



Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

SUBDIVISIONS	<input type="checkbox"/> Final Sign off of EPC Site Plan(s) (Form P2)	
<input type="checkbox"/> Major - Preliminary Plat (Form P1)	<input type="checkbox"/> Amendment to Site Plan (Form P2)	<input type="checkbox"/> Vacation of Public Right-of-way (Form V)
<input type="checkbox"/> Minor - Preliminary/Final Plat (Form S2)	MISCELLANEOUS APPLICATIONS	<input type="checkbox"/> Vacation of Public Easement(s) DRB (Form V)
<input type="checkbox"/> Major - Final Plat (Form S1)	<input type="checkbox"/> Extension of Infrastructure List or IIA (Form S1)	<input type="checkbox"/> Vacation of Private Easement(s) (Form V)
<input type="checkbox"/> Amendment to Preliminary Plat (Form S2)	<input type="checkbox"/> Minor Amendment to Infrastructure List (Form S2)	PRE-APPLICATIONS
<input type="checkbox"/> Extension of Preliminary Plat (Form S1)	<input type="checkbox"/> Temporary Deferral of SNW (Form V2)	<input type="checkbox"/> Sketch Plat Review and Comment (Form S2)
	<input type="checkbox"/> Sidewalk Waiver (Form V2)	
SITE PLANS	<input type="checkbox"/> Waiver to IDO (Form V2)	APPEAL
<input checked="" type="checkbox"/> DRB Site Plan (Form P2)	<input type="checkbox"/> Waiver to DPM (Form V2)	<input type="checkbox"/> Decision of DRB (Form A)

BRIEF DESCRIPTION OF REQUEST
 Proposed construction of new 82,000 sf speculative office/warehouse on 4.9 acre NR-LM zoned lot.

APPLICATION INFORMATION

Applicant: <u>Mechenbier Construction, Inc.</u>	Phone: <u>505-314-7700</u>
Address: <u>8500 Washington St. NE, Ste. A-5</u>	Email: <u>jeremy.mechenbier@mechenbier.com</u>
City: <u>Albuquerque</u> State: <u>New Mexico</u>	Zip: <u>87113</u>
Professional/Agent (if any): <u>Jeremy Mechenbier</u>	Phone: <u>(e) 505-948-0785</u>
Address: <u>8500 Washington St. NE, Ste. A-5</u>	Email: <u>jeremy.mechenbier@mechenbier.com</u>
City: <u>Albuquerque</u> State: <u>New Mexico</u>	Zip: <u>87113</u>
Proprietary Interest in Site: <u>None</u>	List all owners: <u>John Mechenbier, Michael Mechenbier</u>

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.: <u>28-A</u>	Block:	Unit:
Subdivision/Addition: <u>Interstate Industrial Tract</u>	MRGCD Map No.:	UPC Code: <u>101706315 01030212</u>
Zone Atlas Page(s): <u>D-17</u>	Existing Zoning: <u>NR-LM</u>	Proposed Zoning: <u>-</u>
# of Existing Lots: <u>1</u>	# of Proposed Lots: <u>-</u>	Total Area of Site (Acres): <u>4.9</u>

LOCATION OF PROPERTY BY STREETS

Site Address/Street: 4000 Ellison St. NE Between: Ellison St. and: Osuna Rd.

CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

Signature: [Signature] Date: 7/23/19
 Printed Name: Jeremy Mechenbier Applicant or Agent

FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees	Case Numbers	Action	Fees

Meeting Date: _____ Fee Total: _____
 Staff Signature: _____ Date: _____ Project # _____

FORM P2: SITE PLAN – DRB

Please refer to the DRB public meeting schedules for meeting dates and deadlines. Your attendance is required.

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD. PDF shall be organized with the Development Review Application and this Form P2 at the front followed by the remaining documents in the order provided on this form.

SITE PLAN – DRB

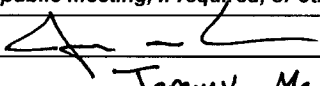

MAJOR AMENDMENT TO SITE PLAN – DRB

EXTENSION OF SITE PLAN – DRB

- Interpreter Needed for Hearing? **NO** if yes, indicate language: _____
- PDF of application as described above
- Zone Atlas map with the entire site clearly outlined and labeled
- Letter of authorization from the property owner if application is submitted by an agent
- Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A) (not required for Extension)
- Signed Traffic Impact Study (TIS) Form
- Signed Form DRWS Drainage Report, Grading and Drainage Plan, and Water & Sewer Availability Statement filing information (not required for Extension)
- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-6(G)(3)
- Explanation and justification of requested deviations, if any, in accordance with IDO Section 14-16-6-4(O)
Note: If requesting more than allowed by deviation, a Variance – ZHE or Variance – DRB will be required, as applicable.
- Proof of Pre-Application Meeting with City staff per IDO Section 14-16-6-4(B) (not required for Extension)
- Proof of Neighborhood Meeting per IDO Section 14-16-6-4(C)
 - Office of Neighborhood Coordination neighborhood meeting inquiry response
 - Proof of email with read receipt OR Certified Letter offering meeting to applicable associations
 - If a meeting was requested or held, copy of sign-in sheet and meeting notes
- Sign Posting Agreement
- Required notices with content per IDO Section 14-16-6-4(K)(6)
 - Office of Neighborhood Coordination notice inquiry response
 - Copy of notification letter and proof of first class mailing
 - Proof of emailed notice to affected Neighborhood Association representatives
 - Buffer map and list of property owners within 100 feet (excluding public rights-of-way) provided by Planning Department or created by applicant, copy of notifying letter, and proof of first class mailing ✓
- Completed Site Plan Checklist
- Site Plan and related drawings (7 copies, 24" x 36" folded to fit into an 8.5" x 14" pocket)
- Copy of the original approved Site Plan or Master Development Plan (for amendments only) (1 copy, 24" x 36")
- Site Plan and related drawings reduced to 8.5" x 11" format (1 copy)
- Landfill disclosure statement per IDO Section 14-16-5-2(G) if site is within a designated landfill buffer zone
- Infrastructure List, if required

FINAL SIGN-OFF FOR MASTER DEVELOPMENT PLANS AND SITE PLANS – EPC

- Interpreter Needed for Hearing? _____ if yes, indicate language: _____
- PDF of application as described above
- Zone Atlas map with the entire site clearly outlined and labeled
- Letter of authorization from the property owner if application is submitted by an agent
- Solid Waste Department signature on Site Plan
- Signed Form DRWS Drainage Report, Grading and Drainage Plan, and Water & Sewer Availability Statement filing information
- Approved Grading and Drainage Plan
- Copy of Site Plan with Fire Marshal's stamp, i.e. "Fire 1" plan (not required for Master Development Plans)
- Copy of EPC Notice of Decision and letter explaining how each EPC condition has been met
- Site Plan and related drawings (7 copies, 24" x 36" folded to fit into an 8.5" x 14" pocket)
- Site Plan and related drawings reduced to 8.5" x 11" format (1 copy)
- Infrastructure List, if required

I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting, if required, or otherwise processed until it is complete.	
Signature: 	Date: 7/23/19
Printed Name: Jeremy Mechenbier	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent
FOR OFFICIAL USE ONLY	
Case Numbers:	Project Number:
Staff Signature:	
Date:	



7-22-19

Plaza del Sol Building
600 2nd St. NW
Albuquerque, NM 87102

RE: Letter of Authorization

Development Review Board Members,

Security Self Storage, Inc., which is the owner of 4000 Ellison St. NE, states that Jeremy Mechenbier with Mechenbier Construction, Inc. is duly authorized to act as agent for this project on behalf of above noted owner. Please contact John Mechenbier who is part principal of Security Self Storage, Inc. at 505-314-7700 if there are any problems arising from this request.

Respectfully,

A handwritten signature in black ink, appearing to read "John Mechenbier", is written over a large, circular scribble. The signature is fluid and cursive.

John Mechenbier

Mechenbier Construction, Inc.
8500 Washington St. NE, Ste. A-5
Albuquerque, New Mexico 87113

CITY OF ALBUQUERQUE

TRAFFIC IMPACT STUDY (TIS) FORM

APPLICANT: Mechenbier Construction, Inc. DATE OF REQUEST: 7/12/19 ZONE ATLAS PAGE(S): D-17

CURRENT:

ZONING NR-LM
PARCEL SIZE (AC/SQ. FT.) 4.91 ac.

LEGAL DESCRIPTION:

LOT OR TRACT # 28-A BLOCK # _____
SUBDIVISION NAME Interstate Industrial Tract

REQUESTED CITY ACTION(S):

ANNEXATION []
ZONE CHANGE []: From _____ To _____
SECTOR, AREA, FAC, COMP PLAN []
AMENDMENT (Map/Text) []

SITE DEVELOPMENT PLAN:

SUBDIVISION* [] AMENDMENT []
BUILDING PERMIT ACCESS PERMIT []
BUILDING PURPOSES [] OTHER []

*includes platting actions

PROPOSED DEVELOPMENT:

NO CONSTRUCTION/DEVELOPMENT []
NEW CONSTRUCTION
EXPANSION OF EXISTING DEVELOPMENT []

GENERAL DESCRIPTION OF ACTION:

OF UNITS: 1
BUILDING SIZE: 82,857 (sq. ft.)
(~76,857 sq. ft. warehouse
~2,000 office)

Note: changes made to development proposals / assumptions, from the information provided above, will result in a new TIS determination.

APPLICANT OR REPRESENTATIVE [Signature] DATE 7/12/19

(To be signed upon completion of processing by the Traffic Engineer)

Planning Department, Development & Building Services Division, Transportation Development Section -
2ND Floor West, 600 2nd St. NW, Plaza del Sol Building, City, 87102, phone 924-3994

TRAFFIC IMPACT STUDY (TIS) REQUIRED: YES [] NO BORDERLINE []

THRESHOLDS MET? YES [] NO MITIGATING REASONS FOR NOT REQUIRING TIS: PREVIOUSLY STUDIED: []
Notes:

If a TIS is required: a scoping meeting (as outlined in the development process manual) must be held to define the level of analysis needed and the parameters of the study. Any subsequent changes to the development proposal identified above may require an update or new TIS.

[Signature]
TRAFFIC ENGINEER

7/12/19
DATE

Required TIS **must be completed prior to applying to the EPC and/or the DRB**. Arrangements must be made prior to submittal if a variance to this procedure is requested and noted on this form, otherwise the application may not be accepted or deferred if the arrangements are not complied with.

TIS -SUBMITTED ___/___/___
-FINALIZED ___/___/___ TRAFFIC ENGINEER _____ DATE _____

FORM DRWS: DRAINAGE REPORT/GRADING AND DRAINAGE PLAN / WATER & SANITARY SEWER AVAILABILITY
THIS FORM IS REQUIRED WITH THE DEVELOPMENT REVIEW BOARD APPLICATION FOR SUBDIVISIONS AND SITE PLANS.

PROJECT NAME: 4000 Ellison St. NE

AGIS MAP # _____

LEGAL DESCRIPTIONS: Lot 28-A

Interstate Industrial Tract

DRAINAGE REPORT/GRADING AND DRAINAGE PLAN

A drainage report/grading and drainage plan, as per the Drainage Ordinance, was submitted to the City of Albuquerque Planning Department, Hydrology Division (2nd /Ground Floor, Plaza del Sol) on 7/24/19 (date).

Jeremy Mechenbier
Applicant/Agent

7/24/19
Date

Loth Elliott
Hydrology Division Representative

7-24-19
Date

NOTE: A GRADING AND DRAINAGE PLAN MUST BE APPROVED PRIOR TO DRB APPROVAL

WATER AND SEWER AVAILABILITY STATEMENT

A Water and Sewer Availability Statement for this project was requested to the ABCWUA (2nd/Ground floor, Plaza del Sol) on 7/15/19 (date).

request (07/15/19)

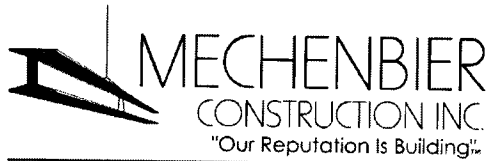
Jeremy Mechenbier
Applicant/Agent

7/15/19
Date

Chris [Signature]
ABCWUA Representative

07/22/19
Date

PROJECT # _____



7-22-19

Plaza del Sol Building
600 2nd St. NW
Albuquerque, NM 87102

Development Review Board Members,

Mechenbier Construction, Inc. in conjunction with Security Self Storage, Inc. is submitting plans and required documentation to your board in the hopes of constructing a new 82,000 square foot speculative office/warehouse building starting in October. This building will be constructed using concrete tilt panels while using stucco bump outs to give contrast and depth to the front façade per the IDO. We have done our due diligence in designing a site plan as well as accompanying elevations, landscaping and utility sheets to stay in compliance with all applicable provisions of the new IDO and the DPM.

We feel with the addition of a new building in this vicinity of the city that we are not imposing any additional stresses or burdens on the public water systems, storm drain systems or the roadway infrastructures around the vicinity. We will be retaining first flush water on site in order to alleviate any undue duress on the MS4 system or on adjacent properties. We have also done our due diligence in getting a required water and sewer availability statement to make sure that the infrastructure in place is capable of supporting a new building.

This building in no way causes any adverse impacts on the surrounding community and benefits the city through property tax and gross receipts tax collection as well as providing construction jobs within the city.

We respectfully ask for your insights, expertise and ultimate approval in bringing this project to fruition.

Respectfully,

Jeremy Mechenbier

A handwritten signature in black ink, appearing to read 'Jeremy Mechenbier', is written over a horizontal line.

Mechenbier Construction, Inc.
8500 Washington St. NE, Ste. A-5
Albuquerque, New Mexico 87113

PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 19-227 Date: 7.23.19 Time: 2:30pm

Address: 4000 Ellison St. NE

AGENCY REPRESENTATIVES AT MEETING:

Planning: WHITNEY PHELAN

Code Enforcement: CARL GARCIA

Fire Marshall: _____

Transportation: _____

Other: _____

PRT DISCUSSIONS ARE FOR INFORMATIONAL PURPOSES ONLY!

THEY ARE NON-BINDING AND DO NOT CONSTITUTE ANY KIND OF APPROVAL..

*Additional research may be necessary to determine the exact type of application and/or process needed.
Factors unknown at this time and/or thought of as minor could become significant as the case progresses.*

REQUEST: 82, 857 # OFFICE / WAREHOUSE WITH 28' CLEAR
INTERIOR INTERIOR HEIGHT

SITE INFORMATION:

Zone: NR-LM

Size: 4.91 ACRES

Use: OFFICE

Overlay Zone: _____

Comp Plan Area Of: _____

Comp Plan Corridor: _____

Comp Plan Center: _____

MPOS or Sensitive Lands: _____

Parking: _____

MR Area: _____

Landscaping: _____

Street Trees: _____

Use Specific Standards: _____

Dimensional Standards: TABLE 5-1-3 Pg 195

*Neighborhood Organization/s: Alameda N. Valley NA + North Valley Coalition

**This is preliminary information only. Neighborhood Organization information is only accurate when obtained from the Office of Neighborhood Coordination (ONC) at www.cabq.gov/neighborhoods/resources.*

PROCESS:

Type of Action: DRB - Site Plan

Review and Approval Body: DRB Is this PRT a requirement? Yes

PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 19-227 Date: 7.23.19 Time: 2:30pm

Address: 4000 Ellison St. NE

NOTES:

DRB - Site Plan for approval

Dimensional Standards Pg 195 Table 5-1-3

Table 6-1-1 Pg 328 for application process

If approved, please include NOD +
neighborhood notification with building
permit application.

Jeremy Mechenbier

From: Carmona, Dalaina L. <dlcarmona@cabq.gov>
Sent: Friday, July 12, 2019 2:34 PM
To: Jeremy Mechenbier
Subject: Public Notice Inquiry_4000 Ellison St. NE_DRB
Attachments: Zone Atlas D-17 4000 Ellison.pdf; Public Notice Inquiry_4000 Ellison St. NE_DRB.xlsx

Jeremy,

See list of associations below and attached regarding your DRB submittal. In addition, we have included web links below that will provide you with additional details about the new Integrated Development Ordinance (IDO) requirements. The web links also include notification templates that you may utilize when contacting each association. Thank you.

Association Name	First Name	Last Name	Email	Address Line 1	Address Line 2	City	State	Zip	Mobile Phone	Phone
✓ District 4 Coalition of Neighborhood Associations	Daniel	Regan	dlreganabq@gmail.com	4109 Chama Street NE		Albuquerque	NM	87109	5052802549	
✓ District 4 Coalition of Neighborhood Associations	Michael	Pridham	michael@drpridham.com	6413 Northland Avenue NE		Albuquerque	NM	87109	5053212719	505872
✓ North Valley Coalition	Peggy	Norton	peggnorton@yahoo.com	P.O. Box 70232		Albuquerque	NM	87197	5058509293	505345
✓ North Valley Coalition	Doyle	Kimbrough	newmexmba@aol.com	2327 Campbell Road NW		Albuquerque	NM	87104	5052490938	505344
✓ Alameda North Valley Association	Mark	Rupert	mwr505@hotmail.com	909 Tijeras Avenue NW	#214	Albuquerque	NM	87102		505270
✓ Alameda North Valley Association	Steve	Wentworth	anvanews@aol.com	8919 Boe Lane NE		Albuquerque	NM	87113		505897

IDO – Public Notice Requirements & Template: <https://www.cabq.gov/planning/urban-design-development/public-notice>

IDO – Neighborhood Meeting Requirements & Template: <https://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>

IDO - Administration & Enforcement section: <http://documents.cabq.gov/planning/IDO/IDO-Effective-2018-05-17-Part6.pdf>

Dalaina L. Carmona

Senior Administrative Assistant
Office of Neighborhood Coordination
Council Services Department
1 Civic Plaza NW, Suite 9087, 9th Floor

Jeremy Mechenbier

From: Dan & Liz Regan <dlreganabq@gmail.com>
Sent: Monday, July 22, 2019 3:03 PM
To: Jeremy Mechenbier
Cc: Peggy Norton; anvanews@aol.com; Dan Regan; michael@drpridham.com; 'Jim Griffee'; peggyd333@yahoo.com
Subject: RE: 4000 Ellison DRB submittal

Jeremy,

I am copying Peggy Norton (North Valley Coalition) and Steve Wentworth (Alameda North Valley Association) with this email. I have gotten indications from both of them that they have no questions about your project at 4000 Ellison.

If you want to check with them about their current sense of this project, feel free to do so.

District 4 Coalition, for what it is worth, has no objection to the project proceeding and see no need for any neighborhood meetings. I am taking my lead from Peggy and Steve on this.

Thanks for your follow up on this issue.

Dan Regan
District 4 Coalition
Chair, Zoning / Development Committee

From: Jeremy Mechenbier [mailto:jeremymechenbier@mechenbier.com]
Sent: Monday, July 22, 2019 2:31 PM
To: Dan & Liz Regan <dlreganabq@gmail.com>
Subject: RE: 4000 Ellison DRB submittal

Good Afternoon Dan and Liz,

I am writing in asking if either of you or any constituents within your neighborhood have any concerns with regards to our new development located at 4000 Ellison. If there is a need for a neighborhood meeting I completely understand. If there is not, I am requesting that you send back an e-mail stating that so that I can submit this application by Thursday. I thank you both for your time and help. Please don't hesitate to contact me with any questions or concerns.

Respectfully,

Jeremy Mechenbier
Mechenbier Construction, Inc.
8500 Washington St. NE, Ste. A-5
Albuquerque, NM 87113
jeremymechenbier@mechenbier.com
(O): 505-314-7700 (C): 505-948-0785

Jeremy Mechenbier

From: Peggy Norton <peggynorton@yahoo.com>
Sent: Monday, July 22, 2019 2:50 PM
To: Jeremy Mechenbier
Cc: Doyle Kimbrough
Subject: Re: 4000 Ellison DRB Neighborhood meeting

On behalf of the North Valley Coalition, we will defer to District 4 Coalition and ANVA. We will not request a meeting but if any other party requests one, we want to be invited. Thank you.

Peggy Norton, President
North Valley Coalition

On Monday, July 22, 2019, 2:35:27 PM MDT, Jeremy Mechenbier <jeremymechenbier@mechenbier.com> wrote:

Peggy,

With regards to our phone discussion would you please send me an e-mail stating that you are not interested in scheduling a neighborhood meeting about the proposed building or use at this time please. I appreciate your time and help.

Regards,

Jeremy Mechenbier

Mechenbier Construction, Inc.

8500 Washington St. NE, Ste. A-5

Albuquerque, NM 87113

jeremymechenbier@mechenbier.com

(O): 505-314-7700 (C): 505-948-0785

Jeremy Mechenbier

From: anvanews@aol.com
Sent: Monday, July 15, 2019 9:29 AM
To: Jeremy Mechenbier
Subject: Re: Neighborhood meeting about future development application for 4000 Ellison

Mr. Mechenbier,
The Alameda North Valley Association is not interested in meeting about the proposed use. Thank you for sending the information.
Steve Wentworth

Website: www.anvanews.com

Email: anvanews@aol.com

In a message dated 7/12/2019 5:19:21 PM Mountain Standard Time, jeremymechenbier@mechenbier.com writes:

Steve Wentworth,

My name is Jeremy Mechenbier with Mechenbier Construction and we will be submitting for a new site plan with the City of Albuquerque Development Review Board. Per the new IDO, I am required to send you the Neighborhood meeting about future development application. I have also attached the site plan, elevations and zone atlas page. Please don't hesitate to contact me with any questions or concerns about this proposed future development.

Respectfully,

Jeremy Mechenbier

Mechenbier Construction, Inc.

8500 Washington St. NE, Ste. A-5

Albuquerque, NM 87113

jeremymechenbier@mechenbier.com

(O): 505-314-7700 (C): 505-948-0785



Jeremy Mechenbier

From: Dan & Liz Regan <dlreganabq@gmail.com>
To: Jeremy Mechenbier
Sent: Monday, July 15, 2019 11:31 AM
Subject: Read: Neighborhood meeting about future development application for 4000 Ellison

Your message

To: Dan & Liz Regan
Subject: RE: Neighborhood meeting about future development application for 4000 Ellison
Sent: 7/15/2019 9:31 AM

was read on 7/15/2019 11:30 AM.

Jeremy Mechenbier

From: Michael Pridham <michael@drpridham.com>
Sent: Monday, July 22, 2019 2:54 PM
To: Jeremy Mechenbier
Subject: Re: Neighborhood meeting about future development application for 4000 Ellison
Attachments: image001.jpg; IMG_20190722_145142.jpg

Hi Jeremy,

That's odd that my email to you didn't go through either. I got this one and thank you for sending it to me. It sounds like we don't have any issues or further questions.

Michael

On Mon, Jul 22, 2019, 2:27 PM Jeremy Mechenbier <jeremymechenbier@mechenbier.com> wrote:

Sir,

Below is the first e-mail that I had sent on the 12th along with the accompanying attachments. Please don't hesitate to contact me with any questions or concerns. I am in no way pressuring you at all but if you do not see any need in scheduling a neighborhood meeting would you be so kind as to e-mail me back stating that. I would like to submit these plans in to DRB at the city by Thursday and need your nod of approval.

Respectfully,

Jeremy Mechenbier

Mechenbier Construction, Inc.

8500 Washington St. NE, Ste. A-5

Albuquerque, NM 87113

jeremymechenbier@mechenbier.com

(O): 505-314-7700 (C): 505-948-0785

Jeremy Mechenbier

From: Microsoft Outlook
To: peggynorton@yahoo.com
Sent: Friday, July 12, 2019 5:18 PM
Subject: Relayed: RE: Neighborhood meeting about future development application for 4000 Ellison

Delivery to these recipients or groups is complete, but no delivery notification was sent by the destination server:

peggynorton@yahoo.com (peggynorton@yahoo.com)

Subject: RE: Neighborhood meeting about future development application for 4000 Ellison

Jeremy Mechenbier

From: Microsoft Outlook
To: newmexmba@aol.com
Sent: Friday, July 12, 2019 5:21 PM
Subject: Relayed: RE: Neighborhood meeting about future development application for 4000 Ellison

Delivery to these recipients or groups is complete, but no delivery notification was sent by the destination server:

newmexmba@aol.com (newmexmba@aol.com)

Subject: RE: Neighborhood meeting about future development application for 4000 Ellison

Jeremy Mechenbier

From: postmaster@outlook.com
To: mwr505@hotmail.com
Sent: Friday, July 12, 2019 5:23 PM
Subject: Delivered: RE: Neighborhood meeting about future development application for 4000 Ellison

Your message has been delivered to the following recipients:

mwr505@hotmail.com (mwr505@hotmail.com)

Subject: RE: Neighborhood meeting about future development application for 4000 Ellison

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

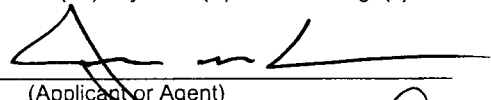
4. TIME

Signs must be posted from August 6, 2019 To August 21, 2019

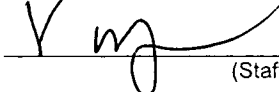
5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.



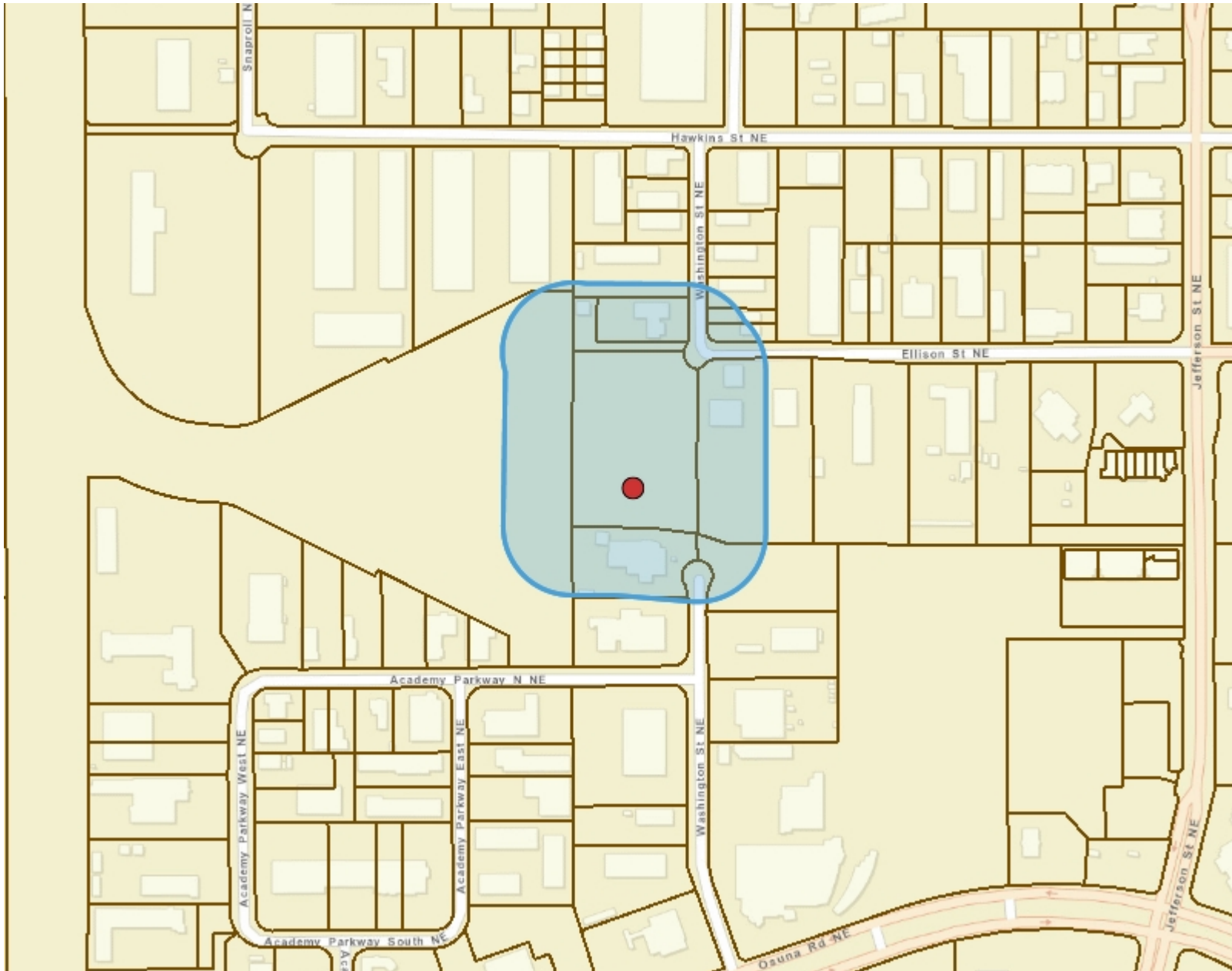
(Applicant or Agent) 7/11/19
(Date)

I issued 1 signs for this application, 7-22-19 
(Date) (Staff Member)

PROJECT NUMBER: _____



4000 Ellison St. NE

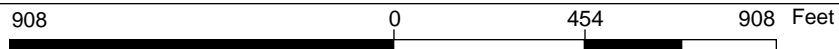


Legend

- Bernalillo County Parcels
- Municipal Limits**
- Corrales
- Edgewood
- Los Ranchos
- Rio Rancho
- Tijeras
- UNINCORPORATED

Notes

Buffer: 210ft.
 ROW: Ellison St. 110ft.



WGS_1984_Web_Mercator_Auxiliary_Sphere
 7/11/2019 © City of Albuquerque

1: 5,448

The City of Albuquerque ("City") provides the data on this website as a service to the public. The City makes no warranty, representation, or guaranty as to the content, accuracy, timeliness, or completeness of any of the data provided at this website. Please visit <http://www.cabq.gov/abq-data/abq-data-disclaimer-1> for more information.
THIS MAP IS NOT TO BE USED FOR NAVIGATION

HBC PARTNERS LLC
5112 N 40TH ST SUITE 105
PHOENIX AZ 85018

OUTLOOK GROUP LLC
4120 ELLISON ST NE SUITE D
ALBUQUERQUE NM 87109

KNEE ERNEST ROSSER RVT
12800 JOELLE RD NE
ALBUQUERQUE NM 87112

PAXSON JOE A & LINDA S
12524 CRESTED MOSS RD NE
ALBUQUERQUE NM 87122-1280

HARROUN PROPERTIES LLC
515 TRES LAGUNAS LN NE
ALBUQUERQUE NM 87113

HARROUN PROPERTIES LLC
515 TRES LAGUNAS LN NE
ALBUQUERQUE NM 87113

JORGENSEN FORDE PROPERTIES LLC
7131 WASHINGTON ST NE
ALBUQUERQUE NM 87109

SECURITY SELF STORAGE INC
8500 WASHINGTON NE SUITE A-5
ALBUQUERQUE NM 87113

HOGBACK NEW MEXICO LLC & 3921
ACADEMY PARKWAY LLC & ZIM NEW
MEXICO LLC
11 NATOMA ST SUITE 120
FOLSOM CA 95630

ACADEMY CORPORATION
6905 WASHINGTON NE
ALBUQUERQUE NM 87109

NEWPORT PROPERTIES LTD
PO BOX 93185
ALBUQUERQUE NM 87199

SLA PROPERTIES II LLC
715 E COMMERCE DR
SAINT GEORGE UT 84790-4941

AMAFCA
2600 PROSPECT AVE NE
ALBUQUERQUE NM 87107-1836

[Note: Items with an asterisk (*) are required.]

7-16-19

[Date*]

To whom it may concern

[Name* of Property Owner or Neighborhood Association (NA) Representative, Name of NA]

[Address* of Property Owner or NA Representative]

RE: Public Notice of Proposed Project

Dear Property owner [Name* of Property Owner or NA Representative],

In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K)(2) Mailed Public Notice, we are notifying you as a

Property owner [Property Owner or NA Representative] that
Mechenbier Construction, Inc. [Name of Agent/Property Owner/Developer]

will be submitting the following application(s): [Application(s) per Table 6-1-1 in the IDO]

Site Plan - DRB

to be reviewed and decided by [Decision-making body per Table 6-1-1]

Development Review Board

The application(s) is/are for [description of project/request]

Construction of a speculative 82,000 sf office/warehouse shell.

1. Property Owner* Security Self Storage, Inc.
2. Agent* [if applicable] Jeremy Mechenbier
3. Subject Property Address* 4000 Ellison St. NE
4. Location Description Located west of the intersection of Jefferson St. and Ellison St.
5. Zone Atlas Page D-17 [Available here: <http://data.cabq.gov/business/zoneatlas/>]
6. Legal Description Lot 28-A of
7. Area of Property [typically in acres] 4.9
8. IDO Zone District _____

[Note: Items with an asterisk (*) are required.]

- 9. Overlay Zone(s) [if applicable] _____
- 10. Center or Corridor Area [if applicable] _____
- 11. Current Land Use [vacant, if none] Vacant
- 12. Deviations Requested [if applicable] _____
- 13. Variances Requested [if applicable] _____

The anticipated public hearing [meeting or hearing] for this request will be on
August 21st [date] at 9:00 AM [time]
 in the Hearing Room (Basement Level) of Plaza Del Sol, 600 2nd St NW, Albuquerque, NM 87102.*

You can check the agenda for the relevant decision-making body online here:
<https://www.cabq.gov/planning/boards-commissions> or call the Planning Department at 505-924-3860.

NOTE: Anyone may request and the City may require an applicant to attend a City-sponsored facilitated meeting with Neighborhood Associations, based on the complexity and potential impacts of a proposed project [IDO Section 14-16-6-4(D)]. To request a Facilitated Meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955. To view and download the Facilitated Meetings Criteria, visit <http://www.cabq.gov/planning/urban-design-development/facilitated-meetings-for-proposed-development>.

Please contact me with any questions or concerns at 505-948-0785 [phone number*] or
 via jeremy.mechenbief@mechenbief.com [email*].

More information about the project can be found here: [project webpage*, if applicable]

Useful Links

Integrated Development Ordinance (IDO):

<http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

Sincerely,

Jeremy Mechenbief [Agent/Property Owner/Developer]

Cc: _____ [Other Neighborhood Associations, if any]



Certificate Of Mailing

This Certificate of Mailing provides evidence that mail has been presented to USPS® for mail. This form may be used for domestic and international mail.

From: **Mechenbier Construction, Inc.**
8500 Washington St. NE
Suite A-5
Albuquerque, New Mexico 871

To: **Academy Corp.**
6905 Washington NE
Alb., NM 87109

PS Form 3817, April 2007 PSN 7530-02-000-9065

U.S. POSTAGE PAID
ALBUQUERQUE, NM
87109
JUL 16, 19
AMOUNT
\$1.45
R2304E106611-88



Certificate Of Mailing

This Certificate of Mailing provides evidence that mail has been presented to USPS® for mail. This form may be used for domestic and international mail.

From: **Mechenbier Construction, Inc.**
8500 Washington St. NE
Suite A-5
Albuquerque, New Mexico 871

To: **Paxson Joe and Linda S**
12524 Crested Moss Rd. NE
Alb., NM 87122-1280

PS Form 3817, April 2007 PSN 7530-02-000-9065

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This Certificate of Mailing provides evidence that mail has been presented to USPS® for mail. This form may be used for domestic and international mail.

From: **Mechenbier Construction, Inc.**
8500 Washington St. NE
Suite A-5
Albuquerque, New Mexico 8711

To: **SLA Properties II LLC**
715 E Commerce Dr.
St. George, UT 84790-494

PS Form 3817, April 2007 PSN 7530-02-000-9065

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From: **Mechenbier Construction, Inc**
8500 Washington St. NE
Suite A-5
Albuquerque, New Mexico 87109

To: **Newport Properties**
PO Box 93185
Alb., NM 87199

PS Form 3817, April 2007 PSN 7530-02-000-9065

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ALBUQUERQUE, NM
87109
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From: **Mechenbier Construction, Inc.**
8500 Washington St. NE
Suite A-5
Albuquerque, New Mexico 87111

To: **HBC Partners LLC**
5112 N 40th St. Ste. 105
Phoenix, AZ 85018

PS Form 3817, April 2007 PSN 7530-02-000-9065

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From: **Mechenbier Construction, Inc**
8500 Washington St. NE
Suite A-5
Albuquerque, New Mexico 87109

To: **Harroun Properties LLC**
515 Tres Lagunas Ln. N
Alb., NM 87113

PS Form 3817, April 2007 PSN 7530-02-000-9065

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From: **Mechenbier Construction, Inc.**
8500 Washington St. NE
Suite A-5
Albuquerque, New Mexico 87113

To: Security Self Storage INC
8500 Washington St. NE, Ste. A-5
Alb., NM 87113

PS Form 3817, April 2007 PSN 7530-02-000-9065

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From: **Mechenbier Construction, Inc.**
8500 Washington St. NE
Suite A-5
Albuquerque, New Mexico 87113

To: AMAFCA
2600 Prospect Ave NE
Alb., NM 87107-1836

PS Form 3817, April 2007 PSN 7530-02-000-9065

U.S. POSTAGE PAID
ALBUQUERQUE, NM
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From: **Mechenbier Construction, Inc.**
8500 Washington St. NE
Suite A-5
Albuquerque, New Mexico 87113

To: Jorgensen Forde Properties LL
7131 Washington St. NE
Alb., NM 87109

PS Form 3817, April 2007 PSN 7530-02-000-9065

U.S. POSTAGE PAID
ALBUQUERQUE, NM
87109
JUL 16, 19
AMOUNT
\$1.45
R2304E106611-88



Certificate Of Mailin

This Certificate of Mailing provides evidence that mail has been presented to USPS® for mailin. This form may be used for domestic and international mail.

From: Mechenbier Construction, Inc.
8500 Washington St. NE
Suite A-5
Albuquerque, New Mexico 87109

To: Outlook Group LLC
4120 Ellison St. NE Ste. L
Alb., NM 87109

PS Form 3817, April 2007 PSN 7530-02-000-9065

U.S. POSTAGE PAID
 ALBUQUERQUE, NM
 87109
 JUL 16, 19
 AMOUNT
\$1.45
 R2304E106611-88



Certificate Of Mailin

This Certificate of Mailing provides evidence that mail has been presented to USPS® for mailin. This form may be used for domestic and international mail.

From: Mechenbier Construction, Inc.
8500 Washington St. NE
Suite A-5
Albuquerque, New Mexico 87109

To: Knee Ernest Rosser RVT
12800 Joelle Rd. NE
Alb., NM 87112

PS Form 3817, April 2007 PSN 7530-02-000-9065

U.S. POSTAGE PAID
 ALBUQUERQUE, NM
 87109
 JUL 16, 19
 AMOUNT
\$1.45
 R2304E106611-88



Certificate Of Mail

This Certificate of Mailing provides evidence that mail has been presented to USPS® for mailin. This form may be used for domestic and international mail.

From: Mechenbier Construction, Inc
8500 Washington St. NE
Suite A-5
Albuquerque, New Mexico 87109

To: Hogback New Mexico LLC + 3921 A
Parkway LLC + 2 in New Mexico L
11 Natoma St. Ste. 120
Folsom, CA 95630

PS Form 3817, April 2007 PSN 7530-02-000-9065

U.S. POSTAGE PAID
 ALBUQUERQUE, NM
 87109
 JUL 16, 19
 AMOUNT
\$1.45
 R2304E106611-88

SITE PLAN CHECKLIST

Project #: _____ Application #: _____

This checklist will be used to verify the completeness of site plans submitted for review by the Planning Department. **Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Also there may additional requirements if a site is located in CPO, HPO, and/or VPO or if located in DT-UC-MS or PT areas. See the IDO or AGIS for boundaries.** Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

I CERTIFY THAT THE SUBMITTED SITE PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.


Applicant or Agent Signature / Date 7/15/19

Site plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. Site Plan (including utilities and easements)
2. Landscaping Plan
3. Grading and Drainage Plan
4. Utility Plan
5. Building and Structure Elevations
6. Previously approved Development Plan (if applicable)

The electronic format must be organized in the above manner.

The following checklist describes the minimum information necessary for each plan element. **The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A."** Each non-applicable designation must be explained by notation on the Checklist.

NOTE: There may be addition information required if site is located with a CPO, VPO or HPO and/or any other special areas as defined by the IDO.

NOTE: If there requests for deviations (Section 14-16-6-4(O), they must be clearly labelled on the site plan (Sheet 1) as well as addressed in the application letter made with the submittal.

SHEET #1 - SITE PLAN

A. General Information

1. Date of drawing and/or last revision
2. Scale: 1.0 acre or less 1" = 10'
1.0 - 5.0 acres 1" = 20'
Over 5 acres 1" = 50'
Over 20 acres 1" = 100'

SITE PLAN CHECKLIST

- 3. Bar scale
- 4. North arrow
- 5. Legend
- 6. Scaled vicinity map
- 7. Property lines (clearly identify)
- 8. Existing and proposed easements (identify each)
- 9. Phases of development, if applicable

B. Proposed Development

1. Structural

- A. Location of existing and proposed structures (distinguish between existing & proposed) and include any accessory structures
- B. Square footage of each structure
- C. Proposed use of each structure
- D. Signs (freestanding) and other improvements
- E. Walls, fences, and screening: indicate height, length, color and materials
- F. Dimensions of all principal site elements or typical dimensions
- G. Loading facilities
- H. Site lighting (indicate height & fixture type)
- I. Indicate structures within 20 feet of site
- J. Elevation drawing of refuse container and enclosure, if applicable.
- K. Existing zoning/land use of all abutting properties

2. Parking, Loading and Internal Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
 - 1. Location and typical dimensions, including motorcycle spaces, bicycle spaces, ADA accessible spaces, and compact spaces
 - 2. Calculations: spaces required and proposed (include any reduction calculations) for motorcycle, bicycle, compact and ADA spaces
 - 3. On street parking spaces
- B. Bicycle parking & facilities
 - 1. Bicycle racks – location and detail
 - 2. Other bicycle facilities, if applicable
- C. Vehicular Circulation (Refer to DPM and IDO)
 - 1. Ingress and egress locations, including width and curve radii dimensions
 - 2. Drive aisle locations, including width and curve radii dimensions
 - 3. End aisle locations, including width and curve radii dimensions
 - 4. Location & orientation of refuse enclosure, with dimensions
 - 5. Loading, service area, and refuse service locations and dimensions
- D. Pedestrian Circulation
 - 1. Location and dimensions of all sidewalks and pedestrian paths (including ADA connection from ROW to building and from ADA parking to building)

SITE PLAN CHECKLIST

- 2. Location and dimension of drive aisle crossings, including paving treatment
- 3. Location and description of amenities, including patios, benches, tables, etc.

- ___ E. Off-Street Loading
 - ___ 1. Location and dimensions of all off-street loading areas

- ___ F. Vehicle Stacking and Drive-Through or Drive-Up Facilities
 - ___ 1. Location and dimensions of vehicle stacking spaces and queuing lanes
 - ___ 2. Landscaped buffer area if drive-through lanes are adjacent to public R/W
 - ___ 3. Striping and Sign details for one-way drive through facilities

3. Streets and Circulation

- ___ A. Locate and identify adjacent public and private streets and alleys.
 - 1. Existing and proposed pavement widths, right-of-way widths and curve radii
 - ___ 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
 - ___ 3. Location of traffic signs and signals related to the functioning of the proposal
 - 4. Identify existing and proposed medians and median cuts
 - 5. Sidewalk widths and locations, existing and proposed
 - ___ 6. Location of street lights
 - 7. Show and dimension clear sight triangle at each site access point
 - ___ 8. Show location of all existing driveways fronting and near the subject site.

- ___ B. Identify Alternate transportation facilities within site or adjacent to site
 - ___ 1. Bikeways and bike-related facilities
 - ___ 2. Pedestrian trails and linkages
 - ___ 3. Transit facilities, including routes, bus bays and shelters existing or required

4. Phasing

- ___ A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

SHEET #2 - LANDSCAPING PLAN

- 1. Scale - must be same as scale on sheet #1 - Site plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- ___ 5. Existing and proposed easements
- 6. Identify nature of ground cover materials
 - A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
 - B. Pervious areas (planting beds, gravel areas, grass, ground cover vegetation, etc.)
 - C. Ponding areas either for drainage or landscaping/recreational use

SITE PLAN CHECKLIST

- 7. Identify type, location and size of plantings (common and/or botanical names).
 - A. Existing, indicating whether it is to be preserved or removed.
 - B. Proposed, to be established for general landscaping.
 - C. Proposed, to be established for screening/buffering.
- 8. Describe irrigation system – Phase I & II . . .
- 9. Planting Beds, indicating square footage of each bed
- 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- 11. Responsibility for Maintenance (statement)
- 12. Landscaped area requirement; square footage and percent (specify clearly on plan)
- 13. Landscaped buffer areas provided; dimensions, label clearly that it is a landscape buffer, square footage and percent (specify clearly on plan)
- 14. Planting or tree well detail
- 15. Street Trees (only trees from the Official Albuquerque Plant Palette and Sizing list or 8 inch caliper or larger will be counted)
- 16. Parking lot edges and interior – calculations, dimensions and locations including tree requirements
- 17. Show Edge Buffer Landscaping (14-16-5-6(D)) – location, dimensions and plant material

SHEET #3 –GRADING AND DRAINAGE PLAN

A separate grading and drainage plan (and drainage report) must be submitted to the DRS Hydrology Section prior to the DRB submittal for a site plan (See DRWS Form).

A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Building footprints
- 7. Location of Retaining walls

B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas, erosion and sediment control facilities.
- 4. Cross Sections
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

SITE PLAN CHECKLIST

SHEET #4- UTILITY PLAN

- A. Fire hydrant locations, existing and proposed. (or submit signed off Fire One Plan)
- B. Distribution lines
- C. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- D. Existing water, sewer, storm drainage facilities (public and/or private).
- E. Proposed water, sewer, storm drainage facilities (public and/or private)

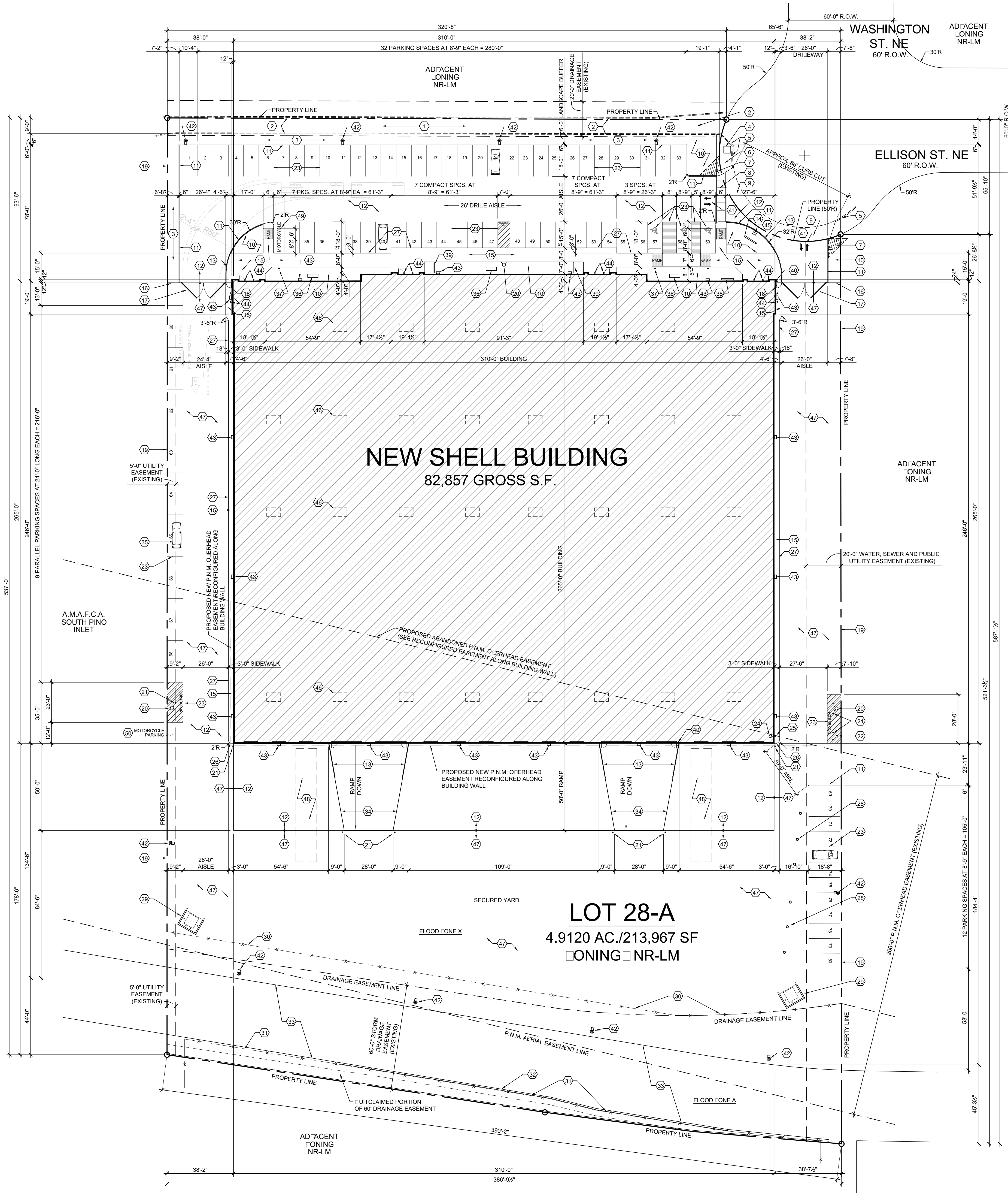
SHEET #5 - BUILDING AND STRUCTURE ELEVATIONS

A. General Information

- A. Scale
- B. Bar Scale
- C. Detailed Building Elevations for each facade
 - 1. Identify facade orientation
 - 2. Dimensions of facade elements, including overall height and width
 - 3. Location, material and colors of windows, doors and framing
 - 4. Materials and colors of all building elements and structures
 - 5. Location and dimensions of mechanical equipment (roof and/or ground mounted)

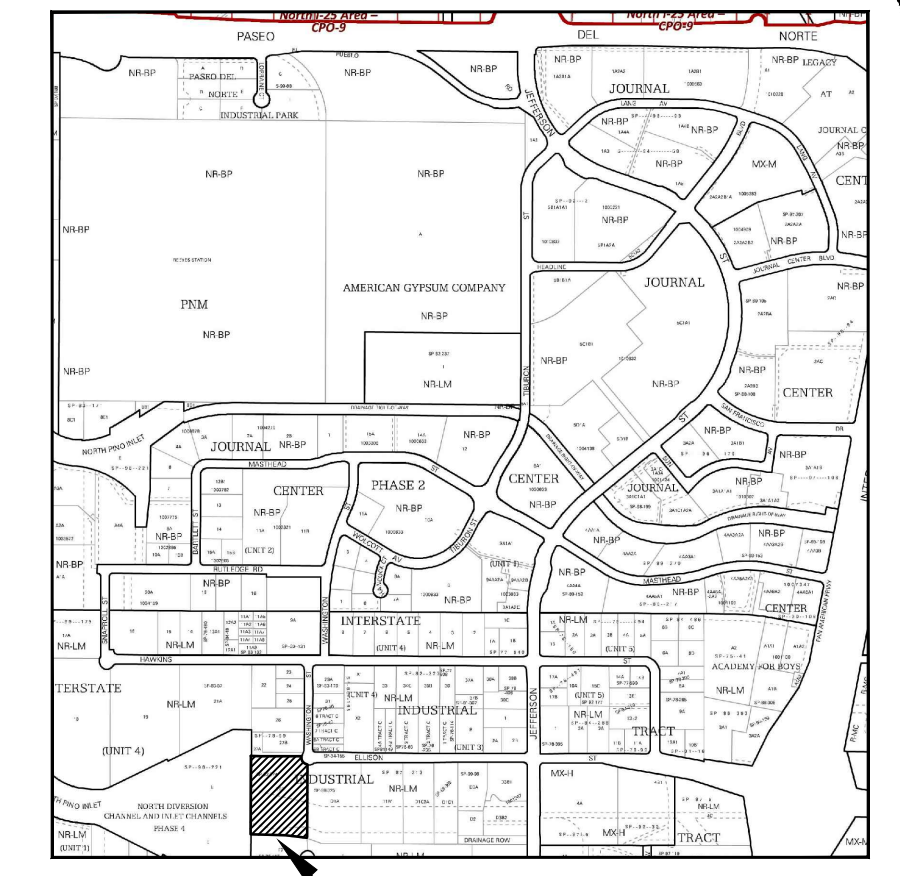
B. Building Mounted Signage

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.
- 7. List the sign restrictions per the IDO



KEYED NOTES

- EXIST. CONCRETE DRAINWAY.
- EXIST. CONCRETE WALLS.
- BUFFER LANDSCAPING.
- NEW WATER METER.
- EXIST. CURB = GUTTER.
- EXIST. 4" WIDE CONCRETE SIDEWALK.
- CLEAR SIGHT TRIANGLE.
- NEW 4" WIDE STAMPED CONCRETE WALK (ACCESSIBLE ROUTE TO PUBLIC WAY).
- EXIST. CONCRETE DRIVE APRON AND CURB CUT.
- LANDSCAPING.
- 6" HIGH STAND-UP CONCRETE CURB.
- CONCRETE PAVING.
- 42" HIGH STEEL PIPE GUARDRAIL (PAINTED CHARCOAL).
- MONUMENT SIGN - 6" HIGH x 8" LONG, 8" CONCRETE BLOCK WITH STUCCO FINISH (SEE DTL. 3/A001).
- 4" THICK CONCRETE SIDEWALK.
- NEW 6" HIGH STEEL FENCE (PAINTED CHARCOAL).
- NEW 6" HIGH STEEL SWING GATES (PAINTED CHARCOAL), 24' OPENING.
- NEW 3" WIDE x 6" TALL STEEL MAN GATE (PAINTED CHARCOAL).
- EXIST. 6" CHAINLINK FENCE ON PROPERTY LINE.
- PROPOSED NEW FIRE HYDRANT.
- 6" BOLLARD (PAINTED CHARCOAL COLOR).
- POST INDICATOR (ALUM. P.I.L.).
- PAVEMENT MARKINGS.
- FIRE RISER.
- FIRE DEPARTMENT CONNECTION (F.D.C.).
- END OF SIDEWALK.
- SIDEWALK CURB.
- EXIST. POWER POLES (6 TOTAL).
- REFUSE ENCLOSURE: 12" DEEP, WITH 7" TALL CONCRETE BLOCK WALLS AND ENCLOSURE PER C.O.A. SOLID WASTE STANDARDS (SEE DTL. 1/A001).
- EXIST. 6" HIGH CHAINLINK FENCE.
- EXIST. 6" HIGH CHAINLINK FENCE ON EDGE OF DRAINAGE CHANNEL.
- EXIST. CONCRETE RETAINING WALL.
- EXIST. CONCRETE DRAINAGE CHANNEL.
- CONCRETE TRUCK RAMP.
- (9) 9'-0" WIDE x 24'-0" LONG PARALLEL PARKING SPACES.
- 6" LONG BENCH.
- PARKING SIGN ON POST.
- PREMISE I.D. ON BUILDING WALL.
- 4-STALL BICYCLE PARKING RACK. SEE DTL. 2/A001.
- KNOX BOX.
- INGRESS/EGRESS LOCATION, 26" WIDE DRIVE AISLE.
- POLE LIGHT, 25" TALL POLE (10 TOTAL POLE LIGHTS).
- WALL PACK LIGHT, MOUNTED AT 28' A.F.F. (18 TOTAL WALL PACKS).
- RECESSED CAN LIGHT FIXTURE IN SOFFIT (12 TOTAL).
- GROUND-MOUNTED LIGHT FOR MONUMENT SIGN.
- 24" HIGH ROOFTOP HVAC UNITS (32 TOTAL).
- CRUSHED AGGREGATE DRAINING SURFACE.
- LOADING SPACE, 12' x 65' PER IDO RECOMMENDATIONS.
- (1) MOTORCYCLE PARKING SPACE, MIN. 4' x 8' SIZE.
- (2) MOTORCYCLE PARKING SPACES, MIN. 4' x 8' SIZE EACH.



PROJECT SITE
CITY MAP D-17

SCALE: N.T.S.

ZONING DATA

ADDRESS	4000 ELLISON ST. NE ALBUQUERQUE, NM 87109
LEGAL DESCRIPTION	LOT 28A, INTERSTATE INDUSTRIAL TRACT
OWNER	SECURITY SELF STORAGE 8500 WASHINGTON ST. NE, SUITE A-5, ALBUQUERQUE, NM 87113
UPC	101706315101030212
ONE MAP	D-17
ZONING	NR-LM (M-1 OLD ZONING)
TOTAL SITE AREA	4.91 ACRES
GROSS BUILDING AREA	82,857 SF
NET FLOOR AREA	81,917 SF
BUILDING USE	OFFICE LIGHT MANUFACTURING WAREHOUSE

BUILDING USE (GROSS FLOOR AREA (GFA))	
10% OF BLDG. IS OFFICE	8,286 SF
60% OF BLDG. IS MANUFACTURING	49,714 SF
30% OF BLDG. IS WAREHOUSE	24,857 SF
TOTAL	82,857 SF

OFF-STREET AUTO PARKING REQUIRED (IDO TABLE 5-5-1)	
OFFICE (3.5 SPACES PER 1000 GFA)	8,286 SF ÷ 1,000 = 8.286 x 3.5 = 29 SPACES
LIGHT MANUFACTURING (1 SPACE PER 1000 GFA)	49,714 SF ÷ 1,000 = 49.714 = 50 SPACES
WAREHOUSE (NO REQUIREMENT)	0 SPACES
TOTAL SPACES REQUIRED	79 SPACES

ACCESSIBLE SPACES REQUIRED	= 3
COMPACT CAR SPACES ALLOWED (25% OF TOTAL)	79 SPACES x .25 = 20 MAXIMUM ALLOWABLE

OFF-STREET AUTO PARKING PROVIDED	
REGULAR SIZE SPACES	66 SPACES
COMPACT SIZE SPACES (18% OF TOTAL SPACES PROVIDED)	14 SPACES
TOTAL SPACES PROVIDED	= 80 SPACES
INCLUDES 3 REQUIRED ACCESSIBLE SPACES	

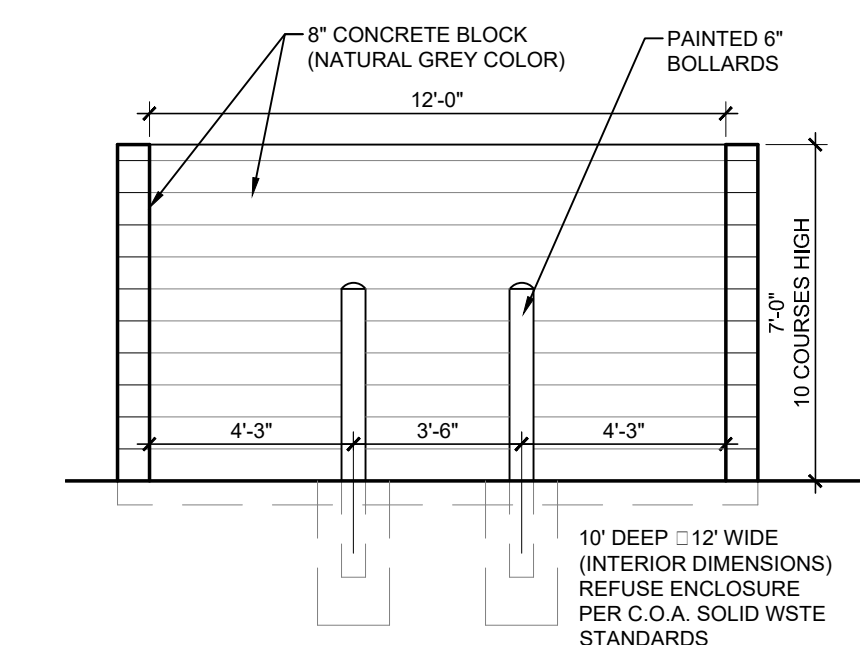
MOTORCYCLE SPACES REQUIRED (IDO TABLE 5-5-4)	
3 MOTORCYCLE SPACES REQUIRED AND PROVIDED	

BICYCLE PARKING REQUIRED (IDO TABLE 5-5-5)	
1 SPACE PER 10% OF REQUIRED AUTO PARKING	10% OF 79 REQUIRED SPACES = 8 BICYCLE SPACES
(2) 4-STALL BICYCLE RACKS PROVIDED	

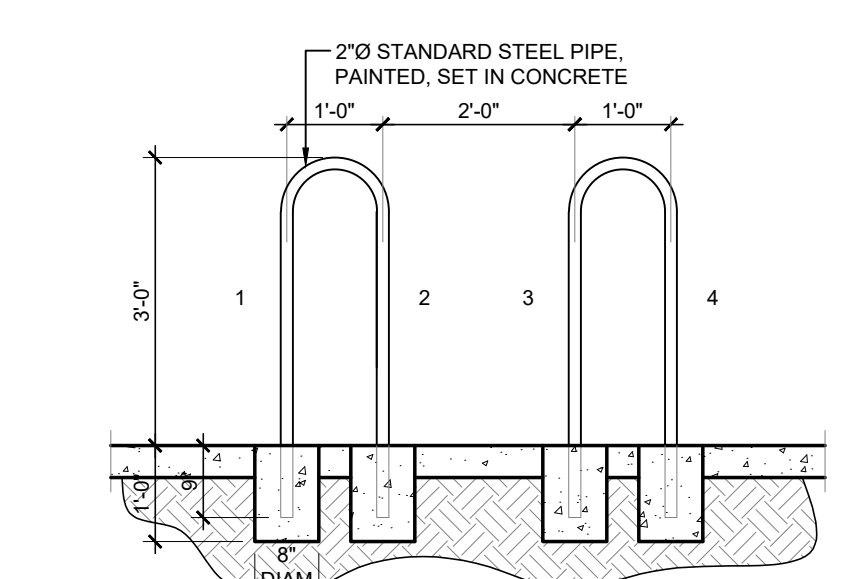
OFF-STREET LOADING SPACES REQUIRED (IDO TABLE 5-5-7)	
1 SPACE PER 50,000 SF = 2 LOADING SPACES REQUIRED (12' x 65' - SEE SITE PLAN FOR LOCATION)	

ON-STREET PARKING SPACES - NOT APPLICABLE

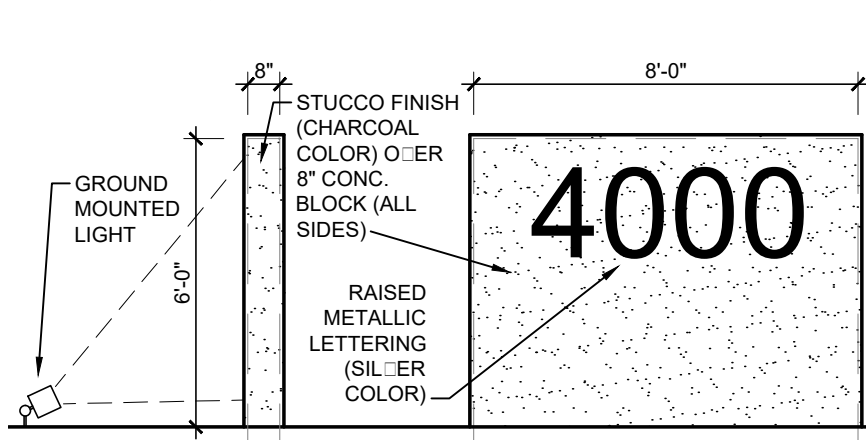
BUILDING DATA	
BUILDING CONSTRUCTION TYPE	II-B (NON COMBUSTIBLE), FULLY-SPRINKLERED
NUMBER OF OCCUPANTS (BASED ON NET FLOOR AREA)	
OFFICE (8,192 SF @ 100 SF/OCC. = 82)	
MANUFACTURING (49,150 SF @ 200 SF/OCC. = 246)	
WAREHOUSE (24,575 SF @ 500 SF/OCC. = 49 OCC.)	
TOTAL OCCUPANT LOAD	377 OCC.
BUILDING HEIGHT	37'-8"



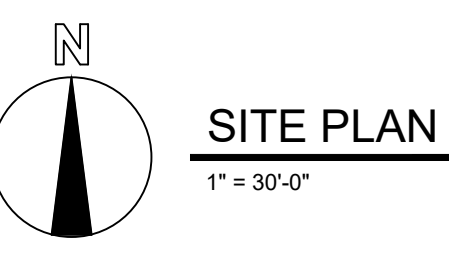
1 REFUSE ENCLOSURE
1/4" = 1'-0"



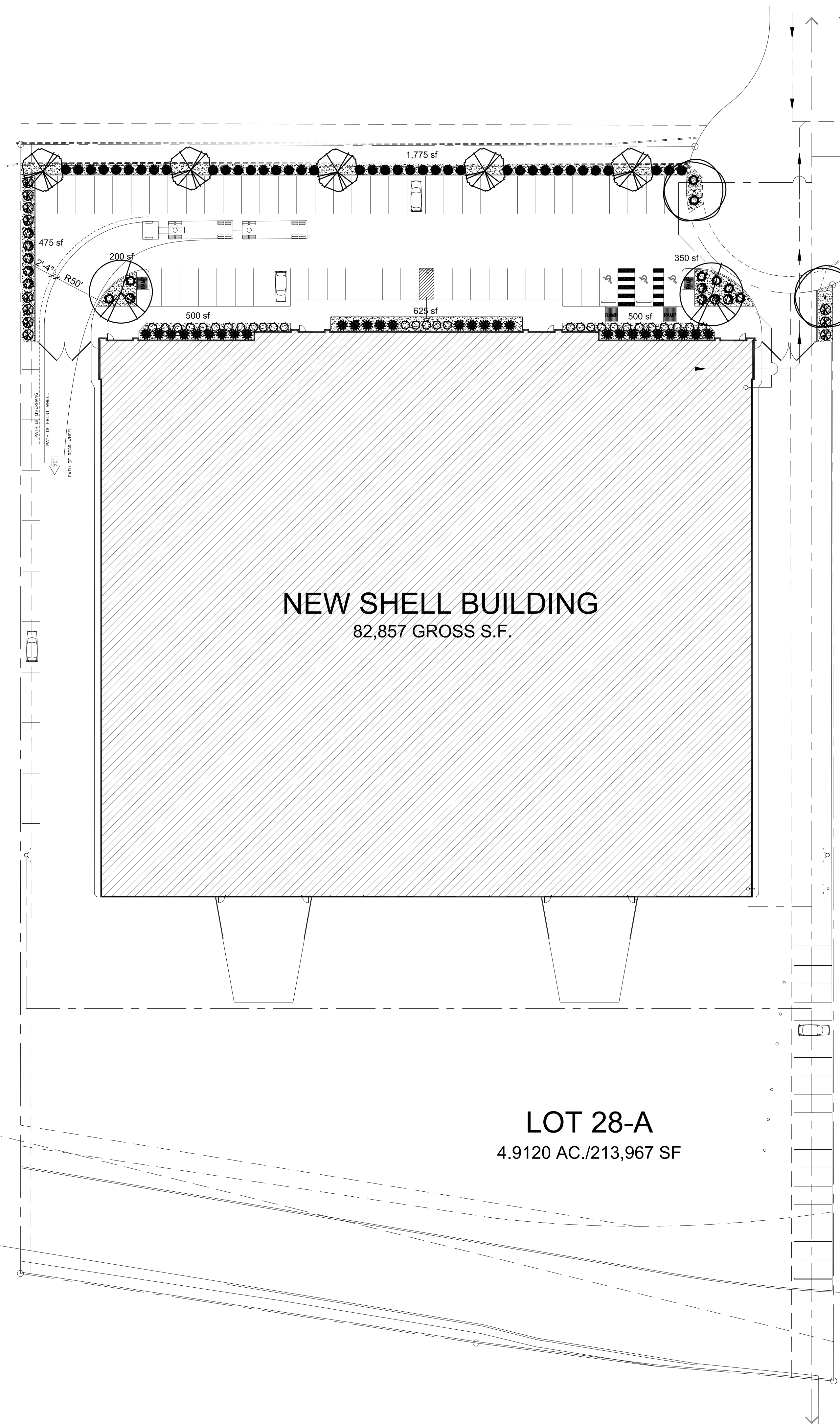
2 BICYCLE PARKING
1/2" = 1'-0"



3 MONUMENT SIGN
1/4" = 1'-0"



10' 30' 50'
0 20' 40' 100'
SITE PLAN



PLANT LEGEND

Qty.	Symbol	Scientific Name Common Name	Installed Size	Mature Height/Spread	Landscape Coverage	Water Use	Drip Emitters Per Plant (see note)
2		Fraxinus Autumn Purple Ash	2" B&B	40'/30'	40 sf=80 sf	Medium	6-2 gph
2		Gleditsia Seedless Honey Locust	2" B&B	50'/45'	30 sf=60 sf	Medium	6-2 gph
5		Quercus Live Oak	2" B&B	60'/70'	40 sf=200 sf	Medium+	6-2 gph
Shrubs/Groundcovers							
10		Caryopteris clandonensis Blue Mist	1-Gal	3'/3'	20 sf=200 sf	Low+	2-2 gph
11		Elaeagnus pungens Silverberry	1-Gal	10'/10'	80 sf=800 sf	Medium	2-2 gph
28		Nandina Heavenly Bamboo	5-Gal	8'/5'	20 sf=560 sf	Medium+	2-2 gph
8		Juniperus horizontalis Blue Chip Juniper	5-Gal	1'/8'	25 sf=200 sf	Low +	2-1 gph
29		Ilex Burford Holly	5-Gal	4'/4'	20 sf=580 sf	Medium	2-2 gph
39		Panicum Switch Grass	1-Gal	6'/4'	36 sf=1404 sf	Medium	2-2 gph
							Total landscape coverage 4,084 sf

MATERIALS LEGEND



LANDSCAPE DATA

GROSS LOT AREA	213,967 SF
LESS BUILDING(S)	82,857 SF
LESS AREA SCREENED BY WALL	96,700 SF
NET LOT AREA	34,410 SF
REQUIRED LANDSCAPE AREA 15% OF NET LOT AREA	5,162 SF
PROPOSED LANDSCAPE AREA	4,625 SF
PERCENT OF NET LOT AREA	14 %

HIGH WATER USE TURF NONE PROPOSED	
REQUIRED STREET TREES PROVIDED AT 30' O.C. SPACING STREET	2
REQUIRED PARKING LOT TREES PROVIDED AT 1 PER 10 SPACES (61 SPACES/10)	7
TOTAL REQUIRED TREES	9
TOTAL PROPOSED TREES (2" CAL.)	9
REQUIRED LANDSCAPE COVERAGE 75% LIVE VEGETATIVE MATERIAL (4,625 SF x 75%)	3,469 SF MIN.
PROVIDED LANDSCAPE COVERAGE	4,084 SF (88%)

NOTE

MAINTENANCE OF LANDSCAPE (ONSITE AND WITHIN ROW) TO BE MAINTAINED BY PROPERTY OWNER

PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION SYSTEM WITH REDUCED PRESSURE BACKFLOW PREVENTER PER CITY OF ALBUQUERQUE

WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER

THIS PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE 6-1-1. PLANTING RESTRICTIONS APPROACH

IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN. 75% LIVE GROUND COVER OF LANDSCAPE AREAS AT MATURITY PER ORDINANCE 14-16-3-10 (SEE CALCULATIONS PROVIDED ABOVE)

LANDSCAPE AREAS TO BE MULCHED WITH GRAVEL MULCH AT 3" DEPTH OVER FILTER FABRIC

APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE OR IMPLY COMPLIANCE WITH, OR EXEMPTION FROM, THE C.O.A LANDSCAPE AND WATER WASTE ORDINANCE 6-1-1.

NO PARKING SPACE SHALL BE MORE THEN 100' FROM A TREE.

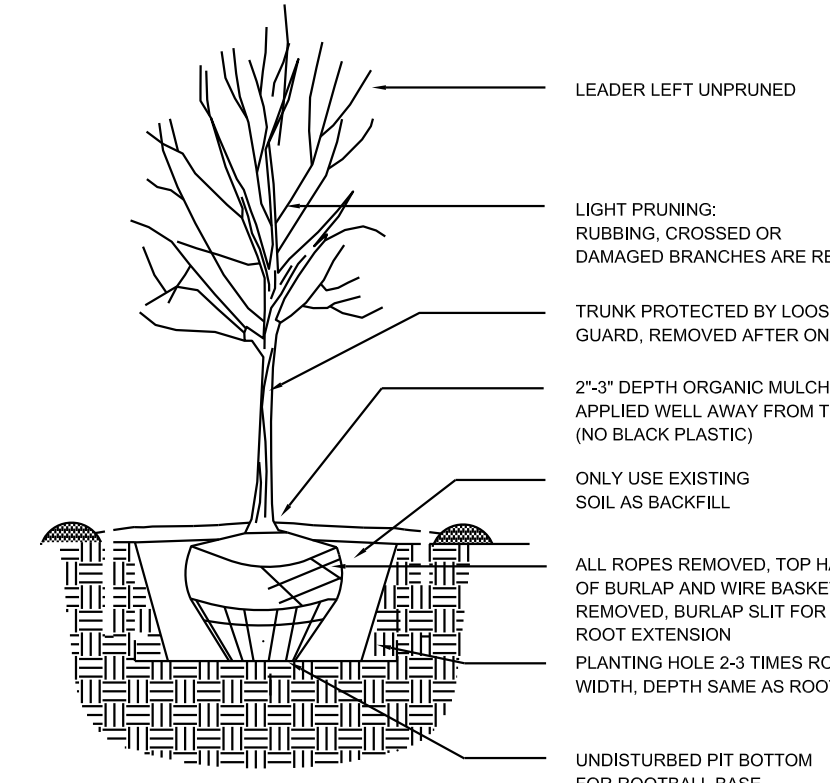
STREET TREES TO CONFORM TO STREET TREE ORDINANCE 6-6-2.

LANDSCAPE PLAN TO CONFORM TO ZONING REGULATIONS ORDINANCE 14-16-3-10 AND I.D.O.

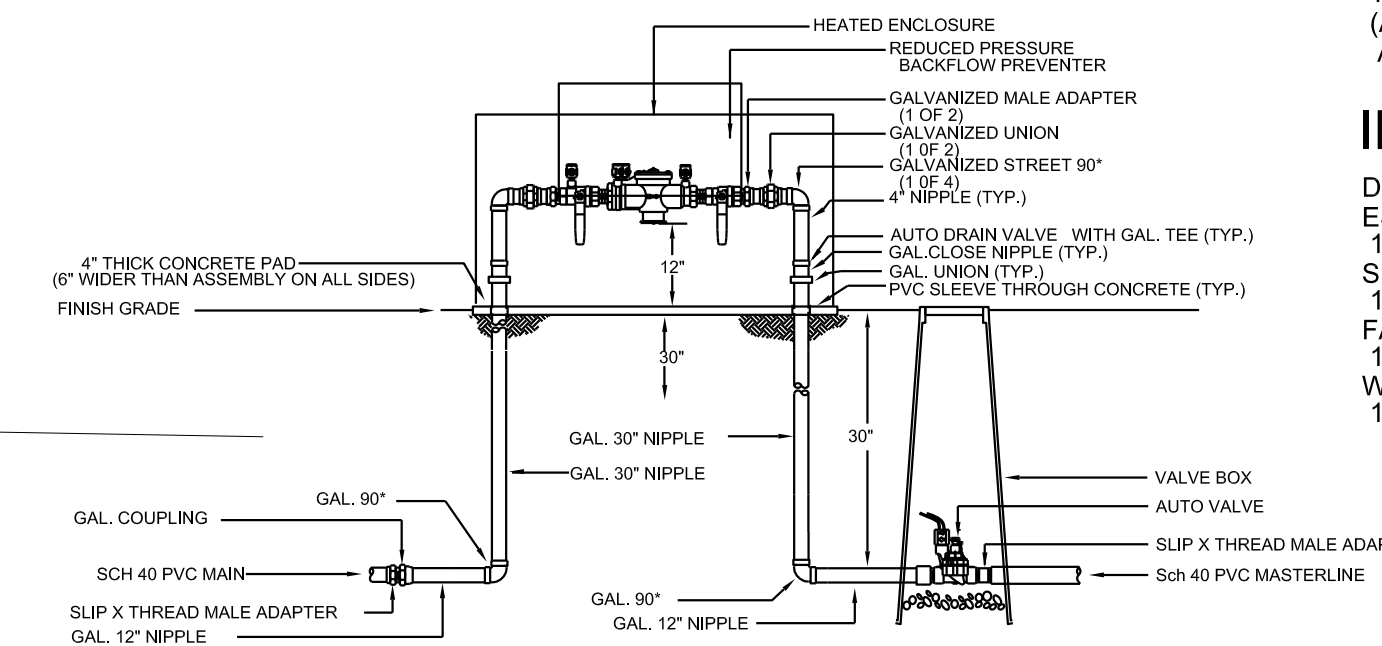
LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ALLOWED IN THIS AREA.

IRRIGATION NOTE

DRIP SYSTEM RUN CYCLES:
ESTABLISHMENT AND SUMMER:
1 HOUR/4 DAYS A WEEK
SPRING:
1 HOUR/2-3 DAYS A WEEK
FALL:
1 HOUR/2-3 DAYS A WEEK
WINTER:
1 HOUR/2 DAYS PER MONTH



TREE PLANTING DETAIL



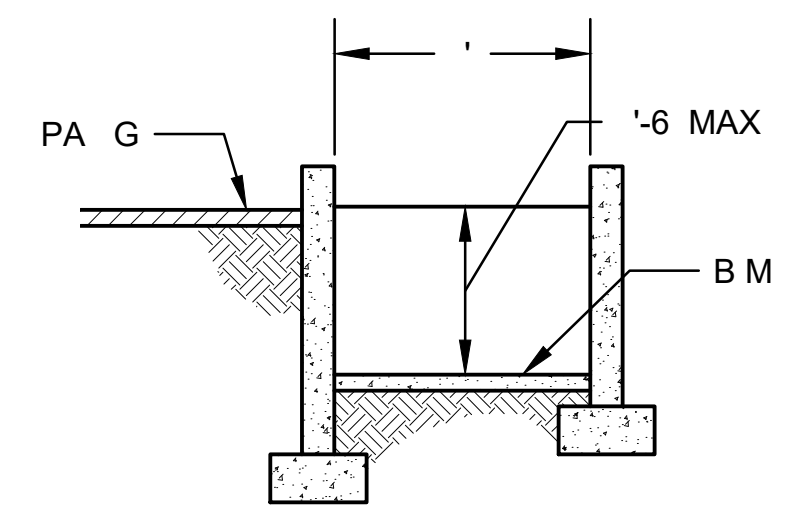
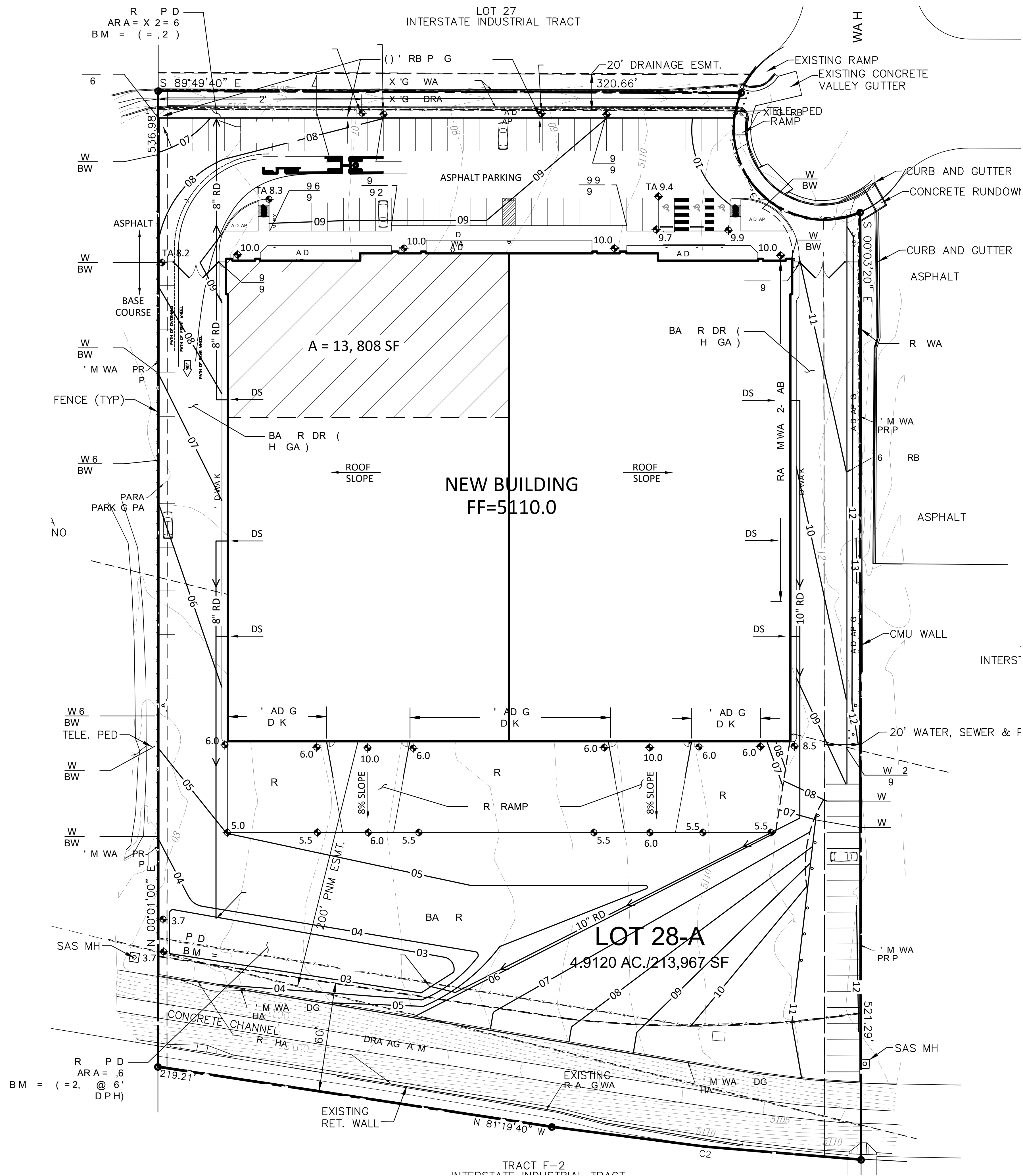
RP BACKFLOW/MASTER VALVE DETAIL

LANDSCAPE PLAN

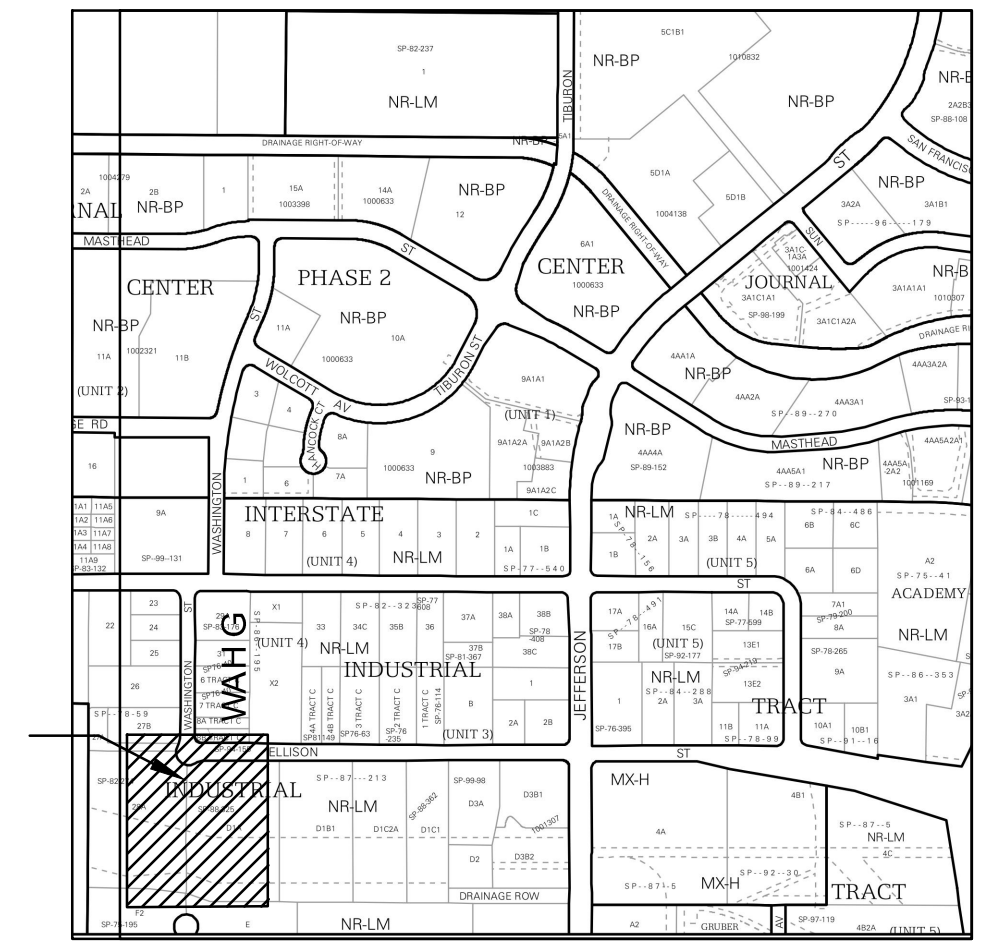
LANDSCAPE PLAN
1" = 30'-0"

LANDSCAPE CONTRACTORS
www.headsuplandscapes.com

P.O. Box 10537
Albuquerque, NM 87184
505.898.9615
505.898.2105 (fax)
design@huic.com



SECTION
1/4" = 1'-0"



VICINITY MAP

D17

LEGEND

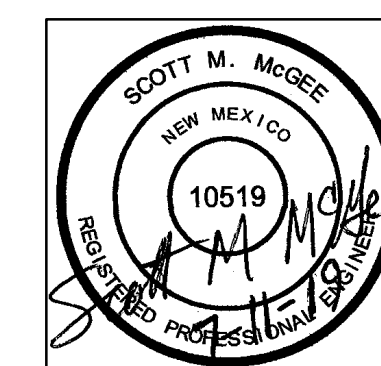
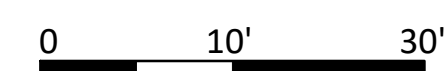
- EXISTING CONSTRUCTION
- NEW CONTOUR
- FF=5110.0 PROPOSED BUILDING FINISH FLOOR ELEV
- ◆ 65.5 NEW SPOT ELEVATION
- NEW CONSTRUCTION
- RD ROOF DRAIN
- TC TOP OF CURB

DRAINAGE ANALYSIS

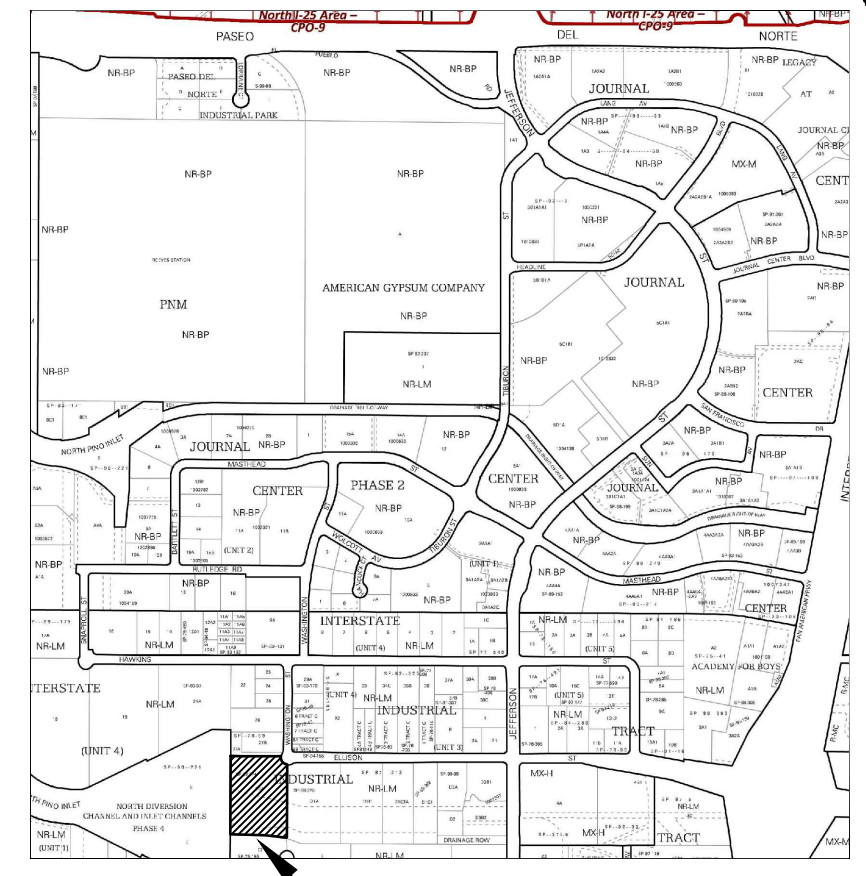
ADDRESS: 4000 Ellison Street NE, Albuquerque, NM
 LEGAL DESCRIPTION: LOT 28-A, INTERSTATE INDUSTRIAL TRACT
 SITE AREA: 213,967 SF (4.912 acre)
 BENCHMARK: City of Albuquerque Station '12-E17' being a brass cap with ELEV= 5118.70 (NAVD 1988)
 SURVEYOR: Sandia Land Surveying Inc. dated July 14, 2019
 PRECIPITATION ZONE: 2
 FLOOD HAZARD: From FEMA Map 35001C0136G (9/26/08), this site is identified as being within Zone 'X' which is determined to be outside the 0.2% annual chance floodplain.
 OFFSITE FLOW: Offsite flow enters this site at the NE corner and is carried west by an existing concrete drain swale within an existing 20' drainage easement.
 EXISTING CONDITIONS: The site is an undeveloped industrial site which slopes down to the west at 2-2.5%. The site discharges freely to the west which is the South Pino Inlet owned by AMAFCA.
 PROPOSED IMPROVEMENTS: An 82,850 SF building is proposed along with paved parking and access drives and minor xeric landscape areas. Paved parking is proposed in front of the building and base course is in the rear-yard area.
 DRAINAGE APPROACH: The site drainage pattern will follow historic conditions with the incorporation of onsite retention ponds for the first flush volume.
 Existing land treatment: 100% A
 $Q = (1.56)(4.912) = 7.7$ CFS
 Proposed land treatment: 42% C and 58% D
 $Q = [(0.42)(3.14) + (0.58)(4.70)](4.912) = 19.9$ CFS
 1ST FLUSH $V = (0.34/12)(124,100) = 3,516$ CF
 The proposed retention storage area provides $V = 1120 + 2400$ CF = 3,520 CF (3520 > 3516 OK)

PRELIMINARY GRADING AND DRAINAGE PLAN

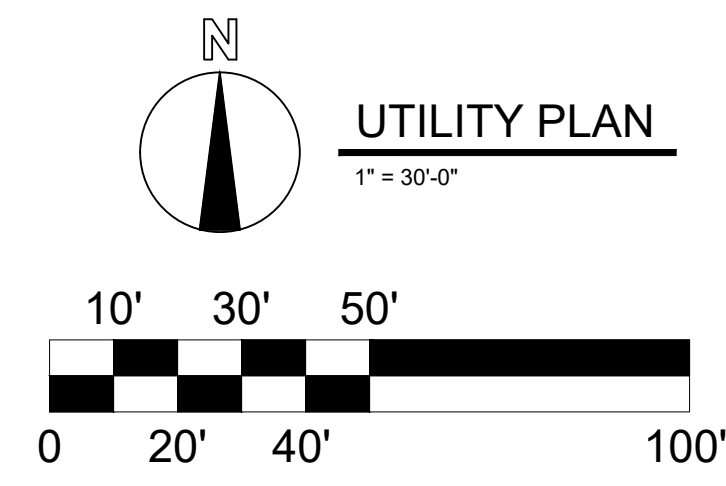
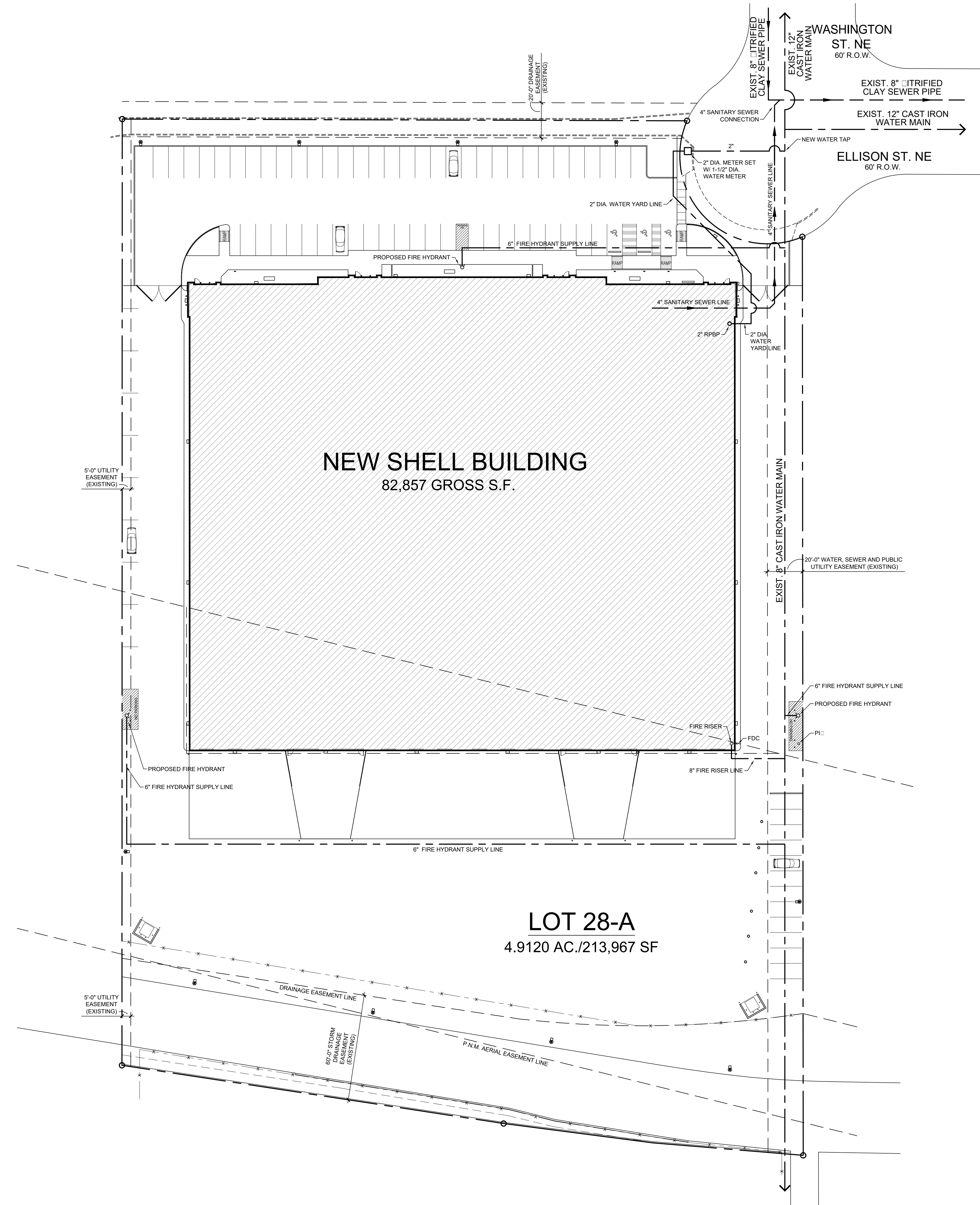
1" = 30'



Scott M McGee
 9700 Tanoan Dr NE
 Albuquerque, NM 87111
 505.263.2905
 scottmmcgee@gmail.com



INTEGRITY MAP D-17
SCALE: N.T.S.



SITE UTILITY

SHELL CONSTRUCTION
WAREHOUSE/FLEX BUILDING
4000 ELLISON STREET NE
ALBUQUERQUE, NEW MEXICO 87109

MECHENBER
CONSTRUCTION INC.
8600 WASHINGTON ST. NE SUITE A-5
ALBUQUERQUE, NM 87113
OFFICE: (505) 344-7700
WEB: WWW.MECHENBER.COM

REVISIONS

SCALE
SEE PLAN

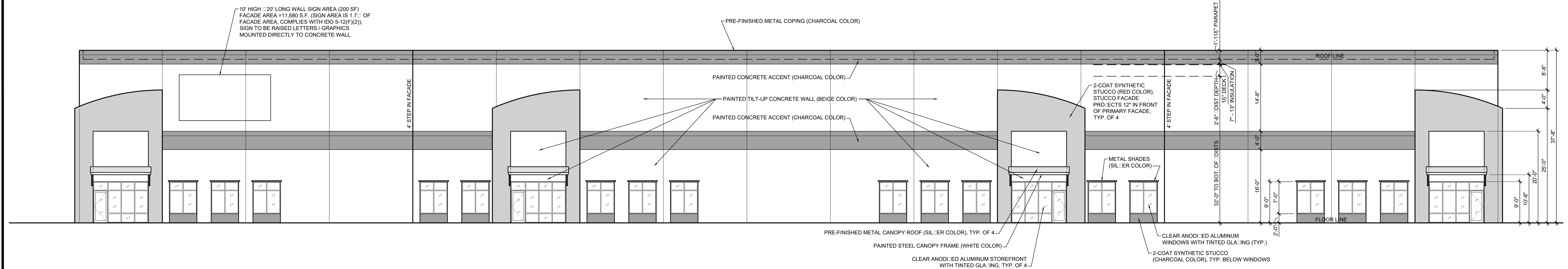
PLAN DATE
JULY 23, 2019

FILENAME
4000 ELLISON

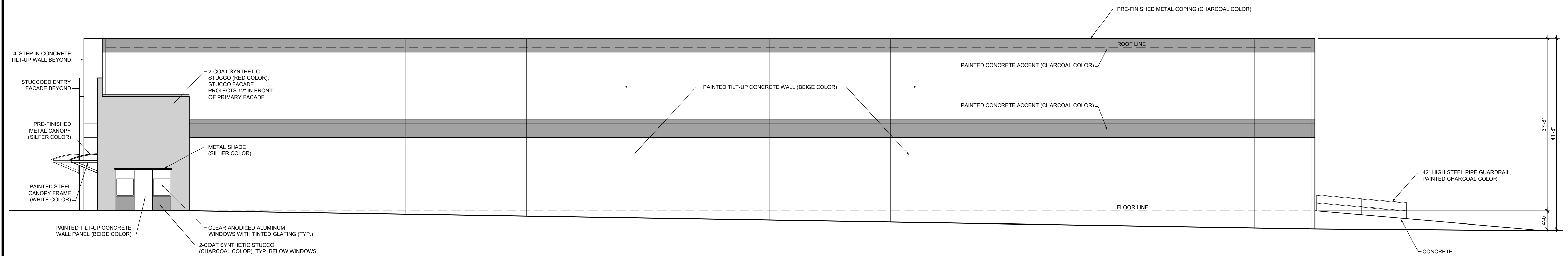
DRAWN BY
B. KLEINSCHMIDT

SHELL CONSTRUCTION
WAREHOUSE/FLEX BUILDING
4000 ELLISON STREET NE
ALBUQUERQUE, NEW MEXICO 87109

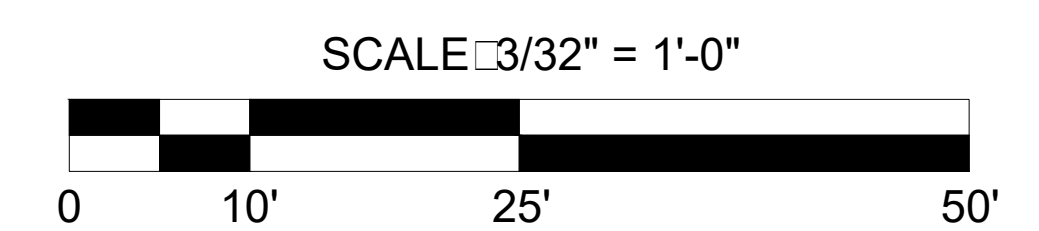
MECHENBIE
R CONSTRUCTION INC.
8500 WASHINGTON ST. NE SUITE A-5
ALBUQUERQUE, NM 87113
OFFICE: (505) 314-7700
WEB: WWW.MECHENBIE.COM



A NORTH ELEVATION
3/32" = 1'-0"



B WEST ELEVATION
3/32" = 1'-0"



EXTERIOR ELEVATIONS

REVISIONS

SCALE
SEE PLAN

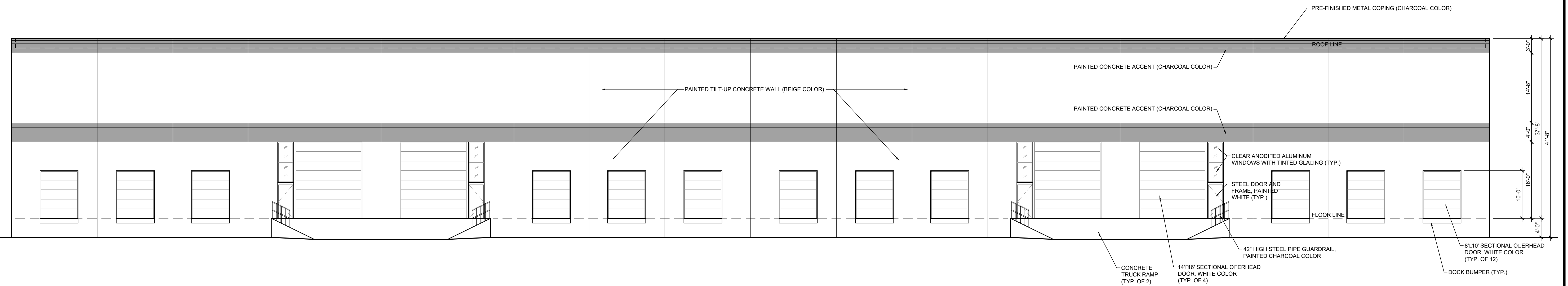
PLAN DATE
JULY 23, 2019

FILENAME
4000 ELLISON

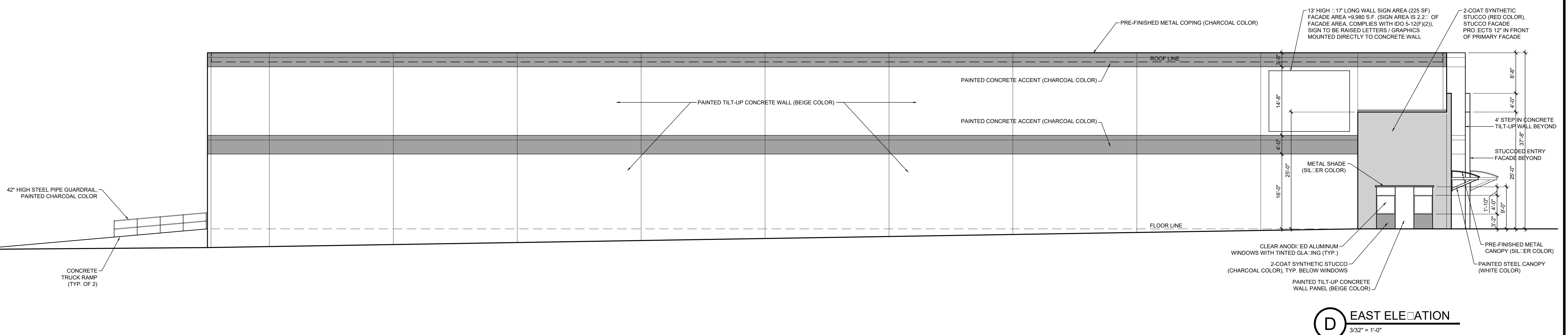
DRAWN BY
B. KLEINSCHMIDT

SHELL CONSTRUCTION
WAREHOUSE/FLEX BUILDING
4000 ELLISON STREET NE
ALBUQUERQUE, NEW MEXICO 87109

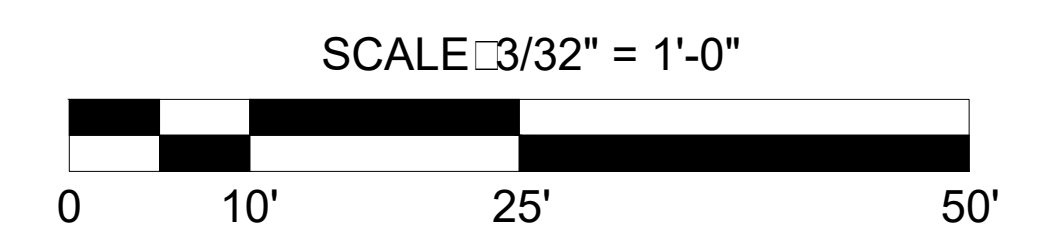
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R
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WEB: WWW.MECHENBIE.COM



C SOUTH ELEVATION
3/32" = 1'-0"



D EAST ELEVATION
3/32" = 1'-0"



EXTERIOR ELEVATIONS

INFRASTRUCTURE LIST

FIGURE 12

INFRASTRUCTURE LIST

EXHIBIT "A"

**TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

Date Submitted: 7/25/2019
 Date Site Plan Approved: _____
 Date Preliminary Plat Approved: _____
 Date Preliminary Plat Expires: _____
 DRB Project No.: _____
 DRB Application No.: _____

LOT 28-A INTERSTATE INDUSTRIAL TRACT
 PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN
 EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Crst Engineer
<input type="text"/>	<input type="text"/>	3"	PRIVATE FIRE HYDRANTS	ONSITE			/	/	/
<input type="text"/>	<input type="text"/>	8"	BUILDING FIRE SPRINKLER SUPPLY LINE	EAST OF BUILDING	EXISTING 8" W	BUILDING	/	/	/
<input type="text"/>	<input type="text"/>	2"	DRIVEPADS	ELLISON CUL-DE-SAC			/	/	/
<input type="text"/>	<input type="text"/>	6"	PUBLIC SIDEWALK	ELLISON CUL-DE-SAC			/	/	/
<input type="text"/>	<input type="text"/>	4"	SANITARY SEWER SERVICE	ELLISON CUL-DE-SAC			/	/	/
<input type="text"/>	<input type="text"/>	1-1/2"	WATER SERVICE	ELLISON CUL-DE-SAC			/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Crst Engineer
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/

NOTES
 If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA Street Lights per City Requirements

- 1 _____
- 2 _____
- 3 _____

AGENT / OWNER _____ **DEVELOPMENT REVIEW BOARD MEMBER APPROVALS** _____

NAME (print) Seremy Mechenbier DRB CHAIR - date _____ PARKS & GENERAL SERVICES - date _____
 FIRM Mechenbier Construction, Inc. TRANSPORTATION DEVELOPMENT - date _____ AMAFCA - date _____
 SIGNATURE - date 7/24/19 ABCWUA - date _____ - date _____
 CITY ENGINEER - date _____ - date _____

MAXIMUM TIME ALLOWED TO CONSTRUCT _____
 THE IMPROVEMENTS WITHOUT A DRB _____
 EXTENSION: _____
DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER

revised 07/01/01