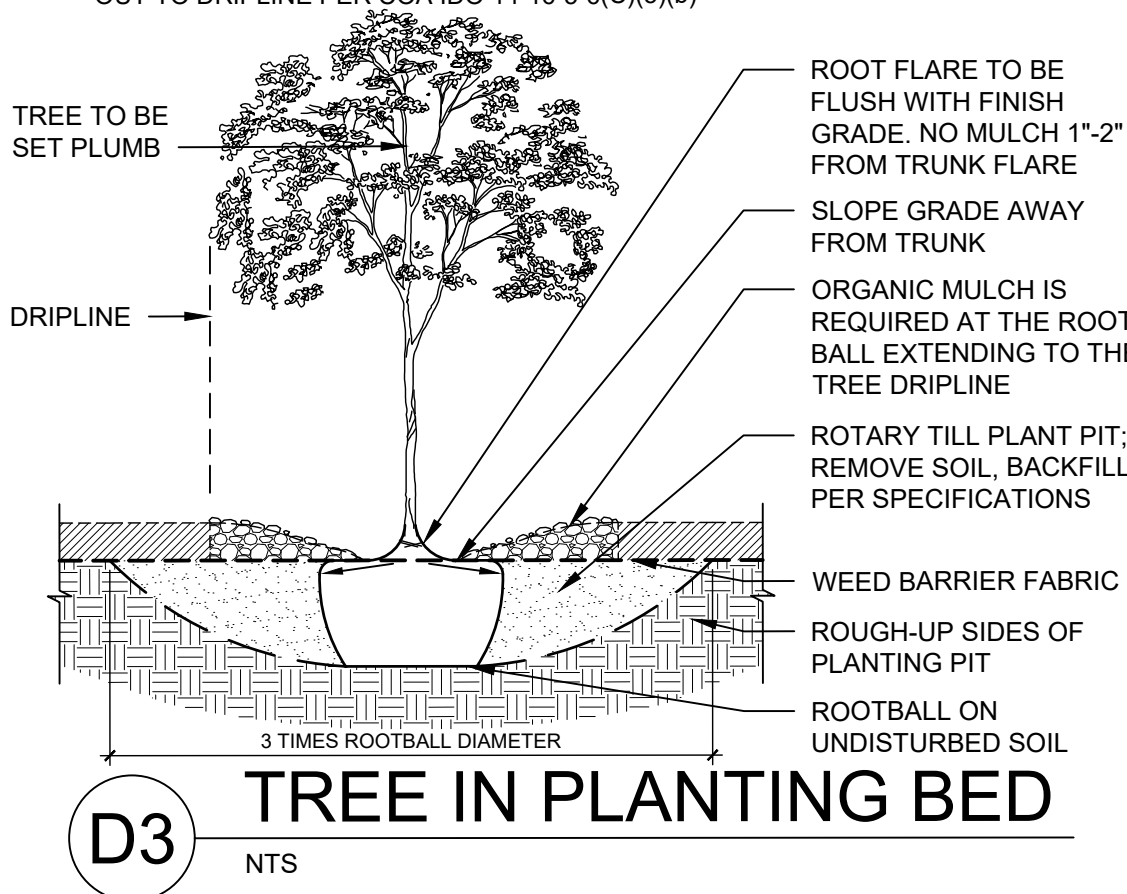
ROCK MULCH COVERAGE
 TOTAL ROCK MULCH COVER ALLOWED = 24,997 SF (50% OF LANDSCAPE AREA)
 TOTAL ROCK MULCH COVER PROVIDED = 24,849 SF (49% OF LANDSCAPE AREA)

| | | |
|---|--|---|
| SURFACE PARKING LOT AREA #1 TOTAL AREA = 6,247 SF TOTAL # OF SPACES = 10 TREE REQUIRED: 1 TREES PROVIDED: 1 | SURFACE PARKING LOT AREA #2 TOTAL AREA = 20,411 SF TOTAL # OF SPACES = 33 TREE REQUIRED: 4 TREES PROVIDED: 5 | SURFACE PARKING LOT AREA #3 TOTAL AREA = 5,306 SF TOTAL # OF SPACES = 18 TREE REQUIRED: 2 TREES PROVIDED: 2 |
|---|--|---|

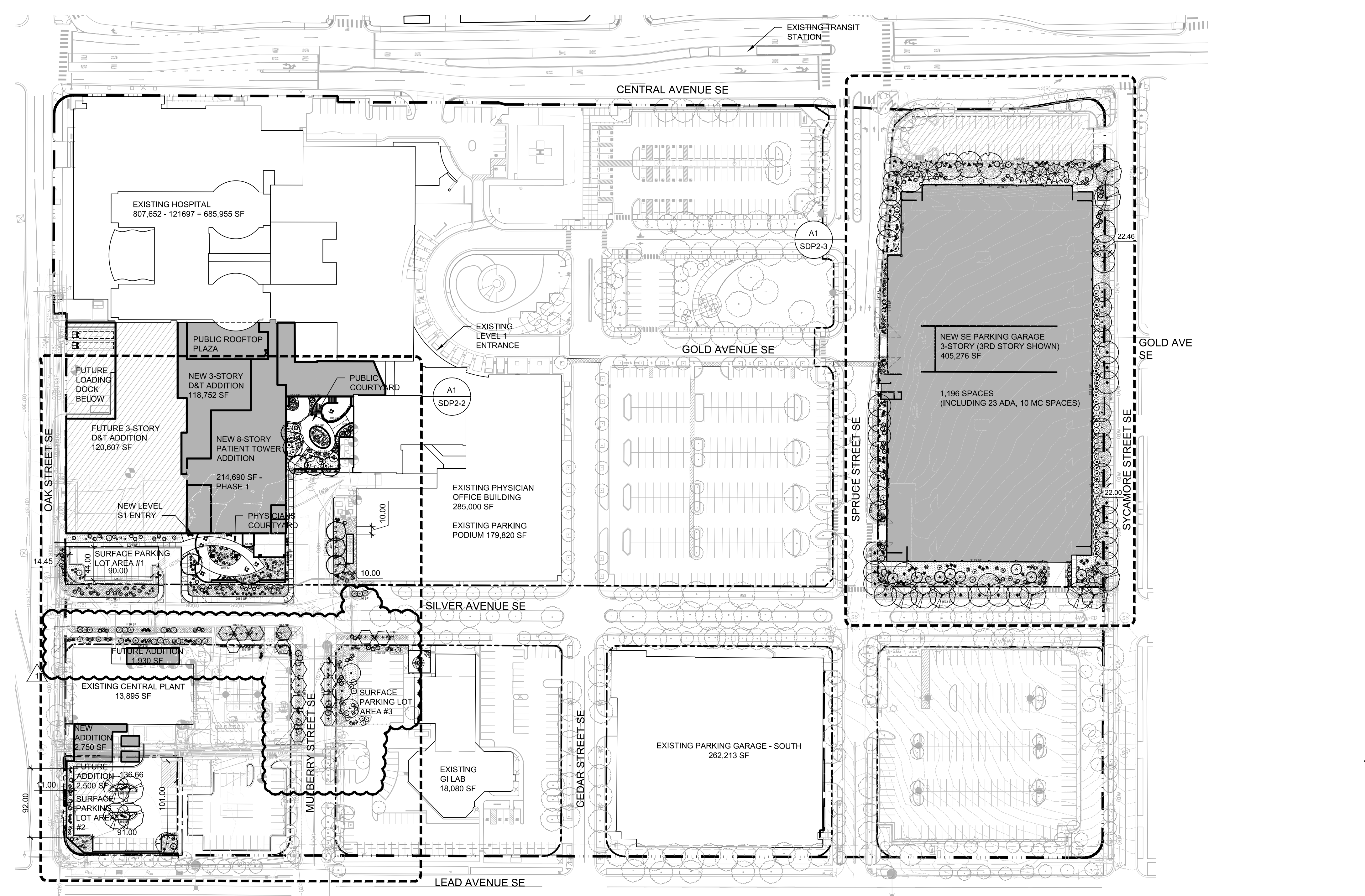
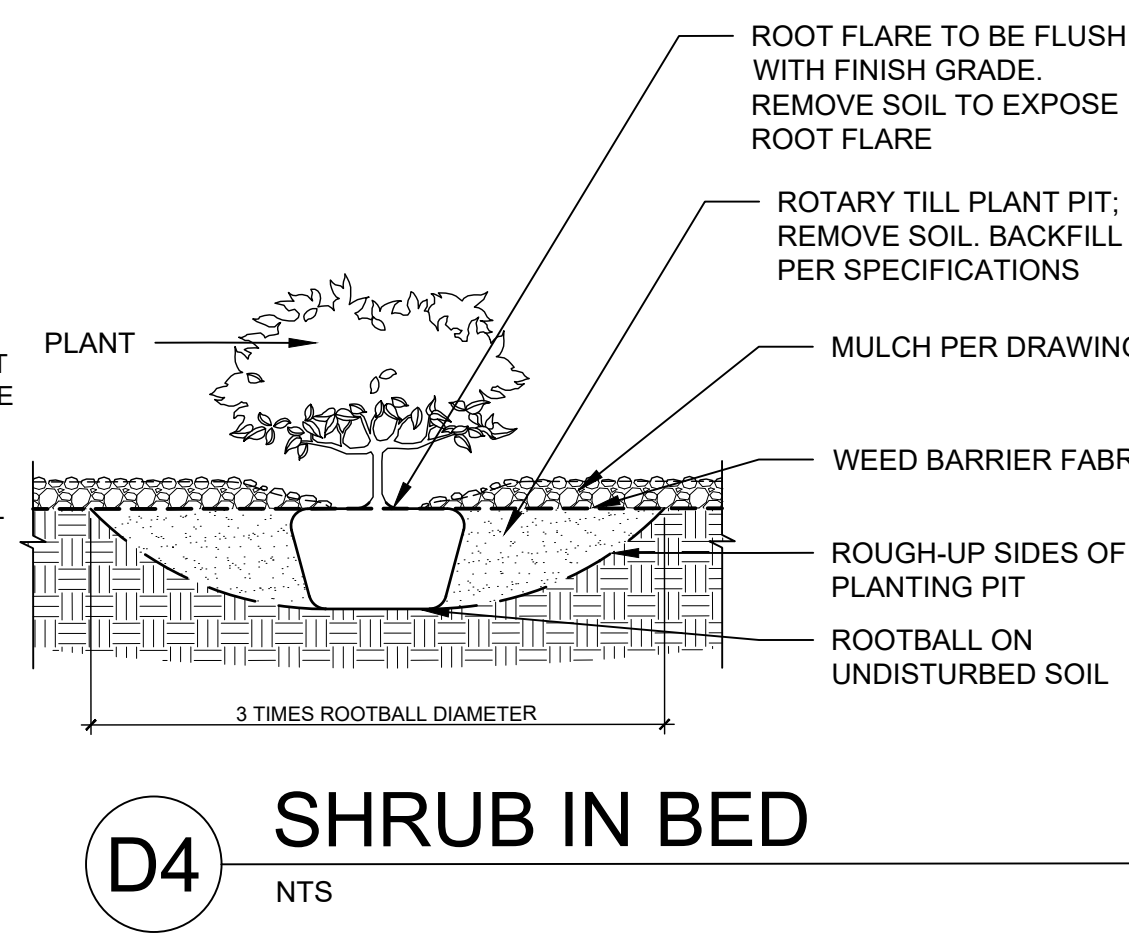
NOTES:
1. SEE PLANS FOR CURB CUT LOCATIONS.

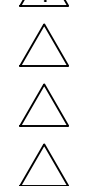


NOTE:
1. PRIOR TO BACKFILLING, ALL MATERIAL SUCH AS CONTAINERS, WIRE, BURLAP AND ROPE SHALL BE COMPLETELY REMOVED.
2. ORGANIC BARK MULCH IS REQUIRED AT EACH TREE FROM ROOT BALL EXTENDING OUT TO DRIPLINE PER COA IDO 14-16-5-6(C)(5)(b)



NOTES:
1. PRIOR TO BACKFILLING, ALL MATERIAL SUCH AS CONTAINERS, WIRE, BURLAP AND ROPE SHALL BE COMPLETELY REMOVED.





GENERAL NOTES

- A. FOR MAINTENANCE STATEMENT AND IRRIGATION SYSTEM INFORMATION, SEE SDP 2-1.
- B. MINIMUM PLANT SIZES ARE AS PER CITY OF ALBUQUERQUE STANDARDS: 2" CALIPER TREES, 6' HEIGHT CONIFERS, AND 1 GALLON SHRUBS.

SHEET KEYNOTES

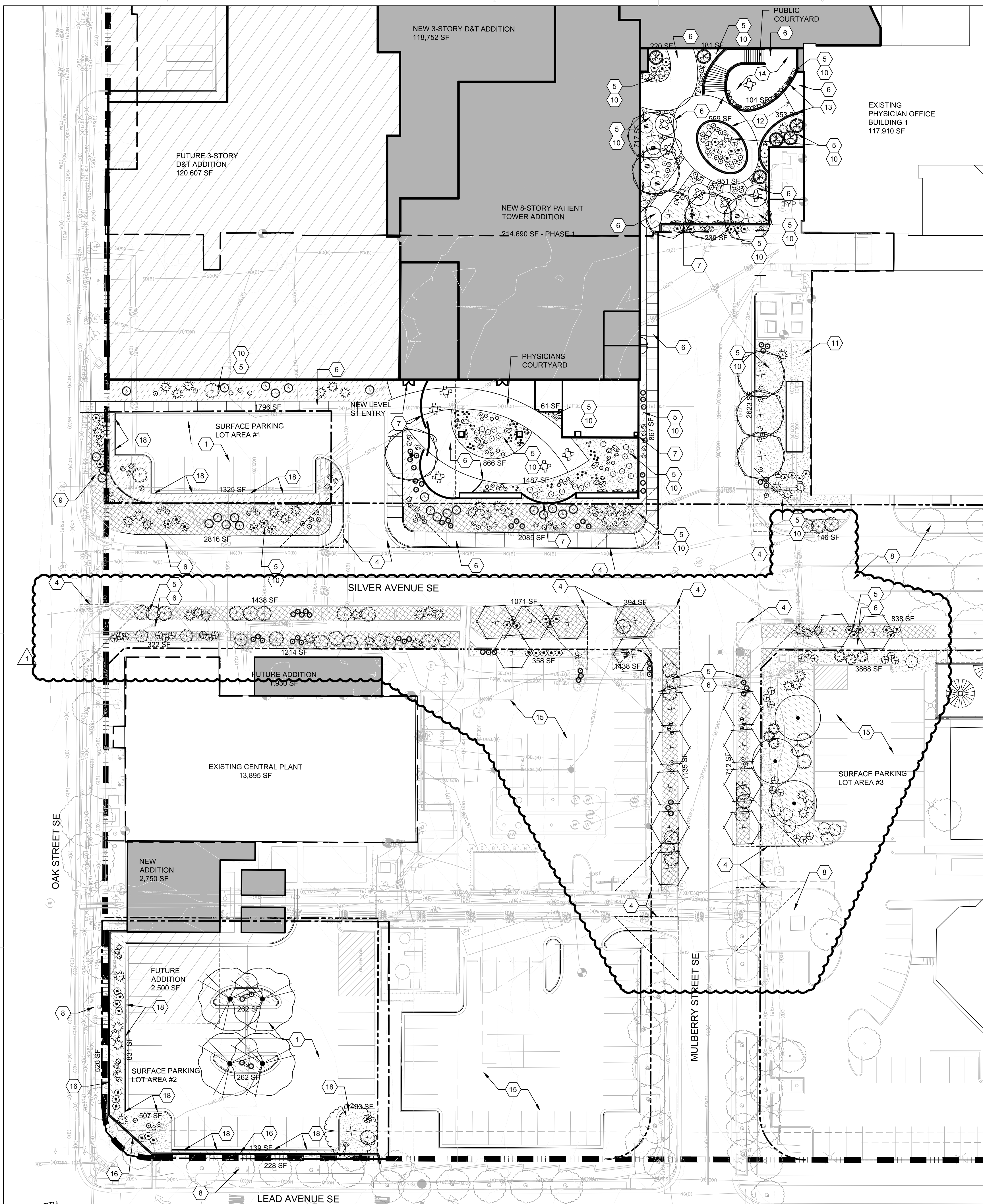
- | | | |
|--|---|--|
| 1. SURFACE PARKING AREA | 9. NEW PLANTINGS FOR SCREENING / BUFFERING | 15. EXISTING SURFACE PARKING LOT TO REMAIN |
| 2. EXISTING EASEMENT | 10. NEW PLANTING FOR GENERAL LANDSCAPING | 16. SITE WALL FOR SCREENING |
| 3. NEW EASEMENT | 11. CLEARANCE AROUND GROUND MOUNTED UTILITY | 17. 6' TALL VEGETATIVE BUFFER PER IDO COA |
| 4. CLEAR SIGHT TRIANGLE | 12. SEAT WALL | 18. CURB CUT, SEE D2/SDP-1 |
| 5. PERVIOUS AREA | 13. 3' MAX LANDSCAPE RETAINING WALL | |
| 6. IMPERVIOUS AREA | 14. BALCONY WITH SEATING ABOVE AND BELOW | |
| 7. 6'-8" TALL SCREEN WALL OR FENCE W/ GATE | | |
| 8. EXISTING PLANTINGS TO REMAIN | | |

PLANT LEGEND

| TREES | BOTANICAL NAME | COMMON NAME |
|------------|--|----------------------------|
| | JUNIPERUS SCOPULORUM 'MOONGLOW' | MOONGLOW JUNIPER |
| | PISTACIA CHINENSIS | CHINESE PISTACHE |
| | ROBINIA PSEUDOACACIA 'PURPLE ROBE' | PURPLE ROBE LOCUST |
| | ULMUS PROPINQUA 'EMERALD SUNSHINE' | EMERALD SUNSHINE ELM |
| | ULMUS X 'ACCOLADE' | ACCOLADE ELM |
| | ULMUS X 'FRONTIER' | FRONTIER ELM |
| | ZELKOVA SERRATA 'GREEN VASE' | GREEN VASE ZELKOVA |
| SHRUBS | BOTANICAL NAME | COMMON NAME |
| | BACCHARIS X 'STARN' | THOMPSON BROOM |
| | CALLIRHOE INVOLUCRATA | PURPLE POPPYMALLOW |
| | CARYOPTERIS X CLANDONENSIS | BLUE MIST SHRUB |
| | CHAMAEBATIARIA MILLEFOLIUM | FERNBUSH |
| | ELAEAGNUS PUNGENS | SILVERBERRY |
| | ERICAMERIA NAUSEOSA | CHAMISA |
| | JUNIPERUS SABINA 'BUFFALO' | BUFFALO JUNIPER |
| | MAHONIA REPENS | CREEPING MAHONIA |
| | RHUS AROMATICA 'GRO-LOW' | GRO-LOW SUMAC |
| | ROSA BANKSIAE | YELLOW LADY BANKS ROSE |
| | ROSA MEIDLAND | WHITE MEIDLAND ROSE |
| | ROSMARINUS OFFICINALIS 'TUSCAN BLUE' | TUSCAN BLUE ROSEMARY |
| | SALVIA GREGGII 'FURMANS RED' | FURMAN'S RED SALVIA |
| GRASSES | BOTANICAL NAME | COMMON NAME |
| | BOUTELOUA 'BLONDE AMBITION' | BLONDE AMBITION BLUE GRAMA |
| | CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' | KARL FOERSTER GRASS |
| | CAREX APPALACHICA | APPALACHIAN SEDGE |
| | HELICTOTRICHON SEMPERVIRENS | BLUE AVENA GRASS |
| | SORGHASTRUM NUTANS | INDIAN GRASS |
| PERENNIALS | BOTANICAL NAME | COMMON NAME |
| | ANEMOPSIS CALIFORNICA | YERBA MANSA |
| | AQUILEGIA CHRYSANTHA | GOLDEN SPUR COLUMBINE |
| | ECHINACEA PURPUREA | PURPLE CONEFLOWER |
| | LAVANDULA X INTERMEDIA 'GROSSO' | GROSSO LAVENDER |
| SUCCULENTS | BOTANICAL NAME | COMMON NAME |
| | HESPERALOE PARVIFLORA | RED YUCCA |
| | NOLINA MICROCARPA | BEARGRASS |
| VINE | BOTANICAL NAME | COMMON NAME |
| | CAMPISIS RADICANS | TRUMPET VINE |
| | HEDERA HELIX | ENGLISH IVY |
| | PARTHENOCISSUS TRICUSPIDATA | BOSTON IVY |
| | WISTERIA SINENSIS | WISTERIA |

LEGEND

| SYMBOL | NOTES |
|--------|--|
| | 3/4"Ø ROCK MULCH AMARETTO BROWN 3" DEPTH OVER FILTER FABRIC IN R.O.W. NOT INCLUDED IN LANDSCAPE CALCULATIONS |
| | 3/4"Ø ROCK MULCH AMARETTO BROWN 3" DEPTH OVER FILTER FABRIC |
| | SHREDDED SCREENED BARK MULCH 3" DEPTH OVER FILTER FABRIC |
| | EXISTING TREE TO REMAIN |
| | TABLE AND SEATING |
| | PROPERTY LINE |
| | CAMPUS BOUNDARY |
| | PARKING LOT BOUNDARY |



LANDSCAPE PLAN