

- KEYED NOTES:**
- EXIST. CONCRETE DRAINWAY.
  - EXIST. 2'-6" HIGH CAST-IN-PLACE CONCRETE DRAINAGE WALL.
  - BUFFER LANDSCAPING.
  - NEW WATER METER.
  - EXIST. CURB & GUTTER.
  - EXIST. 4" WIDE CONCRETE SIDEWALK.
  - CLEAR SIGHT TRIANGLE.
  - NEW 6" WIDE STAMPED CONCRETE WALK (ACCESSIBLE ROUTE TO PUBLIC WAY).
  - EXIST. CONCRETE DRIVE APRON AND CURB CUT.
  - LANDSCAPING.
  - 6" HIGH STAND-UP CONCRETE CURB.
  - CONCRETE PAVING.
  - 42" HIGH STEEL PIPE GUARDRAIL (PAINTED CHARCOAL).
  - MONUMENT SIGN - 6' HIGH x 8' LONG, 8" CONCRETE BLOCK WITH STUCCO FINISH (SEE DTL. 3/A002).
  - 4" THICK CONCRETE SIDEWALK.
  - NEW 6" HIGH STEEL FENCE (PAINTED CHARCOAL).
  - NEW 6" HIGH STEEL SWING GATES (PAINTED CHARCOAL), 24' OPENING.
  - NEW 3" WIDE x 6" TALL STEEL MAN GATE (PAINTED CHARCOAL).
  - EXIST. 6" CHAINLINK FENCE ON PROPERTY LINE.
  - PROPOSED NEW FIRE HYDRANT.
  - 6" BOLLARD x 4" TALL (PAINTED CHARCOAL COLOR).
  - POST INDICATOR VALVE (P.I.V.).
  - PAVEMENT MARKINGS.
  - FIRE RISER.
  - FIRE DEPARTMENT CONNECTION (F.D.C.).
  - END OF SIDEWALK.
  - 6" HIGH SIDEWALK CURB.
  - EXIST. POWER POLES (6 TOTAL).
  - REFUSE CONTAINER CONCRETE PAD, APRON AND BOLLARDS (SEE DTL. 1/A002).
  - EXIST. 6" HIGH CHAINLINK FENCE.
  - NEW 6" HIGH CONCRETE BLOCK WALL (REPLACES EXIST. 6" HIGH CHAINLINK FENCE).
  - EXIST. CONCRETE RETAINING WALL.
  - EXIST. CONCRETE DRAINAGE CHANNEL.
  - CONCRETE TRUCK RAMP.
  - (9) 9'-0" WIDE x 24'-0" LONG PARALLEL PARKING SPACES.
  - 6" LONG BENCH.
  - ADA ACCESSIBLE PARKING SIGN ON POST, CENTERED ON PARKING SPACE, WITH LANGUAGE PER 68-7-352.4C NMSA 1978 \*VIOLATORS ARE SUBJECT TO FINE AND/OR TOWING\*, SEE DTL. 5/A002.
  - PREMISE I.D. ON BUILDING WALL.
  - 4-STALL BICYCLE PARKING RACK, SEE DTL. 2/A002.
  - KNOX BOX.
  - INGRESS/EGRESS LOCATION, 26" WIDE DRIVE AISLE.
  - POLE LIGHT, 25' TALL POLE (10 TOTAL POLE LIGHTS).
  - WALL PACK LIGHT, MOUNTED AT 28' A.F.F. (18 TOTAL WALL PACKS).
  - RECESSED CAN LIGHT FIXTURE IN SOFFIT (12 TOTAL).
  - GROUND-MOUNTED LIGHT FOR MONUMENT SIGN.
  - 24" HIGH ROOFTOP HVAC UNITS (32 TOTAL).
  - CRUSHED AGGREGATE DRIVING SURFACE.
  - LOADING SPACE, 12' x 65' PER IDO REQ'TS.
  - (1) MOTORCYCLE PARKING SPACE, MIN. 4' x 8' SIZE.
  - (2) MOTORCYCLE PARKING SPACES, MIN. 4' x 8' SIZE EACH.
  - P.N.M. TRANSFORMER ON CONCRETE PAD.
  - 6' LONG PRE-CAST CONCRETE PARKING STOP, CENTERED IN PARKING SPACE, SET 24" FROM SIDEWALK EDGE, CURB OR PROPERTY LINE.
  - PARKING SPACES DELINEATED BY PAINTED MARKINGS ON CONCRETE BLOCK WALL, 4" WIDE x 48" TALL PAINTED STRIPE.
  - CONCRETE CURB & GUTTER.
  - PAVEMENT LETTERING "COMPACT" OR "NO PARKING" IN MIN. 12" LETTER HEIGHT, 2" MIN. LETTER WIDTH AND ALL CAPITAL LETTERS, LOCATED AT BACK END OF PARKING SPACE, H.C. ACCESS AISLE OR AS SHOWN.
  - MOTORCYCLE PARKING SIGN ON POST, SEE DTL. 6/A002.
  - CONCRETE SIDEWALK RAMP, SEE DTL. 4/A002.
  - NOT USED.
  - 10'-10" x 4" THICK CONCRETE PAD WITH 5" DIA. OUTDOOR TABLE, BENCHES AND UMBRELLA.
  - RETENTION POND AND CHANNEL RUNDOWN, SEE GRADING & DRAINAGE PLAN.

**ZONING DATA:**

ADDRESS: 4000 ELLISON ST. NE ALBUQUERQUE, NM 87109

LEGAL DESCRIPTION: LOT 28A, INTERSTATE INDUSTRIAL TRACT

OWNER: SECURITY SELF STORAGE 8500 WASHINGTON ST. NE, SUITE A-5, ABQ., NM 87113

UPC: 101706315101030212

ZONE MAP: D-17

ZONING: NR-LM (M-1 OLD ZONING)

TOTAL SITE AREA: 4.91 ACRES

GROSS BUILDING AREA: 82,857 SF

NET FLOOR AREA: 81,917 SF

**BUILDING USE:** OFFICE LIGHT MANUFACTURING WAREHOUSE

**BUILDING USE (GROSS FLOOR AREA (GFA)):**

10' OF BLDG. IS OFFICE =	8,286 SF
60' OF BLDG. IS MANUFACTURING =	49,714 SF
30' OF BLDG. IS WAREHOUSE =	24,857 SF
	82,857 SF

**OFF-STREET AUTO PARKING REQ'D. (IDO TABLE 5-5-1)**

OFFICE (3.5 SPACES PER 1000 GFA)	
8,286 SF ÷ 1000 = 8.286	3.5 = 29 SPACES
LIGHT MANUFACTURING (1 SPACE PER 1000 GFA)	
49,714 SF ÷ 1000 = 49.714	50 SPACES
WAREHOUSE (NO REQUIREMENT)	0 SPACES
TOTAL SPACES REQUIRED	79 SPACES
ACCESSIBLE SPACES REQUIRED = 3	
COMPACT CAR SPACES ALLOWED (25' OF TOTAL) 79 SPACES x .25 = 20 MAXIMUM ALLOWABLE	

**OFF-STREET AUTO PARKING PROVIDED**

REGULAR SIZE SPACES	67 SPACES
COMPACT SIZE SPACES (18' OF TOTAL SPACES REQ'D.)	14 SPACES
TOTAL SPACES PROVIDED =	81 SPACES
INCLUDES 3 REQUIRED ACCESSIBLE SPACES	

**MOTORCYCLE SPACES REQUIRED (IDO TABLE 5-5-4)**

3 MOTORCYCLE SPACES REQ'D. AND PROVIDED

**BICYCLE PARKING REQUIRED (IDO TABLE 5-5-5)**

1 SPACE PER 10' OF REQ'D. AUTO PARKING

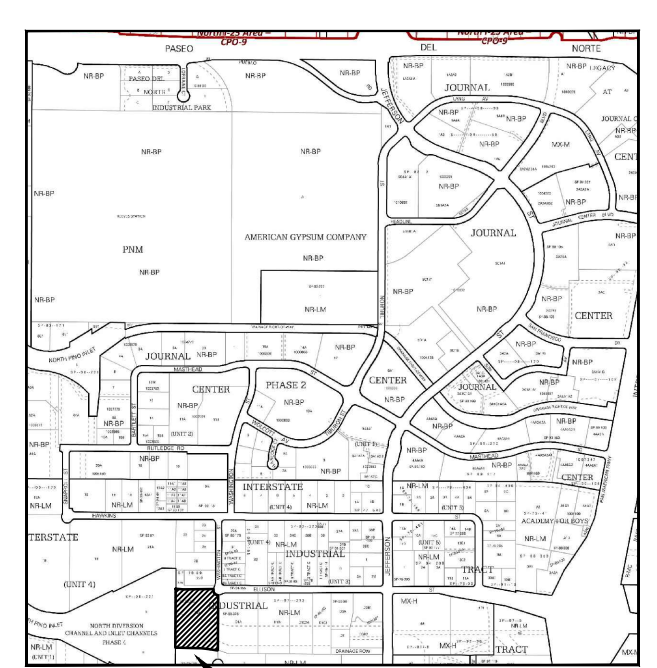
10' OF 79 REQ'D. SPACES = 8 BICYCLE SPACES

(2) 4-STALL BICYCLE RACKS PROVIDED

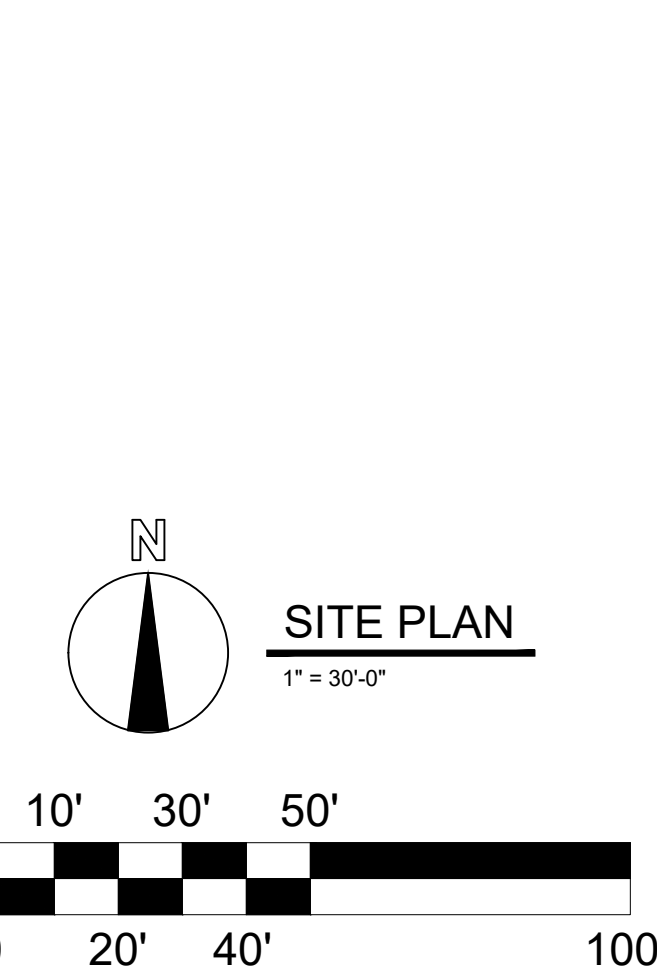
**OFF-STREET LOADING SPACES REQ'D (IDO TABLE 5-5-7)**

1 SPACE PER 50,000 SF = 2 LOADING SPACES REQ'D. (12' x 65' - SEE SITE PLAN FOR LOCATION)

**ON-STREET PARKING SPACES - NOT APPLICABLE**



VICINITY MAP: D-17-Z  
SCALE: N.T.S.



**PROJECT NUMBER: PR-2019-002668**

APPLICATION NUMBER: SI-2019-002SI

IS AN INFRASTRUCTURE LIST REQUIRED ( ) YES ( ) NO IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

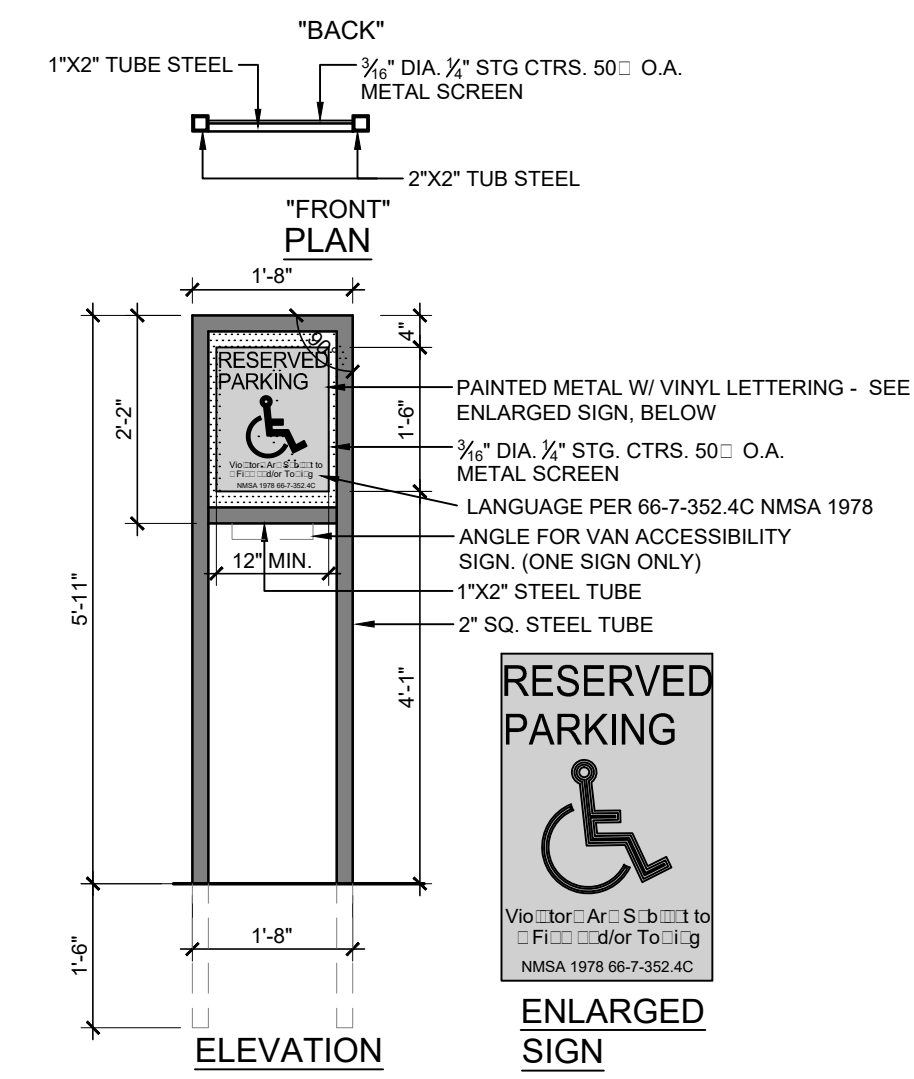
**DRB SITE DEVELOPMENT PLAN APPROVAL:**

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
WATER UTILITY DEPARTMENT	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	DATE
SOLID WASTE MANAGEMENT	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE
ENVIRONMENTAL HEALTH, IF NECESSARY	DATE

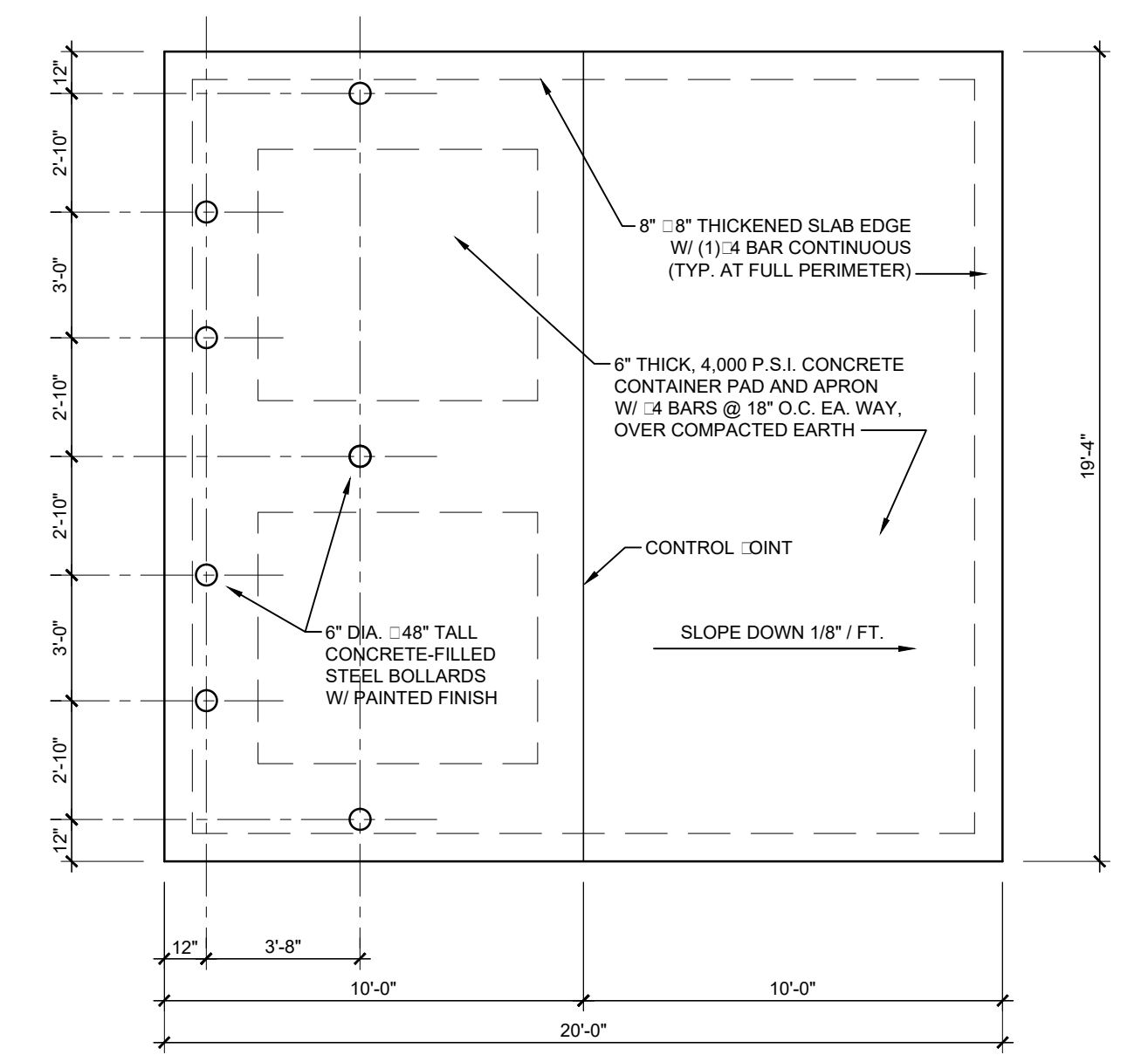
**SITE PLAN**

REVISIONS:

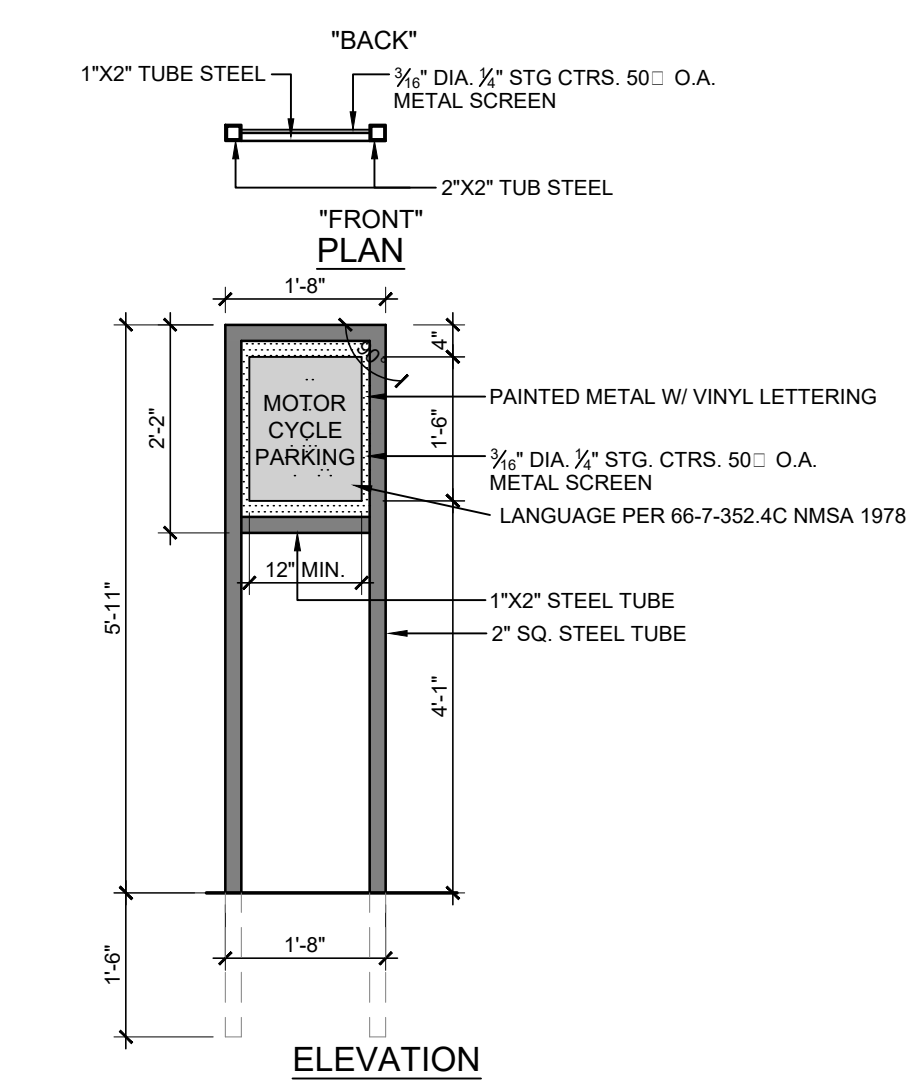
SCALE:  
AS SHOWN  
PLAN DATE:  
AUGUST 30, 2019  
FILENAME:  
4000 ELLISON  
DRAWN BY:  
B.KLEINSCHMIDT



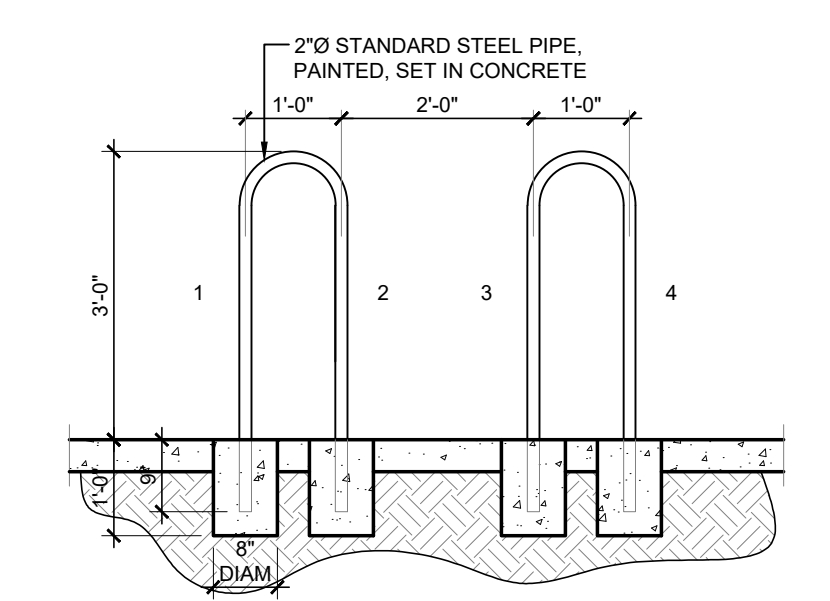
**5** HANDICAP PARKING SIGNAGE  
1/2" = 1'-0"



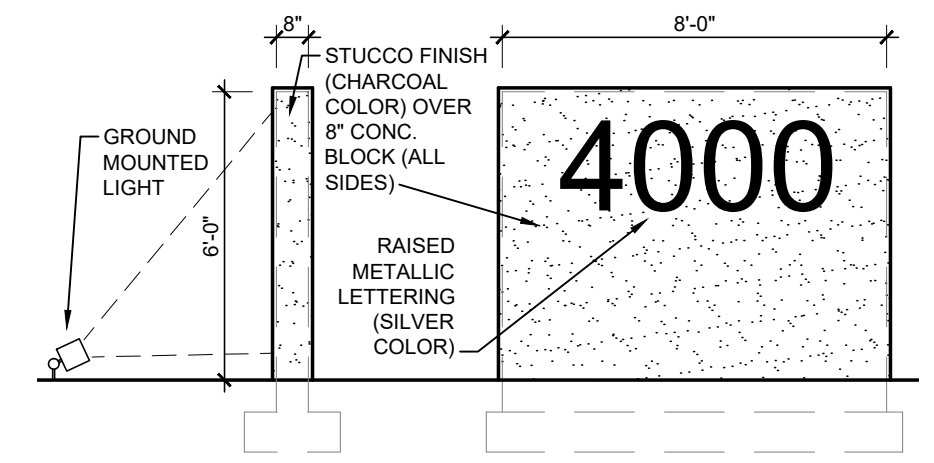
**1** REFUSE CONTAINER PAD AND APRON  
1/4" = 1'-0"



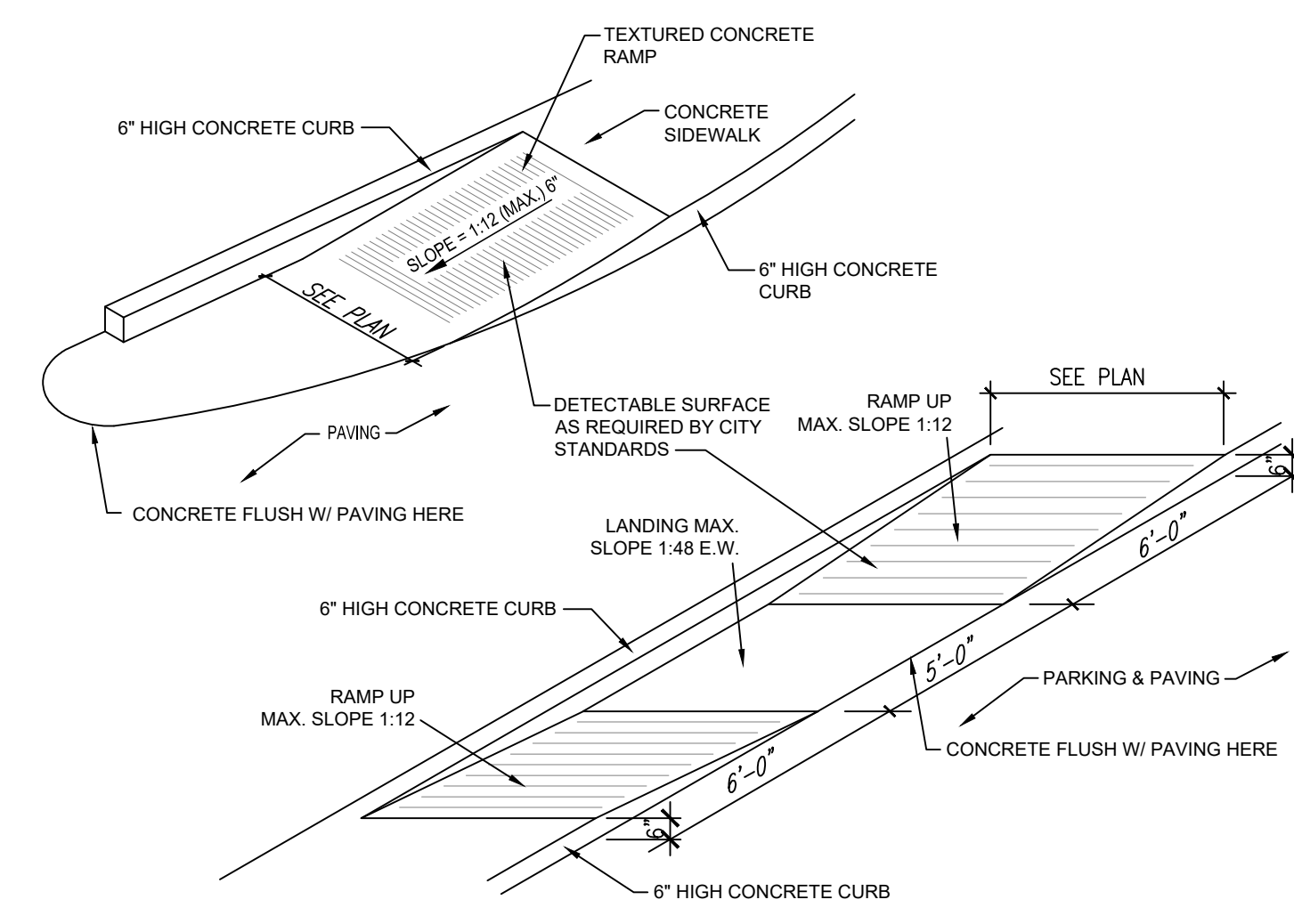
**6** MOTORCYCLE SIGNAGE  
1/2" = 1'-0"



**2** BICYCLE PARKING  
1/2" = 1'-0"



**3** MONUMENT SIGN  
1/4" = 1'-0"



**4** SIDEWALK RAMP DETAILS  
NO SCALE

PLANT LEGEND

Qty.	Symbol	Scientific Name Common Name	Installed Size	Mature Height/Spread	Landscape Coverage	Water Use	Drip Emitters Per Plant (see note)
2		Fraxinus Autumn Purple Ash	2" B&B	40/30'	40 sf=80 sf	Medium	6-2 gph
2		Gleditsia Seedless Honey Locust	2" B&B	50/45'	30 sf=60 sf	Medium	6-2 gph
5		Quercus Live Oak	2" B&B	60/70'	40 sf=200 sf	Medium+	6-2 gph
10		Pyrus Flowering Pear	2" B&B	15/15'	30 sf=300 sf	Medium+	6-2 gph

Shrubs/Groundcovers

12		Caryopteris clandonensis Blue Mist	1-Gal	3/3'	20 sf=240 sf	Low+	2-2 gph
11		Elaeagnus pungens Silverberry	1-Gal	10/10'	80 sf=880 sf	Medium	2-2 gph
26		Nandina Heavenly Bamboo	5-Gal	8/5'	20 sf=520 sf	Medium+	2-2 gph
7		Juniperus horizontalis Blue Chip Juniper	5-Gal	1/8'	25 sf=175 sf	Low +	2-1 gph
20		Ilex Burford Holly	5-Gal	4/4'	20 sf=400 sf	Medium	2-2 gph
39		Panicum Switch Grass	1-Gal	6/4'	36 sf=1404 sf	Medium	2-2 gph

Total landscape coverage 4,259 sf

MATERIALS LEGEND



LANDSCAPE DATA

GROSS LOT AREA	213,967 SF
LESS BUILDING(S)	82,857 SF
LESS AREA SCREENED BY WALL	96,700 SF
NET LOT AREA	34,410 SF

REQUIRED LANDSCAPE AREA	5,162 SF
15% OF NET LOT AREA	5,240 SF
PROPOSED LANDSCAPE AREA	5,240 SF
PERCENT OF NET LOT AREA	15 %

HIGH WATER USE TURF  
NONE PROPOSED

REQUIRED STREET TREES  
PROVIDED AT 30' O.C. SPACING STREET 2

REQUIRED PARKING LOT TREES  
PROVIDED AT 1 PER 10 SPACES (61 SPACES/10) 7

REQUIRED SHADE TREES  
PROVIDED AT 25' O.C. SPACING ALONG PED. WALKS 10

TOTAL REQUIRED TREES 19

TOTAL PROPOSED TREES (2" CAL.) 19

REQUIRED LANDSCAPE COVERAGE  
75% LIVE VEGETATIVE MATERIAL (5,240 SF x 75%) 3,930 SF MIN.  
PROVIDED LANDSCAPE COVERAGE 4,259 SF (81%)

GRAVEL LANDSCAPE AREA RESTRICTIONS  
MAXIMUM 75% OF LANDSCAPE AREA (5,240 SF x 75%) 3,930 SF MIN.  
PROVIDED GRAVEL LANDSCAPE AREA 3,280 SF (63%)

NOTE

MAINTENANCE OF LANDSCAPE (ONSITE AND WITHIN ROW) TO BE MAINTAINED BY PROPERTY OWNER

PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION SYSTEM WITH REDUCED PRESSURE BACKFLOW PREVENTER PER CITY OF ALBUQUERQUE

WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER

THIS PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE 6-1-1. PLANTING RESTRICTIONS APPROACH

IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN. 75% LIVE GROUNDCOVER OF LANDSCAPE AREAS AT MATURITY PER ORDINANCE 14-16-3-10 (SEE CALCULATIONS PROVIDED ABOVE)

LANDSCAPE AREAS TO BE MULCHED WITH GRAVEL MULCH AT 2"-3" DEPTH

APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE OR IMPLY COMPLIANCE WITH, OR EXEMPTION FROM, THE C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE 6-1-1.

NO PARKING SPACE SHALL BE MORE THEN 100' FROM A TREE.

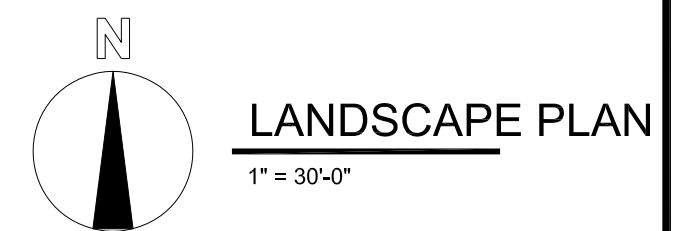
STREET TREES TO CONFORM TO STREET TREE ORDINANCE 6-6-2.

LANDSCAPE PLAN TO CONFORM TO ZONING REGULATIONS ORDINANCE 14-16-3-10 AND I.D.O.

LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ALLOWED IN THIS AREA.

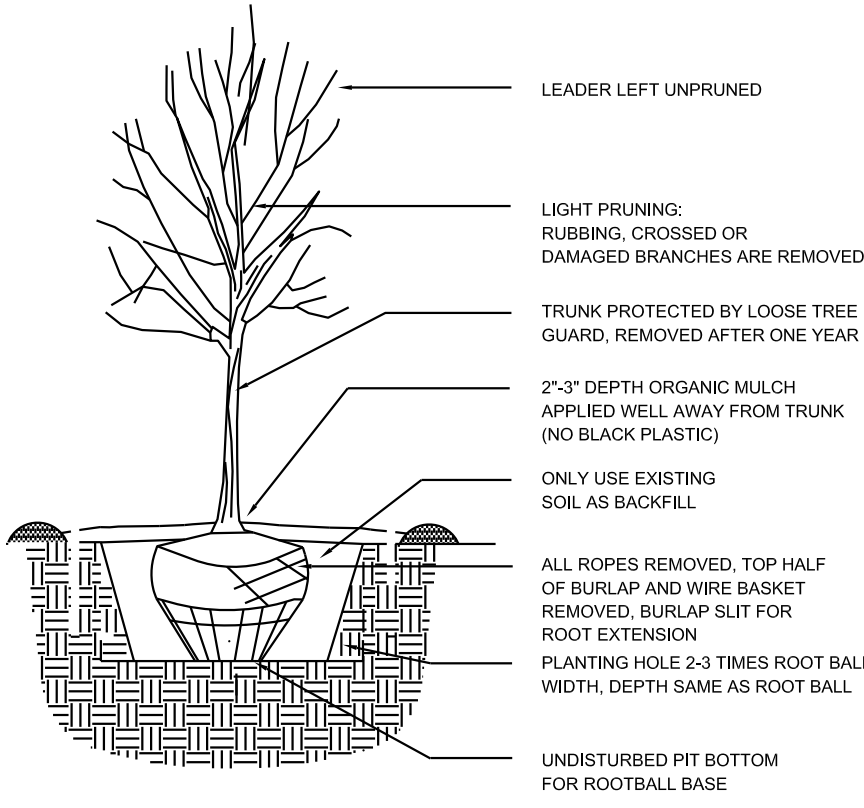
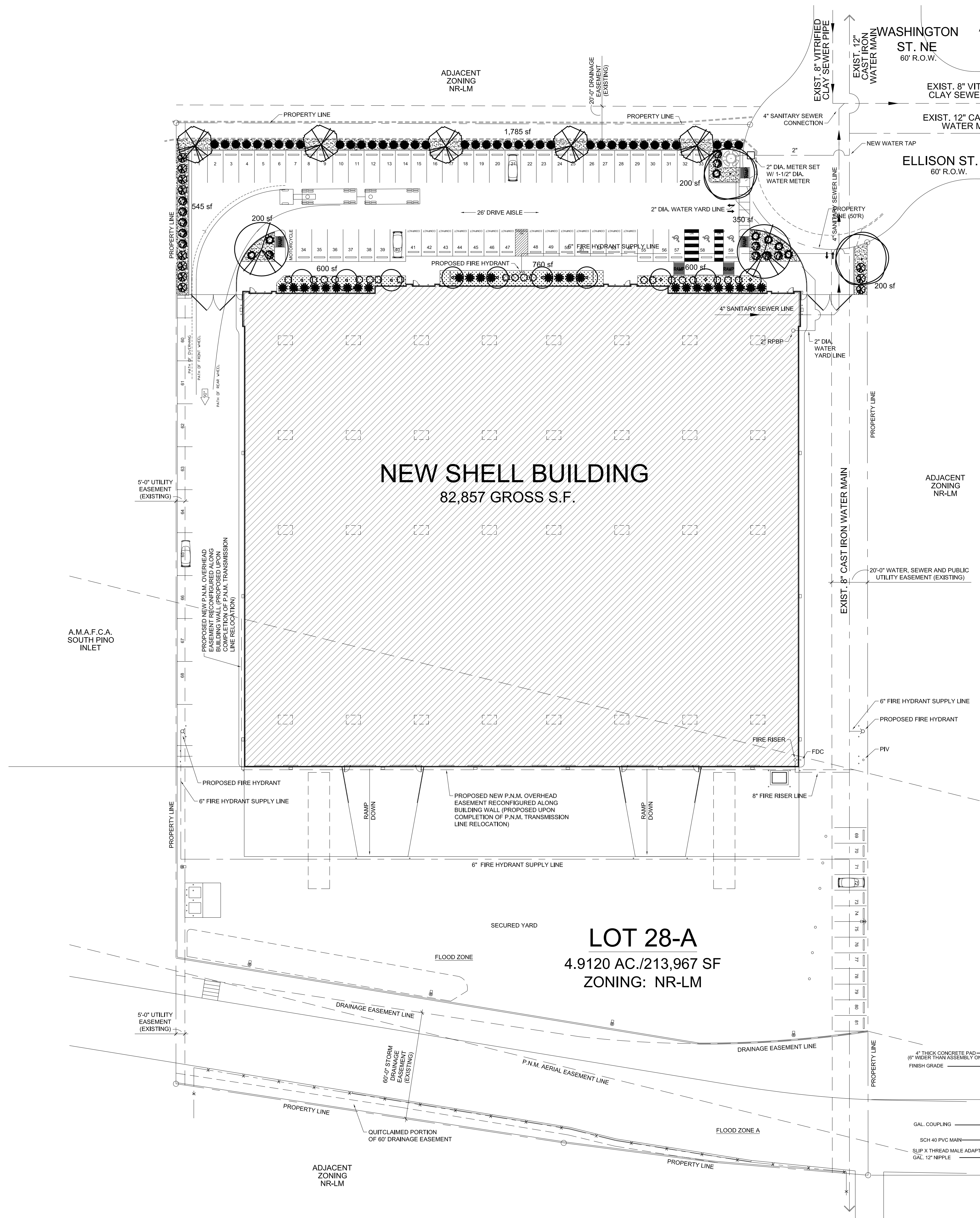
IRRIGATION NOTE

DRIP SYSTEM RUN CYCLES:  
ESTABLISHMENT AND SUMMER:  
1 HOUR/4 DAYS A WEEK  
SPRING:  
1 HOUR/2-3 DAYS A WEEK  
FALL:  
1 HOUR/2-3 DAYS A WEEK  
WINTER:  
1 HOUR/2 DAYS PER MONTH

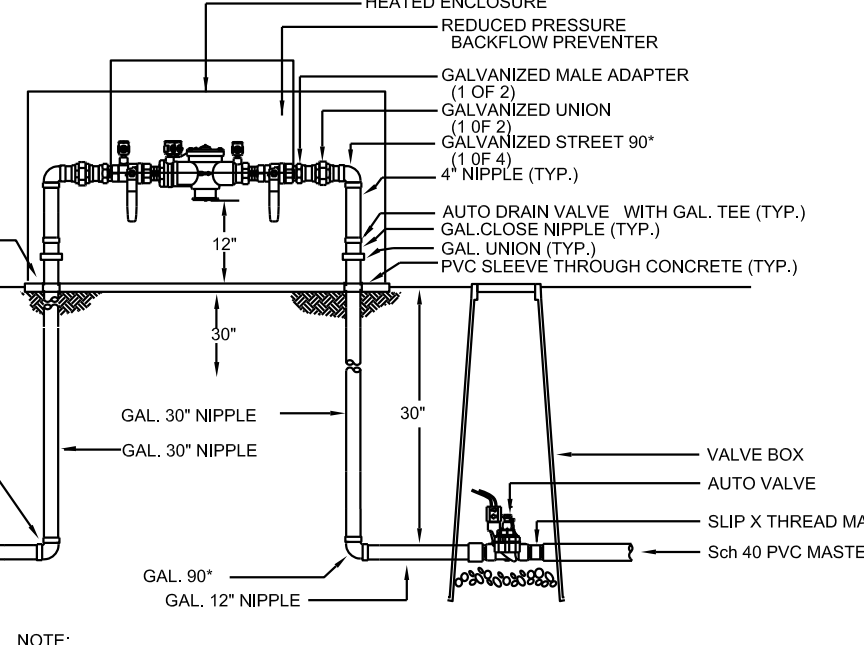


growing better  
**Up**  
HEADS UP  
LANDSCAPE CONTRACTORS  
www.headsuplandscape.com  
P.O. Box 10537  
Albuquerque, NM 87184  
505.898.9615  
505.898.2105 (fax)  
design@huic.com

LANDSCAPE PLAN

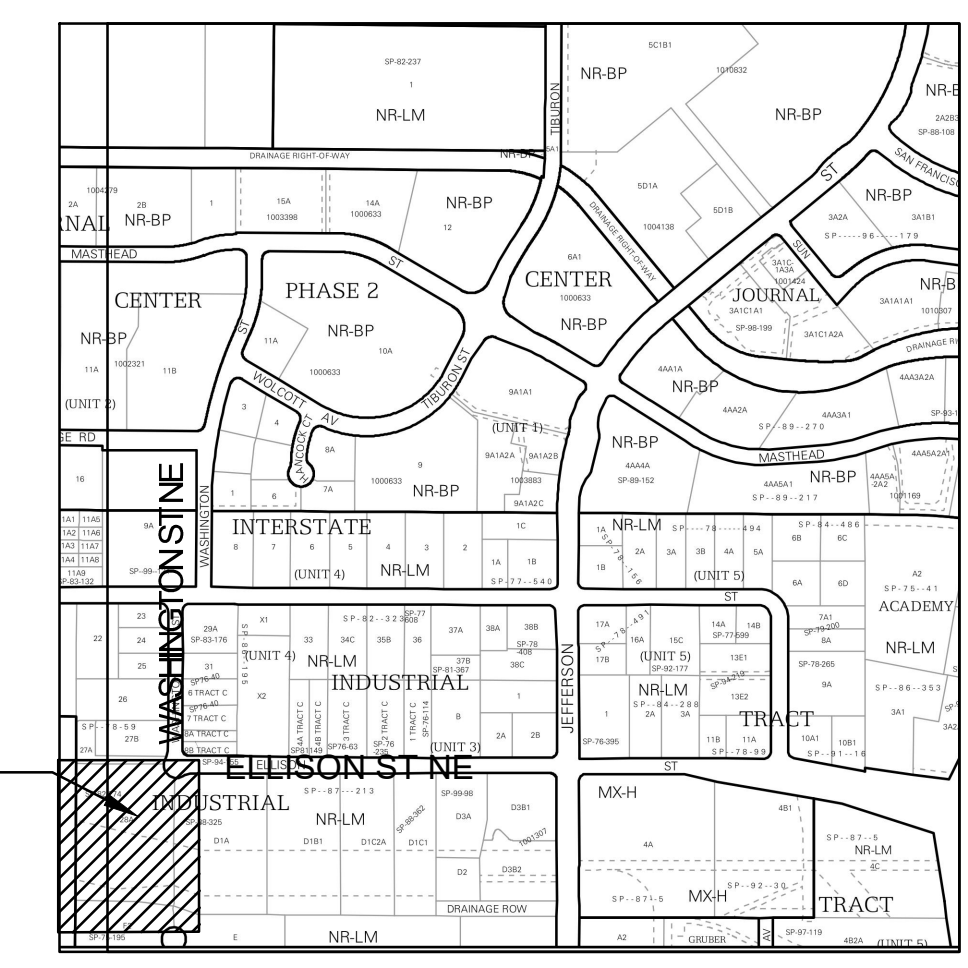


TREE PLANTING DETAIL



RP BACKFLOW/MASTER VALVE DETAIL

NOTE:  
1. INSTALL BACKFLOW PREVENTER AS REQUIRED BY LOCAL CODES AND HEALTH DEPARTMENT. VERIFY LOCAL REQUIREMENTS PRIOR TO INSTALLATION.



VICINITY MAP

D17

LEGEND

- EXISTING CONSTRUCTION
- NEW CONTOUR
- FF=5110.0 PROPOSED BUILDING FINISH FLOOR ELEV
- ◆ 65.5 NEW SPOT ELEVATION
- NEW CONSTRUCTION
- RD ROOF DRAIN
- TC TOP OF CURB
- TW TOP OF WALL
- BW BOTTOM OF WALL

DRAINAGE ANALYSIS

ADDRESS: 4000 Ellison Street NE, Albuquerque, NM

LEGAL DESCRIPTION: LOT 28-A, INTERSTATE INDUSTRIAL TRACT

SITE AREA: 213,967 SF (4.912 acre)

BENCHMARK: City of Albuquerque Station '12-E17' being a brass cap with ELEV= 5118.70 (NAVD 1988)

SURVEYOR: Sandia Land Surveying Inc. dated July 14, 2019

PRECIPITATION ZONE: 2

FLOOD HAZARD: From FEMA Map 35001C0136G (9/26/08), this site is identified as being within Zone 'X' which is determined to be outside the 0.2% annual chance floodplain.

OFFSITE FLOW: Offsite flow enters this site at the NE corner and is carried west by an existing concrete drain swale within an existing 20' drainage easement.

EXISTING CONDITIONS: The site is an undeveloped industrial site which slopes down to the west at 2-2.5%. The site discharges freely to the west which is the South Pino Inlet owned by AMAFCA.

PROPOSED IMPROVEMENTS: An 82,850 SF building is proposed along with paved parking and access drives and minor xeric landscape areas. Paved parking is proposed in front of the building and base course is in the rear-yard area.

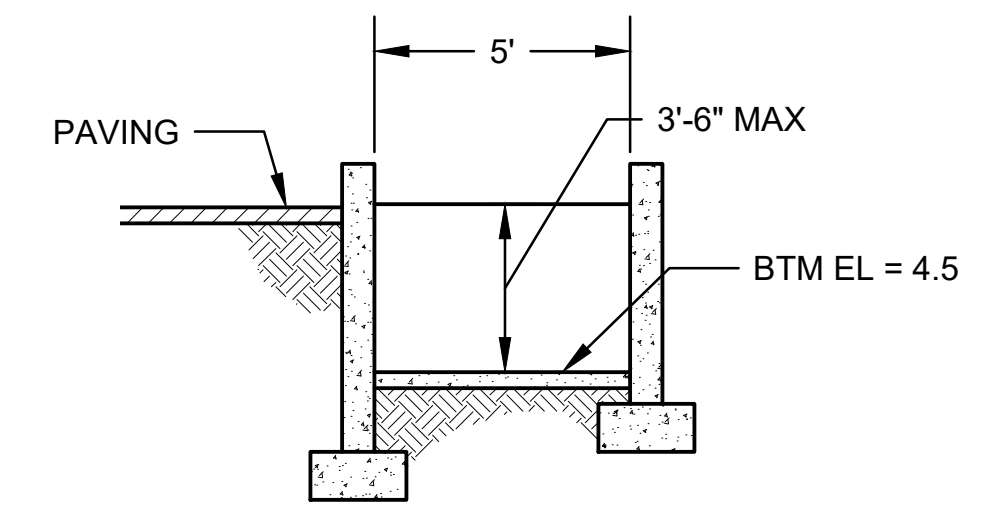
DRAINAGE APPROACH: The site drainage pattern will follow historic conditions with the incorporation of onsite retention ponds for the first flush volume.

Existing land treatment: 100% A  
 $Q = (1.56)(4.912) = 7.7$  CFS

Proposed land treatment: 42% C and 58% D  
 $Q = [(0.42)(3.14) + (0.58)(4.70)](4.912) = 19.9$  CFS

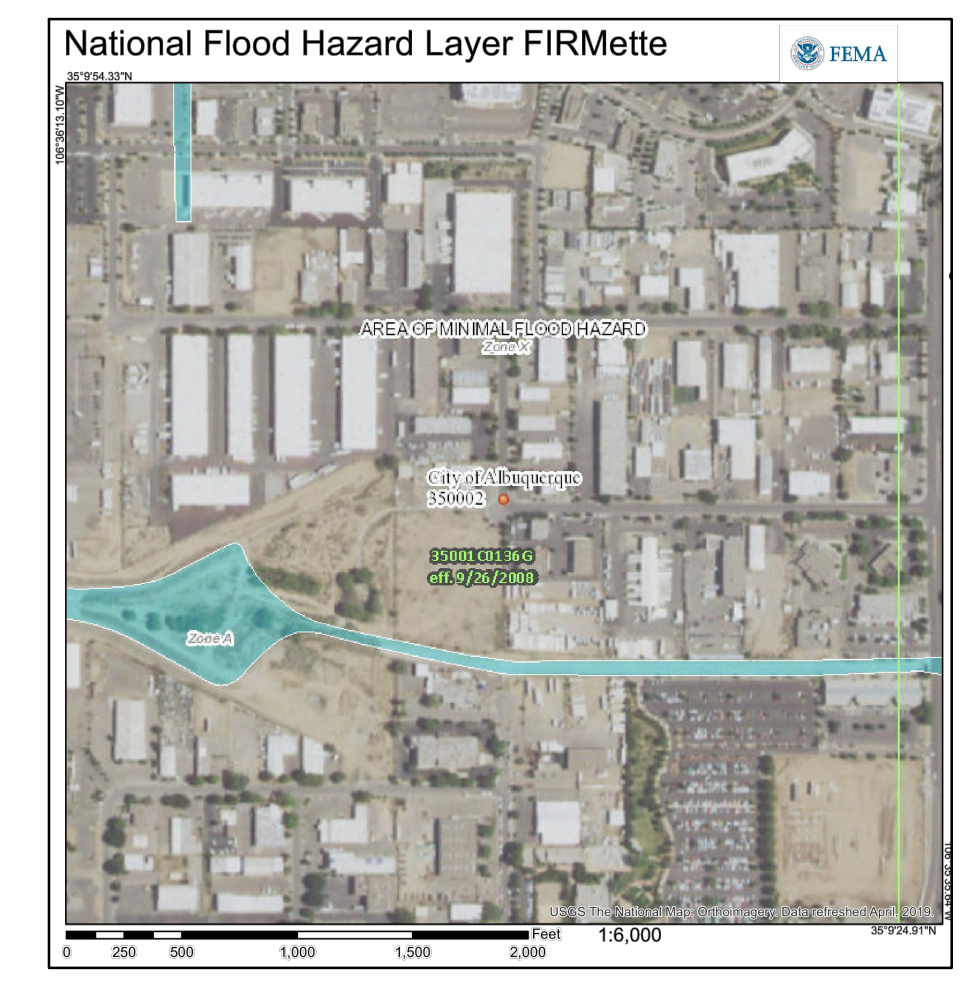
1ST FLUSH  $V = (0.34/12)(124,100) = 3,516$  CF

The proposed retention storage area provides  $V = 1120 + 2400$  CF = 3,520 CF (3520 > 3516 OK)

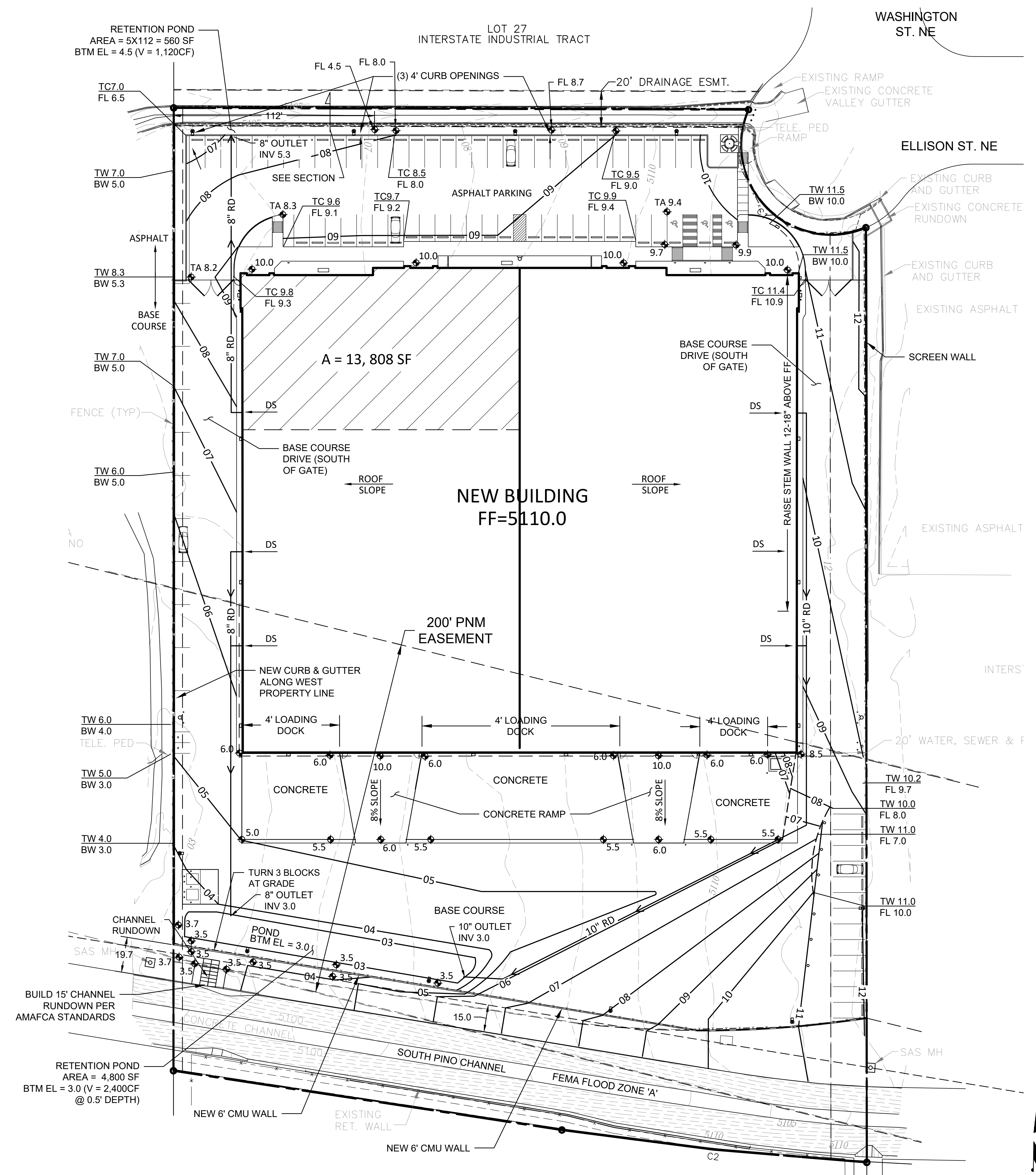


SECTION

1/4" = 1'-0"

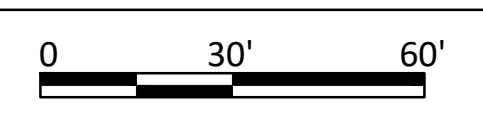


FIRM MAP

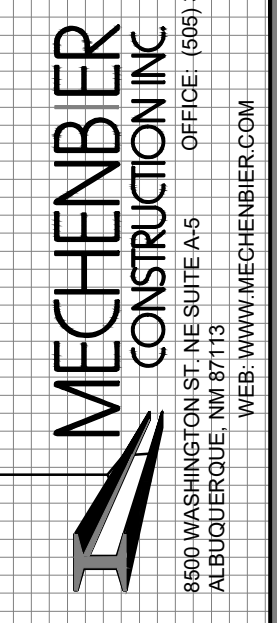


PRELIMINARY GRADING AND DRAINAGE PLAN

1" = 30'



NOT FOR CONSTRUCTION



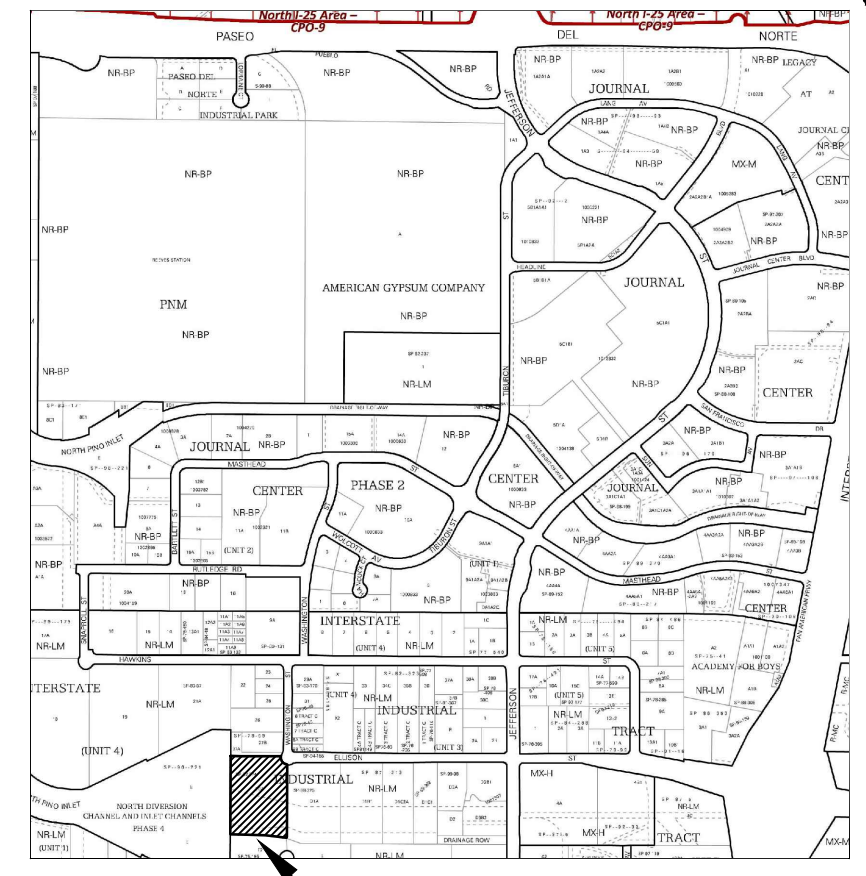
REVISIONS:

SCALE:  
1" = 30'-0"  
PLAN DATE:  
AUGUST 30, 2019  
FILENAME:  
4000 ELLISON  
DRAWN BY:  
B.KLEINSCHMIDT

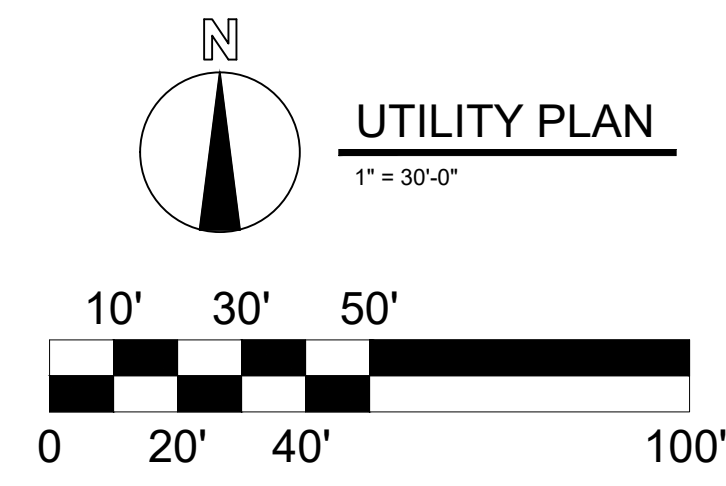
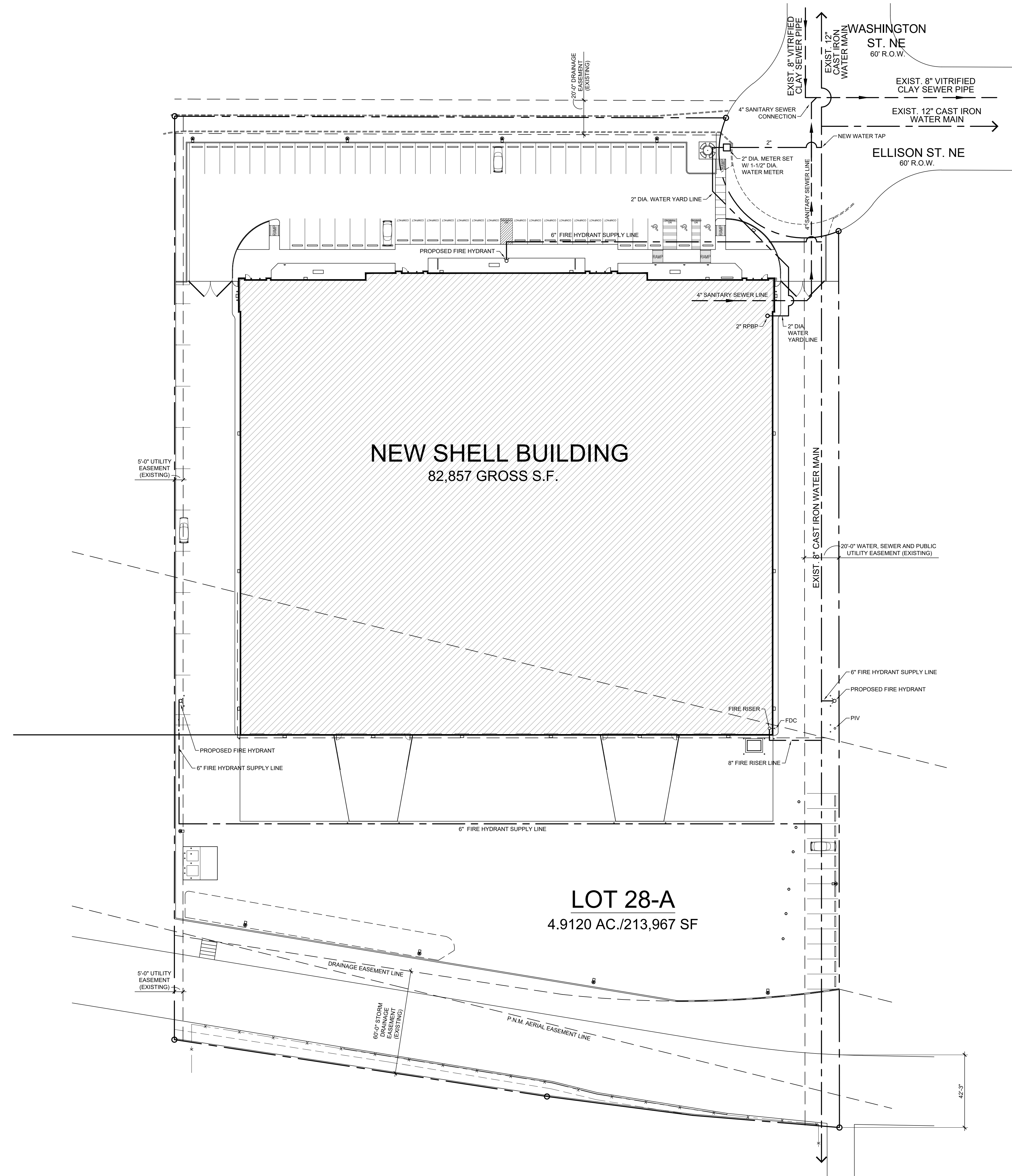
SHELL CONSTRUCTION  
WAREHOUSE/FLEX BUILDING  
4000 ELLISON STREET NE  
ALBUQUERQUE, NEW MEXICO 87109

MECHENBIE  
CONSTRUCTION INC.  
8500 WASHINGTON ST. NE SUITE A-5  
ALBUQUERQUE, NM 87113  
OFFICE: (505) 314-7700  
WEB: WWW.MECHENBIE.COM

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PROJECT SITE  
VICINITY MAP: D-17-Z  
SCALE: N.T.S.



SITE UTILITY

REVISIONS:

SCALE:  
SEE PLAN

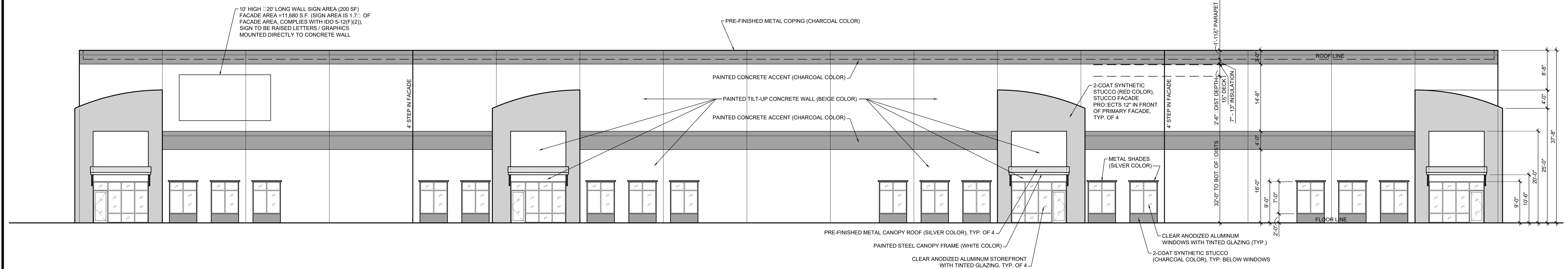
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JULY 23, 2019

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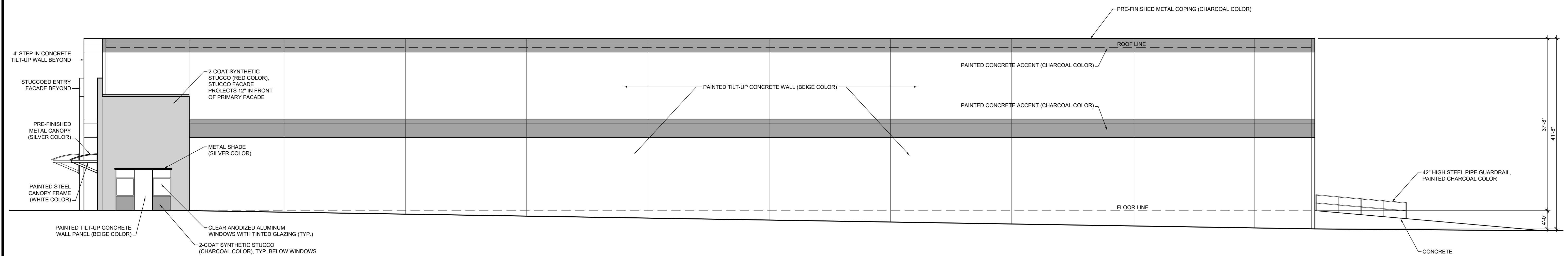
DRAWN BY:  
B. KLEINSCHMIDT

SHELL CONSTRUCTION  
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ALBUQUERQUE, NEW MEXICO 87109

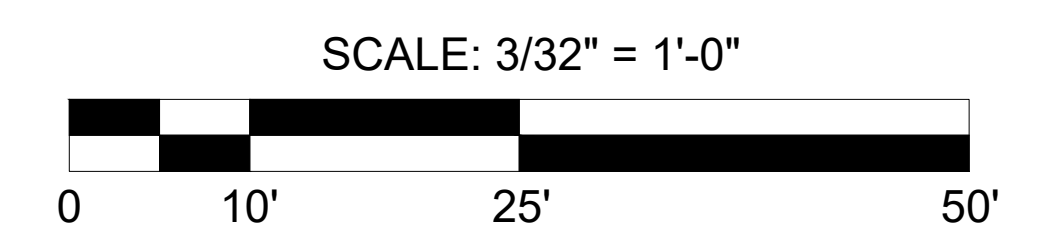
MECHENBIE  
R CONSTRUCTION INC.  
8500 WASHINGTON ST. NE SUITE A-5  
ALBUQUERQUE, NM 87113  
OFFICE: (505) 314-7700  
WEB: WWW.MECHENBIE.COM



**A** NORTH ELEVATION  
3/32" = 1'-0"



**B** WEST ELEVATION  
3/32" = 1'-0"



EXTERIOR ELEVATIONS

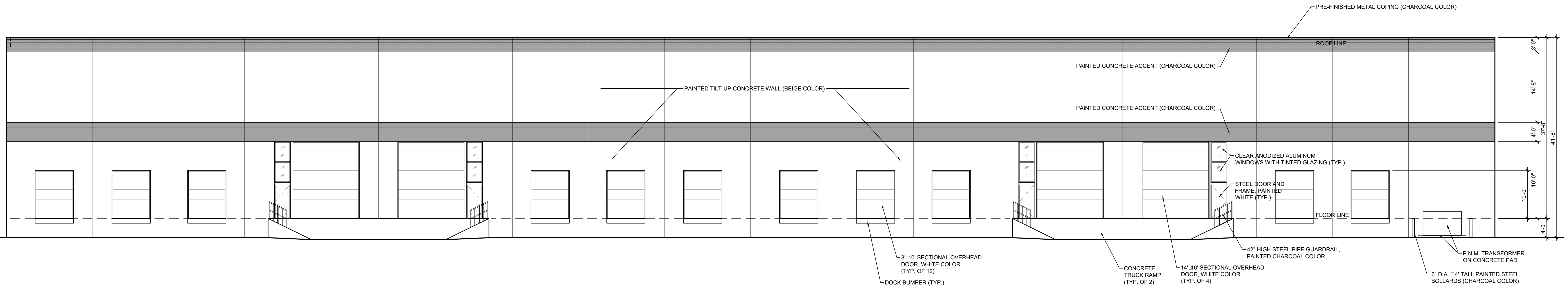
REVISIONS:

SCALE:  
SEE PLAN

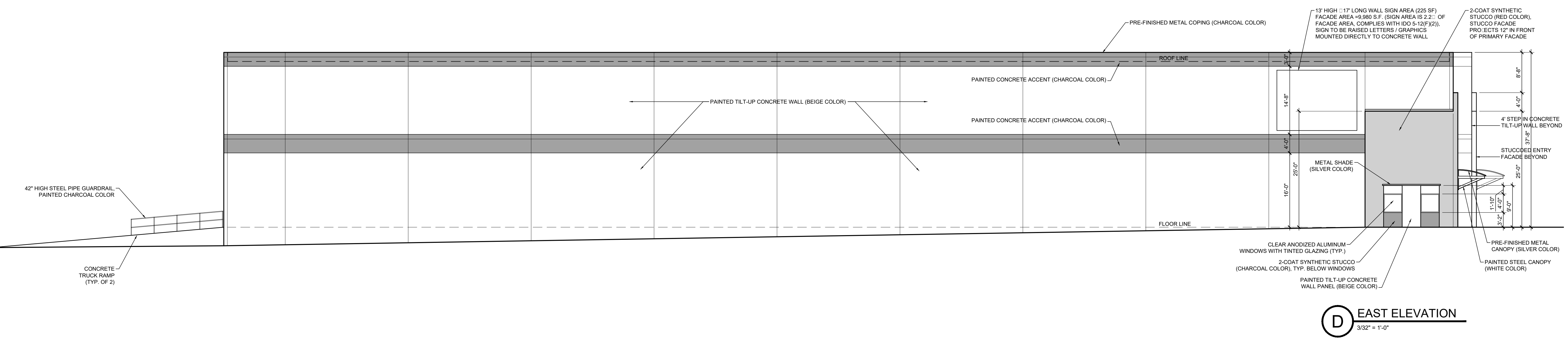
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FILENAME:  
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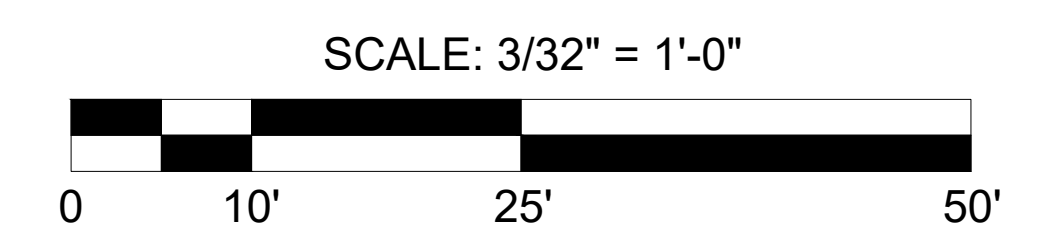
DRAWN BY:  
B. KLEINSCHMIDT



**C SOUTH ELEVATION**  
3/32" = 1'-0"



**D EAST ELEVATION**  
3/32" = 1'-0"

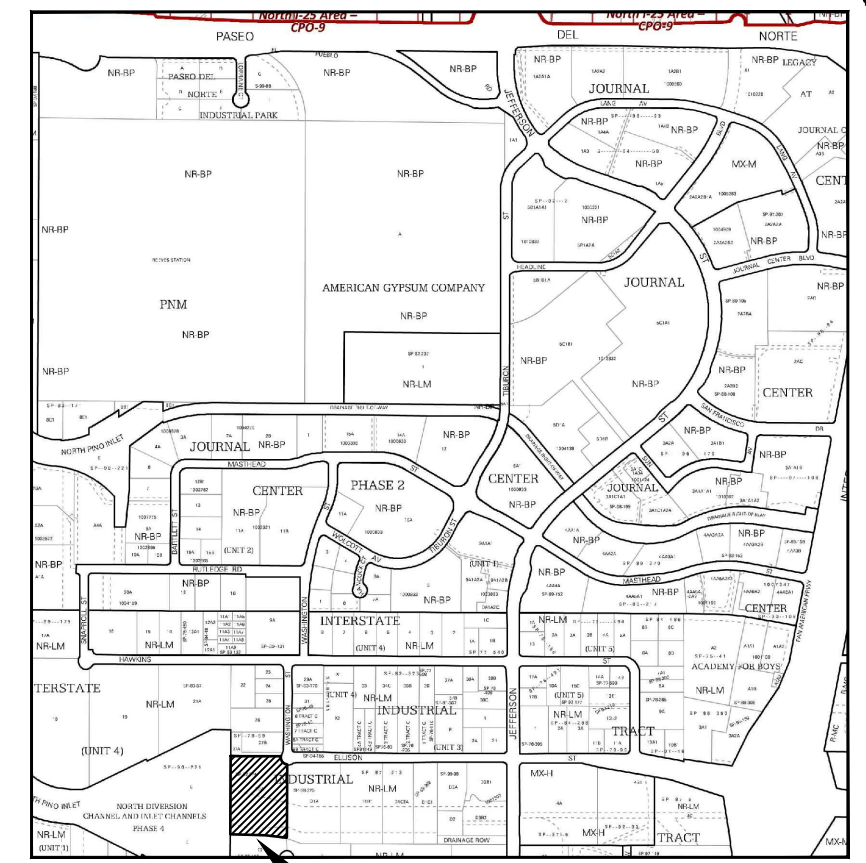


**EXTERIOR ELEVATIONS**

**SHELL CONSTRUCTION**  
WAREHOUSE/FLEX BUILDING  
4000 ELLISON STREET NE  
ALBUQUERQUE, NEW MEXICO 87109

**MECHENBIE**  
CONSTRUCTION INC.  
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WEB: WWW.MECHENBIE.COM

REVISIONS:



PROJECT SITE

VICINITY MAP: D-17-Z

SCALE: N.T.S.

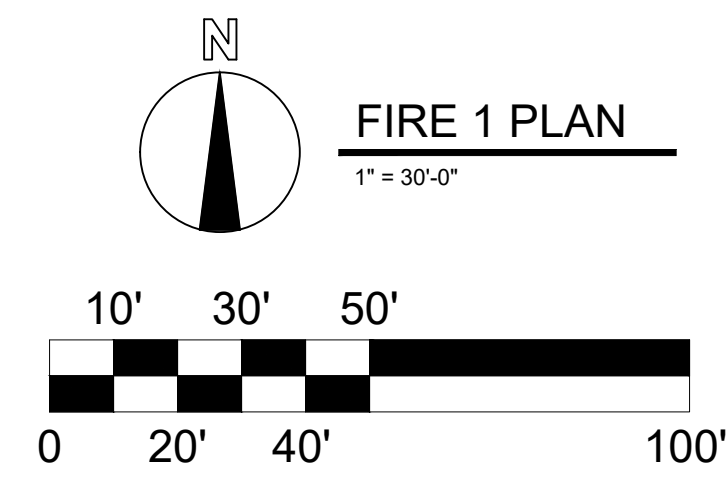
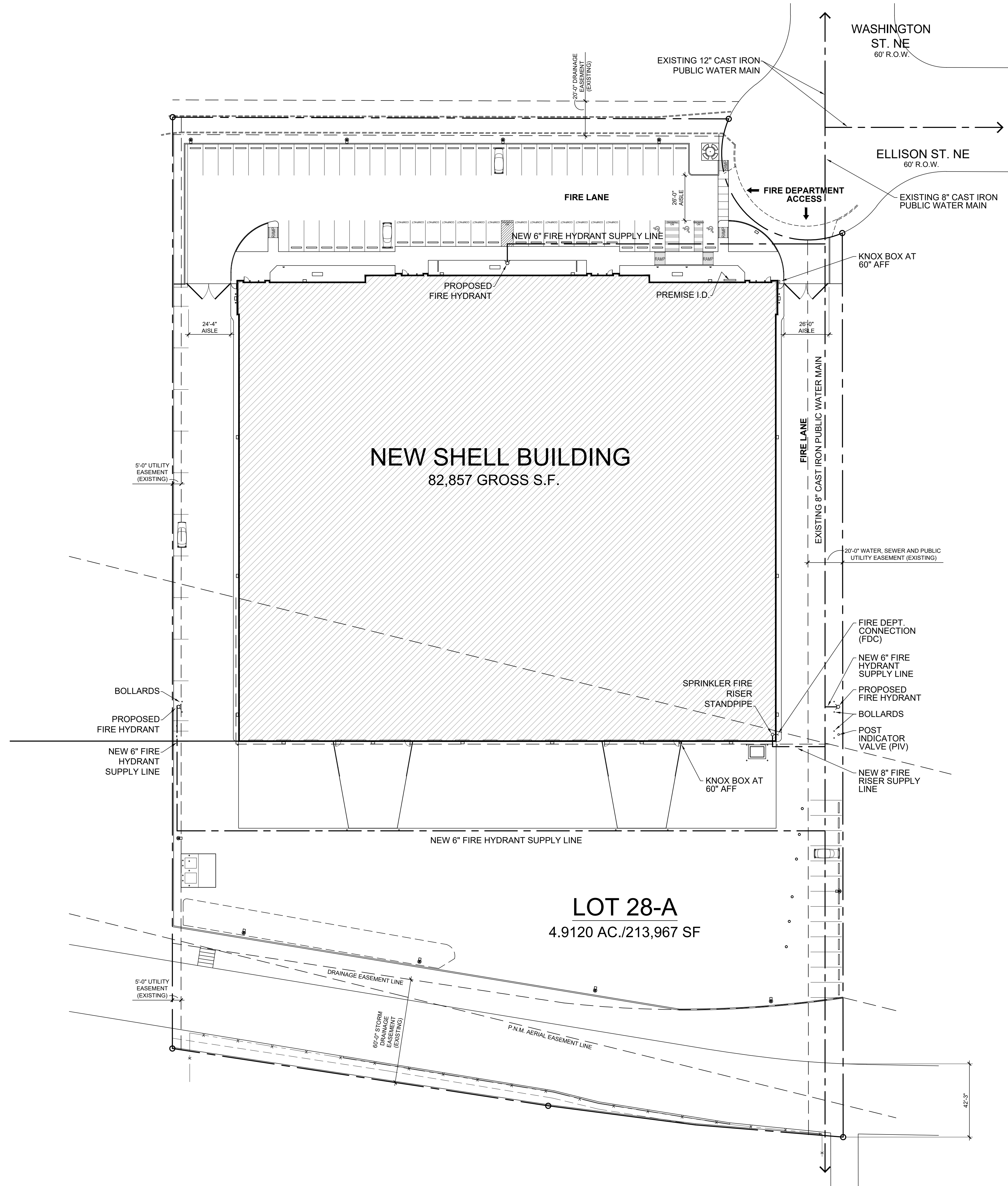
**PROJECT DESCRIPTION:**

ADDRESS: 4000 ELLISON ST. NE ALBUQUERQUE, NM 87109  
 LEGAL DESCRIPTION: LOT 28A, INTERSTATE INDUSTRIAL TRACT  
 OWNER: SECURITY SELF STORAGE 8500 WASHINGTON ST. NE, SUITE A-5, ABQ., NM 87113  
 UPC: 101706315101030212  
 ZONE MAP: D-17  
 ZONING: NR-LM (M-1 OLD ZONING)  
 TOTAL SITE AREA: 4.91 ACRES  
 CONSTRUCTION TYPE: II-B (NON COMBUSTIBLE), SPRINKLERED  
 OCCUPANCY GROUPS: B OFFICE, F1 MANUFACTURING, S1 STORAGE  
 GROSS BUILDING AREA: 82,857 SF  
 NET FLOOR AREA: 81,917 SF  
 BUILDING HEIGHT: 37'-8" (ONE-STORY)

SCALE: 1" = 30'-0"  
 PLAN DATE: AUGUST 30, 2019  
 FILENAME: 4000 ELLISON  
 DRAWN BY: B.KLEINSCHMIDT

**FIRE REVIEW NOTES:**

CODE CRITERIA: 2009 INT'L. FIRE CODE, APPENDIX B, C AND D.  
 MAXIMUM 400' BETWEEN FIRE HYDRANTS (3 NEW FIRE HYDRANTS SHOWN).  
 FIRE APPARATUS ROADS SHALL NOT EXCEED 10% IN GRADE.  
 APPROVED FIRE APPARATUS ROADS SHALL HAVE CONCRETE OR OTHER APPROVED DRIVING SURFACE CAPABLE OF SUPPORTING IMPOSED LOAD OF FIRE APPARATUS WEIGHING AT LEAST 75,000 POUNDS.



FIRE 1 PLAN  
1" = 30'-0"

FIRE 1

SHELL CONSTRUCTION  
 WAREHOUSE/FLEX BUILDING  
 4000 ELLISON STREET NE  
 ALBUQUERQUE, NEW MEXICO 87109

MECHENBER  
 CONSTRUCTION INC.  
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