

FUTURE CITY COMMUNITY PARK

TRACT F-I  
Zoning R-LT

Natural Basalt and Soil Cement Drainage Conveyance

TRACT Z  
AMAFCA  
DRAINAGE  
FACILITY

EXISTING COUNTRYHILLS SUBDIVISION  
ZONING R-LT TRACT 7A

UNIVERSE BOULEVARD  
(ROW 86) (TRAFFIC COUNT 9,000)

1 SITE PLAN

Scale: 1" = 50'-0"  
0 50 100  
feet

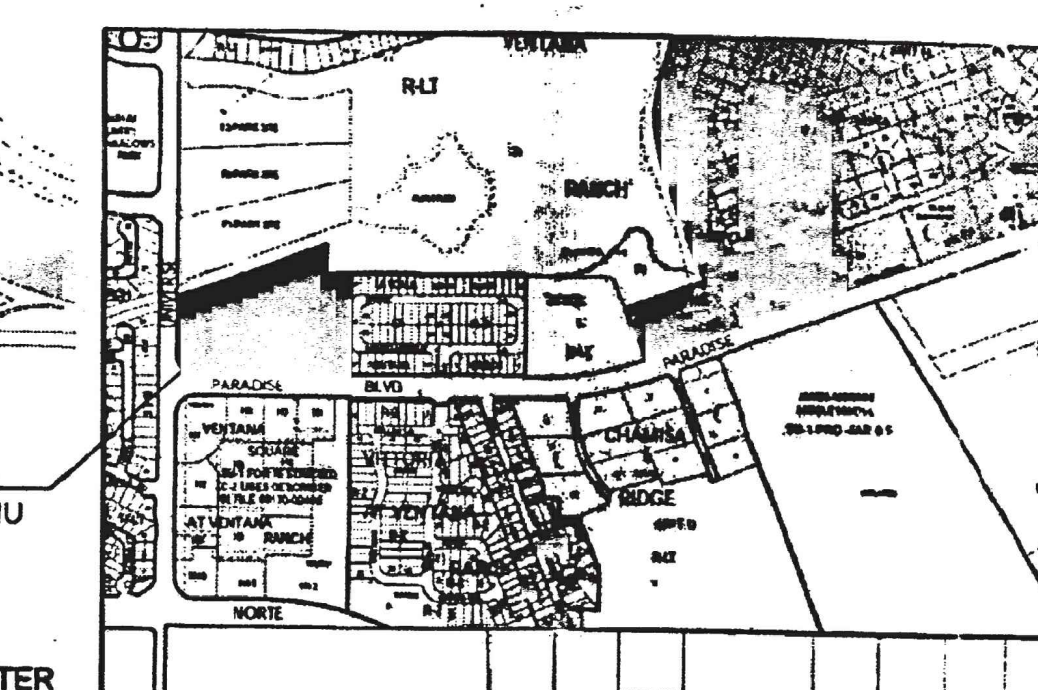
SU-1 FOR C2 PURPOSES

LEGEND

- EXISTING.
- LIGHT POST.
- F.H.

**BUILDING AREA & PARKING CALCULATIONS:**  
 MAJOR 1: 41,450 SF. BUILDING.  
 LOT SIZE = 234,301 SF OR 5.38 AC.  
 41,450 SF / 1 SPACE PER 200 SF FOR THE FIRST 15,000 SF OF NET LEASABLE AREA; 75 CARS.  
 1 SPACE PER 250 SF FOR THE NEXT 26,450 SF OF NET LEASABLE AREA; 106 CARS  
 = 181 CARS  
 SPACES PROVIDED 181 SPACES.  
 FAR = .17  
 OCCUPANT LOAD: 41,450 / 30 = 1,382  
 SHOPS 1: 11,600 SF. BUILDING.  
 LOT SIZE = 48,127 SF OR 1.10 AC.  
 11,600 SF / 200 = 58 SPACES.  
 SPACES PROVIDED 58 SPACES.  
 FAR = .24  
 OCCUPANT LOAD: 11,600 / 30 = 387  
 PAD 1 : 2,005 SF. BUILDING.  
 LOT SIZE = 31,265 SF OR 7.18 AC.  
 1 CAR PER 4 PROVIDED SEATS  
 48 SEATS / 4 = 12 REQ. CARS.  
 SPACES PROVIDED 31 SPACES.  
 FAR = .06  
 OCCUPANT LOAD: 2,005 / 15 = 133  
 PAD 2 : 2,763 SF. BUILDING.  
 LOT SIZE = 38,457 SF OR 8.8 AC.  
 1 CAR PER 4 PROVIDED SEATS  
 80 SEATS / 4 = 20 REQ. CARS  
 SPACES PROVIDED 42 SPACES.  
 FAR = .07  
 OCCUPANT LOAD: 2,763 / 15 = 185  
 SHOPS 2: 10,500 SF. BUILDING.  
 LOT SIZE = 47,747 SF OR 1.05 AC.  
 10,500 SF / 200 = 53 SPACES.  
 SPACES PROVIDED 53 SPACES.  
 FAR = .22  
 OCCUPANT LOAD: 10,500 / 30 = 350  
**FLOOR AREA RATIO**  
 BUILDING SQUARE FOOTAGE MAY BE HIGHER, BUT SHALL NOT EXCEED 10,000 SQ/FT PER GROSS ACRE IN ACCORDANCE WITH THE MAY 31, 1998 AGREEMENT WITH COA  
 TOTAL BUILDING AREA = 68,318 SQ/FT + 3,835 SF = 72,153 SF  
 TOTAL LOT AREA = 387,832 SQ/FT  
 TOTAL FAR = .17  
**PARKING NOTES:**  
 TYPICAL STANDARD SPACES ARE 8'-6" X 20'-0" H.C. SPACE 8'-6" X 20'  
 SMALL CARS SPACES ARE 8'-0" X 10'-0"  
 \* ALL SPACES ARE STANDARD SIZE UNLESS OTHERWISE NOTED \*  
 20 BICYCLE SPACES.  
 10 MOTORCYCLE SPACES.  
 TOTAL STANDARD PARKING SPACES PROVIDED 318 SPACES + 6 = 322 PROVIDED PARKING SPACES  
 TOTAL SMALL CARS PARKING SPACES PROVIDED 23 SPACES  
 TOTAL NET PARKING SPACES PROVIDED (INCLUDES 8 VAN SPACES) 27 SPACES + 2 = 29 H.C. PAR  
 TOTAL PROVIDED 389 SPACES TOTAL PROVIDED 317 SPACES  
 TOTAL REQUIRED SPACES = 324 SPACES  
 TOTAL PROVIDED SPACES = 347 SPACES

PAD 1: 2,005 SF. BUILDING  
 LOT SIZE = 31,265 SF OR 7.18 AC  
 80 SEATS / 4 = 20 REQ. CARS  
 SPACES PROVIDED = 31 SPACES  
 39 PARKING SPACES PROVIDED



7 VICINITY PLAN

SCALE: 1" = 1,000'  
0 1000' 2000'

RADIUS INFORMATION:

- ① RADIUS = 2'-0"
- ② RADIUS = 3'-0"
- ③ RADIUS = 5'-0"
- ④ RADIUS = 10'-0"
- ⑤ RADIUS = 15'-0"
- ⑥ RADIUS = 20'-0"
- ⑦ RADIUS = 25'-0"
- ⑧ RADIUS = 35'-0"
- ⑨ RADIUS = 40'-0"
- ⑩ RADIUS = 50'-0"
- ⑪ RADIUS = 60'-0"
- ⑫ RADIUS = 100'-0"

KEYED NOTES

1. Pylon SIGN.
2. 6'-0" RAISED/TEXTURED PEDESTRIAN CROSSWALK.
3. GATED REFUSE ENCLOSURE-PAINTED STUCCO TO MATCH BUILDING WITH SOLID GATES.
4. 6'-0"X6'-0" TREE PLANTERS.
5. BIKE RACK PER C.O.A. STANDARDS.
6. 2'-6" GARDEN WALL.
7. CONCRETE OUT DOOR PATIO AREA.
8. ASPHALT TRAIL.
9. DOCK METAL.
10. LANDSCAPE AREA.

LEGEND

- EXISTING.
- LIGHT POST.
- F.H.

TRACTS G FOR SUBDIVISION  
LEGAL DESCRIPTION

TRACTS G AT VENTANA SQUARE  
 CURRENT ZONING  
 C-2 TO SU-1 FOR C-2  
 TOTAL ACREAGE  
 12.68 ACRES (TOTAL GROSS), TO INCLUDE G-1, G-2, G-3, G-4, G-5 AND G-6  
**PEDESTRIAN AND VEHICULAR CIRCULATION**

See sheet A1.1 for pedestrian and vehicular connections to the surrounding Ventana Ranch road and trail system.

INTERNAL CIRCULATION

See sheet A1.2 for internal circulation

BUILDING HEIGHTS AND SETBACKS

The maximum height of buildings within tract G shall be 35'-0" See plan A-1.1 for additional restrictions Setbacks are shown on sheet A1.2.

FLOOR AREA RATIOS

The overall FAR for tract G shall not exceed 10,000sq/ft per gross acre in accordance with the May 31, 1998 agreement with the City of Albuquerque

LANDSCAPE

See sheet L1 and L2

ADMINISTRATIVE AMENDMENT

File # 01A-0016 Project # 100 2346  
 Tract G-2-C: ±5840 sq. ft.  
 retail building.  
 APPROVED BY [Signature] DATE 10 Aug 09

PROJECT NUMBER: 100 2346  
 APPLICATION NUMBER: 05 DRB-01830

This plan is consistent with the specific site development plan approved by the Environmental Planning Commission (EPC) on [ ] and the findings and conditions in the Official Notification of Decision are satisfied.  
 Is an Infrastructure List required? ( ) YES (X) NO If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRG SITE DEVELOPMENT PLAN SIGNOFF APPROVAL

<u>[Signature]</u> Traffic Engineering/Transportation Division	Date
<u>[Signature]</u> Water Utility Department	12-20-05
<u>[Signature]</u> Parks and Recreation Department	12/14/05
<u>[Signature]</u> City Engineer	12/14/05
<u>[Signature]</u> Environmental Health Department	Date
<u>[Signature]</u> Solid Waste Management	Date
<u>[Signature]</u> DRG Chairperson, Planning Department	12/14/05

\* Environmental Health, if necessary

REV	DATE	BY	REVISION
1			
2			
3			
4			
5			

GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.  
 2325 SAN PEDRO NE SUITE 2-B  
 ALBUQUERQUE, NEW MEXICO 87110  
 PHONE (505) 884-9110 FAX (505) 837-9877

PROJECT TITLE  
 VENTANA SQUARE,  
 (NEO) UNIVERSE & PARADISE  
 ALBUQUERQUE, NEW MEXICO

PROJECT NUMBER  
 100 2346  
 SHEET TITLE  
 SITE PLAN, SUBDIVISION.

DATE  
 07/23/05  
 SCALE  
 1"=50'

100 2346 100 2346 100 2346

EXISTING COUNTRYHILLS SUBDIVISION  
ZONING R-LT TRACT 7A

TRACT F-1  
Zoning R-LT

FUTURE CITY  
COMMUNITY PARK

Natural Basalt and Soil Cement Drainage Conveyance

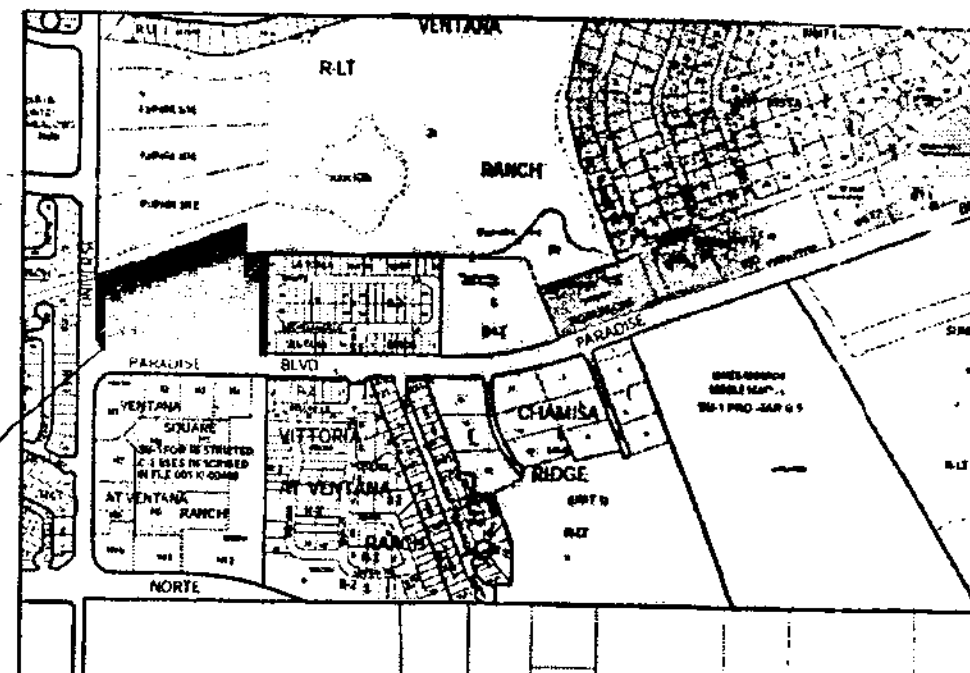
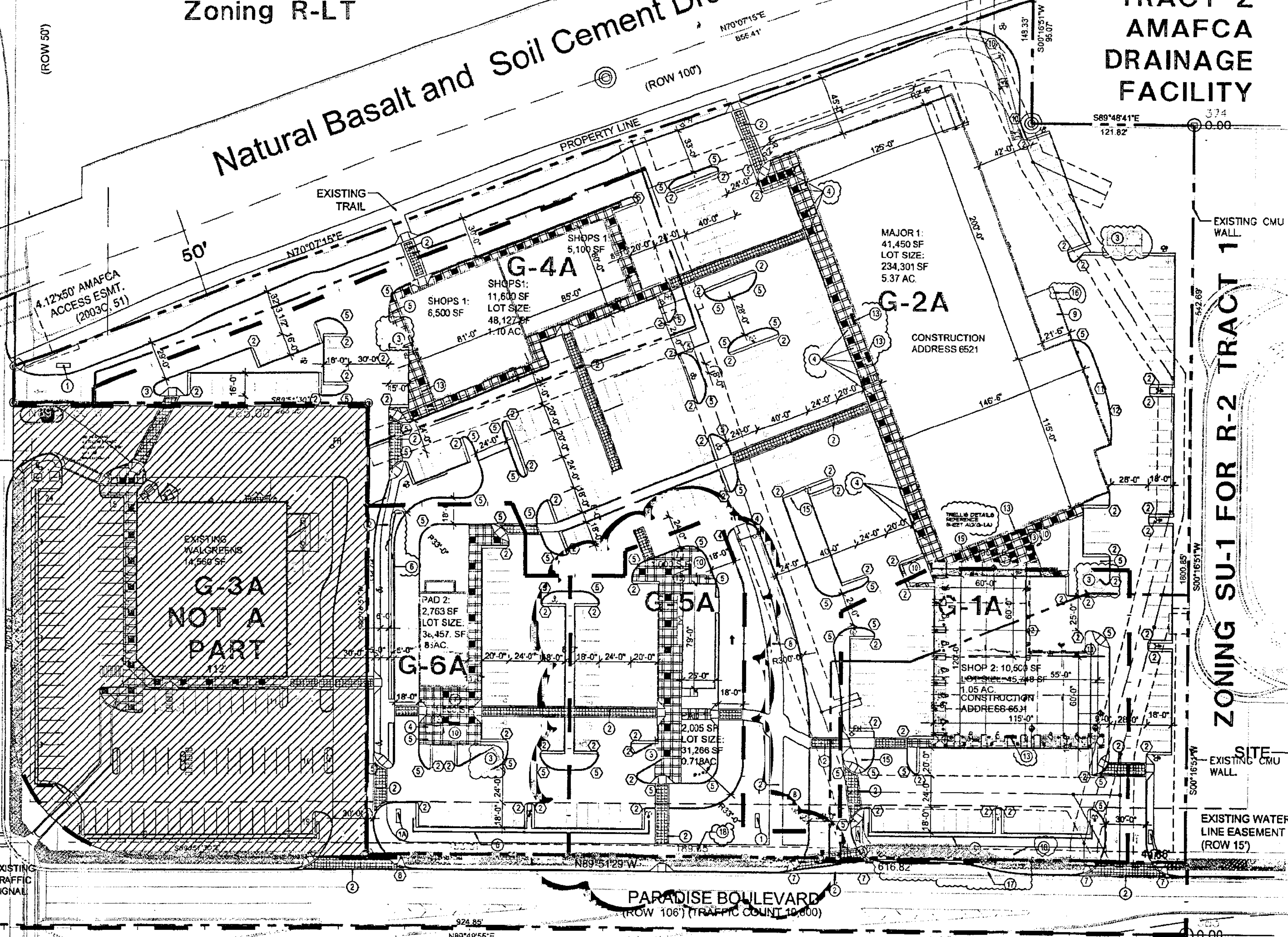
TRACT Z  
AMAFCA  
DRAINAGE  
FACILITY

LEGEND  
EXISTING.  
LIGHT POST.  
F.H.

**BUILDING AREA & PARKING CALCULATIONS**  
 MAJOR 1: 41,450 SF. BUILDING.  
 LOT SIZE = 234,301 SF OR 5.38 AC.  
 41,450 SF / 1 SPACE PER 200 SF FOR THE FIRST  
 15,000 SF OF NET LEASABLE AREA; 75 CARS,  
 1 SPACE PER 250 SF FOR THE NEXT 26,450 SF  
 OF NET LEASABLE AREA; 106 CARS  
 = 181 CARS  
 SPACES PROVIDED 181 SPACES.  
 FAR = .17  
 OCCUPANT LOAD: 41,450 / 30 = 1,382  
 SHOPS 1: 11,600 SF. BUILDING.  
 LOT SIZE = 48,127 SF OR 1.10 AC.  
 11,600 SF / 200 = 58 SPACES.  
 SPACES PROVIDED 58 SPACES.  
 FAR = .24  
 OCCUPANT LOAD: 11,600 / 30 = 387  
 PAD 1: 2,005 SF. BUILDING.  
 LOT SIZE = 31,266 SF OR 7.18 AC.  
 1 CAR PER 4 PROVIDED SEATS  
 48 SEATS / 4 = 12 REQ. CARS.  
 SPACES PROVIDED 31 SPACES.  
 FAR = .06  
 OCCUPANT LOAD: 2,005 / 15 = 134  
 PAD 2: 2,763 SF. BUILDING.  
 LOT SIZE = 34,457 SF OR 7.88 AC.  
 1 CAR PER 4 PROVIDED SEATS  
 80 SEATS / 4 = 20 REQ. CARS.  
 SPACES PROVIDED 42 SPACES.  
 FAR = .07  
 OCCUPANT LOAD: 2,763 / 15 = 185  
 SHOPS 2: 10,500 SF. BUILDING.  
 LOT SIZE = 47,748 SF OR 1.05 AC.  
 10,500 SF / 200 = 53 SPACES.  
 SPACES PROVIDED 57 SPACES.  
 FAR = .12  
 OCCUPANT LOAD: 10,500 / 30 = 350  
**FLOOR AREA RATIO**  
 BUILDING SQUARE FOOTAGE MAY BE HIGHER, BUT SHALL NOT EXCEED 10,000  
 SQ/FT PER GROSS ACRE IN ACCORDANCE WITH THE MAY 31, 1998 AGREEMENT  
 TOTAL BLDG. AREA = 69,818 SQ. FT. + 3,835 S.F. = 73,653 S.F.  
 TOTAL LOT AREA = 237,832 SQ/FT  
 TOTAL FAR = .31  
**PARKING NOTES:**  
 TYPICAL STANDARD SPACES ARE 8'-0" X 20'-0" H.C. SPACE 8'-0" X 20'-0"  
 SMALL CARS SPACES ARE 8'-0" X 18'-0"  
 ALL SPACES ARE STANDARD SIZE UNLESS OTHERWISE NOTED.  
 10 BICYCLE SPACES.  
 10 MOTORCYCLE SPACES.  
 TOTAL STANDARD PARKING SPACES PROVIDED 318 SPACES + 3 = 322 PROVIDED PARKING SPACES  
 TOTAL SMALL CARS PARKING SPACES PROVIDED 23 SPACES  
 TOTAL H.C. PARKING SPACES PROVIDED (INCLUDING 10 BICYCLE SPACES) 27 SPACES + 2 = 29 PROVIDED  
 TOTAL PROVIDED SPACES TOTAL SPACES PROVIDED 374  
 TOTAL REQUIRED SPACES = 334 SPACES  
 TOTAL PROVIDED SPACES = 374 SPACES

**TRACTS G FOR SUBDIVISION**  
**LEGAL DESCRIPTION**  
 TRACTS G AT VENTANA SQUARE  
 CURRENT ZONING  
 C-2 TO SU-1 FOR C-2  
 TOTAL ACREAGE  
 12.68 ACRES (TOTAL GROSS). TO INCLUDE G-1, G-2, G-3,  
 G-4, G-5 AND G-6  
**PEDESTRIAN AND VEHICULAR**  
**CIRCULATION**  
 See sheet A.1.1 for pedestrian and vehicular connections to the surrounding  
 Ventana Ranch road and trail system.  
**INTERNAL CIRCULATION**  
 See sheet A1.2 for internal circulation  
**BUILDING HEIGHTS AND SETBACKS**  
 The maximum height of buildings within tract G shall be 35'-0" See plan A-1.1 for  
 additional restrictions. Setbacks are shown on sheet A1.2.  
**FLOOR AREA RATIOS**  
 The overall FAR for tract G shall not exceed 10,000sq/ft per gross acre in  
 accordance with the May 31, 1998 agreement with the City of Albuquerque  
**LANDSCAPE**  
 See sheet L1 and L2

REV	DATE	BY	REVISION
1			
2			
3			
4			
5			



7 VICINITY PLAN  
SCALE: 1" = 1,000'

1 SITE PLAN  
Scale: 1" = 50'-0"  
50' 0' 50' 100'  
scale feet

WE ARE REQUESTING TO  
INCREASE THE SQUARE FOOTAGE  
FROM 2,005 S.F. TO 7,840 S.F.  
SU-1 FOR C2 PURPOSES

- RADIUS INFORMATION:**
- ① RADIUS = 2'-0"
  - ② RADIUS = 3'-0"
  - ③ RADIUS = 5'-0"
  - ④ RADIUS = 10'-0"
  - ⑤ RADIUS = 15'-0"
  - ⑥ RADIUS = 20'-0"
  - ⑦ RADIUS = 25'-0"
  - ⑧ RADIUS = 35'-0"
  - ⑨ RADIUS = 40'-0"
  - ⑩ RADIUS = 50'-0"
  - ⑪ RADIUS = 60'-0"
  - ⑫ RADIUS = 100'-0"

- KEYED NOTES**
1. PYLON SIGN.
  2. 6'-0" RAISED/TEXTURED PEDESTRIAN CROSSWALK.
  3. GATED REFUSE ENCLOSURE-PAINTED STUCCO TO MATCH BUILDING WITH SOLID GATES.
  4. 6'-0" X 6'-0" TREE PLANTERS.
  5. BIKE RACK PER C.O.A. STANDARDS.
  6. 2'-8" GARDEN WALL.
  7. CONCRETE OUT DOOR PATIO AREA.
  8. ASPHALT TRAIL.
  9. DOCK METAL.
  10. LANDSCAPE AREA.

LEGEND  
EXISTING.  
LIGHT POST.  
F.H.

PROJECT NUMBER: 1002346  
 APPLICATION NUMBER: 05 DRB-01430

This plan is consistent with the specific site development plan approved by the  
 Environmental Planning Commission (EPC) on \_\_\_\_\_ and the  
 findings and conditions in the Official Resolution of Decision are satisfied  
 in an Infrastructure List requirement: ( ) YES (X) NO if yes, then a set of  
 approved DRD items with a work order is required for any construction within  
 Public Right-of-Way or for construction of public improvements

**DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL**

<i>William G. Daler</i> Traffic Engineering, Transportation Division Date: 12-20-05	<i>Christina Sandora</i> Public and Recreation Department Date: 12/14/05
<i>Bradley G. G...</i> City Engineer Date: 12/14/05	<i>N/A</i> Environmental Health Department Date:
<i>N/A</i> Public Works Department Date:	<i>N/A</i> DRB Chairperson, Planning Department Date: 12/14/05

= Environmental Health, if necessary

10531 Paradise Blvd NW

PROJECT TITLE  
VENTANA SQUARE.  
DRB UNIMORSE BLVD PARADISE  
ALBUQUERQUE, NEW MEXICO

PROJECT MANAGER  
GEORGE RAINHART

DRAWN BY  
APZ

JOB NO.  
882

SHEET TITLE  
SITE PLAN, SUBDIVISION.

DATE:  
072305

SCALE:  
1"=50'

Sheet:  
A1.2

GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.  
 2325 SAN PEDRO NE., SUITE 2-B  
 ALBUQUERQUE, NEW MEXICO 87110  
 PHONE (505) 884-9110 FAX (505) 837-9877

97433001

FUTURE CITY COMMUNITY PARK

TRACT F-I  
Zoning R-LT

Natural Basalt and Soil Cement Drainage Conveyance

TRACT Z  
AMAFCA  
DRAINAGE  
FACILITY

LEGEND

- EXISTING.
- LIGHT POST.
- F.H.

**BUILDING AREA & PARKING CALCULATIONS**  
 MAJOR 1: 41,450 SF. BUILDING.  
 LOT SIZE = 234,301 SF OR 5.38 AC.  
 41,450 SF / 1 SPACE PER 200 SF FOR THE FIRST 15,000 SF OF NET LEASABLE AREA; 75 CARS, 1 SPACE PER 250 SF FOR THE NEXT 26,450 SF OF NET LEASABLE AREA; 106 CARS  
 = 181 CARS  
 SPACES PROVIDED 181 SPACES.  
 FAR = .17  
 OCCUPANT LOAD: 41,450 / 30 = 1,382

SHOPS 1: 11,600 SF. BUILDING.  
 LOT SIZE = 48,127 SF OR 1.10 AC.  
 11,600 SF / 200 = 58 SPACES.  
 SPACES PROVIDED 58 SPACES.  
 FAR = .24  
 OCCUPANT LOAD: 11,600 / 30 = 387

PAD 1: 2,005 SF. BUILDING.  
 LOT SIZE = 31,268 SF OR 7.18 AC.  
 1 CAR PER 4 PROVIDED SEATS  
 48 SEATS / 4 = 12 REG. CARS.  
 SPACES PROVIDED 31 SPACES.  
 FAR = .06

OCCUPANT LOAD: 2,005 / 15 = 134  
 PAD 2: 2,763 SF. BUILDING.  
 LOT SIZE = 38,457 SF OR 88 AC.  
 1 CAR PER 4 PROVIDED SEATS  
 80 SEATS / 4 = 20 REG. CARS.  
 SPACES PROVIDED 42 SPACES.  
 FAR = .07

OCCUPANT LOAD: 2,763 / 15 = 184  
 SHOPS 2: 10,500 SF. BUILDING.  
 LOT SIZE = 47,748 SF OR 1.05 AC.  
 10,500 SF / 200 = 53 SPACES.  
 SPACES PROVIDED 57 SPACES.  
 FAR = .22  
 OCCUPANT LOAD: 10,500 / 30 = 350

**FLOOR AREA RATIOS**  
 BUILDING SQUARE FOOTAGE MAY BE HIGHER, BUT SHALL NOT EXCEED 10,000 SQ/FT PER GROSS ACRE IN ACCORDANCE WITH THE MAY 31, 1998 AGREEMENT WITH C.O.A.  
 TOTAL BUILDING AREA = 68,378 SQ/FT + 3,825 SF = 72,203 SF  
 TOTAL LOT AREA = 397,832 SQ/FT  
 TOTAL FAR = .17

**PARKING NOTES:**  
 TYPICAL STANDARD SPACES ARE 8'-0" X 20'-0" H.C. SPACE 8'-6" X 20'-0"  
 SMALL CARS SPACES ARE 8'-0" X 18'-0"  
 \* ALL SPACES ARE STANDARD SIZE UNLESS OTHERWISE NOTED \*  
 25 BICYCLE SPACES.  
 10 MOTORCYCLE SPACES.

TOTAL STANDARD PARKING SPACES PROVIDED 318 SPACES + 3 = 321 PROVIDED PARKING SPACES  
 TOTAL SMALL CARS PARKING SPACES PROVIDED 23 SPACES  
 TOTAL H.C. PARKING SPACES PROVIDED (INCLUDES 5 MIN SPACES) 27 SPACES + 2 = 29 H.C. PARKING SPACES  
 TOTAL PROVIDED 368 SPACES TOTAL PROVIDED 274 SPACES  
 TOTAL REQUIRED SPACES = 324 SPACES  
 TOTAL PROVIDED SPACES = 347 SPACES

TRACTS G FOR SUBDIVISION

LEGAL DESCRIPTION

TRACTS G AT VENTANA SQUARE

CURRENT ZONING

C-2 TO SU-1 FOR C-2

TOTAL ACREAGE

12.68 ACRES (TOTAL GROSS). TO INCLUDE G-1, G-2, G-3, G-4, G-5 AND G-6

PEDESTRIAN AND VEHICULAR CIRCULATION

See sheet A1.1 for pedestrian and vehicular connections to the surrounding Ventana Ranch road and trail system.

INTERNAL CIRCULATION

See sheet A1.2 for internal circulation

BUILDING HEIGHTS AND SETBACKS

The maximum height of buildings within tract G shall be 35'-0" See plan A-1.1 for additional restrictions Setbacks are shown on sheet A1.2.

FLOOR AREA RATIOS

The overall FAR for tract G shall not exceed 10,000sq/ft per gross acre in accordance with the May 31, 1998 agreement with the City of Albuquerque

LANDSCAPE

See sheet L1 and L2

REV	DATE	BY	REVISION
1			
2			
3			
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GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.  
 2325 SAN PEDRO NE., SUITE 2-B  
 ALBUQUERQUE, NEW MEXICO 87110  
 PHONE (505) 884-9110 FAX (505) 837-9877

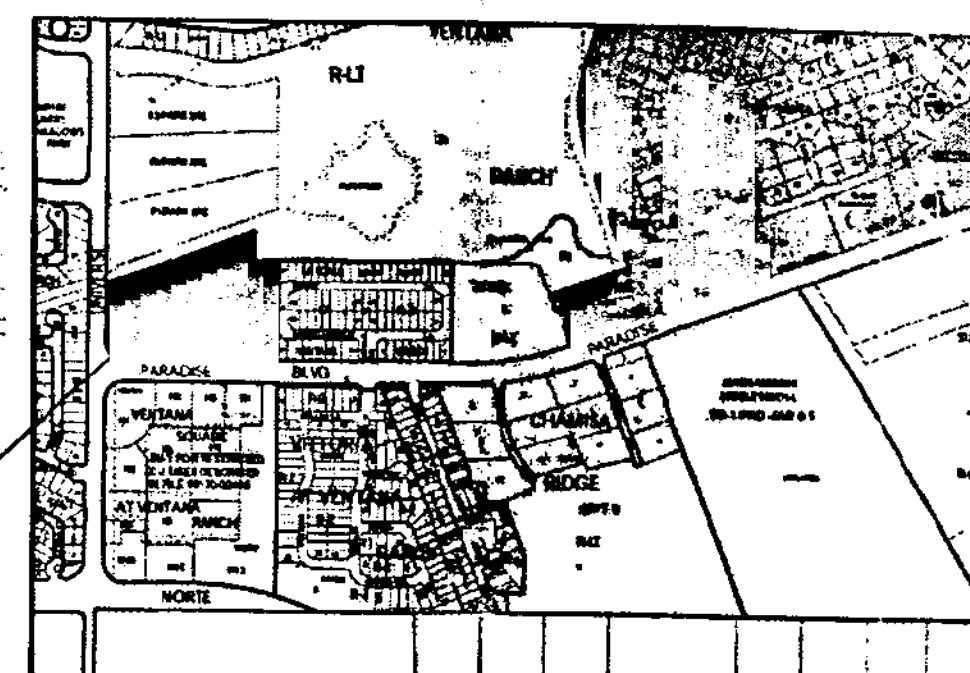
EXISTING COUNTRYHILLS SUBDIVISION  
 ZONING R-LT TRACT 7A

UNIVERSE BOULEVARD  
 (ROW 88) (TRAFFIC COUNT 9,000)

ZONING SU-1 FOR R-2 TRACT 1  
 ZONING SU-1 FOR C2 PURPOSES

EXISTING CMU WALL

EXISTING WATER LINE EASEMENT (ROW 15)



7 VICINITY PLAN  
 SCALE: 1" = 1,000'

- RADIUS INFORMATION:**
- ① RADIUS = 2'-0"
  - ② RADIUS = 3'-0"
  - ③ RADIUS = 5'-0"
  - ④ RADIUS = 10'-0"
  - ⑤ RADIUS = 15'-0"
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  - ⑨ RADIUS = 40'-0"
  - ⑩ RADIUS = 50'-0"
  - ⑪ RADIUS = 60'-0"
  - ⑫ RADIUS = 100'-0"

- KEYED NOTES**
1. PYLON SIGN.
  2. 6'-0" RAISED/TEXTURED PEDESTRIAN CROSSWALK.
  3. GATED REFUSE ENCLOSURE-PAINTED STUCCO TO MATCH BUILDING WITH SOLID GATES.
  4. 6'-0"X6'-0" TREE PLANTERS.
  5. BIKE RACK PER C.O.A. STANDARDS.
  6. 2'-6" GARDEN WALL.
  7. CONCRETE OUT DOOR PATIO AREA.
  8. ASPHALT TRAIL.
  9. DOCK METAL.
  10. LANDSCAPE AREA.

- LEGEND**
- EXISTING.
  - LIGHT POST.
  - F.H.

**ADMINISTRATIVE AMENDMENT**  
 File # 1002346 Project # 1002346  
 Tract G-2-C: 5840 sq. ft.  
 retail building.  
 Approved by: [Signature] DATE: 10 Aug 09

PROJECT NUMBER: 1002346  
 APPLICATION NUMBER: 05 DRB-01930

This plan is consistent with the specific site development plan approved by the Environmental Planning Commission (EPC) on [Date] and the findings and conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? ( ) YES (X) NO If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

**DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL**

Transportation Division	[Signature]	Date	12-20-05
Water Utility Department	[Signature]	Date	12/14/05
Parks and Recreation Department	[Signature]	Date	12/14/05
City Engineer	[Signature]	Date	
Environmental Health Department	[Signature]	Date	
Public Works Management	[Signature]	Date	12/14/05
DRB Chairperson, Planning Department	[Signature]	Date	

= Environmental Health, if necessary

PROJECT TITLE: VENTANA SQUARE.  
 (NEO UNIVERSE & PARADISE ALBUQUERQUE, NEW MEXICO)

PROJECT NUMBER: 1002346  
 SHEET NUMBER: A1.2

DATE: 07/20/05  
 SCALE: 1"=50'

1002346

1 SITE PLAN  
 Scale: 1" = 50'-0"  
 0 50 100 feet

SU-1 FOR C2 PURPOSES

