



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	Decisions Requiring a Public Meeting or Hearing	Policy Decisions
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input checked="" type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Annexation of Land (Form Z)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
		<b>Appeals</b>
		<input type="checkbox"/> Decision by EPC, LC, ZHE, or City Staff (Form A)

**APPLICATION INFORMATION**

Applicant: Security Self Storage, Inc. Phone: 505-314-7700

Address: 8500 Washington St. NE, Ste. A-5 Email: jeremy@mechenbier.com

City: Albuquerque State: NM Zip: 87113

Professional/Agent (if any): \_\_\_\_\_ Phone: \_\_\_\_\_

Address: \_\_\_\_\_ Email: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Proprietary Interest in Site: \_\_\_\_\_ List all owners: \_\_\_\_\_

**BRIEF DESCRIPTION OF REQUEST**

Decrease in overall building square footage, decrease in overall building height and increase in storefront glazing.

**SITE INFORMATION** (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.: 28-A Block: - Unit: -

Subdivision/Addition: Interstate Industrial Tract MRGCD Map No.: \_\_\_\_\_ UPC Code: 101706315101030212

Zone Atlas Page(s): D-17 Existing Zoning: NR-LM Proposed Zoning: -

# of Existing Lots: 1 # of Proposed Lots: - Total Area of Site (acres): 4.9

**LOCATION OF PROPERTY BY STREETS**

Site Address/Street: 4000 Ellison St. NE Between: Ellison St. and: Osuna Rd.

**CASE HISTORY** (List any current or prior project and case number(s) that may be relevant to your request.)

PR-2019-002668 / SI-2019-00251

Signature: [Signature] Date: 6/27/22

Printed Name: Jeremy Mechenbier  Applicant or  Agent

**FOR OFFICIAL USE ONLY**

Case Numbers	Action	Fees	Case Numbers	Action	Fees

Meeting/Hearing Date: \_\_\_\_\_ Fee Total: \_\_\_\_\_

Staff Signature: \_\_\_\_\_ Date: \_\_\_\_\_ Project #: \_\_\_\_\_

## FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS

A single PDF file of the complete application including all plans and documents being submitted must be emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other on-line resources such as Dropbox or FTP.

**INFORMATION REQUIRED FOR ALL ADMINISTRATIVE DECISIONS OR AMENDMENTS**

- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and label

**ARCHEOLOGICAL CERTIFICATE**

- Archaeological Compliance Documentation Form with property information section completed
- Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)

**MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB**

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(2)
- The approved Site Plan being amended
- Copy of the Official Notice of Decision associated with the prior approval
- The proposed Site Plan, with changes circled and noted
- Refer to the Site Plan Checklist for information needed on the proposed Site Plan.
- Completed Site & Building Design Considerations Form in accordance with IDO Section 5-2(D) for new commercial and multifamily development except if the development is industrial or the multifamily is less than 25 units

**Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.**

**MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO**

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Z)(1)(a)
- The approved Site Development Plan being amended
- Copy of the Official Notice of Decision associated with the prior approval
- The proposed Site Development Plan, with changes circled and noted
- Refer to the Site Plan Checklist for information needed on the proposed Site Plan.
- Completed Site & Building Design Considerations Form in accordance with IDO Section 5-2(D) for new commercial and multifamily development except if the development is industrial or the multifamily is less than 25 units

**Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.**

**ACCELERATED EXPIRATION SITE PLAN**

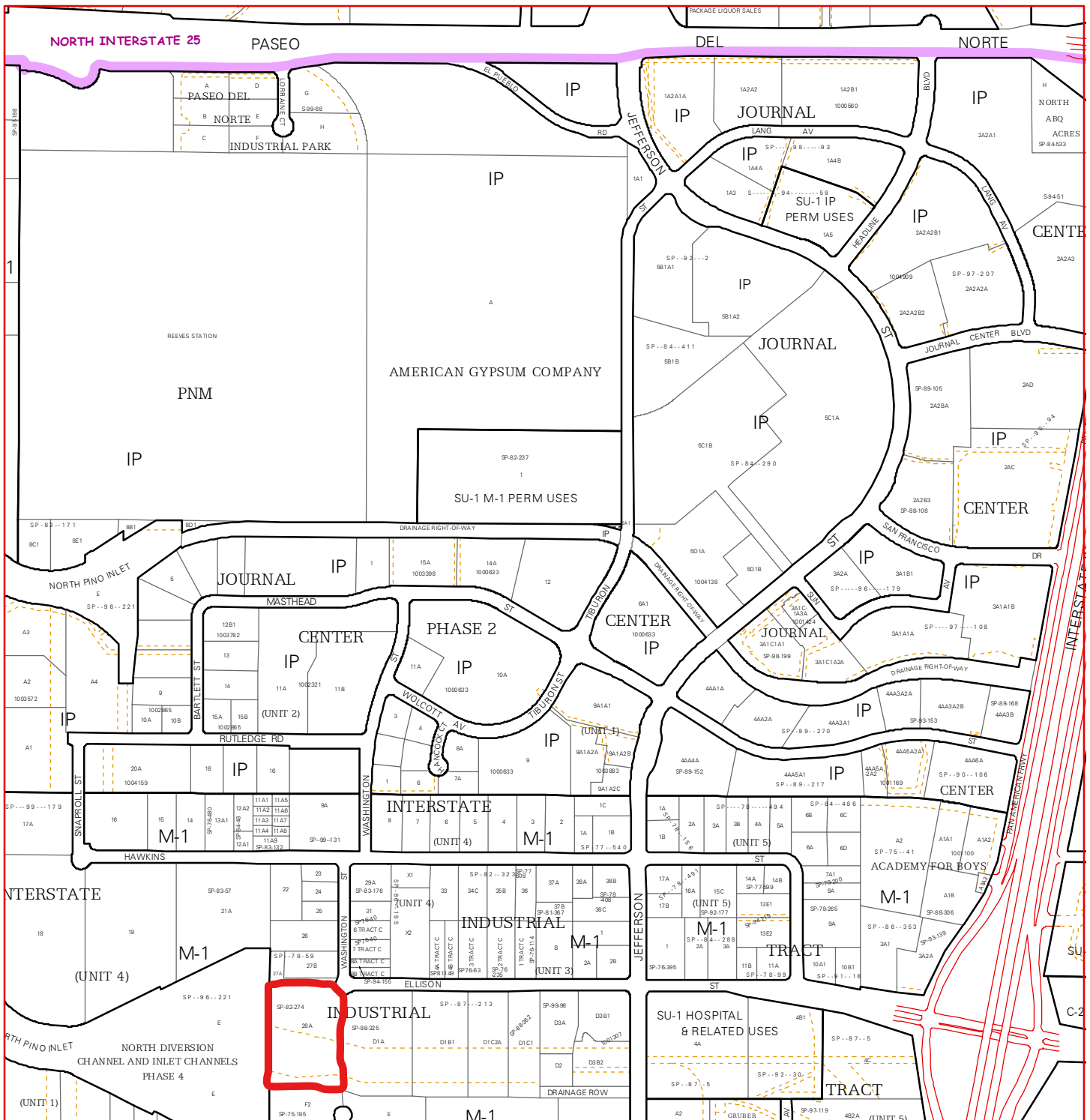
- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)(c)
- Site Plan to be Expired

**ALTERNATIVE SIGNAGE PLAN**


- Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)
- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(C)(3)(b)
- Required notices with content per IDO Section 14-16-6-4(K)
  - Office of Neighborhood Coordination notice inquiry response and proof of emailed notice to affected Neighborhood Association representatives
- Sign Posting Agreement

**ALTERNATIVE LANDSCAPE PLAN**

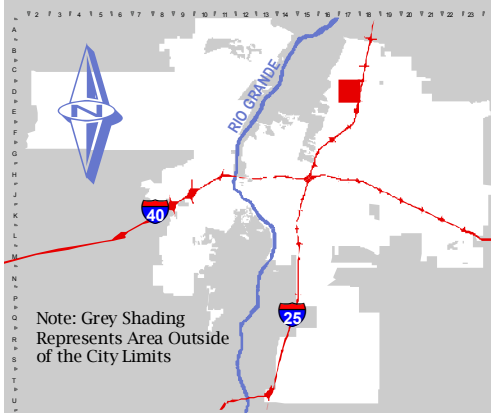
- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-5-6(C)(16)
- Landscape Plan



For more current information and more details visit: <http://www.cabq.gov/gis>



Map amended through: 9/5/2006

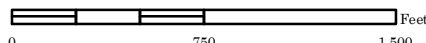


Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:  
**D-17-Z**

Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone



0 750 1,500 Feet



7-6-22

Plaza del Sol Building

600 2<sup>nd</sup> St. NW

Albuquerque, NM 87102

RE: Letter of Authorization

Development Review Service members,

Security Self Storage, Inc., which is the owner of 4000 Ellison St. NE, states that Jeremy Mechenbier with Mechenbier Construction, Inc. is duly authorized to act as agent for this project on behalf of above noted owner. Please contact John Mechenbier who is part principal of Security Self Storage, Inc. at 505-314-7700 if there are any problems arising from this request.

Respectfully,

A handwritten signature in black ink, appearing to read "John Mechenbier", is written over a large, stylized circular mark that resembles a stylized letter 'J' or a similar symbol.

John Mechenbier

Mechenbier Construction, Inc.

8500 Washington St. NE, Ste. A-5

Albuquerque, NM 87113



6-28-22

City of Albuquerque  
Planning Department  
600 2<sup>nd</sup> St. NW  
Alb., NM 87102

Planning Department,

Mechenbier Construction, Inc. is requesting an administrative amendment to a proposed commercial building to be built at 4000 Ellison St. NE. We had received DRB approval on 10-24-19 for PR-2019-002668/SI-2019-002SI.

Overall building square footage is decreasing from 82,857 sf to 76,574 sf, an overall decrease of 7.58%, ( $82,857 \text{ sf} - 76,574 \text{ sf} = 6,283 \text{ sf}$ .  $6,283 \text{ sf} / 82,857 \text{ sf} = .07582$ .  $.07582 \times 100 = 7.58\%$ ) to help with site vehicular flow around the building perimeter and overall parking and large truck configuration issues in the back yard area. This decrease has had no effect on life and safety issues nor has it infringed on any IDO requirements.

Overall building height is also being decreased from 37'8" to 35'0", an overall decrease of 7.08% in height ( $37.666 - 35 = 2.666$ .  $2.666 / 37.666 = .07078$ .  $.07078 \times 100 = 7.08\%$ ) to save on overall costs for tilt up concrete walls to make this project feasible.

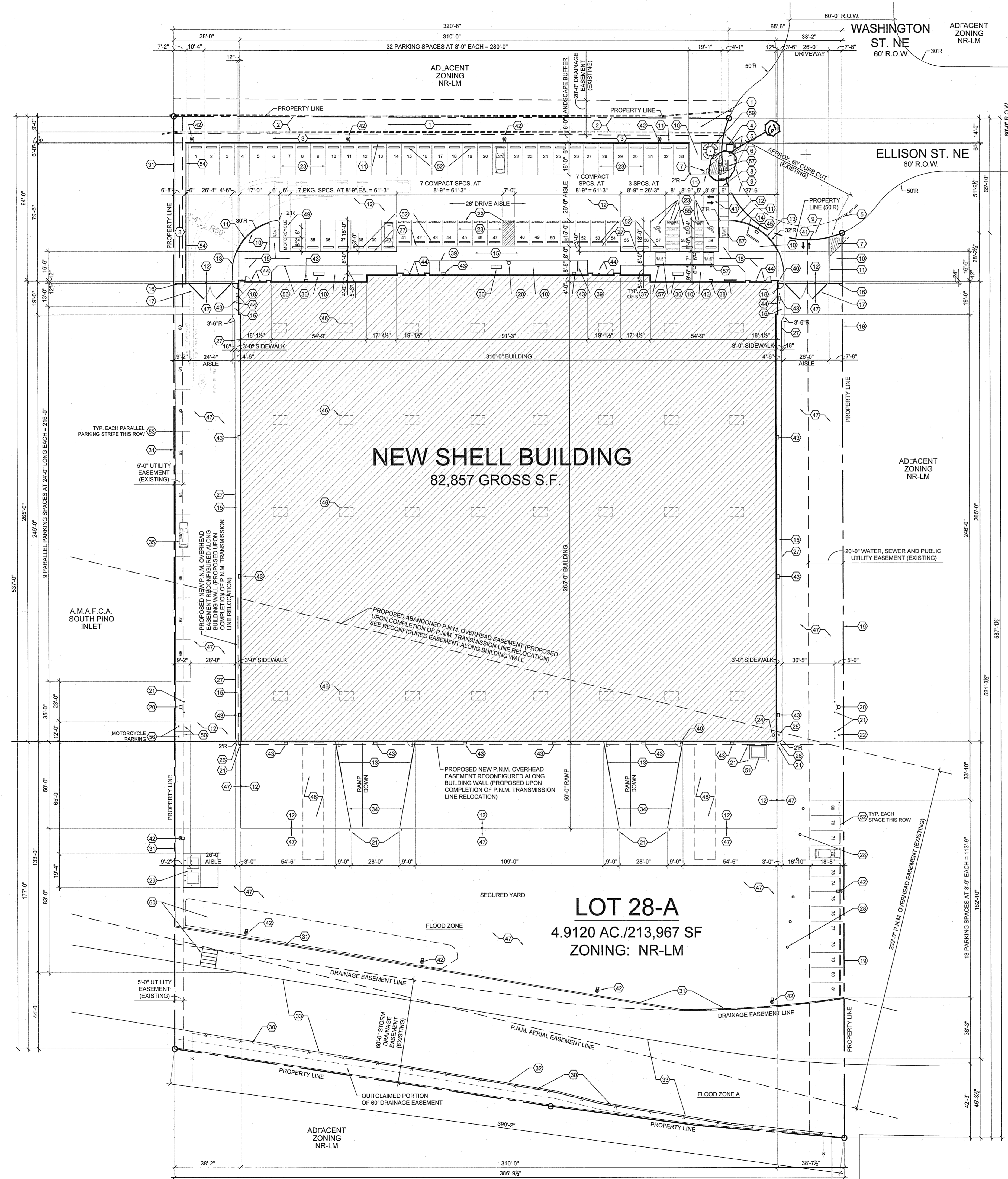
Lastly, the elevations are staying the same on 3 sides of the building while the front façade is changing slightly. The DRB approved plans showed a quantity of 16 storefront windows (measuring 7'0" tall x 6'0" wide) while the new plans show 12 windows (measuring 6'0" tall x 10'0" wide) (not including storefront entrances which are staying the same). This is a net increase of 7.14% (original:  $42 \text{ sf per window} \times 16 \text{ windows} = 672 \text{ total sf}$ . Proposed:  $60 \text{ sf per windows} \times 12 \text{ windows} = 720 \text{ sf}$ .  $720 \text{ sf} - 672 \text{ sf} = 48 \text{ sf} / 720 \text{ sf} = .0666 \times 100 = 6.66\%$ ) With the noted changes we are still in compliance with the IDO façade design standards 5-11(D)(2) as well as 5-11(E)(2)(a).

We are respectfully requesting an approved administrative amendment so that we may proceed with procurement of our building permit and commence with construction. Please contact myself with any questions at 505-948-0785.

Respectfully submitted,

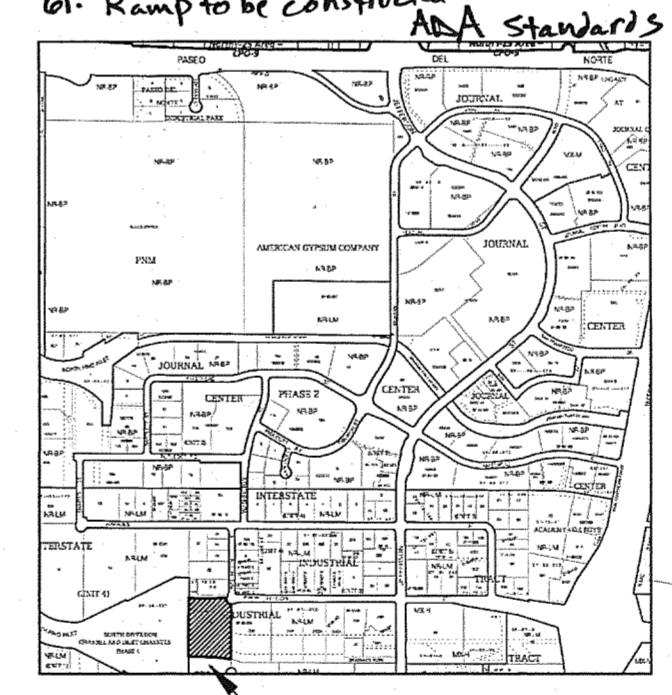
Jeremy Mechenbier



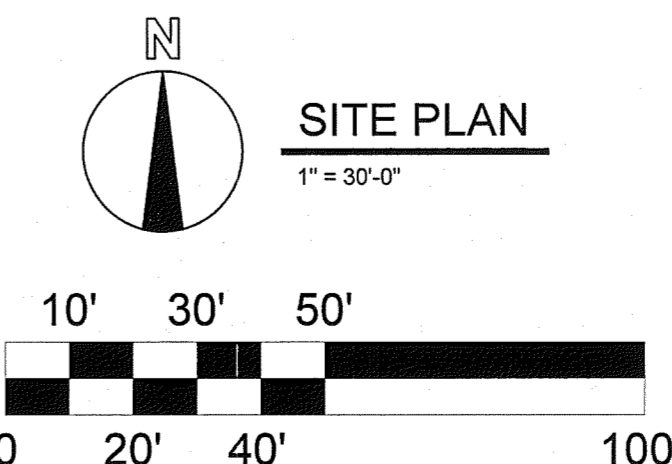


KEYED NOTES:

- EXIST. CONCRETE DRAINAGE WALL.
- EXIST. 2'-6" HIGH CAST-IN-PLACE CONCRETE DRAINAGE WALL.
- BUFFER LANDSCAPING.
- NEW WATER METER.
- EXIST. CURB & GUTTER.
- EXIST. 4' WIDE CONCRETE SIDEWALK.
- CLEAR SIGHT TRIANGLE.
- NEW 8' WIDE STAMPED CONCRETE WALK (ACCESSIBLE ROUTE TO PUBLIC WAY).
- EXIST. CONCRETE DRIVE APRON AND CURB CUT.
- LANDSCAPING.
- 6" HIGH STAND-UP CONCRETE CURB.
- CONCRETE PAVING.
- 42" HIGH STEEL PIPE GUARDRAIL (PAINTED CHARCOAL).
- MONUMENT SIGN - 8' HIGH 18" LONG, 8" CONCRETE BLOCK WITH STUCCO FINISH (SEE DTL. 3/A002).
- 4" THICK CONCRETE SIDEWALK.
- NEW 6' HIGH STEEL FENCE (PAINTED CHARCOAL).
- NEW 6' HIGH STEEL SWING GATES (PAINTED CHARCOAL), 24' OPENING.
- NEW 3' WIDE 36" TALL STEEL MAN GATE (PAINTED CHARCOAL).
- EXIST. 6' CHAINLINK FENCE ON PROPERTY LINE.
- PROPOSED NEW FIRE HYDRANT.
- 6" BOLLARD 14" TALL (PAINTED CHARCOAL COLOR).
- POST INDICATOR VALVE (P.I.V.).
- PAVEMENT MARKINGS.
- FIRE RISER.
- FIRE DEPARTMENT CONNECTION (F.D.C.).
- END OF SIDEWALK.
- 6" HIGH SIDEWALK CURB.
- EXIST. POWER POLES (6 TOTAL).
- REFUSE CONTAINER CONCRETE PAD, APRON AND BOLLARDS (SEE DTL. 1/A002).
- EXIST. 6' HIGH CHAINLINK FENCE.
- NEW 6' HIGH CONCRETE BLOCK WALL (REPLACES EXIST. 6' HIGH CHAINLINK FENCE).
- EXIST. CONCRETE RETAINING WALL.
- EXIST. CONCRETE DRAINAGE CHANNEL.
- CONCRETE TRUCK RAMP.
- (9) 9'-0" WIDE 124'-0" LONG PARALLEL PARKING SPACES.
- 6' LONG BENCH.
- ADA ACCESSIBLE PARKING SIGN ON POST, CENTERED ON PARKING SPACE, WITH LANGUAGE PER 66-7-352.4C NMSA 1978 "VIOLATORS ARE SUBJECT TO FINE AND/OR TOWING", SEE DTL. 5/A002.
- PREMISE I.D. ON BUILDING WALL.
- 4-STALL BICYCLE PARKING RACK, SEE DTL. 2/A002.
- KNOX BOX.
- INGRESS/EGRESS LOCATION, 26' WIDE DRIVE AISLE.
- POLE LIGHT, 25' TALL POLE (10 TOTAL POLE LIGHTS).
- WALL PACK LIGHT, MOUNTED AT 28' A.F.F. (18 TOTAL WALL PACKS).
- RECESSED CAN LIGHT FIXTURE IN SOFFIT (12 TOTAL).
- GROUND-MOUNTED LIGHT FOR MONUMENT SIGN.
- 24" HIGH ROOFTOP HVAC UNITS (32 TOTAL).
- CONCRETE CURB & GUTTER.
- PAVEMENT LETTERING "COMPACT" OR "NO PARKING" IN MIN. 12" LETTER HEIGHT, 2" MIN. LETTER WIDTH AND ALL CAPITAL LETTERS, LOCATED AT BACK END OF PARKING SPACE, H.C. ACCESS AISLE OR AS SHOWN.
- MOTORCYCLE PARKING SIGN ON POST, SEE DTL. 6/A002.
- CONCRETE SIDEWALK RAMP, SEE DTL. 4/A002.
- NOT USED.
- 10'x10'x4" THICK CONCRETE PAD WITH 6" DIA. OUTDOOR TABLE, BENCHES AND UMBRELLA.
- RETENTION POND AND CHANNEL RUNDOWN, SEE GRADING & DRAINAGE PLAN.



VICINITY MAP: D-17-Z  
SCALE: N.T.S.



ZONING DATA:

ADDRESS: 4000 ELLISON ST. NE ALBUQUERQUE, NM 87109  
LEGAL DESCRIPTION: LOT 28A, INTERSTATE INDUSTRIAL TRACT  
OWNER: SECURITY SELF STORAGE 8500 WASHINGTON ST. NE, SUITE A-5, ABQ., NM 87113  
UPC: 101706315101030212  
ZONE MAP: D-17  
ZONING: NR-LM (M-1 OLD ZONING)  
TOTAL SITE AREA: 4.91 ACRES  
GROSS BUILDING AREA: 82,857 SF  
NET FLOOR AREA: 81,917 SF  
BUILDING USE: OFFICE LIGHT MANUFACTURING WAREHOUSE

BUILDING USE (GROSS FLOOR AREA (GFA)):  
100' OF BLDG. IS OFFICE = 8,286 SF  
600' OF BLDG. IS MANUFACTURING = 49,714 SF  
300' OF BLDG. IS WAREHOUSE = 24,857 SF  
82,857 SF

OFF-STREET AUTO PARKING REQ'D. (IDO TABLE 5-5-1)  
OFFICE (3.5 SPACES PER 1000 GFA)  
8,286 SF ÷ 1,000 = 8.286 × 3.5 = 29 SPACES

LIGHT MANUFACTURING (1 SPACE PER 1000 GFA)  
49,714 SF ÷ 1,000 = 49.714 = 50 SPACES

WAREHOUSE (NO REQUIREMENT) 0 SPACES

TOTAL SPACES REQUIRED 79 SPACES

ACCESSIBLE SPACES REQUIRED = 3

COMPACT CAR SPACES ALLOWED (25% OF TOTAL)  
79 SPACES × .25 = 20 MAXIMUM ALLOWABLE

OFF-STREET AUTO PARKING PROVIDED  
REGULAR SIZE SPACES 67 SPACES  
COMPACT SIZE SPACES 14 SPACES  
(18% OF TOTAL SPACES REQ'D.)

TOTAL SPACES PROVIDED = 81 SPACES

INCLUDES 3 REQUIRED ACCESSIBLE SPACES

MOTORCYCLE SPACES REQUIRED (IDO TABLE 5-5-4)  
3 MOTORCYCLE SPACES REQ'D. AND PROVIDED

BICYCLE PARKING REQUIRED (IDO TABLE 5-5-5)  
1 SPACE PER 100' OF REQ'D. AUTO PARKING  
100' OF 79 REQ'D. SPACES = 8 BICYCLE SPACES  
(2) 4-STALL BICYCLE RACKS PROVIDED

OFF-STREET LOADING SPACES REQ'D. (IDO TABLE 5-5-7)  
1 SPACE PER 50,000 SF = 2 LOADING SPACES REQ'D.  
(12' x 65' - SEE SITE PLAN FOR LOCATION)

ON-STREET PARKING SPACES - NOT APPLICABLE

BUILDING DATA:

BUILDING CONSTRUCTION TYPE: II-B (NON COMBUSTIBLE), FULLY-SPRINKLERED

NUMBER OF OCCUPANTS (BASED ON NET FLOOR AREA):  
OFFICE 8,192 SF @ 100 SF/OCC. = 82  
MANUFACTURING 49,150 SF @ 200 SF/OCC. = 246  
WAREHOUSE 24,575 SF @ 500 SF/OCC. = 49 OCC.

TOTAL OCCUPANT LOAD 377 OCC.

BUILDING HEIGHT: 37'-8"

PROJECT NUMBER: PR-2019-002668

APPLICATION NUMBER: SI-2019-00251

IS AN INFRASTRUCTURE LIST REQUIRED ( ) YES ( ) NO IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

DRB SITE DEVELOPMENT PLAN APPROVAL: 10-2-19  
10-2-19  
DATE

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION DATE

WATER UTILITY DEPARTMENT DATE 10-2-19

PARKS AND RECREATION DEPARTMENT DATE 10-24

CITY ENGINEER DATE 10/27/19

ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL) DATE

SOLID WASTE MANAGEMENT DATE 10/10/19

DRB CHAIRPERSON, PLANNING DEPARTMENT DATE 10-24-19

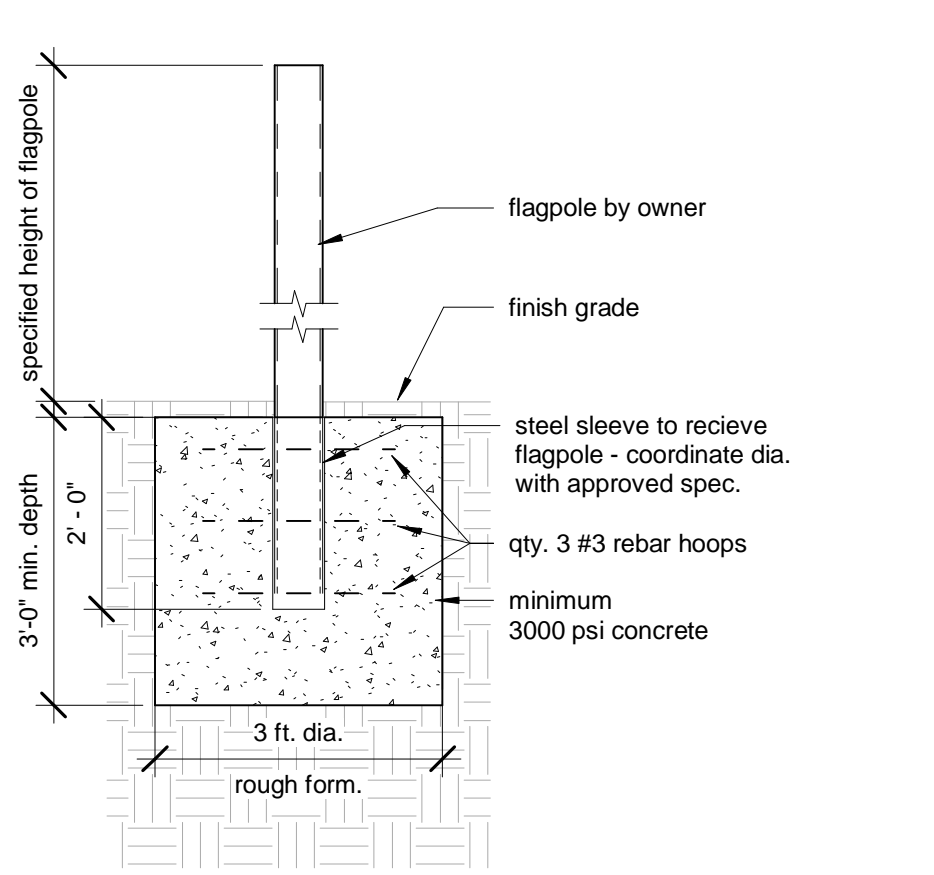
ENVIRONMENTAL HEALTH, IF NECESSARY NA DATE

SITE PLAN



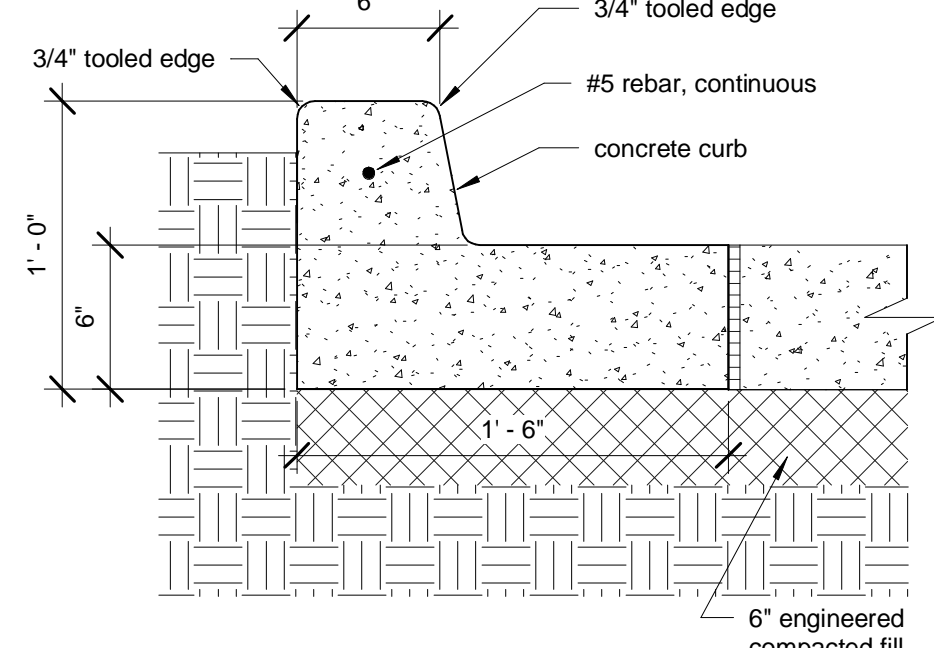
**Keyed Notes: #**

- Existing concrete driveway.
- Existing 2'-6" high cast-in-place concrete drainage wall.
- Buffer landscaping.
- New water meter.
- New sidewalk, see Civil grading and drainage.
- Replace existing curb.
- Clear sight triangle.
- New 6' wide stamped concrete walk (accessible route to public way). 11 / T.2
- New concrete drive apron and curb cut.
- Landscaping.
- 5-ft diameter outdoor table, benches and umbrella.
- Concrete paving, 5 1/2" thick, 4,000 psi with #3 rebar at 18" OC each way, 6% air entrainment.
- 42" high steel pipe guardrail (painted charcoal).
- Monument sign, see detail 11 / A.1.
- 4" thick concrete sidewalk, 4,000 psi, 6% air entrainment.
- Steel fence (painted charcoal).
- Steel swing gates (painted charcoal), 24' opening.
- 3'-2" wide x 6'-6" high steel man gate (painted charcoal).
- Existing chainlink fence on property line to be removed.
- Proposed new fire hydrant.
- 6' bollard x 4' tall (painted charcoal color). 4 / A1.0
- Post indicator valve (PIV).
- Pavement markings.
- Fire riser.
- Fire department connection (FDC).
- USPS mail box.
- 5 1/2" high sidewalk curb.
- Existing power poles (6 total) and associated guy wires.
- Refuse container concrete pad, apron and bollards.
- Scupper, 8" x 8"
- 7-ft. high concrete block wall (replaces existing 6' high chainlink fence). 2 / A1.0
- Existing concrete retaining wall.
- Concrete truck ramp, 5 1/2" thick with #3 rebar at 18" OC each way, 6% air entrainment.
- Flag pole and foundation, see detail 5 / A1.0
- 6' long bench.
- Van accessible parking space, see detail 5 / A.1
- HC accessible parking space, see detail 1 / A.1
- Align building parallel with east property line.
- Knox box.
- Ingress / egress location, 26' wide drive aisle.
- Pole light, 25' tall pole.
- Wall pack light, mounted at 28' AFF.
- Recessed can light fixture in soffit.
- Ground-mounted light for monument sign.
- Rooftop HVAC units, see Mechanical.
- Crushed aggregate driving surface 6" thick.
- Loading space, 12' x 65' per IDO requirements.
- Motorcycle parking spaces (qty. 3).
- Roof access ladder, see detail 12 / A.1
- PNM transformer on concrete pad.
- 6' long pre-cast concrete parking stop, centered in parking space, set 24" from sidewalk edge, curb or property line.
- Parking spaces delineated by painted markings on concrete block wall, 4" wide x 48" tall painted stripe.
- Concrete curb and gutter.
- Bicycle parking rack, see detail 6 / A.1
- Motorcycle parking sign, see detail 2 / A.1
- Concrete sidewalk ramp; detectable warning where detailed.
- 10' x 10' x 4" thick concrete pad (4,000 psi with #3 rebar at 18" OC, each way, 6% air entrained).
- Retention pond and channel rundown, see grading and drainage plan.
- Premise ID on building wall, see north elevation.
- Electrical metering equipment. Concrete pad measuring 17'-0" x 3'-6". Top of pad elevation to 3'-6" below finish floor of Warehouse.
- 7'-0" high wrought iron fencing 10' / A1.0
- Part of 7'-0" wide x 7'-0" high wrought iron gates with accessible hsp for padlock added and keyed by AMAFCA. 10 / A1.0
- 4" x 6" steel embed plates with 2'-4" Nelson studs per plate.

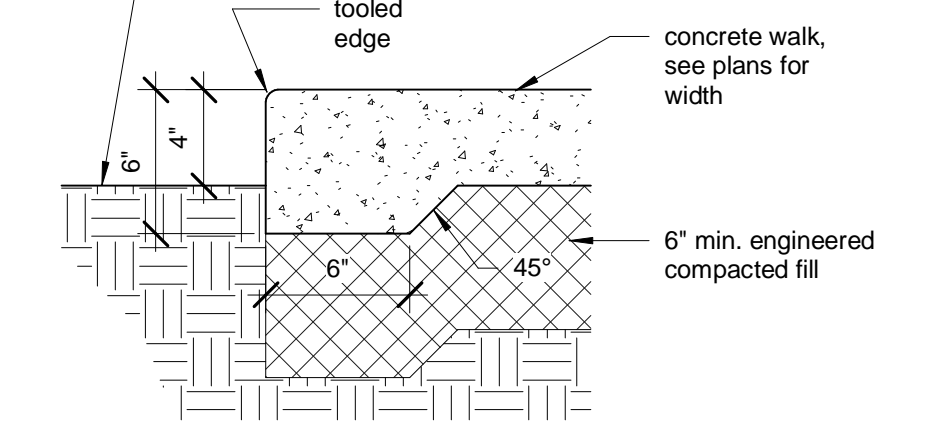


**5 A1.0 - FLAG POLE FOUNDATION**  
1/2" = 1'-0"

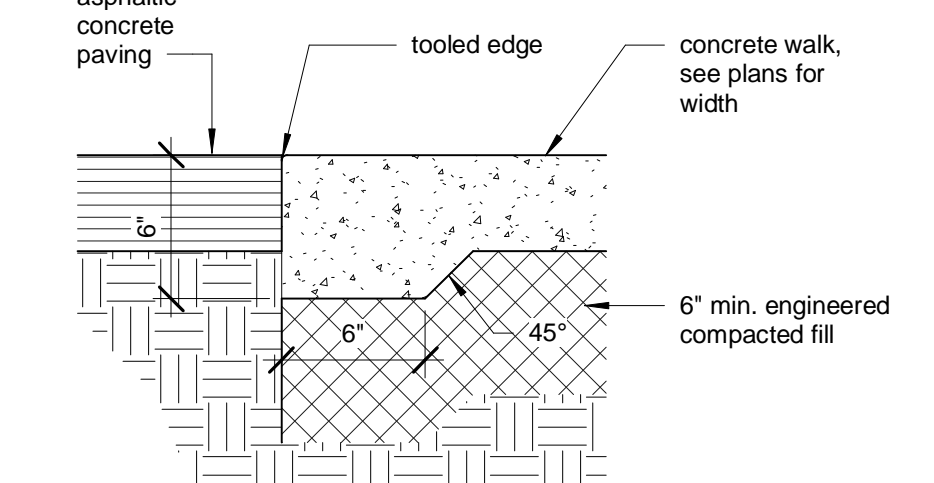
- GENERAL NOTES:**
- Edges not specifically dimensioned shall be edged with a 3/8" edging tool
  - Requires full form on all faces
  - Construction control joints at 6'-0" o.c. maximum
  - 1/2" expansion joints at 8'-0" o.c. at curb returns and at each side of drives
  - Conform to CABQ standard C&G detail 2415A



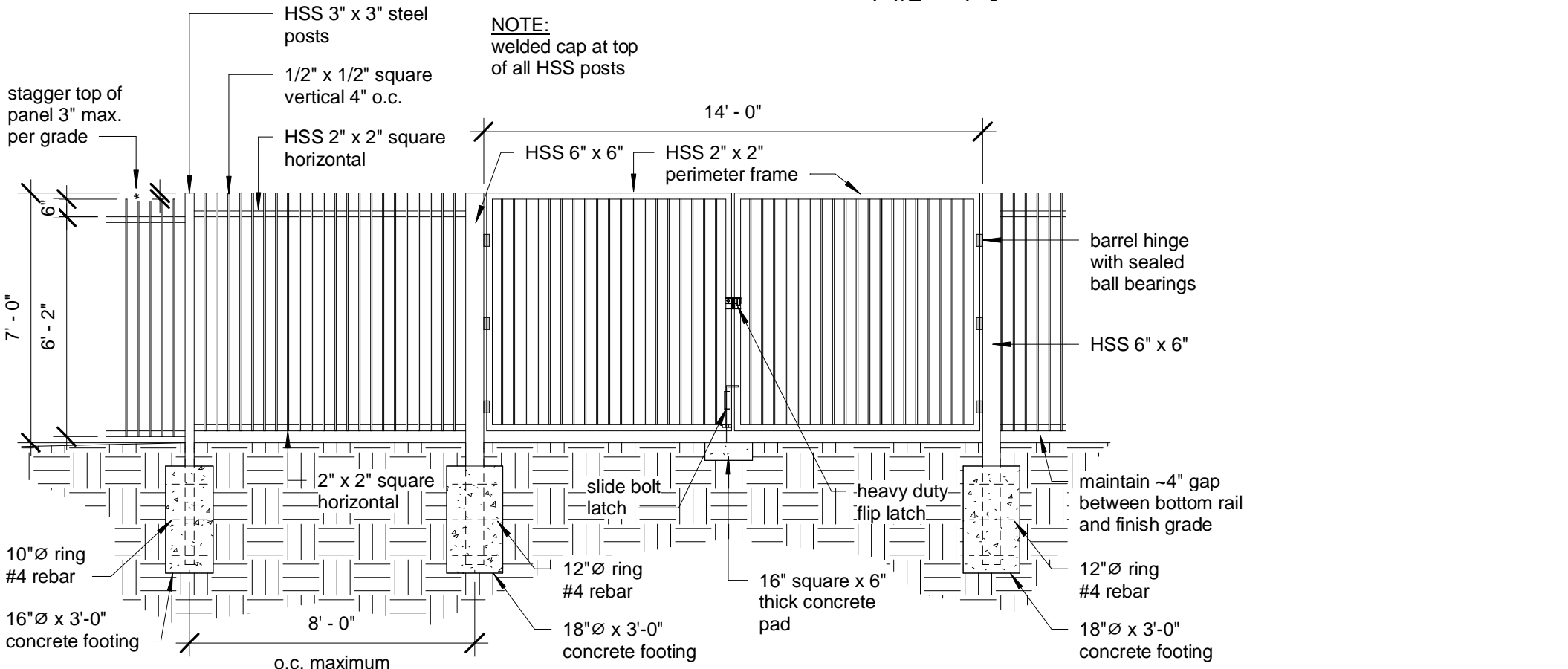
**6 A1.0 - CONCRETE CURB & GUTTER**  
1 1/2" = 1'-0"



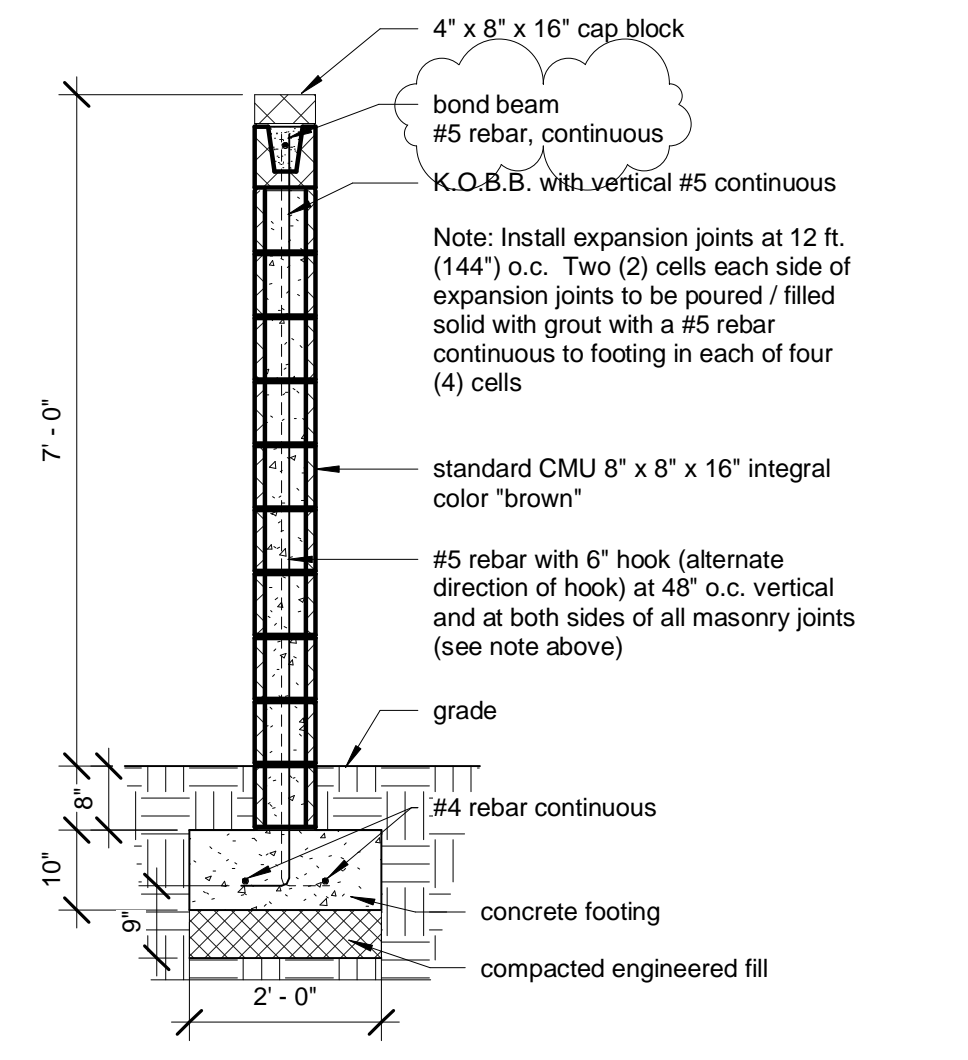
**7 A1.0 - CONCRETE SIDEWALK**  
1 1/2" = 1'-0"



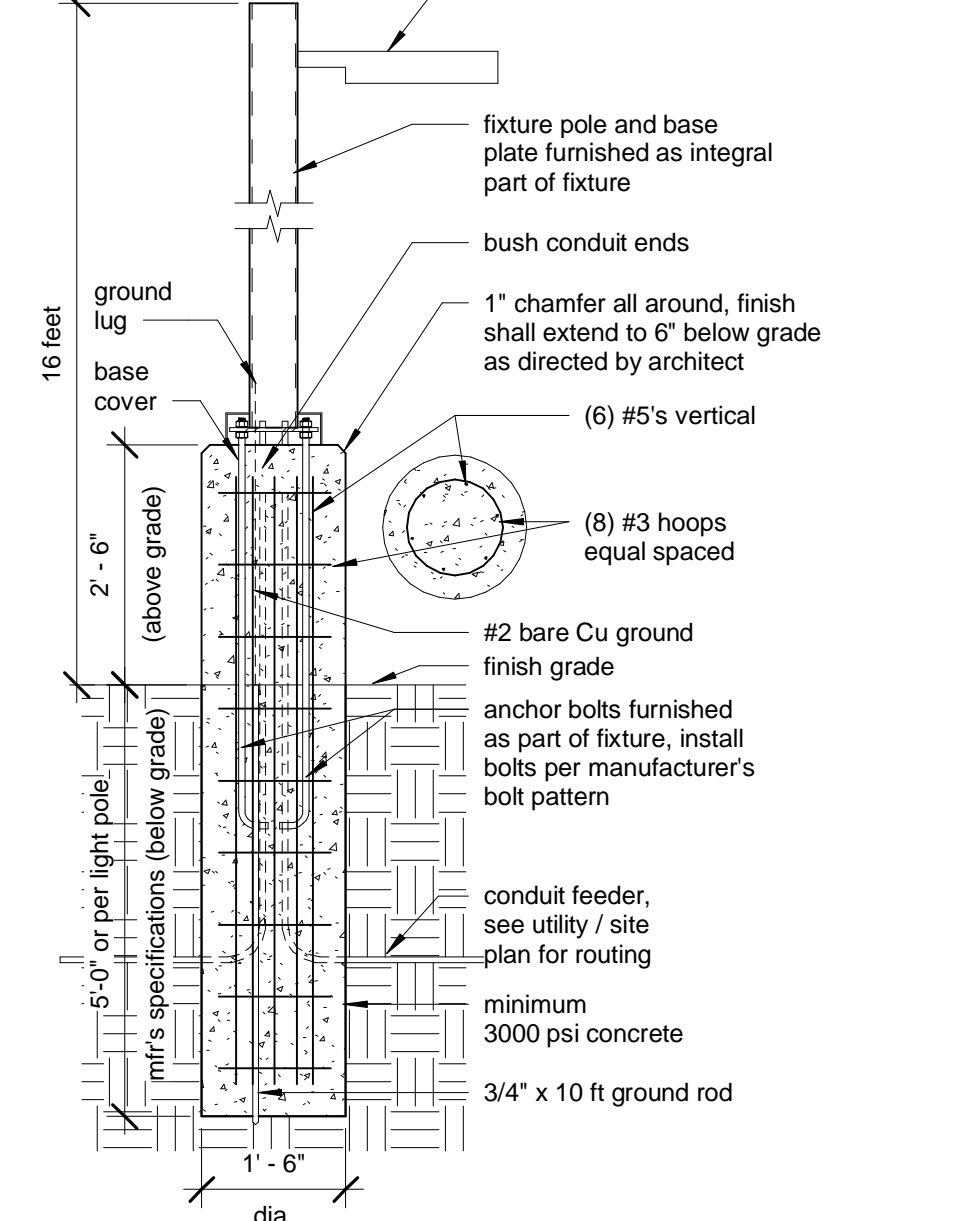
**9 A1.0 - CONCRETE WALK TO ASPHALT**  
1 1/2" = 1'-0"



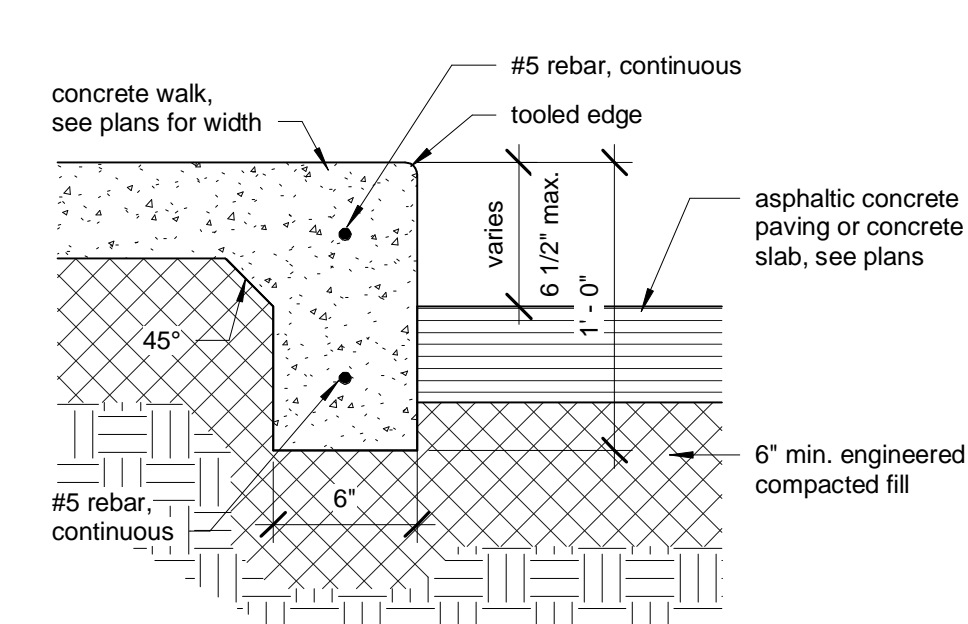
**10 A1.0 - WROUGHT IRON FENCE & GATE**  
1/4" = 1'-0"



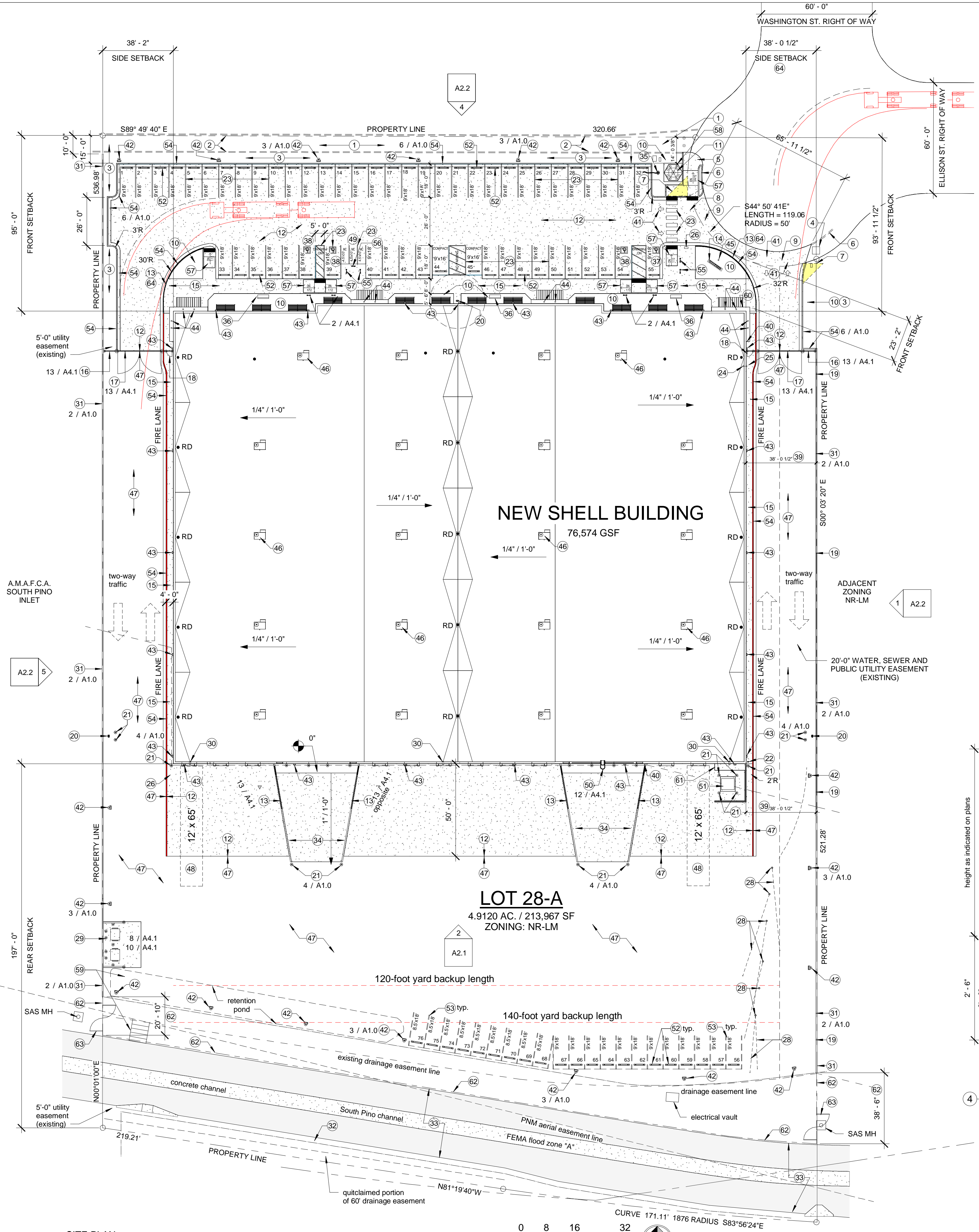
**2 A1.0 - CMU BLOCK WALL**  
1/2" = 1'-0"



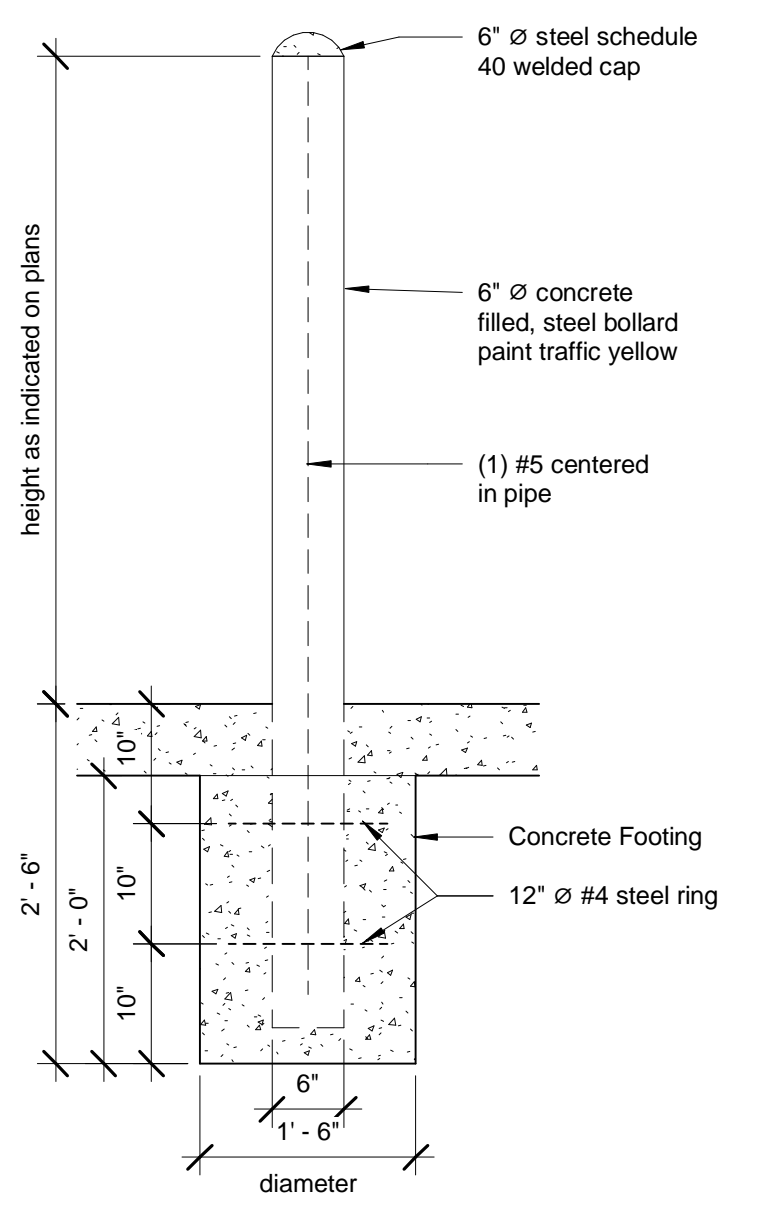
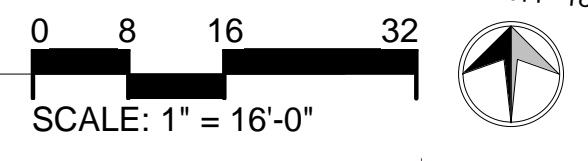
**3 A1.0 - LIGHT POLE FOUNDATION**  
1/2" = 1'-0"



**8 A1.0 - CONCRETE SIDEWALK TURNDOWN**  
1 1/2" = 1'-0"



**1 SITE PLAN**  
1" = 30'-0"

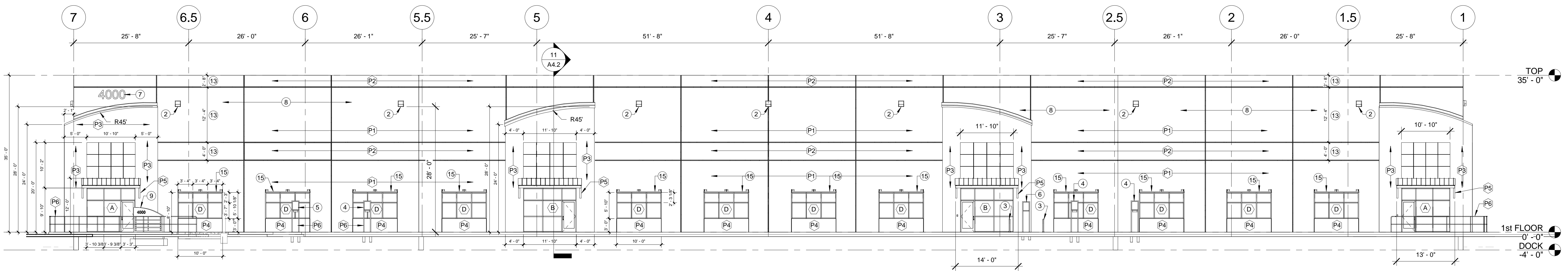


**4 A1.0 - PIPE BOLLARD - 6"**  
3/4" = 1'-0"

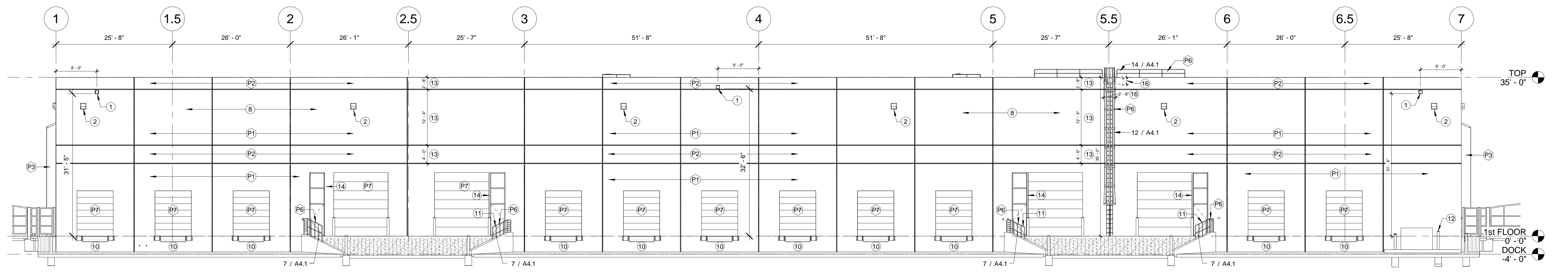


**SITE PLAN**

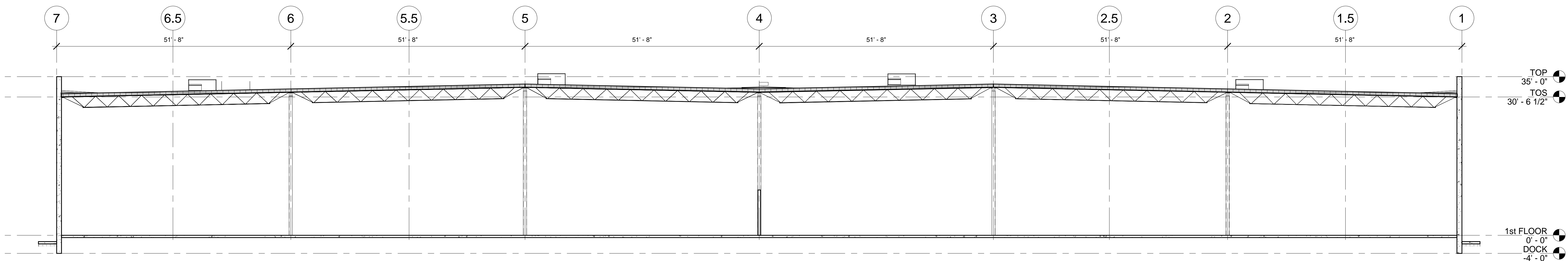




1 NORTH ELEVATION  
3/32" = 1'-0"



2 SOUTH ELEVATION  
3/32" = 1'-0"



3 BUILDING SECTION E/W  
3/32" = 1'-0"

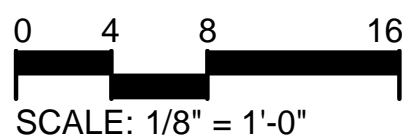
PAINT COLOR: ①

- P1 COLOR SW7632 MODERN GRAY
- P2 COLOR SW7048 URBANE BRONZE
- P3 COLOR SW2803 ROCKWOOD TERRA COTTA
- P4 COLOR SW7047 PORPOISE
- P5 COLOR SW1015 SKYLINE STEEL
- P6 COLOR SW7003 TOUQUE WHITE
- P7 COLOR SW7045 INTELLECTUAL WHITE

- MAIN FIELD COLOR
- TOP & MIDDLE BAND
- STUCCO AT FOUR MAIN ENTRIES
- UNDERNEATH WINDOWS
- STEEL SUPPORTS AT FOUR MAIN ENTRIES; ROOF ACCESSORIES
- SITE STEEL / HANDICAP SIGN FRAMES, MOTORCYCLE SIGN FRAMES,
- BIKE RACKS, HAND/GUARD RAILS, ROOF LADDER
- OVERHEAD DOORS AND MAN DOORS

Keyed Notes: ②

1. 8" wide by 8" high canale.
2. Wall pack light fixture, see electrical.
3. Bike rack, 7-bike capacity.
4. ADA accessible parking sign.
5. ADA van accessible parking sign.
6. Motorcycle parking sign.
7. Premise identification; metal building address numbers, 24" high.
8. Prime and paint all exposed surfaces of tilt-up concrete panels per owner instructions to bidders.
9. Monument sign.
10. Edge-of-dock leveler and dock bumpers.
11. 1 1/2" diameter pipe guardrail, painted.
12. USPS mailbox.
13. Centerline of horizontal reveal.
14. HSS, see structural.
15. Window awning, see detail 6 / A1.2
16. Notch in tilt-up panel.



EXTERIOR ELEVATIONS

ELLISON ST. OFFICE WAREHOUSE  
4000 ELLISON ST. NE  
ALBUQUERQUE, NM 87109

MECHENBIE  
CONSTRUCTION INC.  
8800 WASHINGTON ST., SUITE A-5  
ALBUQUERQUE, NEB. WWW.MECHENBIE.COM







REVISIONS:

SCALE:  
SEE PLAN

PLAN DATE:  
JULY 23, 2019

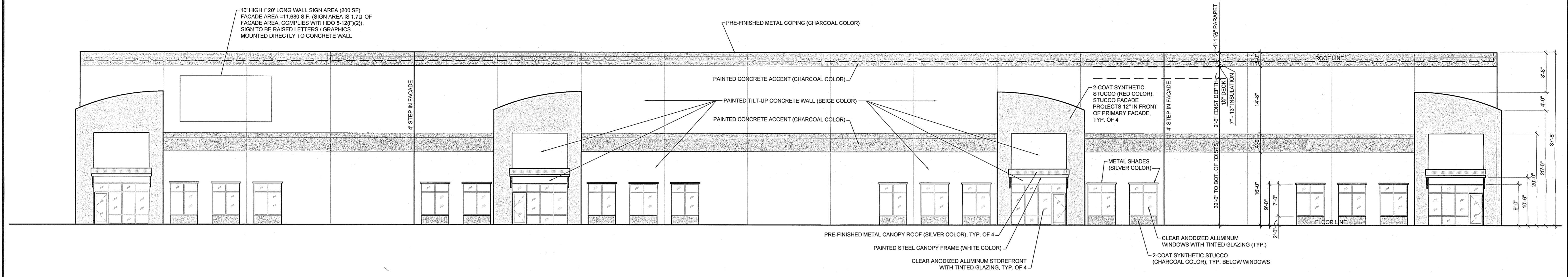
FILENAME:  
4000 ELLISON

DRAWN BY:  
B. KLEINSCHMIDT

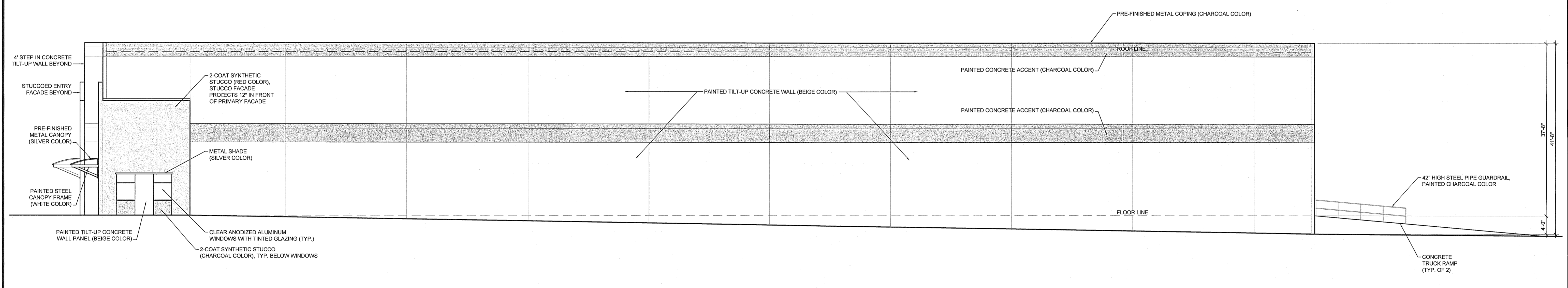
SHELL CONSTRUCTION  
WAREHOUSE/FLEX BUILDING  
4000 ELLISON STREET NE  
ALBUQUERQUE, NEW MEXICO 87109

MECHENBIE  
CONSTRUCTION INC.  
8500 WASHINGTON ST. NE SUITE A-5  
ALBUQUERQUE, NM 87110  
OFFICE: (505) 314-7700  
WEB: WWW.MECHENBIE.COM

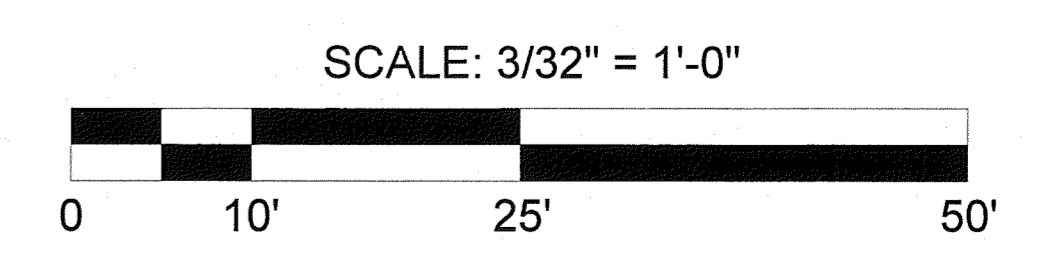
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**A** NORTH ELEVATION  
3/32" = 1'-0"



**B** WEST ELEVATION  
3/32" = 1'-0"



EXTERIOR ELEVATIONS



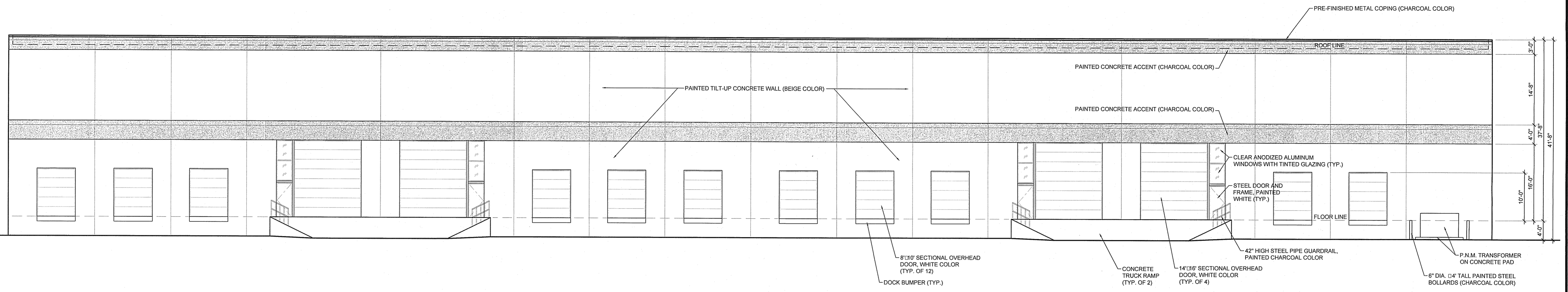
REVISIONS:

SCALE:  
SEE PLAN

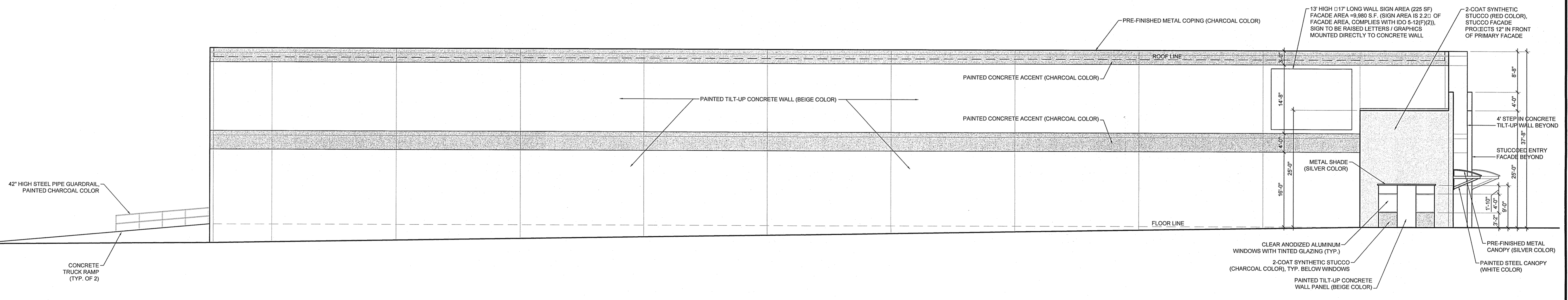
PLAN DATE:  
AUGUST 13, 2019

FILENAME:  
4000 ELLISON

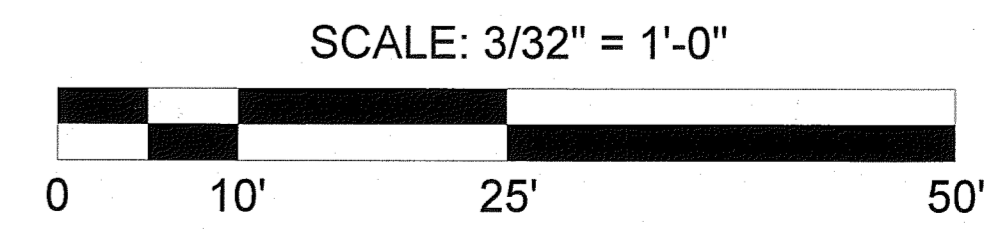
DRAWN BY:  
B. KLEINSCHMIDT



**C SOUTH ELEVATION**  
3/32" = 1'-0"



**D EAST ELEVATION**  
3/32" = 1'-0"



**EXTERIOR ELEVATIONS**

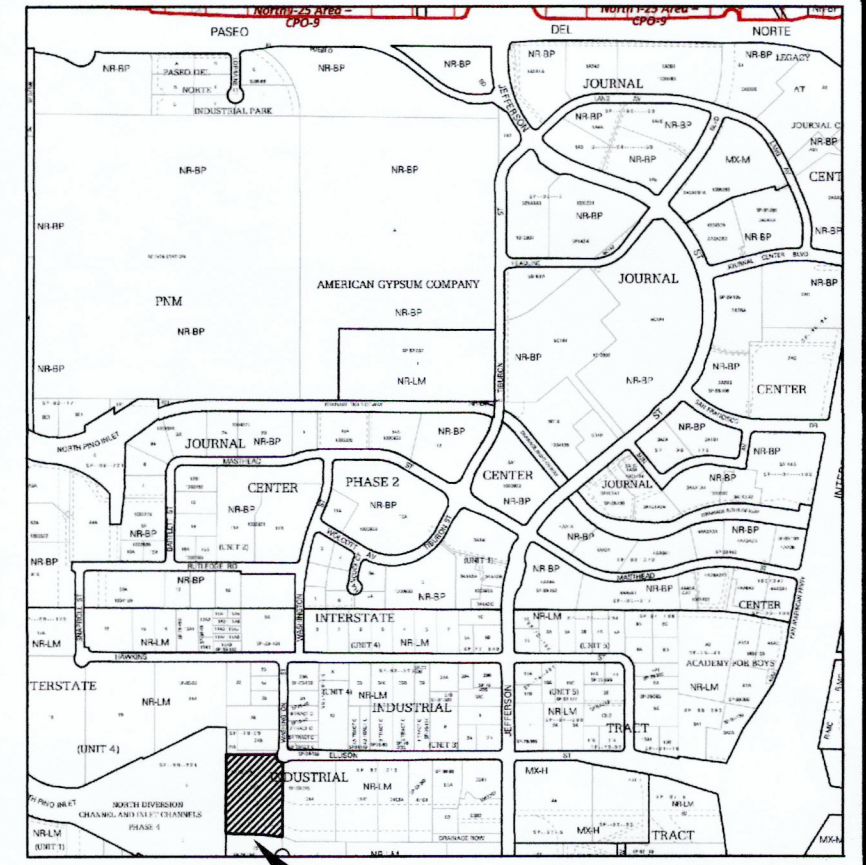
**SHELL CONSTRUCTION**  
WAREHOUSE/FLEX BUILDING  
4000 ELLISON STREET NE  
ALBUQUERQUE, NEW MEXICO 87109

**MECHENBIE**  
CONSTRUCTION INC.  
1800 UNIVERSITY BLVD, SUITE A-3  
ALBUQUERQUE, NM 87111  
OFFICE: (505) 344-7700  
WEB: WWW.MECHENBIE.COM

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REVISIONS:



VICINITY MAP: D-17-Z  
SCALE: N.T.S.

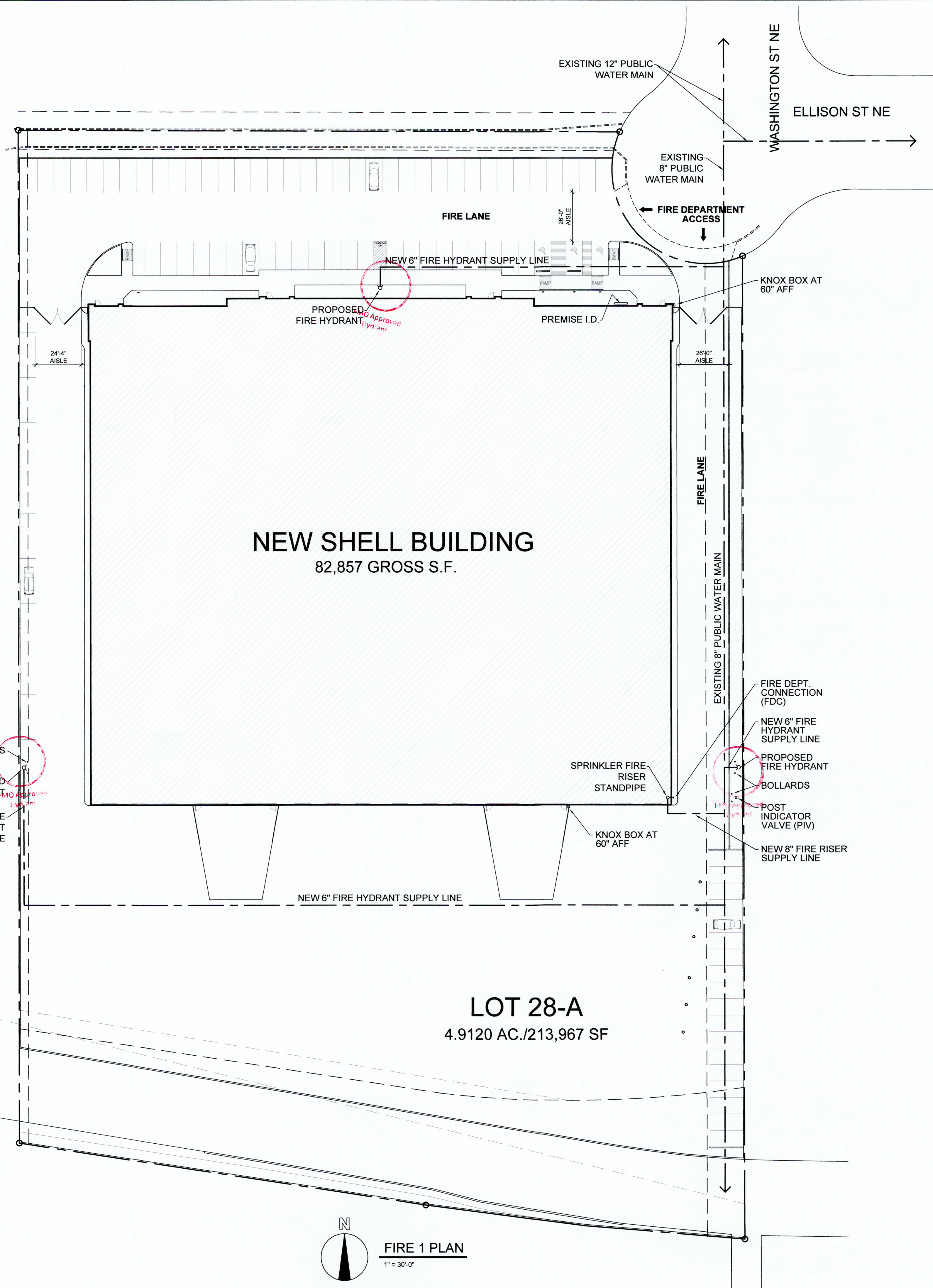
**PROJECT DESCRIPTION:**

ADDRESS: 4000 ELLISON ST. NE ALBUQUERQUE, NM 87109  
 LEGAL DESCRIPTION: LOT 28A, INTERSTATE INDUSTRIAL TRACT  
 OWNER: SECURITY SELF STORAGE 8500 WASHINGTON ST. NE, SUITE A-5, ABQ., NM 87113  
 UPC: 101706315101030212  
 ZONE MAP: D-17  
 ZONING: NR-LM (M-1 OLD ZONING)  
 TOTAL SITE AREA: 4.91 ACRES  
 CONSTRUCTION TYPE: II-B (NON COMBUSTIBLE), SPRINKLERED  
 OCCUPANCY GROUPS: B OFFICE, F1 MANUFACTURING, S1 STORAGE  
 GROSS BUILDING AREA: 82,857 SF  
 NET FLOOR AREA: 81,917 SF  
 BUILDING HEIGHT: 37'-8" (ONE-STORY)

**FIRE REVIEW NOTES:**  
 CODE CRITERIA: 2009 INT'L. FIRE CODE, APPENDIX B, C AND D.  
 MAXIMUM 400' BETWEEN FIRE HYDRANTS (3 NEW FIRE HYDRANTS SHOWN).  
 FIRE APPARATUS ROADS SHALL NOT EXCEED 10% IN GRADE.  
 APPROVED FIRE APPARATUS ROADS SHALL HAVE CONCRETE OR OTHER APPROVED DRIVING SURFACE CAPABLE OF SUPPORTING IMPOSED LOAD OF FIRE APPARATUS WEIGHING AT LEAST 75,000 POUNDS.

SHELL CONSTRUCTION  
 WAREHOUSE/FLEX BUILDING  
 4000 ELLISON STREET NE  
 ALBUQUERQUE, NEW MEXICO 87109

MECHENBIE  
 CONSTRUCTION INC.  
 8500 WASHINGTON ST. NE SUITE A-5  
 ALBUQUERQUE, NM 87113  
 OFFICE: (505) 314-7700  
 WEB: WWW.MECHENBIE.COM



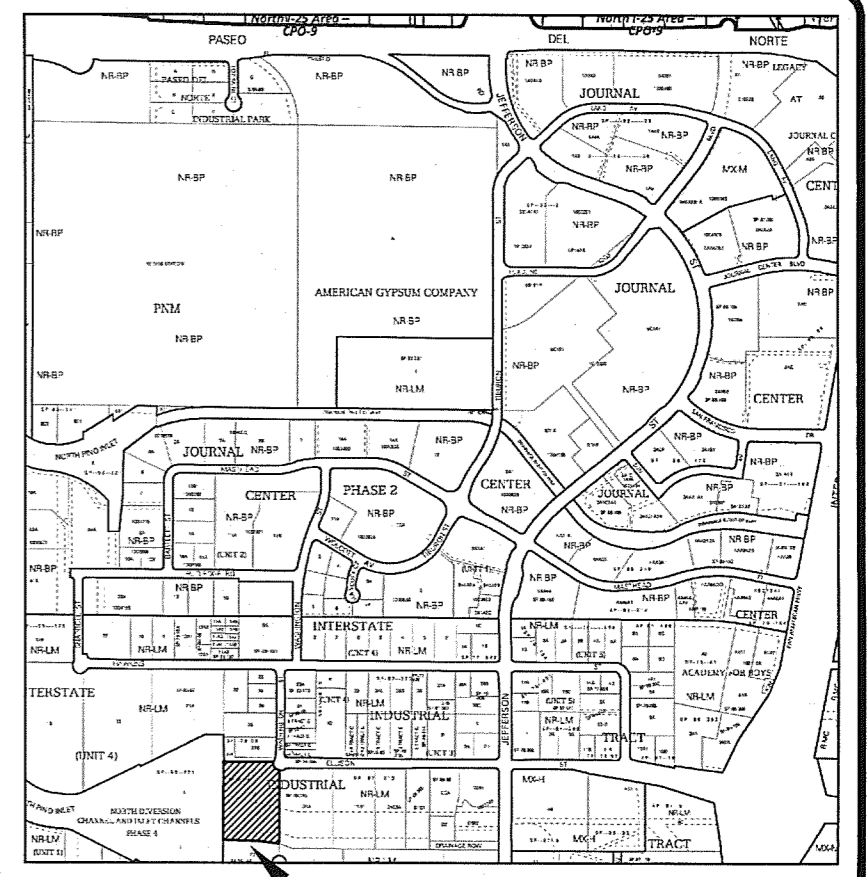
19-000157  
 HYDRANT AND FIRE ACCESS  
 ALBUQUERQUE FIRE MARSHAL'S OFFICE  
 PLANS CHECKING DIVISION  
 82,857 CONSTRUCTION TYPE II-B  
 3000 NUMBER OF HYDRANTS 3  
 APPROVED / DISAPPROVED  
 Laura Pasatt 7-15-19

FIRE 1

FIRE 1 PLAN  
 1" = 30'-0"



REVISIONS:



VICINITY MAP: D-17-Z  
SCALE: N.T.S.

**PROJECT DESCRIPTION:**

ADDRESS:	4000 ELLISON ST. NE ALBUQUERQUE, NM 87109
LEGAL DESCRIPTION:	LOT 28A, INTERSTATE INDUSTRIAL TRACT
OWNER:	SECURITY SELF STORAGE 8500 WASHINGTON ST. NE, SUITE A-5, ABQ., NM 87113
UPC:	101706315101030212
ZONE MAP:	D-17
ZONING:	NR-LM (M-1 OLD ZONING)
TOTAL SITE AREA:	4.91 ACRES
CONSTRUCTION TYPE:	II-B (NON COMBUSTIBLE), SPRINKLERED
OCCUPANCY GROUPS:	B OFFICE F1 MANUFACTURING S1 STORAGE
GROSS BUILDING AREA:	82,857 SF
NET FLOOR AREA:	81,917 SF
BUILDING HEIGHT:	37'-8" (ONE-STORY)

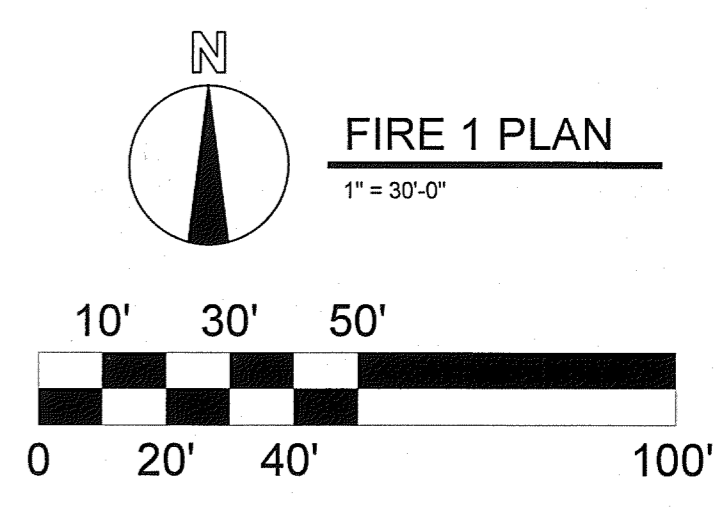
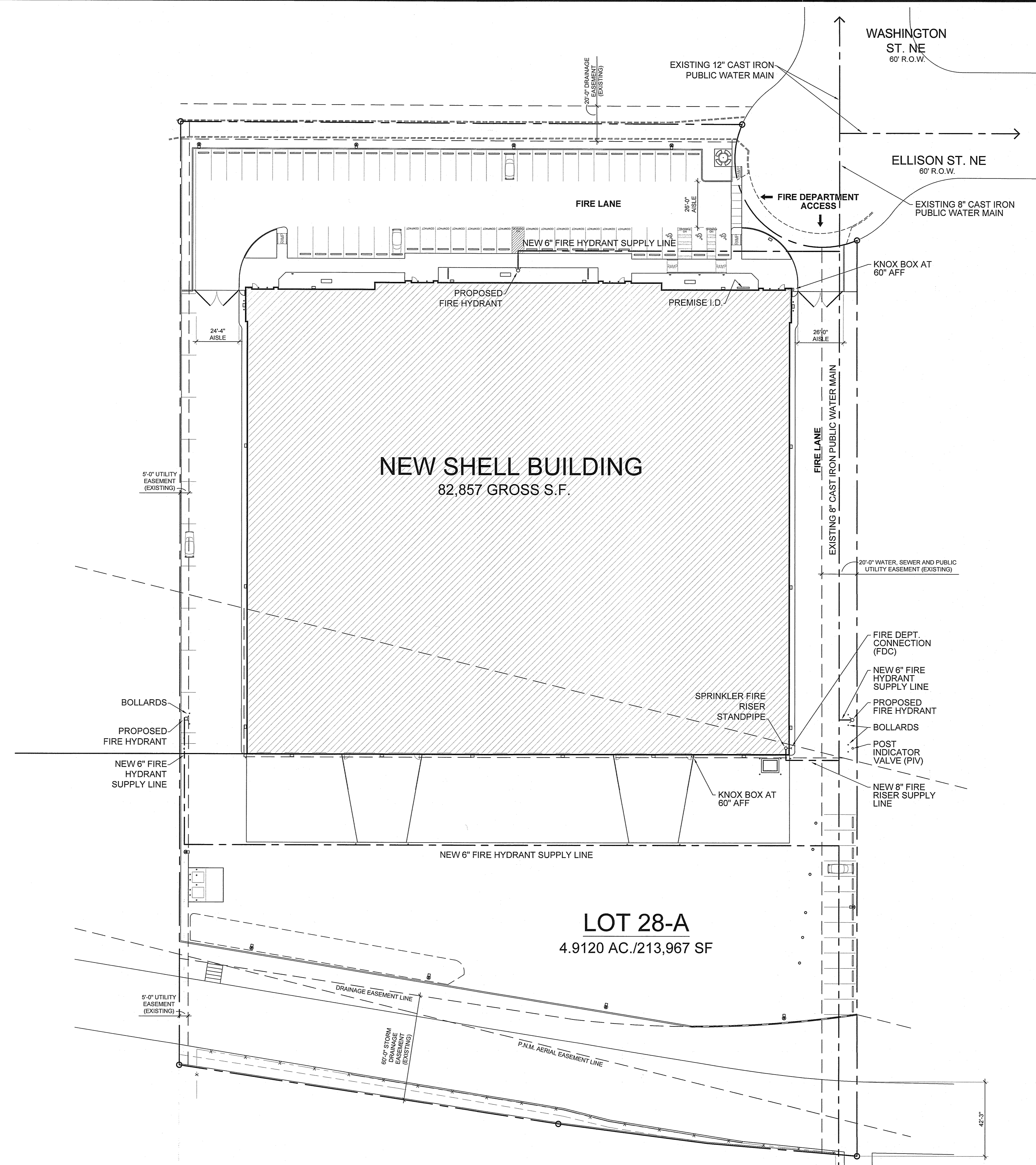
**FIRE REVIEW NOTES:**

**CODE CRITERIA: 2009 INT'L. FIRE CODE, APPENDIX B, C AND D.**

**MAXIMUM 400' BETWEEN FIRE HYDRANTS (3 NEW FIRE HYDRANTS SHOWN).**

**FIRE APPARATUS ROADS SHALL NOT EXCEED 10% IN GRADE.**

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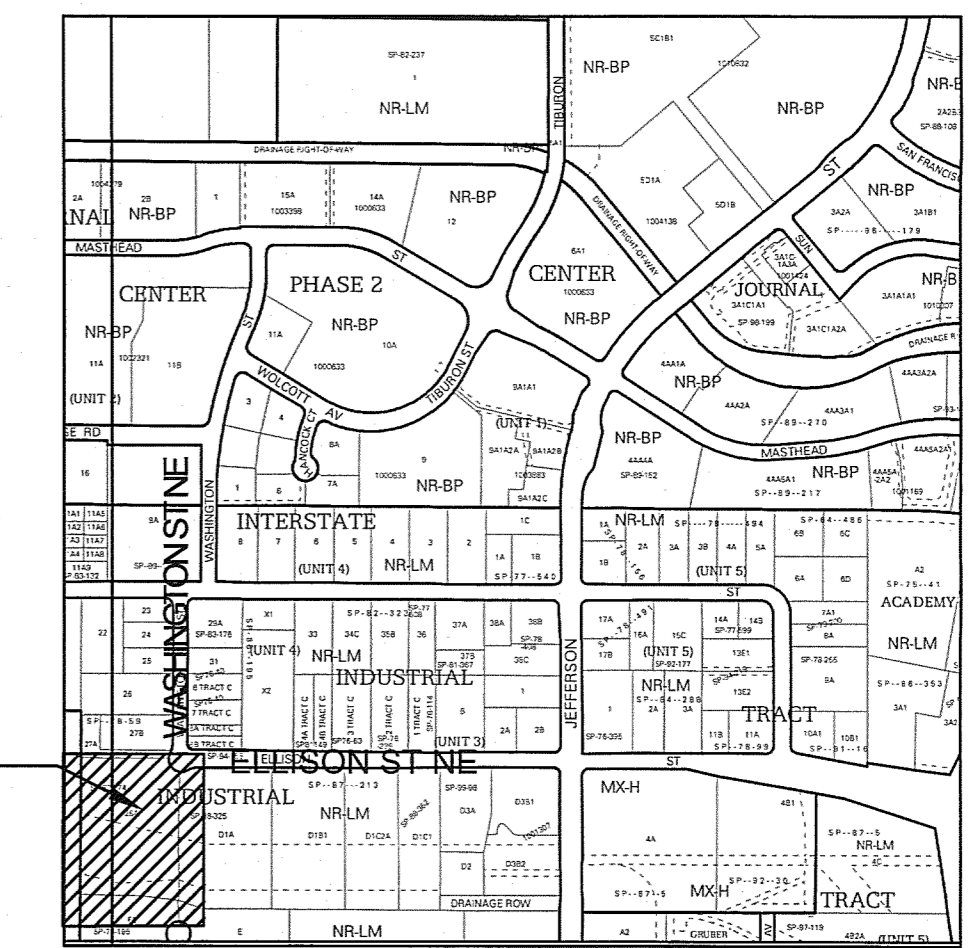
FIRE 1  
1" = 30'-0"

**SHELL CONSTRUCTION**  
WAREHOUSE/FLEX BUILDING  
4000 ELLISON STREET NE  
ALBUQUERQUE, NEW MEXICO 87109

**MECHENBER CONSTRUCTION INC.**  
8500 WASHINGTON ST. NE SUITE A-5  
ALBUQUERQUE, NM 87113  
OFFICE: (505) 314-7700  
WEB: WWW.MECHENBER.COM

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VICINITY MAP

D17

LEGEND

- EXISTING CONSTRUCTION
- NEW CONTOUR
- FF=5110.0 PROPOSED BUILDING FINISH FLOOR ELEV
- ◆ 65.5 NEW SPOT ELEVATION
- NEW CONSTRUCTION
- RD ROOF DRAIN
- TC TOP OF CURB
- TW TOP OF WALL
- BW BOTTOM OF WALL

DRAINAGE ANALYSIS

ADDRESS: 4000 Ellison Street NE, Albuquerque, NM

LEGAL DESCRIPTION: LOT 28-A, INTERSTATE INDUSTRIAL TRACT

SITE AREA: 213,967 SF (4.912 acre)

BENCHMARK: City of Albuquerque Station '12-E17' being a brass cap with ELEV= 5118.70 (NAVD 1988)

SURVEYOR: Sandia Land Surveying Inc. dated July 14, 2019

PRECIPITATION ZONE: 2

FLOOD HAZARD: From FEMA Map 35001C0136G (9/26/08), this site is identified as being within Zone 'X' which is determined to be outside the 0.2% annual chance floodplain.

OFFSITE FLOW: Offsite flow enters this site at the NE corner and is carried west by an existing concrete drain swale within an existing 20' drainage easement.

EXISTING CONDITIONS: The site is an undeveloped industrial site which slopes down to the west at 2-2.5%. The site discharges freely to the west which is the South Pino Inlet owned by AMAFCA.

PROPOSED IMPROVEMENTS: An 82,850 SF building is proposed along with paved parking and access drives and minor xeric landscape areas. Paved parking is proposed in front of the building and base course is in the rear-yard area.

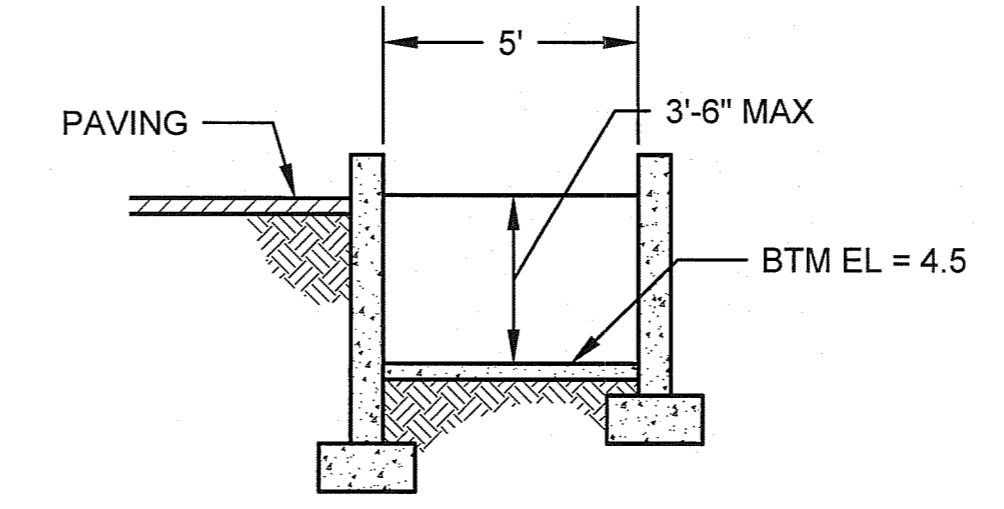
DRAINAGE APPROACH: The site drainage pattern will follow historic conditions with the incorporation of onsite retention ponds for the first flush volume.

Existing land treatment: 100% A  
 $Q = (1.56)(4.912) = 7.7$  CFS

Proposed land treatment: 42% C and 58% D  
 $Q = [(0.42)(3.14) + (0.58)(4.70)](4.912) = 19.9$  CFS

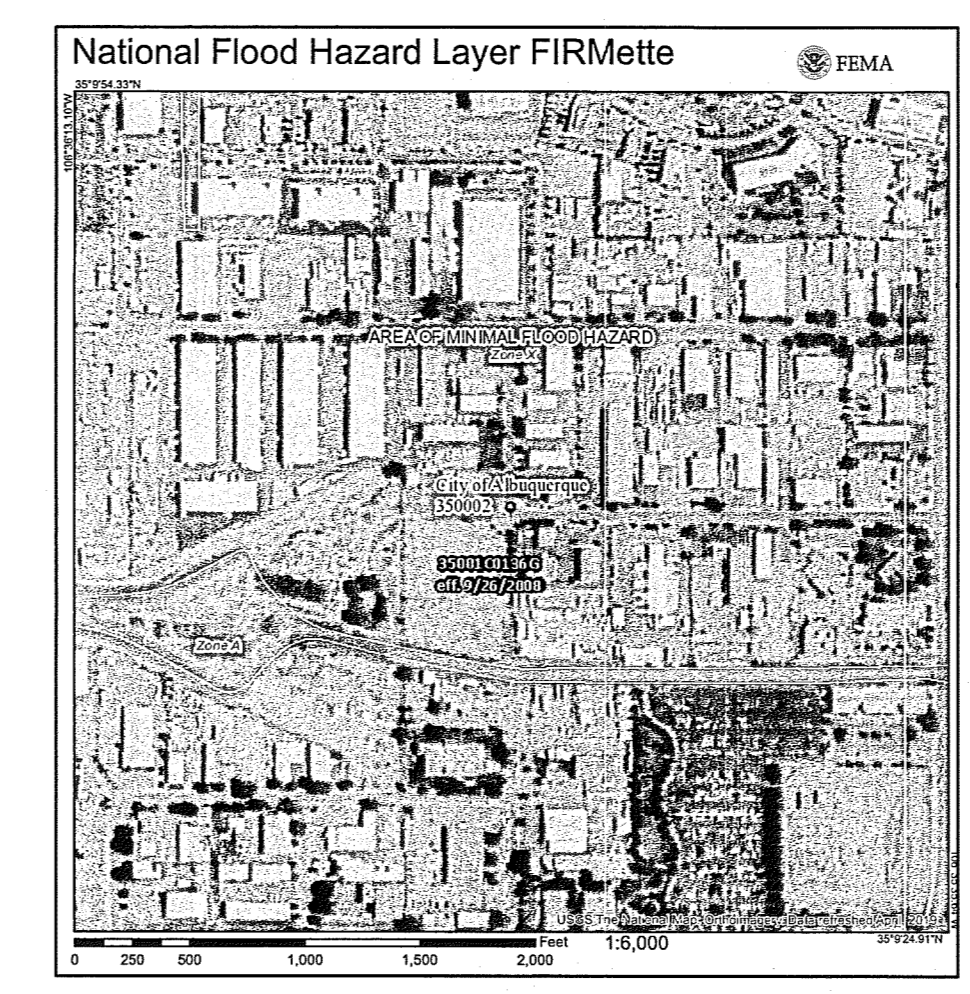
1ST FLUSH  $V = (0.34/12)(124,100) = 3,516$  CF

The proposed retention storage area provides  $V = 1120 + 2400$  CF = 3,520 CF (3520 > 3516 OK)

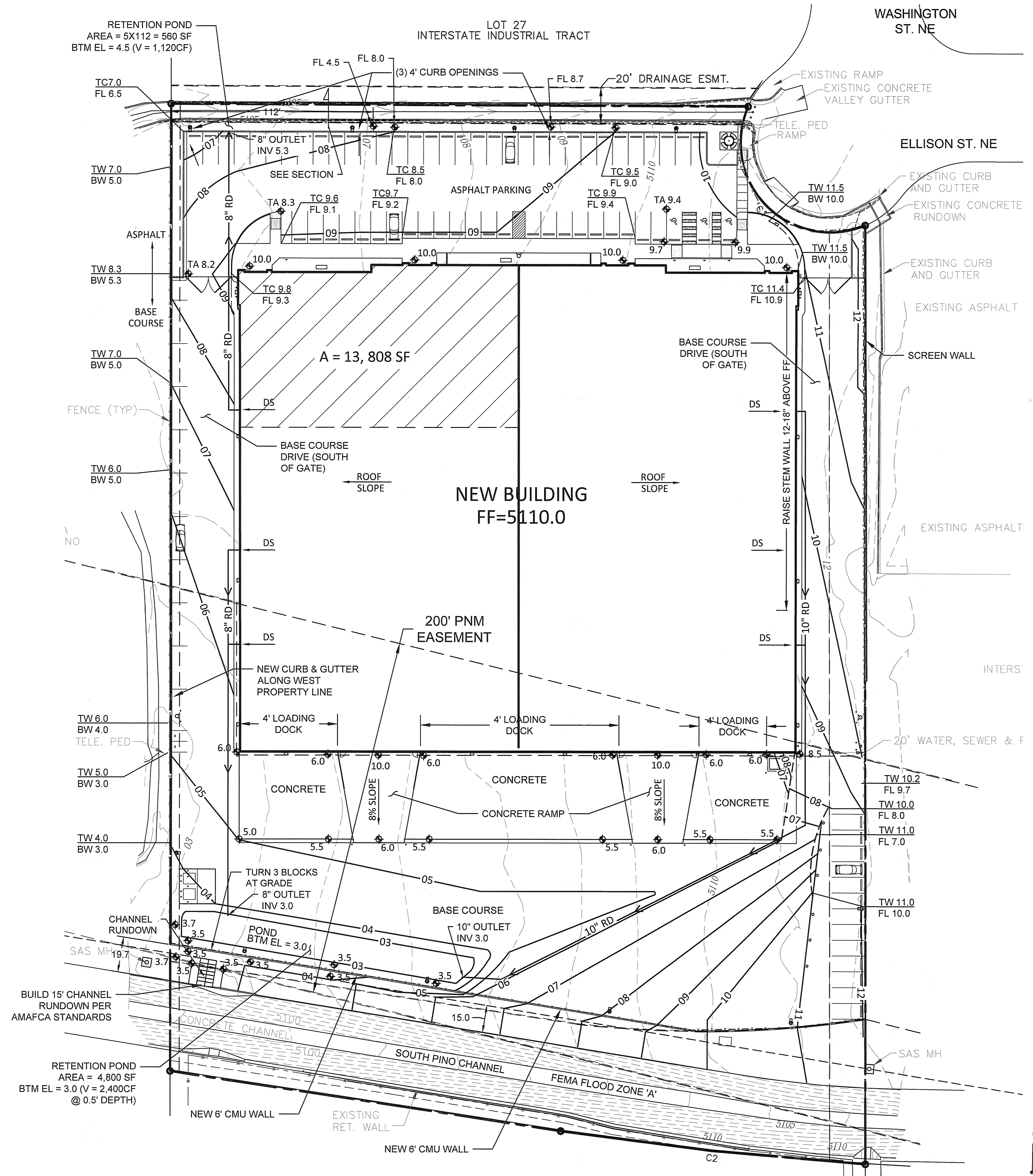


SECTION

1/4" = 1'-0"

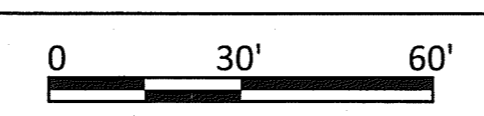


FIRM MAP

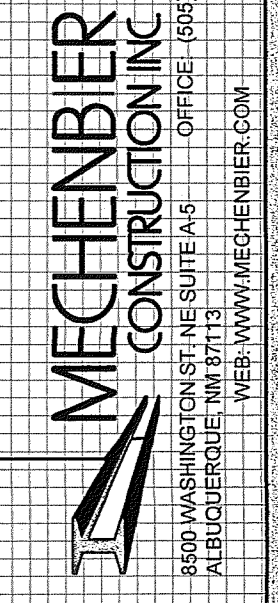


PRELIMINARY GRADING AND DRAINAGE PLAN

1" = 30'



NOT FOR CONSTRUCTION



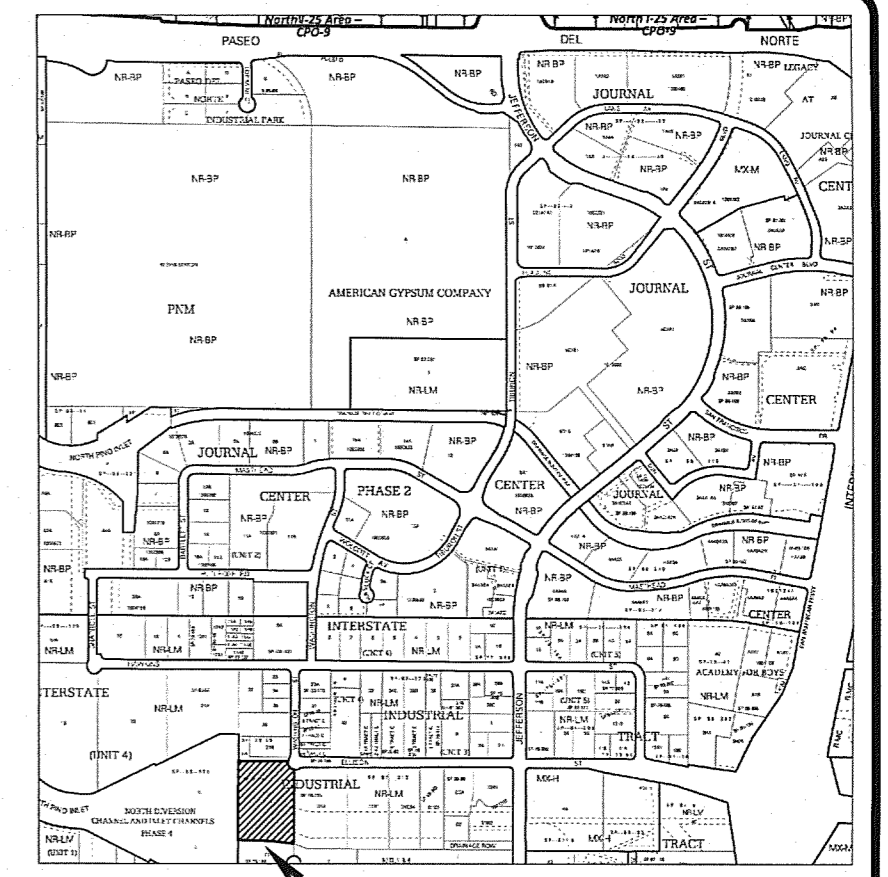




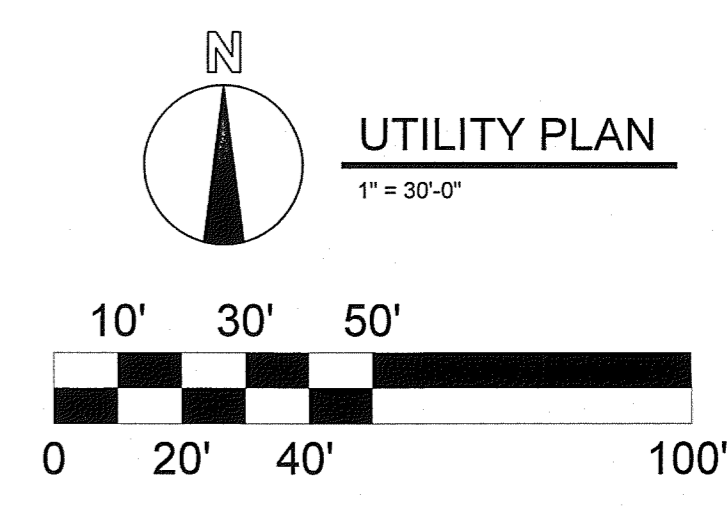
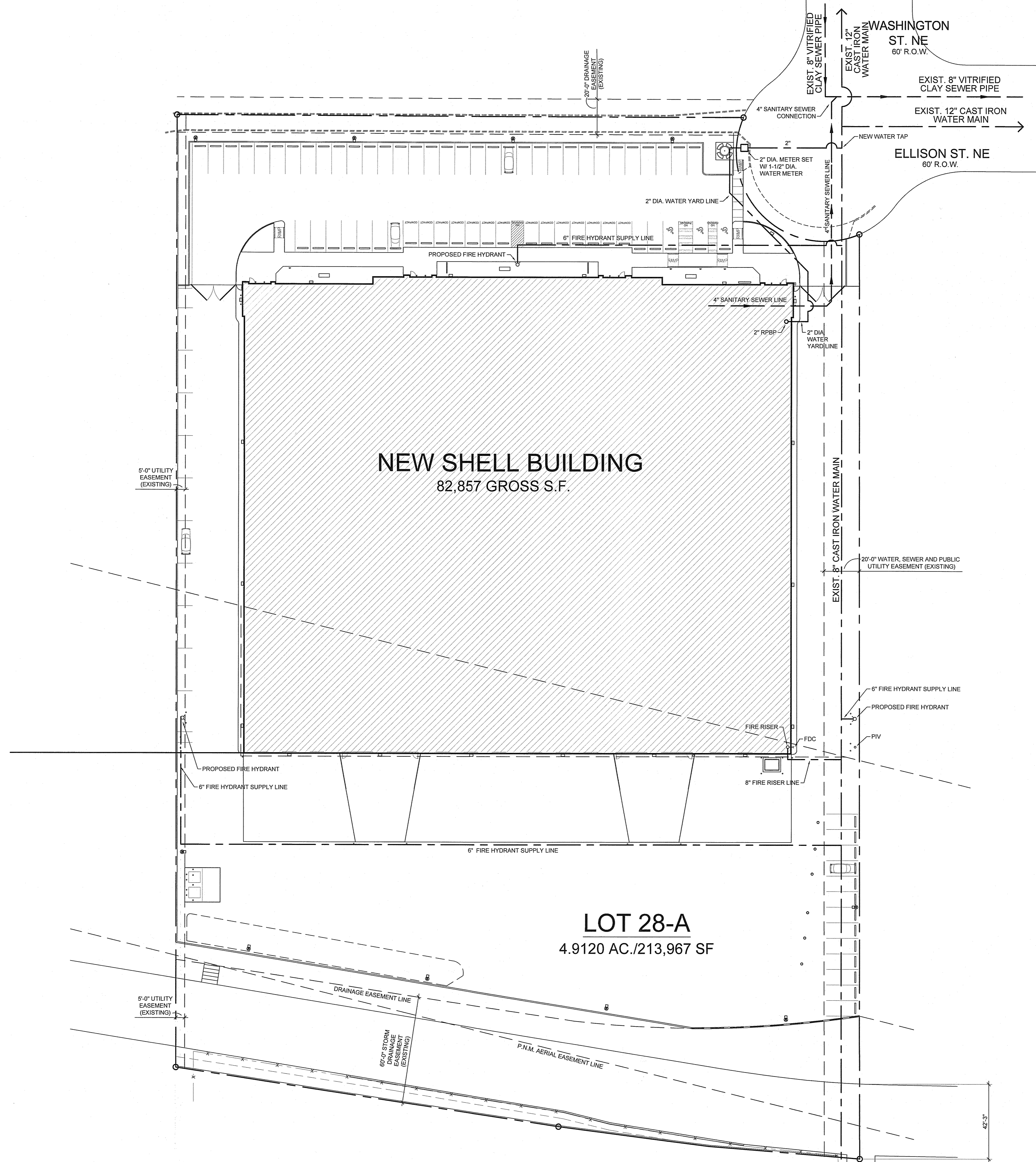


REVISIONS:

SCALE:  
1" = 30'-0"  
PLAN DATE:  
AUGUST 30, 2019  
FILENAME:  
4000 ELLISON  
DRAWN BY:  
B. KLEINSCHMIDT



PROJECT SITE  
VICINITY MAP: D-17-Z  
SCALE: N.T.S.



SITE UTILITY

SHELL CONSTRUCTION  
WAREHOUSE/FLEX BUILDING  
4000 ELLISON STREET NE  
ALBUQUERQUE, NEW MEXICO 87109

MECHENBIE  
CONSTRUCTION INC.  
8500 WASHINGTON ST. NE SUITE A-5  
ALBUQUERQUE, NM 87115  
WEB: WWW.MECHENBIE.COM  
OFFICE: (505) 314-7700

**INFRASTRUCTURE LIST**

Current DRC  
Project Number: \_\_\_\_\_

FIGURE 12

Date Submitted: 7/25/2019  
Date Site Plan Approved: \_\_\_\_\_  
Date Preliminary Plat Approved: \_\_\_\_\_  
Date Preliminary Plat Expires: \_\_\_\_\_  
DRB Project No.: \_\_\_\_\_  
DRB Application No.: \_\_\_\_\_

**INFRASTRUCTURE LIST**

**EXHIBIT "A"  
TO SUBDIVISION IMPROVEMENTS AGREEMENT  
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

**LOT 28-A INTERSTATE INDUSTRIAL TRACT  
PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN**

**LOT 28-A INTERSTATE INDUSTRIAL TRACT  
EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION**

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
<input type="text"/>	<input type="text"/>	3	PRIVATE FIRE HYDRANTS	ONSITE			/	/	/
<input type="text"/>	<input type="text"/>	8"	BUILDING FIRE SPRINKLER SUPPLY LINE	EAST OF BUILDING	EXISTING 8" W	BUILDING	/	/	/
<input type="text"/>	<input type="text"/>	2	DRIVEPADS	ELLISON CUL-DE-SAC			/	/	/
<input type="text"/>	<input type="text"/>	6'	PUBLIC SIDEWALK	ELLISON CUL-DE-SAC			/	/	/
<input type="text"/>	<input type="text"/>	4"	SANITARY SEWER SERVICE	ELLISON CUL-DE-SAC			/	/	/
<input type="text"/>	<input type="text"/>	1-1/2"	WATER SERVICE	ELLISON CUL-DE-SAC			/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/

**NOTES**

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA  
Street Lights per City Requirements

- 1 \_\_\_\_\_
- 2 \_\_\_\_\_
- 3 \_\_\_\_\_

<b>AGENT / OWNER</b>	<b>DEVELOPMENT REVIEW BOARD MEMBER APPROVALS</b>
----------------------	--------------------------------------------------

Jeremy Mechenbier  
NAME (print)

Mechenbier Construction, Inc.  
FIRM

7/24/19  
SIGNATURE - date

_____ DRB CHAIR - date	_____ PARKS & GENERAL SERVICES - date
_____ TRANSPORTATION DEVELOPMENT - date	_____ AMAFCA - date
_____ ABCWUA - date	_____ - date
_____ CITY ENGINEER - date	_____ - date

MAXIMUM TIME ALLOWED TO CONSTRUCT  
THE IMPROVEMENTS WITHOUT A DRB  
EXTENSION: \_\_\_\_\_

<b>DESIGN REVIEW COMMITTEE REVISIONS</b>
------------------------------------------

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER