

# ADMINISTRATIVE AMENDMENT

FILE #: \_\_\_\_\_ PROJECT #: \_\_\_\_\_

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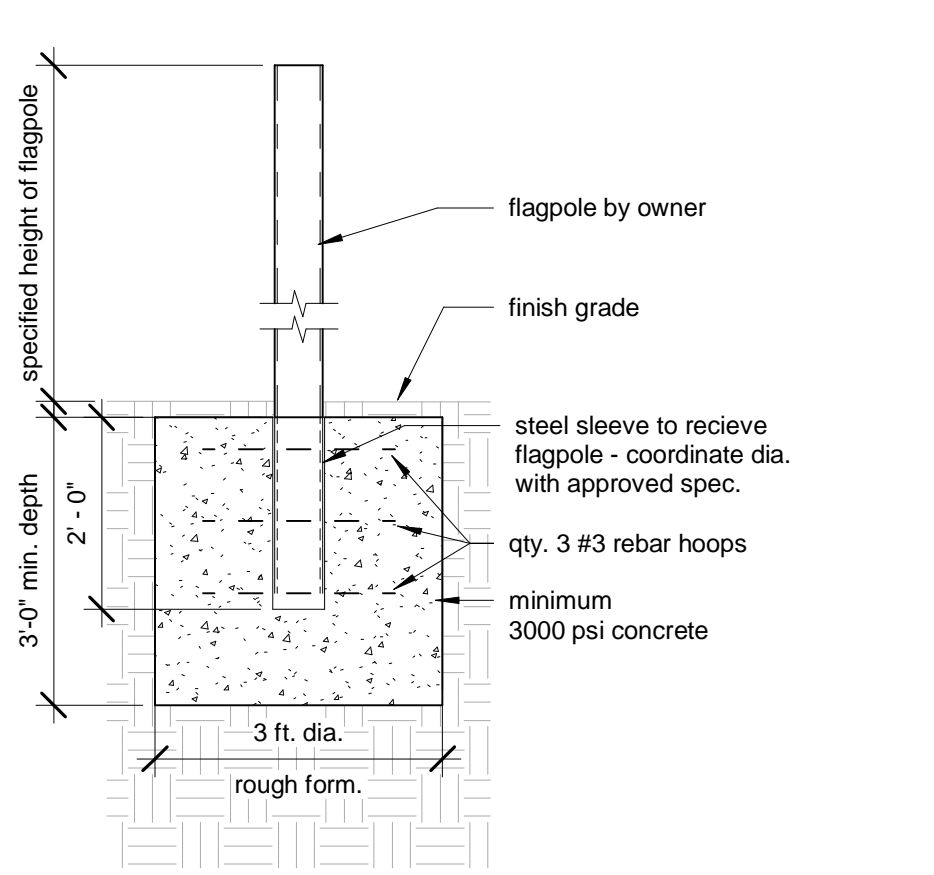
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**APPROVED BY**

\_\_\_\_\_  
**DATE**

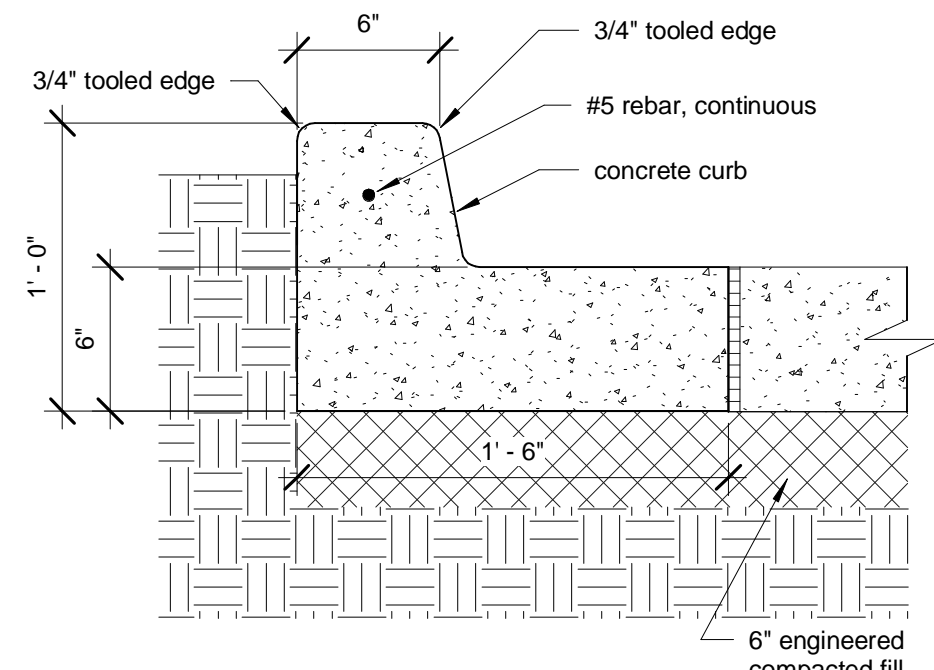
**Keyed Notes: #**

1. Existing concrete driveway.
2. Existing 2'-6" high cast-in-place concrete drainage wall.
3. Buffer landscaping.
4. New water meter.
5. New sidewalk, see Civil grading and drainage.
6. Replace existing curb.
7. Clear sight triangle.
8. New 6' wide stamped concrete walk (accessible route to public way). 11 / T.2
9. New concrete drive apron and curb cut.
10. Landscaping.
11. 5-ft diameter outdoor table, benches and umbrella.
12. Concrete paving, 5 1/2" thick, 4,000 psi with #3 rebar at 18" OC each way, 6% air entrainment.
13. 42" high steel pipe guardrail (painted charcoal).
14. Monument sign, see detail 11 / A4.1
15. 4" thick concrete sidewalk, 4,000 psi, 6% air entrainment.
16. Steel fence (painted charcoal).
17. Steel swing gates (painted charcoal), 24' opening.
18. 3'-2" wide x 6'-6" high steel man gate (painted charcoal).
19. Existing chainlink fence on property line to be removed.
20. Proposed new fire hydrant.
21. 6" bollard x 4' tall (painted charcoal color). 4 / A1.0
22. Post indicator valve (PIV).
23. Pavement markings.
24. Fire riser.
25. Fire department connection (FDC).
26. USPS mail box.
27. 5 1/2" high sidewalk curb.
28. Existing power poles (6 total) and associated guy wires.
29. Refuse container concrete pad, apron and bollards.
30. Scupper, 8" x 8"
31. 7-ft. high concrete block wall (replaces existing 6' high chainlink fence). 2 / A1.0
32. Existing concrete retaining wall.
33. Existing concrete drainage channel.
34. Concrete truck ramp, 5 1/2" thick with #3 rebar at 18" OC each way, 6% air entrainment.
35. Flag pole and foundation, see detail 5 / A1.0
36. 6' long bench.
37. Van accessible parking space, see detail 5 / A4.1
38. HC accessible parking space, see detail 1 / A4.1
39. Align building parallel with east property line.
40. Knox box.
41. Ingress / egress location, 26' wide drive aisle.
42. Pole light, 25' tall pole.
43. Wall pack light, mounted at 28' AFF.
44. Recessed can light fixture in soffit.
45. Ground-mounted light for monument sign.
46. Rooftop HVAC units, see Mechanical.
47. Crushed aggregate driving surface 6" thick.
48. Loading space, 12' x 65' per IDO requirements.
49. Motorcycle parking spaces (qty. 3).
50. Roof access ladder, see detail 12 / A4.1
51. PNM transformer on concrete pad.
52. 6' long pre-cast concrete parking stop, centered in parking space, set 24" from sidewalk edge, curb or property line.
53. Parking spaces delineated by painted markings on concrete block wall, 4" wide x 48" tall painted stripe.
54. Concrete curb and gutter.
55. Bicycle parking rack, see detail 6 / A4.1
56. Motorcycle parking sign, see detail 2 / A4.1
57. Concrete sidewalk ramp; detectable warning where detailed.
58. 10' x 10' x 4" thick concrete pad (4,000 psi with #3 rebar at 18" OC, each way, 6% air entrained).
59. Retention pond and channel rundown, see grading and drainage plan.
60. Premise ID on building wall, see north elevation.
61. Electrical metering equipment. Concrete pad measuring 17'-0" x 3'-6". Top of pad elevation to 3'-6" below finish floor of Warehouse.
62. 7'-0" high wrought iron fencing 10' / A1.0
63. Part of 7'-0" wide x 7'-0" high wrought iron gates with accessible hsp for padlock added and keyed by AMAFCA. 10 / A1.0
64. 4" x 6" steel embed plates with 2'-4" Nelson studs per plate.

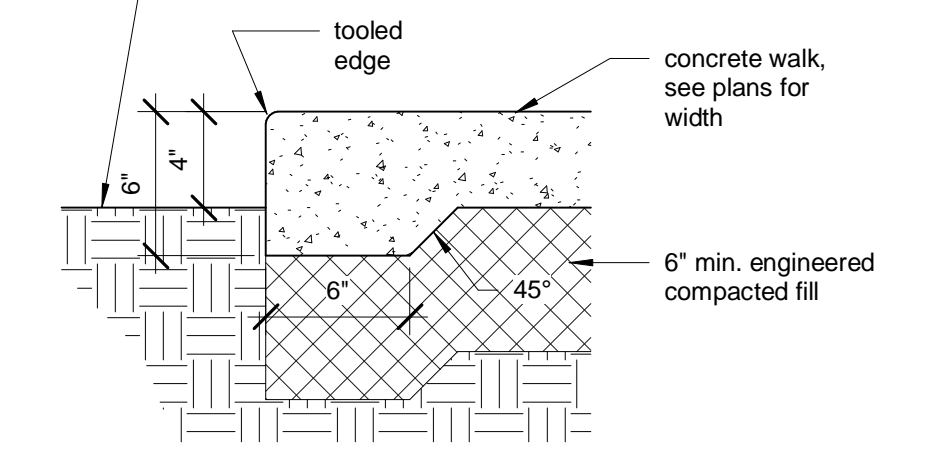


**5 A1.0 - FLAG POLE FOUNDATION**  
1/2" = 1'-0"

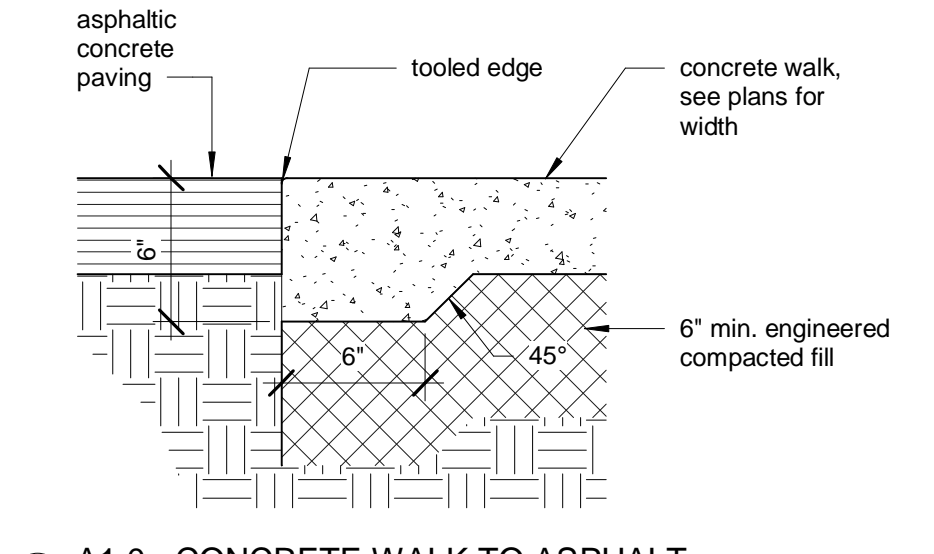
- GENERAL NOTES:**
1. Edges not specifically dimensioned shall be edged with a 3/8" edging tool
  2. Requires full form on all faces
  3. Construction control joints at 6'-0" o.c. maximum
  4. 1/2" expansion joints at 8'-0" o.c. at curb returns and at each side of drives
  5. Conform to CABQ standard C&G detail 2415A



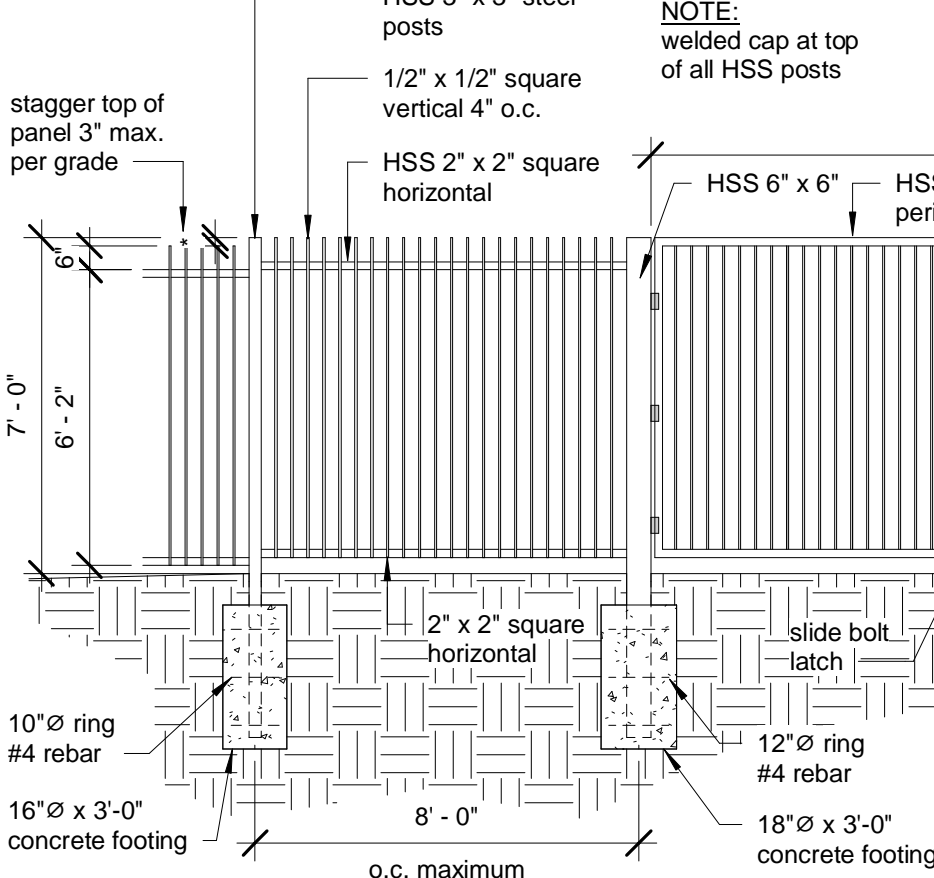
**6 A1.0 - CONCRETE CURB & GUTTER**  
1 1/2" = 1'-0"



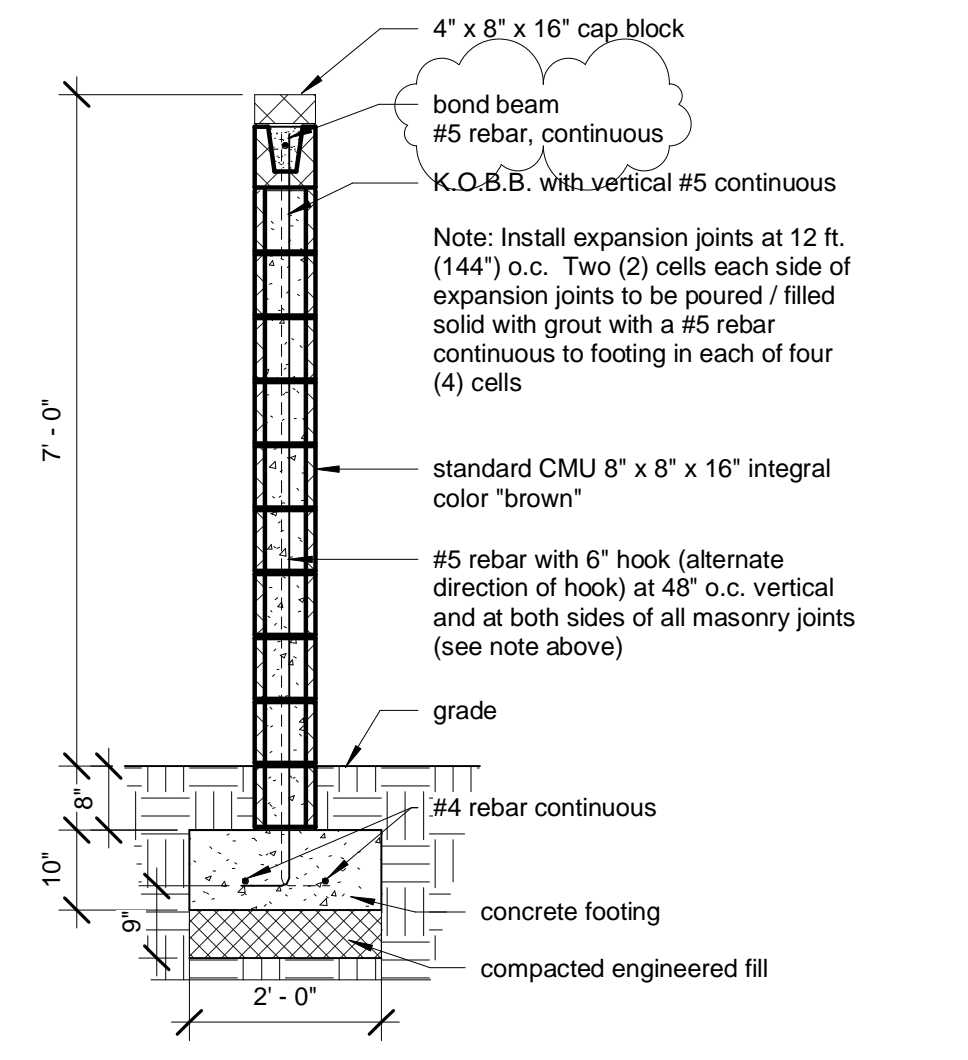
**7 A1.0 - CONCRETE SIDEWALK**  
1 1/2" = 1'-0"



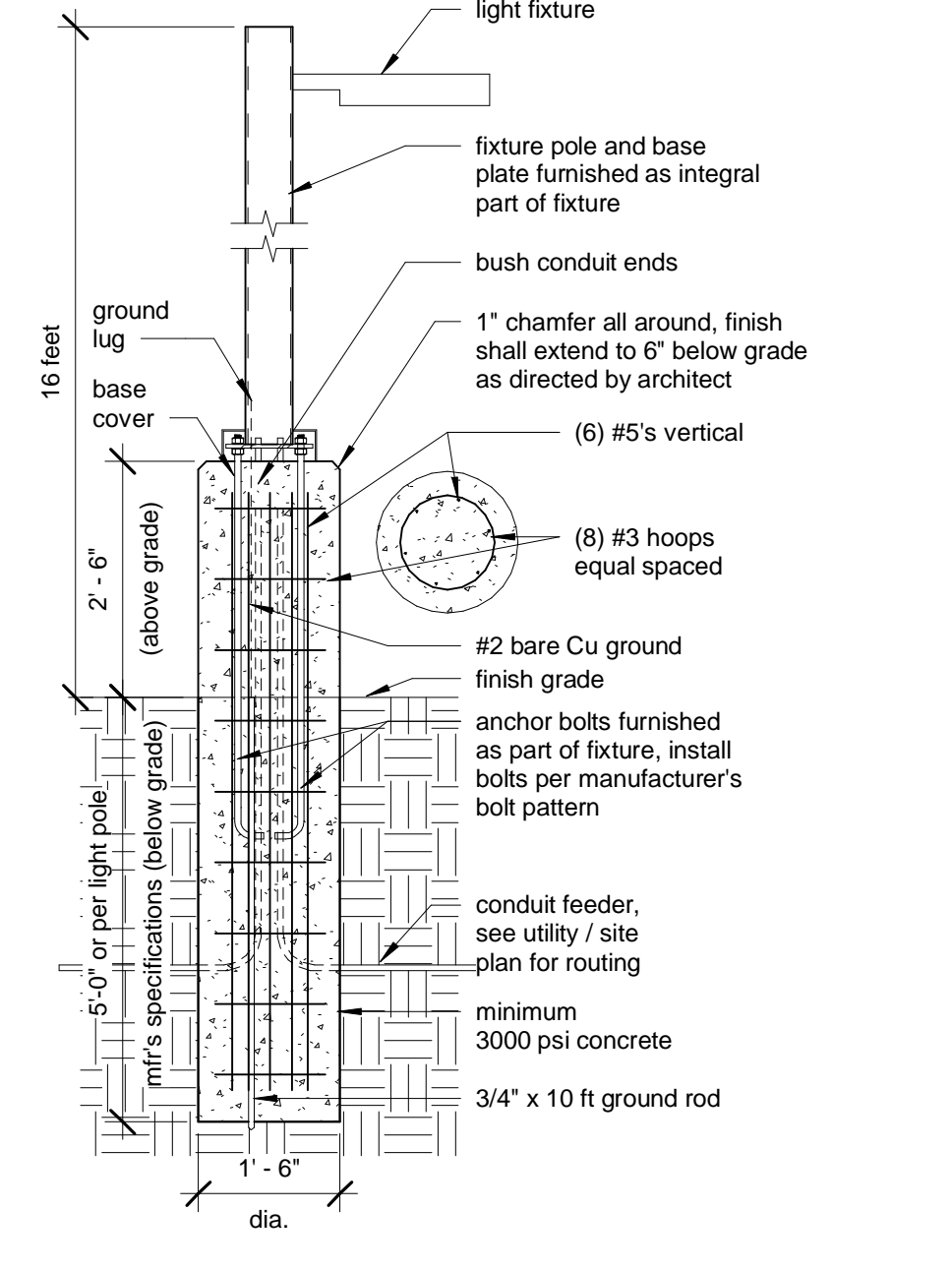
**9 A1.0 - CONCRETE WALK TO ASPHALT**  
1 1/2" = 1'-0"



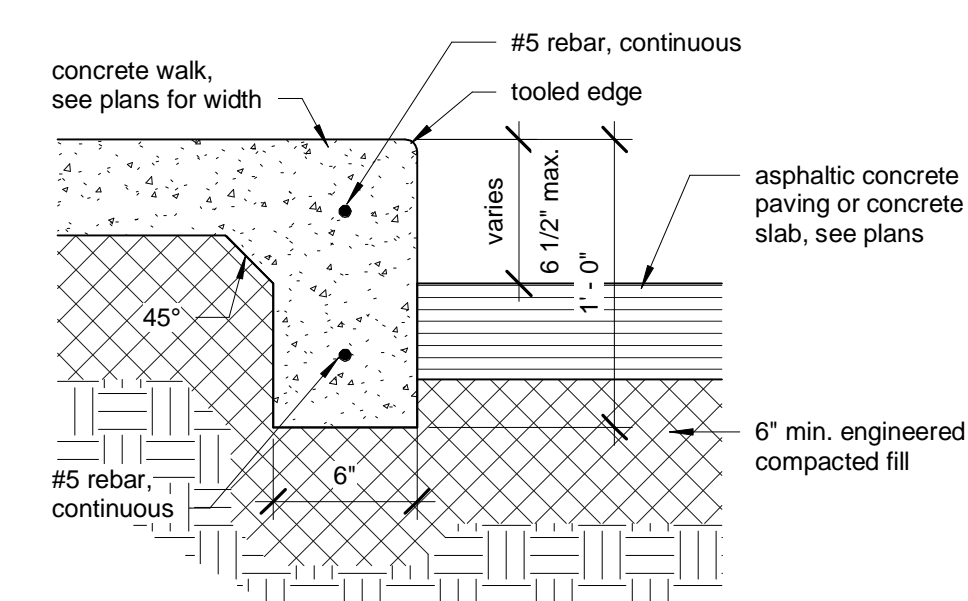
**10 A1.0 - WROUGHT IRON FENCE & GATE**  
1/4" = 1'-0"



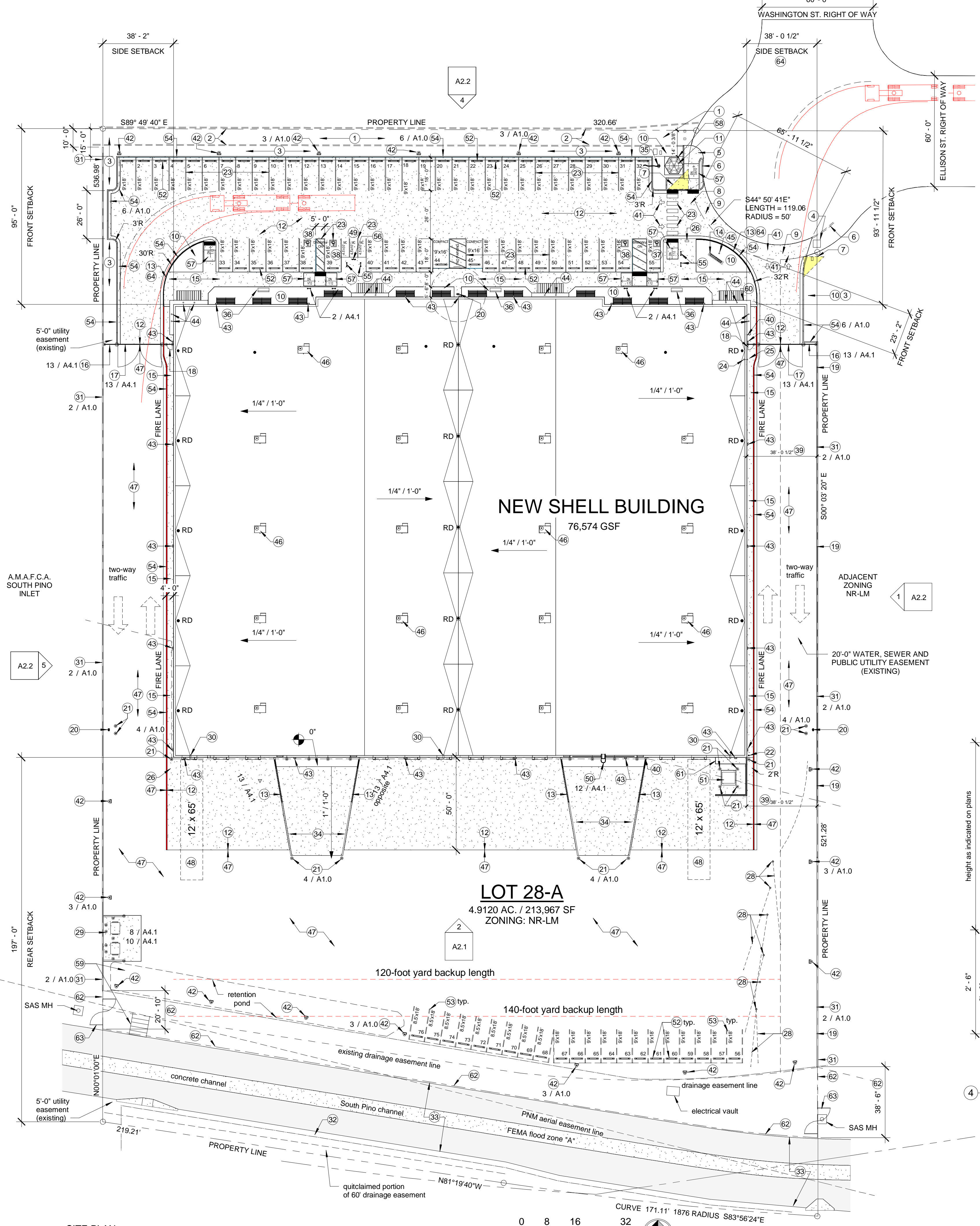
**2 A1.0 - CMU BLOCK WALL**  
1/2" = 1'-0"



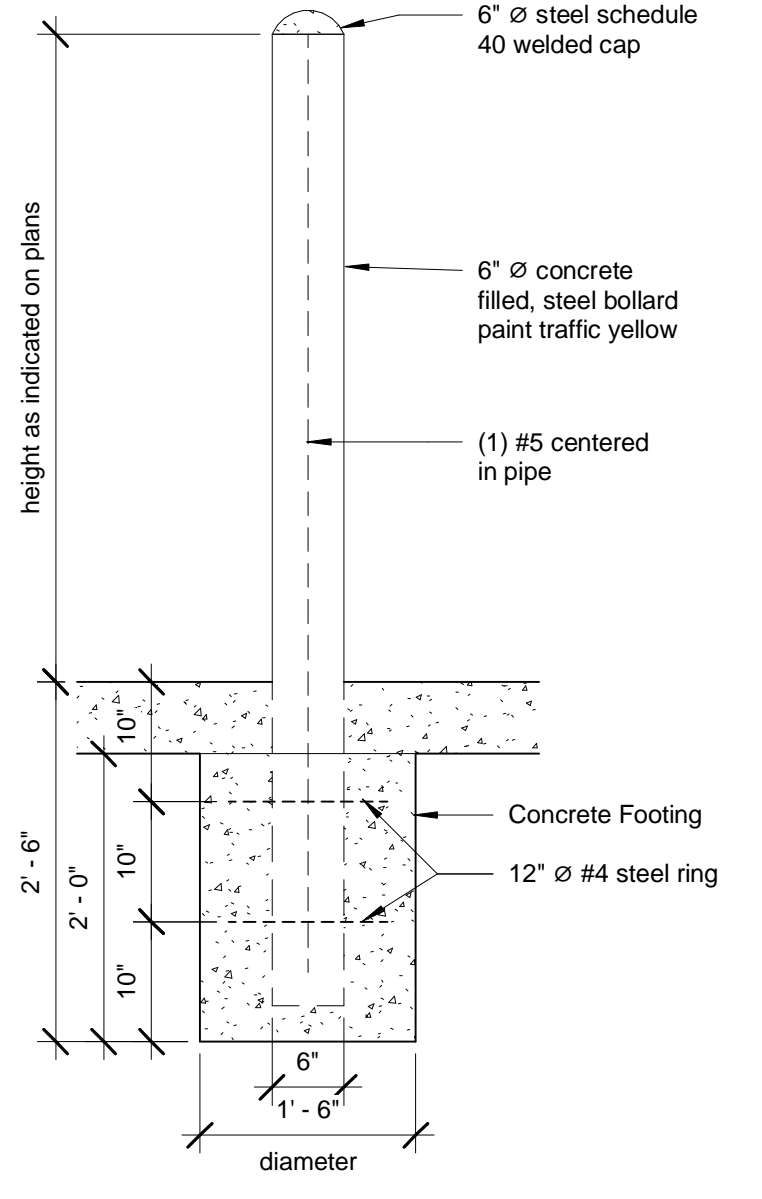
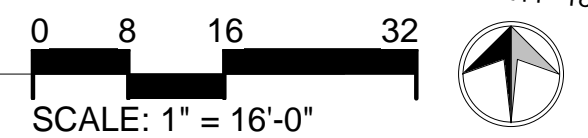
**3 A1.0 - LIGHT POLE FOUNDATION**  
1/2" = 1'-0"



**8 A1.0 - CONCRETE SIDEWALK TURNDOWN**  
1 1/2" = 1'-0"

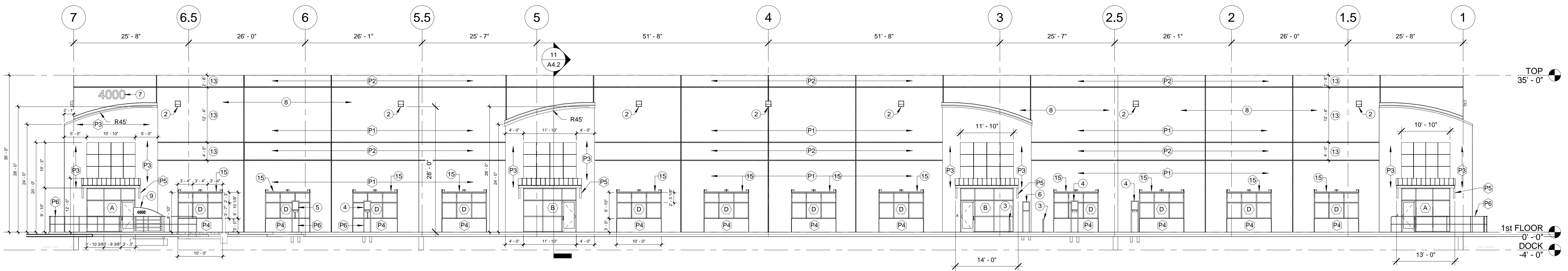


**1 SITE PLAN**  
1" = 30'-0"

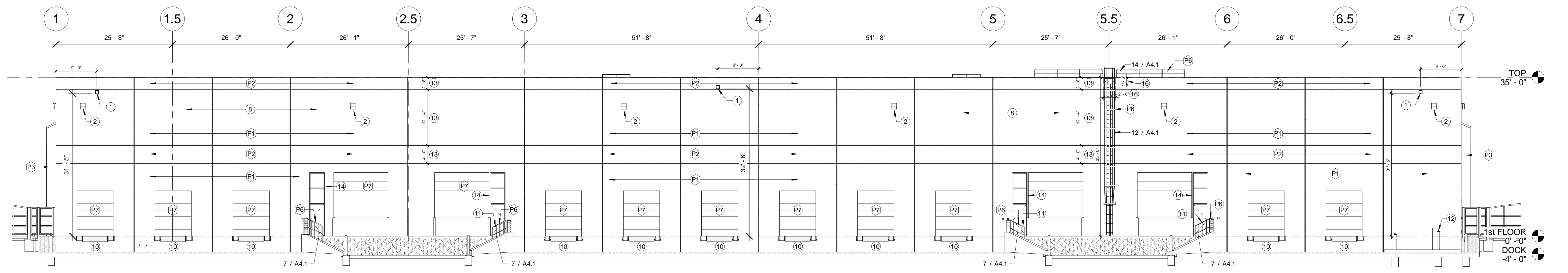


**4 A1.0 - PIPE BOLLARD - 6"**  
3/4" = 1'-0"

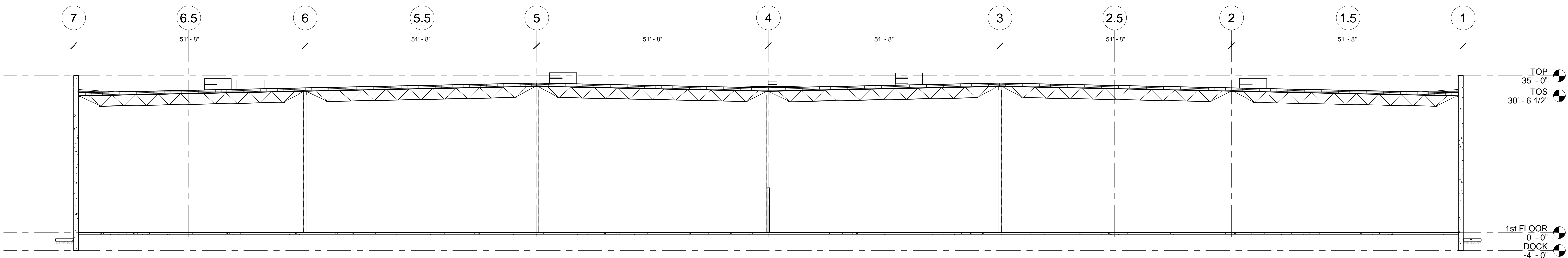




1 NORTH ELEVATION  
3/32" = 1'-0"



2 SOUTH ELEVATION  
3/32" = 1'-0"



3 BUILDING SECTION E/W  
3/32" = 1'-0"

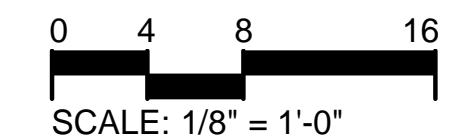
**PAINT COLOR:** ①

- P1 COLOR SW7632 MODERN GRAY
- P2 COLOR SW7048 URBANE BRONZE
- P3 COLOR SW2803 ROCKWOOD TERRA COTTA
- P4 COLOR SW7047 PORPOISE
- P5 COLOR SW1015 SKYLINE STEEL
- P6 COLOR SW7003 TOUQUE WHITE
- P7 COLOR SW7045 INTELLECTUAL WHITE

- MAIN FIELD COLOR
- TOP & MIDDLE BAND
- STUCCO AT FOUR MAIN ENTRIES
- UNDERNEATH WINDOWS
- STEEL SUPPORTS AT FOUR MAIN ENTRIES; ROOF ACCESSORIES
- SITE STEEL / HANDICAP SIGN FRAMES, MOTORCYCLE SIGN FRAMES,
- BIKE RACKS, HAND/GUARD RAILS, ROOF LADDER
- OVERHEAD DOORS AND MAN DOORS

**Keyed Notes:** ②

1. 8" wide by 8" high canale.
2. Wall pack light fixture, see electrical.
3. Bike rack, 7-bike capacity.
4. ADA accessible parking sign.
5. ADA van accessible parking sign.
6. Motorcycle parking sign.
7. Premise identification; metal building address numbers, 24" high.
8. Prime and paint all exposed surfaces of tilt-up concrete panels per owner instructions to bidders.
9. Monument sign.
10. Edge-of-dock leveler and dock bumpers.
11. 1 1/2" diameter pipe guardrail, painted.
12. USPS mailbox.
13. Centerline of horizontal reveal.
14. HSS, see structural.
15. Window awning, see detail 6 / A1.2
16. Notch in tilt-up panel.



**EXTERIOR ELEVATIONS**

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