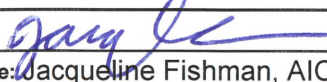




Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

SUBDIVISIONS	<input type="checkbox"/> Final Sign off of EPC Site Plan(s) (Form P2)	
<input type="checkbox"/> Major – Preliminary Plat (Form S1)	<input type="checkbox"/> Major Amendment to Site Plan (Form P2)	<input type="checkbox"/> Vacation of Public Right-of-way (Form V)
<input checked="" type="checkbox"/> Minor – Preliminary/Final Plat (Form S2)	MISCELLANEOUS APPLICATIONS	<input type="checkbox"/> Vacation of Public Easement(s) DRB (Form V)
<input type="checkbox"/> Major - Final Plat (Form S2)	<input type="checkbox"/> Extension of Infrastructure List or IIA (Form S1)	<input type="checkbox"/> Vacation of Private Easement(s) (Form V)
<input type="checkbox"/> Minor Amendment to Preliminary Plat (Form S2)	<input type="checkbox"/> Minor Amendment to Infrastructure List (Form S2)	PRE-APPLICATIONS
<input type="checkbox"/> Extension of Preliminary Plat (Form S1)	<input type="checkbox"/> Temporary Deferral of SW (Form V2)	<input type="checkbox"/> Sketch Plat Review and Comment (Form S2)
	<input type="checkbox"/> Sidewalk Waiver (Form V2)	
SITE PLANS	<input checked="" type="checkbox"/> Waiver to IDO (Form V2)	APPEAL
<input type="checkbox"/> DRB Site Plan (Form P2)	<input type="checkbox"/> Waiver to DPM (Form V2)	<input type="checkbox"/> Decision of DRB (Form A)
BRIEF DESCRIPTION OF REQUEST		
Minor subdivision plat to split lot to match EPC approved zone boundary. Bulk land waiver to defer infrastructure to future platting/site plan actions.		

APPLICATION INFORMATION		
Applicant: Group II U26 VC, LLC		Phone:
Address: 8860 Desert Finch Lane NE		Email: metro.metrodevelopment@aol.com
City: Albuquerque	State: NM	Zip: 87122
Professional/Agent (if any): Consensus Planning, Inc.		Phone: (505) 764-9801
Address: 302 8th Street NW		Email: fishman@consensusplanning.com
City: Albuquerque	State: NM	Zip: 87102
Proprietary Interest in Site: Owner		List all owners:
SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)		
Lot or Tract No.: Tract 1	Block: Block 2	Unit: Unit 26
Subdivision/Addition: Volcano Cliffs Subdivision	MRGCD Map No.:	UPC Code: 101106404014530102
Zone Atlas Page(s): C-11	Existing Zoning: MX-L	Proposed Zoning MX-L and MX-M
# of Existing Lots: 1	# of Proposed Lots: 2	Total Area of Site (Acres): 15.7217 acres
LOCATION OF PROPERTY BY STREETS		
Site Address/Street: Kimmick Drive NW	Between: Paseo del Norte	and: Rosa Parks Rd NW
CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)		
PR-2019-002663 and Project #1009082		

Signature: 		Date: 10/13/20			
Printed Name: Jacqueline Fishman, AICP		<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent			
FOR OFFICIAL USE ONLY					
Case Numbers	Action	Fees	Case Numbers	Action	Fees
Meeting Date:			Fee Total:		
Staff Signature:		Date:	Project #		

FORM S2: SUBDIVISION OF LAND – MINOR ACTIONS

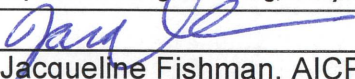

Please refer to the DRB minor case schedule for meeting dates and deadlines unless noted differently below. Bring original Mylar of plat with property owner's and City Surveyor's signatures on it to the meeting. Your attendance is required.

A Variance – DRB for the Bulk Transfer of Land requires application on Form V in addition to this FORM S2.

>> INFORMATION REQUIRED FOR ALL MINOR SUBDIVISION APPLICATIONS

- ☒ Interpreter Needed for Hearing? No if yes, indicate language: _____
- ☒ A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD. PDF shall be organized with the Development Review Application and this Form S2 at the front followed by the remaining documents in the order provided on this form.
- ☒ Zone Atlas map with the entire site clearly outlined and labeled
- ☐ **SKETCH PLAT REVIEW AND COMMENT**
- ___ Letter describing, explaining, and justifying the request
 - ___ Scale drawing of the proposed subdivision plat (7 copies, folded)
 - ___ Site sketch with measurements showing structures, parking, building setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (7 copies, folded)
- ☐ **MAJOR SUBDIVISION FINAL PLAT APPROVAL (requires published notice, heard on the DRB Major Case Schedule)**
- ___ Letter describing, explaining, and justifying the request
 - ___ Copy of recorded IIA
 - ___ Proposed Final Plat (7 copies, 24" x 36" folded)
 - ___ Design elevations & cross sections of perimeter walls (3 copies)
 - ___ Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
 - ___ DXF file and hard copy of final plat data for AGIS submitted and approved
- ☒ **MINOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL**
- ☒ Letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-6(I)
- ☒ Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A)
- ☒ Form DRWS Drainage Report, Grading and Drainage Plan, and Water & Sewer Availability Statement submittal information
- ☒ Required notice with content per IDO Section 14-16-6-4(K)(6)
- ☒ Office of Neighborhood Coordination Public Notice Inquiry response
- ☒ Proof of emailed notice to applicable Neighborhood Association representatives
- ☒ Proposed Preliminary / Final Plat with property owner's and City Surveyor's signatures on the plat prior to submittal (7 copies, folded)
- ☒ Sidewalk Exhibit and/or cross sections of proposed streets (3 copies, 11" by 17" maximum)
- ☒ Site sketch with measurements showing structures, parking, building setbacks, adjacent rights-of-way and street improvements (to include sidewalk, curb & gutter with distance to property line noted) if there is any existing land use (7 copies, folded)
- N/A Landfill disclosure statement per IDO Section 14-16-5-2(G) if site is within a designated landfill buffer zone
- N/A Proposed Infrastructure List, if applicable
- ☒ DXF file and hard copy of final plat data for AGIS submitted and approved
- ☐ **MINOR AMENDMENT TO PRELIMINARY PLAT OR INFRASTRUCTURE LIST**
- ___ Letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)
 - ___ Original Preliminary Plat, Infrastructure List, and/or Grading Plan (7 copies, folded)
 - ___ Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (7 copies, folded)

Note: Any application that does not qualify as a Minor Amendment in IDO Section 14-16-6-4(X) must be processed as a Major Amendment. See Form S1.

<i>I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.</i>		
Signature: 	Date: 10/13/20	
Printed Name: Jacqueline Fishman, AICP	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent	
FOR OFFICIAL USE ONLY		
Case Numbers: _____	Project Number _____	
		
Staff Signature: _____		
Date: _____		

FORM V2: Waiver- DRB

Please refer to the DRB case schedules for meeting dates and deadlines. Your attendance is required.

>> INFORMATION REQUIRED FOR ALL VARIANCE/WAIVER AND VACATION APPLICATIONS

- ☒ Interpreter Needed for Meeting? No if yes, indicate language: _____
- ☒ A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD. PDF shall be organized with the Development Review Application and this Form V at the front followed by the remaining documents in the order provided on this form.
- ☒ Zone Atlas map with the entire site clearly outlined and labeled
- ☒ Letter of authorization from the property owner if application is submitted by an agent
- ☒ **WAIVER – IDO**
- ☒ Letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-6(L)(3), compliance with the DPM, and all improvements to be waived, as applicable. *Note: If the request is based on a bulk land transfer, an application for Subdivision of Land – Minor shall be filed concurrently with the variance request and notice shall be provided on that plat regarding the applicant's agreement that building permits shall not be issued before further action by the DRB.*
- ☒ Scale drawing showing the location of the proposed variance or waiver, as applicable (7 copies, not to exceed 8.5" by 14")
- ☒ Proof of Neighborhood Meeting per IDO Section 14-16-6-4(C)
- ☒ Office of Neighborhood Coordination neighborhood meeting inquiry response
- ☒ Proof of email with read receipt OR Certified Letter offering meeting to applicable associations
- ☒ If a meeting was requested/held, copy of sign-in sheet and meeting notes
- ☒ Required notices with content per IDO Section 14-16-6-4(K)(6)
- ☒ Office of Neighborhood Coordination Public Notice Inquiry response
- ☒ Proof of emailed notice to affected Neighborhood Association representatives
- ☐ **WAIVER – DPM (MUST BE HEARD WITH SUBDIVISION/SITE PLAN ACTION)**
- ___ Justification letter describing, explaining, and justifying the request per the criteria in DPM – Chapter 2
- ___ Drawing showing the easement or right-of-way to be vacated (7 copies, not to exceed 8.5" by 11")
- ___ Required notices with content per IDO Section 14-16-6-4(K)(6)
- ___ Office of Neighborhood Coordination notice inquiry response, notifying letter, and proof of first class mailing
- ___ Proof of emailed notice to affected Neighborhood Association representatives
- ___ Buffer map and list of property owners within 100 feet (excluding public rights-of-way), notifying letter, and proof of first class mailing* **this step is not required if variance is to be heard with minor subdivision plat**
- ___ Sign Posting Agreement - **this step is not required if variance is to be heard with minor subdivision plat**
- ☐ **TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION**
- ☐ **EXTENSION OF THE IIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION**
- ___ Letter describing, explaining, and justifying the deferral or extension
- ___ Drawing showing the sidewalks subject to the proposed deferral or extension (7 copies, not to exceed 8.5" by 14")

I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting, if required, or otherwise processed until it is complete.

Signature: Jacqueline Fishman

Printed Name: Jacqueline Fishman, AICP

Date: 10/13/20

☐ Applicant or ☒ Agent

FOR OFFICIAL USE ONLY

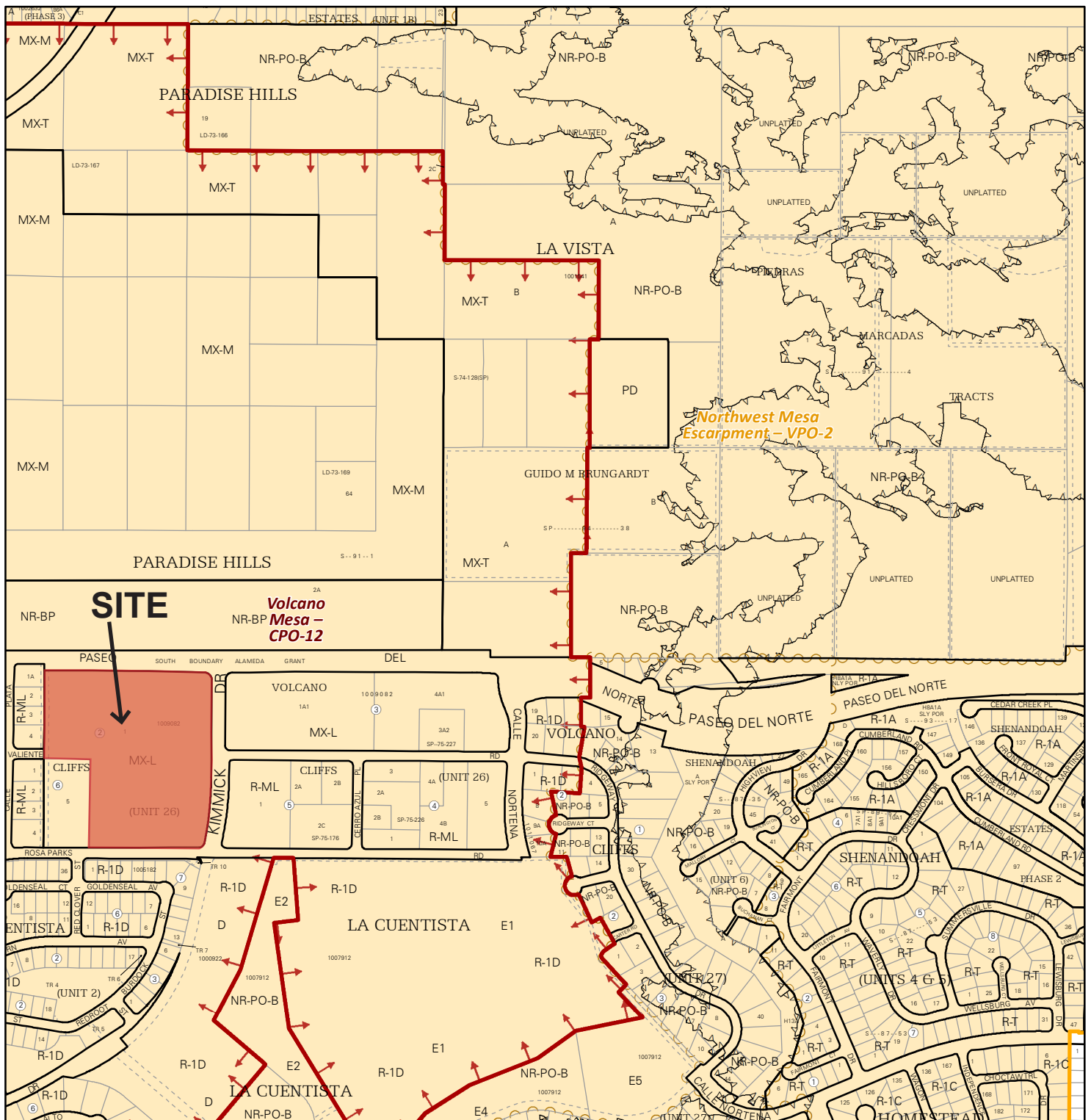
Case Numbers:

Project Number:

Staff Signature:

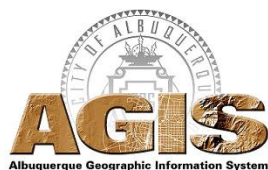
Date:



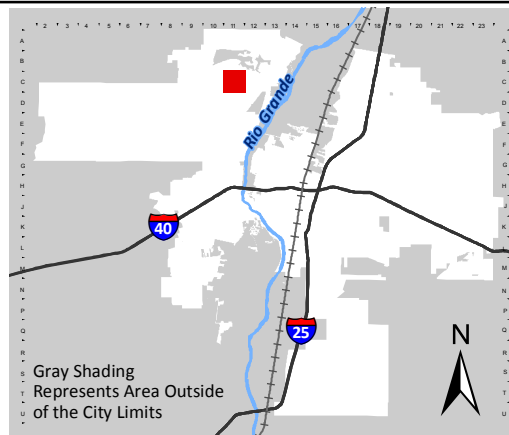


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018



IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).



Zone Atlas Page:
C-11-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

0 250 500 1,000 Feet

July 18, 2019

Dan Serrano, Chairman
Environmental Planning Commission
City of Albuquerque
600 Second Street NW
Albuquerque, New Mexico 87102

RE: Paseo del Norte and Kimmick NW – Request for Zoning Map Amendment

Dear Mr. Chairman:

The purpose of this letter is to authorize Consensus Planning, Inc. to act as our agent on a zone change request from MX-L to MX-M for the property located at the southeast and southwest corners of Paseo del Norte and Kimmick Drive NW.

The property is legally described as a portion of Tract 1, Block 2, Volcano Cliffs Subdivision and Lot 1A-1, Block 3, Volcano Cliffs Subdivision. Group II U26 VC, LLC and Volcano Cliffs, Inc. are the owners of these two properties.

Thank you for your consideration.

Sincerely,

A handwritten signature in blue ink, appearing to read "Billy Wright", with a stylized flourish at the end.

Billy Wright
Managing Member
Group II U26 VC LLC
Volcano Cliffs Inc.



Landscape Architecture
Urban Design
Planning Services

302 Eighth St. NW
Albuquerque, NM 87102

(505) 764-9801
Fax 842-5495
cp@consensusplanning.com
www.consensusplanning.com

PRINCIPALS

James K. Strozier, FAICP
Christopher J. Green, PLA,
ASLA, LEED AP
Jacqueline Fishman, AICP

October 30, 2020

Jolene Wolfley, Chair
Development Review Board
City of Albuquerque
Planning Department
600 2nd Street NW
Albuquerque, NM 87102

RE: Bulk Land Subdivision at Paseo del Norte and Kimmick Drive NW

Dear Ms. Wolfley:

The purpose of this letter is to request a subdivision of land and a Bulk Land Subdivision Waiver for the subject site located at the southwest corner of Paseo del Norte and Kimmick Drive NW. The property is legally described as Tract 1, Block 2, Volcano Cliffs Subdivision Unit 26.

The Environmental Planning Commission (EPC) approved a Zoning Map Amendment for a portion of the property from MX-L to MX-M on October 10, 2019. The condition associated with that approval is to replat the property to associate the approved zone boundary with a property line as identified in the exhibits presented to the EPC. The Bulk Land Waiver is being requested in order to complete the platting action and fulfill the EPC condition of approval without unnecessary infrastructure burdens. These improvements will be the responsibility of this property owner through future subdivision or site plan actions that will be required to be heard by the Development Review Board (DRB) pursuant to the thresholds identified in the Integrated Development Ordinance (IDO). Nothing can be developed on either tract within the proposed subdivision without coming back before the DRB due to the fact that both proposed tracts are greater than 5 acres in size as shown on the proposed plat.

Regarding the proposed waiver, it meets the requirements as outlined in Section 6-6(L)(2)(3) of the IDO, as follows:

6-6(L)(3)(a) Any of the following applies:

4. Varying from the normal requirements and standards will encourage flexibility, economy, effective use of open space, or ingenuity of design of a subdivision, in accordance with accepted principles of site planning.

Response: The requested Bulk Land Subdivision Waiver encourages flexibility and economy for the Applicant who is currently working to finalize a Zoning Map Amendment approved by the EPC. The proposed subdivision is aligned with the Site Development Plan for Subdivision that was approved by the DRB in 2017. Specific development of each proposed tract is unknown at this time, though once it is known those plans will return to the DRB for either a site plan or subdivision

approval due to the proposed tracts both being greater than 5 acres in size. Infrastructure requirements can be tied to those future actions.

6-6(L)(3)(b) The Waiver will not be materially contrary to the public safety, health, or welfare.

Response: The requested waiver is not materially contrary to the public safety, health, or welfare. The proposed plat is in compliance with a previously approved Site Plan for Subdivision, which included a Master Grading and Drainage Plan and Master Utility Plan. The Grading & Drainage Plan was approved by Hydrology. A Traffic Impact Study (TIS) was completed for the site in November 2017. The surrounding roadways have already been built as part of Special Assessment District (SAD) 228, including the installation of a traffic signal at Paseo del Norte and Kimmick Drive NW. The improvements satisfy the necessary infrastructure for current needs, so deferral of any additional requirements to future approvals that will be required for each tract in the proposed plat will not be detrimental to the public welfare.

6-6(L)(3)(c) The Waiver does not cause significant material adverse impacts on surrounding properties.

Response: The proposed waiver for this Bulk Land Subdivision will not cause material adverse impacts on surrounding properties. As described above, needed infrastructure was already installed with SAD 228, so the deferral of additional infrastructure until such a time as these lots are ready to develop will not create any impacts on the surrounding area.

6-6(L)(3)(d) The Waiver will not hinder future planning, public right-of-way acquisition, or the financing or building of public infrastructure improvements.

Response: The proposed waiver will not hinder the City's ability to plan, acquire, finance, or build any public infrastructure improvements. The Applicant has already dedicated a half-section of right-of-way for Paseo del Norte and contributed to the financing and construction of the SAD 228 infrastructure improvements. This waiver does not currently make possible any development that would interfere with the City's ability to pursue infrastructure improvements in this area. The Applicant must return to the DRB for any development of the property, at which time the City may request additional right-of-way or infrastructure as necessary for those developments.

6-6(L)(3)(e) The Waiver will not conflict significantly with provisions of any city, county, or AMAFCA adopted plan, this IDO, or any other City code or ordinance.

Response: The proposed waiver does not conflict with any adopted plans. In fact, the proposed subdivision complies with an approved Site Plan for Subdivision, Grading & Drainage plan, and TIS from 2017. The existing right-of-way widths on

the surrounding streets comply with the widths identified in the Volcano Cliffs Sector Development Plan and were dedicated via previous platting actions. These street sections were carried forward into the new Development Process Manual for reference in future designs after the Sector Plan was repealed by adoption of the IDO. Future development of the property will need to comply with the adopted plans and standards in place during future approvals.

6-6(L)(3)(f) The Waiver will not allow, encourage, or make possible undesired development in the 100-year floodplain.

Response: The subject site is not within a 100-year floodplain.

6-6(L)(3)(g) The Waiver will not materially undermine the intent and purpose of this IDO or applicable zone district.

Response: The proposed waiver will not undermine the intent or purpose of the IDO or the applicable MX-L and MX-M zone districts. Rather, the request will facilitate meeting the EPC condition of approval for a zone change. MX-L (Mixed-Use Low Intensity) will remain on the portion of the site bordering Rosa Parks on the south, which is a collector road consistent with the zone district's purpose to provide "neighborhood-scale convenience shopping needs, primarily at the corners of collector intersections." The portion of the site north of the proposed lot line was approved for MX-M (Mixed-Use Moderate Intensity). "The purpose of the MX-M zone district is to provide for a wide array of moderate-intensity retail, commercial, institutional and moderate-density residential uses," which is consistent with its location along a Regional Principal Arterial roadway, future Premium Transit Corridor, and adjacent to an Urban Center. The request helps complete this zoning alignment without the additional complication of additional infrastructure. The ability to obtain this infrastructure from the development of the property is maintained through future review of subdivisions or site plans by the DRB.

6-6(L)(3)(h) The Waiver does not allow a lot or type of development that does not meet the applicable size, area, and development standards applicable in the zone district where the lot is located, unless a Deviation to such standards is within the thresholds established by Subsection 14-16-6-4(O) (Deviations) and is granted by the DRB as part of this approval.

Response: The waiver does not allow a lot or type of development that does not meet the size, area, and development standards of the IDO. The property is currently vacant, and any future development will need to be reviewed for compliance with zoning and other site development standards at that time. The MX-L and MX-M zone districts do not have any lot size or area requirements, so the proposed waiver and plat conform to those standards of the IDO.



6-6(L)(3)(i) The Waiver approved is the minimum necessary to provide redress without being inconsistent with the provisions of this Section.

Response: As described, the requested waiver is consistent with this section of the IDO and is necessary to provide redress and compliance with the EPC condition of approval. The Applicant has already provided right-of-way dedications and contributed to infrastructure via SAD 228. Additional infrastructure improvements can be accomplished in future applications to the DRB once the zoning is set and the future development of the property is known.

In conclusion, we respectfully request approval of the proposed waiver and plat. Should you have any questions or need additional information please email me at fishman@consensusplanning.com or contact me by phone at 505-764-9801.

Sincerely,

A handwritten signature in black ink, appearing to read 'Jacqueline Fishman', is written over a horizontal line.

Jacqueline Fishman, AICP
Principal

Att: Approved Site Plan for Subdivision and Conceptual Grading & Drainage Plan



City of Albuquerque
P.O. Box 1293 Albuquerque, New Mexico 87103

Planning Department

Suzanne Lubar, Director

Richard J. Berry, Mayor
October 19, 2012

Robert J. Perry, CAO

SUBJECT: ALBUQUERQUE ARCHAEOLOGICAL ORDINANCE—Compliance Documentation

Project Number(s): SAD 228, COA Project No. 693391

Case Number(s): 1009082 (11 DRB-70350)

Agent: Wilson & Company, (Envir Sub Marron & Associates)

Applicant: COA SAD 228

Legal Description: Lots 1-A, 2A-1, 2A-2, 2A-3, 3A-1 and 4A, Block 3, Unit 26;
Lots 5A-1, 5A-2, 5A-3, 6A, 7A-1, 7A-2, 7A-3, 7A-4 and 7A-5, Block 2,
Unit 26;
Lots 6, 7A, 7B, 7C, 7D, 7E and 7F, Block 6, Unit 26;
All in Volcano Cliffs Subdivision, Bernalillo County, New Mexico

Zoning: SU-2 VCMX

Acreage: 13.39 acres

Zone Atlas Page: C-11-Z

CERTIFICATE OF NO EFFECT: Yes _____ No _____

CERTIFICATE OF APPROVAL: Yes X No _____

TREATMENT PLAN REVIEW: Data recovery proposed for sites LA 69709 and LA 170178, located in Special Assessment District 228. Proposed level of work and field methodology for both sites is adequate to obtain sufficient data. Recommend that archaeological monitoring of construction activities along the common boundary between SAD 228 and Petroglyph National Monument also be included in proposed scope of work to ensure compliance with New Mexico Historic Sites Act (in particular, site LA 52083 which is located right at the boundary).

SUPPORTING DOCUMENTATION: Proposal Letter from Shelly Herbst (Marron & Associates) to Steven Metro (Wilson & Company) dated October 15, 2012.

SITE VISIT: n/a

RECOMMENDATION(S):

- **CERTIFICATE OF APPROVAL IS ISSUED (ref O-07-72).**

SUBMITTED:

Matthew Schmader, PhD

CITY OF ALBUQUERQUE



Richard J. Berry, Mayor

August 8, 2017

Steve Metro, P.E.
8860 Desert Finch NE
Albuquerque NM 87109

RE: **The Cliffs on Paseo – Conceptual Grading and Drainage
Plan, Engineer's Stamp Date (7/28/2017) – Approved
Hydrology File: (C11D004)**

Dear Mr. Metro

Based on the information provided in your submittal received 8/5/2017, the above referenced Conceptual Grading and Drainage Plan is approved for Site Plan for Subdivision.

PO Box 1293

The drainage easements will be reviewed at time of final plat, and maintenance covenants will be required by the city prior to either Grading or Building permits.

Albuquerque

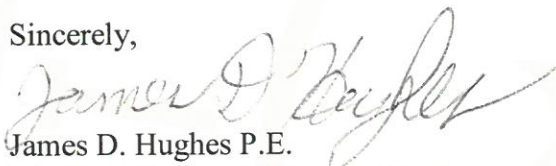
A more detailed grading and drainage plan must be submitted separately for Grading Permit and/or Building Permit. Also ECS Plans must be approved prior to issuance of and ESC permit.

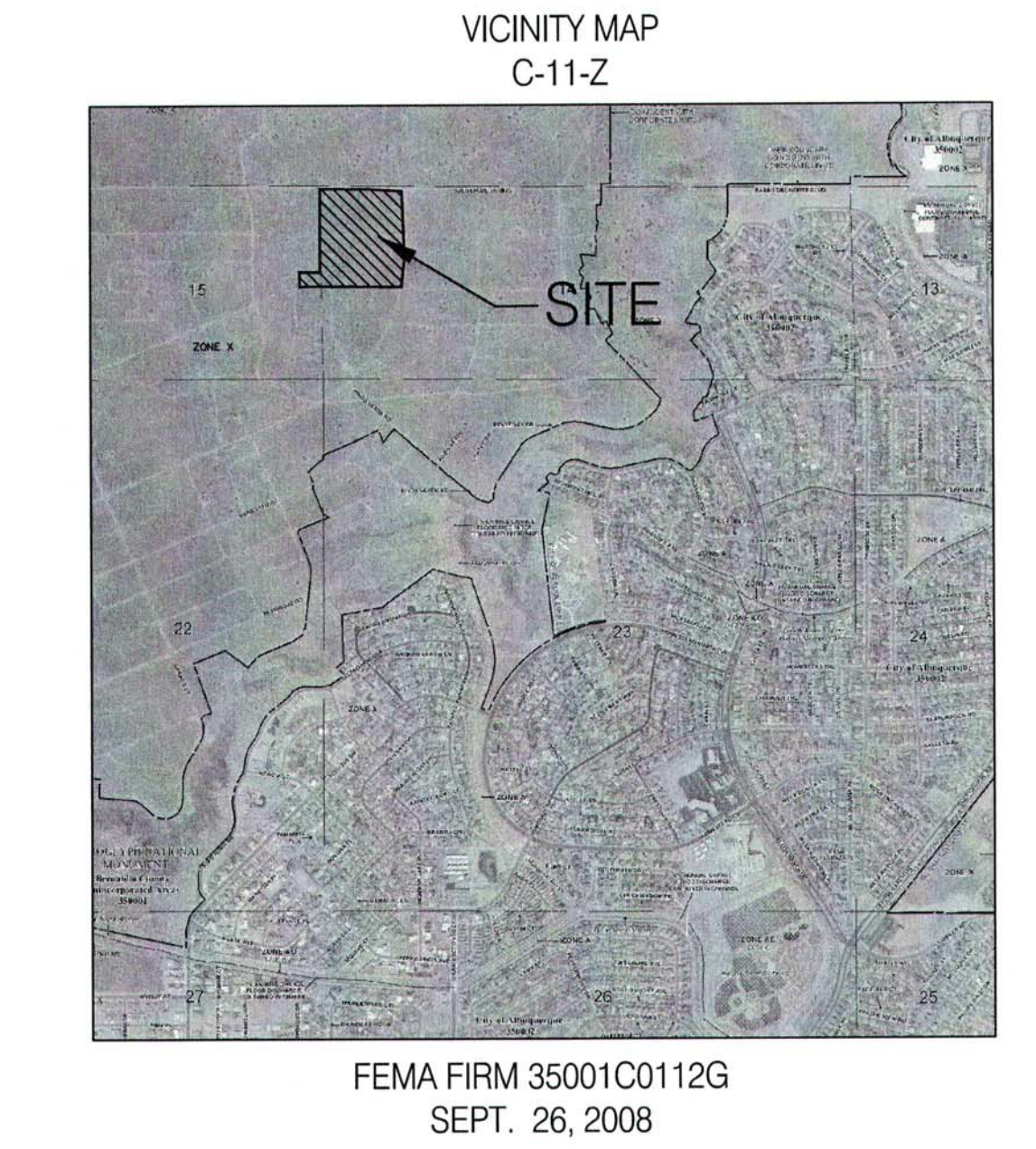
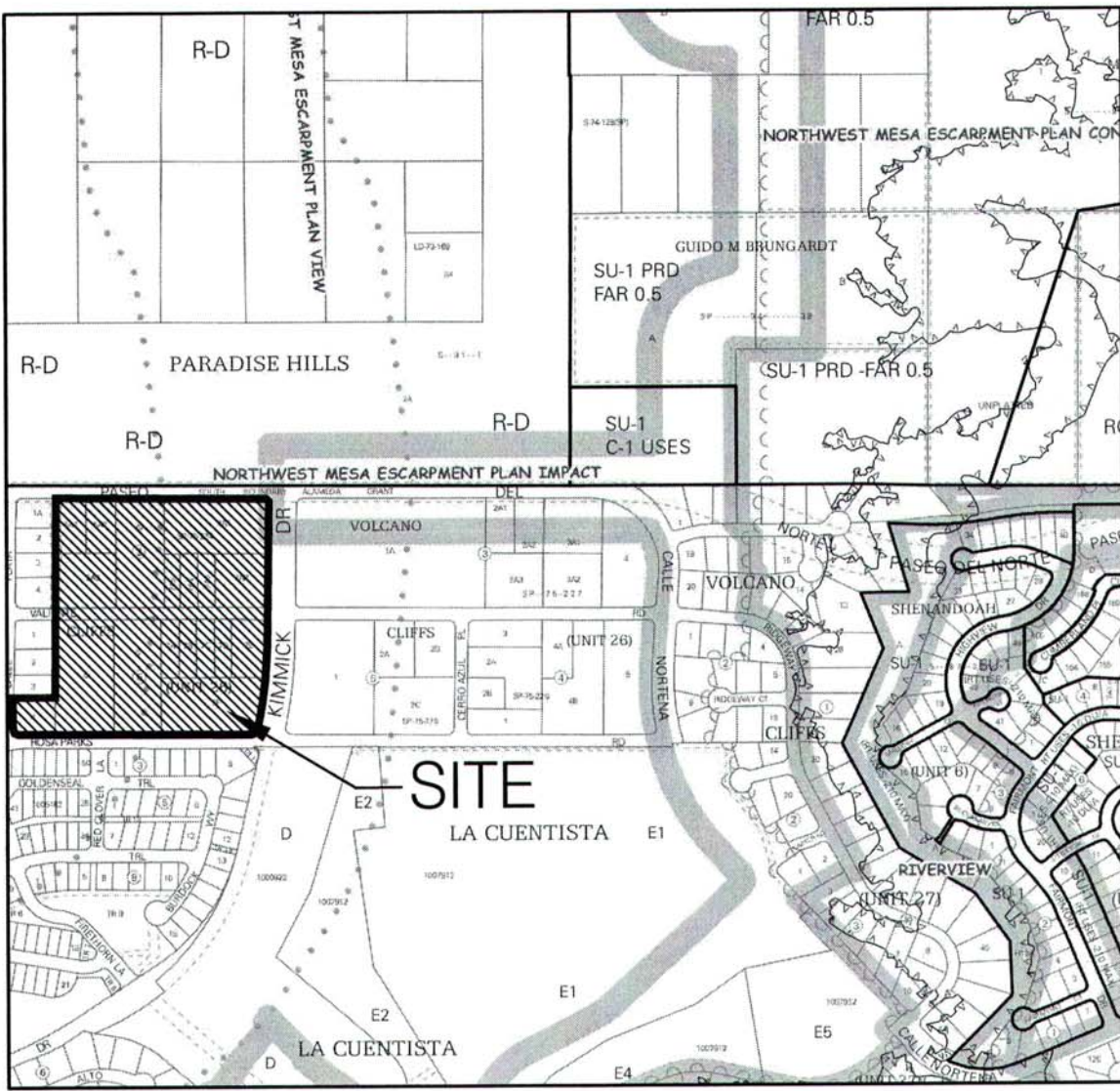
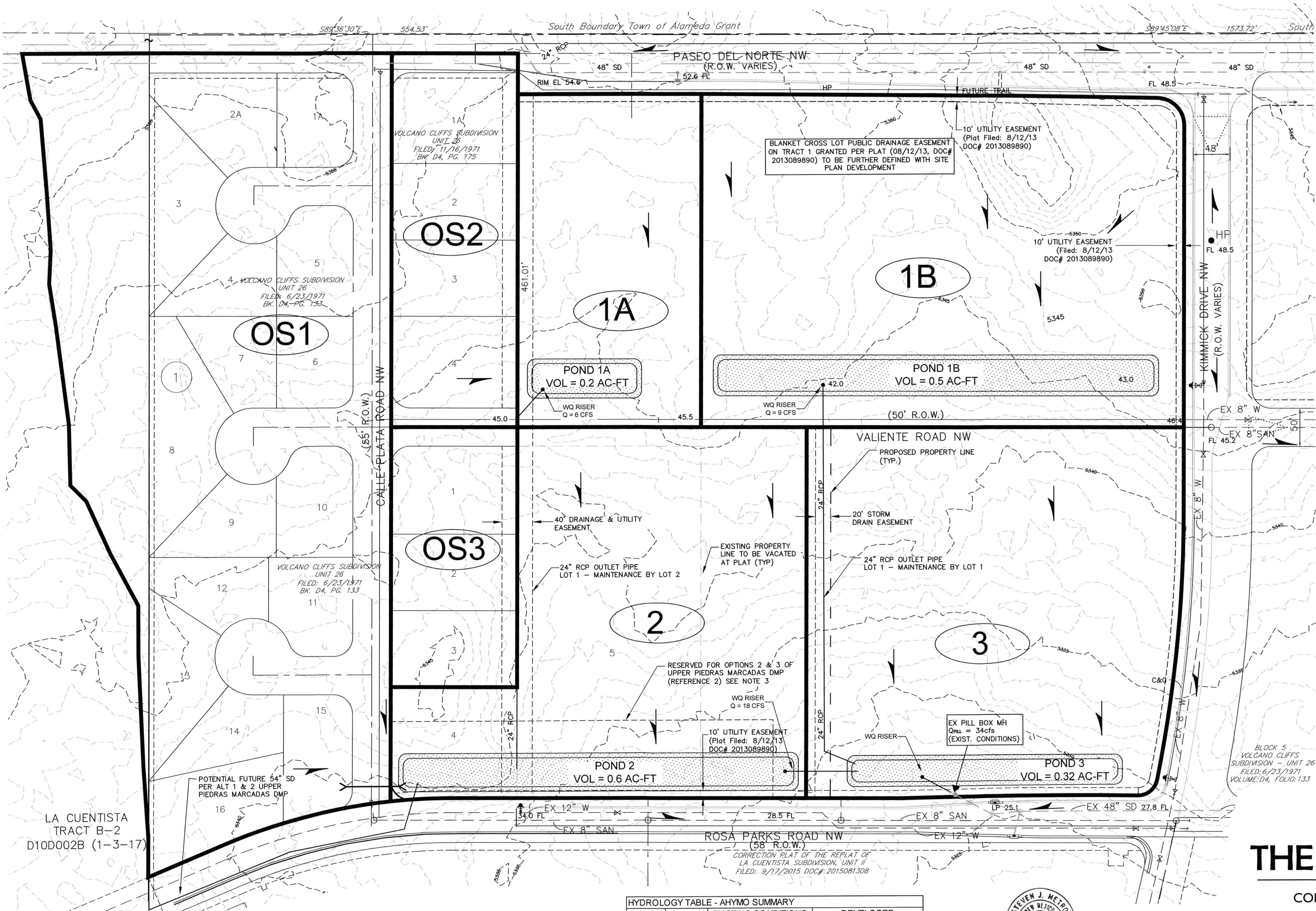
New Mexico 87103

If you have any questions, please contact me at 924-3986 or jhughes@cabq.gov.

Sincerely,

www.cabq.gov


James D. Hughes P.E.
Principal Engineer, Planning Dept.
Development Review Services



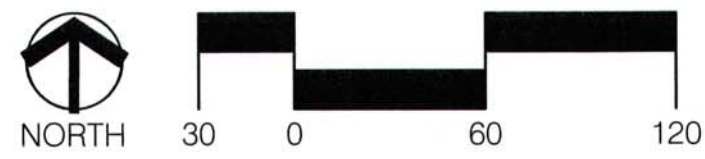
- NOTES:
1. THE PURPOSE OF THIS CONCEPTUAL GRADING & DRAINAGE PLAN IS TO SHOW THE GENERAL DRAINAGE PATTERNS FOR THE THREE LOTS. EACH LOT MAY DEVELOP INDEPENDENTLY OF THE OTHER LOTS. THE FINAL LOT DEVELOPMENT SITE PLANS WILL ADDRESS THE DETAILS OF THE GRADING & DRAINAGE WITHIN THE LIMITS OF THIS PLAN.
 2. THE DETENTION PONDS SHOWN ON THE PLAN ARE CONCEPTUAL IN LOCATION AND WILL CHANGE WITH THE FINAL SITE PLANS. THE RETENTION OF THE DEVELOPED FLOWS SHOWN ON THIS PLAN ARE BASED ON 85% TYPE D LAND COVER, AND 5% TYPE B, AND 10% TYPE C LAND COVER. THE RELEASE RATES ARE BASED ON ALL TYPE A LAND COVER TO REPRESENT EXISTING CONDITIONS.
 3. A 100' x 500' AREA IN LOT 2 WILL BE RESERVED FOR A POTENTIAL REGIONAL DETENTION POND AS DESCRIBED IN OPTIONS 2 AND 3 OF THE UPM DMP (REFERENCE NO. 2). THIS POTENTIAL FUTURE DETENTION POND WOULD HAVE 5.26 AC-FT OF STORAGE (50'B, 3:1 SS, 6'D).

- REFERENCES:
1. THE SAD 228 DRAINAGE REPORT, BY WILSON & COMPANY, DATED JANUARY 2012, AND PREPARED FOR THE CITY OF ALBUQUERQUE, IS THE REFERENCE DOCUMENT FOR THIS DRAINAGE MASTER PLAN. SPECIFICS OF THE REPORT WILL BE ADHERED TO AND EXPANDED UPON IN FUTURE INDIVIDUAL DETAILED SITE PLANS FOR DEVELOPMENT.
 2. UPPER PIEDRAS MARCADAS (UPM) WATERSHED DRAINAGE AND WATER QUALITY MANAGEMENT PLAN VOLUME 3- DEVELOPED CONDITIONS BY WILSON & COMPANY, DATED APRIL 2017, AND PREPARED FOR AMAFCA, IS THE REFERENCE DOCUMENT FOR THIS DRAINAGE MASTER PLAN. SPECIFICS OF THE REPORT WILL BE ADHERED TO AND EXPANDED UPON IN FUTURE INDIVIDUAL DETAILED SITE PLANS FOR DEVELOPMENT.

HYDROLOGY TABLE - AHYMO SUMMARY					
SUB-BASIN	AREA	EXISTING CONDITIONS		DEVELOPED	
		PEAK FLOW	RUNOFF VOLUME	PEAK FLOW	RUNOFF VOLUME
OS1	9.32	12.31	0.414	12.31	0.414
OS2	1.85	2.70	0.082	2.70	0.082
OS3	1.29	0.19	0.006	0.19	0.006
1A	2.40	3.53	0.108	9.30	0.416
1B	6.28	9.10	0.278	23.97	1.072
2	4.76	6.87	0.210	18.10	0.809
3	5.35	7.80	0.238	20.55	0.919



Scale: 1" = 60'



THE CLIFFS ON PASEO

CONCEPTUAL GRADING & DRAINAGE PLAN NOT FOR CONSTRUCTION

Prepared for:
Group II U26 VC, LLC
8860 Desert Finch Lane NE
Albuquerque, NM 87122

WILSON & COMPANY
4900 LANG AVE NE
ALBUQUERQUE, NEW MEXICO
87109
(505) 348-4000

Prepared by:
Consensus Planning, Inc.
302 Eighth Street NW
Albuquerque, NM 87102

August 2017

From: Carmona, Dalaina L.
To: Michael Vos
Subject: Paseo del Norte and Kimmick Neighborhood Meeting Inquiry
Date: Tuesday, September 8, 2020 1:01:29 PM
Attachments: image001.png
 image002.png
 image003.png
 image004.png
 image006.png
 ZnnAtlas_C-11-Site.pdf

Dear Applicant,

Please find the neighborhood contact information listed below.

Association Name	First Name	Last Name	Email	Address Line 1	City	State	Zip	Mobile Phone	Phone
Westside Coalition of Neighborhood Associations	Rene	Horvath	aboard111@gmail.com	5515 Palomino Drive NW	Albuquerque	NM	87120		5058982114
Westside Coalition of Neighborhood Associations	Elizabeth	Haley	ekhaley@comcast.net	6005 Chaparral Circle NW	Albuquerque	NM	87114	5054074381	
Paradise Hills Civic Association	Maria	Warren	samralphroxy@yahoo.com	5020 Russell Drive NW	Albuquerque	NM	87114	5054402240	
Paradise Hills Civic Association	Tom	Anderson	ta_a@msn.com	10013 Plunkett Drive NW	Albuquerque	NM	87114	5053040106	5058972593

You will need to e-mail each of the listed contacts and let them know that you are applying for a permit for your project. You can use this online link to find template language if you're not sure what information you need to include in your e-mail.

<https://www.cabq.gov/planning/urban-design-development/public-notice>

If your permit application or project requires a neighborhood meeting, you can click on this link to find template language to use in your e-mail notification: <https://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>

If you have questions about what type of notification is required for your particular project, please click on the link below to see a table of different types of projects and what notification is required for each:

<http://documents.cabq.gov/planning/IDO/IDO-Effective-2018-05-17-Part6.pdf>

Once you have e-mailed the contact individuals in each neighborhood, you will need to attach a copy of those e-mails AND a copy of this e-mail from the ONC to your permit application and submit it to the Planning Department for approval. **PLEASE NOTE:** The ONC does not have any jurisdiction over any other aspect of your permit application beyond the neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, or project plans, so we encourage you to contact the Planning Department at: 505-924-3860 or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

If your permit or project requires a pre-application or pre-construction meeting, please plan on utilizing virtual platforms to the greatest extent possible and adhere to all current Public Health Orders and recommendations. The health and safety of the community is paramount.

Thanks,



Dalaina L. Carmona

Senior Administrative Assistant

Office of Neighborhood Coordination

Council Services Department

1 Civic Plaza NW, Suite 9087, 9th Floor

Albuquerque, NM 87102

505-768-3334

dlcarmona@cabq.gov or ONC@cabq.gov

Website: www.cabq.gov/neighborhoods



From: [Jackie Fishman](#)
To: [aboard111@gmail.com](#); [ekhaley@comcast.net](#)
Cc: [Michael Vos](#)
Subject: Application notification - PdN/Kimmick - Westside Coalition
Date: Wednesday, September 23, 2020 11:30:06 AM
Attachments: [ZoneAtlas_C-11-Site.pdf](#)

Dear Neighbors,

This email is notification that Consensus Planning is preparing applications for a Subdivision of Land and a Bulk Land Waiver on behalf of Group II U26 VC LLC for the property legally described as Lot 1, Block 2, Volcano Cliffs Subdivision Unit 26 and located at the southwest corner of Paseo del Norte and Kimmick Drive NW (see attached zone atlas page).

The proposed plat is to split the tract into two new tracts to match the zoning boundaries approved by the Environmental Planning Commission (EPC) and City Council. The northern portion of the property was changed from MX-L to MX-M while the southern portion of the property is to remain MX-L. The proposed bulk land waiver is being requested to facilitate approval of the subdivision per the EPC conditions of approval of the zone change without unnecessary infrastructure requirements. Any infrastructure needed for development of the property will be tied to future subdivisions or site plan approvals in accordance with the procedures of the IDO. Both proposed tracts are larger than 5 acres, so neighbors will receive public notice of any future subdivision or site plan request.

In accordance with the IDO, we are providing you an opportunity to discuss these applications prior to submittal. Should you desire to request a meeting regarding these requests, please do not hesitate to email me at fishman@consensusplanning.com or contact me by phone at (505) 764-9801. Per the IDO, you have 15 days or until October 8, 2020 to request a meeting.

Sincerely,

Jacqueline Fishman, AICP
Principal
Consensus Planning, Inc.
302 Eighth Street NW
Albuquerque, NM 87102
P: 505.764.9801

From: [Jackie Fishman](#)
To: samralphroxy@yahoo.com; ta_a@msn.com
Cc: [Michael Vos](#)
Subject: Application Notification - PdN/Kimmick - Paradise Hills Civic Association
Date: Wednesday, September 23, 2020 11:31:41 AM
Attachments: [ZoneAtlas_C-11-Site.pdf](#)

Dear Neighbors,

This email is notification that Consensus Planning is preparing applications for a Subdivision of Land and a Bulk Land Waiver on behalf of Group II U26 VC LLC for the property legally described as Lot 1, Block 2, Volcano Cliffs Subdivision Unit 26 and located at the southwest corner of Paseo del Norte and Kimmick Drive NW (see attached zone atlas page).

The proposed plat is to split the tract into two new tracts to match the zoning boundaries approved by the Environmental Planning Commission (EPC) and City Council. The northern portion of the property was changed from MX-L to MX-M while the southern portion of the property is to remain MX-L. The proposed bulk land waiver is being requested to facilitate approval of the subdivision per the EPC conditions of approval of the zone change without unnecessary infrastructure requirements. Any infrastructure needed for development of the property will be tied to future subdivisions or site plan approvals in accordance with the procedures of the IDO. Both proposed tracts are larger than 5 acres, so neighbors will receive public notice of any future subdivision or site plan request.

In accordance with the IDO, we are providing you an opportunity to discuss these applications prior to submittal. Should you desire to request a meeting regarding these requests, please do not hesitate to email me at fishman@consensusplanning.com or contact me by phone at (505) 764-9801. Per the IDO, you have 15 days or until October 8, 2020 to request a meeting.

Sincerely,

Jacqueline Fishman, AICP
Principal
Consensus Planning, Inc.
302 Eighth Street NW
Albuquerque, NM 87102
P: 505.764.9801



September 24, 2020

Dear Mr. Anderson,

Landscape Architecture
Urban Design
Planning Services

302 Eighth St. NW
Albuquerque, NM 87102

(505) 764-9801
Fax 842-5495
cp@consensusplanning.com
www.consensusplanning.com

Our office sent you an email pre-application notice on September 23, 2020. However, the email was not delivered as your email inbox was full. Therefore, we are notifying you by US Postal Service that Consensus Planning, Inc. is preparing an application to the Development Review Board (DRB) for a Subdivision of Land and Bulk Land Waiver on behalf of Group II U26 VC, LLC. The property is located at the southwest corner of Paseo del Norte and Kimmick Drive NW. The legal description of the property is *Lot 1, Block 2, Volcano Cliffs Subdivision Unit 26 containing approximately 15.72 acres.*

The site is zoned MX-L and the Environmental Planning Commission (EPC) approved a zone change to MX-M for a portion of the property with the condition that the property be subdivided along the zone boundary. The proposed plat is to split the tract into two new tracts to match the zoning boundaries approved by the EPC. The proposed bulk land waiver is being requested to facilitate approval of the subdivision per the EPC conditions of approval of the zone change without unnecessary infrastructure requirements. Any infrastructure needed for development of the property will be tied to future subdivisions or site plan approvals in accordance with the procedures of the IDO. Both proposed tracts are larger than 5 acres, so neighbors will receive public notice of any future subdivision or site plan request.

In accordance with the IDO, we are providing you an opportunity to discuss these applications prior to submittal. Should you desire to request a meeting regarding these requests, please do not hesitate to call me at (505) 764-9801 or email me at fishman@consensusplanning.com. Per the IDO, you have 15 days or until October 9, 2020 to request a meeting. If you do not want to schedule a meeting, please also let me know, so we can continue in our application process.

Sincerely,

Jacqueline Fishman, AICP
Principal

PRINCIPALS

James K. Strozier, FAICP
Christopher J. Green, PLA,
ASLA, LEED AP
Jacqueline Fishman, AICP

Att: Zone Atlas C-11

7018 0360 0000 1718 6701

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
Domestic Mail Only

For delivery information, visit our website at www.usps.com®.

Albuquerque, NM 87114

OFFICIAL USE

Certified Mail Fee	\$3.55
Extra Services & Fees (check box, add fee as appropriate)	\$2.85
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

Postage \$0.55

Total Postage and Fees \$6.95

0101
09



Sent To Tom Anderson

Street and Apt. No., or PO Box No.

10013 Plunkett Dr NW

City, State, ZIP+4®

Albuquerque, NM 87114

PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions

From: Carmona, Dalaina L.
To: Michael Vos
Subject: Paseo del Norte and Kimmick Public Notice Inquiry
Date: Monday, October 12, 2020 1:27:07 PM
Attachments: image001.png
image002.png
image003.png
image004.png
image007.png
ZoneAtlas_C-11-Site.pdf

Dear Applicant,

Please find the neighborhood contact information listed below.

Association Name	First Name	Last Name	Email	Address Line 1	City	State	Zip	Mobile Phone	Phone
Westside Coalition of Neighborhood Associations	Rene	Horvath	aboard111@gmail.com	5515 Palomino Drive NW	Albuquerque	NM	87120		5058982114
Westside Coalition of Neighborhood Associations	Elizabeth	Haley	ekhaley@comcast.net	6005 Chaparral Circle NW	Albuquerque	NM	87114	5054074381	
Paradise Hills Civic Association	Tom	Anderson	ta_a@msn.com	10013 Plunkett Drive NW	Albuquerque	NM	87114	5053040106	5058972593
Paradise Hills Civic Association	Maria	Warren	samralphproxy@yahoo.com	5020 Russell Drive NW	Albuquerque	NM	87114	5054402240	

You will need to e-mail each of the listed contacts and let them know that you are applying for a permit for your project. You can use this online link to find template language if you're not sure what information you need to include in your e-mail. <https://www.cabq.gov/planning/urban-design-development/public-notice>

If your permit application or project requires a neighborhood meeting, you can click on this link to find template language to use in your e-mail notification: <https://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>

If you have questions about what type of notification is required for your particular project, please click on the link below to see a table of different types of projects and what notification is required for each: <http://documents.cabq.gov/planning/IDO/IDO-Effective-2018-05-17-Part6.pdf>

Once you have e-mailed the contact individuals in each neighborhood, you will need to attach a copy of those e-mails AND a copy of this e-mail from the ONC to your permit application and submit it to the Planning Department for approval. **PLEASE NOTE:** The ONC does not have any jurisdiction over any other aspect of your permit application beyond the neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, or project plans, so we encourage you to contact the Planning Department at: 505-924-3860 or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

If your permit or project requires a pre-application or pre-construction meeting, please plan on utilizing virtual platforms to the greatest extent possible and adhere to all current Public Health Orders and recommendations. The health and safety of the community is paramount.

Thanks,



Dalaina L. Carmona

Senior Administrative Assistant
Office of Neighborhood Coordination
Council Services Department
1 Civic Plaza NW, Suite 9087, 9th Floor
Albuquerque, NM 87102
505-768-3334
dlcarmona@cabq.gov or ONC@cabq.gov
Website: www.cabq.gov/neighborhoods



Confidentiality Notice: This e-mail, including all attachments is for the sole use of the intended recipient(s) and may contain confidential and privileged information. Any unauthorized review, use, disclosure or distribution is prohibited unless specifically provided under the New Mexico Inspection of Public Records Act. If you are not the intended recipient, please contact the sender and destroy all copies of this message.

From: webmaster=cabq.gov@mailgun.org [mailto:webmaster=cabq.gov@mailgun.org] **On Behalf Of** webmaster@cabq.gov
Sent: Monday, October 12, 2020 10:51 AM
To: Office of Neighborhood Coordination <vos@consensusplanning.com>
Cc: Office of Neighborhood Coordination <onc@cabq.gov>
Subject: Public Notice Inquiry Sheet Submission

Public Notice Inquiry For:
Development Review Board
If you selected "Other" in the question above, please describe what you are seeking a Public Notice Inquiry for below:
Contact Name
Michael Vos
Telephone Number
5057649801
Email Address
vos@consensusplanning.com
Company Name
Consensus Planning, Inc.
Company Address
302 8th Street NW
City
Albuquerque
State
NM
ZIP
87102
Legal description of the subject site for this project:
Tract 1, Block 2, Volcano Cliffs Subdivision Unit 26

From: [Jackie Fishman](#)
To: ta_a@msn.com; samralphroxy@yahoo.com
Cc: [Michael Vos](#)
Subject: Application Notification for PdN and Kimmick - Paradise Hills
Date: Friday, October 30, 2020 3:15:51 PM
Attachments: [ZoneAtlas_C-11-Site.pdf](#)

Dear Neighbors,

This email is notification that Consensus Planning is preparing applications for a Subdivision of Land and a Bulk Land Waiver on behalf of Group II U26 VC LLC for the property legally described as Lot 1, Block 2, Volcano Cliffs Subdivision Unit 26 and located at the southwest corner of Paseo del Norte and Kimmick Drive NW (see attached zone atlas page). The proposed plat is to split the tract into two new tracts to match the zoning boundaries approved by the Environmental Planning Commission (EPC) and City Council. The northern portion of the property was changed from MX-L to MX-M while the southern portion of the property is to remain MX-L.

The DRB meeting for this application will be held on November 18, 2020 starting at 9:00 AM. Due to the ongoing public health emergency, this meeting will be a remote public meeting with participation using the software Zoom. More information can be found at:
<http://www.cabq.gov/planning/boards-commissions/development-review-board/development-review-board>.

Meeting agendas are made available on Friday afternoons prior to the hearing date here:
<http://www.cabq.gov/planning/boards-commissions/development-review-board/development-review-board-agenda-archives>.

You can join the remote DRB meeting using a computer with microphone and/or camera or by phone using the information below:

Join Zoom Meeting: <https://cabq.zoom.us/j/96274795316>

Meeting ID: 962 7479 5316

By Phone: +1 312 626 6799 US

Find your local number: <https://cabq.zoom.us/j/96274795316>

Please do not hesitate to contact me if you have any questions, would like to meet, or desire any additional information. Under the IDO, anyone may request, and the City may require an applicant to attend a City-sponsored facilitated meeting with Neighborhood Associations, based on the complexity and potential impacts of a proposed project (IDO Section 14-16-6-4(D)). Visit: <https://www.cabq.gov/planning/urban-design-development/facilitated-meetings-for-proposed-development/> to view and download the Facilitated Meetings Criteria. If you wish to request a Facilitated Meeting, please contact the Planning Department at (505) 924-3994 or email devhelp@cabq.gov.

Jacqueline Fishman, AICP

Principal

Consensus Planning, Inc.

302 Eighth Street NW

Albuquerque, NM 87102

P: 505.764.9801

From: [Jackie Fishman](#)
To: aboard111@gmail.com; ekhaley@comcast.net
Cc: [Michael Vos](#)
Subject: Application Notification - PdN and Kimmick - Westside Coalition
Date: Friday, October 30, 2020 3:17:31 PM
Attachments: [ZoneAtlas_C-11-Site.pdf](#)

Dear Neighbors,

This email is notification that Consensus Planning is preparing applications for a Subdivision of Land and a Bulk Land Waiver on behalf of Group II U26 VC LLC for the property legally described as Lot 1, Block 2, Volcano Cliffs Subdivision Unit 26 and located at the southwest corner of Paseo del Norte and Kimmick Drive NW (see attached zone atlas page). The proposed plat is to split the tract into two new tracts to match the zoning boundaries approved by the Environmental Planning Commission (EPC) and City Council. The northern portion of the property was changed from MX-L to MX-M while the southern portion of the property is to remain MX-L.

The DRB meeting for this application will be held on November 18, 2020 starting at 9:00 AM. Due to the ongoing public health emergency, this meeting will be a remote public meeting with participation using the software Zoom. More information can be found at:
<http://www.cabq.gov/planning/boards-commissions/development-review-board/development-review-board>.

Meeting agendas are made available on Friday afternoons prior to the hearing date here:
<http://www.cabq.gov/planning/boards-commissions/development-review-board/development-review-board-agenda-archives>.

You can join the remote DRB meeting using a computer with microphone and/or camera or by phone using the information below:

Join Zoom Meeting: <https://cabq.zoom.us/j/96274795316>

Meeting ID: 962 7479 5316

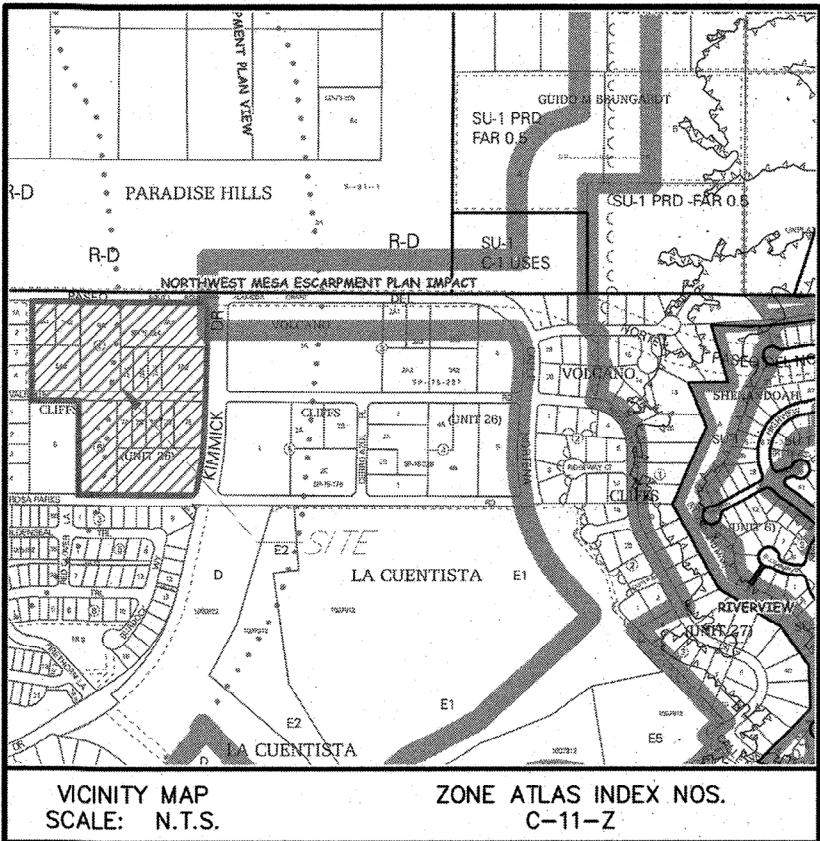
By Phone: +1 312 626 6799 US

Find your local number: <https://cabq.zoom.us/j/96274795316>

Please do not hesitate to contact me if you have any questions, would like to meet, or desire any additional information. Under the IDO, anyone may request, and the City may require an applicant to attend a City-sponsored facilitated meeting with Neighborhood Associations, based on the complexity and potential impacts of a proposed project (IDO Section 14-16-6-4(D)). Visit: <https://www.cabq.gov/planning/urban-design-development/facilitated-meetings-for-proposed-development/> to view and download the Facilitated Meetings Criteria. If you wish to request a Facilitated Meeting, please contact the Planning Department at (505) 924-3994 or email devhelp@cabq.gov.

Sincerely,

Jacqueline Fishman, AICP
Principal
Consensus Planning, Inc.
302 Eighth Street NW
Albuquerque, NM 87102
P: 505.764.9801



VICINITY MAP
SCALE: N.T.S.

ZONE ATLAS INDEX NOS.
C-11-Z

SUBDIVISION DATA:

TOTAL NO. OF LOTS EXISTING: 1
TOTAL NO. OF TRACTS CREATED: 2
GROSS SUBDIVISION ACREAGE: 15.7217 ACRES
TOTAL MILES OF STREETS CREATED: 0
ZONE ATLAS INDEX NO: C-11-Z
DATE OF SURVEY: APRIL 2010
CURRENT ZONING: MX-M for Tract 1A
MX-L for Tract 1B

DISCLOSURE STATEMENT:

THE PURPOSE OF THIS PLAT IS TO REPLAT TRACT 1, BLOCK 2, UNIT 26, VOLCANO CLIFFS SUBDIVISION INTO TWO TRACTS TO MATCH THE ZONE MAP AMENDMENT APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION.

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON

UNIFORM PROPERTY CODE #: 1-011-064-040-145-30102

PROPERTY OWNER OF RECORD: GROUP II U26 VC, LLC, A NEW MEXICO LIMITED LIABILITY COMPANY

BERNALILLO COUNTY TREASURER'S OFFICE: DATE:

INDEXING INFORMATION FOR COUNTY CLERK

OWNER(S): VARIOUS
SECTIONS 14&15, T.11 N., R.2 E., N.M.P.M.
SUBDIVISION: VOLCANO CLIFFS SUBDIVISION, UNIT 26

LEGAL DESCRIPTION:

A CERTAIN TRACT OF LAND BEING DESCRIBED AS TRACT 1, BLOCK 2, UNIT 26 VOLCANO CLIFFS SUBDIVISION FILED WITH THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON SEPTEMBER 12, 2013 IN BOOK: 2013C, PAGE: 92 AS DOCUMENT # 2013089890; SAID TRACT BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF SAID TRACT 1 AND ALSO A POINT ON THE NORTHERLY RIGHT OF WAY LINE OF ROSA PARKS; WHENCE, THE A.C.S. (ALBUQUERQUE CONTROL STATION) 3-E10, A BRASS CAP IN PLACE, BEARS S.28°46'12"W., 8,467.09 FEET DISTANT; THENCE FROM SAID POINT OF BEGINNING, LEAVING SAID NORTHERLY RIGHT OF WAY LINE, N.00°19'05"E., A DISTANCE OF 460.00 FEET TO AN ANGLE POINT; THENCE, N.89°40'55"W. A DISTANCE OF 239.96 FEET TO AN ANGLE POINT; THENCE, N.00°19'05"E. A DISTANCE OF 461.01 FEET TO THE NORTHWEST CORNER OF SAID TRACT DESCRIBED HEREIN, BEING A POINT ON THE SOUTHERLY RIGHT OF WAY LINE OF PASEO DEL NORTE; THENCE, ALONG SAID RIGHT OF WAY LINE, S.89°43'24"E. A DISTANCE OF 544.22 FEET; THENCE, S.88°17'26"E. A DISTANCE OF 224.95 FEET; THENCE, S.89°43'24"E. A DISTANCE OF 67.02 FEET TO A POINT OF CURVATURE; THENCE, SOUTHEASTERLY, 54.31 FEET ALONG THE ARC OF SAID CURVE TO THE RIGHT HAVING A RADIUS OF 36.78 FEET AND A CENTRAL ANGLE OF 84°36'32" SUBTENDED BY A CHORD OF 49.52 FEET WHICH BEARS S.44°42'09"E. TO A POINT OF TANGENCY, BEING A POINT ON THE WESTERLY RIGHT OF WAY LINE OF KIMMICK DRIVE; THENCE ALONG SAID WESTERLY RIGHT OF WAY LINE, S.00°19'05"W. A DISTANCE OF 509.90 FEET TO A POINT OF CURVATURE; THENCE, SOUTHWESTERLY, 349.19 FEET ALONG THE ARC OF SAID CURVE TO THE RIGHT HAVING A RADIUS OF 1,781.34 FEET AND A CENTRAL ANGLE OF 11°13'53" SUBTENDED BY A CHORD OF 348.63 FEET WHICH BEARS S.05°56'02"W. TO A POINT OF COMPOUND CURVATURE; THENCE, SOUTHWESTERLY, 34.37 FEET ALONG THE ARC OF SAID CURVE TO THE RIGHT HAVING A RADIUS OF 25.00 FEET AND A CENTRAL ANGLE OF 78°46'06" SUBTENDED BY A CHORD OF 31.73 FEET WHICH BEARS S.50°56'02"W. TO A POINT OF TANGENCY ON THE NORTHERLY RIGHT OF WAY LINE OF ROSA PARKS ROAD; THENCE WESTERLY ALONG SAID RIGHT OF WAY LINE, N.89°40'55"W. A DISTANCE OF 149.95 FEET TO AN ANGLE POINT; THENCE, S.88°53'10"W. A DISTANCE OF 160.05 FEET TO AN ANGLE POINT; THENCE, N.89°40'55"W. A DISTANCE OF 262.60 FEET TO THE SOUTHWEST CORNER OF SAID TRACT HEREIN DESCRIBED, THE POINT OF BEGINNING;
SAID TRACT CONTAINING AN AREA OF 684,837 SQUARE FEET OR 15.7217 ACRES, MORE OR LESS.

NOTICE OF SUBDIVISION PLAT CONDITIONS:

A VARIANCE OR WAIVER FROM CERTAIN SUBDIVISION REQUIREMENTS HAS BEEN GRANTED BY THE CITY AND THE ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY IN CONNECTION WITH THIS PLAT.

FUTURE SUBDIVISION OF LANDS WITHIN THIS PLAT, ZONING SITE DEVELOPMENT PLAN APPROVALS, AND DEVELOPMENT PERMITS MAY BE CONDITIONED UPON DEDICATION OF RIGHTS-OF-WAY AND EASEMENTS, AND/OR UPON INFRASTRUCTURE IMPROVEMENTS BY THE OWNER FOR WATER, SANITARY SEWER, STREETS, DRAINAGE, GRADING AND PARKS IN ACCORDANCE WITH CURRENT RESOLUTIONS, ORDINANCES AND POLICIES IN EFFECT AT THE TIME FOR ANY SPECIFIC PROPOSAL.

THE CITY (AND AMAFCA WITH REFERENCE TO DRAINAGE) MAY REQUIRE AND/OR PERMIT EASEMENTS TO BE ADDED, MODIFIED OR REMOVED WHEN FUTURE PLATS OR SITE DEVELOPMENT PLANS ARE APPROVED.

BY ITS APPROVAL THE CITY MAKES NO REPRESENTATION OR WARRANTIES AS TO AVAILABILITY OF UTILITIES, OR FINAL APPROVAL OR ALL REQUIREMENTS INCLUDING (BUT NOT LIMITED TO) THE FOLLOWING ITEMS: WATER AND SANITARY SEWER AVAILABILITY; FUTURE STREET DEDICATIONS AND/OR IMPROVEMENTS; PARK AND OPEN SPACE REQUIREMENTS; DRAINAGE REQUIREMENT AND/OR IMPROVEMENTS; AND EXCAVATION, FILLING OR GRADING REQUIREMENTS. ANY PERSON INTENDING DEVELOPMENT OF LANDS WITHIN THIS SUBDIVISION IS CAUTIONED TO INVESTIGATE THE STATUS OF THESE ITEMS.

GENERAL NOTES:

- COUNCIL BILL R-11-306 CREATES SPECIAL ASSESSMENT DISTRICT 228 (SAD 228) AND STATES THAT THE ADDITION OF IMPROVEMENTS TO THE DISTRICT IS IN THE GENERAL INTEREST OF THE CITY. THE TRACTS, EASEMENTS, AND RIGHT-OF-WAY SHOWN ON THIS PLAT ARE WITHIN THE IMPROVEMENT LIMITS DEFINED BY COUNCIL BILL R-11-306 FOR SAD 228.
- FIELD SURVEY WAS PERFORMED IN APRIL 2010 AND AUGUST 2020.
- BEARINGS SHOWN ARE NEW MEXICO STATE PLANE GRID BEARINGS (CENTRAL ZONE NAD 83). BASED ON A LINE FROM CONTROL STATION 3_E10 TO CONTROL STATION 13-D10 BEARING = N.54°12'22"E.
- ALL DISTANCES ARE GROUND DISTANCES.
- CORNERS SHOWN AS AND LABELED FND, ARE 5/8" REBAR WITH CAP STAMPED "C.S. CROSHAW PS 14733", UNLESS OTHERWISE INDICATED. POSITIONAL ACCURACY IS WITHIN TOLERANCE AS REFERENCED IN MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO, SECTION 12.8.2.16.B
- CORNERS SHOWN AS AND LABELED SET, ARE 5/8" REBAR WITH CAP STAMPED "B.M. ARAGON PS 15268", UNLESS OTHERWISE INDICATED. POSITIONAL ACCURACY IS WITHIN TOLERANCE AS REFERENCED IN MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO, SECTION 12.8.2.16.B

SOLAR NOTE:

SUBDIVISION ORDINANCE SECTION 14-14-4-7. PROHIBITION ON PRIVATE RESTRICTIONS ON THE INSTALLATION OF SOLAR COLLECTORS ON PROPERTY WITHIN THE AREA FOR WHICH DRB APPROVAL IS SOUGHT. NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERECTED ON THE LOTS OR PARCELS WITHIN THE AREA OF PROPOSED PLAT. THE FOREGOING REQUIREMENT SHALL BE A CONDITION TO APPROVAL OF THIS PLAT OR SITE DEVELOPMENT PLAN FOR SUBDIVISION.

PLAT OF
TRACTS 1-A and 1-B, BLOCK 2
VOLCANO CLIFFS SUBDIVISION, UNIT 26
A Replat of Tract 1, Block 2
Volcano Cliffs Subdivision, Unit 26
WITHIN SECTIONS 14 & 15
T.11 N., R.2 E., N.M.P.M.
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
AUGUST 2020

PROJECT NUMBER: _____

APPLICATION NUMBER: _____

PLAT APPROVAL

UTILITY APPROVALS: PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE NOT EXCLUSIVE AND ARE GRANTED FOR THE COMMON AND JOINT USE OF THE UTILITIES DESIGNATED ON THIS PLAT, THEIR SUCCESSORS AND ASSIGNS, AND FOR THE USE OF ANY OTHER PUBLIC UTILITIES WHOSE USE OF SAID EASEMENT IS DEEDED TO BE IN THE PUBLIC INTEREST. DISCLAIMER: IN APPROVING THIS PLAT, PNM ELECTRIC SERVICES (PNM) AND NEW MEXICO GAS COMPANY (NMGC) AND CENTURY LINK DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON, CONSEQUENTLY, PNM, NMGC AND CENTURY LINK DO NOT WAIVE NOR RELEASE ANY EASEMENT OR EASEMENT RIGHTS WHICH MAY HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT OR OTHER DOCUMENT, WHICH ARE NOT SHOWN ON THIS PLAT.

PNM ELECTRIC SERVICES DATE

NEW MEXICO GAS COMPANY DATE

CENTURY LINK DATE

COMCAST DATE

CITY APPROVALS:

Benjamin M. Aragon P.S. 9/17/2020
CITY SURVEYOR DATE

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION DATE

ABCWUA DATE

PARKS AND RECREATION DEPARTMENT DATE

A.M.A.F.C.A. DATE

CITY ENGINEER HYDROLOGY DATE

CODE ENFORCEMENT DATE

DRB CHAIRPERSON, PLANNING DEPARTMENT DATE

SURVEYOR'S CERTIFICATION:

I, BENJAMIN M. ARAGON, A DULY REGISTERED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THIS PLAT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION, MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE, SHOWS ALL EASEMENTS MADE KNOWN TO ME BY THE OWNER(S), UTILITY COMPANIES, OR OTHER PARTIES EXPRESSING AN INTEREST, IS CORRECT AND TRUE TO THE BEST OF MY BELIEF AND KNOWLEDGE AND THAT THIS SURVEY AND PLAT MEET THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO AS ADOPTED BY THE NEW MEXICO BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND SURVEYORS EFFECTIVE MAY 1, 2007.

Benjamin M. Aragon
BENJAMIN M. ARAGON
N.M.P.L.S. #15268
9-15-20
DATE



WILSON & COMPANY
4401 MASTHEAD ST. NE SUITE 150
ALBUQUERQUE, NEW MEXICO 87109
PHONE: 505-348-4000
FAX: 505-348-4155

SHEET 1 OF 3

PLAT OF
TRACTS 1-A and 1-B, BLOCK 2
VOLCANO CLIFFS SUBDIVISION, UNIT 26
A Replat of Tract 1, Block 2
Volcano Cliffs Subdivision, Unit 26
WITHIN SECTIONS 14 & 15
T.11 N., R.2 E., N.M.P.M.
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
AUGUST 2020

FREE CONSENT AND DEDICATION:

THE TRACTS SHOWN HEREON ARE REPLATTED WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS. ALL EXISTING ACCESS, UTILITY AND DRAINAGE EASEMENTS SHOWN HEREON INCLUDE THE RIGHT TO CONSTRUCT, OPERATE, INSPECT AND MAINTAIN FACILITIES THEREIN; ALL PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR OVERHEAD AND/OR BURIED DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND AND/OR OVERHEAD UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS; SAID OWNERS DO HEREBY CONSENT TO ALL OF THE FOREGOING AND DO HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED.

PROPERTY OWNER SIGNATURE(S):

TRACT 1, BLOCK 2, VOLCANO CLIFFS SUBDIVISION, UNIT 26:

BILLY J. WRIGHT, MANAGER
FOR: GROUP II U26 VC, LLC, A NEW MEXICO LIMITED LIABILITY COMPANY

DATE

STATE OF NEW MEXICO)
) ss.
COUNTY OF BERNALILLO)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THIS _____ DAY OF
_____, 2020, BY BILLY J. WRIGHT.

NOTARY PUBLIC: _____

MY COMMISSION EXPIRES: _____

STEVEN J. METRO, MANAGER
FOR: GROUP II U26 VC, LLC, A NEW MEXICO LIMITED LIABILITY COMPANY

DATE

STATE OF NEW MEXICO)
) ss.
COUNTY OF BERNALILLO)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THIS _____ DAY OF
_____, 2020, BY STEVEN J. METRO.

NOTARY PUBLIC: _____

MY COMMISSION EXPIRES: _____

**WILSON
& COMPANY**

4401 MASTHEAD ST., NE SUITE 150
ALBUQUERQUE, NEW MEXICO 87109
PHONE: 505-348-4000
FAX: 505-348-4155

SHEET 2 OF 3

LINE TABLE		
LINE NO.	BEARING	DISTANCE
L3	S89°43'24"E	67.02'

CURVE TABLE				
CURVE NO.	DELTA	RADIUS	LENGTH	CHORD BEARING/DISTANCE
C3	11°13'53"	1781.34'	349.19'	S05°56'02"W 348.63'
C4	78°46'06"	25.00'	34.37'	S50°56'02"W 31.73'
C6	84°36'32"	36.78'	54.31'	S44°42'09"E 49.52'



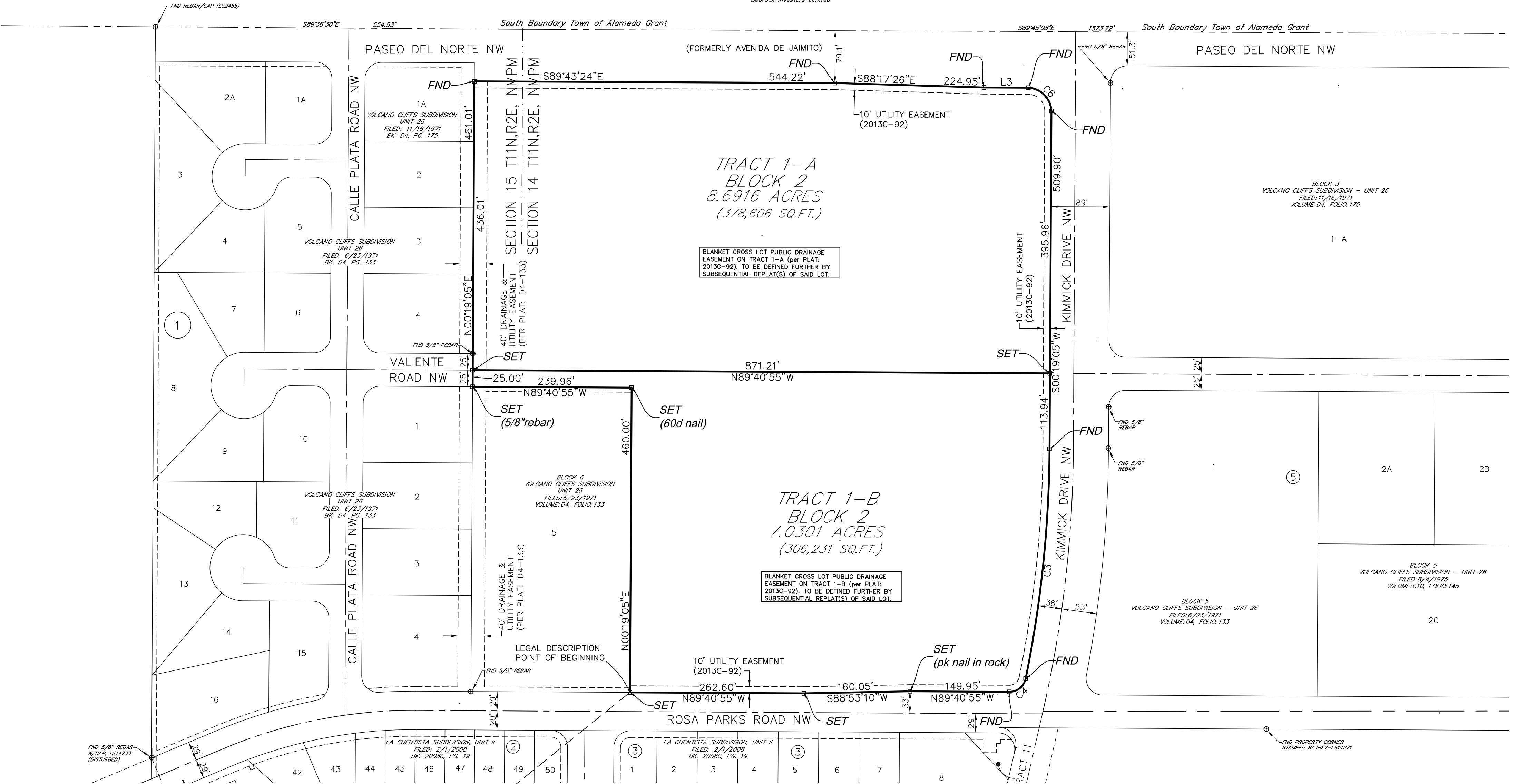
(IN FEET)
1 inch = 100 ft.

GRAPHIC SCALE



PLAT OF
TRACTS 1-A and 1-B, BLOCK 2
VOLCANO CLIFFS SUBDIVISION, UNIT 26
A Replat of Tract 1, Block 2
Volcano Cliffs Subdivision, Unit 26
WITHIN SECTIONS 14 & 15
T.11 N., R.2 E., N.M.P.M.
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
AUGUST 2020

TRACT 2A
PARADISE HILLS
FILED: 2/21/1991
BK. 91C, PG. 44
Bedrock Investors Limited



ACS CONTROL STATION "ACS 3-E10" DATA:
3 1/4 BRASS DISC SET IN CONCRETE POST
(NAD 1983)
NEW MEXICO STATE PLANE GRID COORDINATES (CENTRAL ZONE)
X=1,499,059.808 Y=1,512,627.946 (US SURVEY FEET)
GROUND TO GRID FACTOR=0.999672416
DELTA ALPHA=(-)00°16'20.35"
(NAD 1988)
ELEV=5318.888 (US SURVEY FEET)

ACS CONTROL STATION "ACS 13-D10" DATA:
3 1/4 BRASS DISC SET FLUSH IN LAVA ROCK
(NAD 1983)
NEW MEXICO STATE PLANE GRID COORDINATES (CENTRAL ZONE)
X=1,501,318.610 Y=1,514,256.686 (US SURVEY FEET)
GROUND TO GRID FACTOR=0.999672421
DELTA ALPHA=(-)00°16'04.84"

For Review
10/15/2020 8:24:10 AM

WILSON
& COMPANY
4401 MASTHEAD ST. NE SUITE 150
ALBUQUERQUE, NEW MEXICO 87109
PHONE: 505-348-4000
FAX: 505-348-4155

