



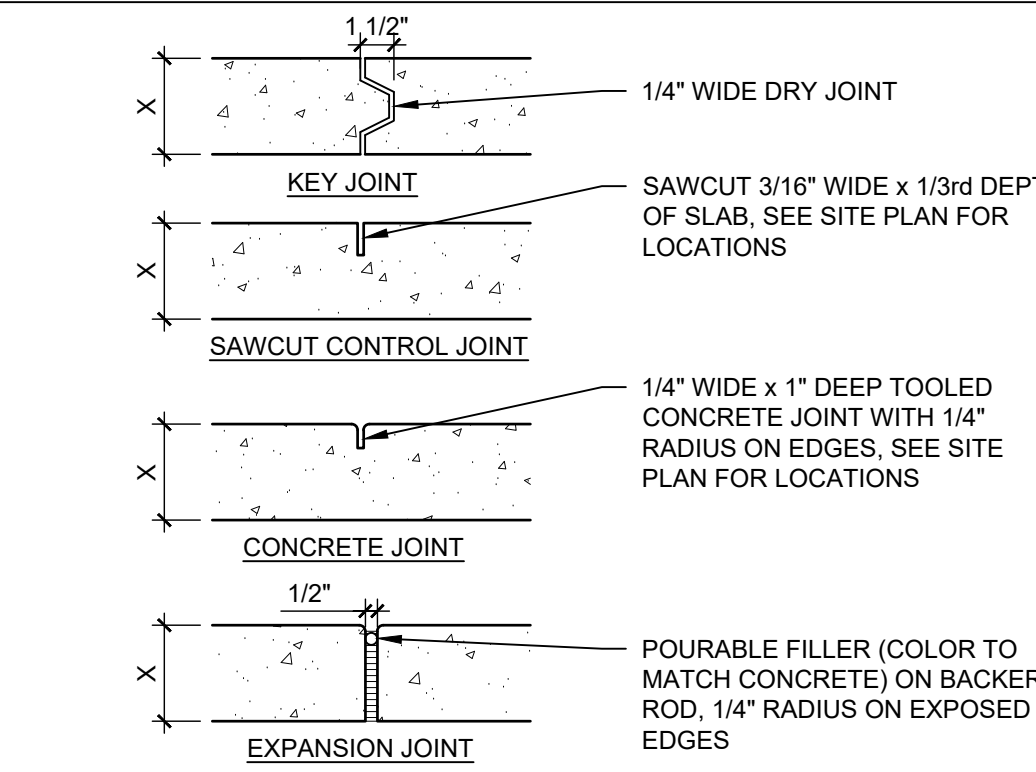


**GENERAL NOTES**

- EXISTING LANDSCAPE AREAS ADJACENT TO THE PROJECT SITE ARE TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION.
- ALL PARKING AREAS DRIVE AISLES AND AUTOMOTIVE CIRCULATION PATHS TO BE ASPHALT PAVING.
- ALL SIDEWALKS AND RAMPS TO BE CONCRETE.

**KEYED NOTES**

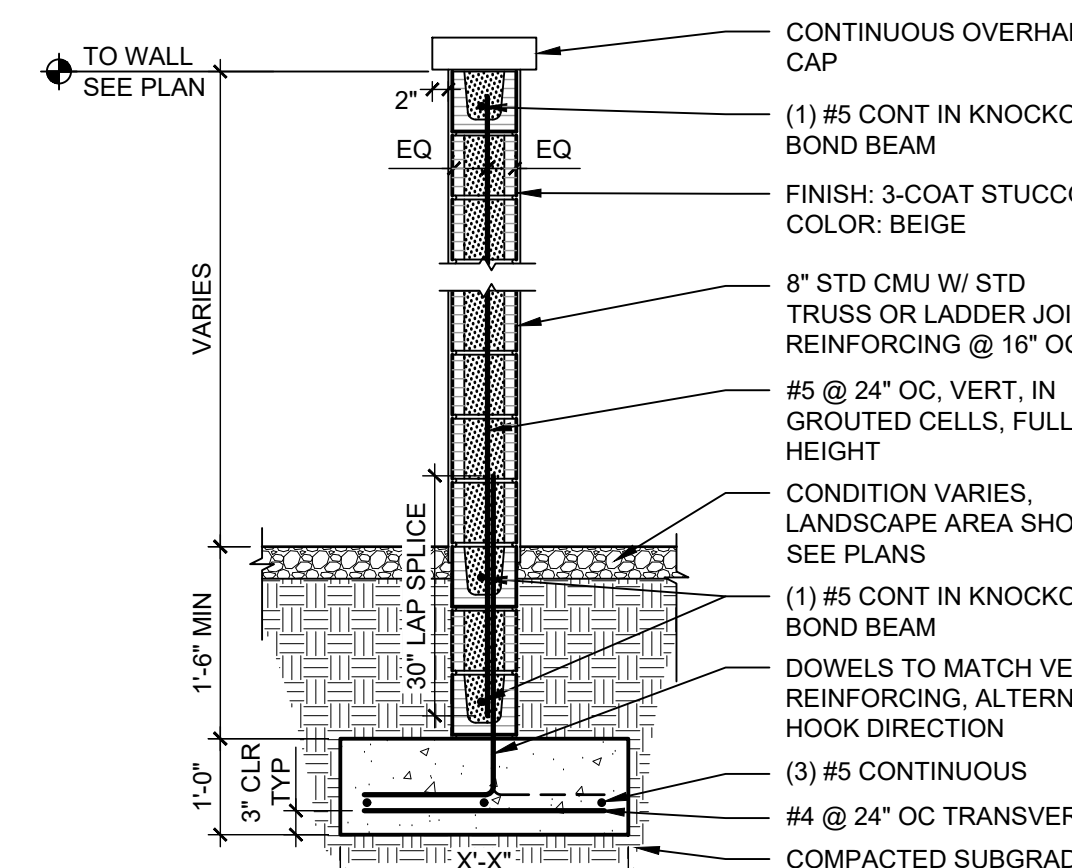
- PARKING LOT STRIPING, 4" WIDE TYPICAL, COLOR: WHITE
- NEW CURB AND GUTTER, SEE DETAIL A5/SDP1-2
- CANOPY OVERHEAD
- NEW 6" WIDE CONCRETE SIDEWALK, SEE DETAIL B5/SDP1-2
- LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE SIGNS, WALL, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- NEW 8" WIDE CONCRETE SIDEWALK.
- NEW ELECTRICAL EQUIPMENT.
- EXISTING TRASH COMPACTOR.
- EXISTING ELECTRICAL EQUIPMENT.
- DECORATIVE CONCRETE.
- 8" HIGH CMU SCREEN WALL WITH BEIGE STUCCO FINISH, SEE DETAIL C5/SDP1-2
- 6" HIGH CMU SCREEN WALL WITH BEIGE STUCCO FINISH, SEE DETAIL C5/SDP1-2
- NEW MECHANICAL EQUIPMENT.
- PROPOSED FUTURE TRASH COMPACTOR.
- FUTURE LOADING DOCK, SEE B6/SDP1-2



CONTROL AND EXPANSION JOINT SPACING - UNLESS NOTED OTHERWISE ON PLANS				
APPROX WIDTH OF CONCRETE	CURB & GUTTER, ROLL, HEADER, FLUSH CURBS	5' WALK	8' WALK & BLDG APRON	8'-12' WALK
CONTROL JOINTS	4' OC	5' OC	8' OC	6' OC
EXPANSION JOINTS	16' OC	15' OC	24' OC	18' OC

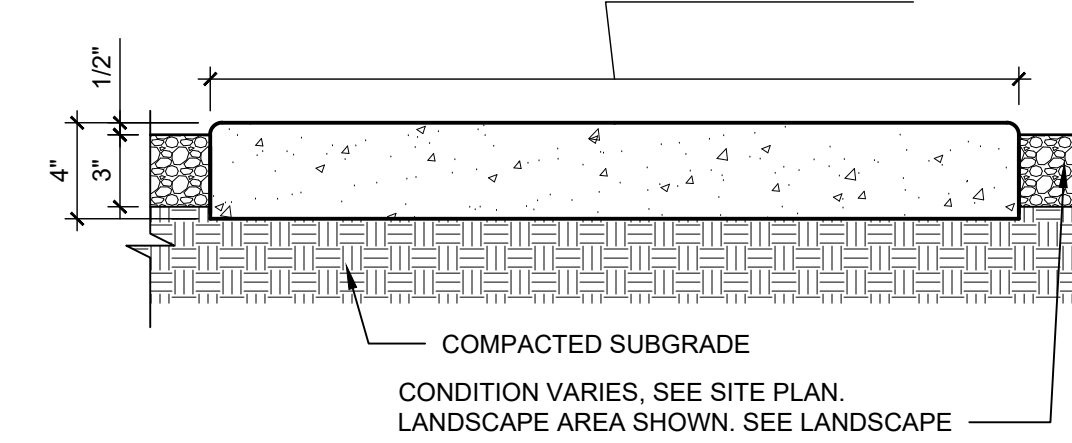
**D5 CONCRETE JOINTS & JOINT SPACING**  
1 1/2" = 1'-0"

- NOTE:  
1. GROUT ALL CELLS BELOW GRADE.



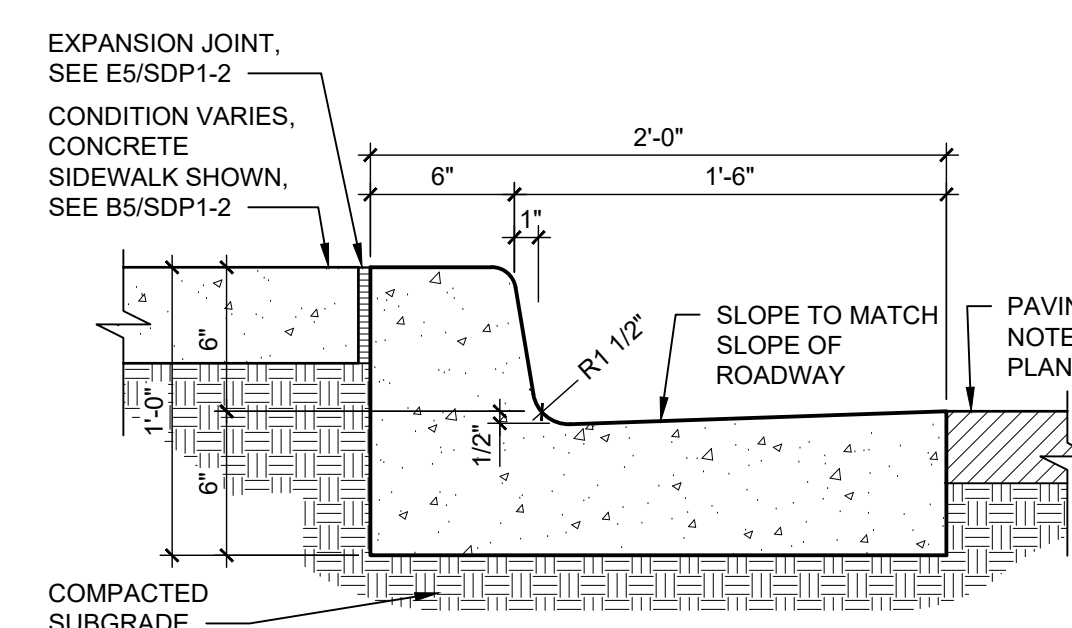
**C5 CMU SCREEN WALL**  
1 1/2" = 1'-0"

- NOTES:  
1. SEE SITE PLANS AND E5/SDP1-2 FOR JOINTING.  
2. CAST-IN-PLACE CONCRETE PAVING, LIGHT BROOM FINISH PERPENDICULAR TO TRAFFIC FLOW WITH 1/2" RADIUS ON EXPOSED EDGES.  
3. INTEGRAL COLOR WHERE NOTED ON PLANS.  
4. FINISH GRADE FOR LANDSCAPE AREAS SHALL BE 1/2" BELOW TOP OF PAVING.  
5. ALL SIDEWALK/RAMPS SHALL NOT EXCEED 2% MAX CROSS SLOPE.  
VARIES, SEE SITE PLAN

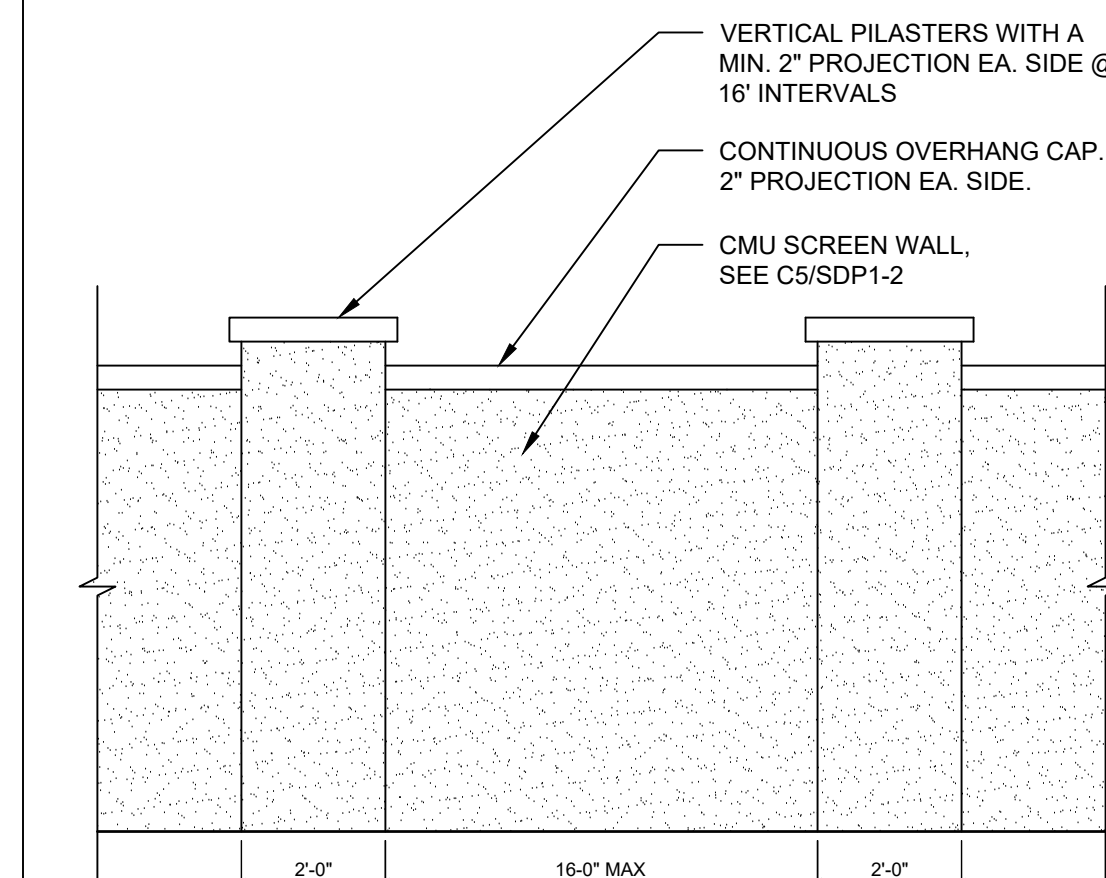


**B5 CONCRETE SIDEWALK**  
1 1/2" = 1'-0"

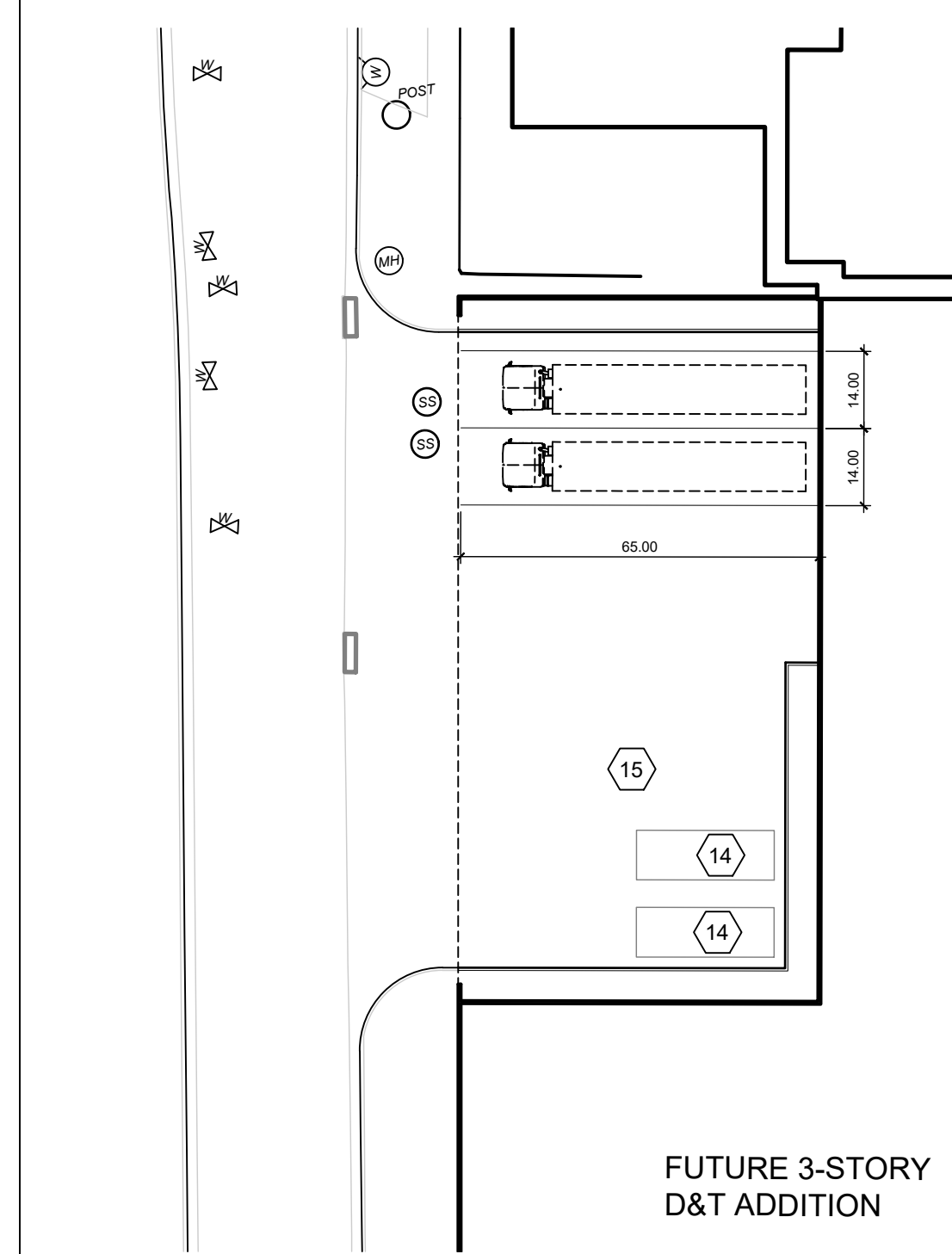
- NOTES:  
1. WHERE BACK OF CURB AND GUTTER IS EXPOSED ALONG A RAMP, ADD 1/2" RADIUS ON EXPOSED EDGES.  
2. CAST-IN-PLACE CONCRETE, LIGHT BROOM FINISH, WITH 1/2" RADIUS ON EXPOSED EDGES.



**A5 CONCRETE CURB & GUTTER**  
1 1/2" = 1'-0"

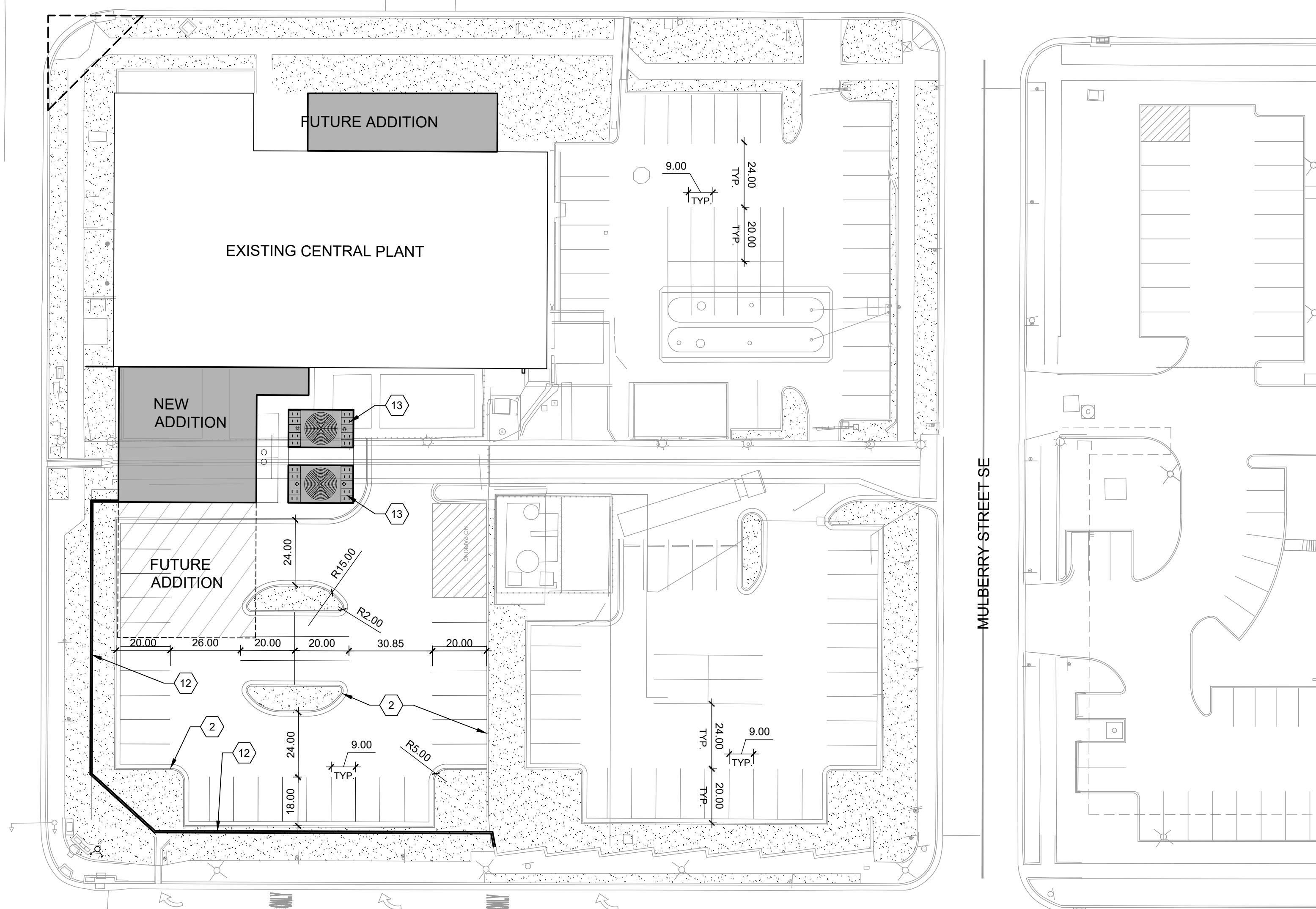
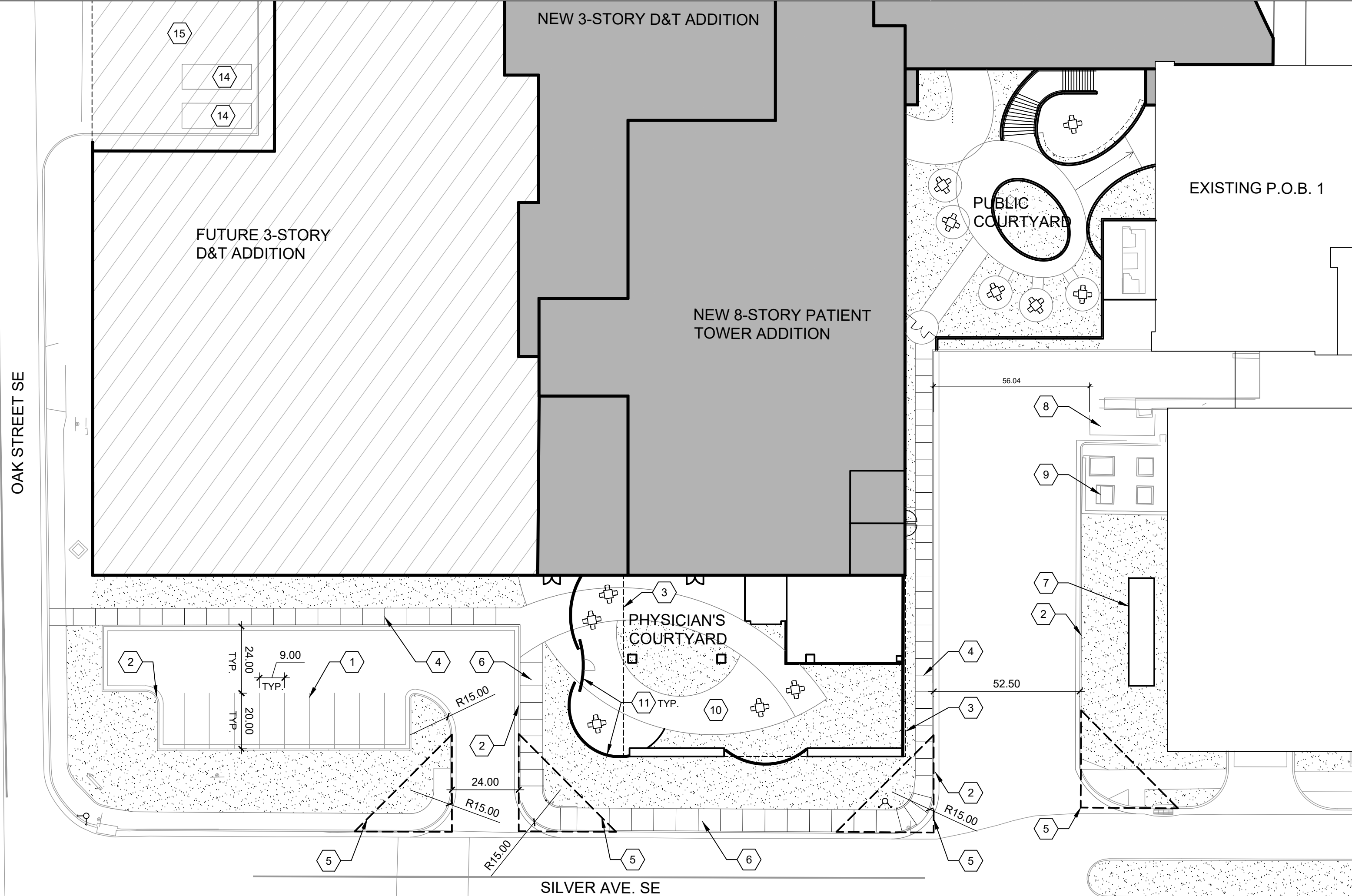


**C6 SCREEN WALL ELEVATION**  
3/8" = 1'-0"



**B6 ENLARGED PLAN**  
1" = 30'-0"

- LEGEND**
- PREMISE BOUNDARY
  - PROPERTY LINE
  - LANDSCAPE AREA
  - POLE LIGHT
  - SIDEWALK RAMP (ARROW POINTS DOWN)
  - FIRE HYDRANT



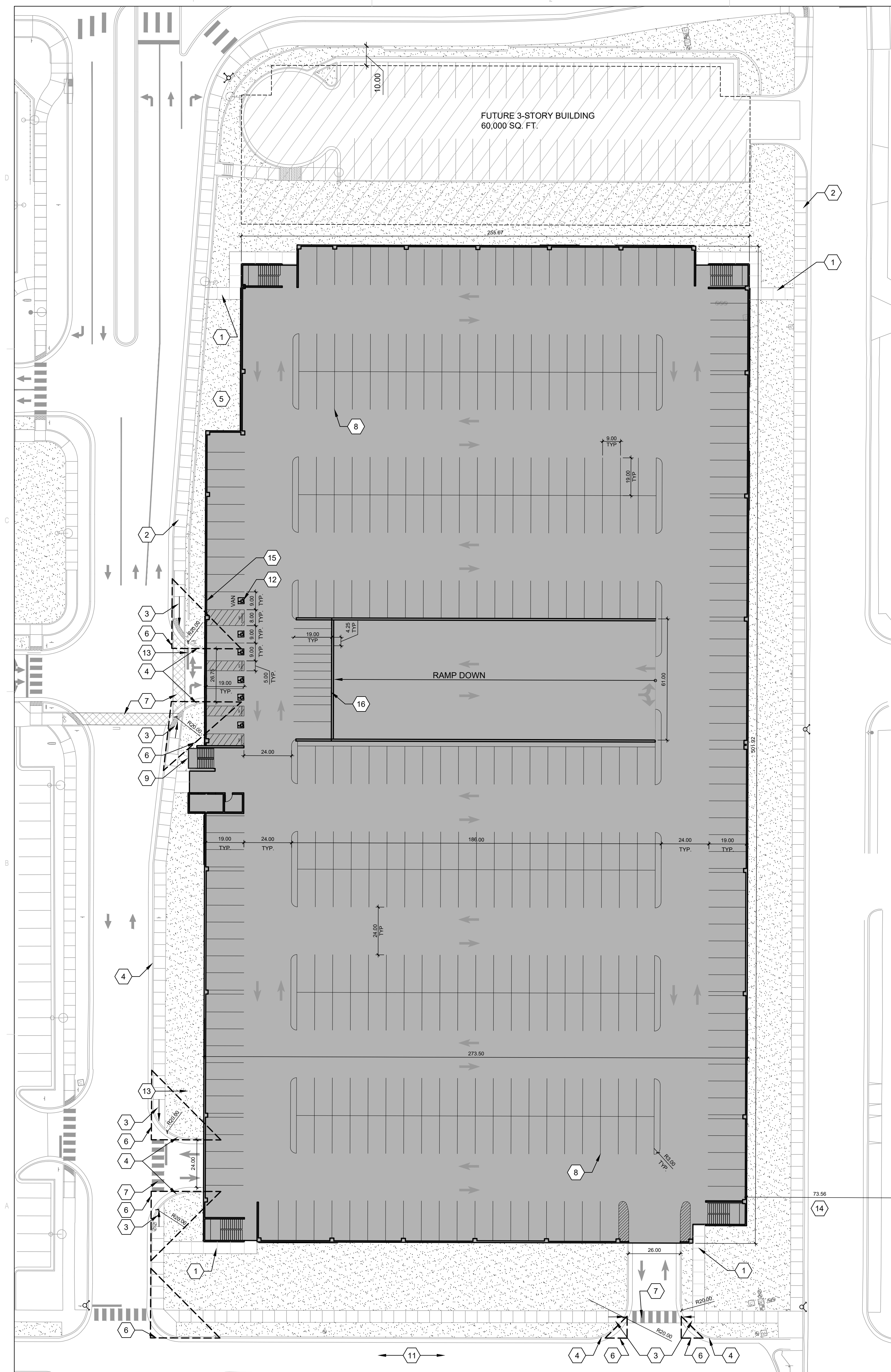
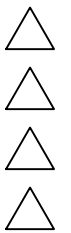
**A4 SITE PLAN - AREA A**  
1" = 30'-0"

## GENERAL NOTES

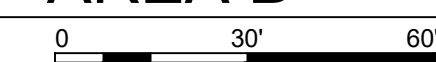
- EXISTING LANDSCAPE AREAS ADJACENT TO THE PROJECT SITE ARE TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION.
- ALL PARKING AREAS DRIVE AISLES AND AUTOMOTIVE CIRCULATION PATHS TO BE ASPHALT PAVING.
- ALL SIDEWALKS AND RAMPS TO BE CONCRETE.

## SHEET KEYED NOTES

- NEW CONCRETE SIDEWALK, SEE DETAIL B2/SDP1-4
- EXISTING SIDEWALK TO REMAIN
- NEW ACCESSIBLE RAMP, SEE DETAIL B4/SDP1-4
- CONCRETE CURB AND GUTTER, SEE DETAIL A2/SDP1-4
- NEW ELECTRICAL EQUIPMENT
- LANDSCAPE AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE SIGNS, WALL, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- NEW 6' WIDE SCORED CONCRETE CROSSWALK, SEE DETAIL B1/SDP1-4
- PARKING LOT STRIPING, 4" WIDE TYPICAL, COLOR: WHITE
- STAIRS OVERHEAD
- NEW CONCRETE STAIRS
- EXISTING BIKE LANE
- ACCESSIBLE PARKING, SEE DETAIL C1/SDP1-4
- STOP LINE PAVEMENT STRIPING, SEE DETAIL C2/SDP1-4
- THE PARKING STRUCTURE SHALL COMPLY WITH SECTION 5-9(C) BUILDING HEIGHT STEPDOWN. THE BUILDING IS BEYOND 50' FROM A PROTECTED LOT AS REQUIRED BY 5-9(C)(2). SEE ALSO SDP5-4 BUILDING ELEVATIONS.
- ADA ACCESSIBLE PARKING SIGN (TYPICAL), SEE DETAIL B3/SDP1-4
- MOTORCYCLE PARKING SIGN (TYPICAL), SEE DETAIL A3/SDP1-4



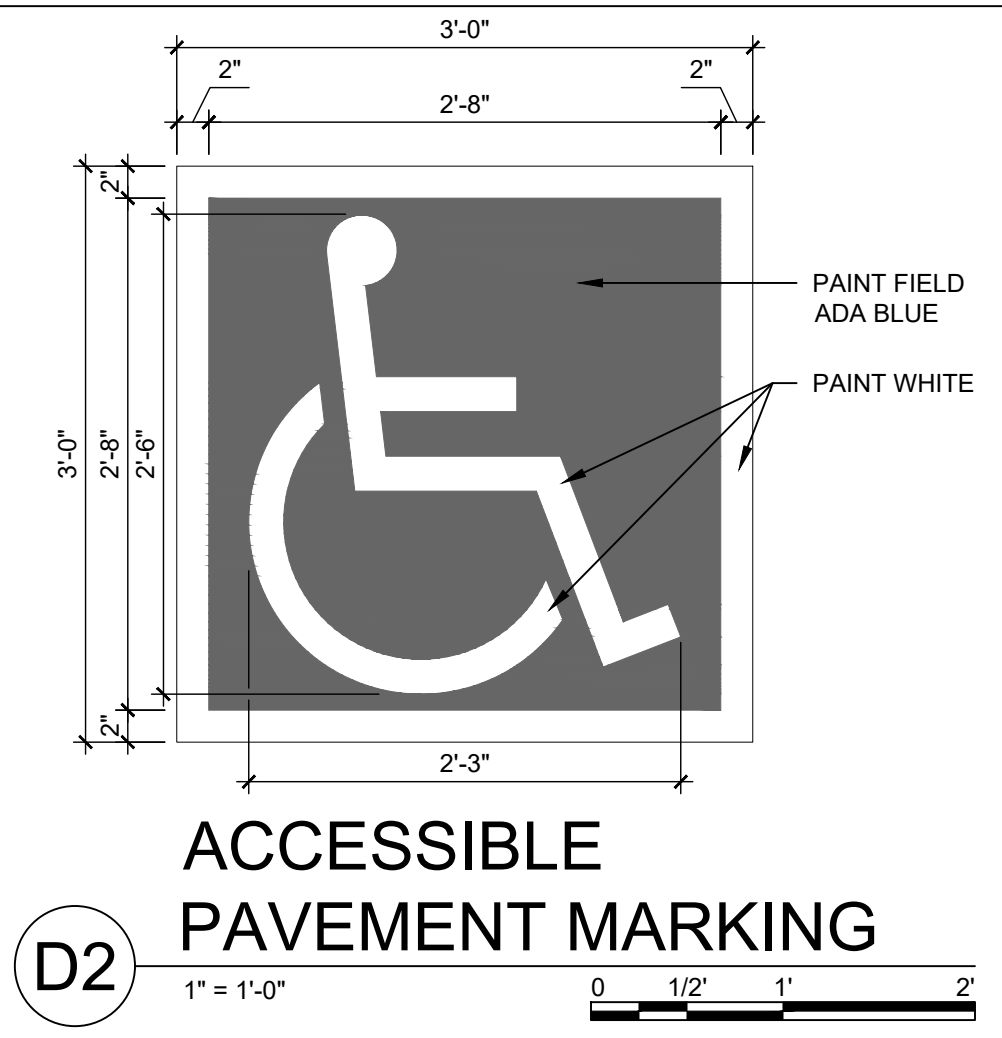
**A4** SITE PLAN - AREA B  
1" = 30'-0"



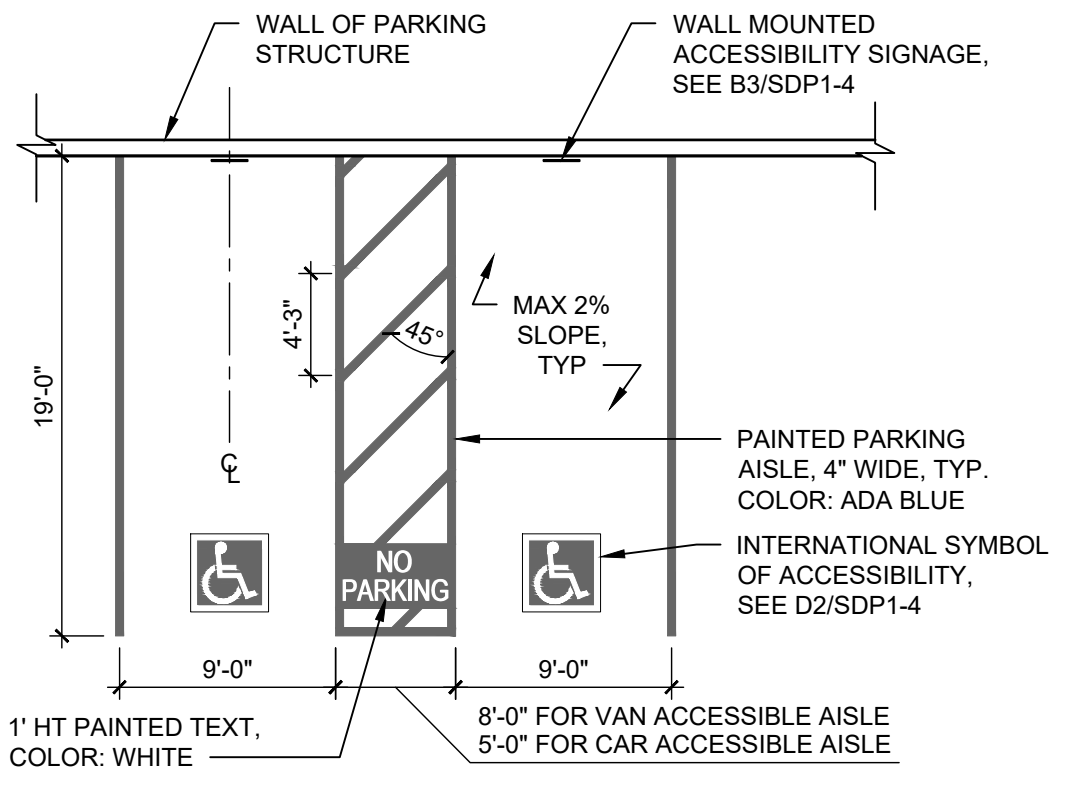
## LEGEND

- PROPERTY LINE
- PREMISE BOUNDARY
- ||||| 6' WIDE CROSSWALK
- LANDSCAPE AREA
- POLE LIGHT
- SIDEWALK RAMP (ARROW POINTS DOWN)
- EXISTING FIRE HYDRANT

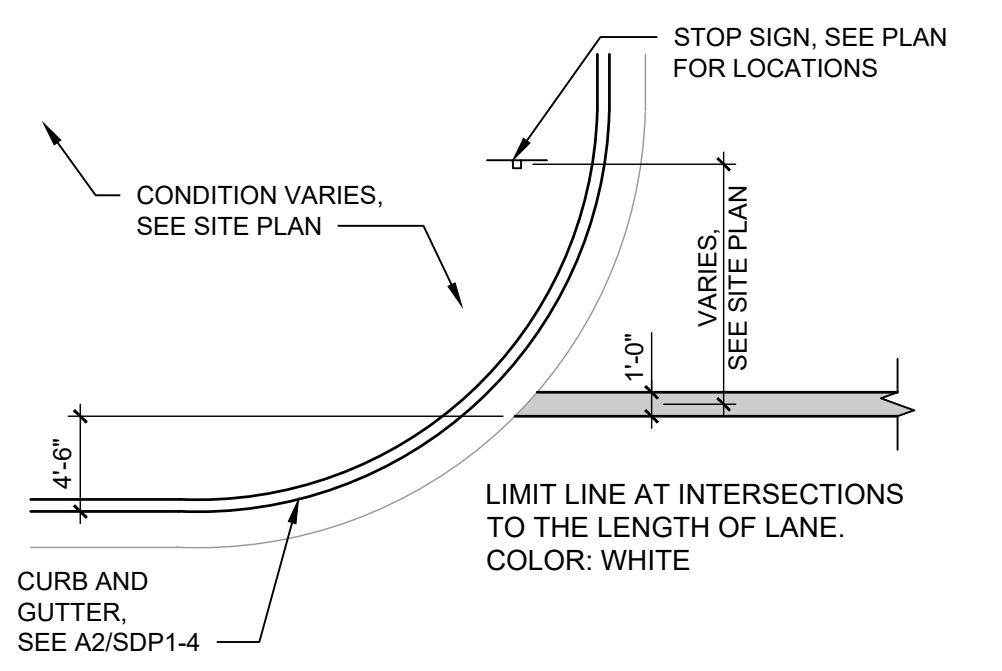




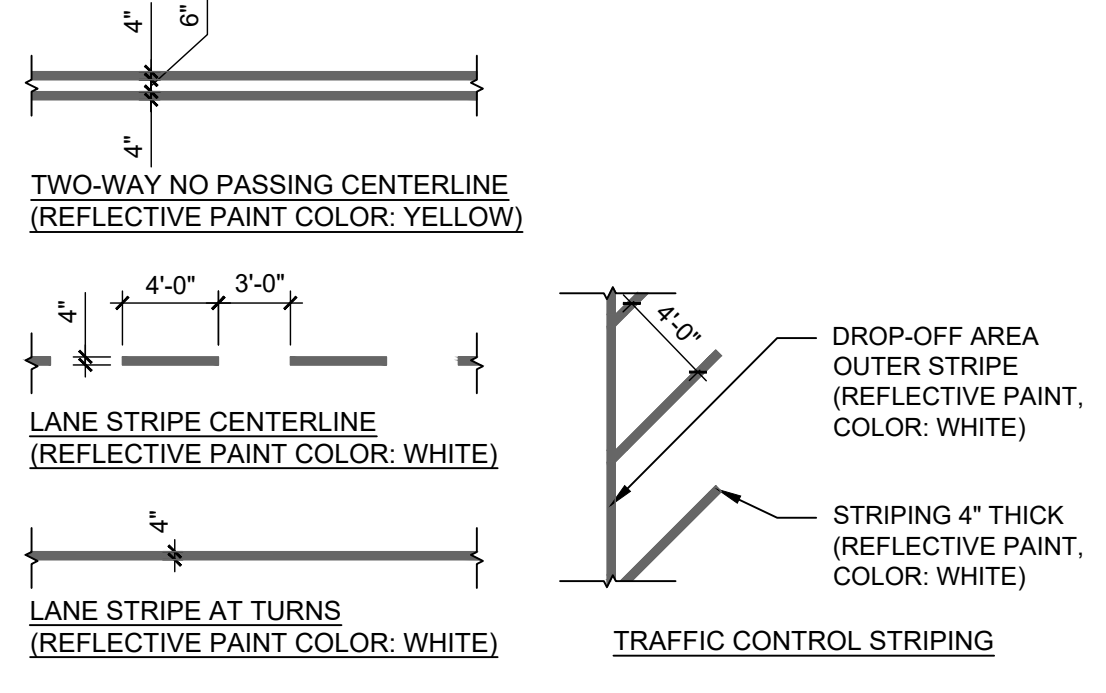
**D2 ACCESSIBLE PAVEMENT MARKING**  
1" = 1'-0"  
0 1/2' 1' 2'



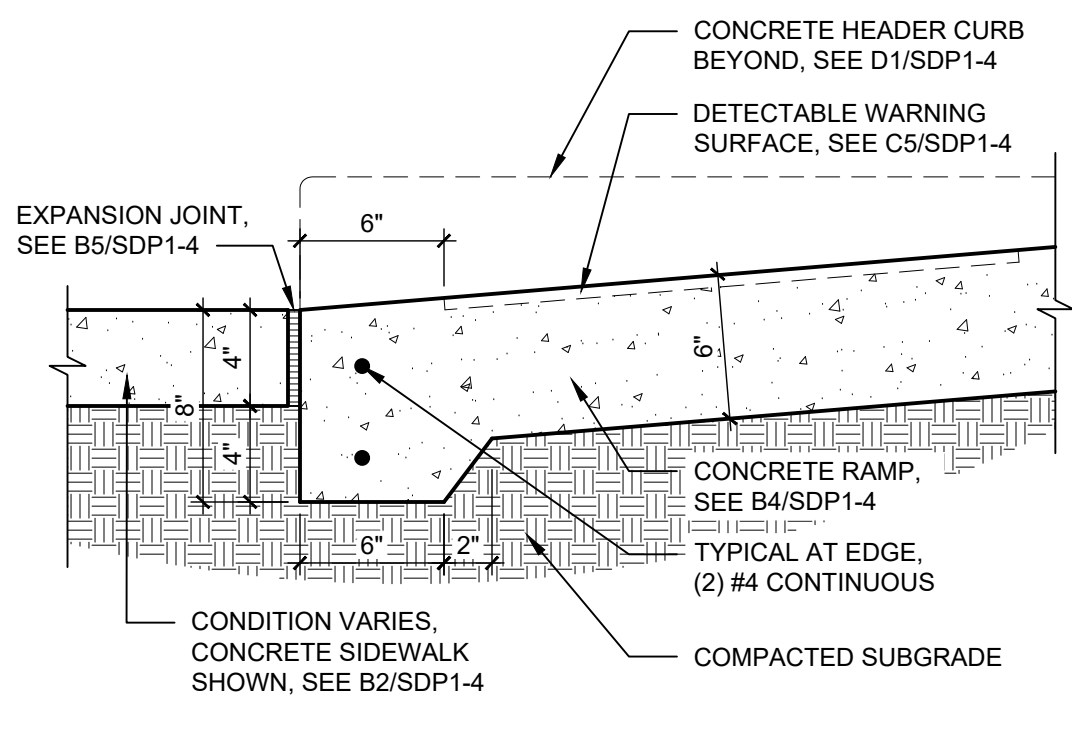
**C1 ACCESSIBLE PARKING**  
1/8" = 1'-0"  
0 4' 8' 16'



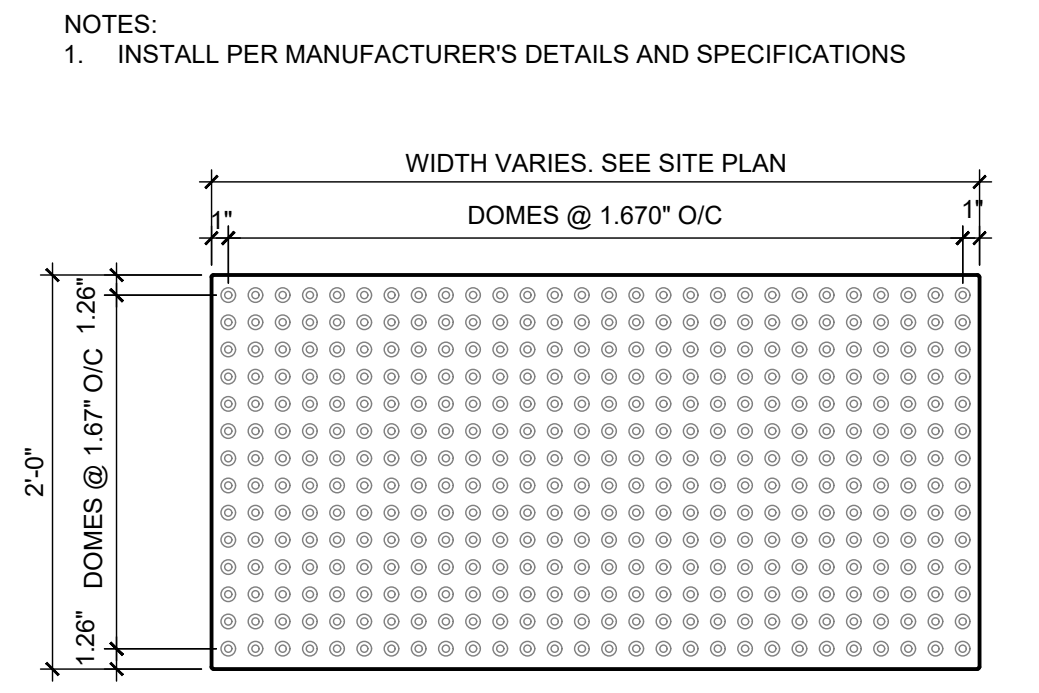
**C2 STOP LINE PAVEMENT STRIPING**  
1/8" = 1'-0"  
0 4' 8' 16'



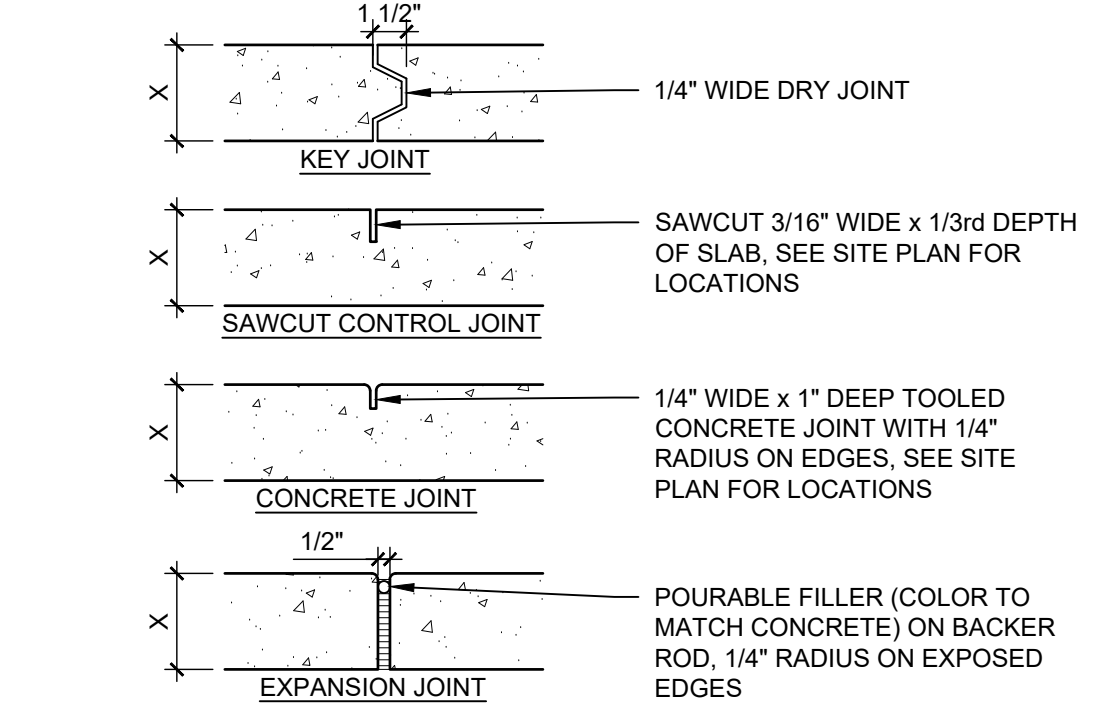
**C3 ROADWAY STRIPING**  
1/8" = 1'-0"  
0 4' 8' 16'



**C4 RAMP TRANSITION**  
1 1/2" = 1'-0"  
0 1/2' 1' 1 1/2'

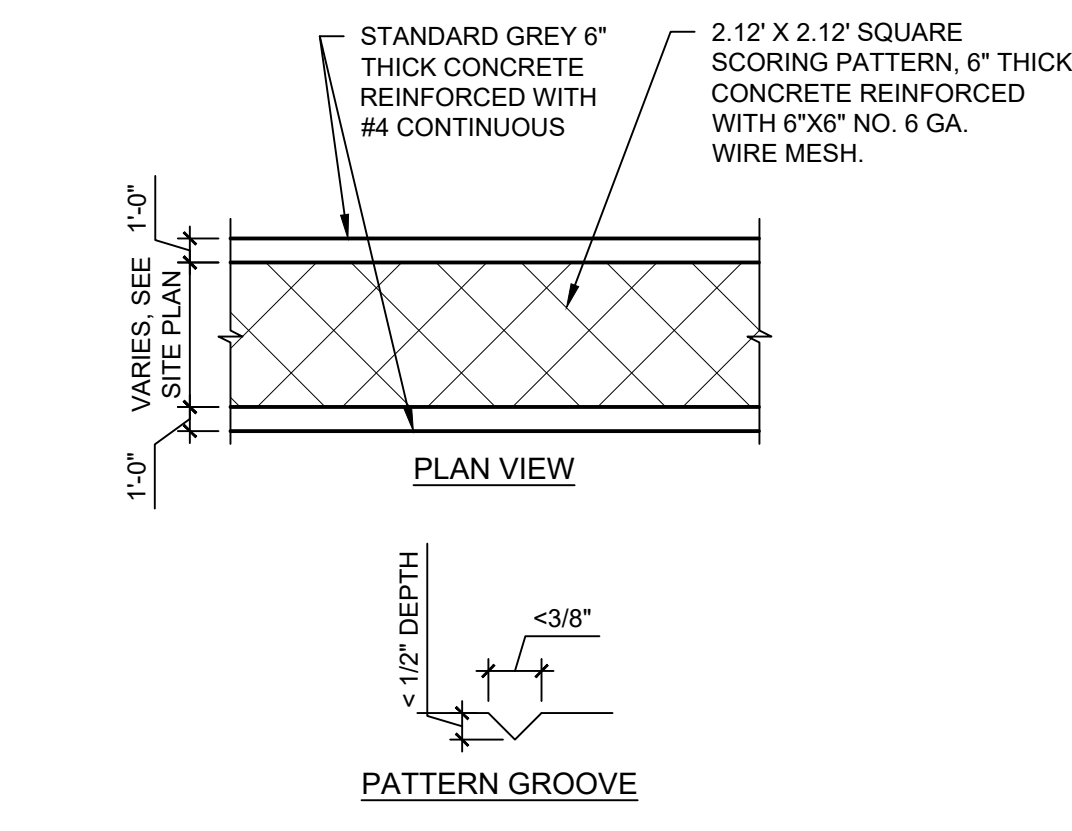


**C5 DETECTABLE WARNING SURFACE**  
1" = 1'-0"  
0 1/2' 1' 2'

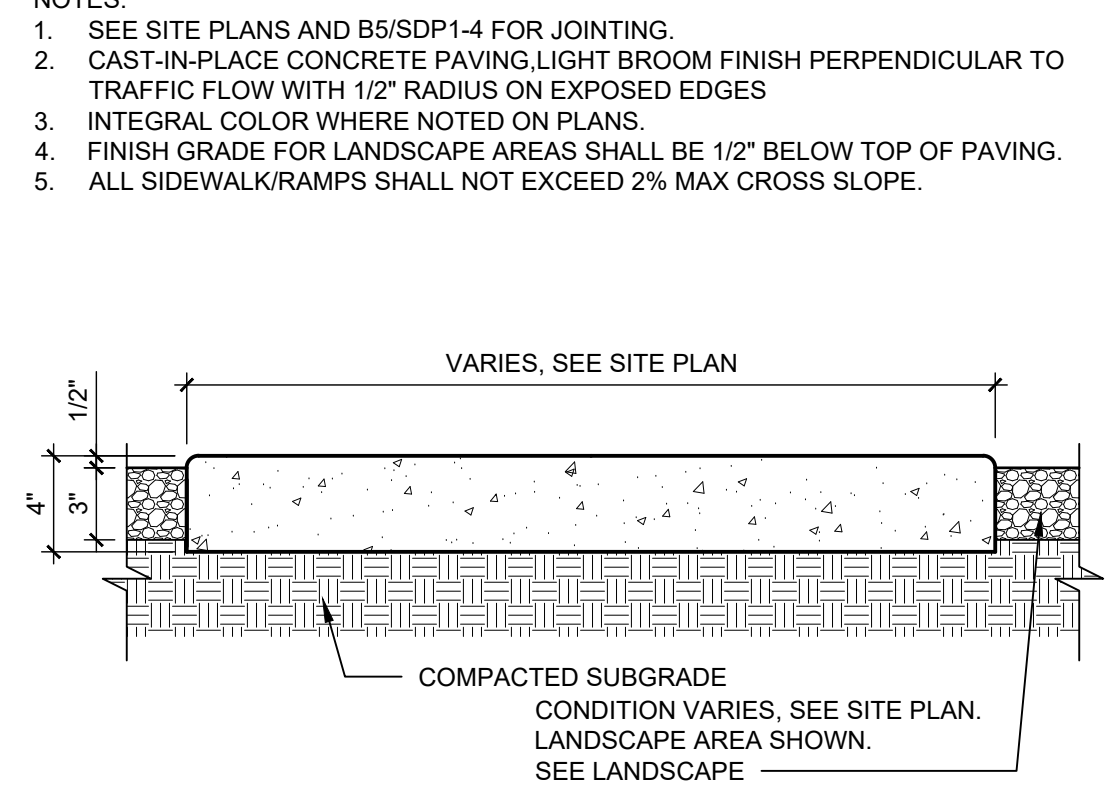


CONTROL AND EXPANSION JOINT SPACING - UNLESS NOTED OTHERWISE ON PLANS				
APPROX WIDTH OF CONCRETE	CURB & GUTTER, ROLL, HEADER, FLUSH CURBS	5' WALK	8' WALK & BLDG APRON	6'-12' WALK
CONTROL JOINTS	4' OC	5' OC	8' OC	6' OC
EXPANSION JOINTS	16' OC	15' OC	24' OC	18' OC

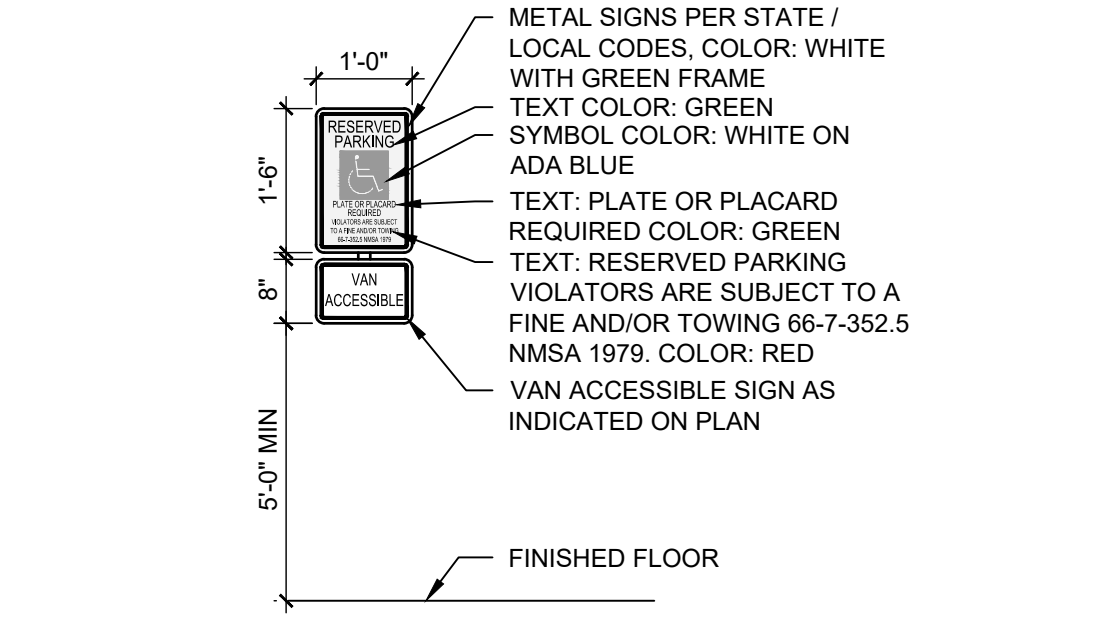
**B5 CONCRETE JOINTS & JOINT SPACING**  
1 1/2" = 1'-0"  
0 1/2' 1' 1 1/2'



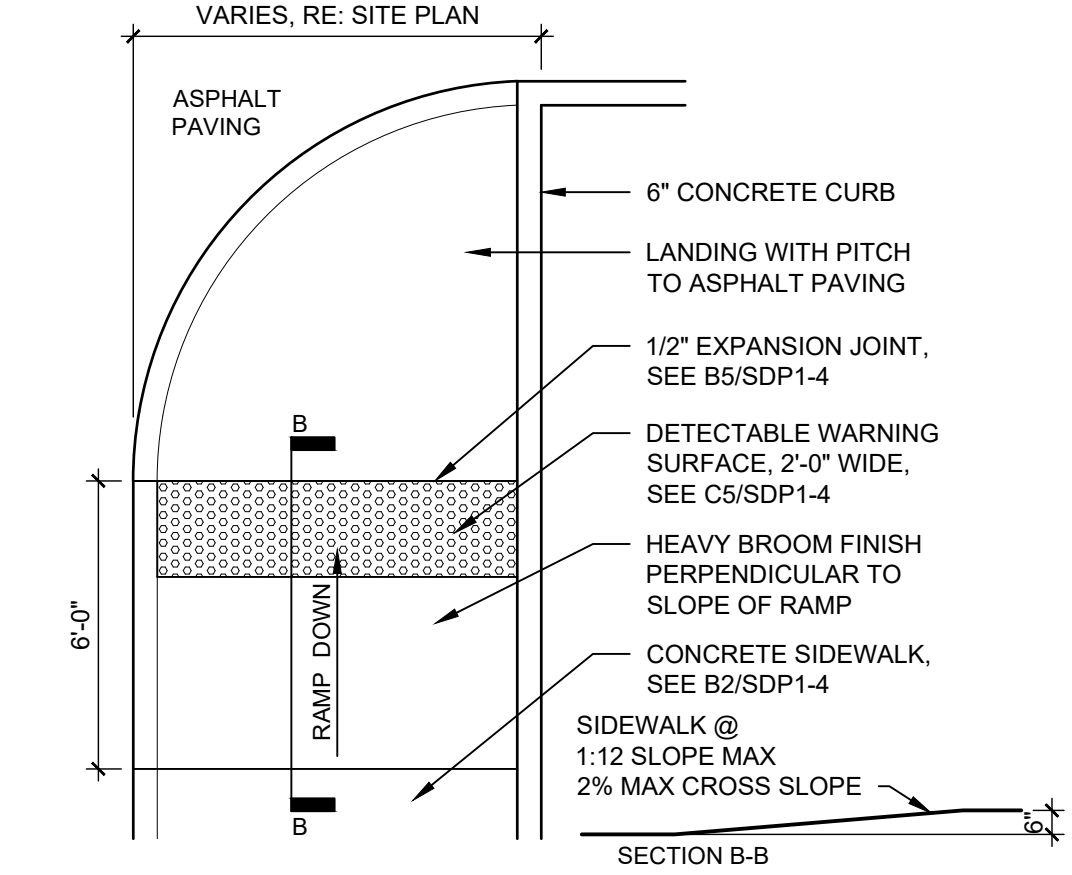
**B1 CONCRETE CROSSWALK**  
1/8" = 1'-0"  
0 4' 8' 16'



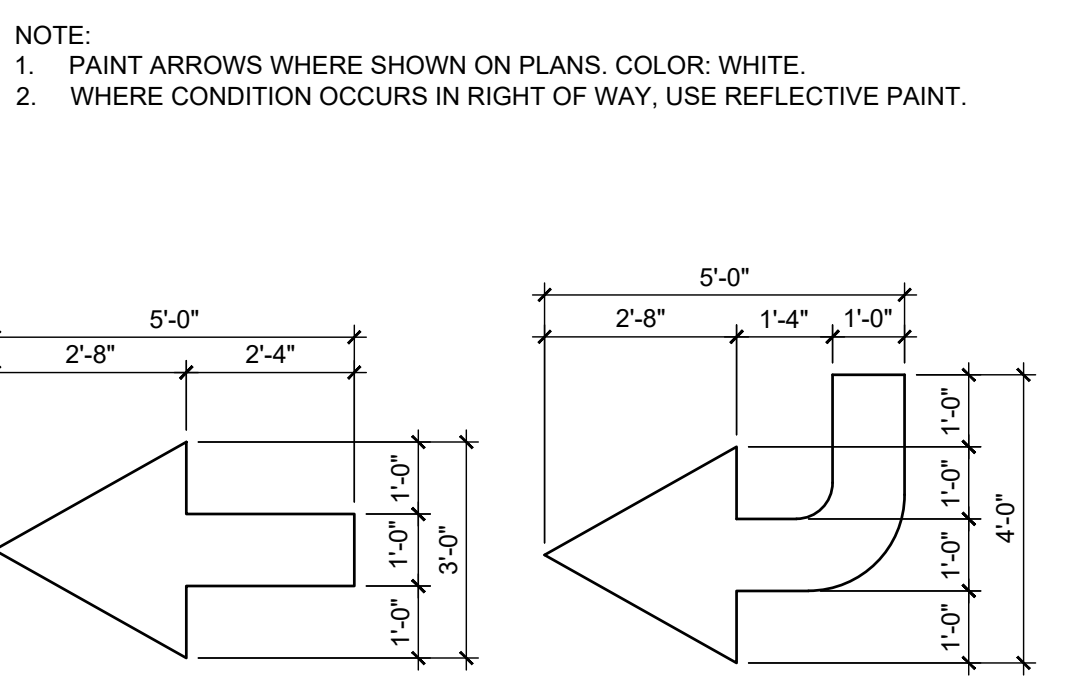
**B2 CONCRETE SIDEWALK**  
1 1/2" = 1'-0"  
0 1/2' 1' 1 1/2'



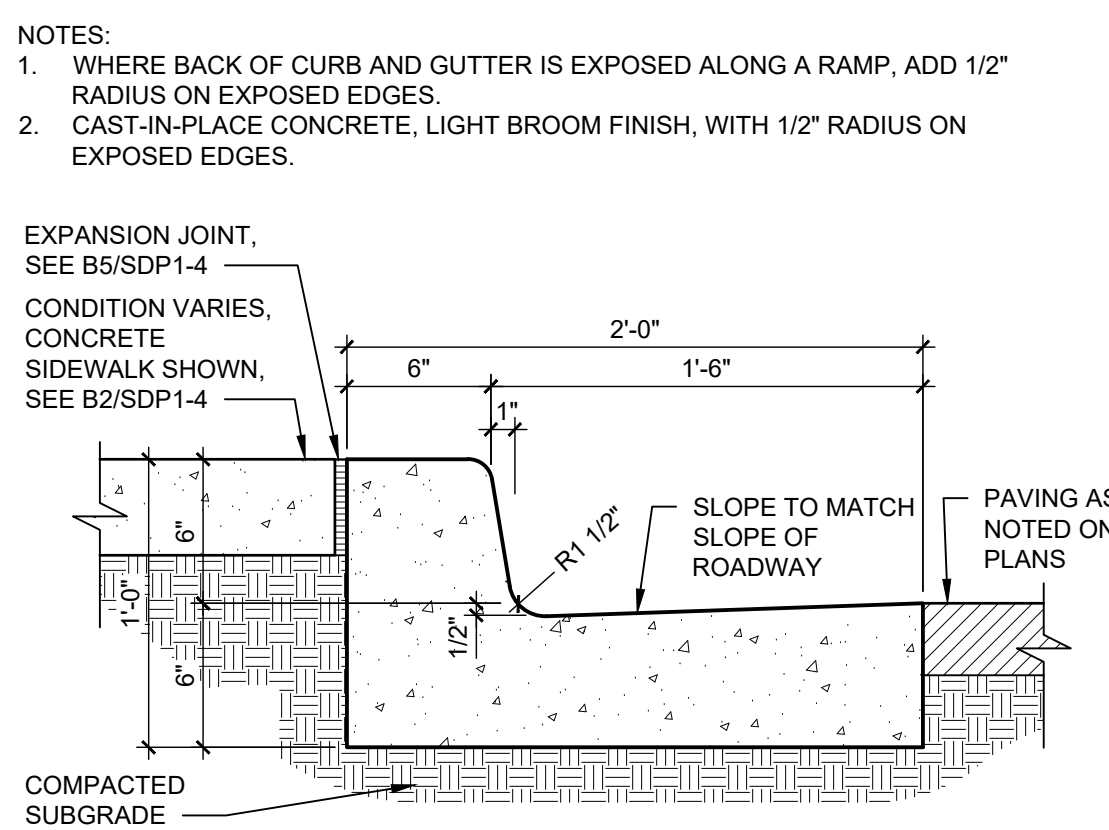
**B3 H.C. SIGN**  
1/2" = 1'-0"  
0 1' 2' 4'



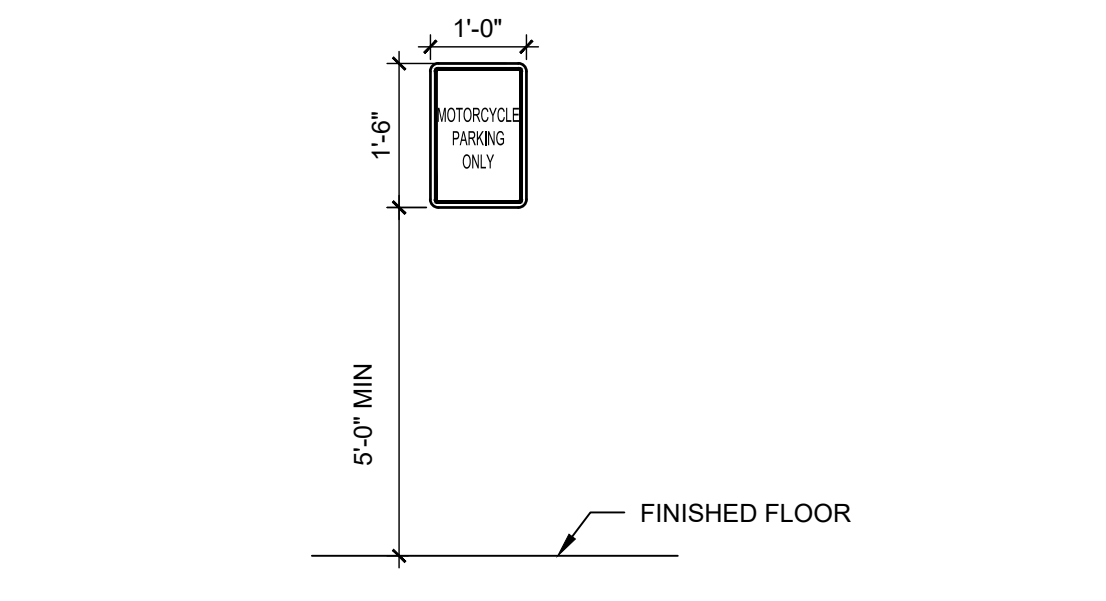
**B4 ACCESSIBLE RAMP**  
1/4" = 1'-0"  
0 2' 4' 8'



**A1 DIRECTIONAL PAVEMENT ARROW**  
3/8" = 1'-0"  
0 2' 4' 8'



**A2 CONCRETE CURB & GUTTER**  
1 1/2" = 1'-0"  
0 1/2' 1' 1 1/2'



**A3 MOTORCYCLE SIGN**  
1/2" = 1'-0"  
0 1' 2' 4'

NOTE:  
1. PAINT ARROWS WHERE SHOWN ON PLANS. COLOR: WHITE.  
2. WHERE CONDITION OCCURS IN RIGHT OF WAY, USE REFLECTIVE PAINT.

NOTES:  
1. WHERE BACK OF CURB AND GUTTER IS EXPOSED ALONG A RAMP, ADD 1/2" RADIUS ON EXPOSED EDGES.  
2. CAST-IN-PLACE CONCRETE, LIGHT BROOM FINISH, WITH 1/2" RADIUS ON EXPOSED EDGES.

EXPANSION JOINT, SEE B5/SDP1-4  
CONDITION VARIES, CONCRETE SIDEWALK SHOWN, SEE B2/SDP1-4  
SLOPE TO MATCH SLOPE OF ROADWAY  
PAVING AS NOTED ON PLANS  
COMPACTED SUBGRADE

NOTES:  
1. INSTALL PER MANUFACTURER'S DETAILS AND SPECIFICATIONS



**GENERAL NOTES**

- A. RESPONSIBILITY FOR MAINTENANCE: THE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTENANCE OF THE LANDSCAPE DURING CONSTRUCTION AND DURING A 90 DAY-MAINTENANCE PERIOD FOLLOWING SUBSTANTIAL COMPLETION. THE OWNER WILL BE RESPONSIBLE FOR MAINTENANCE FOLLOWING THE 90-DAY MAINTENANCE PERIOD.
- B. STATEMENT OF COMPLIANCE WITH CITY OF ALBUQUERQUE: THE LANDSCAPE DESIGN WILL COMPLY WITH THE CITY OF ALBUQUERQUE'S GENERAL LANDSCAPING REGULATIONS AND WATER CONSERVATION ORDINANCES.
- C. TIMING OF LANDSCAPE INSTALLATION: INSTALLATION OF THE LANDSCAPING SHALL BE COMPLETE WITHIN 60 DAYS OF THE RELATED BUILDING'S OCCUPANCY.
- D. SURFACE TREATMENT: ALL LANDSCAPE AREAS SHALL BE COVERED WITH MULCH.
- E. LANDSCAPE FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3' AND 8' (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.
- F. MINIMUM PLANT SIZES ARE AS PER CITY OF ALBUQUERQUE STANDARDS: 2" CALIPER TREES, 6" HEIGHT CONIFERS, AND 1 GALLON SHRUBS.
- G. ALL AREAS DISTURBED DURING CONSTRUCTION, INCLUDING AREAS NOT WITHIN THE PROPERTY LINE, WILL BE STABILIZED.
- H. ROOF DRAINS: SURFACE DRAINAGE OFF DOWNSPOUTS SHALL BE DIRECTED AWAY FROM BUILDINGS INTO LANDSCAPE AREAS OR ENGINEERED DRAINAGE SYSTEM. REFER TO CIVIL.
- I. VEGETATIVE SCREENING SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS SHALL ALLOW 10' OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5' OF CLEARANCE ON THE REMAINING SIDES FOR SAFE OPERATION AND MAINTENANCE.
- J. CONTRACTOR IS TO VERIFY ALL EXISTING UTILITY LOCATIONS BEFORE EXCAVATION AND PLANTING.
- K. NEW PLANTINGS DO NOT INCLUDE HIGH WATER TURF.
- L. THE ABILITY TO PROVIDE STREET TREES IS LIMITED BY UTILITY EASEMENTS AND EXISTING UTILITIES.
- M. ORGANIC BARK MULCH IS PROVIDED AT EACH TREE FROM ROOT BALL EXTENDING OUT TO DRIPLINE PER CITY OF ALBUQUERQUE IDO 14-16-5-6(C)(5)(b)
- N. LANDSCAPE BEDS SHALL BE DEPRESSED BELOW ADJACENT SIDEWALK GRADE.

**IRRIGATION NOTES**

- 1. ALL PLANTINGS SHALL BE IRRIGATED BY AUTOMATED IRRIGATION SYSTEMS, WITH PROGRAMMABLE SETTINGS, AUTOMATED SMART CONTROLLER, AND MOISTURE SENSOR TO AVOID OVERWATERING.
- 2. IRRIGATION TO EXISTING PLANTINGS TO REMAIN SHALL REMAIN OPERATIONAL. THE IRRIGATION SYSTEMS SHALL NOT IRRIGATE IMPERVIOUS SURFACES, INCLUDING SIDEWALKS, DRIVEWAYS, STREETS AND PARKING OR LOADING AREAS.
- 3. IRRIGATION POINTS OF CONNECTION TO THE CITY WATER WILL BE LOCATED WITHIN PROPERTY LIMITS AND SHALL COMPLY WITH THE CITY OF ALBUQUERQUE REDUCED PRESSURE BACKFLOW PREVENTER STANDARDS AND SPECIFICATIONS.
- 4. RUN TIMES AND IRRIGATION ZONES SHALL BE BASED UPON PLANT SPECIES AND THEIR ESTABLISHMENT. RUN TIMES SHALL BE REGULARLY ADJUSTED ACCORDING TO PLANT MATURITY, SEASON, LOCATION AND PERFORMANCE.
- 5. WHERE POSSIBLE NEW IRRIGATION WILL BE CONNECTED TO AN EXISTING SYSTEM. THERE ARE MULTIPLE IRRIGATION SYSTEMS ACROSS THE CAMPUS.
- 6. IRRIGATION SYSTEM CONNECTIONS AND MAINLINES WILL BE LOCATED OUTSIDE OF FUTURE WORK ZONES.
- 7. PER CITY OF ALBUQUERQUE STANDARD IRRIGATION SPECIFICATIONS, THERE WILL BE (3) 0.25 GPM BUBBLERS PER TREE AND (1) 0.25 GPM BUBBLER PER SHRUB.

**LEGEND**

SYMBOL	NOTES
	GRAVEL MULCH LANDSCAPE AREA
	ORGANIC MULCH LANDSCAPE AREA
	GRAVEL MULCH LANDSCAPE AREA IN R.O.W. (EXCLUDED FROM LANDSCAPE CALCULATIONS)
	EXISTING TREE TO REMAIN
	TABLE AND SEATING
	PROPERTY LINE
	CAMPUS BOUNDARY
	PARKING LOT BOUNDARY

\*GRAVEL MULCH WILL NOT EXCEED 50% OF PLANTING BED COVERAGE PER CITY OF ALBUQUERQUE IDO 14-16-5-6(C)(5)(c)

**LANDSCAPE CALCULATIONS**

GROSS LOT AREA = 26.33 AC = 1,147,082 SF  
 AREA OF LOT COVERED BY BUILDING FOOTPRINT = 536,715 SF  
 NET LOT AREA = 610,367 SF

**REQUIRED LANDSCAPE**  
 REQUIRED LANDSCAPE AREA = 61,037 SF (10% OF NET LOT AREA)  
 EXISTING LANDSCAPE AREA = 156,093 SF  
 LANDSCAPE BEING REMOVED = 47,341 SF  
 LANDSCAPE BEING ADDED = 45,696 SF  
 PROVIDED LANDSCAPE AREA EXISTING TO REMAIN + NEW = 154,360 SF (25% OF NET LOT AREA) (see hatch legend for exclusions from landscape areas)

**REQUIRED STREET TREES**  
 REQUIRED STREET TREES = 1 TREE PER 25' LINEAR FEET OF STREET FRONTAGE

**STREET TREES**  
 SYCAMORE STREET FRONTAGE = 567'  
 TREES REQUIRED = 23  
 TREES PROVIDED = 23  
 SPRUCE STREET FRONTAGE = 569'  
 TREES REQUIRED = 23  
 TREES PROVIDED = 17 (9 ADDITIONAL TREES SHOWN NORTH OF STRUCTURE)  
 SILVER AVE FRONTAGE (NORTH SIDE, OAK TO MULBERRY) = 300'  
 TREES REQUIRED = 12  
 TREES PROVIDED = 0, NEW UTILITY EASEMENT THROUGH THIS AREA  
 SILVER AVE FRONTAGE (NORTH SIDE, SPRUCE TO SYCAMORE) = 300'  
 TREES REQUIRED = 12  
 TREES PROVIDED = 12  
 SILVER AVE FRONTAGE (SOUTH SIDE, OAK TO MULBERRY) = 300'  
 TREES REQUIRED = 12  
 TREES PROVIDED = 0 (1 EXISTING TREE TO REMAIN)

**REQUIRED VEGETATIVE COVERAGE**  
 TOTAL VEGETATIVE COVER REQUIRED = 34,206 SF (75% OF NEW LANDSCAPE AREA)  
 TOTAL VEGETATIVE COVER PROVIDED = 42,502 SF (94% OF NEW LANDSCAPE AREA)

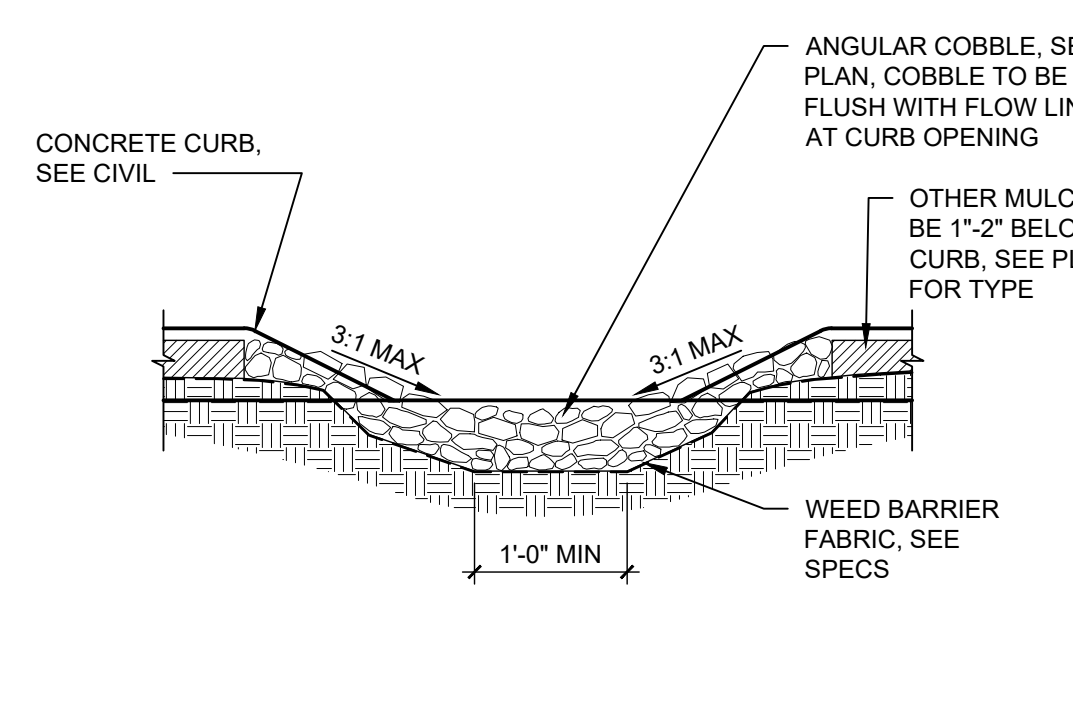
**TOTAL GROUND-LEVEL PLANT COVER REQUIRED = 11,402 SF (25% OF LANDSCAPE AREA)**  
 TOTAL GROUND-LEVEL PLANT COVER PROVIDED = 11,571 SF (25% OF LANDSCAPE AREA)

**ROCK MULCH COVERAGE**  
 TOTAL ROCK MULCH COVER ALLOWED = 22,804 SF (50% OF LANDSCAPE AREA)  
 TOTAL ROCK MULCH COVER PROVIDED = 22,448 SF (49% OF LANDSCAPE AREA)

<b>SURFACE PARKING LOT AREA #1</b> TOTAL AREA = 6,247 SF TOTAL # OF SPACES = 10 TREE REQUIRED: 1 TREES PROVIDED: 1	<b>SURFACE PARKING LOT AREA #2</b> TOTAL AREA = 20,411 SF TOTAL # OF SPACES = 33 TREE REQUIRED: 4 TREES PROVIDED: 5
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**NOTES:**

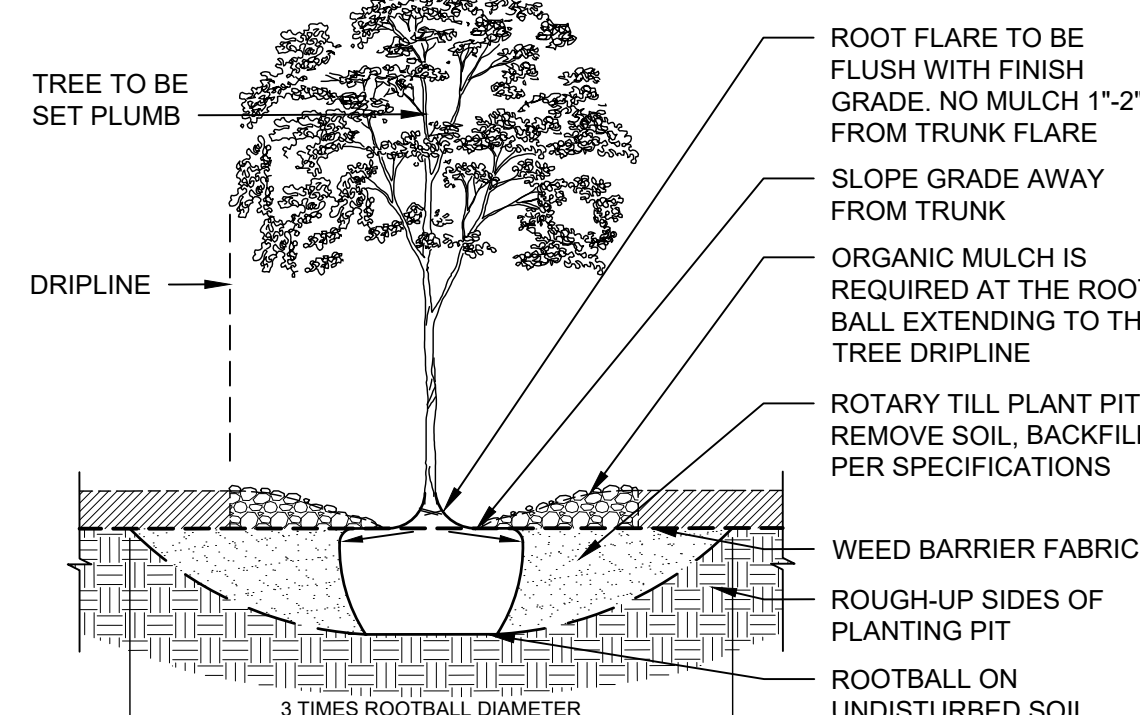
- 1. SEE PLANS FOR CURB CUT LOCATIONS.



**D2 CURBCUT**  
3/4" = 1'-0"

**NOTE:**

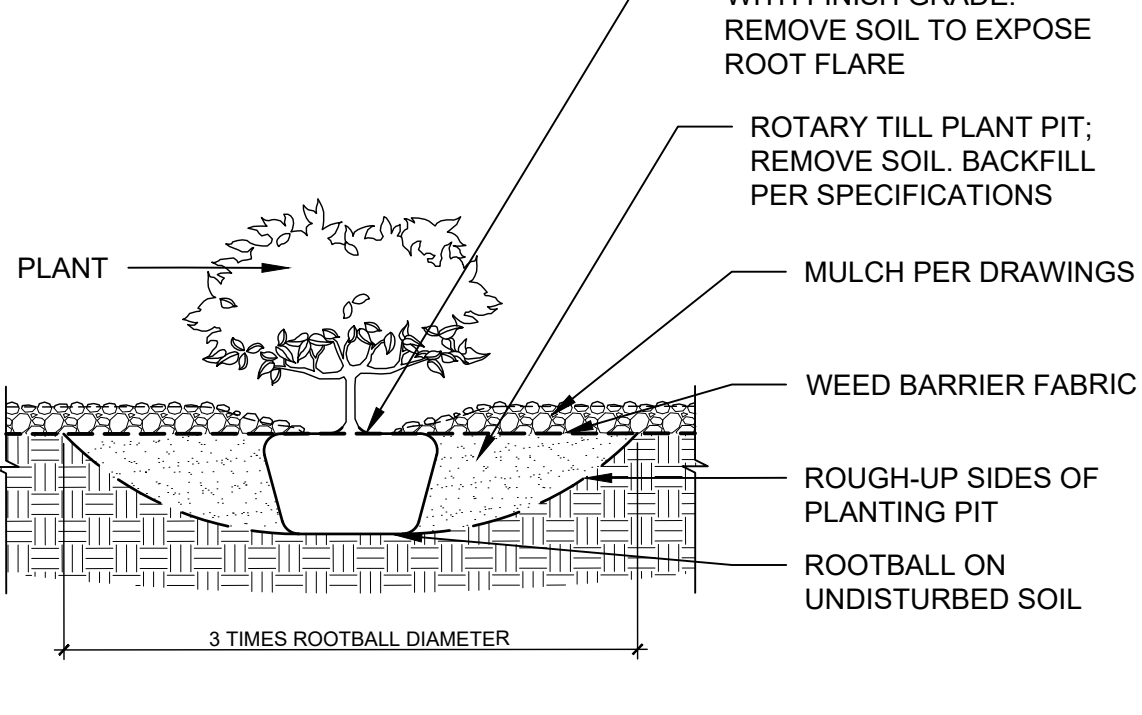
- 1. PRIOR TO BACKFILLING, ALL MATERIAL SUCH AS CONTAINERS, WIRE, BURLAP AND ROPE SHALL BE COMPLETELY REMOVED.
- 2. ORGANIC BARK MULCH IS REQUIRED AT EACH TREE FROM ROOT BALL EXTENDING OUT TO DRIPLINE PER COA IDO 14-16-5-6(C)(5)(b)



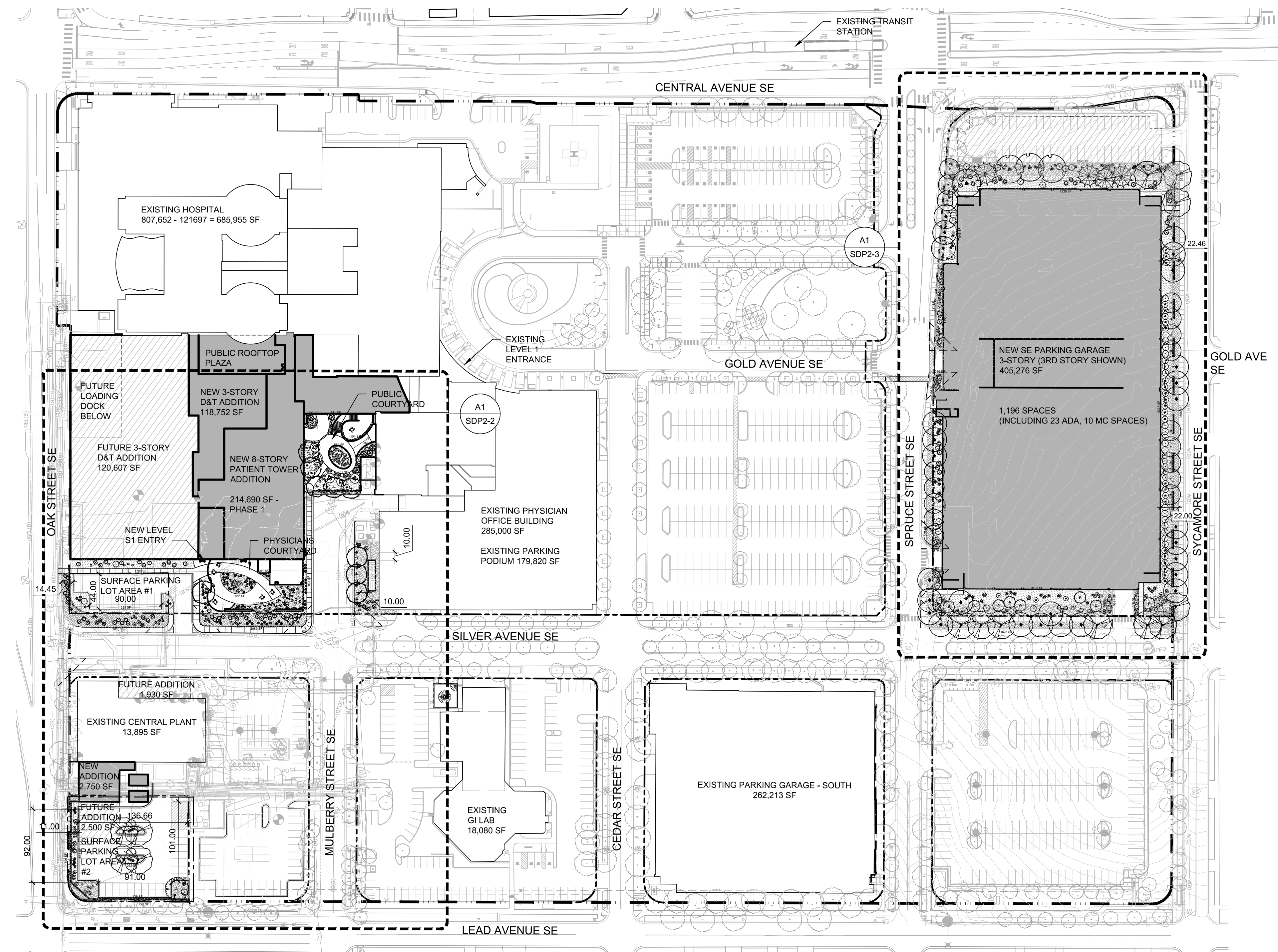
**D3 TREE IN PLANTING BED**  
NTS

**NOTES:**

- 1. PRIOR TO BACKFILLING, ALL MATERIAL SUCH AS CONTAINERS, WIRE, BURLAP AND ROPE SHALL BE COMPLETELY REMOVED.



**D4 SHRUB IN BED**  
NTS



**A1 LANDSCAPE PLAN**  
1" = 80'-0"



**GENERAL NOTES**

- A. FOR MAINTENANCE STATEMENT AND IRRIGATION SYSTEM INFORMATION, SEE SDP 2-1.
- B. MINIMUM PLANT SIZES ARE AS PER CITY OF ALBUQUERQUE STANDARDS: 2" CALIPER TREES, 6' HEIGHT CONIFERS, AND 1 GALLON SHRUBS.

**SHEET KEYNOTES**

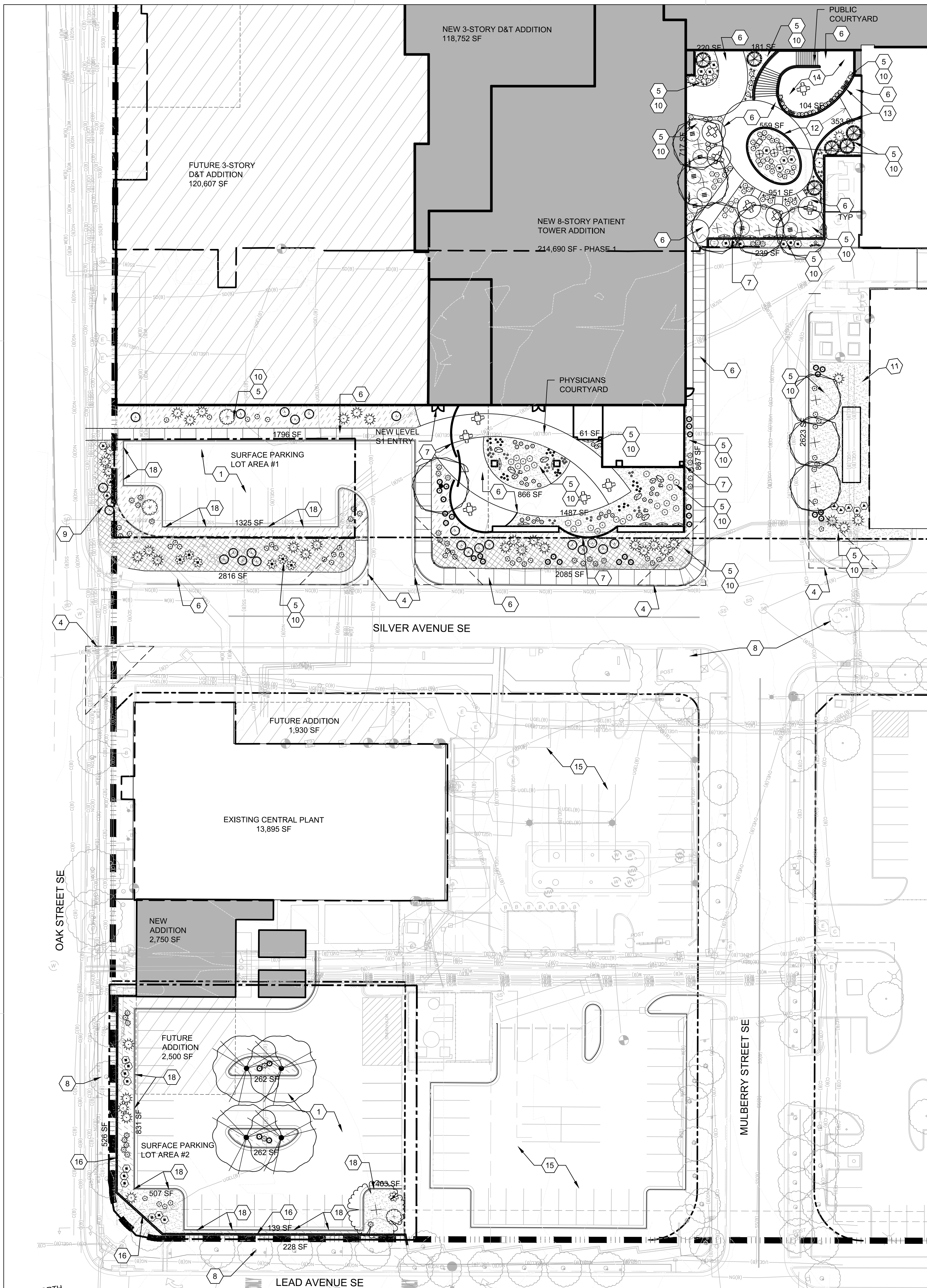
- 1. SURFACE PARKING AREA
- 2. EXISTING EASEMENT
- 3. NEW EASEMENT
- 4. CLEAR SIGHT TRIANGLE
- 5. PERVIOUS AREA
- 6. IMPERVIOUS AREA
- 7. 6'-8" TALL SCREEN WALL OR FENCE W/ GATE
- 8. EXISTING PLANTINGS TO REMAIN
- 9. NEW PLANTINGS FOR SCREENING / BUFFERING
- 10. NEW PLANTING FOR GENERAL LANDSCAPING
- 11. CLEARANCE AROUND GROUND MOUNTED UTILITY
- 12. SEAT WALL
- 13. 3' MAX LANDSCAPE RETAINING WALL
- 14. BALCONY WITH SEATING ABOVE AND BELOW
- 15. EXISTING SURFACE PARKING LOT TO REMAIN
- 16. SITE WALL FOR SCREENING
- 17. 6' TALL VEGETATIVE BUFFER PER IDO COA IDO 14-16-5-6(E)2(b), BUFFER DESIGNED TO BE 75% OPAQUE AT MATURITY
- 18. CURB CUT, SEE D2/SDP2-1

**PLANT LEGEND**

TREES	BOTANICAL NAME	COMMON NAME
	JUNIPERUS SCOPULORUM 'MOONGLOW'	MOONGLOW JUNIPER
	ROBINIA PSEUDOACACIA 'PURPLE ROBE'	PURPLE ROBE LOCUST
	ULMUS X 'ACCOLADE'	ACCOLADE ELM
	ULMUS X 'FRONTIER'	FRONTIER ELM
	ZELKOVA SERRATA 'GREEN VASE'	GREEN VASE ZELKOVA
SHRUBS	BOTANICAL NAME	COMMON NAME
	BACCHARIS X 'STARN'	THOMPSON BROOM
	CARYOPTERIS X CLANDONENSIS	BLUE MIST SHRUB
	CHAMAEBATIARIA MILLEFOLIUM	FERNBUSH
	ELAEAGNUS PUNGENS	SILVERBERRY
	ERICAMERIA NAUSEOSA	CHAMISA
	JUNIPERUS SABINA 'BUFFALO'	BUFFALO JUNIPER
*ALL JUNIPER SPECIES TO BE FEMALE ONLY		
	MAHONIA REPENS	CREEPING MAHONIA
	ROSA BANKSAIE	YELLOW LADY BANKS ROSE
	ROSMARINUS OFFICINALIS 'TUSCAN BLUE'	TUSCAN BLUE ROSEMARY
	SALVIA GREGGII 'FURMANS RED'	FURMAN'S RED SALVIA
GRASSES	BOTANICAL NAME	COMMON NAME
	BOUTELOUA 'BLONDE AMBITION'	BLONDE AMBITION BLUE GRAMA
	CAREX APPALACHICA	APPALACHIAN SEDGE
	HELICOTRICHON SEMPERVIRENS	BLUE AVENA GRASS
	SORGHASTRUM NUTANS	INDIAN GRASS
PERENNIALS	BOTANICAL NAME	COMMON NAME
	ANEMOPSIS CALIFORNICA	YERBA MANSA
	AQUILEGIA CHRYSANTHA	GOLDEN SPUR COLUMBINE
	ECHINACEA PURPUREA	PURPLE CONEFLOWER
	LAVANDULA X INTERMEDIA 'GROSSO'	GROSSO LAVENDER
SUCCULENTS	BOTANICAL NAME	COMMON NAME
	HESPERALOE PARVIFLORA	RED YUCCA
	NOLINA MICROCARPA	BEARGRASS
VINE	BOTANICAL NAME	COMMON NAME
	CAMPSIS RADICANS	TRUMPET VINE
	HEDERA HELIX	ENGLISH IVY
	PARTHENOCISSUS TRICUSPIDATA	BOSTON IVY
	WISTERIA SINENSIS	WISTERIA

**LEGEND**

SYMBOL	NOTES
	3/4"Ø ROCK MULCH AMARETTO BROWN 3" DEPTH OVER FILTER FABRIC IN R.O.W. NOT INCLUDED IN LANDSCAPE CALCULATIONS
	3/4"Ø ROCK MULCH AMARETTO BROWN 3" DEPTH OVER FILTER FABRIC
	SHREDDED SCREENED BARK MULCH 3" DEPTH OVER FILTER FABRIC
	EXISTING TREE TO REMAIN
	TABLE AND SEATING
	PROPERTY LINE
	CAMPUS BOUNDARY
	PARKING LOT BOUNDARY





**VEGETATIVE SCREEN  
CALCULATION ON SYCAMORE**

LENGTH OF 6' TALL VEGETATIVE SCREEN: 360'  
VEGETATIVE SCREEN DESIGNED SO AT MATURITY NO MORE  
THAN 90' OF THE SCREEN IS OPEN.

CALCULATION:  
360' x 0.75 = 270' SOLID  
360' - 270' = 90' OPEN

**GENERAL NOTES**

- A. FOR MAINTENANCE STATEMENT AND IRRIGATION SYSTEM INFORMATION, SEE SDP 2-1.
- B. MINIMUM PLANT SIZES ARE AS PER CITY OF ALBUQUERQUE STANDARDS: 2" CALIPER TREES, 6' HEIGHT CONIFERS, AND 1 GALLON SHRUBS.

**SHEET KEYNOTES**

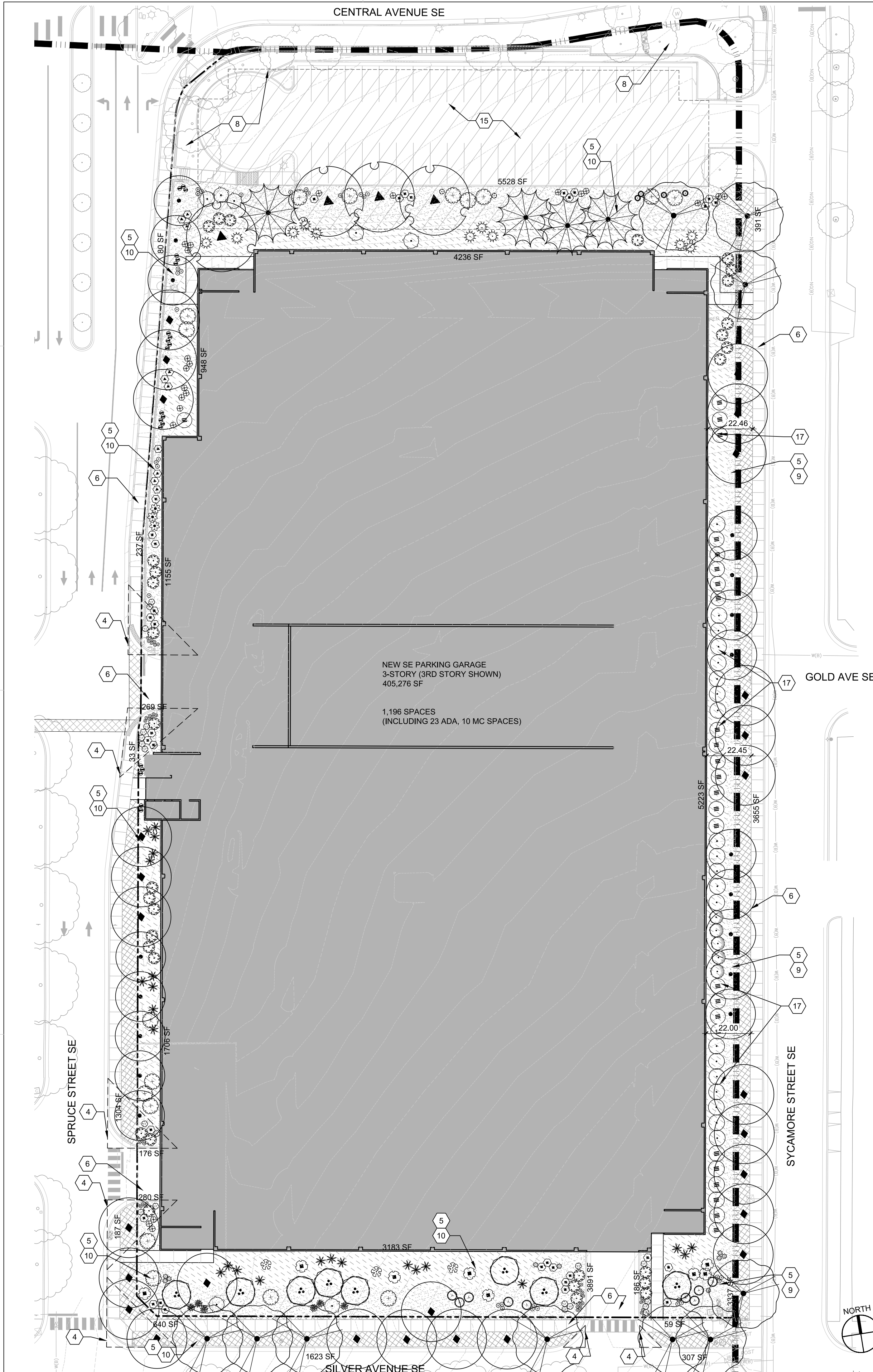
- 1. SURFACE PARKING AREA
- 2. EXISTING EASEMENT
- 3. NEW EASEMENT
- 4. CLEAR SIGHT TRIANGLE
- 5. PERVIOUS AREA
- 6. IMPERVIOUS AREA
- 7. 6'-8" TALL SCREEN WALL OR FENCE W/ GATE
- 8. EXISTING PLANTINGS TO REMAIN
- 9. NEW PLANTINGS FOR SCREENING / BUFFERING
- 10. NEW PLANTING FOR GENERAL LANDSCAPING UTILITY
- 11. CLEARANCE AROUND GROUND MOUNTED UTILITY
- 12. SEAT WALL
- 13. 3' MAX LANDSCAPE RETAINING WALL
- 14. BALCONY WITH SEATING ABOVE AND BELOW
- 15. EXISTING SURFACE PARKING LOT TO REMAIN
- 16. SITE WALL FOR SCREENING
- 17. 6' TALL VEGETATIVE BUFFER PER IDO COA IDO 14-16-5-6(E)2(b), BUFFER DESIGNED TO BE 75% OPAQUE AT MATURITY
- 18. CURB CUT, SEE D2/SDP2-1

**PLANT LEGEND**

TREES	BOTANICAL NAME	COMMON NAME
	FORESTIERA NEOMEXICANA	NEW MEXICO PRIVET
	PINUS NIGRA	AUSTRIAN BLACK PINE
	PISTACIA CHINENSIS	CHINESE PISTACHE
	QUERCUS BUCKLEYI	BUCKLEY OAK
	QUERCUS MUEHLENBERGII	CHINKAPIN OAK
	ULMUS X 'ACCOLADE'	ACCOLADE ELM
SHRUBS	BOTANICAL NAME	COMMON NAME
	BACCHARIS X 'STARN'	THOMPSON BROOM
	BUDDLEJA DAVIDII 'BLACK KNIGHT'	BLACK KNIGHT BUTTERFLY BUSH
	CALLIRHOE INVOLUCRATA	PURPLE POPPYMALLOW
	CHAMAEBATIARIA MILLEFOLIUM	FERNBUSH
	COTONEASTER PARNEYI	COTONEASTER
	ELAEAGNUS PUNGENS	SILVERBERRY
	ERICAMERIA NAUSEOSA	CHAMISA
	JUNIPERUS SABINA 'BUFFALO' *ALL JUNIPER SPECIES TO BE FEMALE ONLY	BUFFALO JUNIPER
	POTENTILLA FRUTICOSA 'ABBOTSWOOD'	ABBOTSWOOD POTENTILLA
	RHUS AROMATICA 'GRO-LOW'	GRO-LOW SUMAC
	ROSA MEIDILAND	WHITE MEIDILAND ROSE
	ROSMARINUS OFFICINALIS 'TUSCAN BLUE'	TUSCAN BLUE ROSEMARY
	SALVIA GREGGII 'FURMANS RED'	FURMAN'S RED SALVIA
GRASSES	BOTANICAL NAME	COMMON NAME
	BOUTELOUA 'BLONDE AMBITION'	BLONDE AMBITION BLUE GRAMA
	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER GRASS
	FESTUCA IDAHOENSIS 'SISKIYOU BLUE'	SISKIYOU BLUE FESCUE
SUCCULENTS	BOTANICAL NAME	COMMON NAME
	AGAVE HAVARDIANA	HAVARD'S CENTURY PLANT
	HESPERALOE PARVIFLORA	RED YUCCA
	NOLINA MICROCARPA	BEARGRASS
	OPUNTIA SANTA-RITA	SANTA RITA PRICKLYPEAR
	YUCCA SCHOTTII	MOUNTAIN YUCCA
	YUCCA BACCATA	BANANA YUCCA

**LEGEND**

SYMBOL	NOTES
	3/4" ROCK MULCH AMARETTO BROWN 3" DEPTH OVER FILTER FABRIC IN R.O.W. NOT INCLUDED IN LANDSCAPE CALCULATIONS
	3/4" ROCK MULCH AMARETTO BROWN 3" DEPTH OVER FILTER FABRIC
	SHREDDED SCREENED BARK MULCH 3" DEPTH OVER FILTER FABRIC
	EXISTING TREE TO REMAIN
	TABLE AND SEATING
	PROPERTY LINE
	CAMPUS BOUNDARY
	PARKING LOT BOUNDARY



**LANDSCAPE PLAN**

A1



**DEKKER  
PERICH  
SABATINI**

**7601** JEFFERSON NE, SUITE 100  
ALBUQUERQUE, NM 87109  
505.761.9700 / DPSDESIGN.ORG

SEAL  
  
NOT FOR CONSTRUCTION  
PROJECT

**PRESBYTERIAN HOSPITAL**  
SITE DEVELOPMENT PLAN FOR BUILDING PERMIT  
1100 Central Ave SE  
Albuquerque, NM 87106

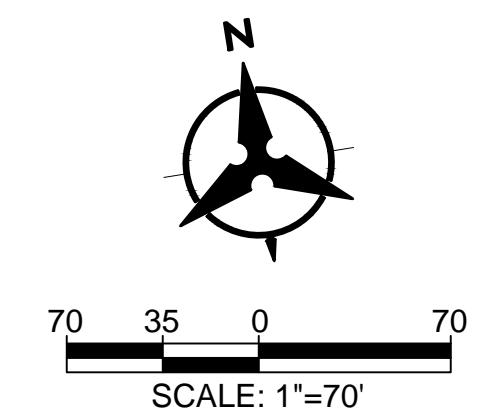
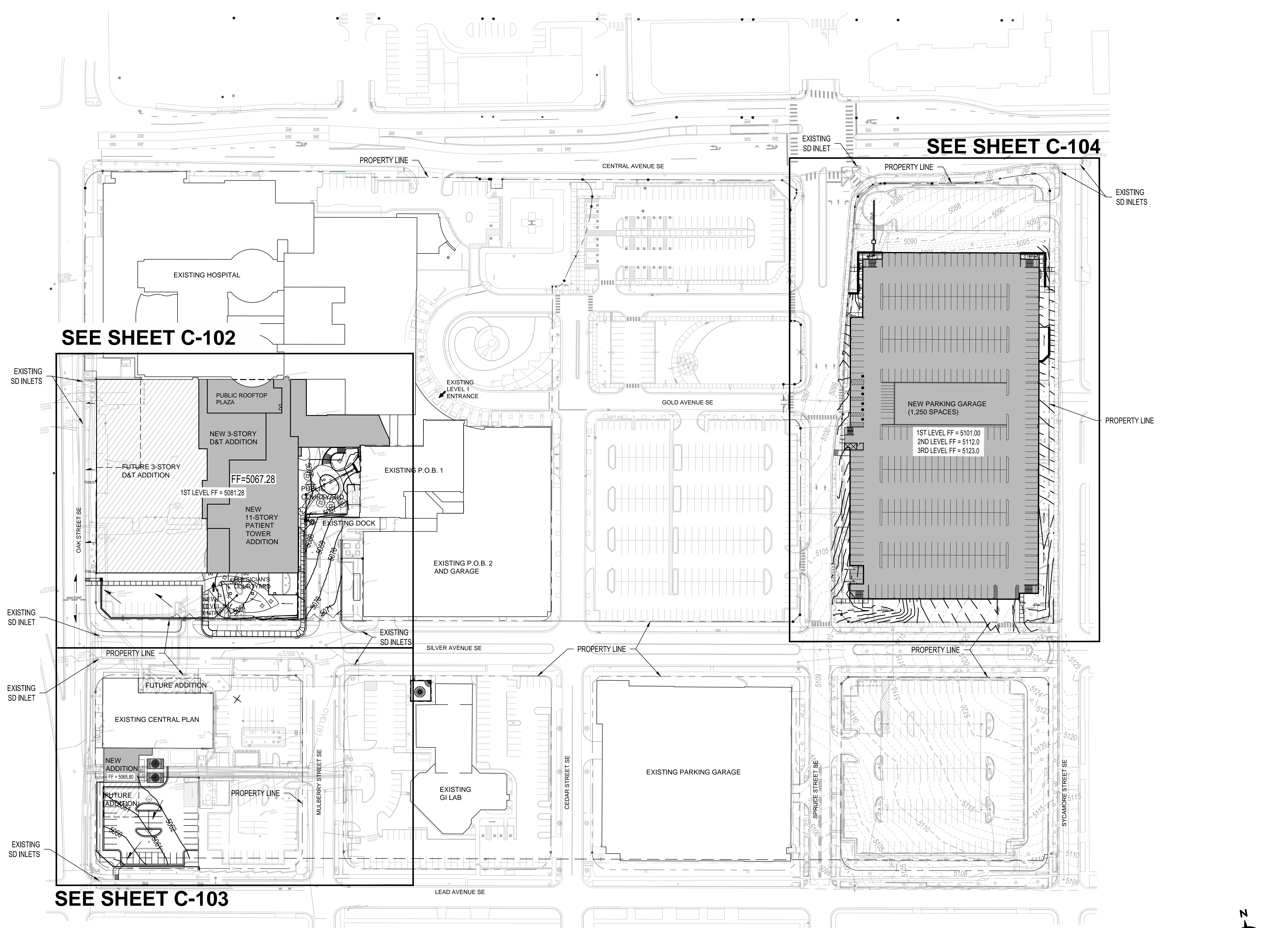
REVISIONS

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REVIEWED BY	GSB
DATE	10/29/2019
PROJECT NO.	19-0010.001
DRAWING NAME	

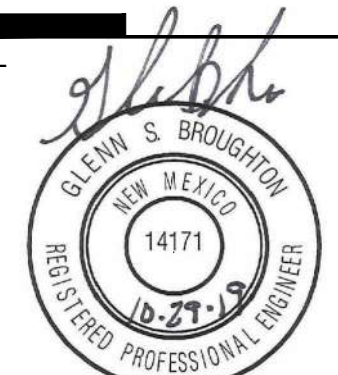
CONCEPTUAL  
OVERALL  
GRADING AND  
DRAINAGE PLAN

SHEET NO.  
**C-101**  
OF





SEAL



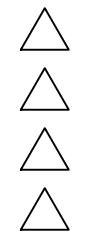
NOT FOR CONSTRUCTION

PROJECT

**PRESBYTERIAN HOSPITAL**  
SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

**1100 Central Ave SE**  
Albuquerque, NM 87106

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PROJECT NO.	19-0010.001
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**CONCEPTUAL  
GRADING AND  
DRAINAGE PLAN  
AREA A**

SHEET NO.

**C-102**  
OF

**GENERAL NOTES**

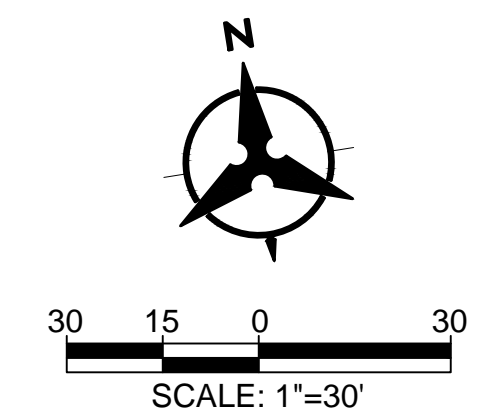
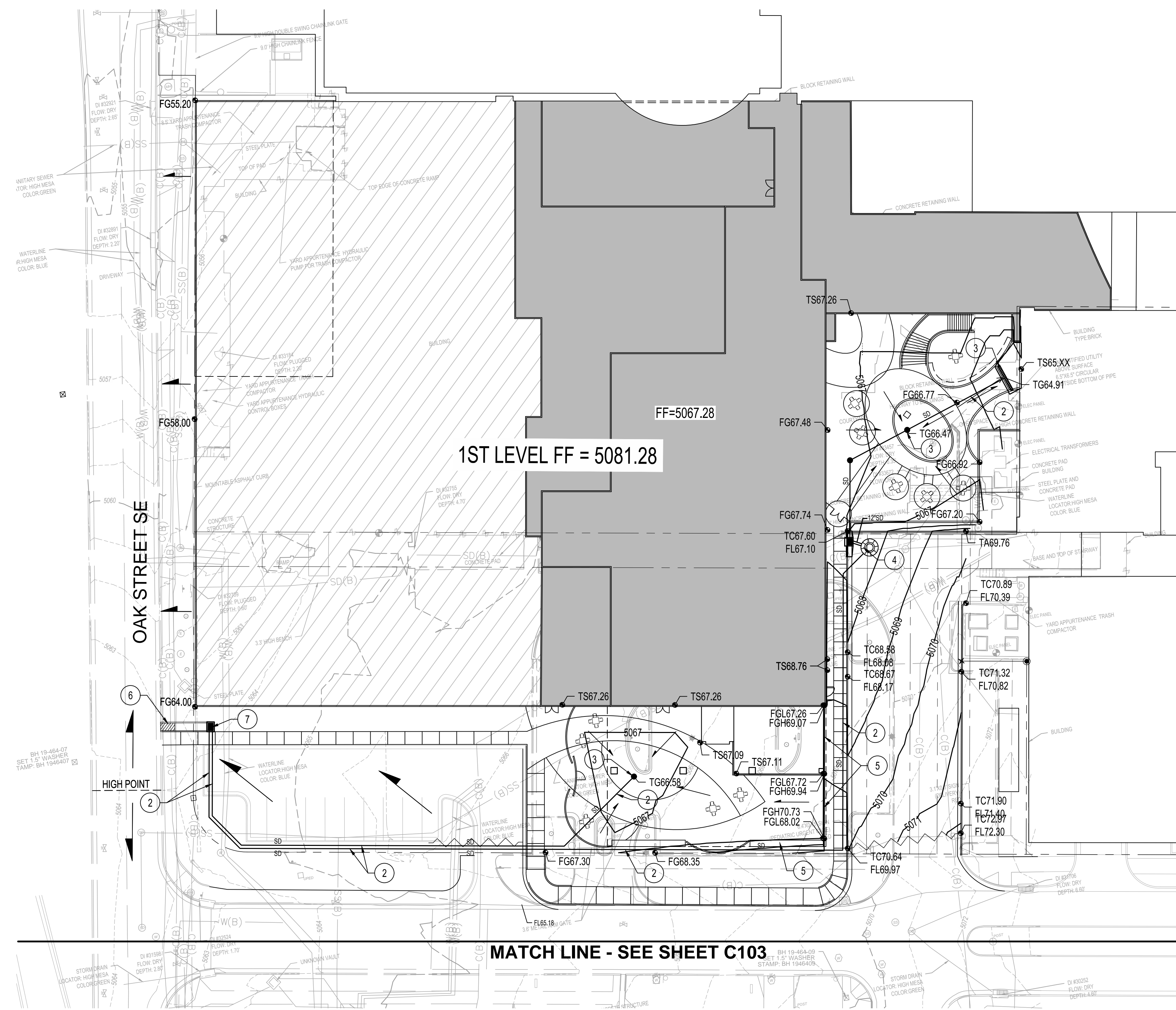
- CURB CUTS SHOWN ON THE PLAN HAVE BEEN LOCATED TO DIRECT SITE RUNOFF TO LANDSCAPE WATER HARVESTING AREAS. THE LOCATIONS WILL BE REFINED AS THE DESIGN DEVELOPS.

**KEYED NOTES**

- CURB CUT.
- STORM DRAIN.
- AREA DRAIN.
- STORM DRAIN LIFT STATION.
- RETAINING WALL.
- 3 - 24" WIDE SIDEWALK CULVERTS & CONCRETE RIBBON CHANNEL.
- PUMP DISCHARGE / OVERFLOW INLET.

**GRADING LEGEND**

- 2.0% DIRECTION OF FLOW
- 23.00 PROPOSED SPOT ELEVATION
- 5100 PROPOSED INDEX CONTOUR
- 5101 PROPOSED INTERMEDIATE CONTOUR
- WATER BLOCK







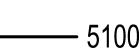


**GENERAL NOTES**

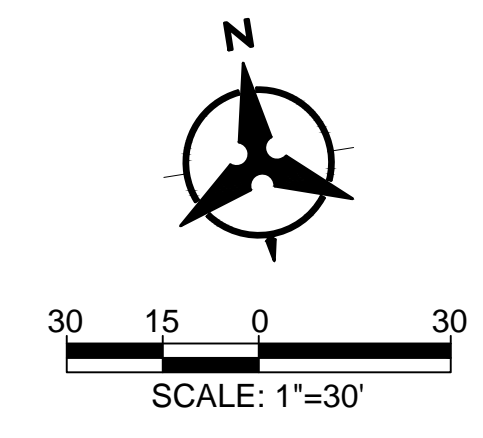
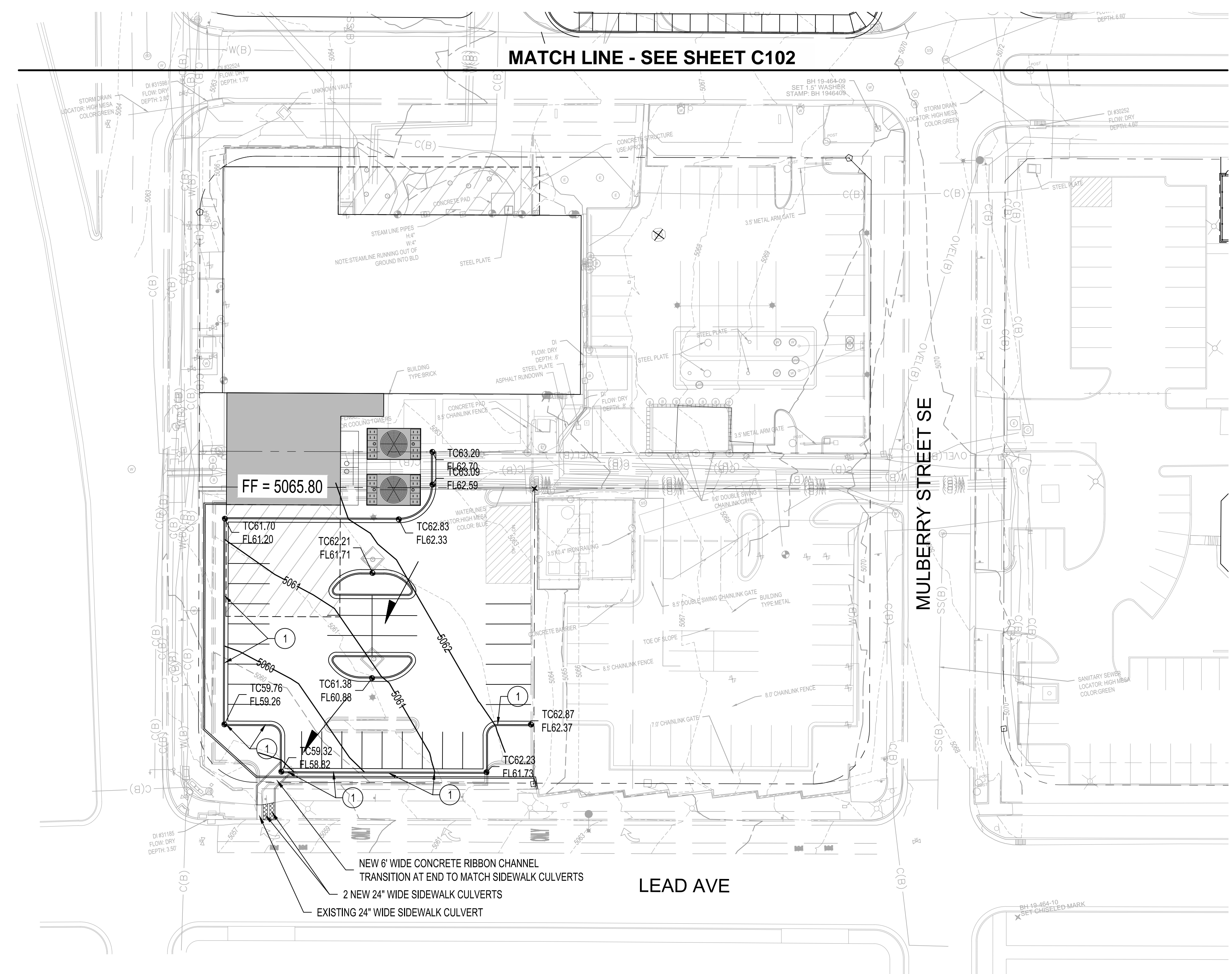
1. CURB CUTS SHOWN ON THE PLAN HAVE BEEN LOCATED TO DIRECT SITE RUNOFF TO LANDSCAPE WATER HARVESTING AREAS. THE LOCATIONS WILL BE REFINED AS THE DESIGN DEVELOPS.

**KEYED NOTES**

1. CURB CUT.
2. STORM DRAIN.
3. AREA DRAIN.
4. STORM DRAIN LIFT STATION.
5. RETAINING WALL.
6. SIDEWALK CULVERT.
7. PUMP DISCHARGE.

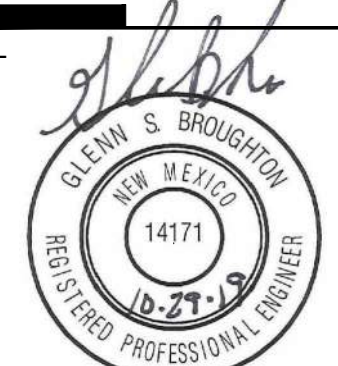
**GRADING LEGEND**

-  2.0% DIRECTION OF FLOW
-  23.00 PROPOSED SPOT ELEVATION
-  5100 PROPOSED INDEX CONTOUR
-  5101 PROPOSED INTERMEDIATE CONTOUR
-  WATER BLOCK





SEAL



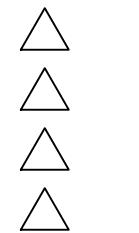
NOT FOR CONSTRUCTION

PROJECT

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1100 Central Ave SE  
Albuquerque, NM 87106

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REVIEWED BY	GSB
DATE	10/29/2019
PROJECT NO.	19-0010.001
DRAWING NAME	

CONCEPTUAL  
GRADING AND  
DRAINAGE PLAN  
AREA B

SHEET NO.

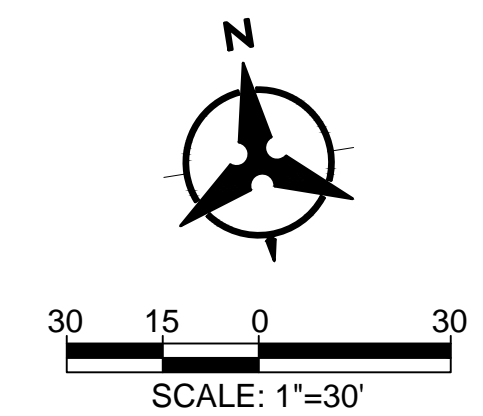
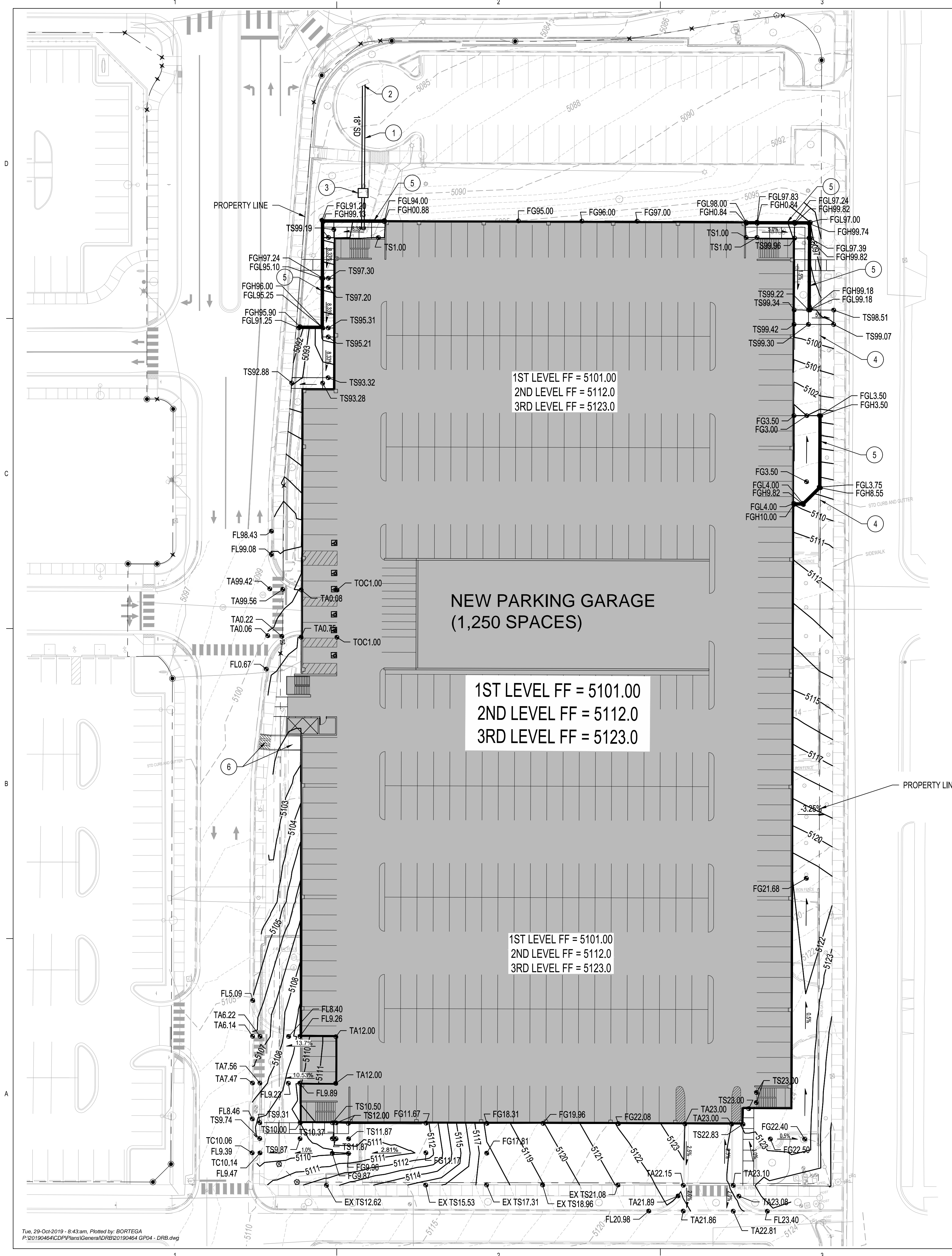
**C-104**  
OF

**KEYED NOTES**

1. NEW STORM DRAIN PIPE.
2. CONNECT TO EXISTING PRIVATE STORM DRAIN INLET.
3. SAND / OIL INTERCEPTOR.
4. EXISTING RETAINING WALL TO BE REMOVED.
5. NEW RETAINING WALL.
6. 3 - 24" WIDE SIDEWALK CULVERTS & CONCRETE RIBBON CHANNEL.

**GRADING LEGEND**

- 2.0% DIRECTION OF FLOW
- 23.00 PROPOSED SPOT ELEVATION
- 5100 PROPOSED INDEX CONTOUR
- 5101 PROPOSED INTERMEDIATE CONTOUR





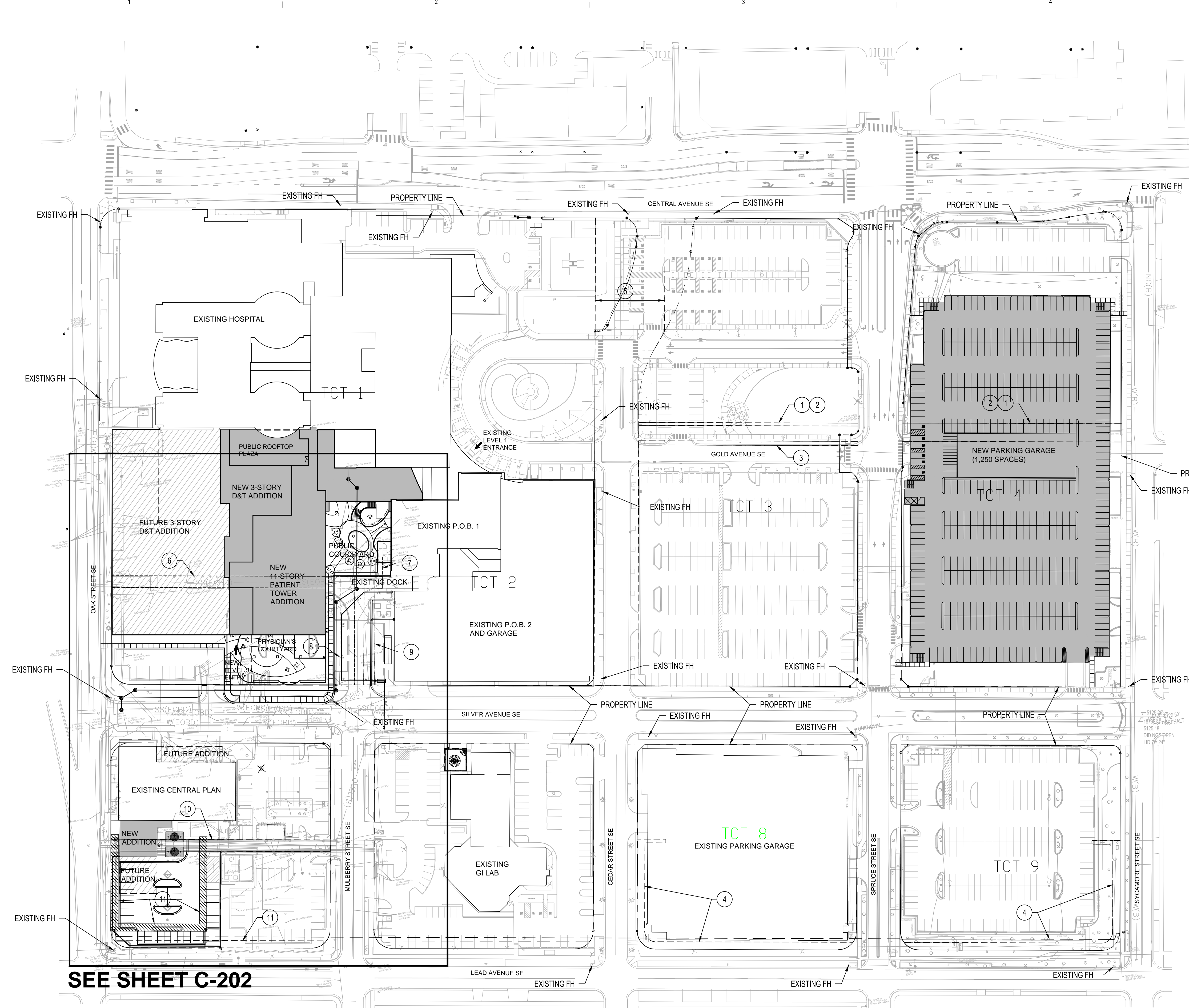


**EASEMENT KEYED NOTES**

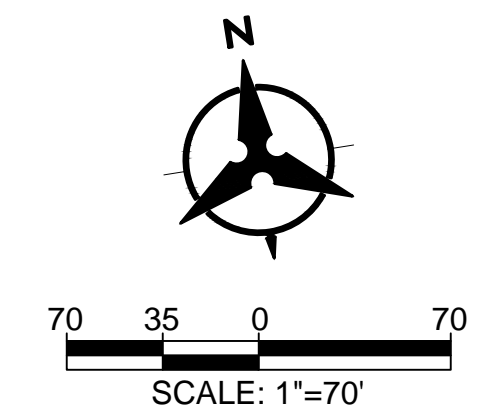
- EXISTING 25' WIDE PUBLIC SANITARY SEWER & PUBLIC WATER LINE EASEMENT TO BE VACATED.
- VACATION OF EASEMENT WILL REQUIRE RELOCATION OF THE EXISTING SANITARY SEWER LINE.
- EXISTING 26.75' WIDE PUBLIC DRAINAGE EASEMENT TO REMAIN.
- EXISTING 10' WIDE PNM UNDERGROUND EASEMENT TO REMAIN.
- EXISTING PUBLIC SANITARY SEWER, DRAINAGE & PUBLIC WATER LINE EASEMENT TO REMAIN.
- EXISTING 16' PRIVATE SANITARY SEWER EASEMENT TO BE VACATED.
- EXISTING 10' PUBLIC UTILITY EASEMENT TO BE VACATED. PUBLIC WATER LINE WILL BE REMOVED.
- EXISTING 20' PUBLIC WATER LINE TO BE VACATED. PUBLIC WATER LINE WILL BE REMOVED.
- EXISTING 15' GAS LINE EASEMENT TO BE VACATED.
- EXISTING 16' WIDE PUBLIC SANITARY SEWER EASEMENT & P.U.E. TO BE VACATED. PORTION OF EASEMENT TO REMAIN
- 10' P.U.E. TO BE GRANTED.

**LEGEND**

-  EXISTING EASEMENT TO BE VACATED
-  NEW EASEMENT TO BE GRANTED



**SEE SHEET C-202**





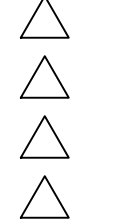
SEAL

PROJECT

**PRESBYTERIAN HOSPITAL**  
SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

**1100 Central Ave SE**  
Albuquerque, NM 87106

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DATE 10/01/2019

PROJECT NO. 19-0010.001

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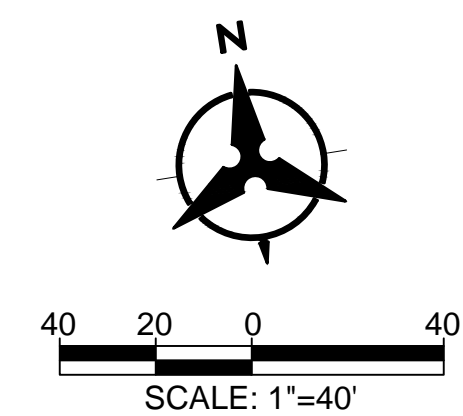
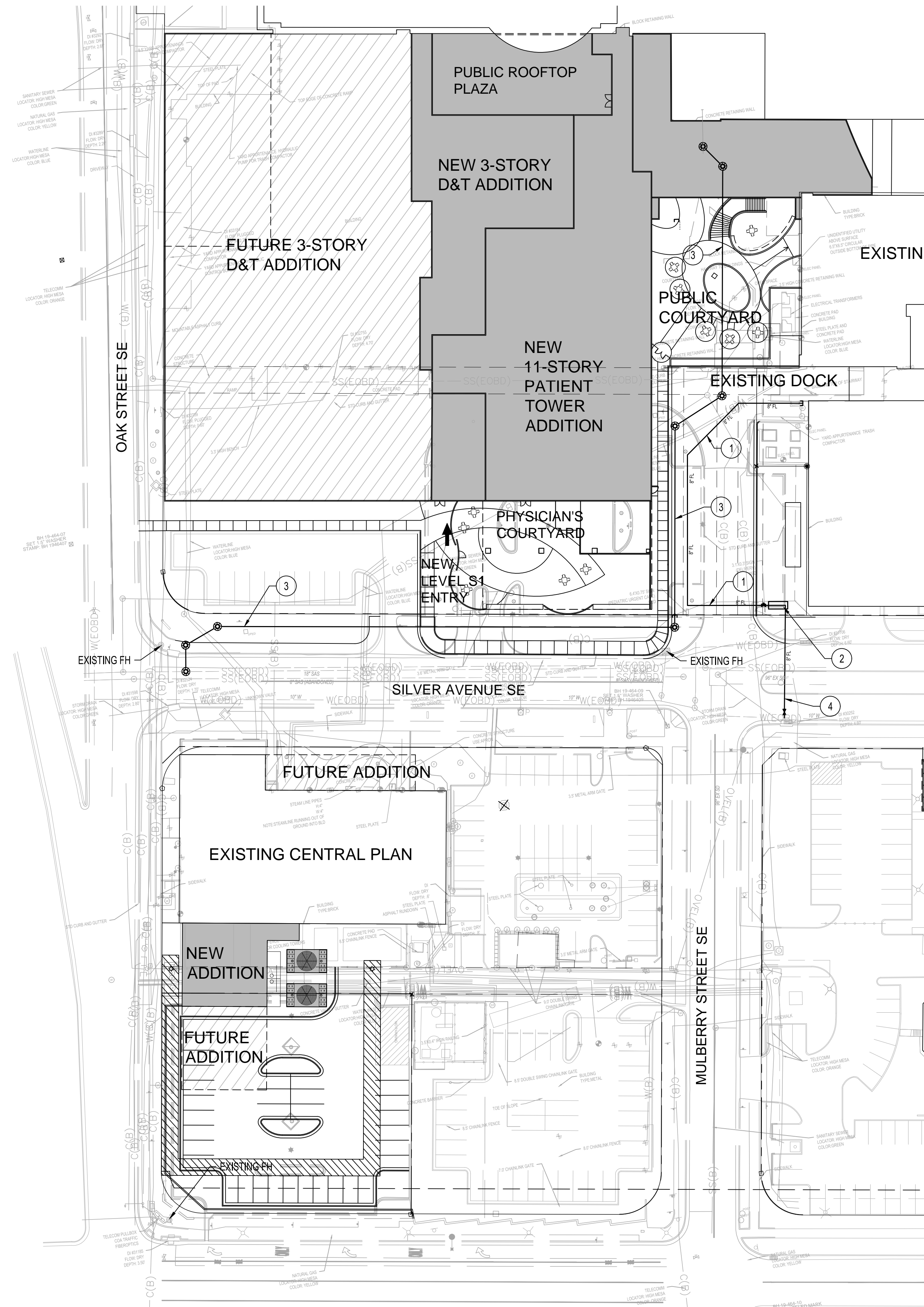
**CONCEPTUAL  
UTILITY PLAN**

SHEET NO.

**C-202**  
OF

**KEYED NOTES**

1. NEW PRIVATE 8" FIRE LINE.
2. NEW BACK FLOW PREVENTER IN HEATED ENCLOSURE.
3. NEW PRIVATE 10" SANITARY SEWER LINE.
4. NEW PUBLIC 8" FIRE LINE.





Date: Jul 23, 2019 - 2:01pm User:JSmetling . . . Drawing File: H:\8030.01\CAD\AutoCAD\PH New Patient Tower Site Development -Entitlements\Sheets\Electrical\EPC ES101.dwg . . . Lost Saved By: JSmetling Jul 23, 2019 - 1:59pm . . . Layout Name: EPC TOWER SITE PLAN

**GENERAL NOTES**

- REFER TO ARCHITECTURAL FOR BUILDING MOUNTED SIGNAGE LOCATIONS.

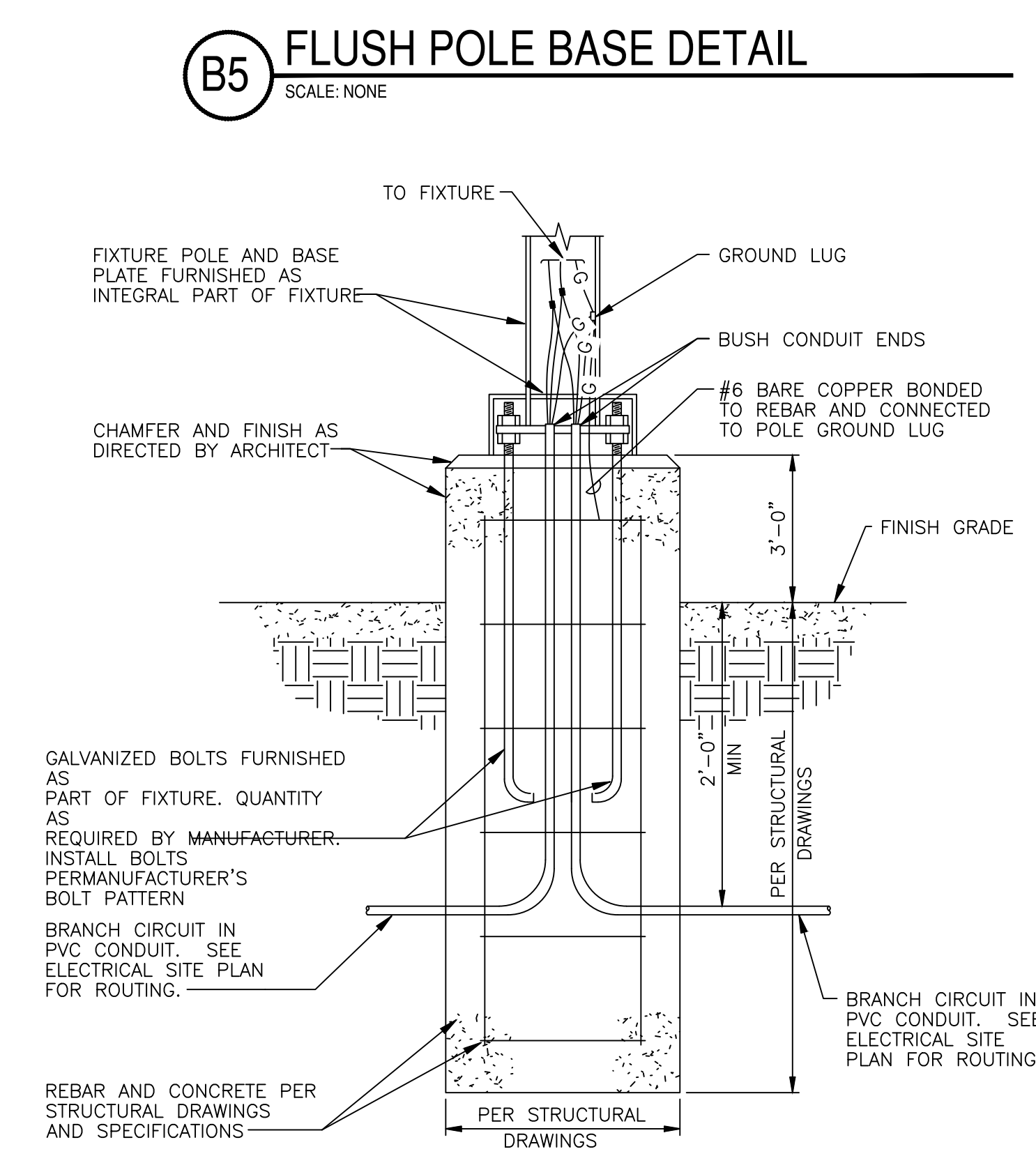
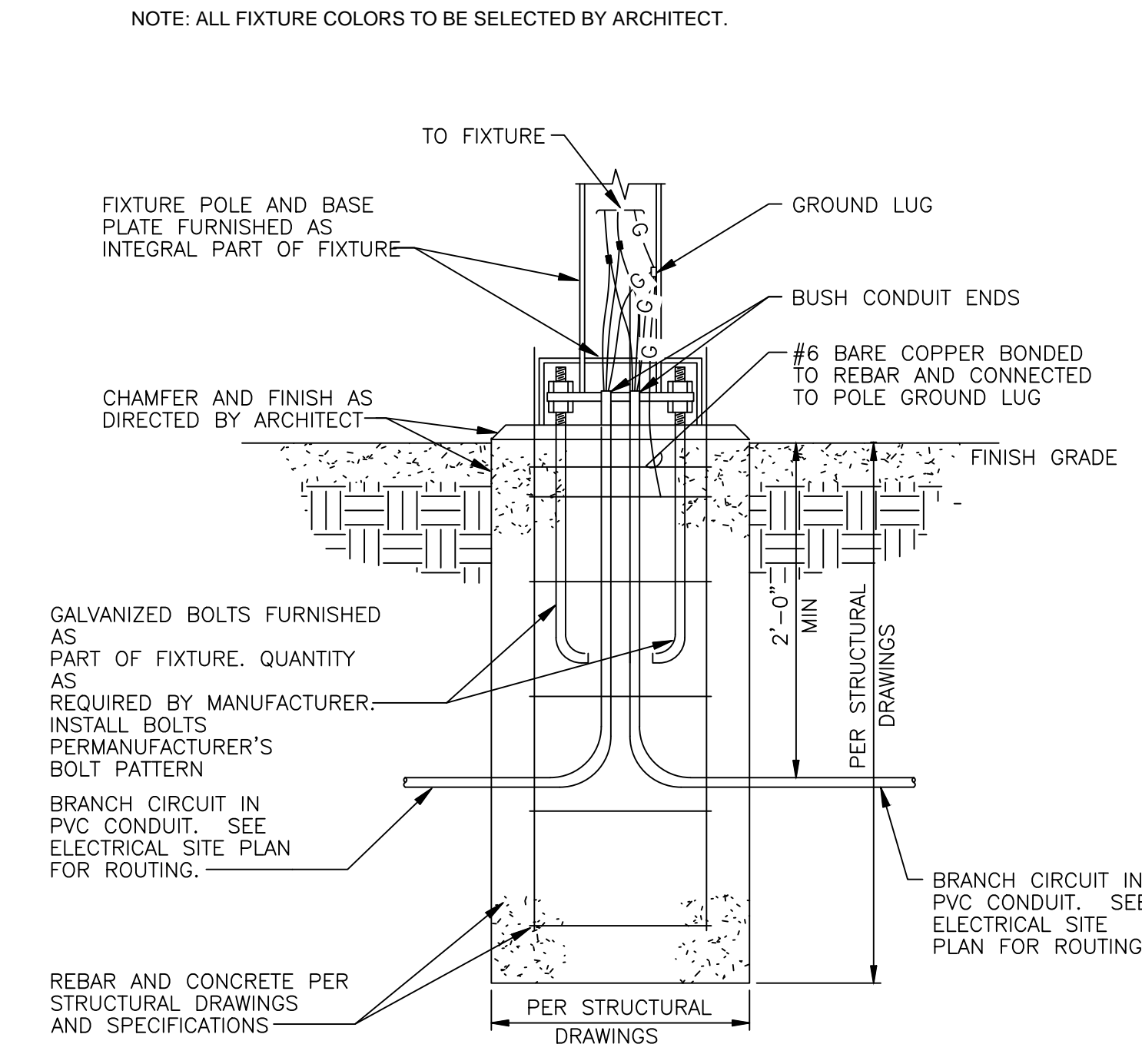
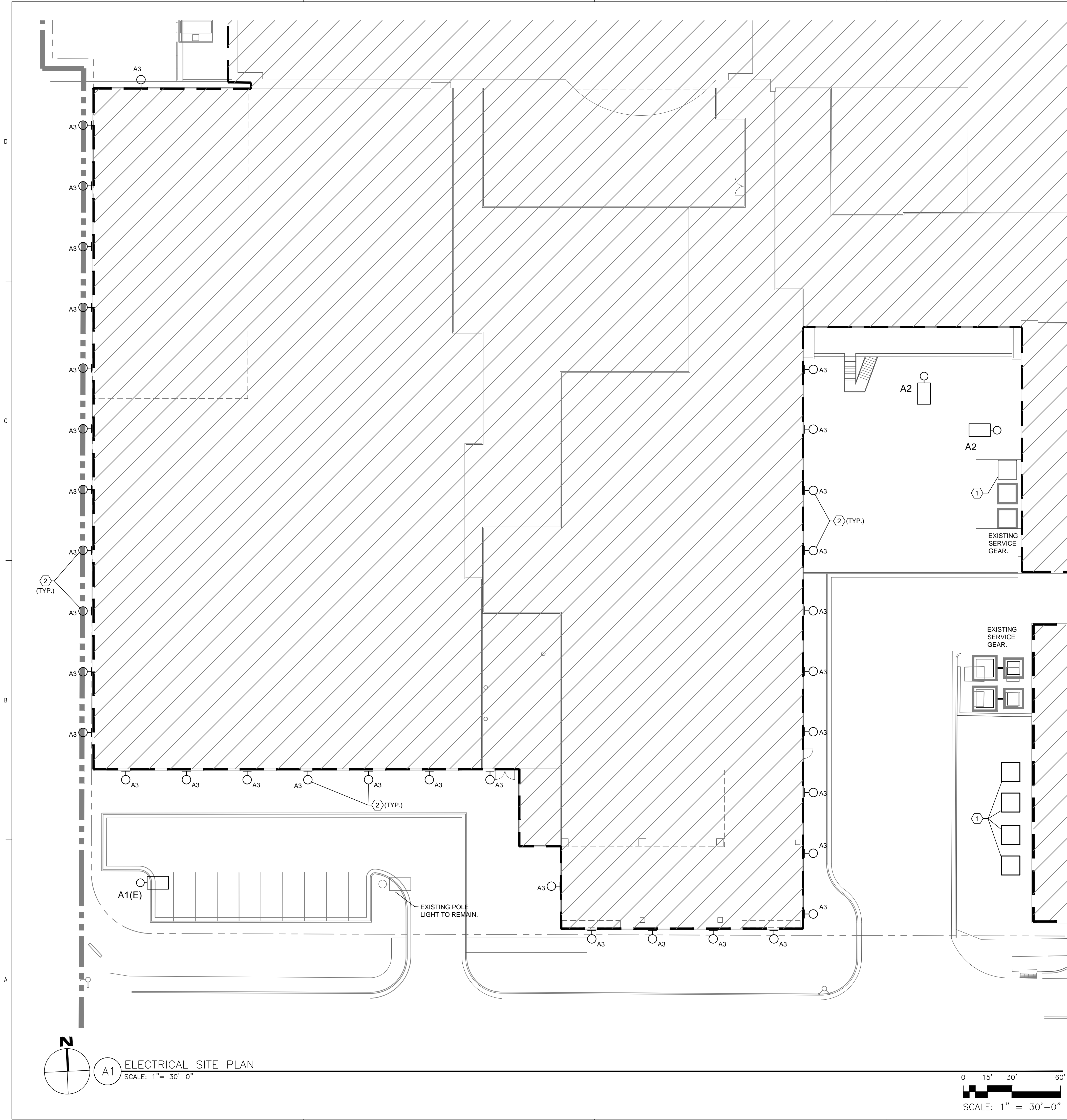
**SHEET KEYED NOTES**

- APPROXIMATE LOCATION OF ELECTRICAL SERVICE GEAR INCLUDING PAD MOUNT TRANSFORMERS AND SWITCHGEAR.
- MOUNTING HEIGHT FOR BUILDING MOUNTED LIGHTING AT 10'.

**LIGHTING FIXTURE SCHEDULE**

TYPE	DESCRIPTION	MOUNTING	WATTS/VOLTAGE	MANUFACTURER/MODEL	LUMENS
A1 (E)	FULL CUT OFF LED POLE MOUNT, SINGLE HEAD, EXISTING RELOCATED.	20' POLE ON 3" CONCRETE STRUCTURAL BASE.	78 WATTS/277V	GE	8110
A2	FULL CUT OFF LED POLE MOUNT, SINGLE HEAD, EXISTING RELOCATED.	12' POLE ON FLUSH CONCRETE BASE.	78 WATTS/277V	GARDCO #P26-140L-1675-NWG2-AR3	8110
A3	FULL CUT OFF LED WALL MOUNT	WALL MOUNT, MOUNTING HEIGHT 10'	30 WATTS/277V	STONCO #PW30-NW-G1-277V	3090

NOTE: ALL FIXTURE COLORS TO BE SELECTED BY ARCHITECT.



**REVISIONS**

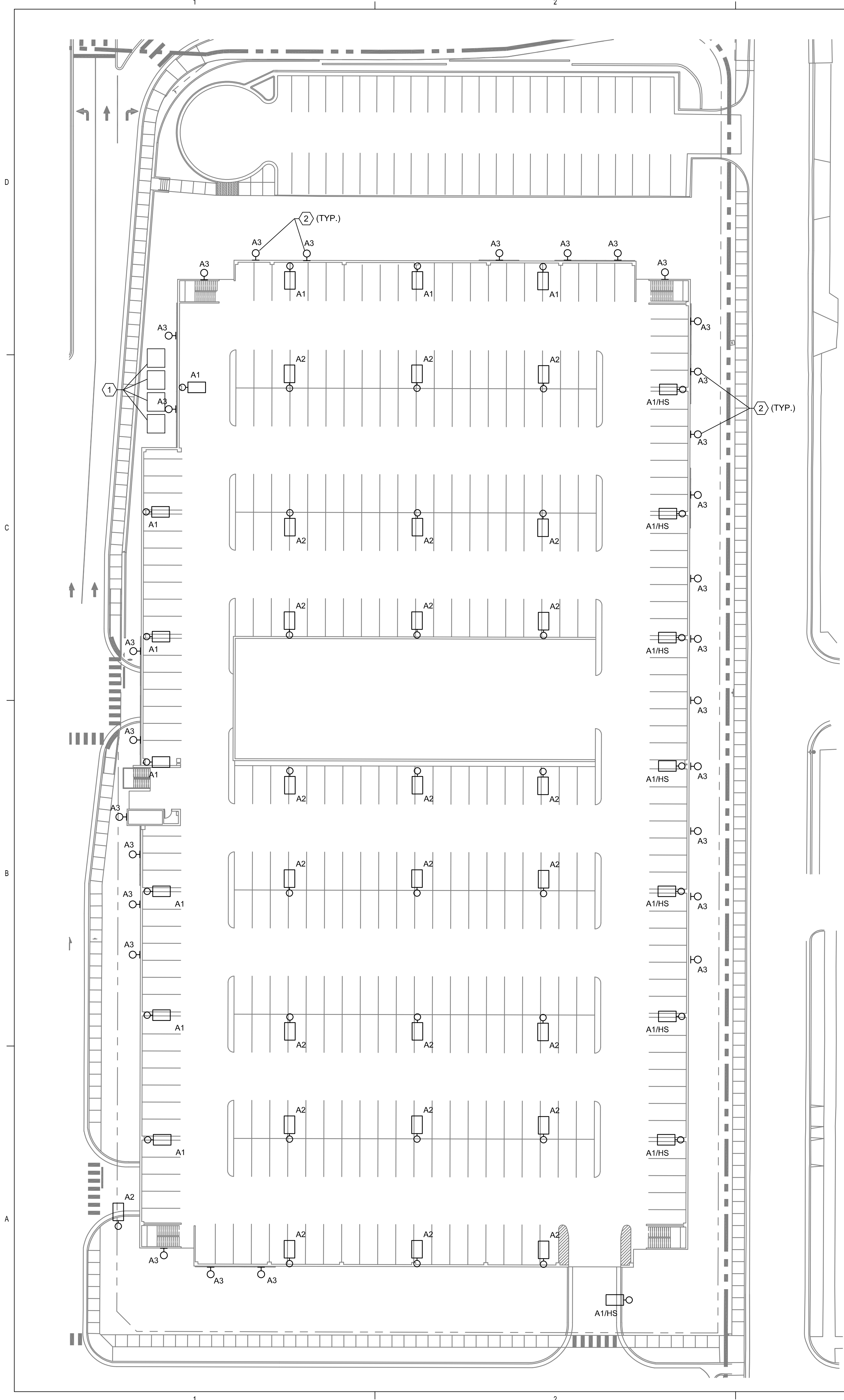
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PROJECT NO.	19-0010.001
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**EPC ELECTRICAL SITE PLAN**



Date: Aug 21, 2019 - 4:10pm User:tdgallegos . . . Drawing File: H:\8030.01\CAD\AutoCAD\PH New Patient Tower Site Development - Entitlements\Sheets\Electrical\EPC ES101.dwg . . . Last Saved By: tdgallegos Aug 21, 2019 - 3:10pm . . . Layout Name: EPC GARAGE SITE PLAN



### SHEET KEYED NOTES

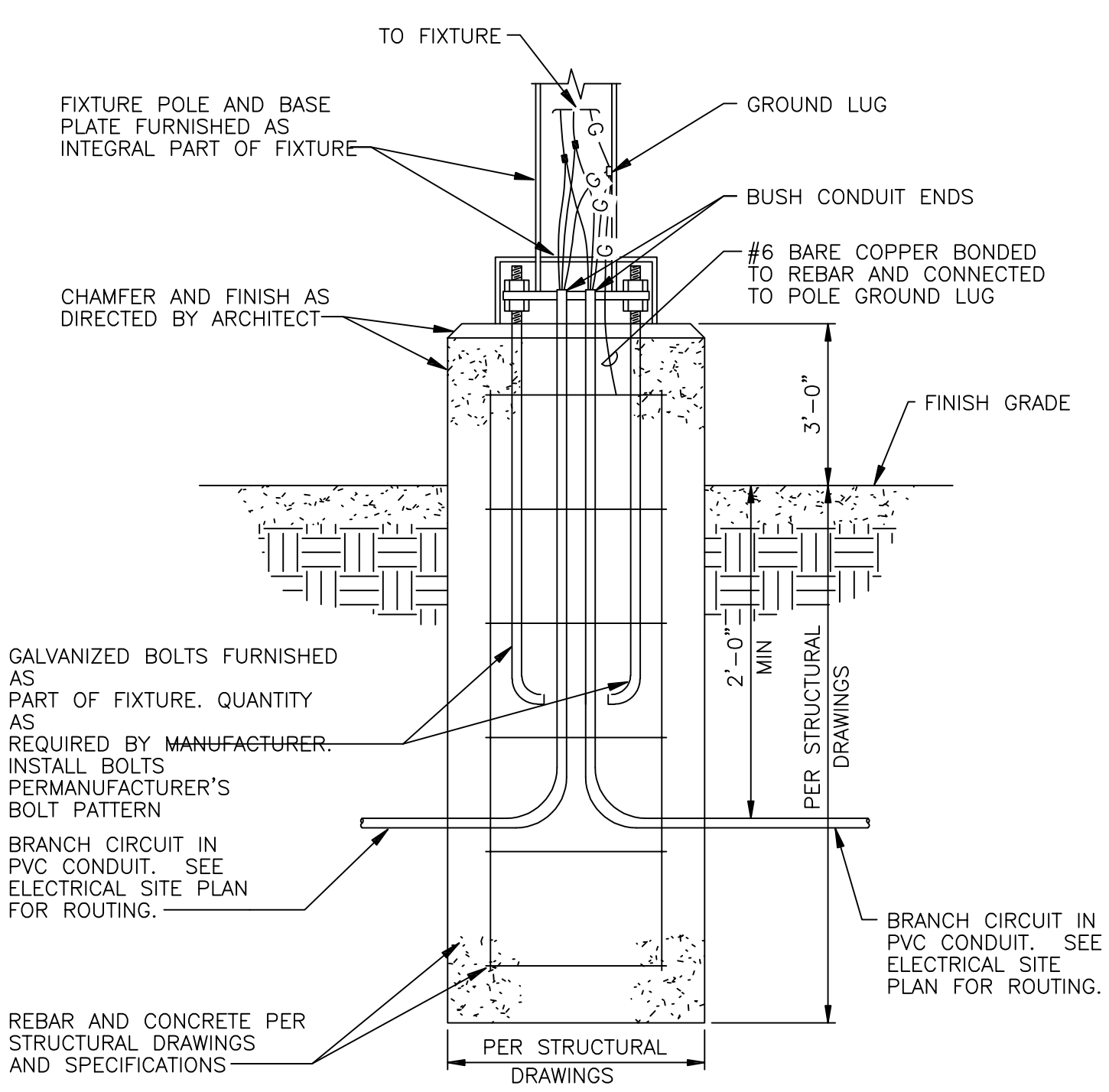
- APPROXIMATE LOCATION OF ELECTRICAL SERVICE GEAR INCLUDING PAD MOUNT TRANSFORMERS AND SWITCHGEAR.
- MOUNTING HEIGHT FOR BUILDING MOUNTED LIGHTING VARIES DEPENDENT ON GRADE. REFER TO ARCHITECTURAL ELEVATIONS.

### GENERAL NOTES

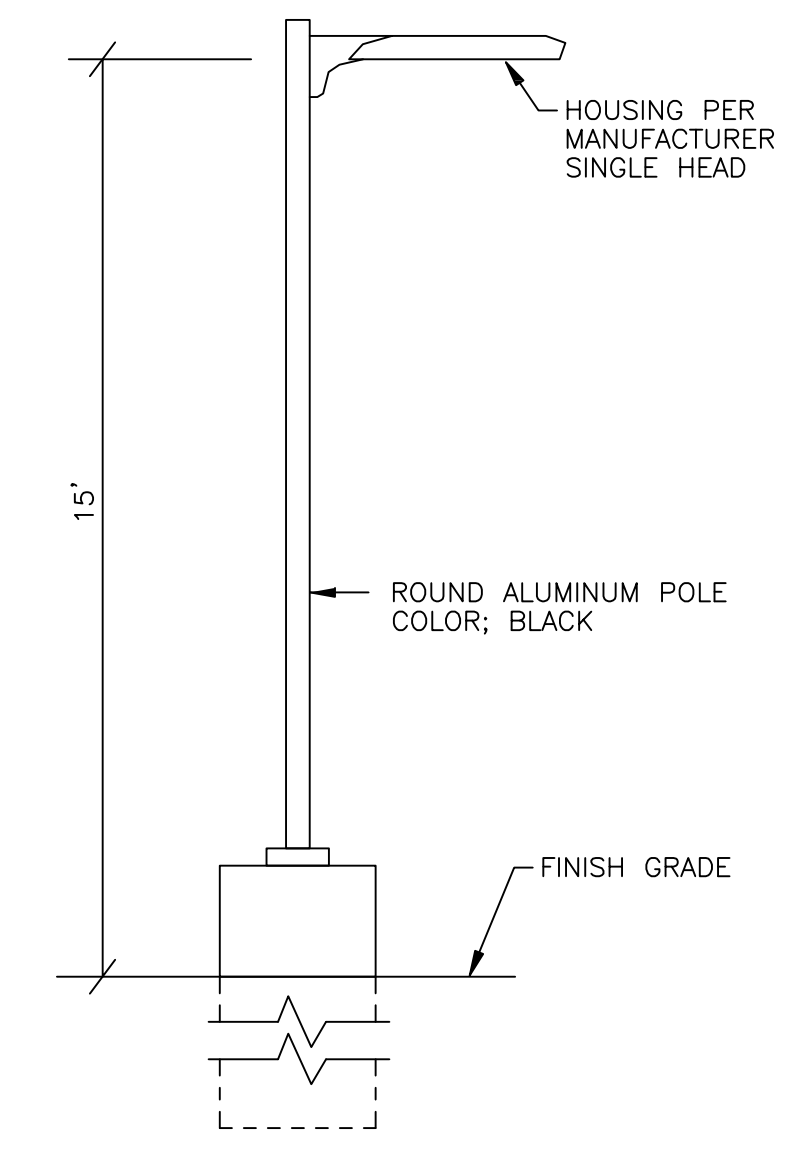
- POLE MOUNTED FIXTURES ALONG RESIDENTIAL STREET SHALL BE PROVIDED WITH HOUSE SIDE SHIELDS.
- REFER TO ARCHITECTURAL FOR BUILDING MOUNTED SIGNAGE LOCATIONS.
- STRUCTURAL BASES FOR POLE LIGHTING ON TOP OF PARKING STRUCTURE SHALL BE INTEGRAL TO THE STRUCTURAL SYSTEMS AND DESIGNED BY THE STRUCTURAL ENGINEER.

LIGHTING FIXTURE SCHEDULE						
TYPE	DESCRIPTION	MOUNTING	WATTS/VOLTAGE	MANUFACTURER/MODEL	LUMENS	NOTES
A1	FULL CUT OFF LED POLE MOUNT, SINGLE HEAD, COMFORT OPTICS, TYPE 3 DIST	12' POLE ON 3' CONCRETE STRUCTURAL BASE.	76 WATTS/277V	GARDCO #P26-140L-1675-NWG2-AR3-DIM	8110	"HS" INDICATES HOUSE SIDE SHIELD.
A2	FULL CUT OFF LED POLE MOUNT, SINGLE HEAD, COMFORT OPTICS, TYPE 5 DIST	12' POLE ON 3' CONCRETE STRUCTURAL BASE.	76 WATTS/277V	GARDCO #P26-140L-1675-NWG2-AR5-DIM	8168	"HS" INDICATES HOUSE SIDE SHIELD.
A3	FULL CUT OFF LED WALL MOUNT	WALL MOUNT, MOUNTING HEIGHTS NOT LESS THAN 9'	30 WATTS/277V	STONCO #PW30-NW-G1-277V	3090	

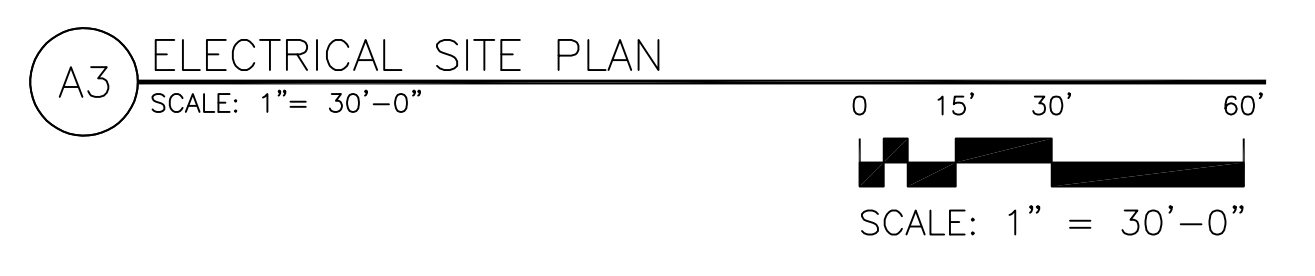
NOTE: ALL FIXTURE COLORS TO BE SELECTED BY ARCHITECT.



**FREE STANDING POLE BASE DETAIL**  
SCALE: NONE (APPLIES TO FIXTURES NOT MOUNTED IN PARKING STRUCTURE.)



**FREE STANDING POLE DETAIL**



7601 JEFFERSON NE, SUITE 100  
ALBUQUERQUE, NM 87109  
505.761.9700 / DPSDESIGN.ORG  
ARCHITECT



ENGINEER

PROJECT

**PRESBYTERIAN HOSPITAL**  
 SITE DEVELOPMENT PLAN FOR BUILDING PERMIT  
 1100 Central Ave SE  
 Albuquerque, NM 87106

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PROJECT NO.	19-0010.001
DRAWING NAME	

**EPC ELECTRICAL SITE PLAN**

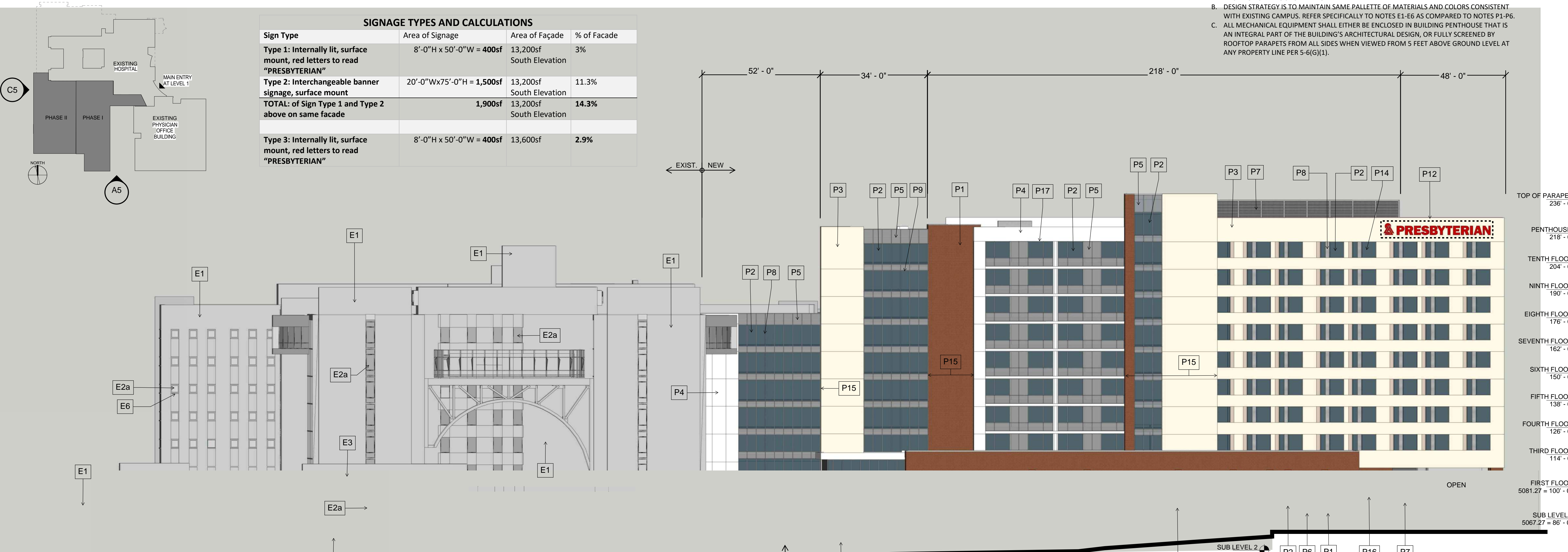
SHEET NO. **ES102** OF



GENERAL NOTES:

- A. EXISTING BUILDING SHOWN IN GREY.
- B. DESIGN STRATEGY IS TO MAINTAIN SAME PALLETTE OF MATERIALS AND COLORS CONSISTENT WITH EXISTING CAMPUS. REFER SPECIFICALLY TO NOTES E1-E6 AS COMPARED TO NOTES P1-P6.
- C. ALL MECHANICAL EQUIPMENT SHALL EITHER BE ENCLOSED IN BUILDING PENTHOUSE THAT IS AN INTEGRAL PART OF THE BUILDING'S ARCHITECTURAL DESIGN, OR FULLY SCREENED BY ROOFTOP PARAPETS FROM ALL SIDES WHEN VIEWED FROM 5 FEET ABOVE GROUND LEVEL AT ANY PROPERTY LINE PER 5-6(G)(1).

Sign Type	Area of Signage	Area of Façade	% of Façade
Type 1: Internally lit, surface mount, red letters to read "PRESBYTERIAN"	8'-0"H x 50'-0"W = 400sf	13,200sf South Elevation	3%
Type 2: Interchangeable banner signage, surface mount	20'-0"Wx75'-0"H = 1,500sf	13,200sf South Elevation	11.3%
TOTAL: of Sign Type 1 and Type 2 above on same façade	1,900sf	13,200sf South Elevation	14.3%
Type 3: Internally lit, surface mount, red letters to read "PRESBYTERIAN"	8'-0"H x 50'-0"W = 400sf	13,600sf	2.9%



PROPOSED BUILDING KEYED NOTES:

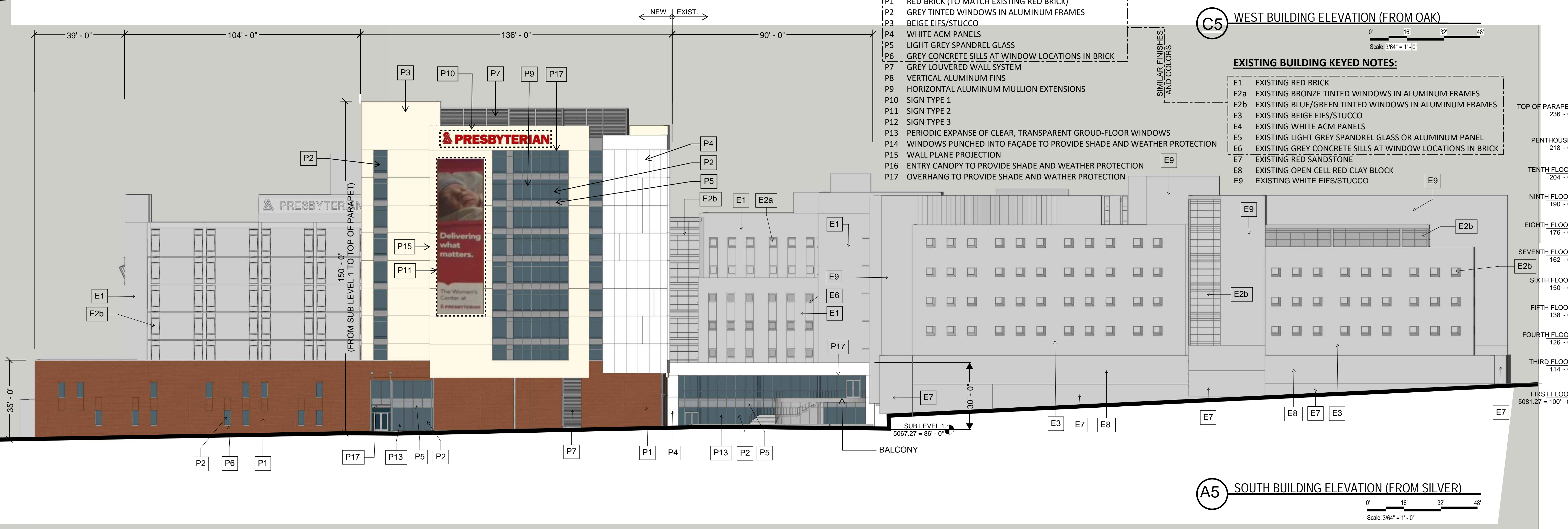
- P1 RED BRICK (TO MATCH EXISTING RED BRICK)
- P2 GREY TINTED WINDOWS IN ALUMINUM FRAMES
- P3 BEIGE EIFS/STUCCO
- P4 WHITE ACM PANELS
- P5 LIGHT GREY SPANDREL GLASS
- P6 GREY CONCRETE SILLS AT WINDOW LOCATIONS IN BRICK
- P7 GREY LOUVERED WALL SYSTEM
- P8 VERTICAL ALUMINUM FINIS
- P9 HORIZONTAL ALUMINUM MULLION EXTENSIONS
- P10 SIGN TYPE 1
- P11 SIGN TYPE 2
- P12 SIGN TYPE 3
- P13 PERIODIC EXPANSE OF CLEAR, TRANSPARENT GROUND-FLOOR WINDOWS
- P14 WINDOWS PUNCHED INTO FAÇADE TO PROVIDE SHADE AND WEATHER PROTECTION
- P15 WALL PLANE PROJECTION
- P16 ENTRY CANOPY TO PROVIDE SHADE AND WEATHER PROTECTION
- P17 OVERHANG TO PROVIDE SHADE AND WATHER PROTECTION

WEST BUILDING ELEVATION (FROM OAK)

EXISTING BUILDING KEYED NOTES:

- E1 EXISTING RED BRICK
- E2a EXISTING BRONZE TINTED WINDOWS IN ALUMINUM FRAMES
- E2b EXISTING BLUE/GREEN TINTED WINDOWS IN ALUMINUM FRAMES
- E3 EXISTING BEIGE EIFS/STUCCO
- E4 EXISTING WHITE ACM PANELS
- E5 EXISTING LIGHT GREY SPANDREL GLASS OR ALUMINUM PANEL
- E6 EXISTING GREY CONCRETE SILLS AT WINDOW LOCATIONS IN BRICK
- E7 EXISTING RED SANDSTONE
- E8 EXISTING OPEN CELL RED CLAY BLOCK
- E9 EXISTING WHITE EIFS/STUCCO

SOUTH BUILDING ELEVATION (FROM SILVER)



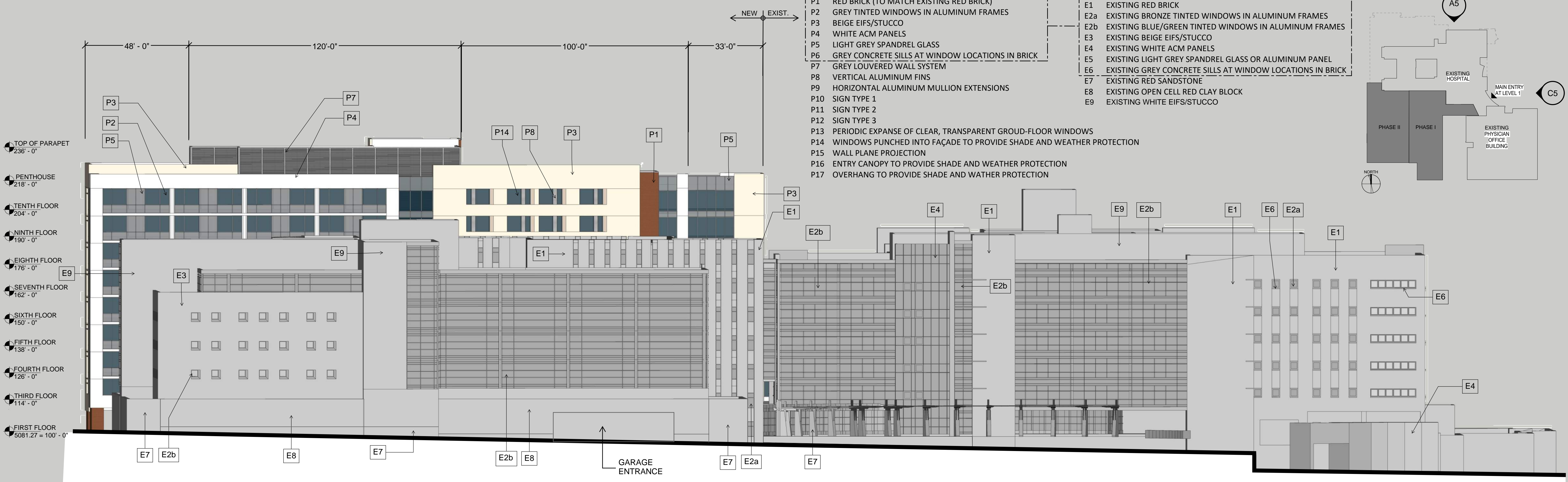


PROPOSED BUILDING KEYED NOTES:

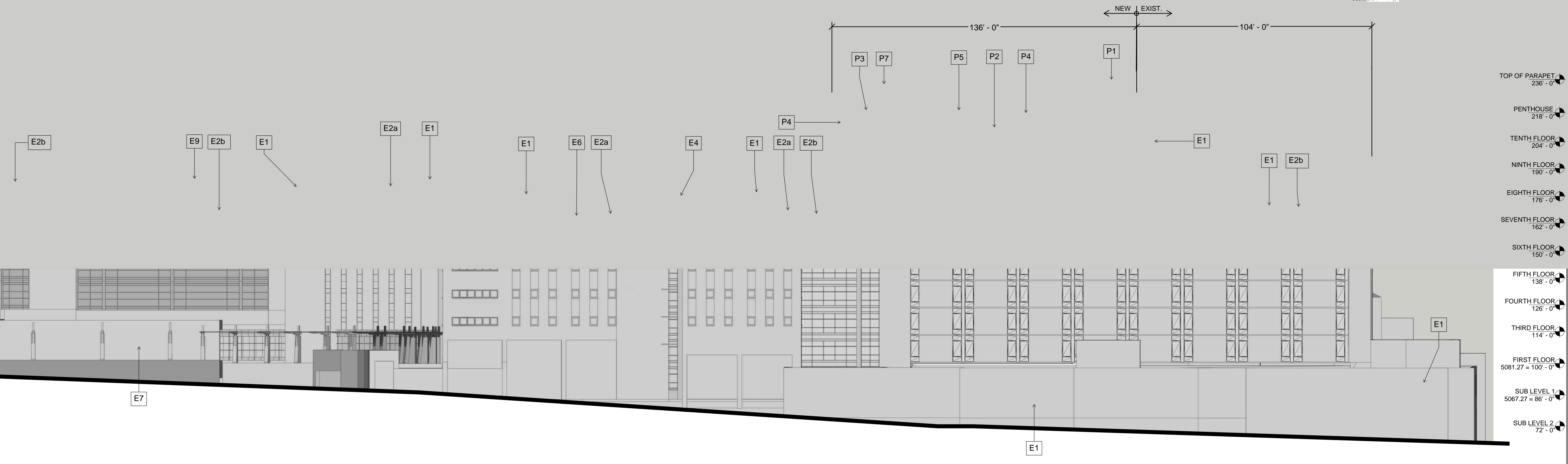
- P1 RED BRICK (TO MATCH EXISTING RED BRICK)
- P2 GREY TINTED WINDOWS IN ALUMINUM FRAMES
- P3 BEIGE EIFS/STUCCO
- P4 WHITE ACM PANELS
- P5 LIGHT GREY SPANDREL GLASS
- P6 GREY CONCRETE SILLS AT WINDOW LOCATIONS IN BRICK
- P7 GREY LOUVERED WALL SYSTEM
- P8 VERTICAL ALUMINUM FINIS
- P9 HORIZONTAL ALUMINUM FINIS
- P10 SIGN TYPE 1
- P11 SIGN TYPE 2
- P12 SIGN TYPE 3
- P13 PERIODIC EXPANSE OF CLEAR, TRANSPARENT GROUND-FLOOR WINDOWS
- P14 WINDOWS PUNCHED INTO FAÇADE TO PROVIDE SHADE AND WEATHER PROTECTION
- P15 WALL PLANE PROJECTION
- P16 ENTRY CANOPY TO PROVIDE SHADE AND WEATHER PROTECTION
- P17 OVERHANG TO PROVIDE SHADE AND WATHER PROTECTION

EXISTING BUILDING KEYED NOTES:

- E1 EXISTING RED BRICK
- E2a EXISTING BRONZE TINTED WINDOWS IN ALUMINUM FRAMES
- E2b EXISTING BLUE/GREEN TINTED WINDOWS IN ALUMINUM FRAMES
- E3 EXISTING BEIGE EIFS/STUCCO
- E4 EXISTING WHITE ACM PANELS
- E5 EXISTING LIGHT GREY SPANDREL GLASS OR ALUMINUM PANEL
- E6 EXISTING GREY CONCRETE SILLS AT WINDOW LOCATIONS IN BRICK
- E7 EXISTING RED SANDSTONE
- E8 EXISTING OPEN CELL RED CLAY BLOCK
- E9 EXISTING WHITE EIFS/STUCCO



C5 EAST BUILDING ELEVATION Scale: 3/64" = 1'-0"



A5 NORTH BUILDING ELEVATION (FROM CENTRAL) Scale: 3/64" = 1'-0"

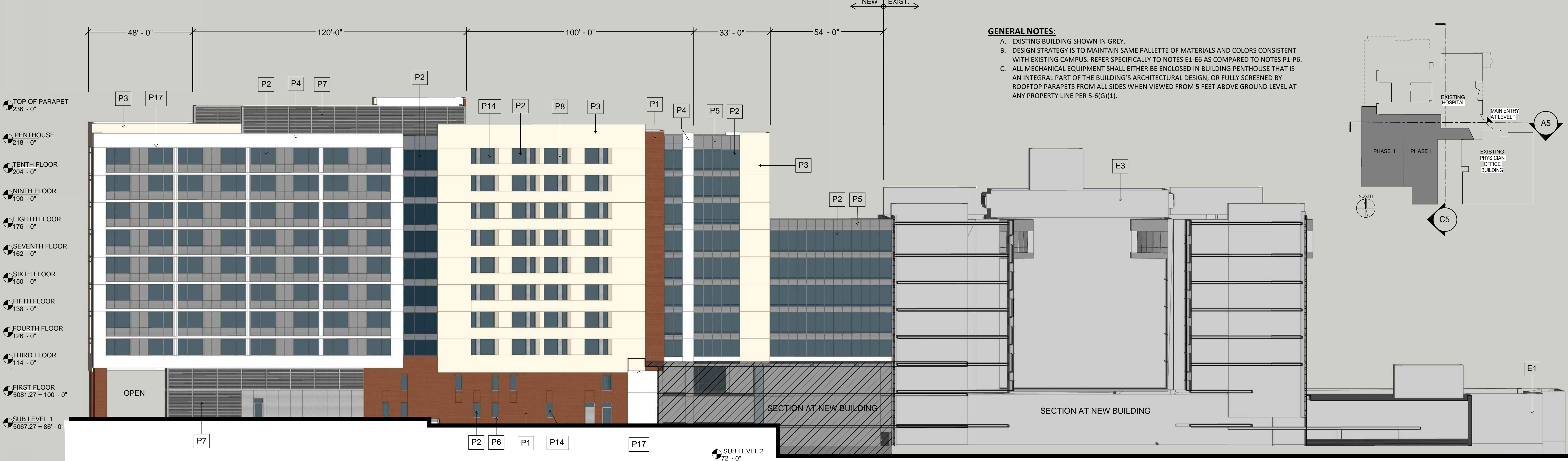
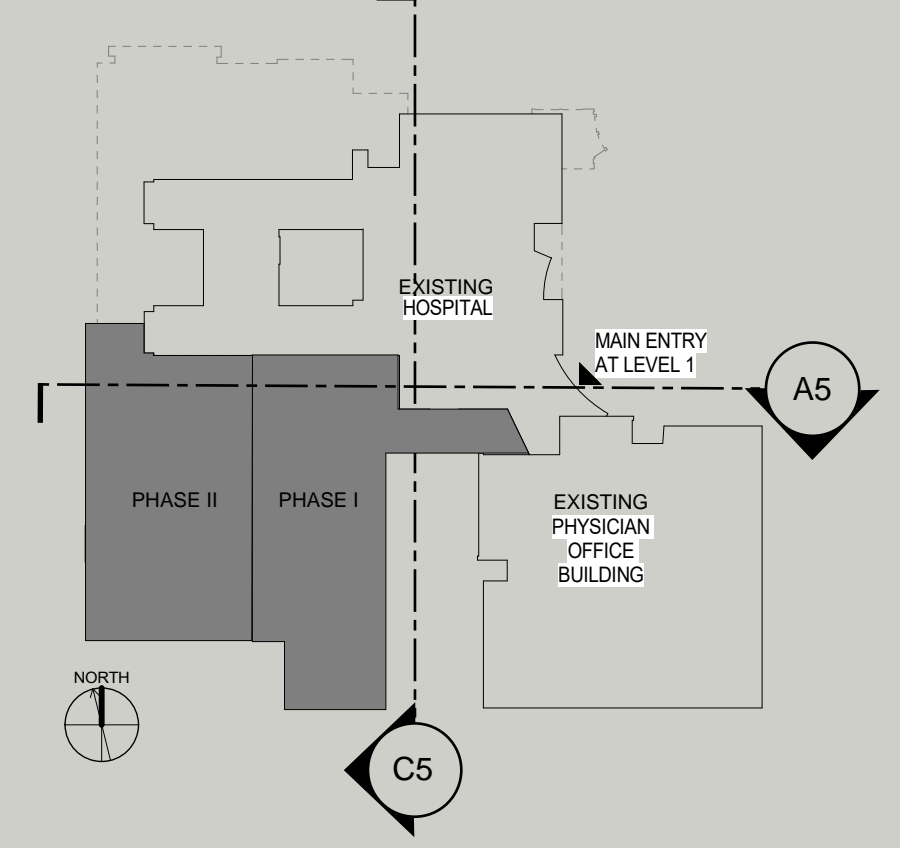
GENERAL NOTES:

- A. EXISTING BUILDING SHOWN IN GREY.
- B. DESIGN STRATEGY IS TO MAINTAIN SAME PALLETTE OF MATERIALS AND COLORS CONSISTENT WITH EXISTING CAMPUS. REFER SPECIFICALLY TO NOTES E1-E6 AS COMPARED TO NOTES P1-P6.
- C. ALL MECHANICAL EQUIPMENT SHALL EITHER BE ENCLOSED IN BUILDING PENTHOUSE THAT IS AN INTEGRAL PART OF THE BUILDING'S ARCHITECTURAL DESIGN, OR FULLY SCREENED BY ROOFTOP PARAPETS FROM ALL SIDES WHEN VIEWED FROM 5 FEET ABOVE GROUND LEVEL AT ANY PROPERTY LINE PER 5-6(G)(1).



GENERAL NOTES:

- A. EXISTING BUILDING SHOWN IN GREY.
- B. DESIGN STRATEGY IS TO MAINTAIN SAME PALLETTE OF MATERIALS AND COLORS CONSISTENT WITH EXISTING CAMPUS. REFER SPECIFICALLY TO NOTES E1-E6 AS COMPARED TO NOTES P1-P6.
- C. ALL MECHANICAL EQUIPMENT SHALL EITHER BE ENCLOSED IN BUILDING PENTHOUSE THAT IS AN INTEGRAL PART OF THE BUILDING'S ARCHITECTURAL DESIGN, OR FULLY SCREENED BY ROOFTOP PARAPETS FROM ALL SIDES WHEN VIEWED FROM 5 FEET ABOVE GROUND LEVEL AT ANY PROPERTY LINE PER 5-6(G)(1).



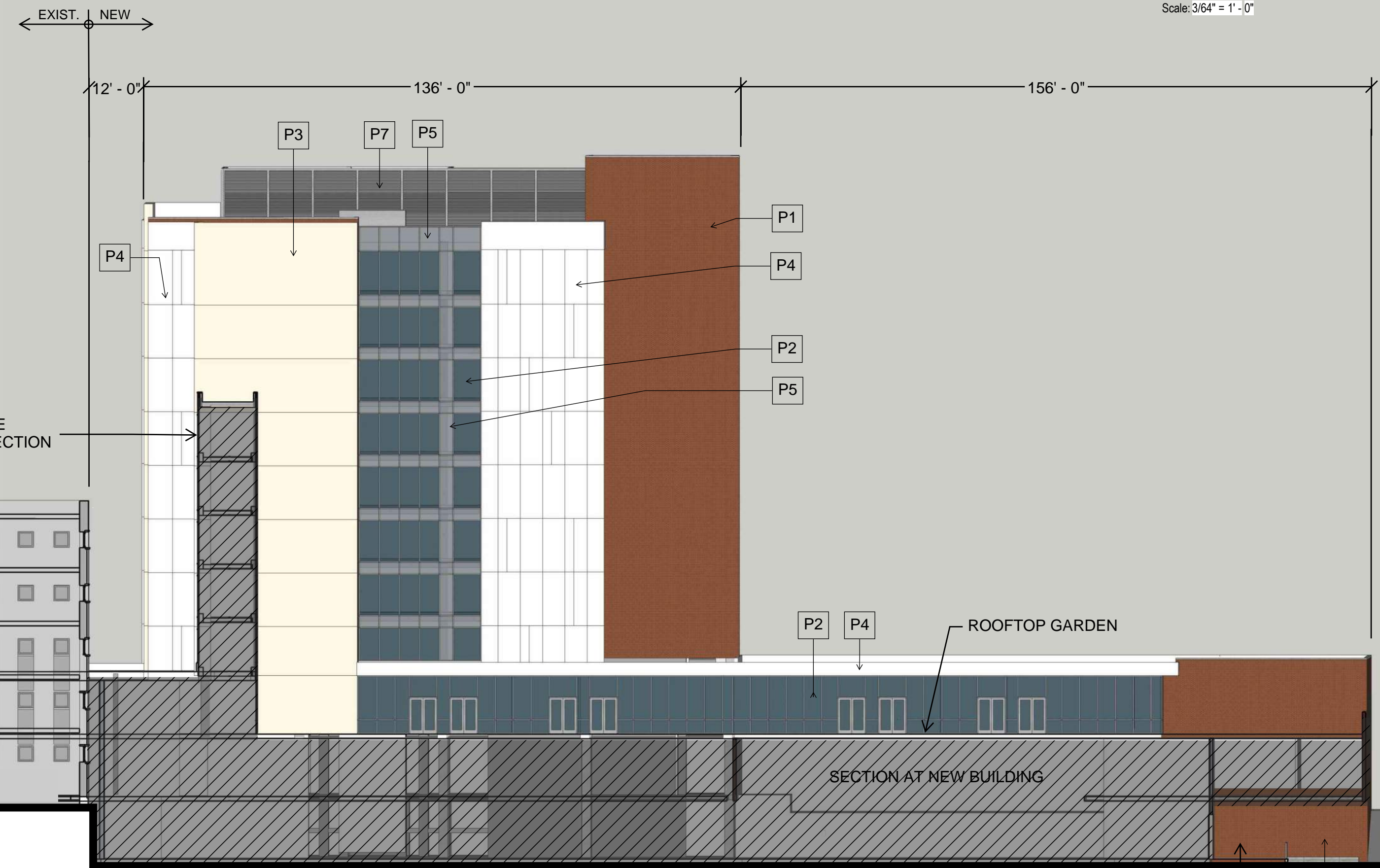
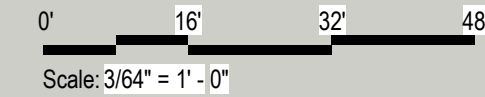
PROPOSED BUILDING KEYED NOTES:

- P1 RED BRICK (TO MATCH EXISTING RED BRICK)
- P2 GREY TINTED WINDOWS IN ALUMINUM FRAMES
- P3 BEIGE EIFS/STUCCO
- P4 WHITE ACM PANELS
- P5 LIGHT GREY SPANDREL GLASS
- P6 GREY CONCRETE SILLS AT WINDOW LOCATIONS IN BRICK
- P7 GREY LOUVERED WALL SYSTEM
- P8 VERTICAL ALUMINUM FINIS
- P9 HORIZONTAL ALUMINUM MULLION EXTENSIONS
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- P11 SIGN TYPE 2
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- P15 WALL PLANE PROJECTION
- P16 ENTRY CANOPY TO PROVIDE SHADE AND WEATHER PROTECTION
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- E1 EXISTING RED BRICK
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- E2b EXISTING BLUE/GREEN TINTED WINDOWS IN ALUMINUM FRAMES
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- E4 EXISTING WHITE ACM PANELS
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- E7 EXISTING RED SANDSTONE
- E8 EXISTING OPEN CELL RED CLAY BLOCK
- E9 EXISTING WHITE EIFS/STUCCO

C5 EAST BUILDING ELEVATION / SECTION



A5 NORTH BUILDING ELEVATION / SECTION



TOP OF PARAPET	236' - 0"
PENTHOUSE	218' - 0"
TENTH FLOOR	204' - 0"
NINTH FLOOR	190' - 0"
EIGHTH FLOOR	176' - 0"
SEVENTH FLOOR	162' - 0"
SIXTH FLOOR	150' - 0"
FIFTH FLOOR	138' - 0"
FOURTH FLOOR	126' - 0"
THIRD FLOOR	114' - 0"
FIRST FLOOR	5081.27 = 100' - 0"
SUB LEVEL 1	5067.27 = 86' - 0"
SUB LEVEL 2	72' - 0"

REVISIONS

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DRAWN BY	RS
REVIEWED BY	TV, LRA
DATE	10/01/2019
PROJECT NO:	19-0010.001

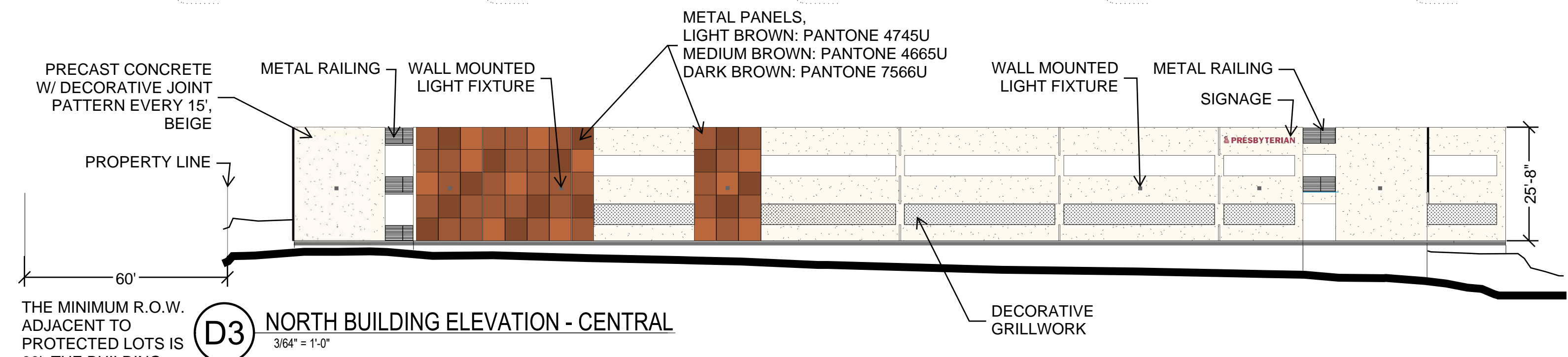
DRAWING NAME

BUILDING ELEVATIONS

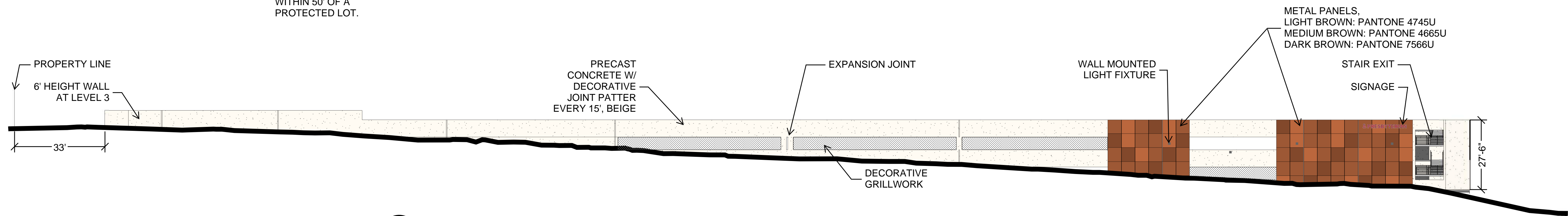
SHEET NO

SDP5 - 3

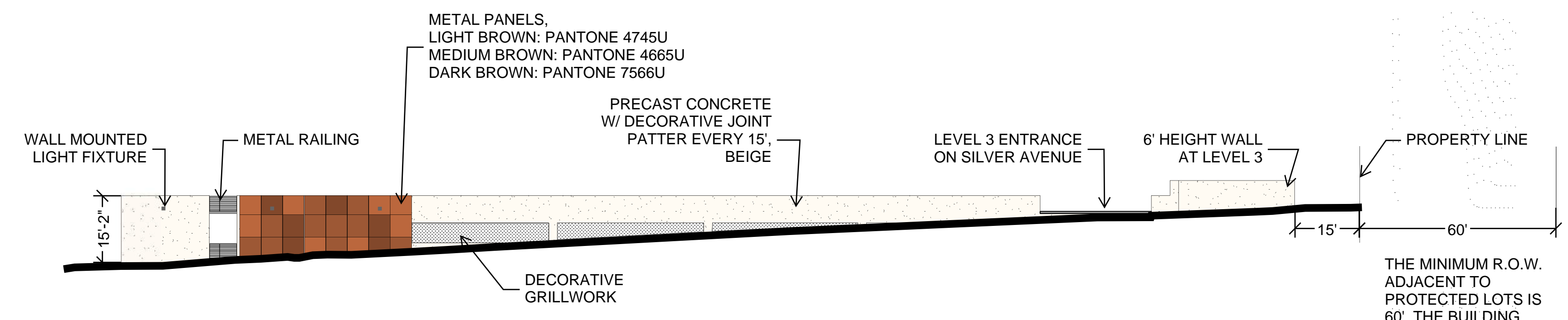




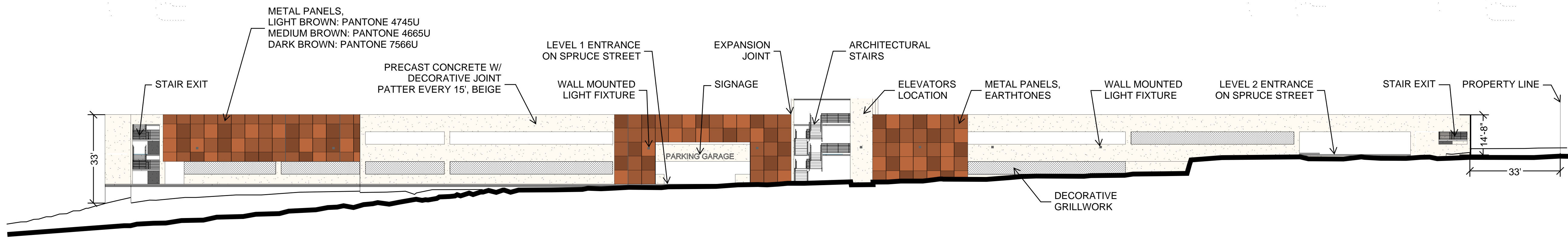
D3 NORTH BUILDING ELEVATION - CENTRAL  
3/16" = 1'-0"



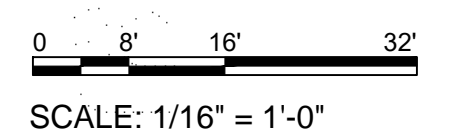
C3 EAST BUILDING ELEVATION - SYCAMORE  
3/16" = 1'-0"



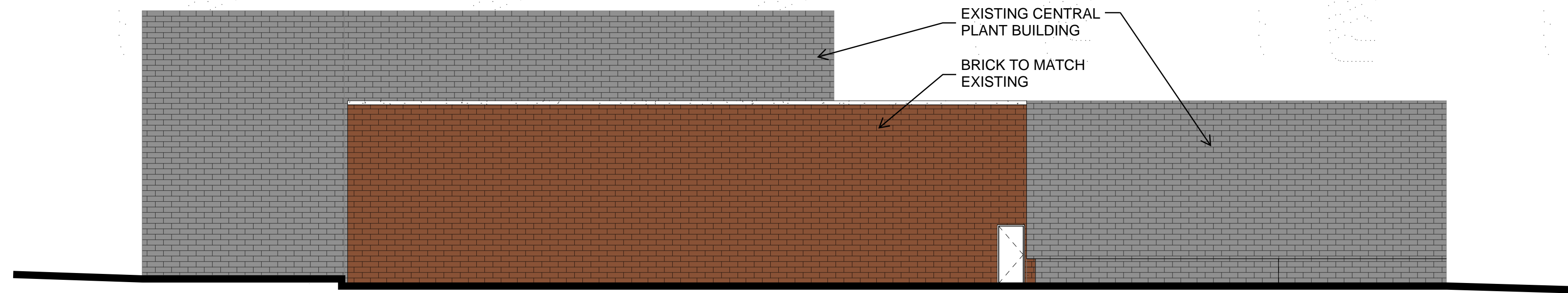
B3 SOUTH BUILDING ELEVATION - SILVER  
3/16" = 1'-0"



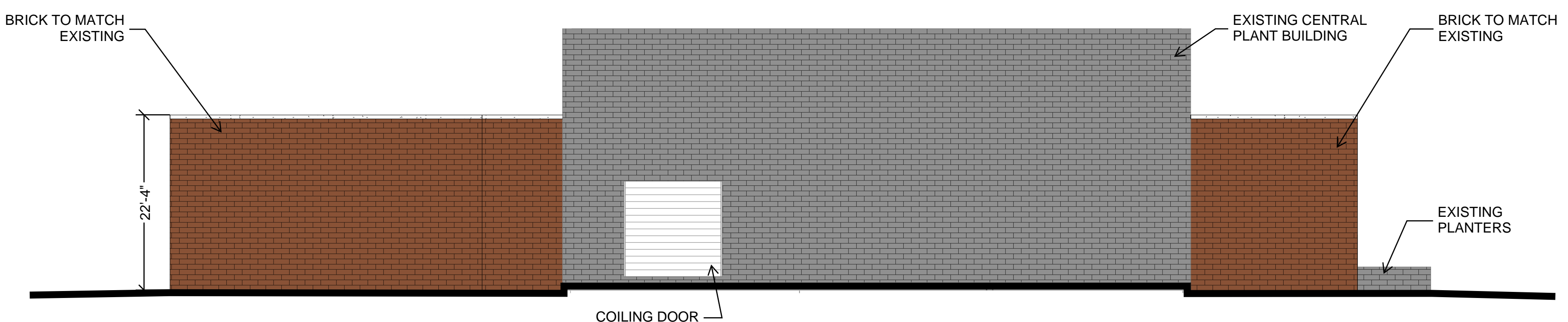
A3 WEST BUILDING ELEVATION - SPRUCE  
3/16" = 1'-0"



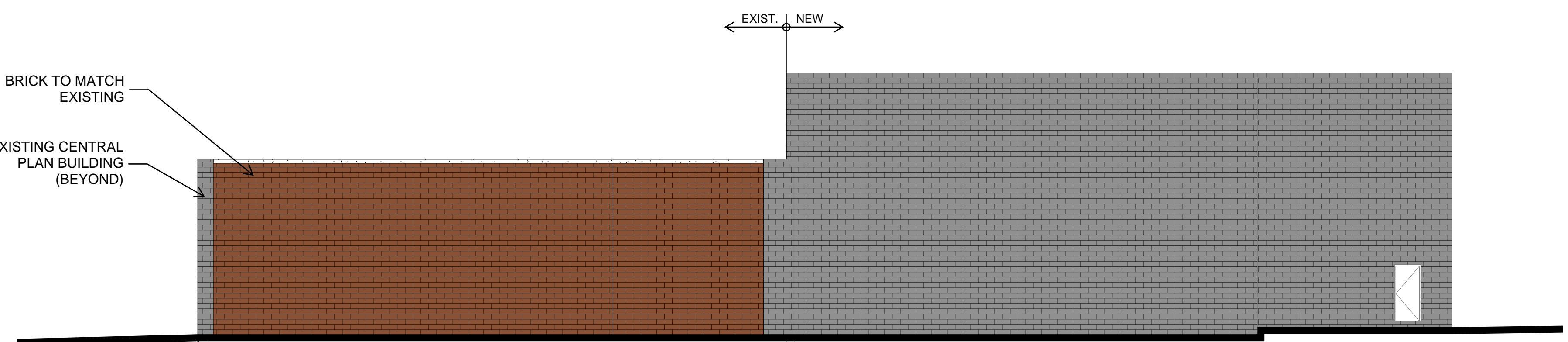




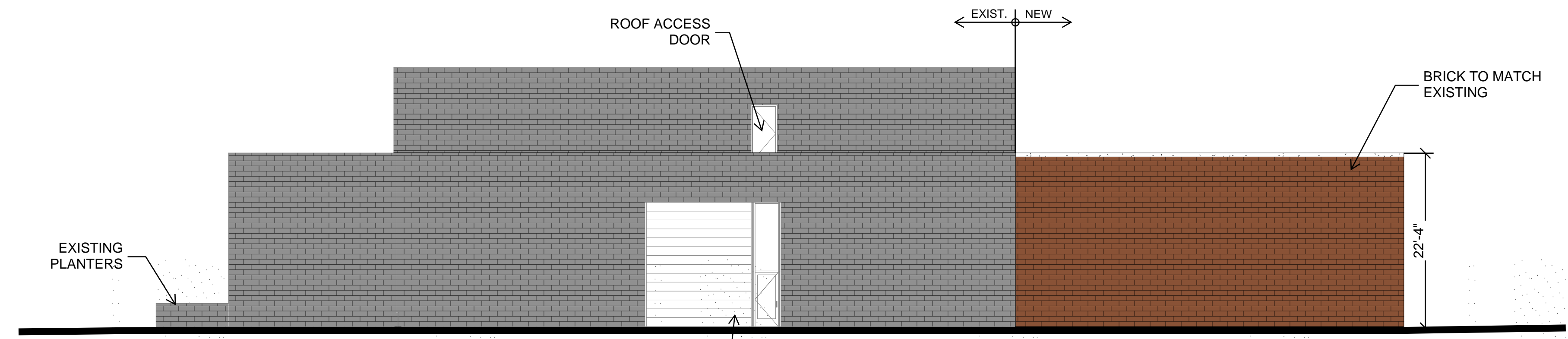
D2 NORTH BUILDING ELEVATION  
3/32" = 1'-0"



C2 EAST BUILDING ELEVATION  
3/32" = 1'-0"



B2 SOUTH BUILDING ELEVATION  
3/32" = 1'-0"



A2 WEST BUILDING ELEVATION  
3/32" = 1'-0"

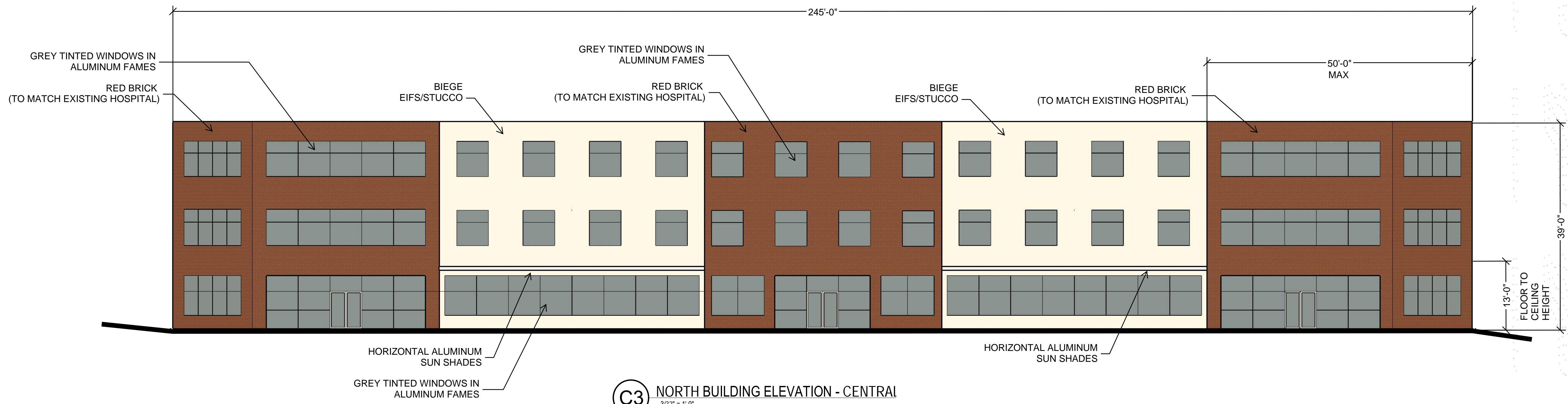


**DEKKER  
PERICH  
SABATINI**

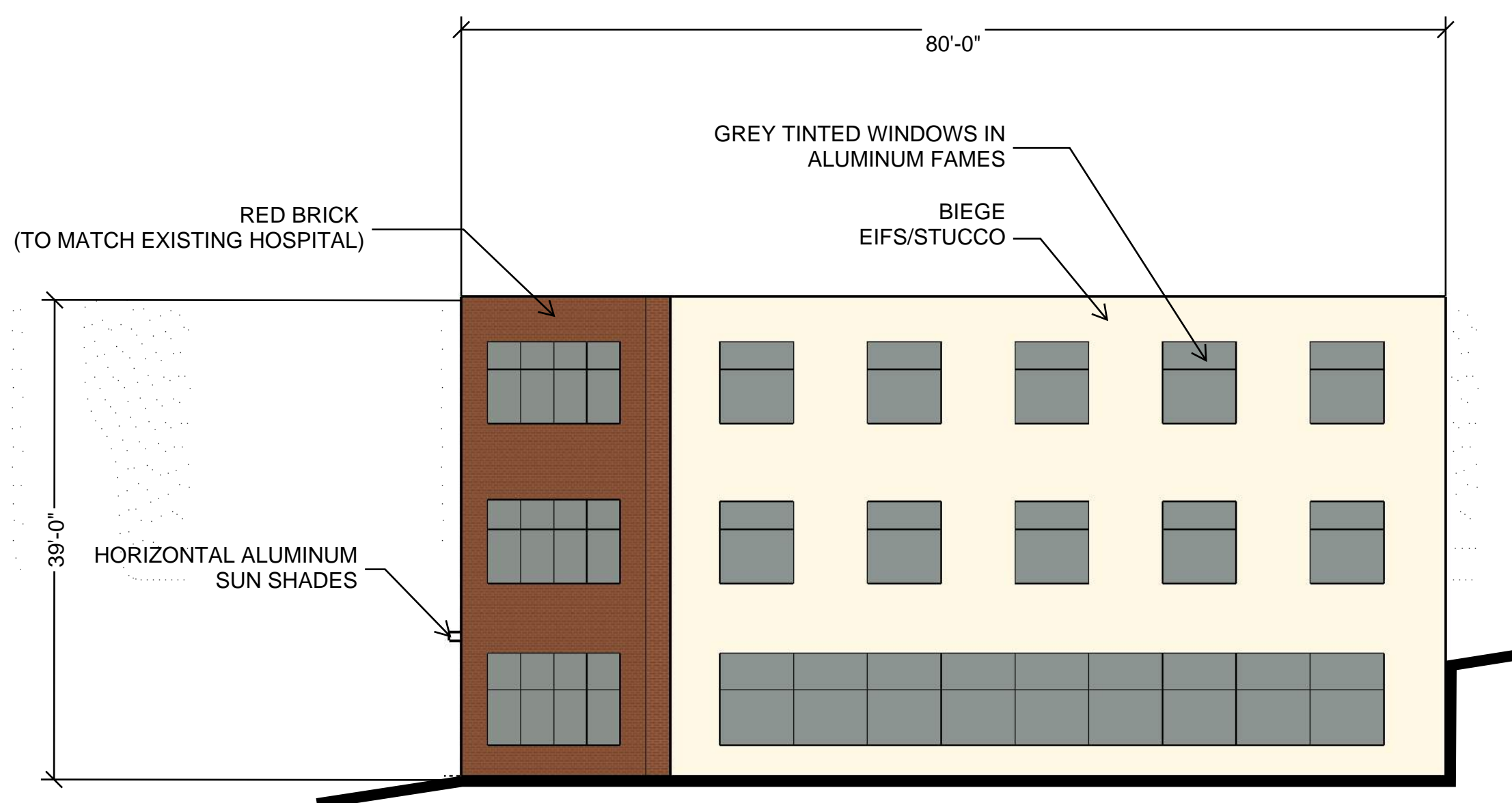
7601 JEFFERSON NE, SUITE 100  
ALBUQUERQUE, NM 87109

505.761.9700 / DPSDESIGN.ORG

GENERAL NOTE:  
FACADES SHALL COMPLY WITH SECTION 5/11(E)(2)



**C3** NORTH BUILDING ELEVATION - CENTRAL  
3/32" = 1'-0"



**A3** WEST BUILDING ELEVATION - SPRUCE  
3/32" = 1'-0"

PROJECT

PRESBYTERIAN HOSPITAL SITE  
DEVELOPMENT PLAN FOR  
BUILDING PERMIT

1100 Central Ave SE  
Albuquerque, NM 87106

REVISIONS

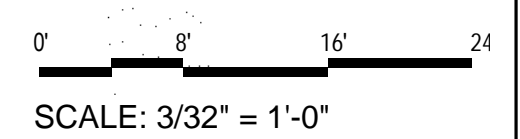
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DRAWN BY	P. MOORE
REVIEWED BY	A. SANTI
DATE	10/01/2019
PROJECT NO.	19-0010.001

DRAWING NAME  
**BUILDING  
ELEVATIONS**

SHEET NO.

**SDP5-6**







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**FIRE 1 PLAN 19-000707**  
**(PHASE 1)**  
FIRE ACCESS  
PLANS CHECKING DIVISION  
SOFT COPY  
CONSTRUCTION TYPE 1A  
SPRINKLER  
NUMBER OF HYDRANTS 3  
APPROVED/DISAPPROVED  
DATE 11-6-19

**GENERAL NOTES**

1. ALL ACCESS ROADS AND FIRE LANES SHALL BE CAPABLE OF SUPPORTING AN IMPOSED LOAD OF A FIRE APPARATUS WEIGHING 75,000 LBS.
2. THE MINIMUM DRIVE ISLE WIDTH SHALL BE 24' UNLESS NOTED OTHERWISE.
3. ALL ACCESS ROADS AND FIRE LANES SHALL ACCOMMODATE A 28' MINIMUM INSIDE TURNING RADIUS.
4. BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS OR BUILDING IDENTIFICATION PLACED IN A POSITION PLAINLY LEGIBLE AND VISIBLE FROM THE STREET.
5. ALL DRIVING SURFACES SHALL NOT EXCEED 10 PERCENT IN GRADE.
6. FIRE DEPARTMENT CONNECTIONS SHALL BE LOCATED WITHIN 100' OF A HYDRANT AND BE UNOBSTRUCTED FROM ANY OBJECT FOR A MINIMUM DISTANCE OF 3'.
7. POST INDICATOR VALVES SHALL BE PROVIDED PER NFPA 13.
8. A KNOX BOX SHALL BE PROVIDED AT THE ENTRANCE OF THE PROPOSED BUILDINGS.
9. CLASS 1 STANDPIPE SYSTEM SHALL BE INSTALLED THROUGHOUT AND THE STANDPIPE FDC SHALL BE LOCATED WITHIN 100' OF A HYDRANT.

**PROJECT DATA**

**HOSPITAL AREA**  
PHASE 1 ADDITION: 333,442 SQ. FT.  
FIRE FLOW CALCULATION AREA: 835,845 SQ. FT.  
TOTAL AREA OF LARGEST 3 SUCCESSIVE FLOORS (IFC B104.3)  
CONSTRUCTION TYPE: 1A, SPRINKLERED  
OCCUPANCY TYPE: I-2, HOSPITAL  
AN AUTOMATIC SPRINKLER AND SMOKE DETECTION SYSTEM SHALL BE INSTALLED THROUGHOUT THE BUILDING. SPRINKLER CONTRACTOR TO SUBMIT SHOP DRAWINGS TO THE AUTHORITY HAVING JURISDICTION. FIRE ALARM SYSTEM TO BE PROVIDED.  
FIRE FLOW: IFC TABLE B105.1(2) AND B105.2  
FIRE FLOW CALCULATION AREA: 835,845 SQ. FT. = 6,000(5) = 3,000 GPM  
FIRE HYDRANTS: REQUIRED 3 EXISTING 8 (AVERAGE 400' SPACING)

**OPEN GARAGE AREA**  
FIRE FLOW CALCULATION AREA: 135,214 SQ. FT.  
TOTAL AREA OF THE LARGEST FLOOR (IFC B104.3)  
CONSTRUCTION TYPE: 1B, NON-SPRINKLERED  
FIRE FLOW: IFC TABLE B105.1(2)  
FIRE FLOW CALCULATION AREA: 135,214 SQ. FT. = 4,000 GPM  
FIRE HYDRANTS: REQUIRED 4 EXISTING 5 (AVERAGE 350' SPACING)

**CENTRAL PLANT**  
FIRE FLOW CALCULATION AREA: 21,727 SQ. FT.  
CONSTRUCTION TYPE: 1A, SPRINKLERED  
FIRE FLOW: IFC TABLE B105.1(2) AND B105.2  
FIRE FLOW CALCULATION AREA: 21,727 SQ. FT. = 1,500(5) = 750 GPM  
THE REDUCED FIRE-FLOW SHALL NOT BE LESS THAN 1,000 GPM  
FIRE HYDRANTS: REQUIRED 1 EXISTING 3 (AVERAGE 500' SPACING)

**SHEET KEYED NOTES**

1. EXISTING AMBULANCE LOADING AREA
2. EXISTING LOADING DOCK
3. EXISTING PATIENT DROP-OFF
4. PROPOSED POST INDICATOR VALVE (PIV)
5. FIRE LANE MARKINGS TO BE APPLIED TO CURBS BOTH SIDES OF THE INDICATED FIRE LANE AND SHALL COMPLY WITH FIRE ORDINANCE 503.3 AND 503.3.1
6. EXISTING FIRE HYDRANT LOCATION
7. EXISTING FIRE DEPARTMENT CONNECTION (FDC)
8. EXISTING POST INDICATOR VALVE (PIV)
9. PROPOSED KNOX BOX LOCATION
10. PROPOSED BACKFLOW PREVENTER
11. PROPOSED FIRE COMMAND CENTER
12. PROPOSED FIRE PUMP ROOM
13. SECONDARY WATER SUPPLY FOR HIGH RISE
14. THE FIRE DEPARTMENT CONNECTION SHALL BE 3' CLEAR OF PARKING. THERE SHALL BE A 5' SEPARATION BETWEEN THE FIRE DEPARTMENT CONNECTION AND THE HYDRANT. THE HYDRANT SHALL BE 3' CLEAR OF PARKING
15. EXISTING 2-HR RATED FIRE SEPARATION
16. EXISTING 3-HR RATED FIRE SEPARATION
17. PROPOSED 2-HR RATED FIRE SEPARATION
18. PROPOSED FIRE DEPARTMENT CONNECTION (FDC)
19. EXISTING COMBINED STANDPIPE/SPRINKLER FDC (C TOWER)
20. EXISTING COMBINED STANDPIPE/SPRINKLER FDC (B TOWER AND MAYTAG)
21. EXISTING STANDPIPE FDC (D&E TOWERS)
22. EXISTING SPRINKLER FDC (D&E TOWERS)

**LEGEND**

---	EXISTING FIRE ACCESS LANE
- - -	PROPOSED FIRE ACCESS LANE
⊕	FIRE HYDRANT
FDC	FIRE DEPARTMENT CONNECTION (FDC)
PIV	POST INDICATOR VALVE (PIV)
HEIGHT	HEIGHT AS MEASURED FROM THE HIGHEST OCCUPIABLE FLOOR TO THE LOWEST ADJACENT GRADE
---	EXISTING 2-HR RATED FIRE SEPARATION
- - -	EXISTING 3-HR RATED FIRE SEPARATION
- - -	PROPOSED 2-HR RATED FIRE SEPARATION

**VICINITY MAP**

