



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	Policy Decisions
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Site Plan – DRB (Form P2)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input checked="" type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Subdivision of Land – Minor (Form S2)	<input type="checkbox"/> Annexation of Land (Form Z)
Decisions Requiring a Public Meeting or Hearing	<input type="checkbox"/> Subdivision of Land – Major (Form S1)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
<input type="checkbox"/> Conditional Use Approval (Form ZHE)	<input type="checkbox"/> Vacation of Easement or Right-of-way (Form V)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Variance – DRB (Form V)	Appeals
<input type="checkbox"/> Expansion of Nonconforming Use or Structure (Form ZHE)	<input type="checkbox"/> Variance – ZHE (Form ZHE)	<input type="checkbox"/> Decision by EPC, LC, DRB, ZHE, or City Staff (Form A)

APPLICATION INFORMATION		
Applicant: Carlisle Associates LP		Phone: 516-281-1550
Address: 33 South Service Road		Email: drosen@rosenmngnt.com
City: Jericho	State: NY	Zip: 11753
Professional/Agent (if any): Modulus Architects, Inc.		Phone: (505) 338-1499
Address: 100 Sun Ave NE. Suite 600 Albuquerque, NM 87109		Email: rokoye@modulusarchitects.com
City: Albuquerque	State: NM	Zip: 87109
Proprietary Interest in Site: Agent	List <u>all</u> owners: Carlisle Associates LP	

BRIEF DESCRIPTION OF REQUEST
Amend an approved DRB Site Plan for Building Permit to modify the site layout.

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)		
Lot or Tract No.: A1 and B1	Block:	Unit:
Subdivision/Addition: CARLISLE & INDIAN SCHOOL	MRGCD Map No.:	UPC Code: 101705904304930123, 101705901806530139
Zone Atlas Page(s): H-16-Z	Existing Zoning: MX-M	Proposed Zoning: N/A
# of Existing Lots: 2	# of Proposed Lots: 2	Total Area of Site (acres): +/- 10.2 acres

LOCATION OF PROPERTY BY STREETS		
Site Address/Street: 2100 Carlisle BLVD NE	Between: Carlisle BLVD	and: Indian School RD NE

CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)	
PR-2019-002677, SI-2019-00252	
Signature: <i>Regina Okoye</i>	Date: 7/7/2021
Printed Name: Regina Okoye	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

FOR OFFICIAL USE ONLY		
Case Numbers	Action	Fees
SI-2021-01012	AA	
-		
-		
Meeting/Hearing Date:	Fee Total:	
Staff Signature:	Date:	Project # PR-2019-002677

FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS

A single PDF file of the complete application including all plans and documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD.

INFORMATION REQUIRED FOR ALL ADMINISTRATIVE DECISIONS OR AMENDMENTS

- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled

ARCHEOLOGICAL CERTIFICATE

- Archaeological Compliance Documentation Form with property information section completed
- Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)

MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)
- Three (3) copies of all applicable sheets of the approved Site Plan being amended, folded
- Copy of the Official Notice of Decision associated with the prior approval
- Three (3) copies of the proposed Site Plan, with changes circled and noted
Refer to the Site Plan Checklist for information needed on the proposed Site Plan.

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-5. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.


MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(1)(a)
- Three (3) copies of all applicable sheets of the approved Site Development Plan being amended, folded
- Copy of the Official Notice of Decision associated with the prior approval
- Three (3) copies of the proposed Site Development Plan, with changes circled and noted
Refer to the Site Plan Checklist for information needed on the proposed Site Plan.

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-5. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

ALTERNATIVE SIGNAGE PLAN

- Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)
- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(F)(4)(c)
- Required notices with content per IDO Section 14-16-6-4(K)(6)
- Office of Neighborhood Coordination notice inquiry response and proof of emailed notice to affected Neighborhood Association representatives
- Sign Posting Agreement

<i>I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.</i>	
Signature: <i>Regina Okoye</i>	Date: 7/7/2021
Printed Name: Regina Okoye	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent
FOR OFFICIAL USE ONLY	
Project Number: PR-2019-002677	Case Numbers SI-2021-01012
	-
	-
Staff Signature:	
Date:	

City of Albuquerque
Planning & Development Services
Plaza del Sol, 600 Second NW, Albuquerque, NM 87102
P.O. Box 1293, Albuquerque, N.M. 87103
Telephone: (505) 924-3860
Mr. Russel Brito, Planning Manager

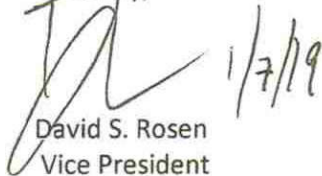
Re: Agent Authorization Notice – Zone Map Amendment Request

Commissioners,

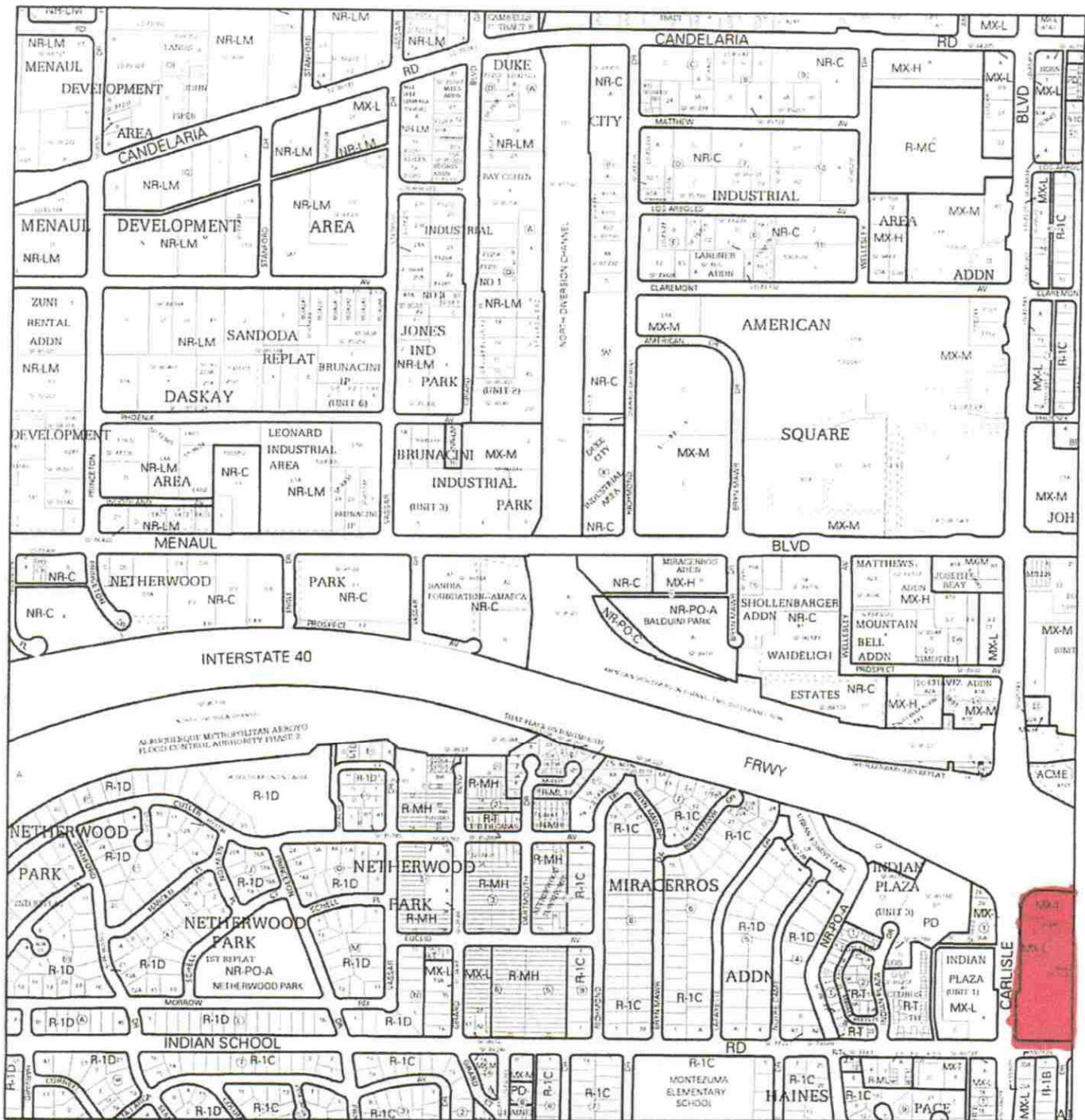
Carlisle Associates LP hereby authorizes Modulus Architects to perform as the Agent of Record with the City of Albuquerque. It is our intention to file for a Zone Map Amendment for the property located 2100 Carlisle Blvd NE - Albuquerque, New Mexico, 87110 and legally described as: TR A PLT OF TRS A & B CARLISLE & INDIAN SCHOOL SUB'D BEING APART OF BLKS 16 & 17 & A PART OF BLKS 14 & 15 NETHERWOODPARK SECOND FILING EXCL PORTIONS OUT TO R/W CONT 10.0890 AC.

This authorization is valid until further written notice from Angela Williamson, Principal at Modulus Architects (Agent) or Carlisle Associates LP. Please direct all correspondence and communication to our Agent for the purpose of this request for EPC approval.

Sincerely,




David S. Rosen
Vice President
Carlisle Associates LP
33 South Service Road
Jericho, NY 11753
516-281-1550 Direct
516-281-1551 Fax
drosen@rosenmgmt.com



For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas

May 2018



Albuquerque Geographic Information System

IDO Zoning information as of May 17, 2018

The Zone Districts and Overlay Zones are established by the Integrated Development Ordinance (IDO).

Zone Atlas Page:

H-16-Z

Easement Escarpment

Petroglyph National Monument

Areas Outside of City Limits


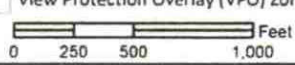
Airport Protection Overlay (APO) Zone

Character Protection Overlay (CPO) Zone

Historic Protection Overlay (HPO) Zone

View Protection Overlay (VPO) Zone

Gray Shading Represents Area Outside of the City Limits



July 7, 2021

James Aranda
Current Planning Department Director
City of Albuquerque Planning Department
600 2nd Street NW,
Albuquerque, NM 87102

**RE: PROJECT – 2100 CARLISLE BLVD NE CORNOR OF CARLISLE BLVD &
INDIAN SCHOOL RD NE (FORMER KMART SITE) – ALBUQUERQUE, NM. 87110**

PROJECT NUMBER: 2019-002677, APPLICATION NUMBER: SI-2019-00252

ADMINISTRATIVE AMENDMENT TO SITE PLAN FOR BUILDING PERMIT

Dear Mr. Aranda,

Modulus Architects, Inc., hereafter referred to as “Agent” for the purpose of this request, represents Carlisle Associates LP., hereafter referred to as the “Applicant/Property Owner”. We, “Agent” is requesting approval for this submittal to amend the approved Site Plan for Building Permit to modify the site layout. The site is located 2100 Carlisle Blvd NE. The parcel (the “subject site”) is 10.2 acres in size, zoned MX-M and is located on the northwest corner of Carlisle Blvd NE and Indian School RD NE.

At this time, we are requesting an Administrative Amendment to the approved Site Plan for Building Permit that was approved through the Development Review Board (Project Number: 2019-002677, Application Number: SI-2019-00252) in 2021. This submittal addresses a proposed Administrative Amendment (AA) for Lot A-1 and Lot B-1. The proposed changes to the site have been outlined below. All changes meet the IDO and the DPM standards. This minor amendment request falls within the thresholds established in IDO Table 6-4-5.

This improvement will help with revitalizing this abandoned building and to clean up the area. The development of this site will bring more convenient businesses to the community, while responding to market demands.

Our submittal includes the original approved plans, the amended Site Development Plan, amended Landscaping Plan, amended Grading Plan and an amended Utility Plan. The minor changes are



listed below. Changes to the overall Site Development Plan package are identified in the AA drawings via bubbled areas.

Site Development Plan:

1. The existing building pad site to the south (P3 – 5,500 SF) has been removed.
2. The existing Burger King Site configuration has been modified.
3. The SE corner of the parking lot got changed to a roundabout area.
4. The exterior of the building currently has 4 docking areas and the new proposed Site Plan removes 3 of the docks.
5. Parking Calculation – We have not created a deficiency in the parking requirements and that is demonstrated on the Site Plan (Site Data Table). We are providing more parking spaces and handicapped spaces than the original approval.

Landscaping Plan:

1. A Landscaping Plan has been modified to accommodate the changes to the Site Plan. All changes meet the IDO and the DPM standards. We have not created a deficiency in the landscaping requirements and that is demonstrated on the Landscaping Plan.

Grading Plan:

1. The Grading Plan has been modified to accommodate the changes to the Site Plan. All changes meet the IDO and the DPM standards.

Utility Plan:

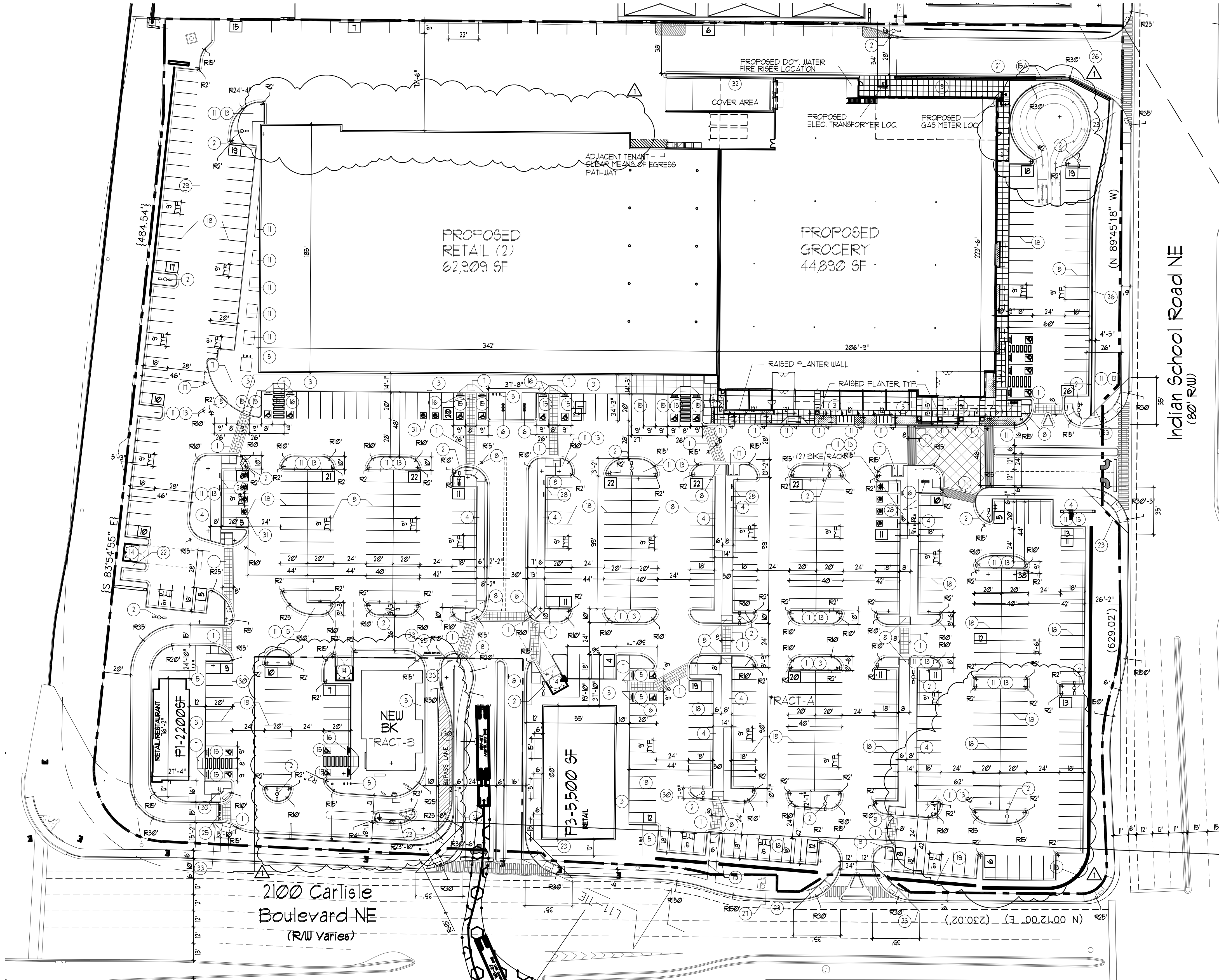
1. The Utility Plan has been modified to accommodate the changes to the Site Plan. All changes meet the IDO and the DPM standards.

I look forward to reviewing our submittal with you. If you have any additional questions regarding this submittal please feel free to contact me directly at (505) 338-1499 or email at: rokoye@modulusarchitects.com

Best Regards,

REGINA OKOYE, ENTITLEMENTS PROJECT MANAGER
MODULUS ARCHITECTS & LAND USE PLANNING, INC.

100 Sun Avenue NE, Suite 600
Albuquerque, NM 87109
Office 505.338.1499 (Ext. 1003)
Mobile + Text 505.267.7686



- KEYED NOTE:**
- 8" OR AS INDICATED WITHIN SITE PLAN PEDESTRIAN CROSSWALK RE: DETAIL 6/A11
 - LIGHT POLE LOCATION RE: DETAIL 3/A11
 - CONC. SIDEWALK ADJACENT BLDG RE: DET 8/A11 RE: SITE PLAN FOR JOINT LAYOUT
 - CONC. SIDEWALK RE: DET 7/A11 RE: SITE PLAN FOR JOINT LAYOUT
 - INDICATES BIKE RACK LOCATION (5 BIKE CAPACITY) RE: DETAIL 13/A12
 - INDICATES BIKE RACK LOCKER LOCATION (5 BIKE CAPACITY)
 - BENCH LOCATION RE: DETAIL 10/A12
 - HANDICAP RAMP RE: 15/A11
 - HANDICAP RAMP RE: 16/A11
 - HANDICAP RAMP RE: 5/A11
 - HANDICAP RAMP RE: 17/A11
 - INDICATES LANDSCAPE PLANTING AREA G.C. TO PROVIDE COORDINATE REQ. SLEEVING FOR EA WELL LOCATION
 - DRIVE AISLE PAINT DETAIL RE: DET 9/A12
 - 6" HIGH CONC. ISLAND /CURB RE: SITE GRADING PLAN FOR INFO
 - REFUSE ENCLOSURE RE: DET.4/A13
 - H.C. PARKING STALL RE: DET 2/A12
 - NEW RETAINING WALL PER SECTION 5-1(D) OF THE I.D.O.
 - WHEELSTOP RE: DET 4/A12
 - INDICATES PROPOSED MOTORCYCLE PARKING STALL LOCATION RE: SITE PLAN FOR LOCATIONS, RE: DET. 7/A12
 - PAINTED STRIPPING/SIGNING AS INDICATED ON SITE PLAN ALL STANDARD PARKING STALL STRIPPING SHALL BE WHITE
 - INDICATES SPLIT FACE 3'-0" HIGH PAINTED PATIO KNEE WALL EXISTING SIDEWALK TO REMAIN
 - NEW RAMP
 - 300 SF PYLON SIGN TO MATCH ADJACENT BUILDING RE: DETAIL 8/A13 FOR INFO
 - INDICATES CLEAR SIGHT TRIANGLE. NOTE: CLEAR SITE AREA SHALL BE FREE OF ALL SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3' AND 8 FEET AS MEASURED VERTICALLY FROM ADJACENT GUTTERPAN.
 - BOLLARD PAINTED SAFETY YELLOW RE: DET. 11/A13
 - "DO NOT ENTER" RE: DET 8/A12
 - EXISTING RETAINING WALL TO REMAIN
 - EXISTING DOT SIGN TO REMAIN
 - ELECTRIC VEHICLE CHARGING STATION
 - INDICATES EXISTING BUILDING FOOTPRINT AREA
 - INDICATES CONSTRUCTION PHASE LINE
 - ELECTRIC VEHICLE PARKING SPACE, TYPICAL OF 10
 - PROPOSED 40 cu yd ROLL OFF CONTAINER
 - "DO NOT ENTER" SIGN RE: DET 12/A12

PROJECT NUMBER: _____

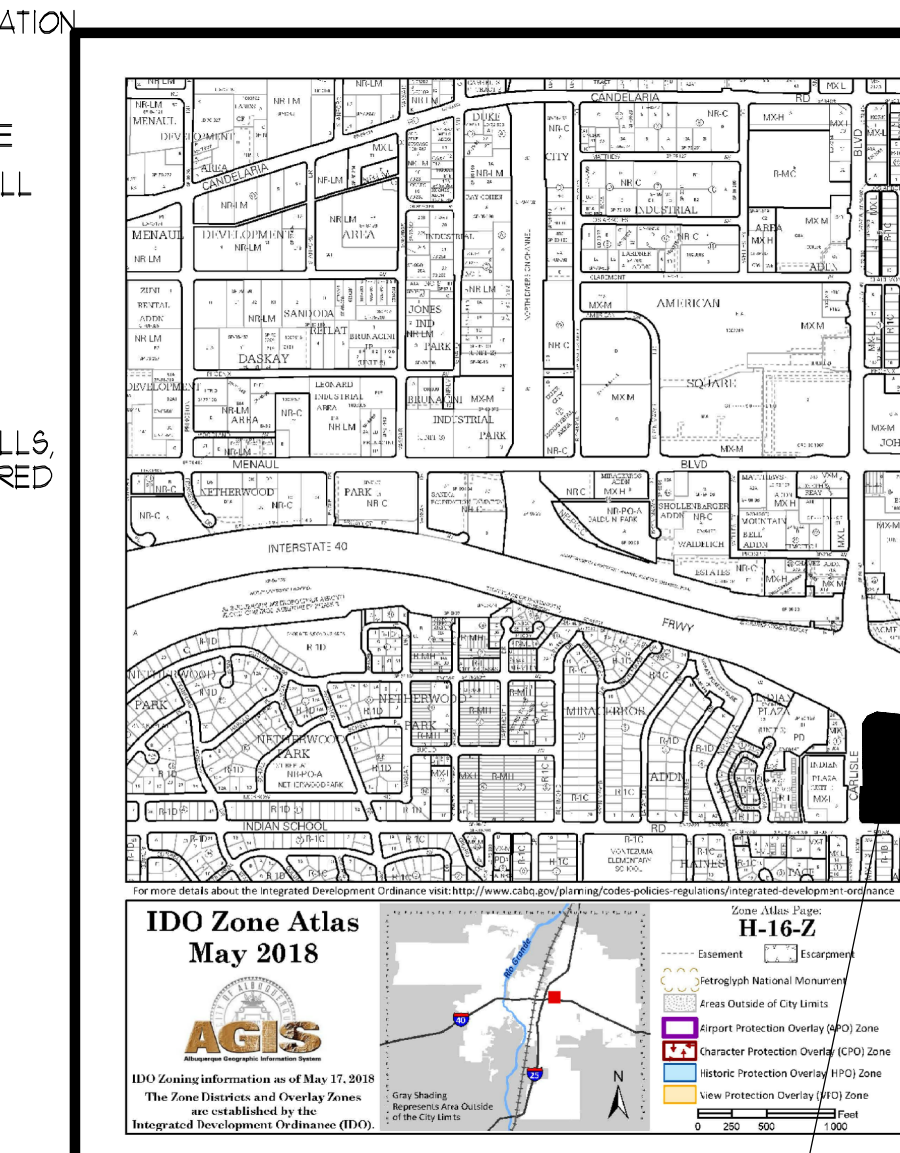
APPLICATION NUMBER: _____

Is an Infrastructure List required? () YES () NO If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements

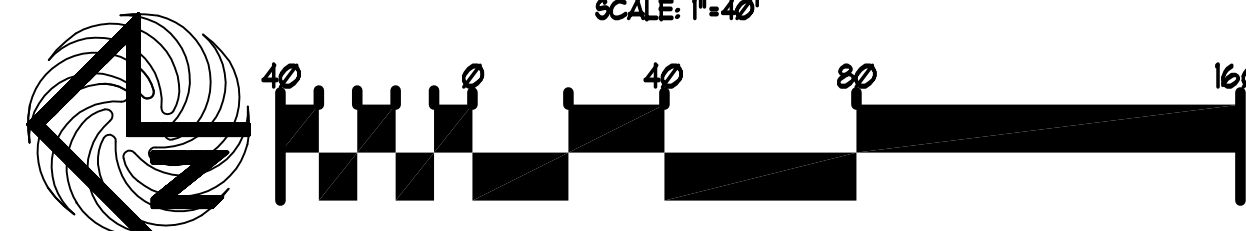
DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL

Traffic Engineering, Transportation Division	Date
DRB ABCWA ENGINEER	Date
Parks and Recreation Department	Date
City Engineer	Date
Environmental Health Department	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date
Code Enforcement	Date

* Environmental Health, if necessary



SITE PLAN FOR BUILDING PERMIT



LEGAL DESCRIPTION	SITE DATA TABLE	RETAIL USES	GROCERY	RESTAURANT	ALL USES
LEGAL DESCRIPTION-TRACT-A A CERTAIN TRACT OF LAND DESIGNATED AS TRACT "A" OF "THE CARLISLE AND INDIAN SCHOOL SUBDIVISION", AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY ON MARCH 3, 1934, IN PLAT BOOK 94C, FOLIO 65, LESS AND EXCEPTING A PORTION OF TRACT A, AKA PARCELS 2-3-A AND 2-3, CONVEYED TO NM DEPARTMENT OF TRANSPORTATION (NMDOT), AS THE SAME IS SHOWN ON THE RIGHT-OF-WAY MAP, HAVING PROJECT NUMBER TPU-040-3/19/16/0, DATED NOVEMBER 13, 1991, AND DESCRIBED ON THE STIPULATED JUDGEMENT FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON APRIL 10, 2001, IN BOOK A18, PAGE 2159, AS DOCUMENT NO. 2001043108.	PROPOSED USES: BUILDING SIZE: TOTAL PARKING REQ: TOTAL PARKING FROY: HC PROVIDED: HC REQUIRED: BIKE SPACES PROVIDED: BIKE SPACES REQUIRED: MOTORCYCLE SPACES PROVIDED: MOTORCYCLE SPACES REQUIRED: ELECTRIC CHARGING STATION SPACES PROVIDED: ELECTRIC STATION REQUIRED	RETAIL USES 68,409 SF 213 SPACES	GROCERY 44,890 SF 180 SPACES	RESTAURANT 2,200 SF 24 SPACES	ALL USES (MAJOR-MAJOR-2-F-1F-2-F-3) TOTAL SPACES REQ: 469 SPACES 493 SPACES PROVIDED 28 HC (INCLUDING 20 VAN ACCESSIBLE) 9 HC SPACES 46 BIKE SPACES 46 BIKE SPACES 6 MOTO SPACES 6 MOTO SPACES 10 ELEC. CHARGING STATION PARKS 9 ELEC CHARGING STATION PARKS
LEGAL DESCRIPTION-TRACT-B A CERTAIN TRACT OF LAND DESIGNATED AS TRACT "B" OF "THE CARLISLE AND INDIAN SCHOOL SUBDIVISION", AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY ON MARCH 3, 1934, IN PLAT BOOK 94C, FOLIO 65, LESS AND EXCEPTING A PORTION OF TRACT B, AKA PARCEL 2-4, CONVEYED TO NM DEPARTMENT OF TRANSPORTATION (NMDOT), AS THE SAME IS SHOWN ON THE RIGHT-OF-WAY MAP, HAVING PROJECT NUMBER TPU-040-3/19/16/0, DATED NOVEMBER 13, 1991, AND DESCRIBED ON THE STIPULATED JUDGEMENT FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON JANUARY 11, 2001, IN BOOK A14, PAGE 2183, AS DOCUMENT NO. 2001003593.					

THRU RAMP 5F.

Lot 30-A, Block 1
Miraceros Addition
(03/13/1998, 98C-69)

REV	DATE	BY	REVISION
1			
2			
3			
4			
5			
6			

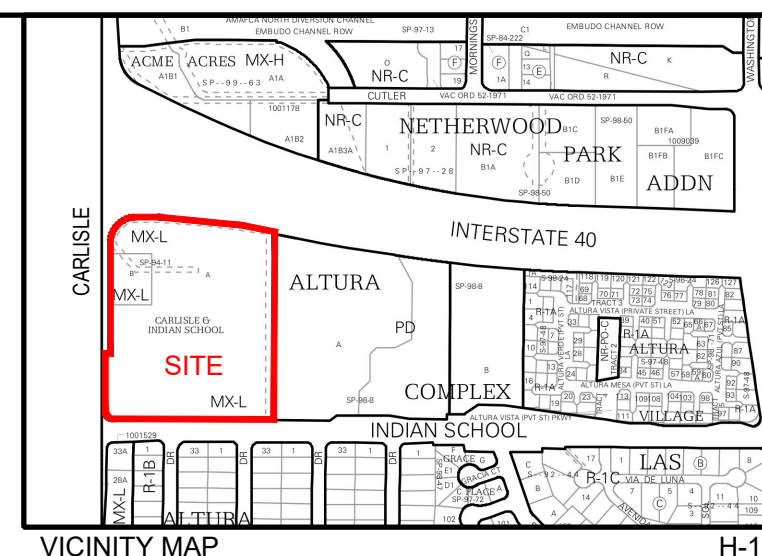
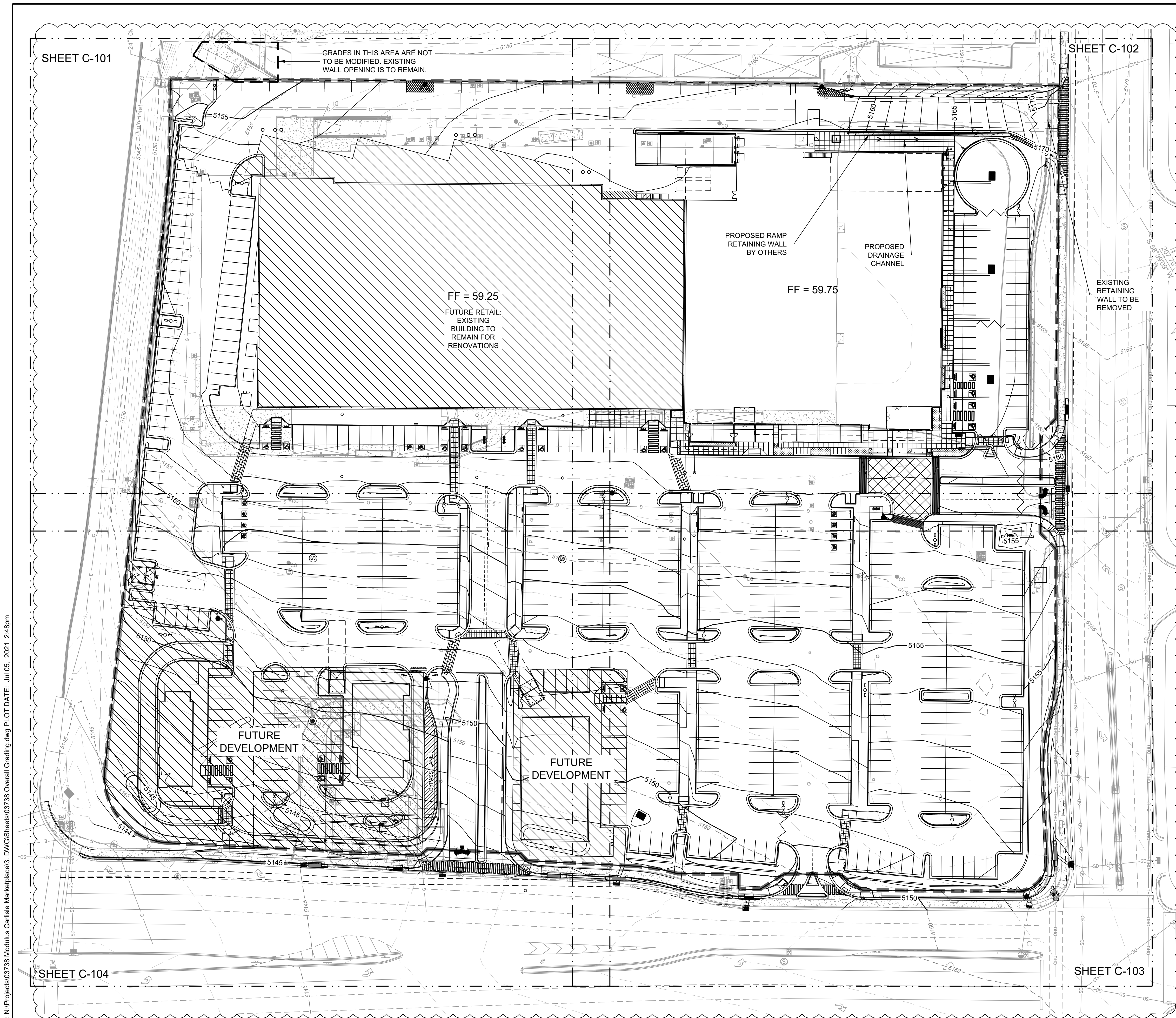
MODULUS ARCHITECTS
100 SUN AVE. N.W. SUITE 305
ALBUQUERQUE, NEW MEXICO 87109
PHONE (505) 338-1499 FAX (505) 338-1498

CARLISLE CROSSING
2100 CARLISLE BLVD NE
ALBUQUERQUE, NEW MEXICO

PROJECT NUMBER: _____
JOB NO.: _____
DRAWN BY: _____
DATE: **29 June 2021**
SCALE: _____
RE: BAR SCALE

SITE PLAN FOR BUILDING PERMIT

SHEET NO. **1**



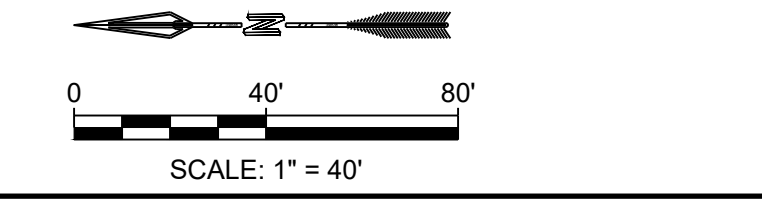
NOTE:
 1. THE EXISTING PARKING LOT AND BUILDINGS WILL BE DEMOLISHED UNLESS OTHERWISE SPECIFIED ON THIS PLAN.
 2. PROPOSED PUBLIC INFRASTRUCTURE WILL BE INCLUDED ON PUBLIC WORK ORDER

GRADING NOTES

- CONTRACTOR TO FIELD VERIFY LOCATION AND ELEVATION OF ALL EXISTING DRY AND WET UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY ISSUES. UTILITY RELOCATION MAY BE REQUIRED.
- FINISH GRADE OF SOIL EDGES ALONG PAVEMENT TO BE 1/2" BELOW EDGE OF PAVEMENT.
- STRIP AND STOCKPILE TOPSOIL FROM GRADING AREAS. USE STOCKPILED TOPSOIL AND IMPORTED TOPSOIL AS NECESSARY FOR SURFACE RESTORATION.
- GRADES SHOWN ARE FINAL SURFACE GRADES AFTER COMPLETION OF SURFACE IMPROVEMENTS AND PLACEMENT OF TOPSOIL.
- GRADE AREAS AT SITE PERIMETER TO MATCH GRADES OF ADJACENT PARCELS.
- REMOVE EXCESS SOIL FROM SITE AND DISPOSE OF PROPERLY IN ACCORDANCE WITH APPLICABLE REGULATIONS.
- PROVIDE TEMPORARY GRADING FEATURES SUCH AS BERMS, SWALES, SUMPS AND BASINS TO MANAGE INTERIM STORM WATER RUNOFF DURING CONSTRUCTION PROCESS. STORM WATER RUNOFF LEAVING THE SITE SHALL MEET ALL FEDERAL, STATE AND LOCAL QUALITY REQUIREMENTS.
- ALL DISTURBED AREAS TO BE RE-SEEDED PER LANDSCAPE PLAN PROVIDED BY OTHERS.
- REFER TO GEOTECHNICAL ENGINEERING SERVICES REPORT *PRELIMINARY GEOTECHNICAL ENGINEERING REPORT* BY TERRACON CONSULTANTS, INC. DATED FEBRUARY 4, 2021.
- SEE ARCHITECTURAL SITE PLAN AND DETAILS FOR PAVEMENT DESIGN SECTIONS AND LOCATIONS.

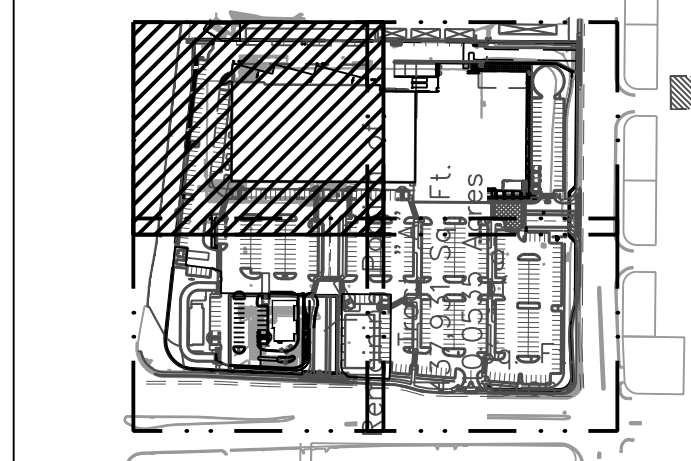
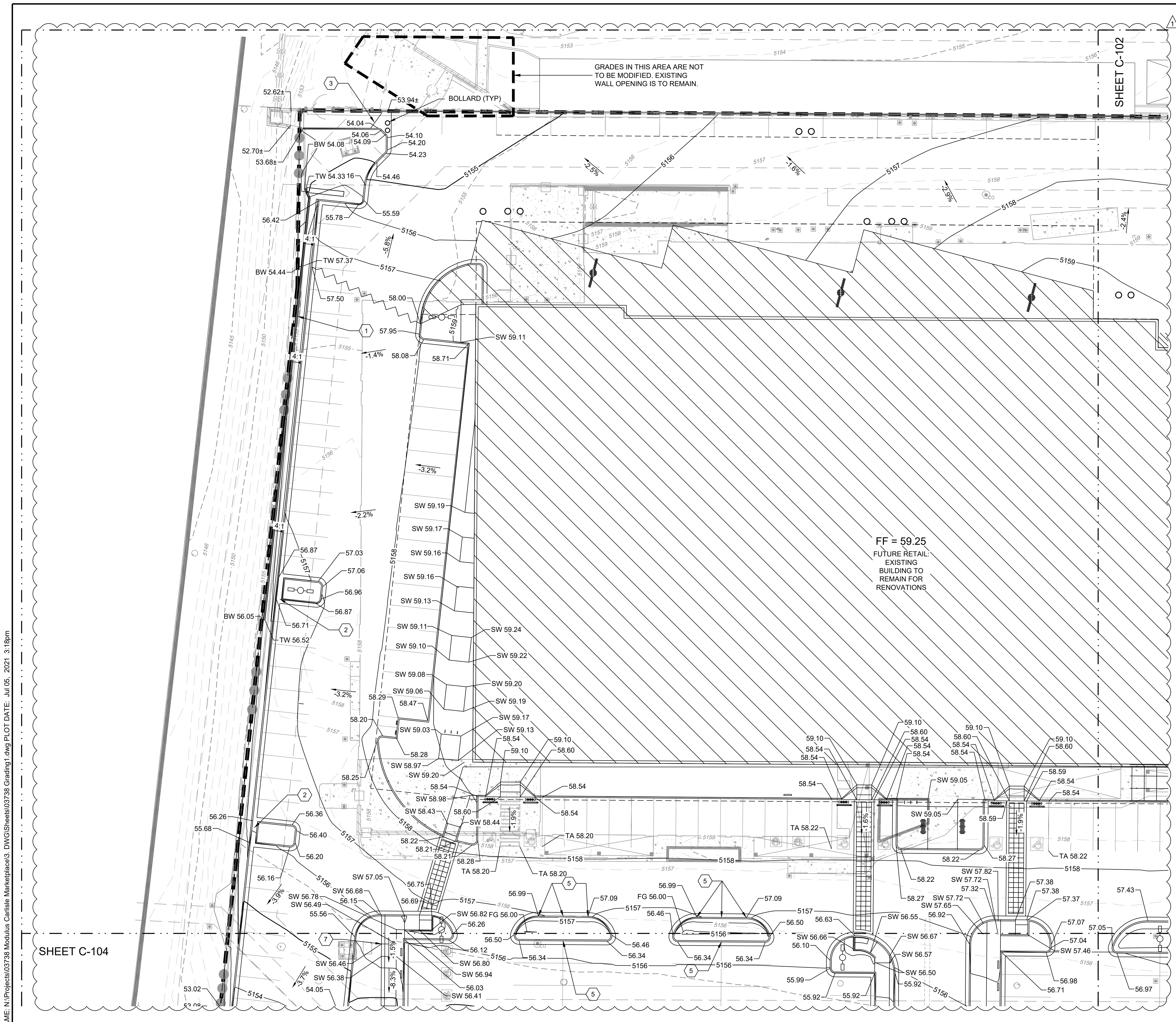
LEGEND

GRADING LIMITS	— — — — —
MAJOR CONTOUR	— 4985 —
MINOR CONTOUR	— — — — —
EXISTING MAJOR CONTOUR	- - - 4985 - - -
EXISTING MINOR CONTOUR	- - - - -
SLOPE ARROW	-1.5% -51.2%
SWALE	~ ~ ~ ~ ~
HIGH POINT	▲
MATCHLINE	— — — — —
FUTURE DEVELOPMENT	▨



DESIGNED BE	DRAWN BE	CHECKED JS	DATE 7.05.2021
6971 JEFFERSON STREET SUITE 101 ALBUQUERQUE, NM 87113 WWW.RESPEC.COM 505.253.9718 UPDATED SITE PLAN (5 JULY 2021)			
THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED.			
PROJECT NAME: CARLISLE CROSSING		SHEET TITLE: OVERALL GRADING PLAN	
SUBMITTED FOR: CONSTRUCTION		SHEET NUMBER: C-100	

NAME: N:\Projects\03738_Modulus Carlisle Marketplace3_DWG\Sheets\03738_Overall Grading.dwg PLOT DATE: Jul 05, 2021 2:48pm



NOTE:
 1. THE EXISTING PARKING LOT AND BUILDINGS WILL BE DEMOLISHED UNLESS OTHERWISE SPECIFIED ON THIS PLAN.
 2. PROPOSED PUBLIC INFRASTRUCTURE WILL BE INCLUDED ON PUBLIC WORK ORDER.

KEYED NOTES

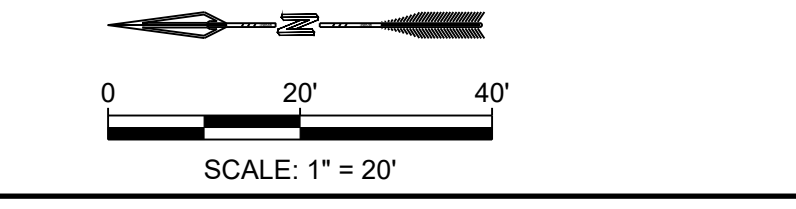
I.D.#	DESCRIPTION
1	INSTALL CMU RETAINING WALL. SEE DETAIL SHEET C-501.
2	INSTALL 2' CURB OPENING AND CHANNEL. SEE DETAIL SHEET C-500.
3	INSTALL CONCRETE DRAINAGE CHANNEL. SEE DETAIL SHEET C-501.
5	INSTALL 1' CURB OPENING. SEE DETAIL SHEET C-500.
7	INSTALL HANDRAIL FOR ADA RAMP BOTH SIDES OF RAMP.

- GRADING NOTES**
- CONTRACTOR TO FIELD VERIFY LOCATION AND ELEVATION OF ALL EXISTING DRY AND WET UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY ISSUES. UTILITY RELOCATION MAY BE REQUIRED.
 - FINISH GRADE OF SOIL EDGES ALONG PAVEMENT TO BE 1/2" BELOW EDGE OF PAVEMENT.
 - STRIP AND STOCKPILE TOPSOIL FROM GRADING AREAS. USE STOCKPILED TOPSOIL AND IMPORTED TOPSOIL AS NECESSARY FOR SURFACE RESTORATION.
 - GRADES SHOWN ARE FINAL SURFACE GRADES AFTER COMPLETION OF SURFACE IMPROVEMENTS AND PLACEMENT OF TOPSOIL.
 - GRADE AREAS AT SITE PERIMETER TO MATCH GRADES OF ADJACENT PARCELS.
 - REMOVE EXCESS SOIL FROM SITE AND DISPOSE OF PROPERLY IN ACCORDANCE WITH APPLICABLE REGULATIONS.
 - PROVIDE TEMPORARY GRADING FEATURES SUCH AS BERMS, SWALES, SUMPS AND BASINS TO MANAGE INTERIM STORM WATER RUNOFF DURING CONSTRUCTION PROCESS. STORM WATER RUNOFF LEAVING THE SITE SHALL MEET ALL FEDERAL, STATE AND LOCAL QUALITY REQUIREMENTS.
 - ALL DISTURBED AREAS TO BE RE-SEEDING PER LANDSCAPE PLAN PROVIDED BY OTHERS.
 - REFER TO GEOTECHNICAL ENGINEERING SERVICES REPORT PRELIMINARY GEOTECHNICAL ENGINEERING REPORT BY TERRACON CONSULTANTS, INC. DATED FEBRUARY 4, 2021.

LEGEND

GRADING LIMITS	—
MAJOR CONTOUR	— 4985 —
MINOR CONTOUR	— 4985 —
EXISTING MAJOR CONTOUR	- - 4985 - -
EXISTING MINOR CONTOUR	- - 4985 - -
SLOPE ARROW	-1.5% -51.2%
SWALE	~
HIGH POINT	▲
MATCHLINE	—
FUTURE DEVELOPMENT	▨

- SPOT ELEVATION SYMBOLS**
- ALL SPOT ELEVATIONS ARE AT FLOWLINE UNLESS OTHERWISE NOTED IN THE PLANS.
 - 20.00 FLOWLINE
 - 20.00± MATCH EX. GRADE ELEV. (APPROXIMATE)
 - BW 20.00 BOTTOM WALL
 - TW 20.00 TOP WALL
 - SW 20.00 SIDEWALK
 - FG 20.00 FINISHED GROUND
 - BS 20.00 BOTTOM STEP
 - TS 20.00 TOP STEP
 - TA 20.00 TOP ASPHALT
- WALL SPOT GRADE LOCATIONS



NAME: N:\Projects\03738_Modulus_Carlisle_Mainplace3_DWG\Sheets\03738_Grading.dwg PLOT DATE: Jul 05, 2021 3:18pm

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DESIGNED	BE	REVISION
DRAWN	BE	
CHECKED	JS	
DATE	7.05.2021	

RESPEC
 6971 JEFFERSON STREET SUITE 101
 ALBUQUERQUE, NM 87113
 WWW.RESPEC.COM 505.253.9718
 UPDATED SITE PLAN (5 JULY 2021)

RESPEC

STAMP

 JEREMY W. SHELL
 NEW MEXICO
 26347
 PROFESSIONAL ENGINEER
 07/05/21

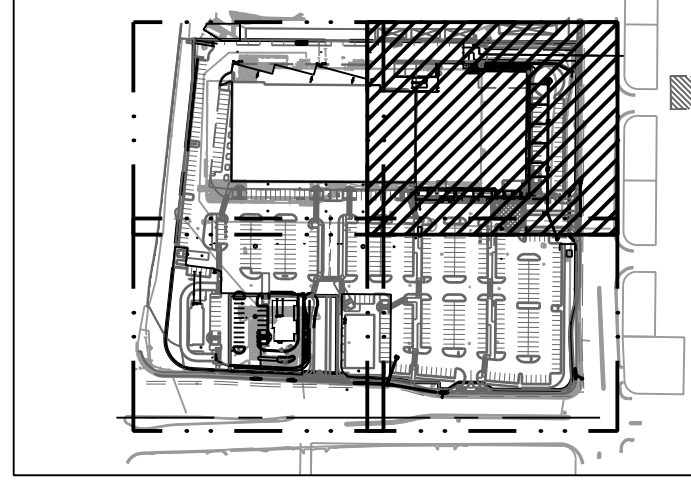
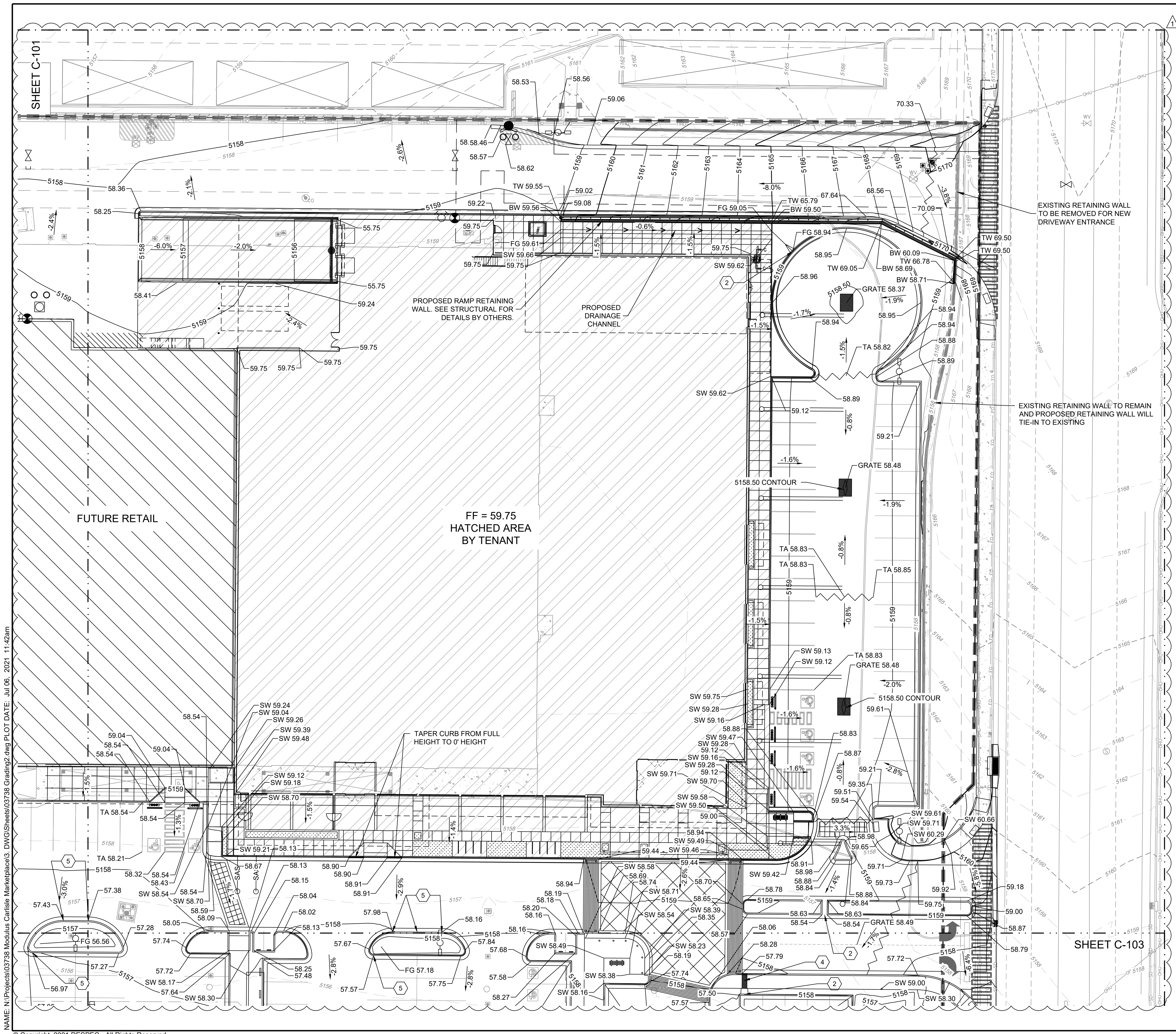
THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED.

PROJECT NAME: CARLISLE CROSSING

SHEET TITLE: GRADING PLAN 1

SUBMITTED FOR: CONSTRUCTION

SHEET NUMBER: C-101



NOTE:
 1. THE EXISTING PARKING LOT AND BUILDINGS WILL BE DEMOLISHED UNLESS OTHERWISE SPECIFIED ON THIS PLAN.
 2. PROPOSED PUBLIC INFRASTRUCTURE WILL BE INCLUDED ON PUBLIC WORK ORDER.

KEYED NOTES

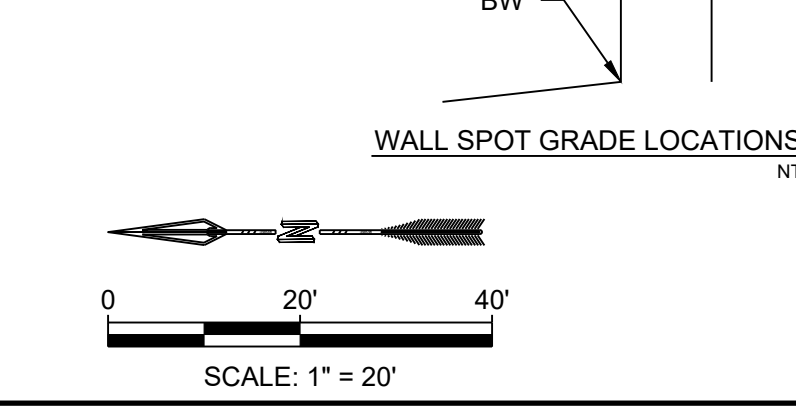
I.D.#	DESCRIPTION
2	INSTALL 2' CURB OPENING AND CHANNEL. SEE DETAIL SHEET C-500.
4	2' SIDEWALK CULVERT PER COA STD DTL DWG 2236.
5	INSTALL 1' CURB OPENING. SEE DETAIL SHEET C-500.

- GRADING NOTES**
- CONTRACTOR TO FIELD VERIFY LOCATION AND ELEVATION OF ALL EXISTING DRY AND WET UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY ISSUES. UTILITY RELOCATION MAY BE REQUIRED.
 - FINISH GRADE OF SOIL EDGES ALONG PAVEMENT TO BE 1/2" BELOW EDGE OF PAVEMENT.
 - STRIP AND STOCKPILE TOPSOIL FROM GRADING AREAS. USE STOCKPILED TOPSOIL AND IMPORTED TOPSOIL AS NECESSARY FOR SURFACE RESTORATION.
 - GRADES SHOWN ARE FINAL SURFACE GRADES AFTER COMPLETION OF SURFACE IMPROVEMENTS AND PLACEMENT OF TOPSOIL.
 - GRADE AREAS AT SITE PERIMETER TO MATCH GRADES OF ADJACENT PARCELS.
 - REMOVE EXCESS SOIL FROM SITE AND DISPOSE OF PROPERLY IN ACCORDANCE WITH APPLICABLE REGULATIONS.
 - PROVIDE TEMPORARY GRADING FEATURES SUCH AS BERMS, SWALES, SUMPS AND BASINS TO MANAGE INTERIM STORM WATER RUNOFF DURING CONSTRUCTION PROCESS. STORM WATER RUNOFF LEAVING THE SITE SHALL MEET ALL FEDERAL, STATE AND LOCAL QUALITY REQUIREMENTS.
 - ALL DISTURBED AREAS TO BE RE-SEEDDED PER LANDSCAPE PLAN PROVIDED BY OTHERS.
 - REFER TO GEOTECHNICAL ENGINEERING SERVICES REPORT *PRELIMINARY GEOTECHNICAL ENGINEERING REPORT* BY TERRACON CONSULTANTS, INC. DATED FEBRUARY 4, 2021.

LEGEND

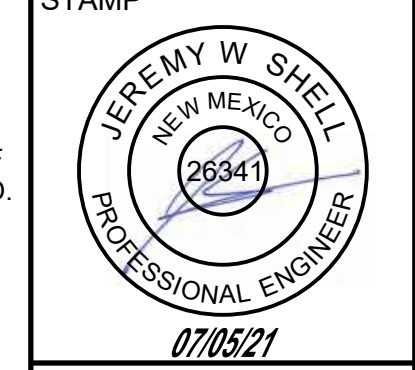
GRADING LIMITS	---
MAJOR CONTOUR	— 4985 —
MINOR CONTOUR	- - - 4985 - - -
EXISTING MAJOR CONTOUR	--- 4985 ---
EXISTING MINOR CONTOUR	- - - 4985 - - -
SLOPE ARROW	-1.5% -57.2%
SWALE	~ ~ ~
HIGH POINT	▲
MATCHLINE	...
FUTURE DEVELOPMENT	▨

- SPOT ELEVATION SYMBOLS**
- ALL SPOT ELEVATIONS ARE AT FLOWLINE UNLESS OTHERWISE NOTED IN THE PLANS.
- 20.00 FLOWLINE
 - 20.00± MATCH EX. GRADE ELEV. (APPROXIMATE)
 - BW 20.00 BOTTOM WALL
 - TW 20.00 TOP WALL
 - SW 20.00 SIDEWALK
 - FG 20.00 FINISHED GROUND
 - BS 20.00 BOTTOM STEP
 - TS 20.00 TOP STEP
 - TA 20.00 TOP ASPHALT
 - GRATE 20.00 TOP OF GRATE



DESIGNED	BE
DRAWN	BE
CHECKED	JS
DATE	7.06.2021

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 5971 JEFFERSON STREET SUITE 101
 ALBUQUERQUE, NM 87110
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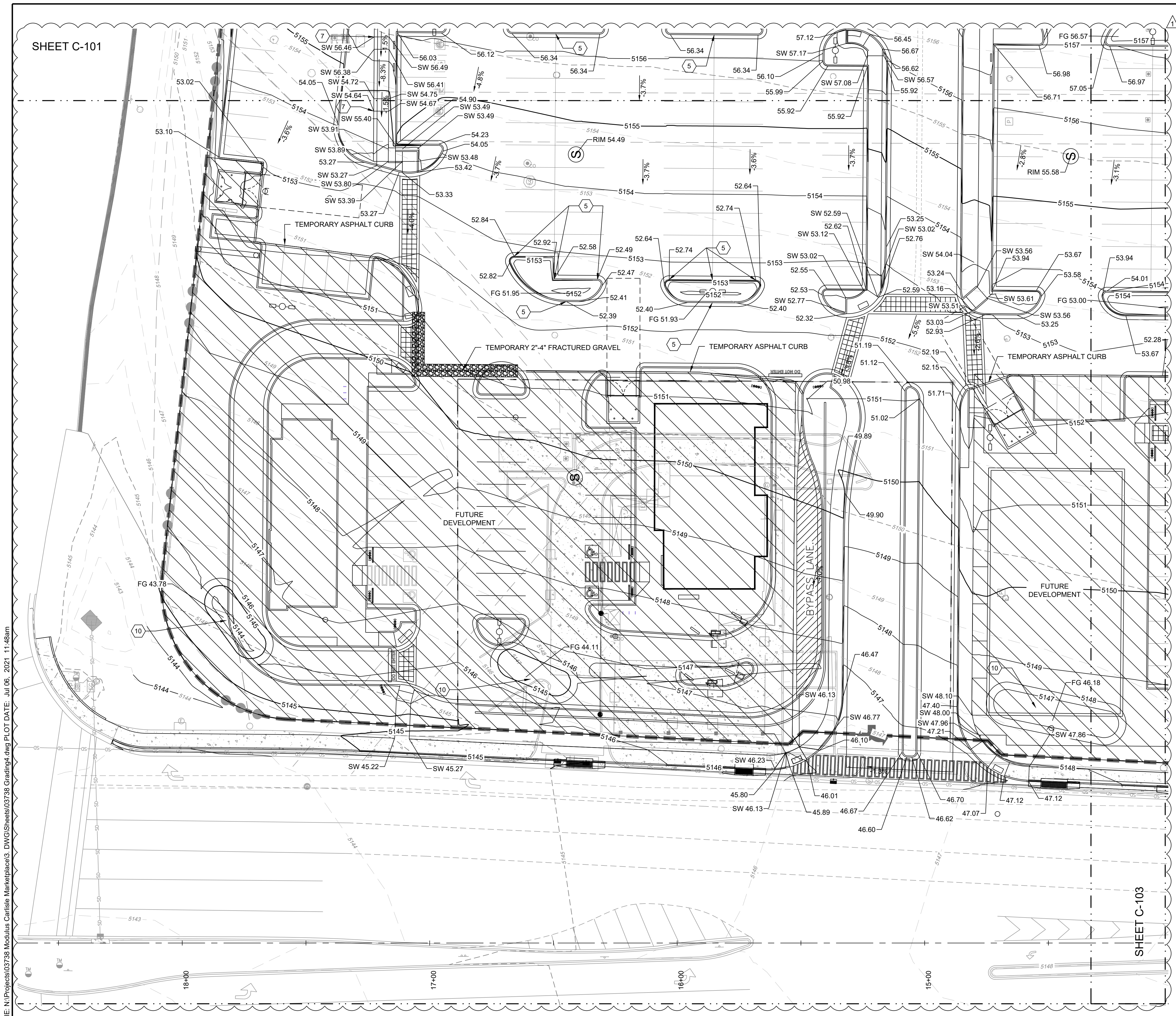
PROJECT NAME: CARLISLE CROSSING

SHEET TITLE: GRADING PLAN 2

SUBMITTED FOR: CONSTRUCTION

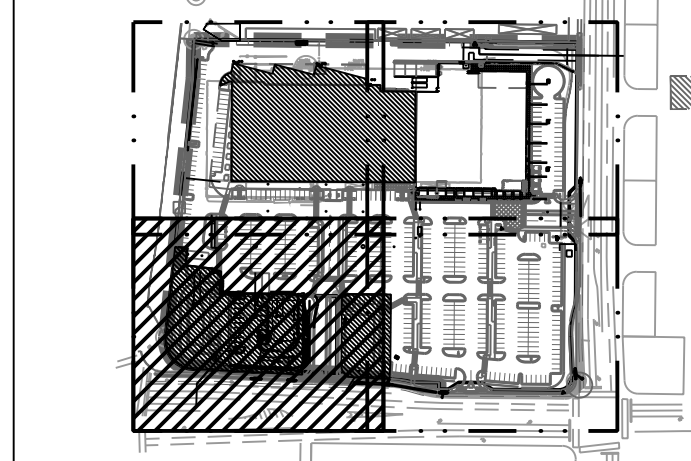
SHEET NUMBER: C-102

NAME: N:\Projects\03738 Module Carlisle Marketplace3_DWG(Sheets)\03738 Grading2.dwg PLOT DATE: Jul 06, 2021 11:42am



SHEET C-101

SHEET C-103



KEY MAP

NOTE:
 1. THE EXISTING PARKING LOT AND BUILDINGS WILL BE DEMOLISHED UNLESS OTHERWISE SPECIFIED ON THIS PLAN.
 2. PROPOSED PUBLIC INFRASTRUCTURE WILL BE INCLUDED ON PUBLIC WORK ORDER.

KEYED NOTES

I.D.#	DESCRIPTION
5	INSTALL 1" CURB OPENING. SEE DETAIL SHEET C-500.
7	INSTALL HANDRAIL FOR ADA RAMP BOTH SIDES OF RAMP.
10	INSTALL TEMPORARY SEDIMENT POND.

GRADING NOTES

- CONTRACTOR TO FIELD VERIFY LOCATION AND ELEVATION OF ALL EXISTING DRY AND WET UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY ISSUES. UTILITY RELOCATION MAY BE REQUIRED.
- FINISH GRADE OF SOIL EDGES ALONG PAVEMENT TO BE 1/2" BELOW EDGE OF PAVEMENT.
- STRIP AND STOCKPILE TOPSOIL FROM GRADING AREAS. USE STOCKPILED TOPSOIL AND IMPORTED TOPSOIL AS NECESSARY FOR SURFACE RESTORATION.
- GRADES SHOWN ARE FINAL SURFACE GRADES AFTER COMPLETION OF SURFACE IMPROVEMENTS AND PLACEMENT OF TOPSOIL.
- GRADE AREAS AT SITE PERIMETER TO MATCH GRADES OF ADJACENT PARCELS.
- REMOVE EXCESS SOIL FROM SITE AND DISPOSE OF PROPERLY IN ACCORDANCE WITH APPLICABLE REGULATIONS.
- PROVIDE TEMPORARY GRADING FEATURES SUCH AS BERMS, SWALES, SUMPS AND BASINS TO MANAGE INTERIM STORM WATER RUNOFF DURING CONSTRUCTION PROCESS. STORM WATER RUNOFF LEAVING THE SITE SHALL MEET ALL FEDERAL, STATE AND LOCAL QUALITY REQUIREMENTS.
- ALL DISTURBED AREAS TO BE RE-SEED PER LANDSCAPE PLAN PROVIDED BY OTHERS.
- REFER TO GEOTECHNICAL ENGINEERING SERVICES REPORT PRELIMINARY GEOTECHNICAL ENGINEERING REPORT BY TERRACON CONSULTANTS, INC. DATED FEBRUARY 4, 2021.

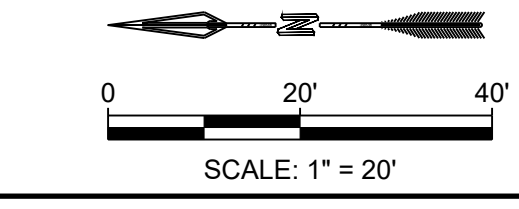
LEGEND

- GRADING LIMITS
- MAJOR CONTOUR
- MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- SLOPE ARROW
- SWALE
- HIGH POINT
- MATCHLINE
- FUTURE DEVELOPMENT

SPOT ELEVATION SYMBOLS

- ALL SPOT ELEVATIONS ARE AT FLOWLINE UNLESS OTHERWISE NOTED IN THE PLANS.
- 20.00 FLOWLINE
 - 20.00± MATCH EX. GRADE ELEV. (APPROXIMATE)
 - BW 20.00 BOTTOM WALL
 - TW 20.00 TOP WALL
 - SW 20.00 SIDEWALK
 - FG 20.00 FINISHED GROUND
 - BS 20.00 BOTTOM STEP
 - TS 20.00 TOP STEP
 - TA 20.00 TOP ASPHALT
 - RIM 20.00 TOP OF GRATE

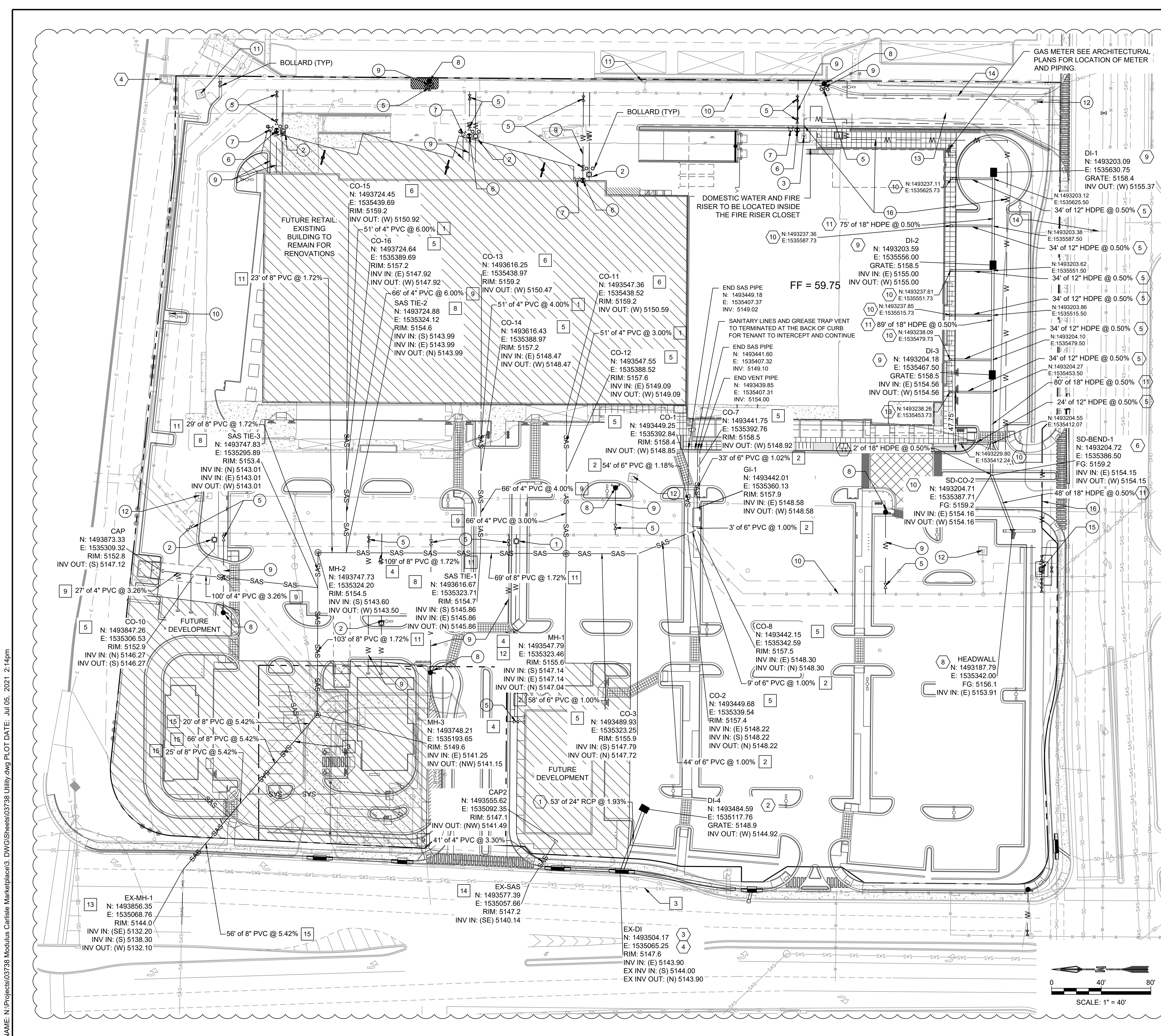
WALL SPOT GRADE LOCATIONS



NAME: N:\Projects\03738 Modulus Carlisle Marketplace3_DWG\Sheets\03738 Grading.dwg PLOT DATE: Jul 06, 2021 11:48am

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	DESIGNED	BE	DRAWN	BE	CHECKED	DATE	REVISION
	RESPEC		RESPEC			7.06.2021	
<p>6971 JEFFERSON STREET SUITE 101 ALBUQUERQUE, NM 87113 WWW.RESPEC.COM 505.253.9718 UPDATED SITE PLAN (5 JULY 2021)</p>							
<p>THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED.</p>							
PROJECT NAME:				CARLISLE CROSSING			
SHEET TITLE:				GRADING PLAN 4			
SUBMITTED FOR:				CONSTRUCTION			
SHEET NUMBER:				C-104			

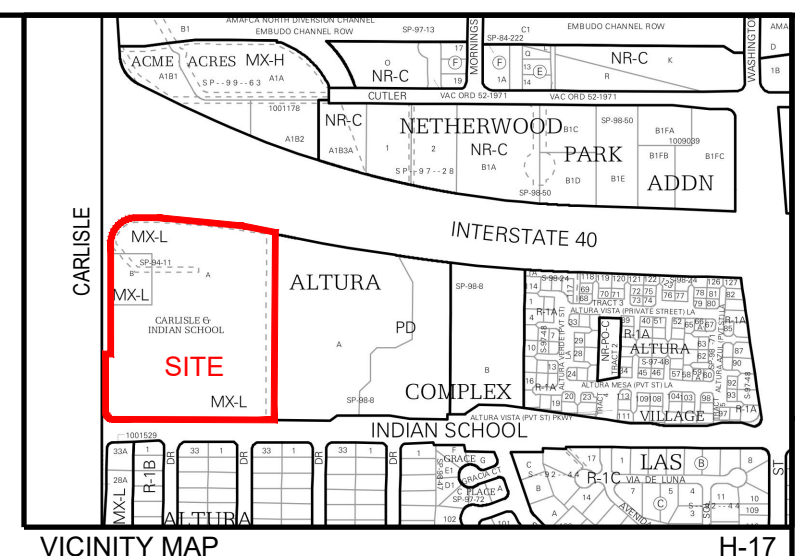


KEYED NOTES

- 1 INSTALL 1" WATER SERVICE AND METER PER COA STD DTL 2362
- 2 INSTALL 1-1/2" WATER SERVICE AND METER PER COA STD DTL 2363
- 3 REMOVE EXISTING WATER SERVICE
- 4 PUBLIC 6" GATE VALVE & VALVE BOX WITH PUBLIC WORK ORDER
- 5 INSTALL PRIVATE 6" GATE VALVE & VALVE BOX PER COA STD DTL 2326, 2328, AND/OR 2329
- 6 INSTALL WALL/POST INDICATOR VALVE
- 7 INSTALL FIRE DEPARTMENT CONNECTION
- 8 INSTALL PRIVATE FIRE HYDRANT PER COA STD DTL 2340
- 9 INSTALL PRIVATE 6" WATER LINE PER COA STD SPEC SECTION 801
- 10 EXISTING 10" PVC PUBLIC WATER LINE
- 11 EXISTING PUBLIC FIRE HYDRANT TO REMAIN
- 12 EXISTING PUBLIC FIRE HYDRANT TO BE REMOVED WITH PUBLIC WORK ORDER PLAN SET
- 13 10" PVC PUBLIC WATER LINE TO BE CONSTRUCTED WITH PUBLIC WORK ORDER PLAN SET
- 14 EXISTING 10" PVC PUBLIC WATER LINE TO BE REMOVED WITH PUBLIC WORK ORDER
- 15 INSTALL 3" WATER SERVICE AND METER PER COA STD DTL 2370
- 16 INSTALL 3" WATER SERVICE LINE PER COA STD SPEC SECTION 802
- 17 INSTALL CAP
 - 1 INSTALL 4" SANITARY SEWER SERVICE PER COA STD DTL 2125. INSTALL DOUBLE CLEANOUT 5' FROM BUILDING. SEE DETAIL ON SHEET C-500 (TYP).
 - 2 INSTALL 6" SANITARY SEWER PER COA STD SPEC SECTION 901
 - 3 EXISTING PUBLIC SANITARY SEWER
 - 4 INSTALL 4" DIA. SEWER MANHOLE TYPE 'E' PER COA STD DTL 2102
 - 5 INSTALL SINGLE CLEANOUT PER DETAIL SHEET C-500
 - 6 INSTALL DOUBLE CLEANOUT PER DETAIL SHEET C-500
 - 7 TENANT TO INSTALL 3,000 GAL GREASE INTERCEPTOR PER DETAIL SHEET C-500. SEE GENERAL NOTES THIS SHEET.
 - 8 CONNECT TO PRIVATE SANITARY SEWER PER COA STD DTL 2125
 - 9 INSTALL 4" SANITARY SEWER PER COA STD SPEC SECTION 901
 - 10 INSTALL 4" NDS INLET OR ENGINEER APPROVED EQUAL.
 - 11 INSTALL 8" SANITARY SEWER PER COA STD SPEC SECTION 901
 - 12 CONNECT TO PRIVATE SANITARY SEWER MANHOLE PER COA STD DTL 2118
 - 13 CONNECT TO EXISTING PUBLIC SANITARY SEWER MANHOLE WITH PUBLIC WORK ORDER PER COA STD DTL 2116
 - 14 CONNECT TO PUBLIC SANITARY SEWER WITH PUBLIC WORK ORDER PER COA STD DTL 2125
 - 15 INSTALL 8" PUBLIC SANITARY SEWER WITH PUBLIC WORK ORDER PER COA STD SPEC SECTION 901
- 18 INSTALL 24" RCP STORM DRAIN PIPE
- 19 INSTALL DOUBLE DROP INLET TYPE "D" PER COA STD DTL 2206
- 20 CONNECT TO PUBLIC DROP INLET WITH PUBLIC WORK ORDER
- 21 EXISTING PUBLIC DROP INLET
- 22 INSTALL 12" HDPE STORM DRAIN PIPE
- 23 INSTALL 18" 45" BEND
- 24 INSTALL 12" TRENCH DRAIN AND SUMP PUMP. SEE DETAIL SHEET C-501 AND ARCHITECTURAL PLANS.
- 25 INSTALL CONCRETE HEADWALL
- 26 INSTALL SINGLE DROP INLET TYPE "D" PER COA STD DTL 2206
- 27 INSTALL SINGLE CLEANOUT PER DETAIL SHEET C-500
- 28 INSTALL 18" HDPE STORM DRAIN PIPE
- 29 INSTALL 18" TEE

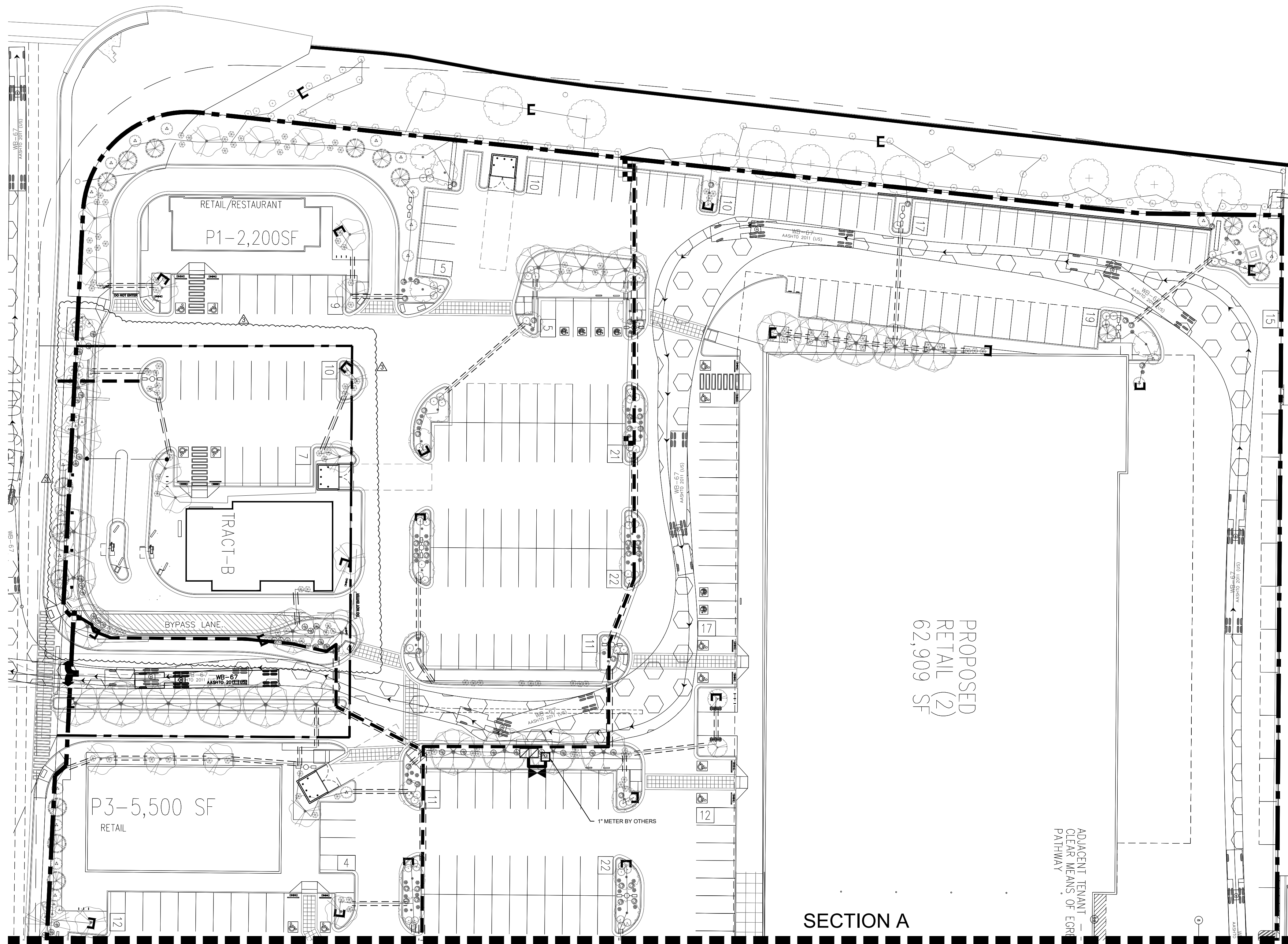
GENERAL NOTES

1. PARALLEL RBPB BACKFLOW PREVENTERS FOR ALL PROPOSED PRIVATE WATER LINES WILL BE PROVIDED INTERNAL TO EACH PROPOSED BUILDING PER COA STD DTL 2385. THE BACKFLOW PREVENTERS WILL BE THE SAME SIZE AS THE TAP/CONNECTION AT THE MAIN LINE.
2. TENANT SHALL LOCATE THE GREASE INTERCEPTOR AS SHOWN ON THIS SHEET. THE LANDLORD SHALL LEAVE THE AREA SURROUNDING THE GREASE INTERCEPTOR INCOMPLETE SO TENANT CAN INSTALL THE GREASE INTERCEPTOR WITHOUT DAMAGING LANDLORD'S WORK. AFTER TENANT INSTALLS THE GREASE INTERCEPTOR AT ITS EXPENSE, TENANT WILL BE RESPONSIBLE TO INSTALL ANY CURBING, LANDSCAPING, OR INITIAL PAVING WITHIN SUCH AREA AS CONTEMPLATED BY LANDLORD'S PLANS.
3. ALL UTILITIES LOCATED WITHIN PUBLIC RIGHT-OF-WAY AND/OR PUBLIC UTILITY EASEMENTS TO BE CONSTRUCTED WITH PUBLIC WORK ORDER PLAN SET.



DESIGNED DRAWN CHECKED DATE 7.05.2021	BE BE JS JS DATE 7.05.2021	RESPEC 6971 JEFFERSON STREET SUITE 101 ALBUQUERQUE, NM 87105 WWW.RESPEC.COM 505.253.9718 UPDATED SITE PLAN (5 JULY 2021)	REVISION NO. DATE DESCRIPTION
			PROJECT NAME: CARLISLE CROSSING
SHEET TITLE: UTILITY PLAN			
SHEET NUMBER: C-105			

NAME: N:\Projects\03738_Modular_Carlisle_Marketplace3_DWG\Sheets\03738_Utility.dwg PLOT DATE: Jul 05, 2021 2:14pm

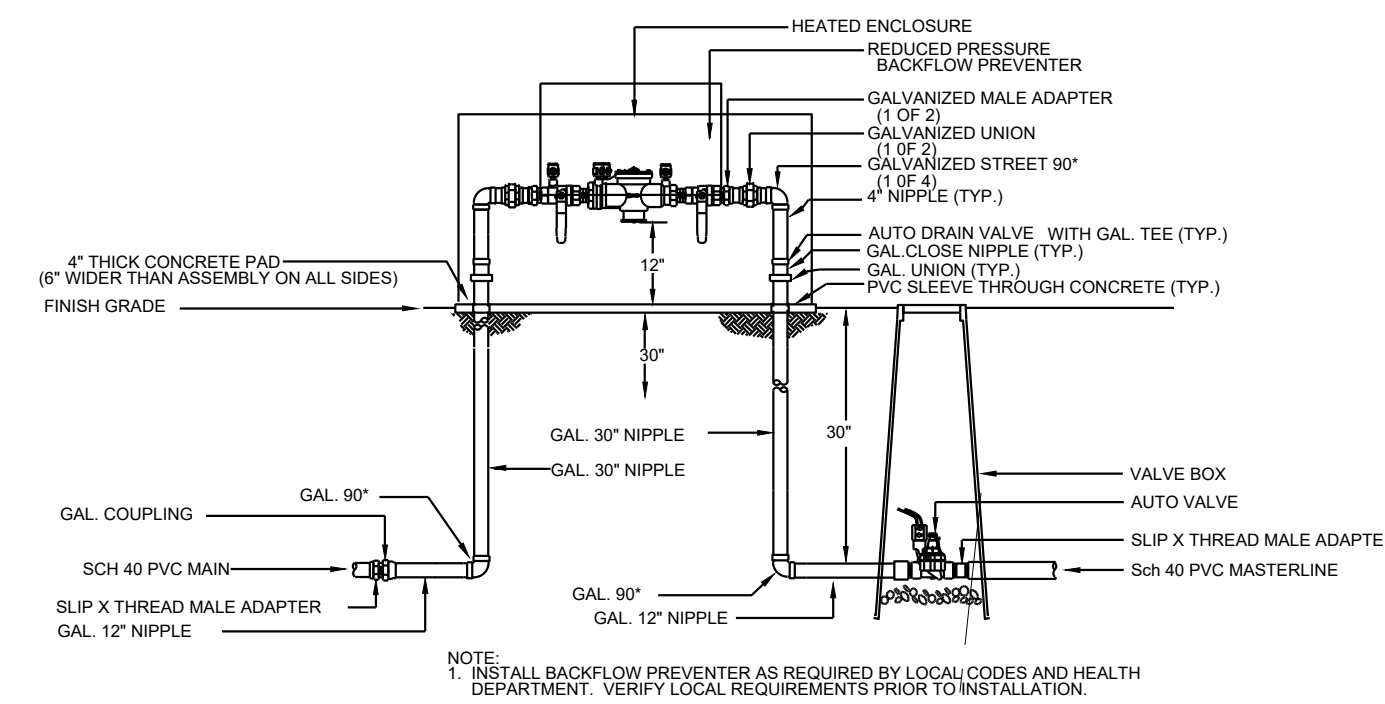


SECTION A
SECTION B

ADJACENT TENANT
CLEAR MEANS OF EGRESS
PATHWAY

IRRIGATION LEGEND

Symbol	Item / Description	Manufacturer / Model	Size
☐	Controller -confirm location in field	Rainbird ESP-LX	13 Stations
▶	Ball Gate Valve -assumed point of connection	Spears Ball Valve	1.5"
▣	Reduced Pressure Backflow Heated Enclosure Master Valve	Febco 825 Y with Hot Box Rainbird PEB	1.5" 1.5"
■	Automatic Drip Valve with pressure regulating filter in valve box	Rainbird PEB Rainbird PRF-100-RBY NDS 12"	1"
—	Poly Drip Line w / Flush Cap 6 emitters per tree 2 emitters per shrub	Agrifim TAE 20	3/4" 2 GPH
—	PVC Masterline	Sch. 40	1.5"
---	PVC Sleeve Drip Poly Lateral	Class 200	2" Min.
---	PVC Sleeve PVC Masterline	Class 200	4" Min.



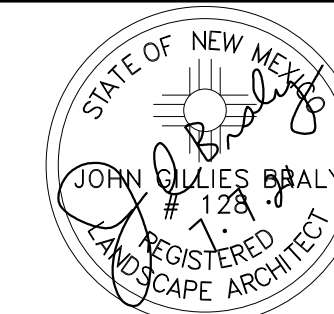
1 RP BACKFLOW/MASTER VALVE DETAIL

IRRIGATION NOTE

DRIP SYSTEM RUN CYCLES:
ESTABLISHMENT AND SUMMER:
1 HOUR/4 DAYS A WEEK
SPRING:
1 HOUR/2-3 DAYS A WEEK
FALL:
1 HOUR/2-3 DAYS A WEEK
WINTER:
1 HOUR/2 DAYS PER MONTH

IRRIGATION NOTES:

1. ALL NEW PLANTINGS TO BE WATERED BY AUTO DRIP IRRIGATION SYSTEM.
2. WATER MANAGEMENT AND THE MAINTENANCE OF THE IRRIGATION SYSTEM IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
3. THE IRRIGATION SYSTEM SHALL BE CONNECTED TO CITY WATER. THE POINT OF CONNECTION SHALL CONSIST OF A WATER METER, BACKFLOW PREVENTER, AND MASTER VALVE. SEE I103 FOR DETAIL.
4. USE 6 2 GPH EMITTERS PER EACH TREE AND TWO 2 GPH EMITTERS PER EACH SHRUB/GROUNDCOVER. USE SIX 2 GPH DRIP EMITTERS PER TREES IN POTS. SEPARATE IRRIGATION ZONES SHALL BE DESIGNED FOR TREES AND SHRUBS/GROUNDCOVERS.
5. INSTALL THRUST BLOCKS WHEREVER THE MAINLINE BENDS IN NINETY DEGREE ANGLE.
6. INSTALL SLEEVES TWO SIZES LARGER THAN THE SLEEVED PIPE UNDER ALL HARD SURFACES.
7. THE BACKFLOW SIZE AND LOCATION IS ASSUMED ONLY, BASED ON THE LATEST AVAILABLE UTILITY PLAN. GENERAL CONTRACTOR TO PROVIDE THE IRRIGATION WATER STUB OUT AND ELECTRICITY FOR THE HOTBOX.
8. IRRIGATION EQUIPMENT IS SHOWN ON A LARGER SCALE FOR CLARITY. THE PIPE ROUTING ON THE PLAN IS SCHEMATIC AND MAY REQUIRE FIELD ADJUSTMENTS TO AVOID INSTALLING PIPE WITHIN THE ROOT ZONE OF PLANTS OR IN CONFLICT WITH UTILITY EASMENTS.
9. ALL SLEEVES ARE ASSUMED TO BE PLACED PRIOR HARDSCAPE WITHOUT THE NEED OF BORING.



Date: 02/19/2021

Revisions:

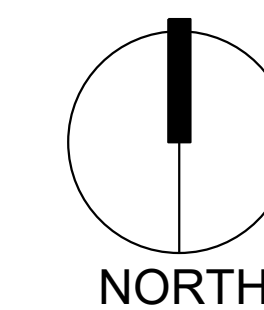
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▲ 07/07/2021

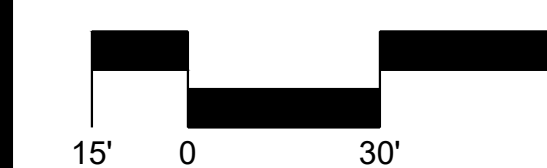
Drawn by: LF

Reviewed by: CM

2100 Carlisle
Site Redevelopment
2100 Carlisle Blvd
Albuquerque, New Mexico



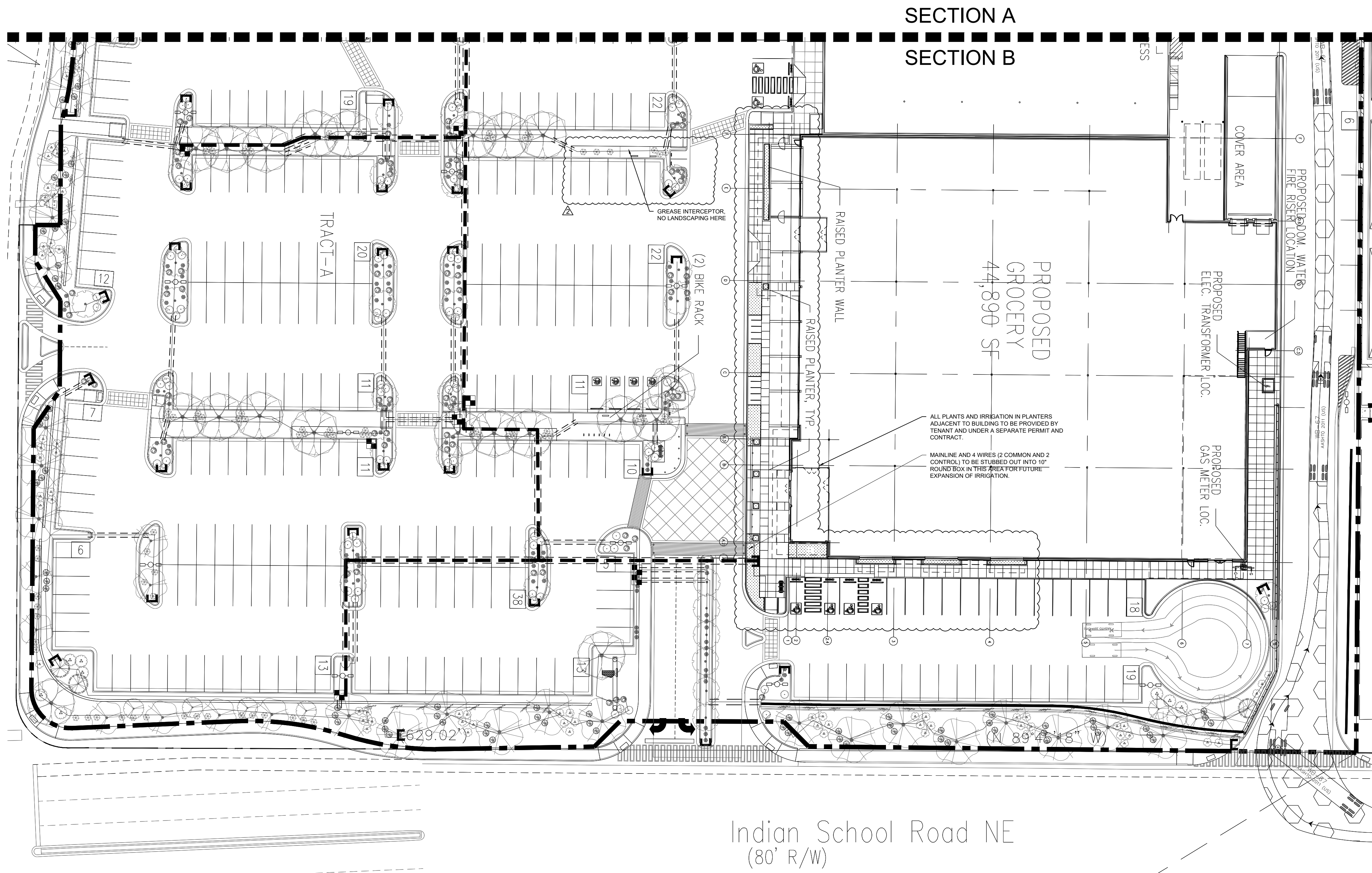
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Sheet Title:
Irrigation
Plan

Sheet Number:

LI-01

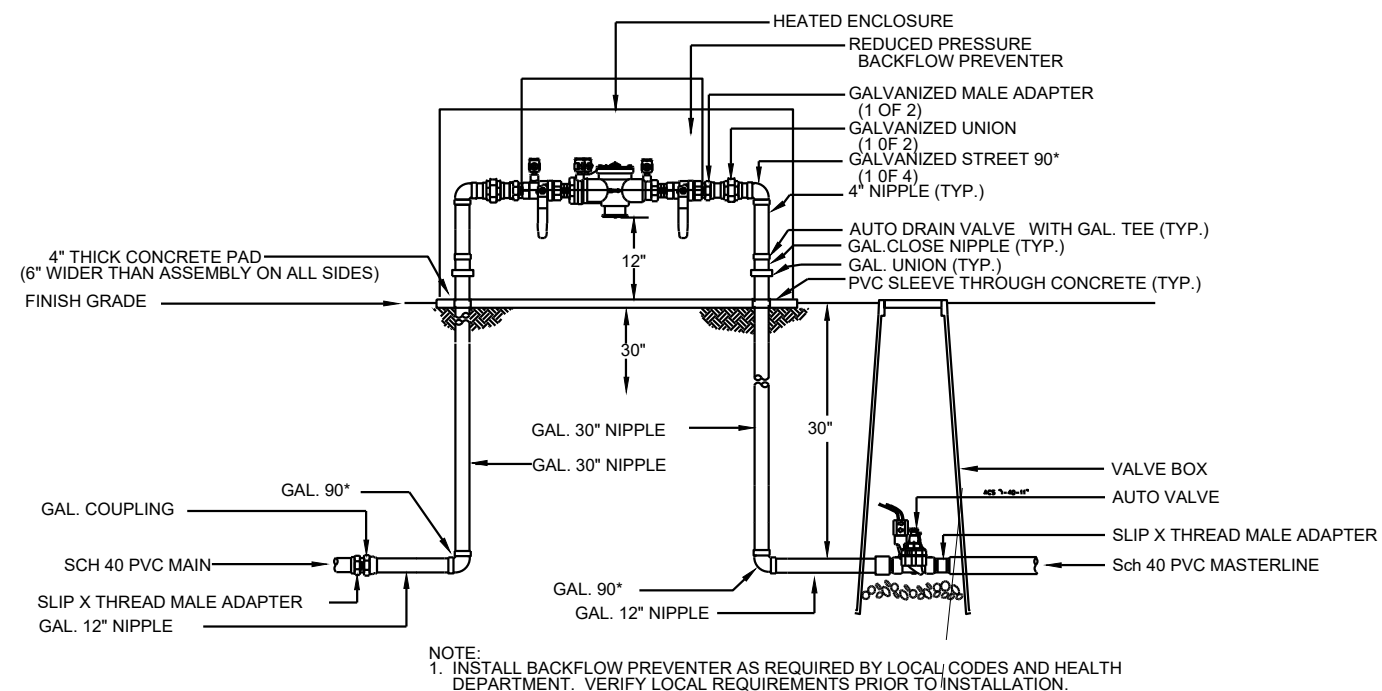


Indian School Road NE
(80' R/W)

SECTION A
SECTION B

IRRIGATION LEGEND

Symbol	Item / Description	Manufacturer / Model	Size
□	Controller -confirm location in field	Rainbird ESP-LX	13 Stations
▶	Ball Gate Valve -assumed point of connection	Spears Ball Valve	1.5"
▧	Reduced Pressure Backflow Heated Enclosure Master Valve	Febco 825 Y with Hot Box Rainbird PEB	1.5" 1.5"
■	Automatic Drip Valve with pressure regulating filter in valve box	Rainbird PEB Rainbird PRF-100-RBY NDS 12"	1"
└─┘	Poly Drip Line w / Flush Cap 6 emitters per tree 2 emitters per shrub	Agrifim TAE 20	3/4" 2 GPH
—	PVC Masterline	Sch. 40	1.5"
- - -	PVC Sleeve Drip Poly Lateral	Class 200	2" Min.
- - -	PVC Sleeve PVC Masterline	Class 200	4" Min.



1 RP BACKFLOW/MASTER VALVE DETAIL

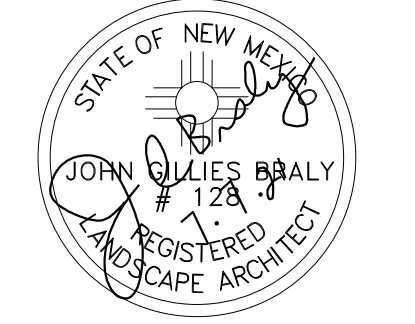
IRRIGATION NOTE

DRIP SYSTEM RUN CYCLES:
ESTABLISHMENT AND SUMMER:
1 HOUR/4 DAYS A WEEK
SPRING:
1 HOUR/2-3 DAYS A WEEK
FALL:
1 HOUR/2-3 DAYS A WEEK
WINTER:
1 HOUR/2 DAYS PER MONTH

IRRIGATION NOTES:

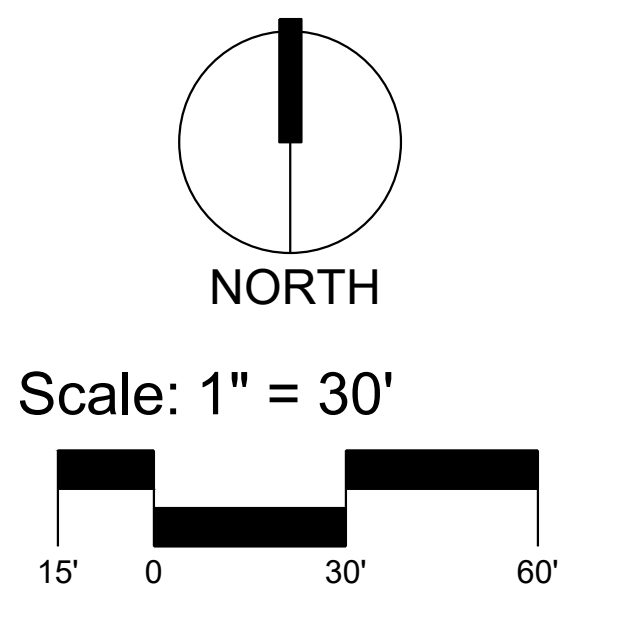
1. ALL NEW PLANTINGS TO BE WATERED BY AUTO DRIP IRRIGATION SYSTEM.
2. WATER MANAGEMENT AND THE MAINTENANCE OF THE IRRIGATION SYSTEM IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
3. THE IRRIGATION SYSTEM SHALL BE CONNECTED TO CITY WATER. THE POINT OF CONNECTION SHALL CONSIST OF A WATER METER, BACKFLOW PREVENTER, AND MASTER VALVE. SEE 1103 FOR DETAIL.
4. USE 6 2 GPH EMITTERS PER EACH TREE AND TWO 2 GPH EMITTERS PER EACH SHRUB/GROUNDCOVER. USE SIX 2 GPH DRIP EMITTERS PER TREES IN POTS. SEPARATE IRRIGATION ZONES SHALL BE DESIGNED FOR TREES AND SHRUBS/GROUNDCOVERS.
5. INSTALL THRUST BLOCKS WHEREVER THE MAINLINE BENDS IN NINETY DEGREE ANGLE.
6. INSTALL SLEEVES TWO SIZES LARGER THAN THE SLEEVED PIPE UNDER ALL HARD SURFACES.
7. THE BACKFLOW SIZE AND LOCATION IS ASSUMED ONLY, BASED ON THE LATEST AVAILABLE UTILITY PLAN. GENERAL CONTRACTOR TO PROVIDE THE IRRIGATION WATER STUB OUT AND ELECTRICITY FOR THE HOTBOX.
8. IRRIGATION EQUIPMENT IS SHOWN ON A LARGER SCALE FOR CLARITY. THE PIPE ROUTING ON THE PLAN IS SCHEMATIC AND MAY REQUIRE FIELD ADJUSTMENTS TO AVOID INSTALLING PIPE WITHIN THE ROOT ZONE OF PLANTS OR IN CONFLICT WITH UTILITY EASMENTS.
9. ALL SLEEVES ARE ASSUMED TO BE PLACED PRIOR HARDSCAPE WITHOUT THE NEED OF BORING.

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Albuquerque, NM 87184
505.898.9615
design@yellowstonelandscape.com



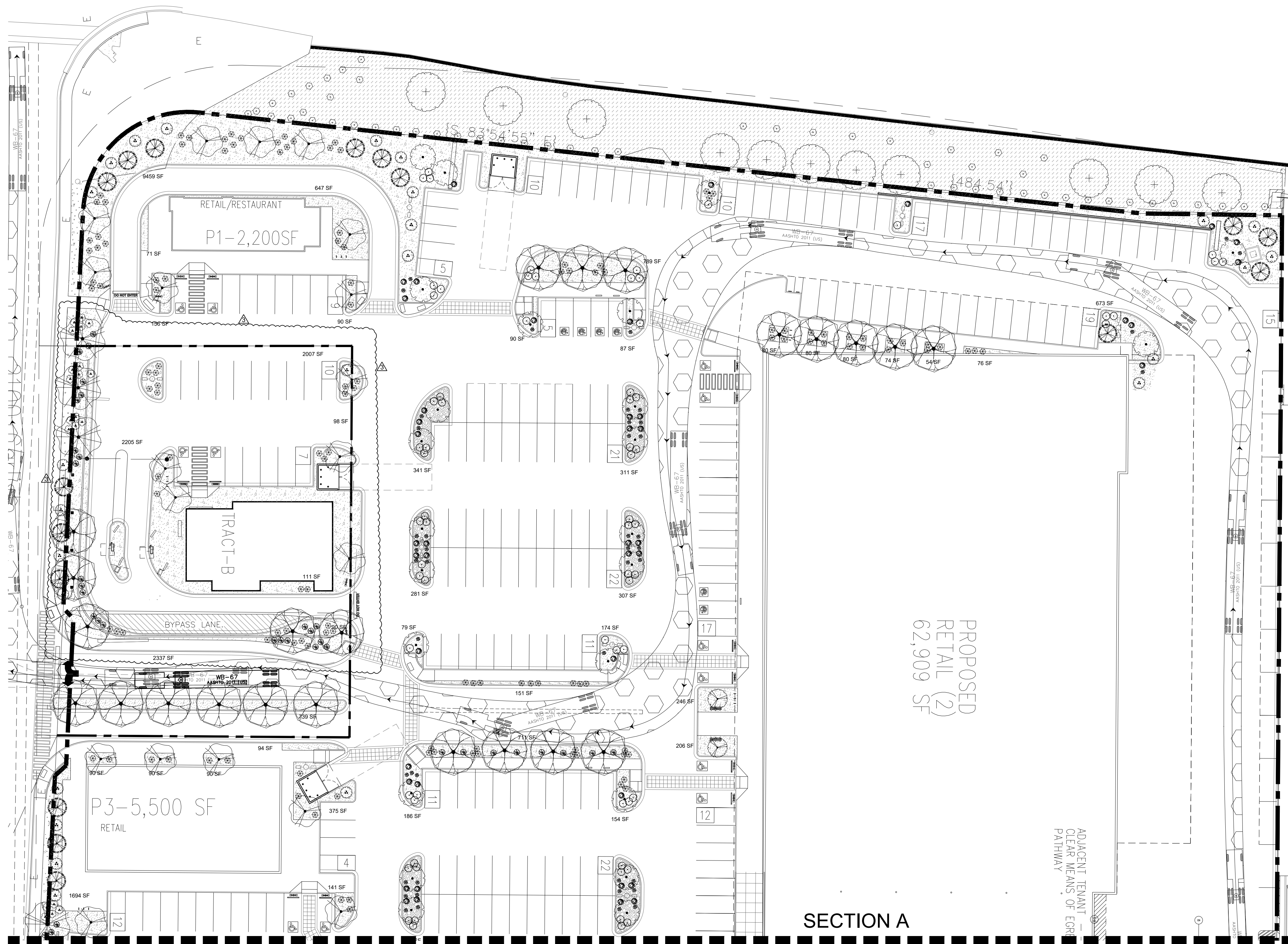
Date: 02/19/2021
Revisions:
▲ 03/04/2021
▲ 05/20/2021 HA
▲ 06/16/2021 HA
▲ 07/07/2021 HA
Drawn by: LF
Reviewed by: CM

2100 Carlisle
Site Redevelopment
2100 Carlisle Blvd
Albuquerque, New Mexico



Sheet Title:
Irrigation
Plan

Sheet Number:
LI-02



SECTION A
SECTION B

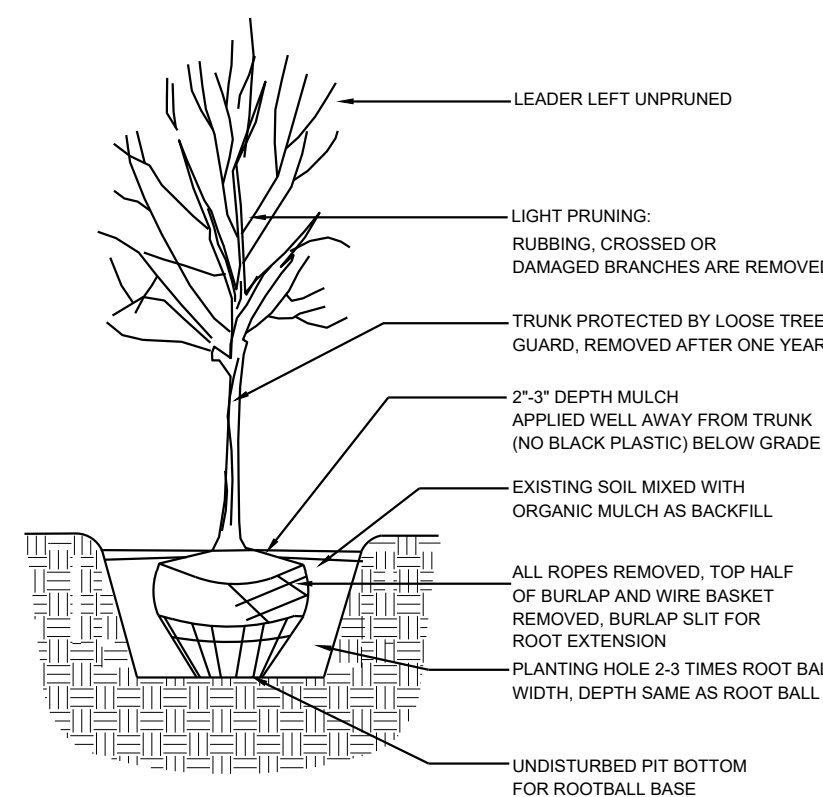
SITE DATA

GROSS LOT AREA (4.03 ACRES)	431,693 SF
LESS BUILDING(S)	115,499 SF
NET LOT AREA	316,194 SF

REQUIRED LANDSCAPE	47,429 SF
15% OF NET LOT AREA	49,176 SF
PROPOSED LANDSCAPE	2,215 SF
PROVIDED OFFSITE LANDSCAPE	18,084 SF
ROW EXISTING LANDSCAPE	69,471 SF
TOTAL PROPOSED LANDSCAPE	22.0 %

REQUIRED STREET TREES	45
PROVIDED/EXISTING AT 25' O.C. SPACING ALONG STREET	47
REQUIRED PARKING LOT TREES	45
PROVIDED AT 1 PER 10 SPACES (477 SPACES/10)	137**
TOTAL REQUIRED TREES: 90	
TOTAL PROVIDED TREES: 184	
** (tree provided per parking space quantity is due to IDO ordinance to provide 1 shade tree 25' O.C. along any pedestrian walkway)	

REQUIRED LANDSCAPE COVERAGE	
75% LIVE VEGETATIVE MATERIAL	
(47,429 SF REQUIRED LANDSCAPE X 75%)	35,572 SF MIN.
PROVIDED GROUND COVER COVERAGE	36,219 SF
(EXCLUDES EXISTING ROW LANDSCAPE)	(1,436 SF)
PERCENT GROUND COVER COVERAGE OF REQUIRED LANDSCAPE AREAS	75%



1 TREE PLANTING DETAIL

PLANT SCHEDULE SITE 06.15.2021

TREES	QTY	BOTANICAL / COMMON NAME	SIZE
EXISTING TREE	11	EXISTING TREE	VARIABLES
DECIDUOUS TREES	QTY	BOTANICAL / COMMON NAME	SIZE
CHILOPSIS LINEARIS / DESERT WILLOW	27	CHILOPSIS LINEARIS / DESERT WILLOW	2" B&B
PISTACIA CHINENSIS / CHINESE PISTACHE	26	PISTACIA CHINENSIS / CHINESE PISTACHE	2" B&B
PYRUS CALLERYANA 'CLEVELAND SELECT' / CLEVELAND SELECT PEAR	57	PYRUS CALLERYANA 'CLEVELAND SELECT' / CLEVELAND SELECT PEAR	2" B&B
ULMUS PARVIFOLIA 'BOSQUE' / BOSQUE ELM	43	ULMUS PARVIFOLIA 'BOSQUE' / BOSQUE ELM	2" B&B
VITEX AGNUS-CASTUS / CHASTE TREE	10	VITEX AGNUS-CASTUS / CHASTE TREE	24" BOX
EVERGREEN TREES	QTY	BOTANICAL / COMMON NAME	SIZE
PINUS LEUCODERMIS / BOSNIAN PINE	19	PINUS LEUCODERMIS / BOSNIAN PINE	6'-8" B&B
SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE
EXISTING SHRUB	55	EXISTING SHRUB	VARIABLES
DESERT ACCENTS	QTY	BOTANICAL / COMMON NAME	SIZE
HESPERALOE PARVIFLORA / RED YUCCA	90	HESPERALOE PARVIFLORA / RED YUCCA	5 GAL
NOLINA MICROCARPA / BEARGRASS	33	NOLINA MICROCARPA / BEARGRASS	5 GAL
GRASSES	QTY	BOTANICAL / COMMON NAME	SIZE
CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS	139	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS	1 GAL
VINE/ESPALIER	QTY	BOTANICAL / COMMON NAME	SIZE
LONICERA JAPONICA 'HALLIANA' / HALLS HONEYSUCKLE FLOWERING VINE	36	LONICERA JAPONICA 'HALLIANA' / HALLS HONEYSUCKLE FLOWERING VINE	5 GAL
DECIDUOUS SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE
CARYOPTERIS X CLANDONENSIS 'DARK KNIGHT' / BLUE MIST SPIREA	121	CARYOPTERIS X CLANDONENSIS 'DARK KNIGHT' / BLUE MIST SPIREA	1 GAL
RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC	159	RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC	5 GAL
EVERGREEN SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE
BACCHARIS X 'STARN' / STARN COYOTE BRUSH	101	BACCHARIS X 'STARN' / STARN COYOTE BRUSH	5 GAL
ROSMARINUS OFFICINALIS / ROSEMARY	216	ROSMARINUS OFFICINALIS / ROSEMARY	5 GAL

MATERIAL SCHEDULE

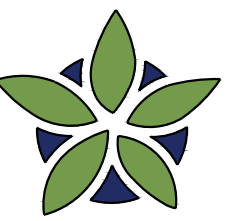
SYMBOL	DESCRIPTION	QTY	DETAIL
[Symbol]	Amaretto 5/8"-1 1/4" Gravel 3" Depth over Filter Fabric. (landscape area in ROW)	2,215 sf	
[Symbol]	Amaretto 5/8"-1 1/4" Gravel 3" Depth over Filter Fabric	45,030 sf	
[Symbol]	2-4" Mountainair Blush Cobble 4" Depth over Filter Fabric	3,945 sf	
[Symbol]	DOT Existing - Gravel and Landscape	18,084 sf	

GENERAL NOTES:

1. MAINTENANCE OF THE LANDSCAPE AND IRRIGATION PROVIDED BY THE PROPERTY OWNER.
2. LANDSCAPE AREAS SHALL BE DEPRESSED TO PROVIDE POSITIVE DRAINAGE FOR SITE RUN OFF. SEE CIVIL DRAWINGS FOR DRAINAGE INFORMATION AND PLACEMENT OF CURB CUTS.
3. THE LANDSCAPE PLAN IS DESIGNED TO MEET ALL CITY OF ALBUQUERQUE, AND IDO REQUIREMENTS.
4. PLANT MATERIALS AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) ARE NOT ACCEPTABLE IN 'CLEAR SIGHT' AREAS.
5. THE LANDSCAPE PLAN IS DESIGNED TO COMPLY WITH THE GENERAL IDO LANDSCAPING REGULATIONS (section 14-16-5-6) INCLUDING PROVISION OF A MINIMUM OF 75% LIVE GROUND COVERAGE, MEASURED AT MATURITY, OF ALL REQUIRED LANDSCAPE AREAS, AND A MINIMUM OF 25% REQUIRED VEGETATIVE COVERAGE OF GROUND LEVEL PLANTS. 5-6(C)(4)(h) SHADE TREES ARE TO BE PLANTED APPROXIMATELY 25' O.C. ALONG ALL REQUIRED PEDESTRIAN WALKWAYS. 5-6(C)(5) IN REGARDS TO A MAXIMUM OF 75% OF GRAVEL OF ANY OUTDOOR SPACE AND ORGANIC MULCH SUCH AS BARK MULCH SURROUNDING VEGETATION ROOT BALLS AND BENEATH THE ENTIRE TREE CANOPY OR DRIFLINE.

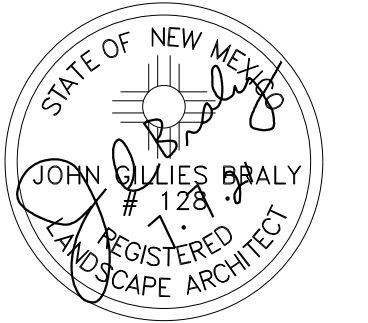
PLANTINGS NOTES:

1. THE LANDSCAPE DESIGN SHALL COMPLY WITH THE CITY OF ALBUQUERQUE WASTE WATER CONSERVATION, LANDSCAPE, IDO, AND WATER WASTE ORDINANCE..
2. THERE IS NO NEW TURF USED IN THE DESIGN OF THE LANDSCAPE.
3. THE R.O.W. (WHEN DEDICATED TO THE PUBLIC) SHALL BE MAINTAINED BY THE PROPERTY OWNER. THE PLAN SHALL FOLLOW THE COA DESIGN GUIDELINES FOR STREET TREES UNLESS OBSTRUCTED BY UTILITY EASEMENTS.
4. ALL LANDSCAPE AREAS SHALL BE COVERED WITH MULCH. USE GRAVEL MULCH AT 3" DEPTH OVER FILTER FABRIC.
5. WHERE MULCH IS ADJACENT TO THE CONCRETE, FINISH GRADE OF MULCH SHALL BE APPROXIMATELY 1/2" BELOW THE TOP OF CONCRETE.



YELLOWSTONE
LANDSCAPE

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Albuquerque, NM 87184
505.898.9615
design@yellowstonelandscape.com

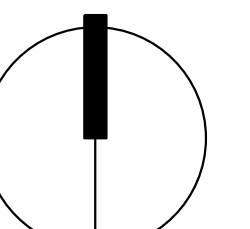


Date: 7/16/2019

- Revisions:
- ▲ 8/19/2019 06/16/2021
 - ▲ 10/31/2019 06/25/2021 HA
 - ▲ 01/21/2021 LF 07/07/2021
 - ▲ 02/08/2021
 - ▲ 02/19/2021
 - 03/04/2021

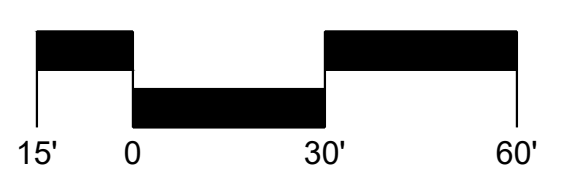
Drawn by: V.Blount
Reviewed by: TN, CM

2100 Carlisle
Site Redevelopment
2100 Carlisle Blvd
Albuquerque, New Mexico



NORTH

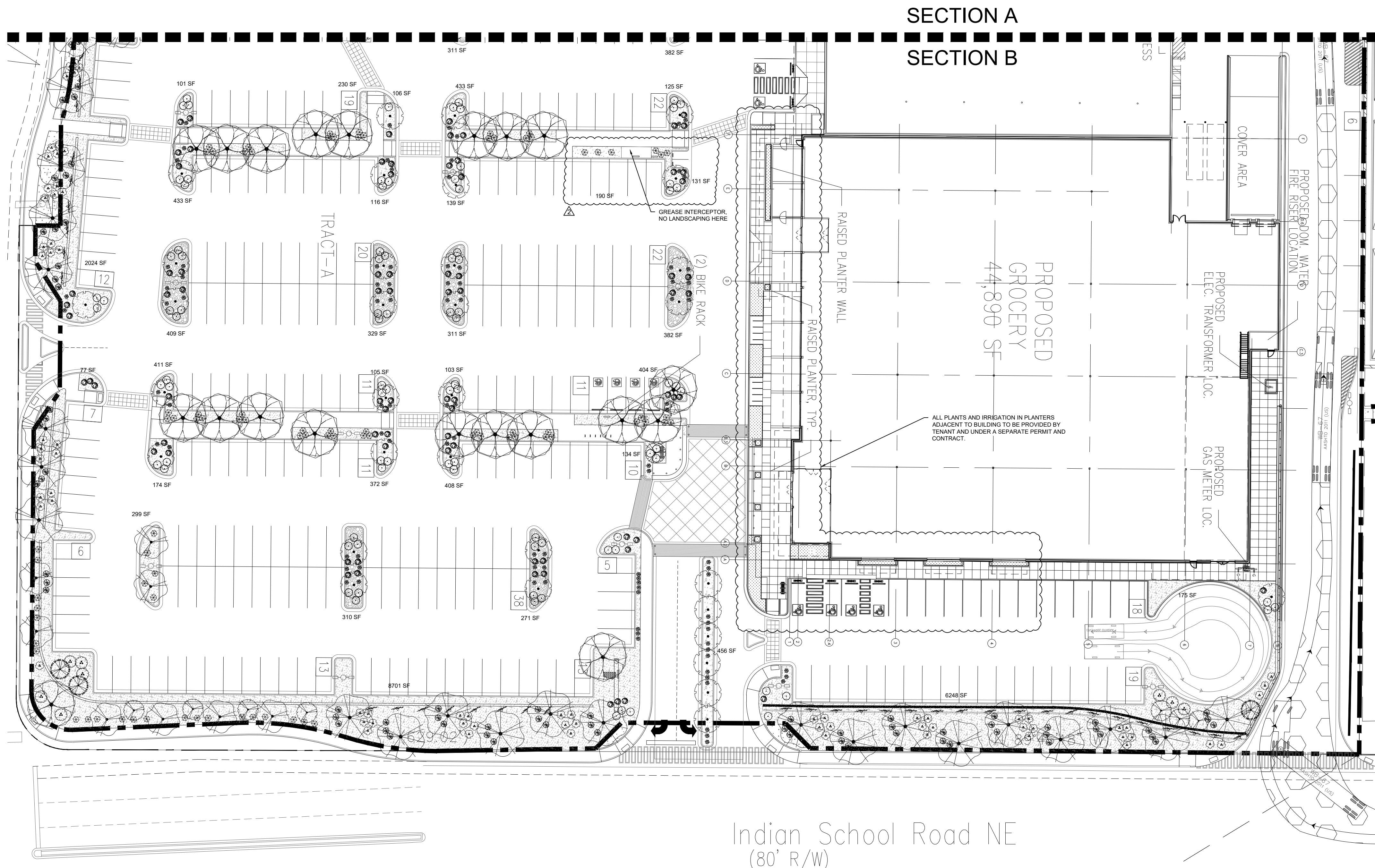
Scale: 1" = 30'



Sheet Title:
Landscape Plan

Sheet Number:

LP-01



SECTION A
SECTION B

PLANT SCHEDULE SITE 06.15.2021

TREES	QTY	BOTANICAL / COMMON NAME	SIZE
+	11	EXISTING TREE	VARIES
DECIDUOUS TREES			
QTY	BOTANICAL / COMMON NAME	SIZE	
27	CHILOPSIS LINEARIS / DESERT WILLOW	2" B&B	
26	PISTACIA CHINENSIS / CHINESE PISTACHE	2" B&B	
57	PYRUS CALLERYANA 'CLEVELAND SELECT' / CLEVELAND SELECT PEAR	2" B&B	
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QTY	BOTANICAL / COMMON NAME	SIZE	
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55	EXISTING SHRUB	VARIES	
DESERT ACCENTS			
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MATERIAL SCHEDULE

SYMBOL	DESCRIPTION	QTY	DETAIL
[Symbol]	Amaretto 5/8"-1 1/4" Gravel 3" Depth over Filter Fabric (Landscape area in ROW)	2,215 sf	
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SITE DATA

GROSS LOT AREA (4.03 ACRES)	431,693 SF
LESS BUILDING(S)	115,499 SF
NET LOT AREA	316,194 SF
REQUIRED LANDSCAPE	47,429 SF
15% OF NET LOT AREA	49,176 SF
PROPOSED LANDSCAPE	2,215 SF
PROPOSED OFFSITE LANDSCAPE	18,084 SF
ROW EXISTING LANDSCAPE	69,471 SF
TOTAL PROPOSED LANDSCAPE	22.0 %
PERCENT OF NET LOT AREA	

REQUIRED STREET TREES 45
PROVIDED/EXISTING AT 25' O.C. SPACING ALONG STREET 47
REQUIRED PARKING LOT TREES 45
PROVIDED AT 1 PER 10 SPACES (477 SPACES/10) 137**
TOTAL REQUIRED TREES: 90
TOTAL PROVIDED TREES: 184
 ** (tree provided per parking space quantity is due to IDO ordinance to provide 1 shade tree 25' O.C. along any pedestrian walkway)

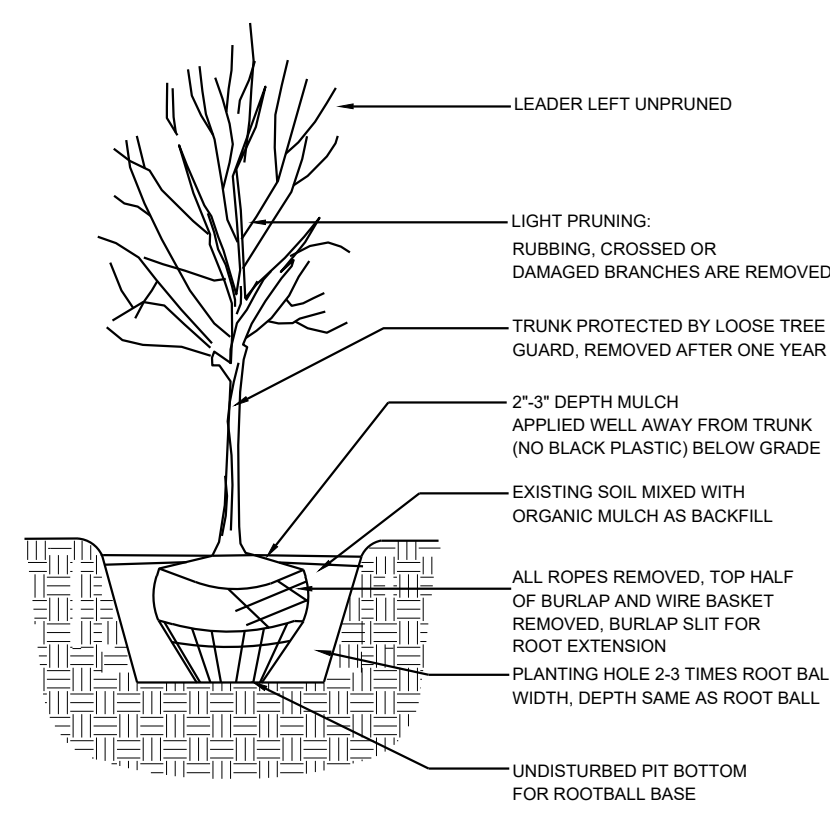
REQUIRED LANDSCAPE COVERAGE
 75% LIVE VEGETATIVE MATERIAL
 (47,429 SF REQUIRED LANDSCAPE X 75%) 35,572 SF MIN.
 PROVIDED GROUND COVER COVERAGE 36,219 SF
 (EXCLUDES EXISTING ROW LANDSCAPE) (1,436 SF)
 PERCENT GROUND COVER COVERAGE OF REQUIRED LANDSCAPE AREAS 75%

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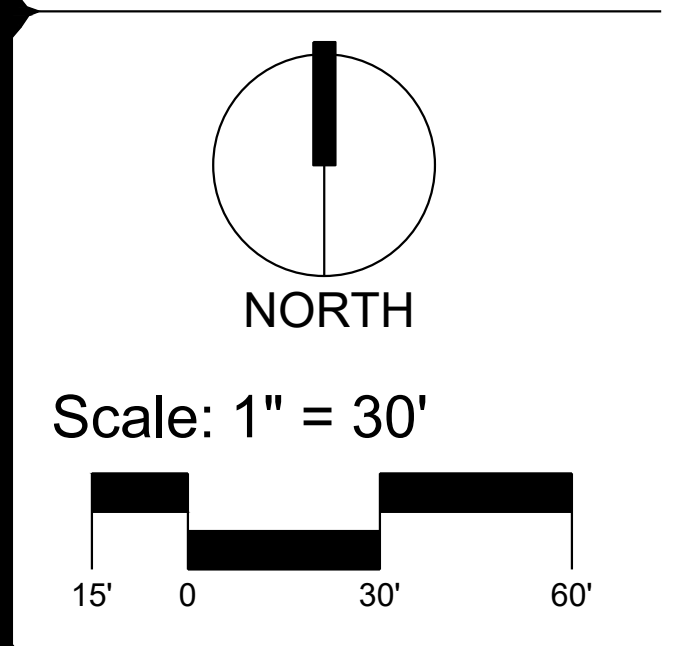
1 TREE PLANTING DETAIL

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 P O Box 10597
 Albuquerque, NM 87184
 505.898.9615
 design@yellowstonelandscape.com



Date: 7/16/2019
 Revisions:
 ▲ 08/19/2019 05/20/2021
 ▲ 10/31/2019 06/16/2021 HA
 ▲ 01/21/2021 LF 06/25/2021 HA
 ▲ 02/08/2021 07/07/2021
 ▲ 02/19/2021
 ▲ 03/04/2021
 Drawn by: V.Blount
 Reviewed by: TN, CM

2100 Carlisle
 Site Redevelopment
 2100 Carlisle Blvd
 Albuquerque, New Mexico



Sheet Title:
Landscape Plan

Sheet Number:
LP-02



CITY OF ALBUQUERQUE INVOICE

REGINA OKOYE

100 SUN AVE

Reference NO: SI-2021-01012

Customer NO: CU-104474351

Date	Description	Amount
7/09/21	2% Technology Fee	\$1.00
7/09/21	Application Fee	\$50.00

Due Date: **7/09/21**

Total due for this invoice:

\$51.00

Options to pay your Invoice:

1. Online with a credit card: <http://posse.cabq.gov/posse/pub/lms/Default.aspx>
2. In person: Plaza Del Sol, 600 2nd St. NW, Albuquerque, NM 87102

PLEASE RETURN THE BOTTOM PORTION OF THIS INVOICE NOTICE WITH PAYMENT



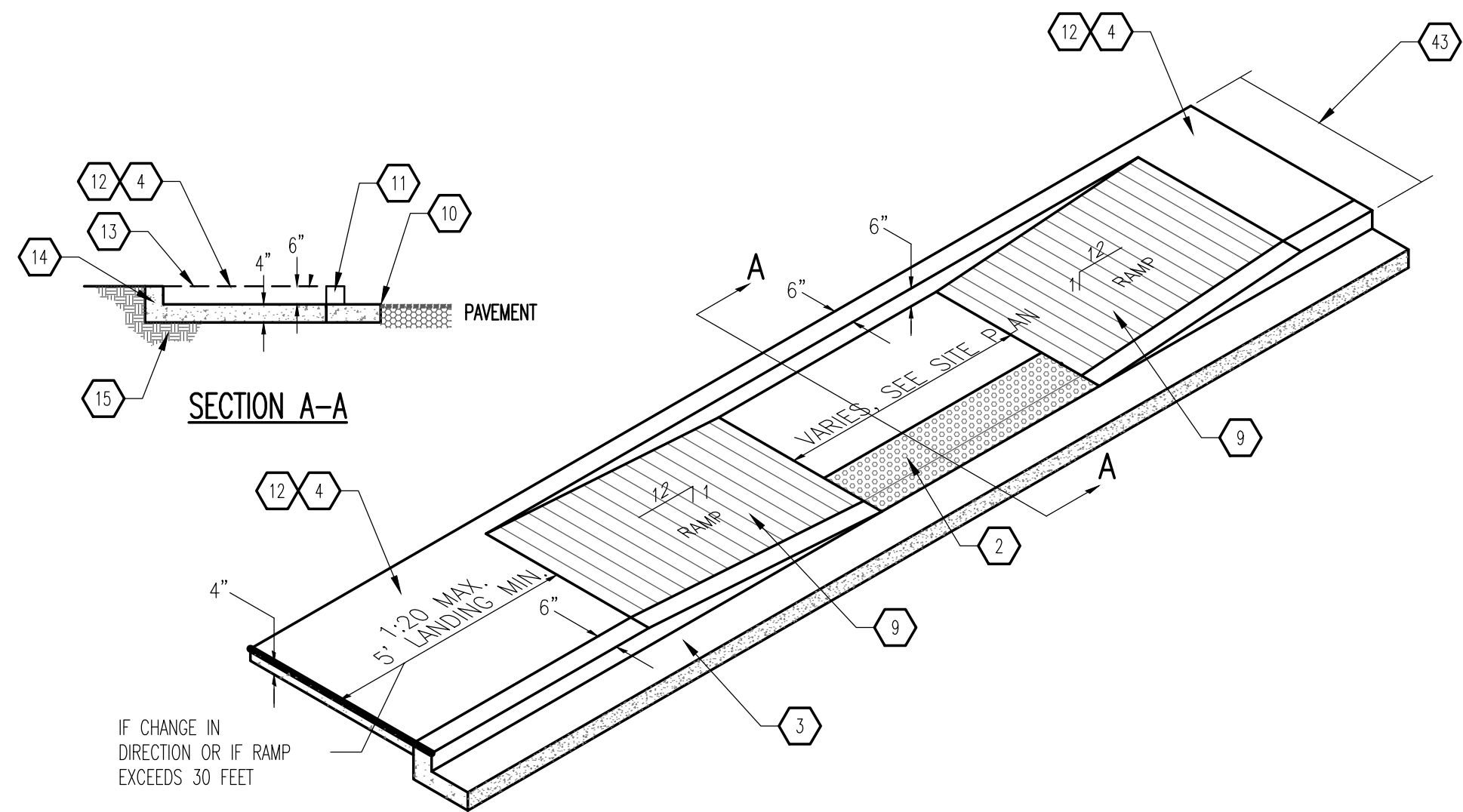
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

Date: 7/09/21
Amount Due: \$51.00
Reference NO: SI-2021-01012
Payment Code: 130
Customer NO: CU-104474351

REGINA OKOYE
100 SUN AVE
ALBUQUERQUE, NM 87107

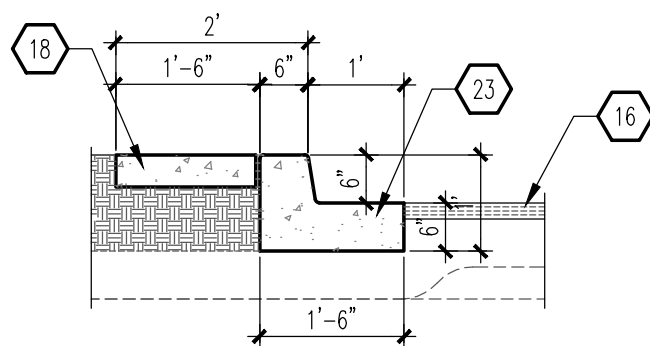


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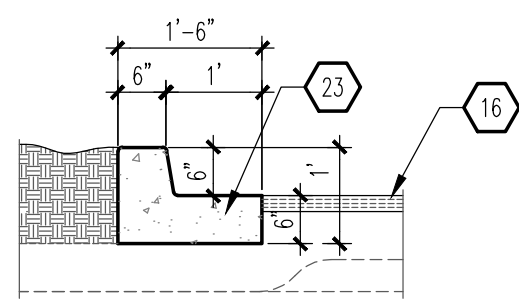


NOTE:
H.C. RAMP SHALL NOT EXCEED 6", OR 8% SLOPE IN ANY DIRECTION, AND SHALL CONFORM W/ ALL APPLICABLE ANSI REQ'S. G.C. SHALL VERIFY CONFORMANCE W/ ALL APPLICABLE ANSI REQ'S

C1 TAPERED RAMP
SCALE: NTS

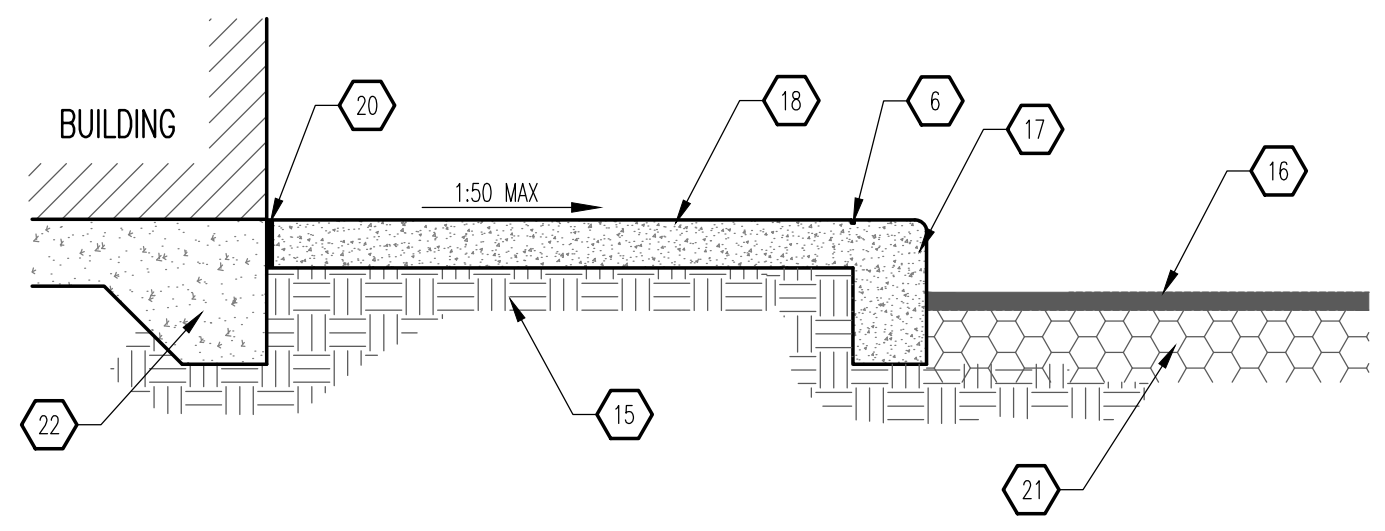


NOTE:
RE: SITE PLAN FOR LOCATIONS OF PAVEMENT SECTION DESIGN PER THE GEOTECHNICAL INVESTIGATION FOLLOW COA STANDARD DRAWING #2415B



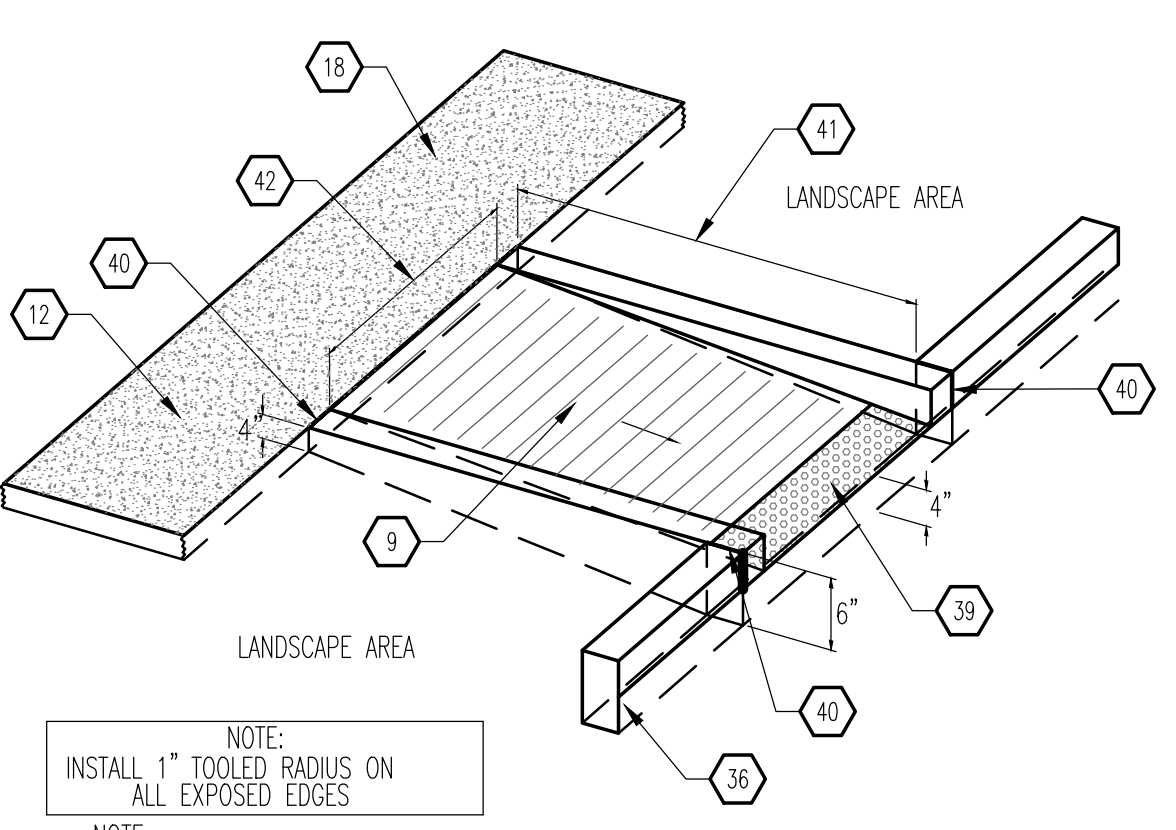
NOTE:
RE: SITE PLAN FOR LOCATIONS OF PAVEMENT SECTION DESIGN PER THE GEOTECHNICAL INVESTIGATION FOLLOW COA STANDARD DRAWING #2415B

B1 CURB & GUTTER
SCALE: 1/2" = 1'-0"



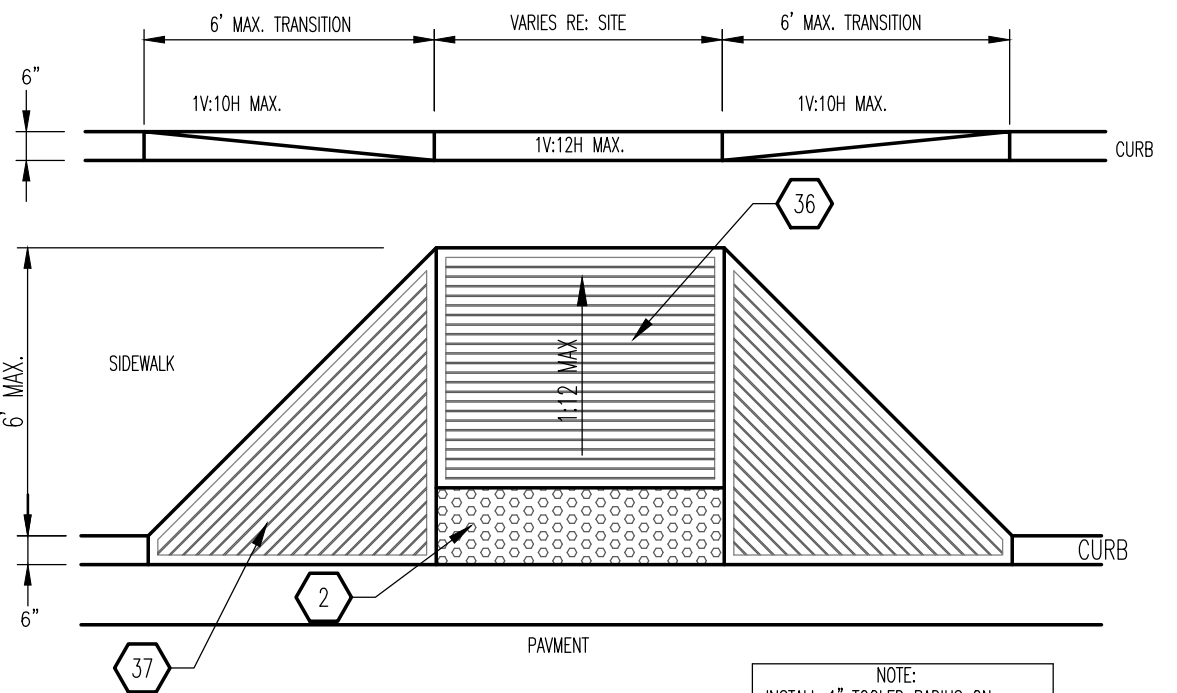
NOTE:
1. CONTRACTION JOINTS AT 5'-0" OC TOOLED 1/2" (±1/4") WIDE, 1" OR MAXIMUM D/4 (DEEP) WHICHEVER IS GREATER EXPANSION JOINTS AT 20' MAXIMUM AND ALL P.C.S, UNLESS APPROVED OR INDICATED OTHERWISE ON PLAN VIEW JOINT PATTERN.
2. ALIGN CURB AND SIDEWALK JOINTS AT ALL TIMES.

B2 TURNDOWN SIDEWALK SECTION
SCALE: 3/4" = 1'-0"



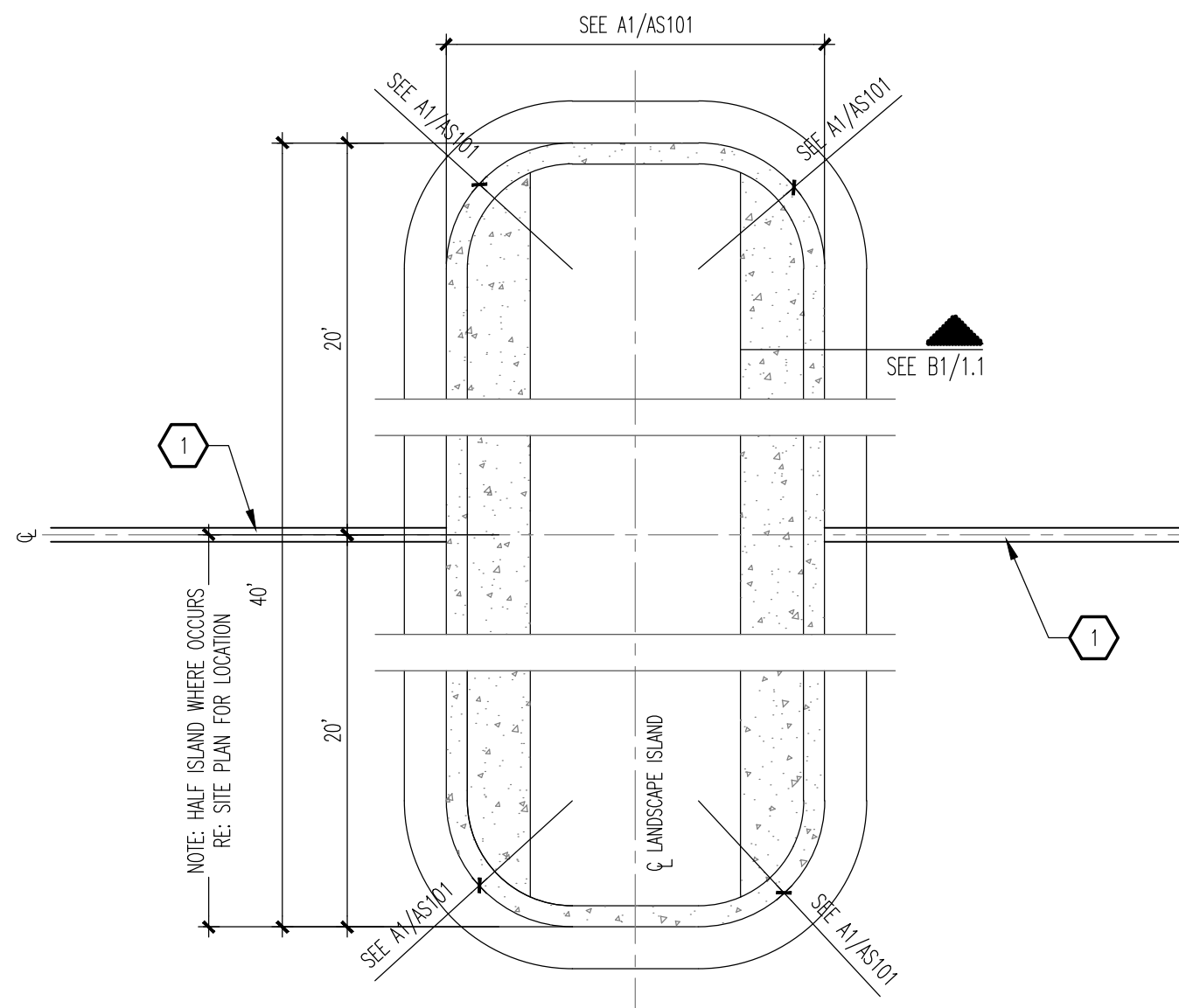
NOTE:
INSTALL 1" TOOLED RADIUS ON ALL EXPOSED EDGES
NOTE:
H.C. RAMP SHALL NOT EXCEED 6", OR 8% SLOPE IN ANY DIRECTION, AND SHALL CONFORM W/ ALL APPLICABLE ANSI REQ'S. G.C. SHALL VERIFY CONFORMANCE W/ ALL APPLICABLE ANSI REQ'S

A1 CURBED RAMP
SCALE: 3/4" = 1'-0"

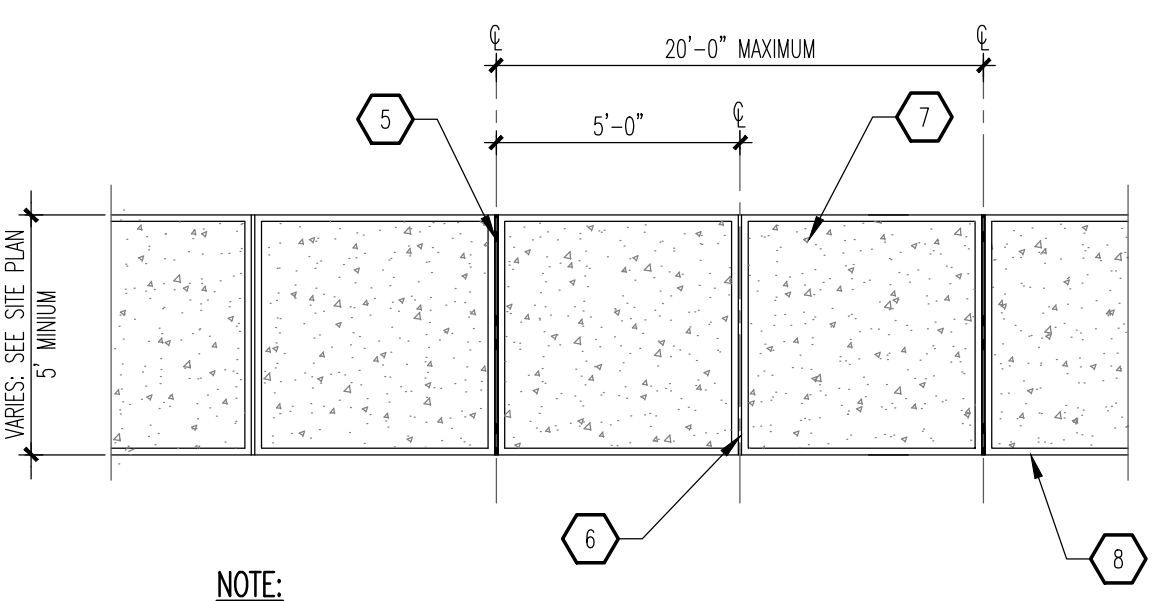


NOTE:
HANDICAP RAMP SHALL NOT EXCEED 6", OR 8% SLOPE IN ANY DIRECTION, AND SHALL CONFORM WITH ALL APPLICABLE ANSI REQUIREMENTS. GC SHALL VERIFY CONFORMANCE WITH ALL APPLICABLE ANSI REQUIREMENT.

A3 END ISLAND ADA RAMP
SCALE: 1/4" = 1'-0"

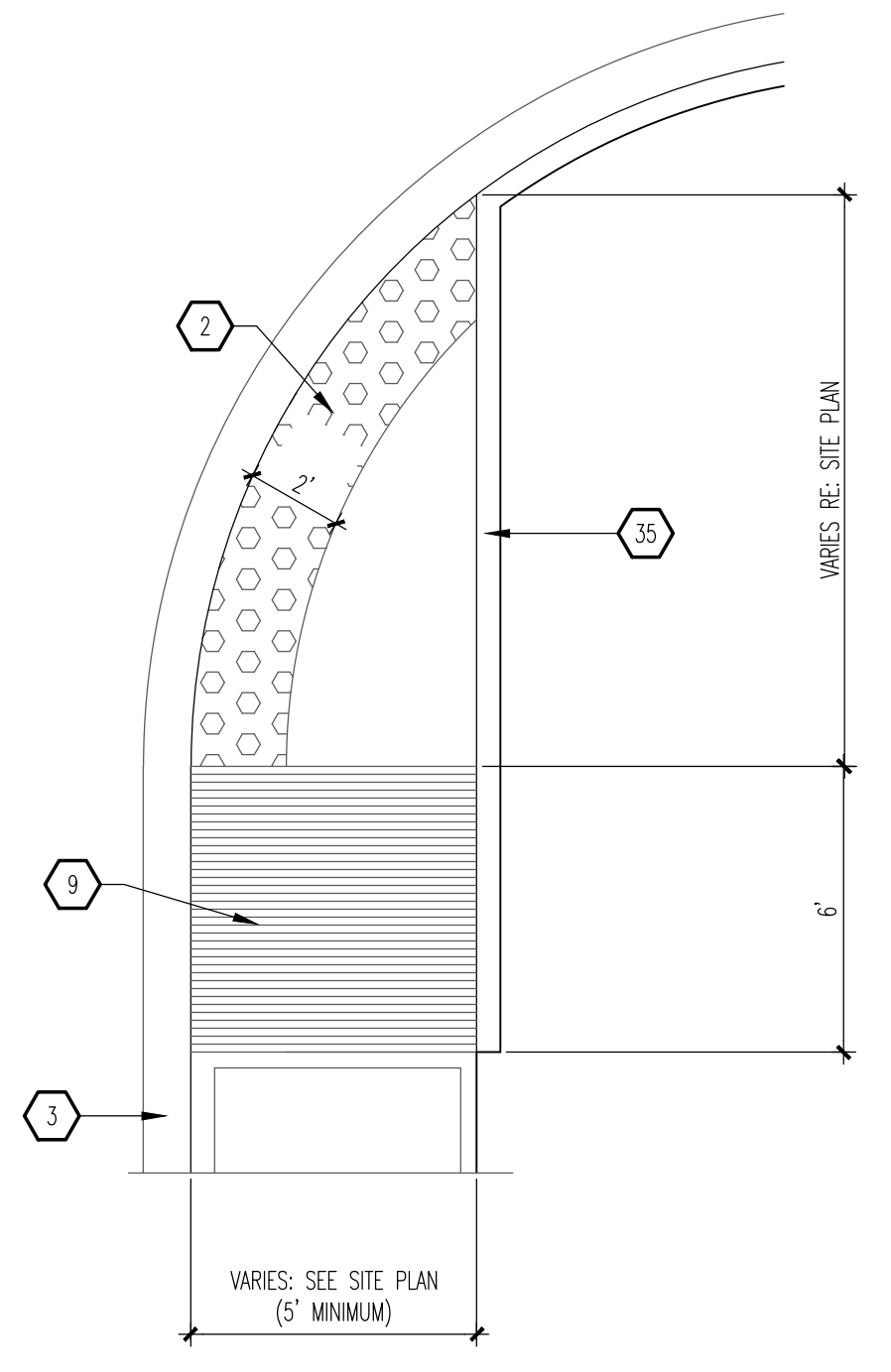


C3 TYPICAL ISLAND
SCALE: 1/4" = 1'-0"



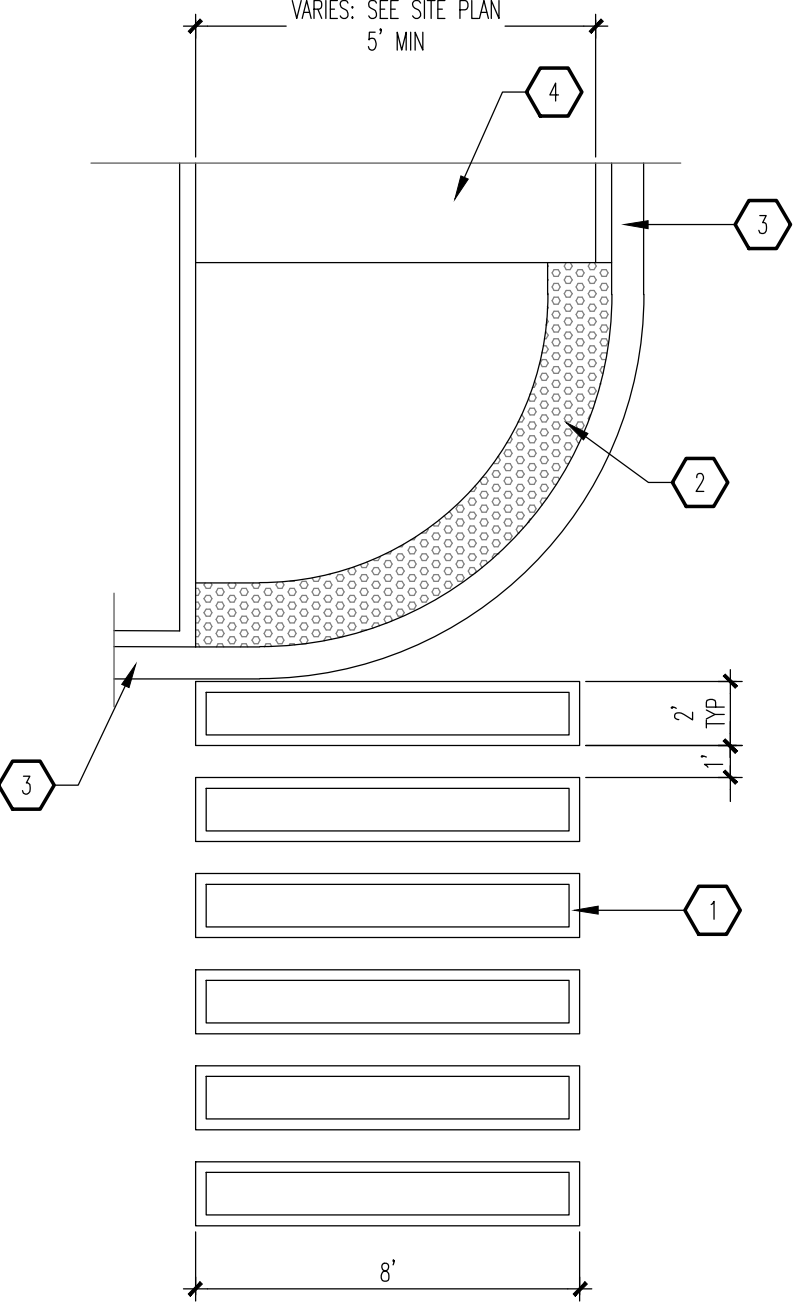
NOTE:
FOLLOW COA STANDARD DRAWING #2430.

B3 TYPICAL SIDEWALK
SCALE: 3/4" = 1'-0"

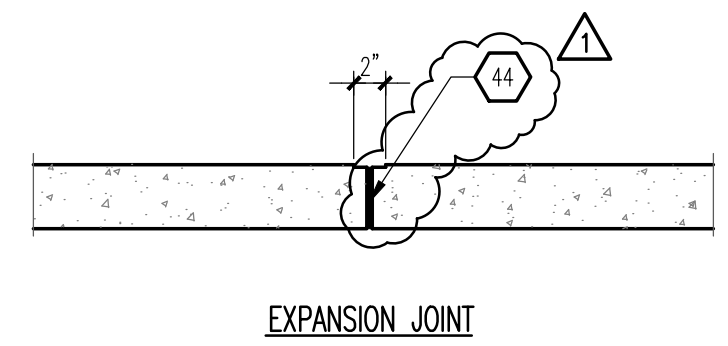


NOTE:
FOLLOW COA STANDARD DRAWING #2443.

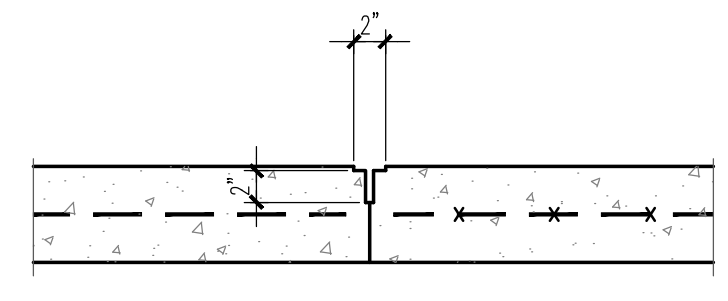
A4 END ISLAND ADA RAMP
SCALE: 1/4" = 1'-0"



C5 CONCRETE CROSSWALK
SCALE: 1/4" = 1'-0"

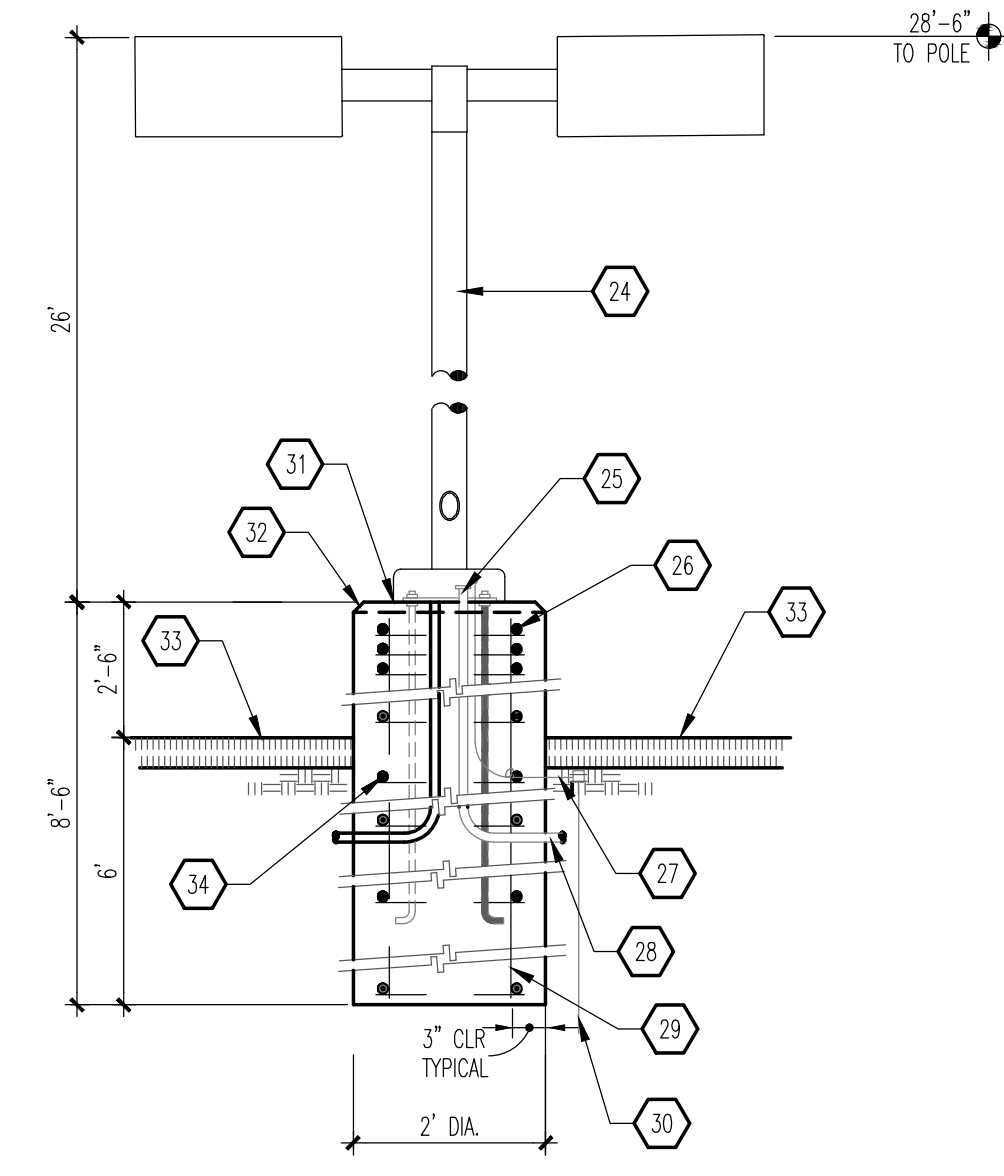


EXPANSION JOINT



CONTROL JOINT

B5 EXPANSION/CONTROL JOINT
SCALE: 1" = 1'-0"



NOTE:
1. MANUFACTURER SHALL WARRANT THAT THE COMPLETE ASSEMBLY FIXTURES, POLE, BASE, SHALL WITHSTAND MINIMUM 90 MPH SUSTAINED WIND LOAD OR AS REQUIRED BY LOCAL AGENCY HAVING JURISDICTION; WHICHEVER IS MORE RESTRICTIVE.
2. CONTRACTOR SHALL VERIFY THAT ALL CONTRACTOR INSTALLED LIGHTS COMPLY WITH LOCAL CODES REQUIREMENTS.
3. SHOULD EXISTING POLE HEIGHT TO BE MATCHED EXCEED 22', GENERAL CONTRACTOR SHALL VERIFY WITH ARCHITECT ADEQUACY OF DESIGN SHOWN PRIOR TO INSTALL.

A5 LIGHT POLE
SCALE: 1/2" = 1'-0"

GENERAL NOTES			
A. "C" SERIES SHEETS APPLY TO THE ENTIRE SET OF DRAWINGS.			

KEYED NOTES			
1.	4" THICK PAVEMENT MARKING, WHITE IN COLOR.		
2.	2" WIDE ADA APPROVED TRUNCATED DOME STRIP.		
3.	CURB AND GUTTER: SEE B1/A1.1.		
4.	CONCRETE SIDEWALK: SEE B3/A1.1.		
5.	CONCRETE EXPANSION JOINT: SEE B5/A1.1.		
6.	CONCRETE CONTROL JOINT: SEE B5/A1.1.		
7.	BROOM FINISH CONCRETE SURFACE AREA INSIDE OF TOOLED EDGE TO CREATE PICTURE FRAME EFFECT.		
8.	SMOOTH TOOLED FINISH AROUND EDGES, TYPICAL.		
9.	MONOLITHIC CONCRETE HANDICAP RAMP: INTEGRALLY COLORED DAVIS COLORS #160 "BRICK RED"; SMOOTH TEXTURE.		
10.	FINISH WITH 1/2" DEEP x 1/4" WIDE GROOVES AT 2' OC.		
11.	CONCRETE FLUSH WITH PAVEMENT.		
12.	CURB, BEYOND.		
13.	RAMP, BEYOND.		
14.	RETAINING CURB.		
15.	SUBGRADE: COMPACTED AS SPECIFIED.		
16.	PAVEMENT AS SPECIFIED.		
17.	CONCRETE TURNDOWN CURB.		
18.	4" THICK CONCRETE SIDEWALK.		
19.	SIDEWALK ELEVATIONS VARY - HOLD FLUSH WITH FINISHED FLOOR AT ENTRANCE WAYS. PLANTING AREAS MAY EXIST BETWEEN THE BUILDING AND THE BACK-OF-SIDEWALK (SEE SITE PLAN). EXPANSION JOINTS DO NOT APPLY TO SIDEWALK SECTION ADJACENT TO PLANTING AREAS.		
20.	1/2" EXPANSION JOINT MATERIAL.		
21.	STABILIZED AGGREGATE BASE COARSE, AS SPECIFIED.		
22.	STRUCTURAL FOUNDATION SYSTEM: SEE STRUCTURAL FOUNDATION PLAN.		
23.	CONCRETE CURB AND GUTTER.		
24.	SQUARE, STRAIGHT, STEEL ANCHOR BASE POLE, POLE & BRACKETS SHALL BE FACTORY FINISHED, PAINTED SEMI-GLOSS BLACK WRAP POLES FOR SHIPPING. PROVIDE 1 QT. MATCHING PAINT TO TOUCH ANY SCRATCHES ON POLES ON JOB. SEE LIGHT FIXTURE SCHEDULE FOR SPECIFICATIONS.		
25.	CONNECT GROUND WIRE TO REINFORCING BARS.		
26.	(3) #3 TIES AT 1/2" OC IN TOP 5".		
27.	#6 BARE COPPER GROUND WIRE.		
28.	CONDUIT AS INDICATED ON ELECTRICAL PLAN.		
29.	(6) #6 BARS VERTICAL.		
30.	8'-0" COPPER WELD GROUND ROD BY ELECTRICAL CONTRACTOR.		
31.	NON-SHRINK GROUT.		
32.	2" CHAMFER.		
33.	FINISHED GRADE.		
34.	#3 TIES @ 12" OC.		
35.	6" RETAINING CURB.		
36.	MONOLITHIC INTEGRALLY COLORED CONCRETE HANDICAP RAMP (4,000 PSI); PROVIDE ARCHITECT WITH SAMPLE COLOR FOR APPROVAL.		
37.	PROVIDE 1/2" DEEP BY 1/4" WIDE GROOVES @ 2" OC. EXTEND THE PULL WIDTH AND DEPTH OF THE RAMP.		
38.	6" STANDUP CURB OR CURB AND GUTTER AS APPLICABLE (SEE SITE PLAN).		
39.	PROVIDE ADA APPROVED TRUNCATED STRIP AT 2' WIDTH.		
40.	EXPANSION JOINT.		
41.	WIDTH VARIES (6" MINIMUM); SEE SITE PLAN.		
42.	PROVIDE A 5 SF LAND AT TOP OF RAMP FOR CHANGE IN DIRECTION.		
43.	WIDTH VARIES-SEE SITE PLAN (MINIMUM 5' WIDTH).		
44.	1/2" CONCRETE EXPANSION JOINT SEALER: NOMAFLEX; OR APPROVED EQUAL.		

REV	DATE	BY	REVISION
▲			
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MODULUS ARCHITECTS
100 SUN AVENUE N.E., Ste 305
ALBUQUERQUE, NEW MEXICO 87109
PHONE (505) 338-1499 FAX (505) 338-1498

STATE OF NEW MEXICO
STEPHEN A. DUNBAR
REGISTERED ARCHITECT
No. 4218
04 Mar 2021

PROJECT TITLE
KMART SITE DEVELOPMENT
2100 CABELLE BLVD NE
ALBUQUERQUE, NEW MEXICO 87110

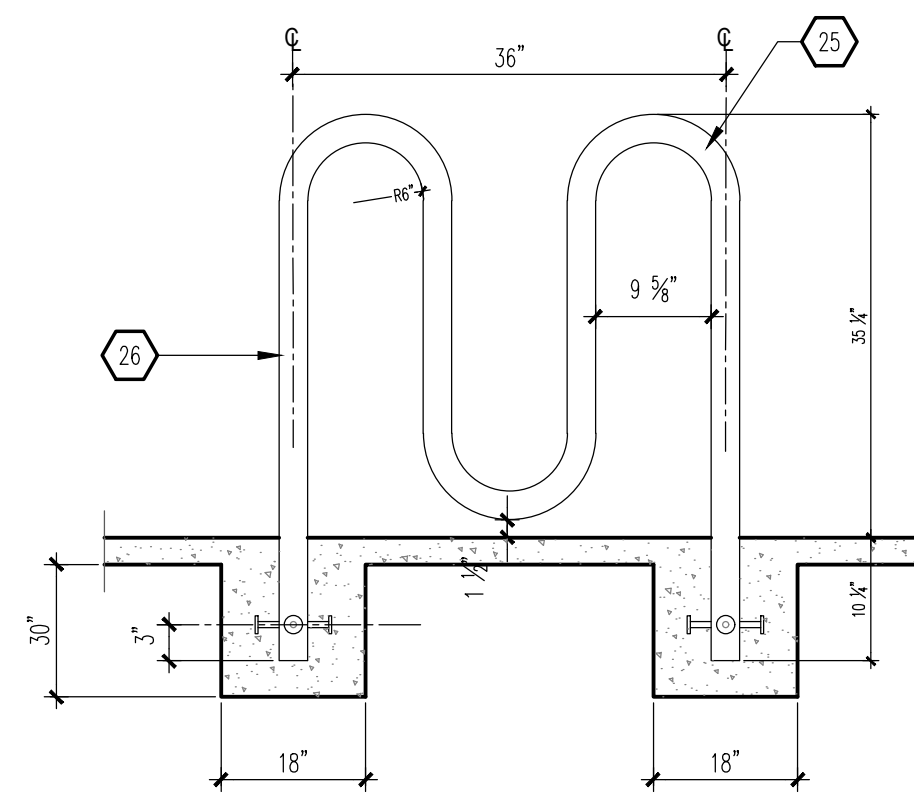
PROJECT MANAGER
Devlin Nguyen

JOB NO.
Site Dwp/Int

DRAWN BY
DYN

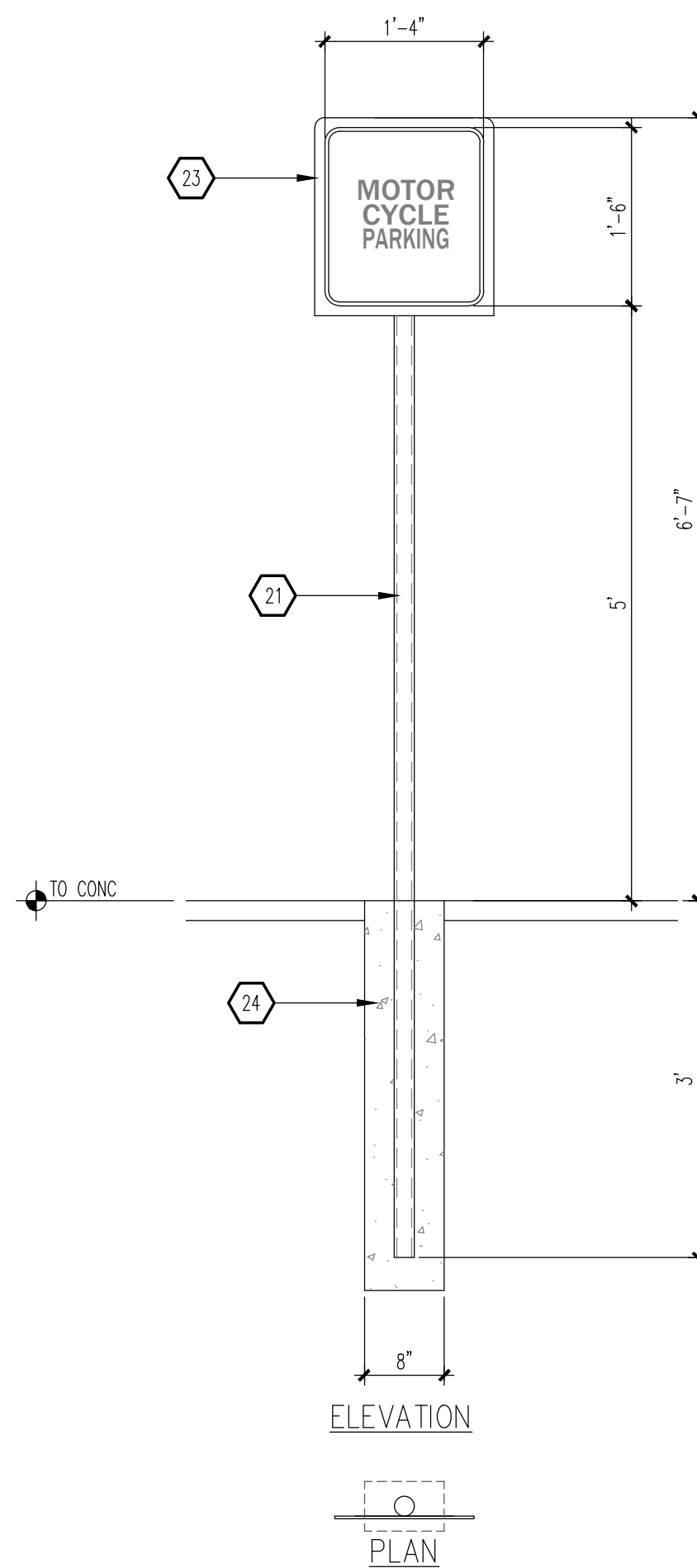
SHEET TITLE
SITE DETAILS

DATE	04 Mar 2021	SHEET	A1.1
SCALE	A6 NOTED		

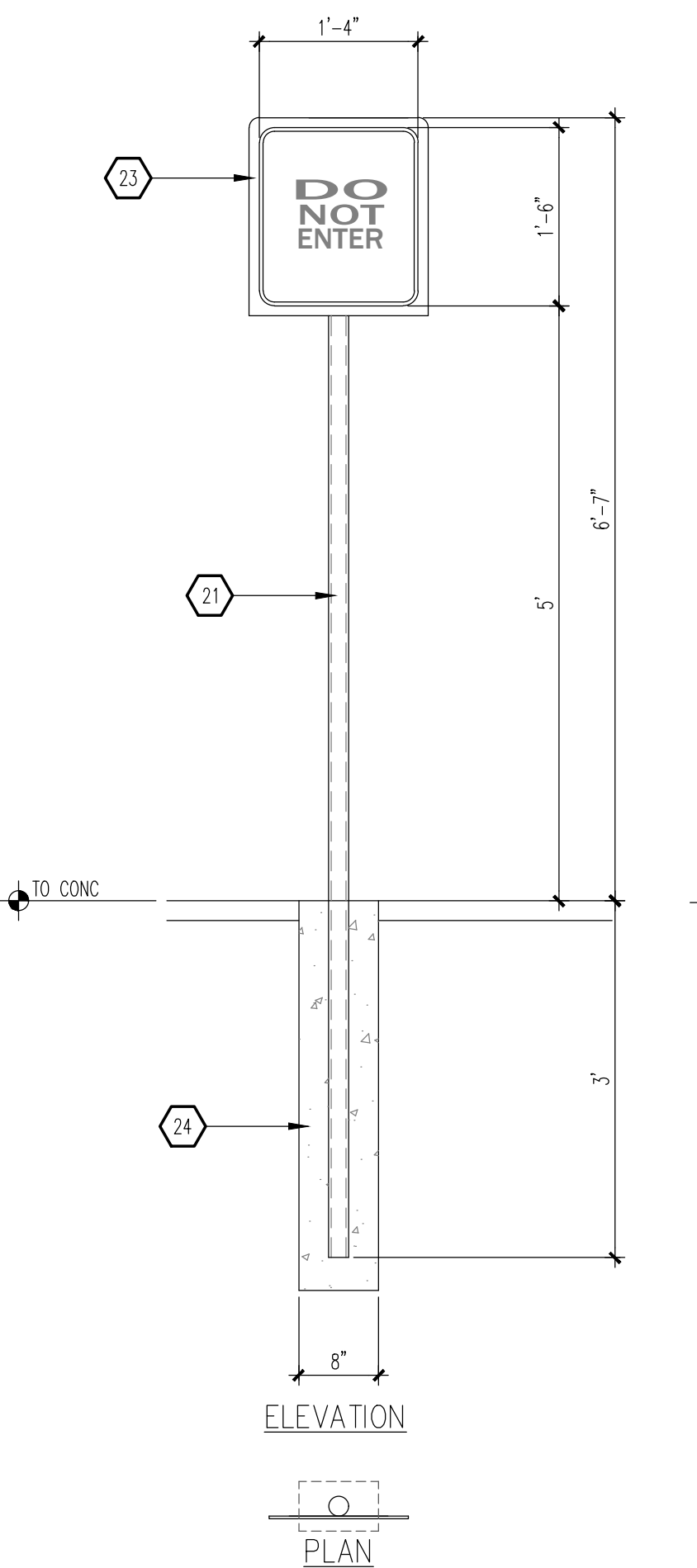


NOTE:
 BICYCLE RACK SHALL BE DESIGN ACCORDING TO THE FOLLOWING GUIDELINES:
 A. THE RACK SHALL BE MINIMUM 30" TALL AND 18" WIDE.
 B. THE BICYCLE FRAME SHALL BE SUPPORTED HORIZONTALLY AT 2 OR MORE PLACES.
 C. COMB/TOASTER RACKS ARE NOT ALLOWED.
 D. THE RACK SHALL BE DESIGNED TO SUPPORT THE BICYCLE IN AN UPRIGHT POSITION.
 E. THE RACK ALLOWS VARYING BICYCLE FRAME SIZES AND STYLES TO BE ATTACHED.
 F. THE USER IS NOT REQUIRED TO LIFT THE BICYCLE ONTO THE BICYCLE RACK.
 G. EACH BICYCLE PARKING SPACE IS ACCESSIBLE WITHOUT MOVING ANOTHER BICYCLE.

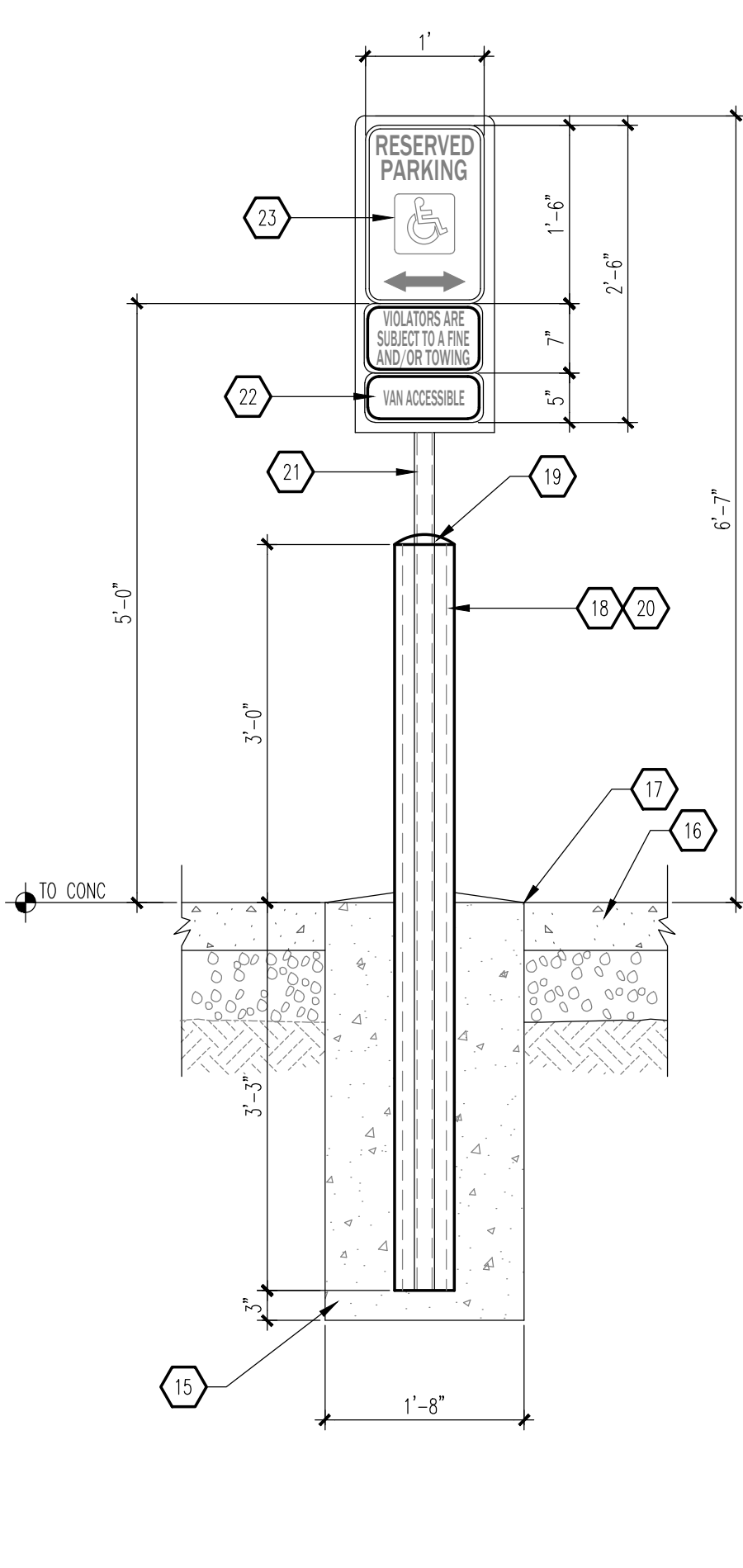
B1 BIKE RACK
 SCALE: 1/2" = 1'-0"



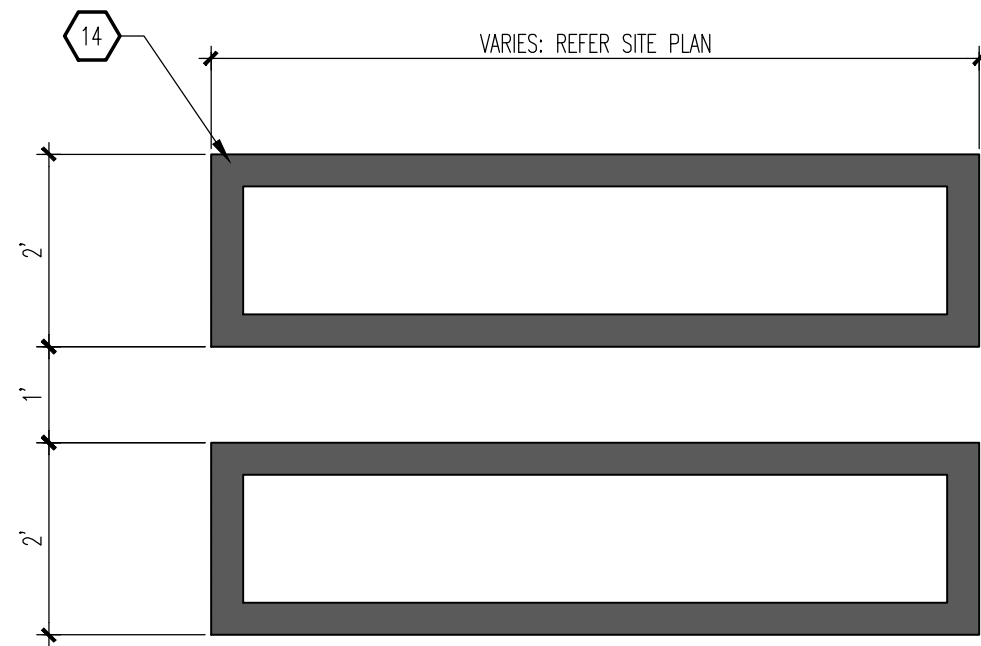
B2 MICS. SIGNAGE
 SCALE: 3/4" = 1'-0"
 NOTE:



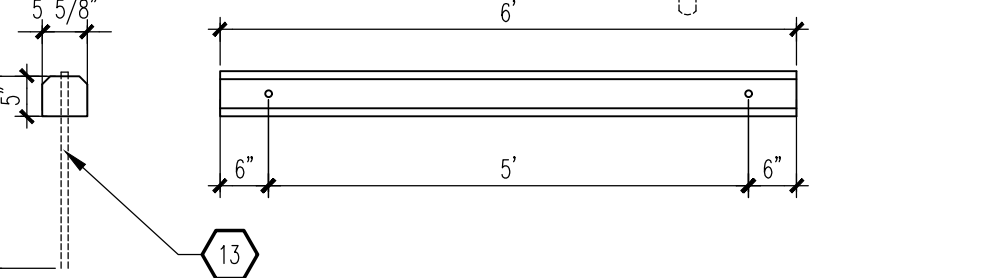
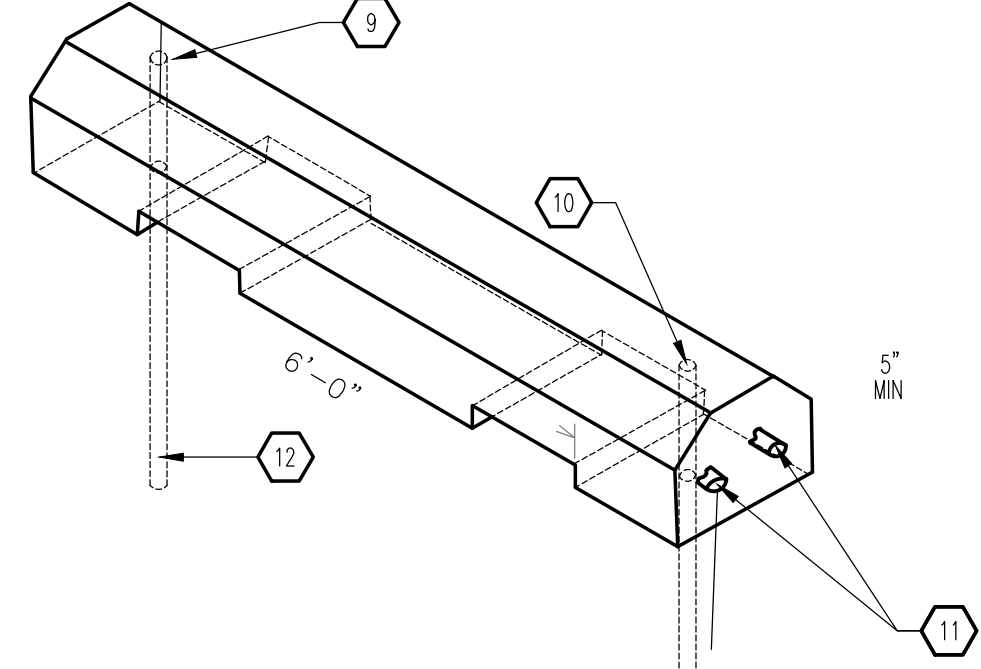
B3 MISC. SIGNAGE
 SCALE: 3/4" = 1'-0"



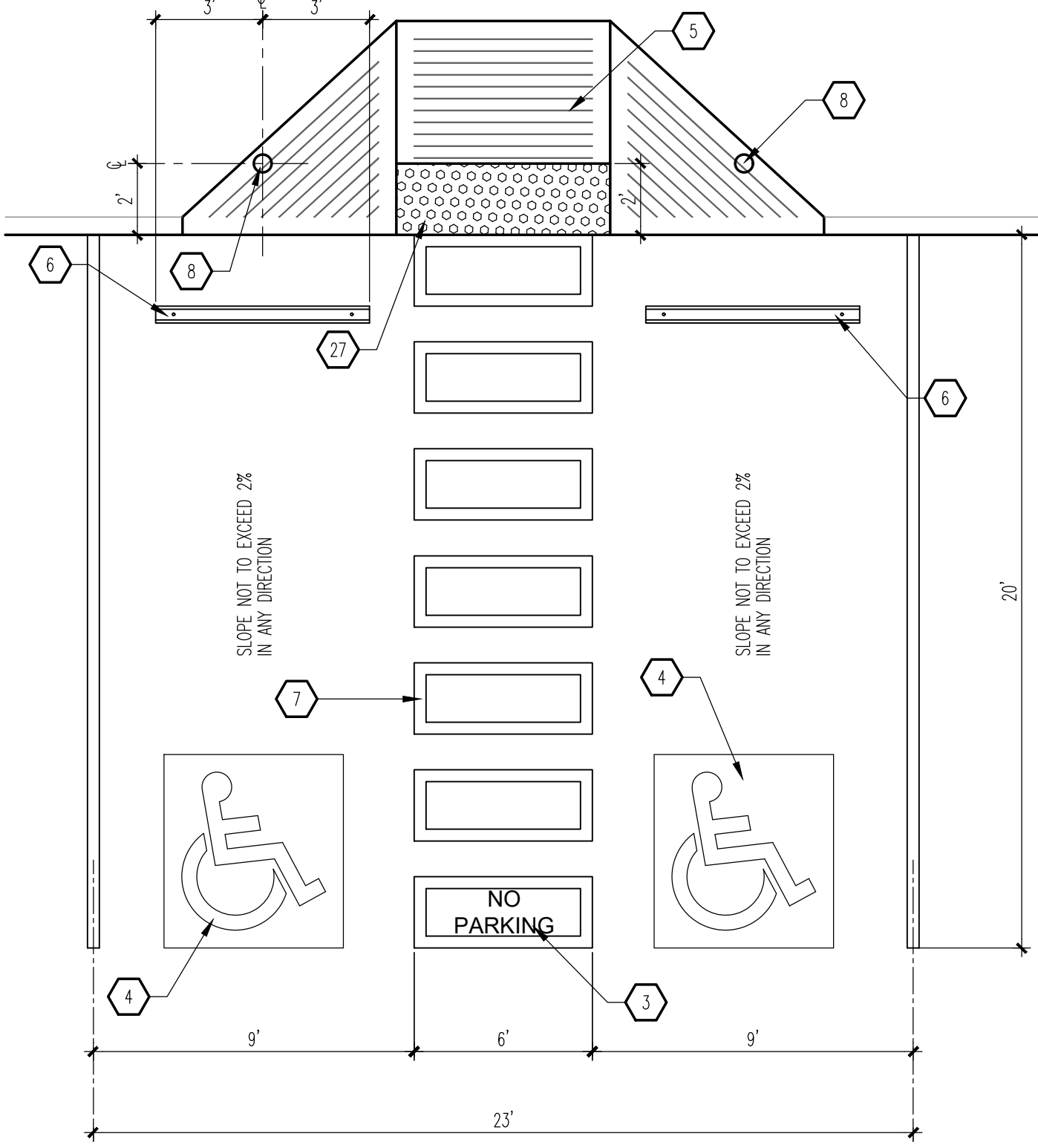
B4 MISC. SIGNAGE
 SCALE: 3/4" = 1'-0"
 NOTE:



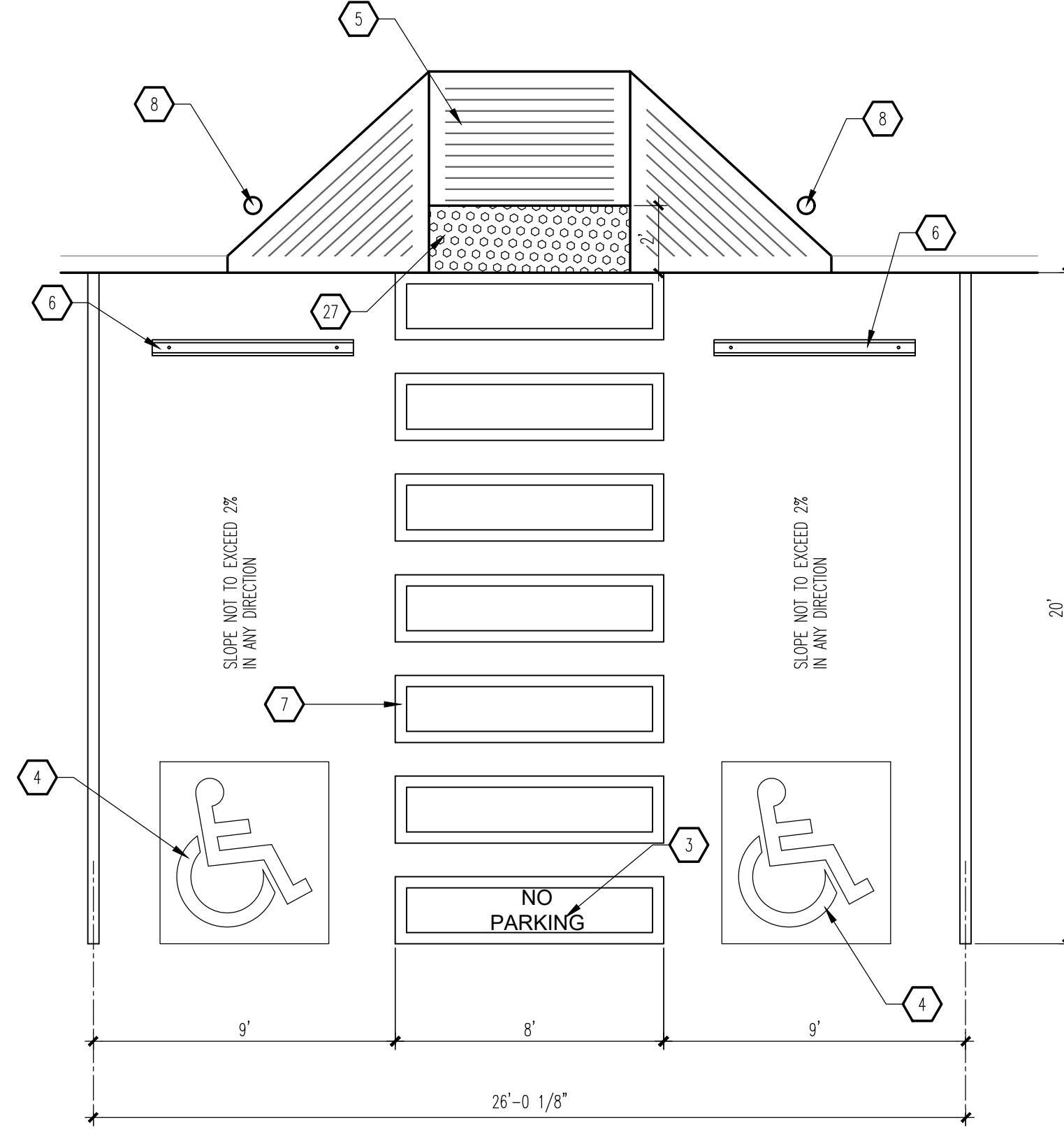
C5 WALKWAY PAVEMENT MARKING
 SCALE: 1/2" = 1'-0"



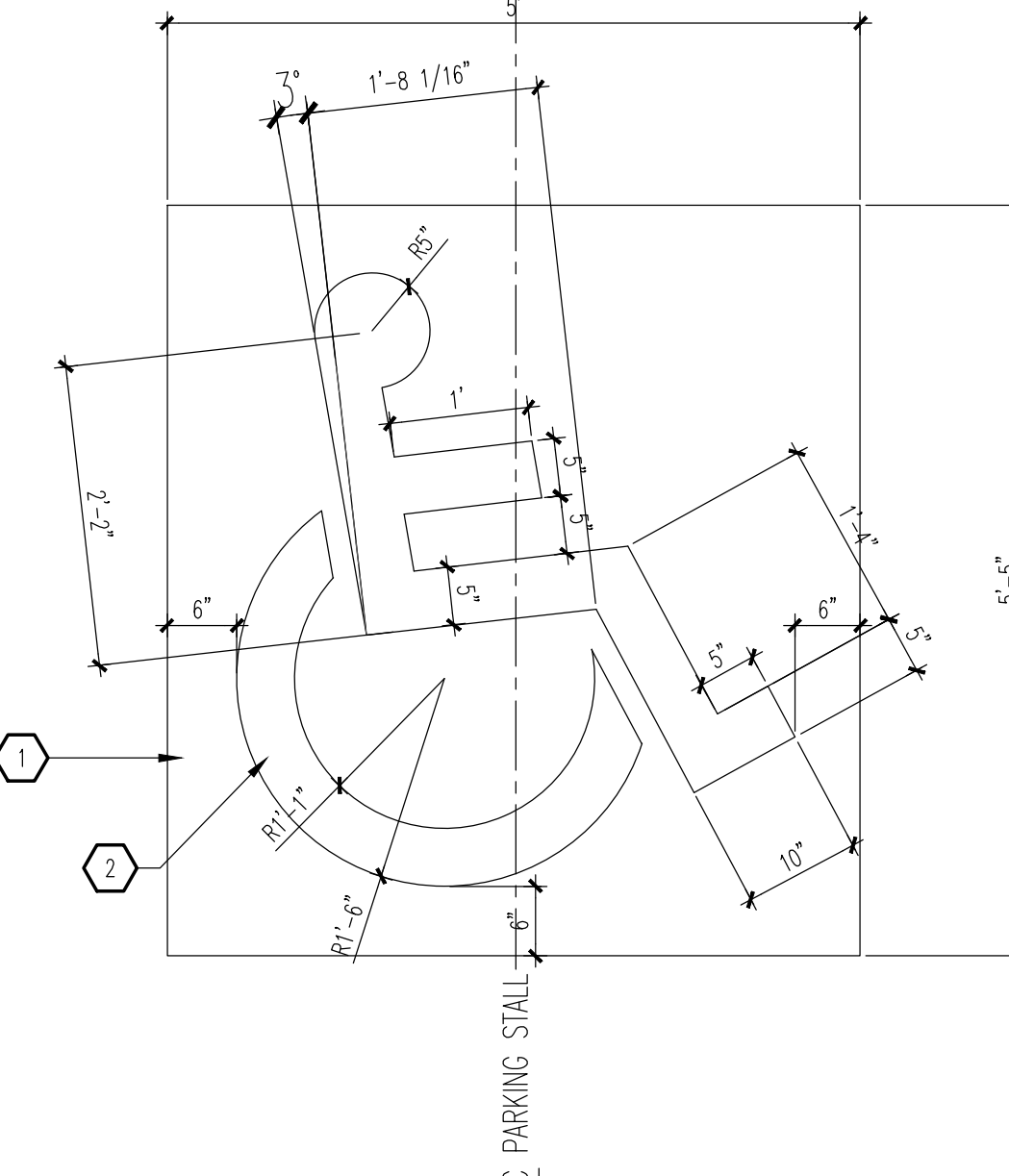
B5 WHEEL STOP
 SCALE: 3/4" = 1'-0"



A1 HC PARKING PLAN
 SCALE: 1/4" = 1'-0"



A3 HC PARKING PLAN (VAN ACCESSIBLE)
 SCALE: 1/4" = 1'-0"



A5 HANDICAP SIGNAGE
 SCALE: 3/4" = 1'-0"

GENERAL NOTES

A. "C" SERIES SHEETS APPLY TO THE ENTIRE SET OF DRAWINGS.

KEYED NOTES

1. PAINT BLUE.
2. PAINT WHITE.
3. 12" HIGH BY 4" WIDE "NO PARKING" MARKING - WHITE PAINT.
4. HANDICAP PAVEMENT MARKING: SEE A5/A1.2.
5. FLARED RAMP: SEE A3/A1.1.
6. WHEEL STOP: SEE B5/1.2.
7. WALKWAY PAVEMENT MARKING: SEE C5/A1.2.
8. HANDICAP POST SIGNAGE: SEE B4/A1.2.
9. TOP OF REINFORCING BAR FLUSH WITH TOP OF CONCRETE.
10. 3/8" DIAMETER HOLE.
11. (2) #4 BARS CONTINUOUS.
12. 3/4" REINFORCING BAR EMBEDDED 24" INTO SUBGRADE.
13. #5 REINFORCING BAR.
14. 4" WIDE WHITE PAINTED STRIPING.
15. 3,500 PSI CONCRETE FOUNDATION.
16. FINISHED SURFACE.
17. BITUMINOUS JOINT FILLER (CONCRETE PAVEMENT ONLY).
18. 6" DIAMETER STEEL PIPE FILLED WITH CONCRETE.
19. ROUND CONCRETE TOP.
20. PAINT SAFETY YELLOW.
21. 2" OD GALVANIZED STEEL SIGN POST.
22. "VAN ACCESSIBLE" SIGN WHERE INDICATED ON SITE PLAN.
23. 3/8" STEEL PLATE WITH CONTINUOUS WELD ALONG INTERSECTION OF PIPE POST AND PLATE.
24. CONCRETE FOUNDATION.
25. PRIME AND PAINT STEEL MEMBER FLAT BLACK.
26. 2 3/8" STANDARD DUTY PIPE CENTER SUPPORT.
27. ADA APPROVED TRUNCATED DOME STRIP.

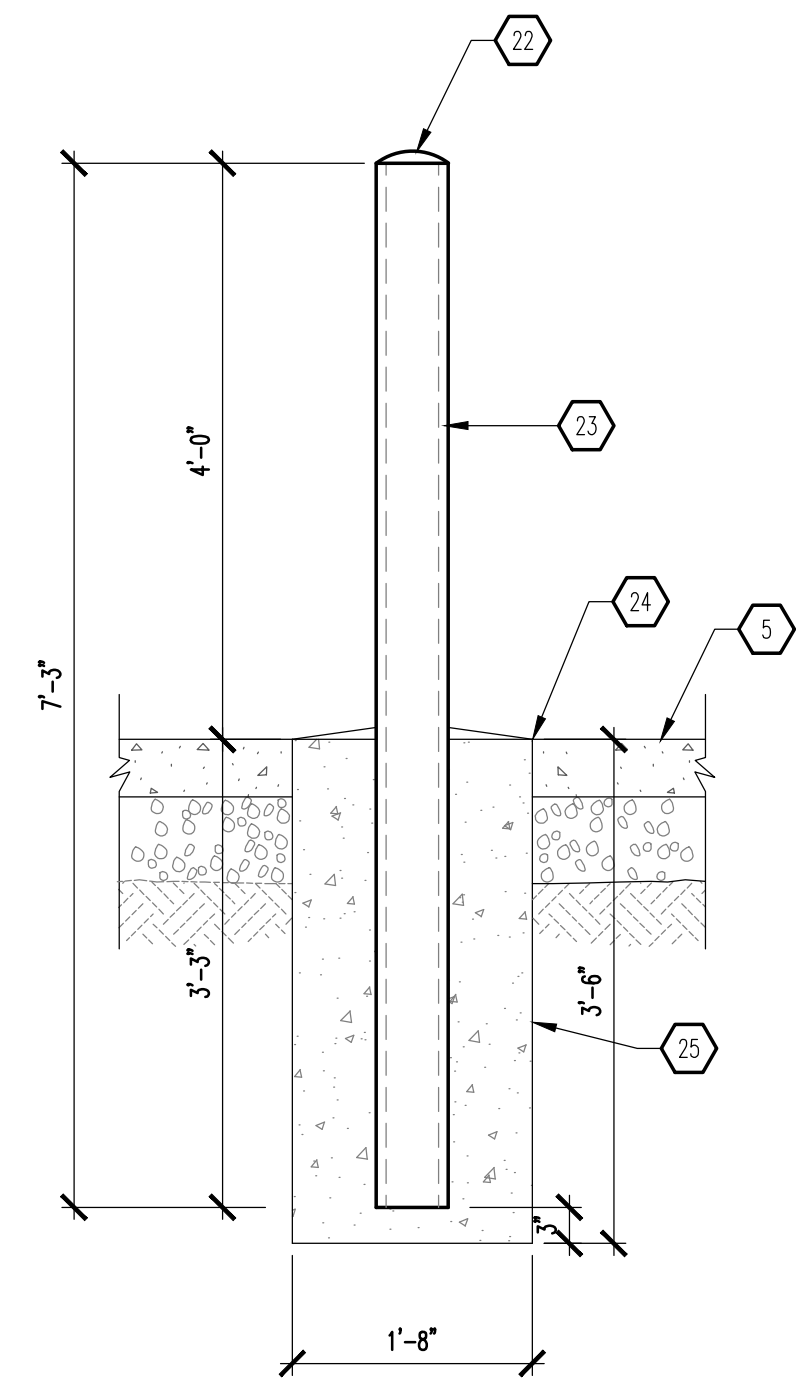
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MODULUS ARCHITECTS
 100 SUN AVENUE N.E., Ste 305
 ALBUQUERQUE, NEW MEXICO 87109
 PHONE (505) 338-1499 FAX (505) 338-1498

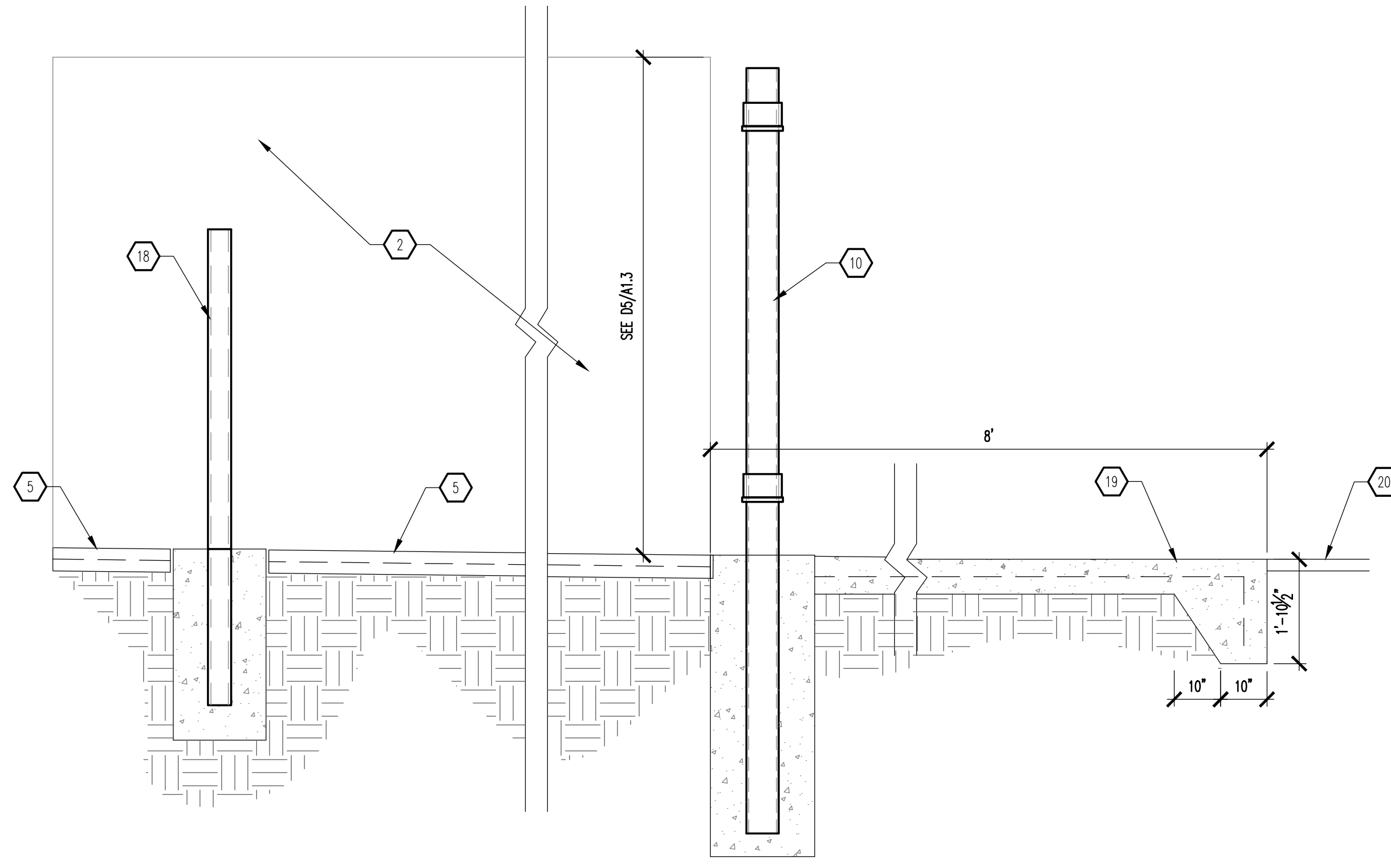
STATE OF NEW MEXICO
 REGISTERED ARCHITECT
 STEPHEN A. DUNBAR
 No. 4218
 04 Mar 2021

PROJECT TITLE: **KMART SITE DEVELOPMENT**
 2100 CABELLE BLVD NE
 ALBUQUERQUE, NEW MEXICO 87110
 PROJECT MANAGER: **Devin Nguyen**
 JOB NO.: **Site Dwp/Int**
 DRAWN BY: **DYN**
 SHEET TITLE: **SITE DETAILS**

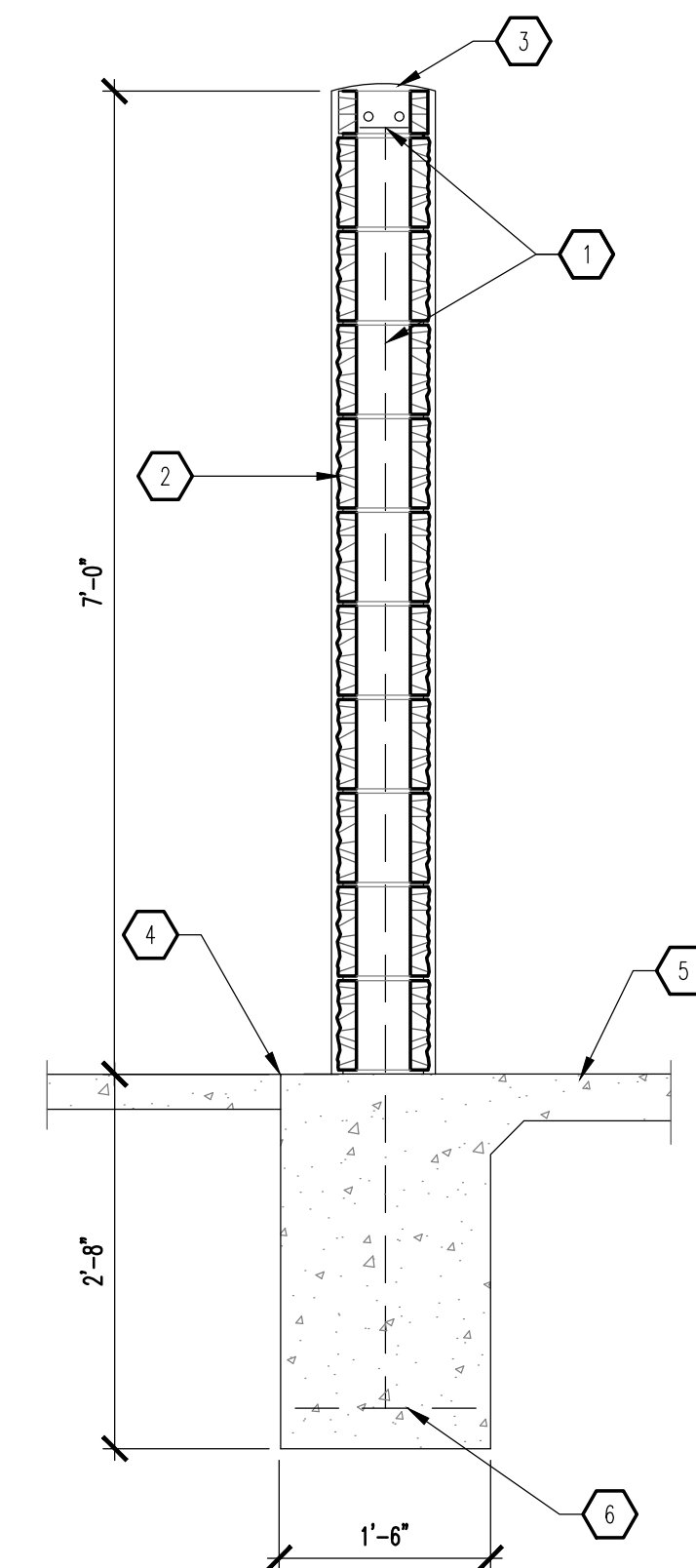
DATE: **04 Mar 2021**
 SCALE: **A6 NOTED**
 SHEET: **A1.2**



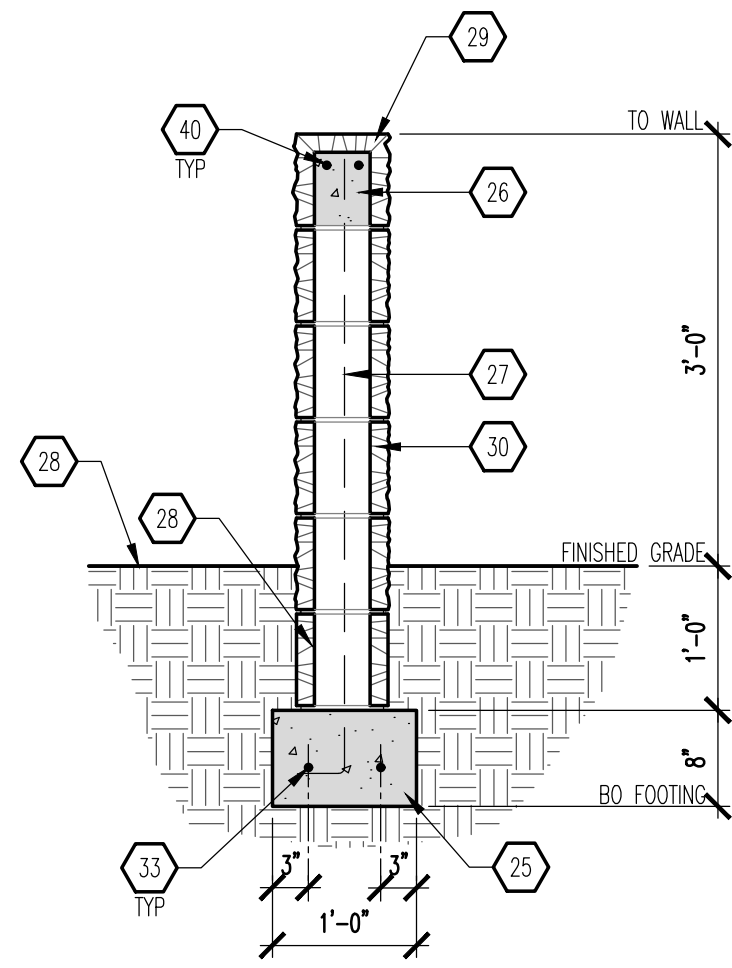
D1 BOLLARD - SECTION
SCALE: 3/4" = 1'-0"



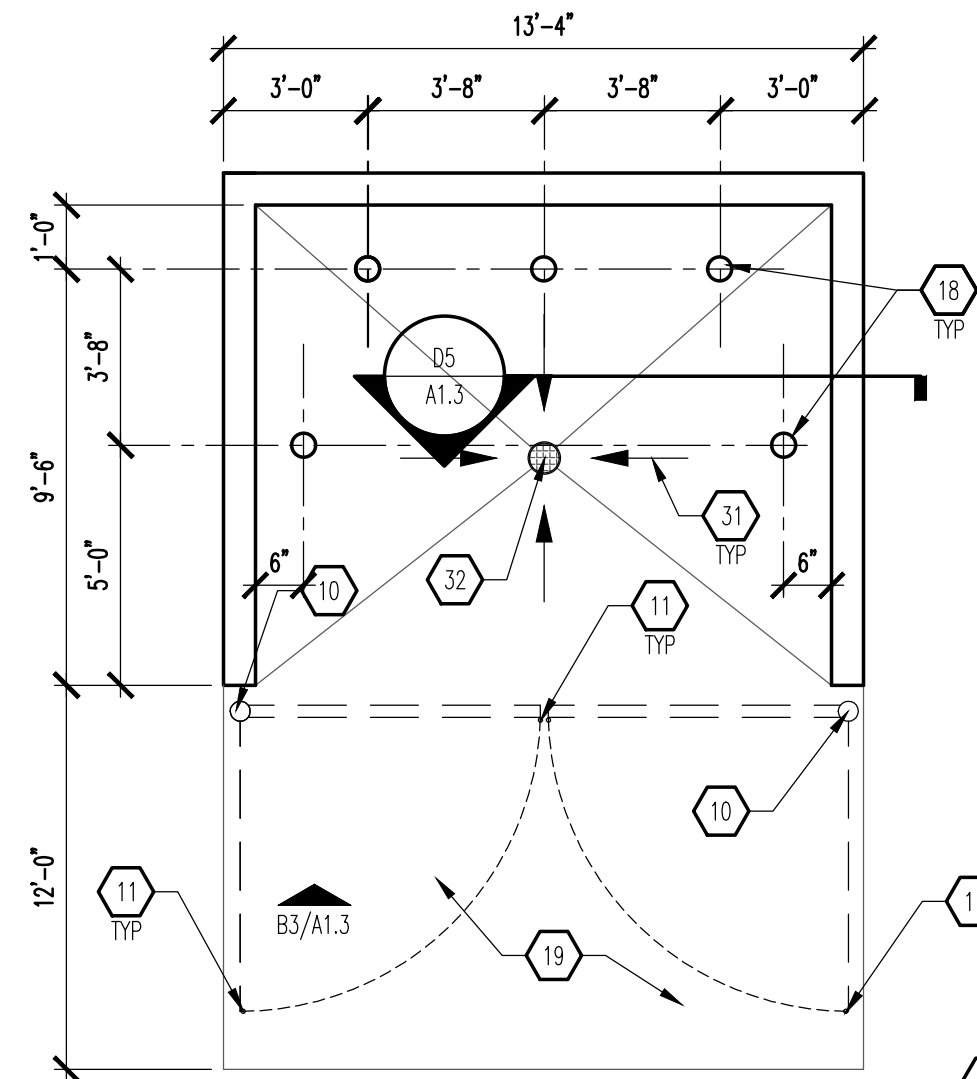
D2 REFUSE ENCLOSURE - SECTION
SCALE: 1/2" = 1'-0"



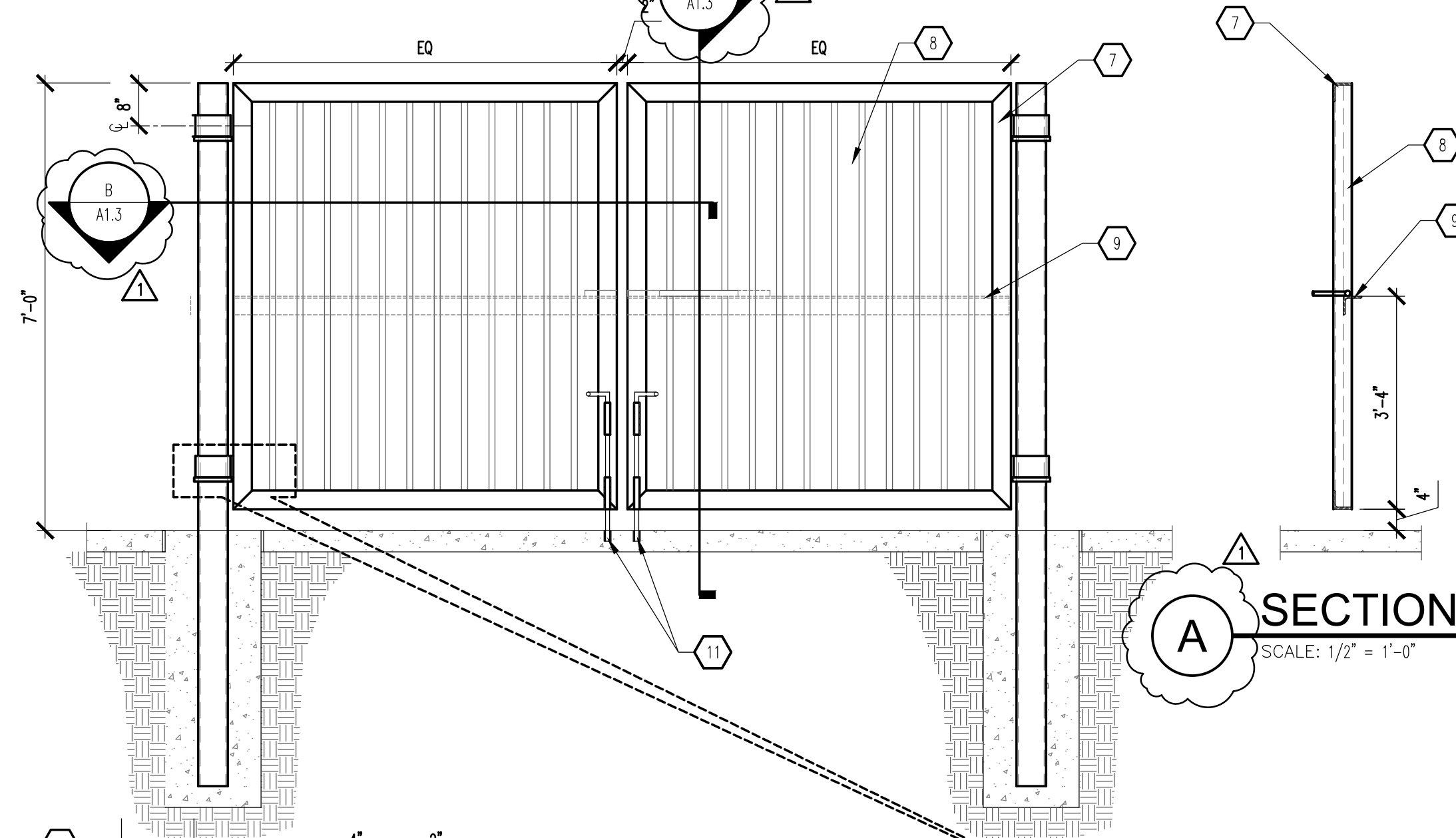
D5 WALL - SECTION
SCALE: 3/4" = 1'-0"



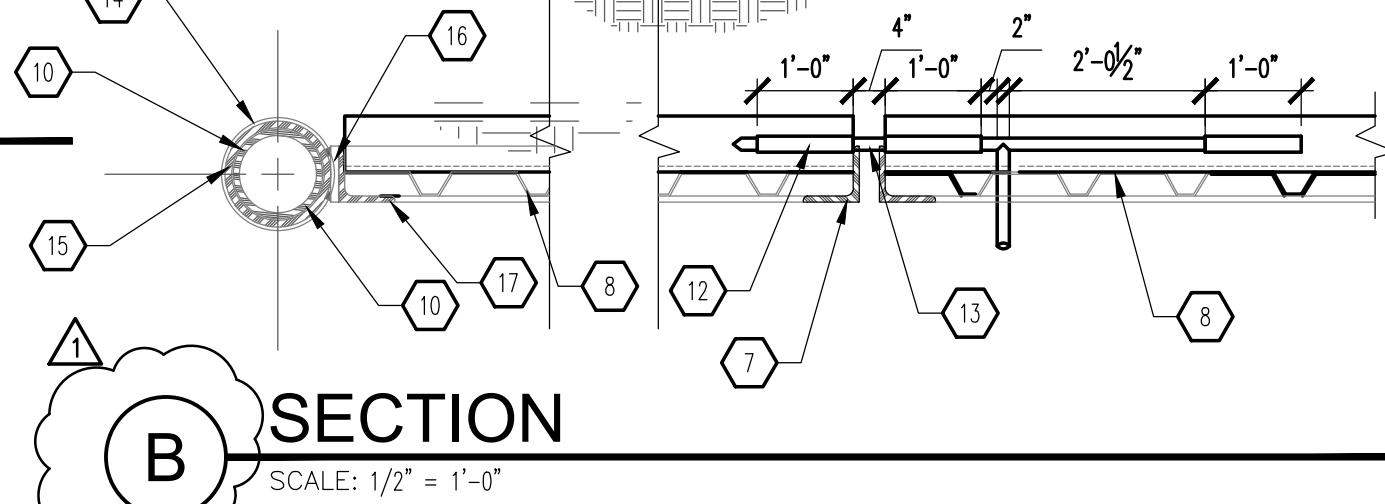
B1 SCREEN WALL
SCALE: 3/4" = 1'-0"



B2 REFUSE ENCLOSURE PLAN
SCALE: 1/4" = 1'-0"



B3 REFUSE ENCLOSURE ELEVATION
SCALE: 1/2" = 1'-0"



B SECTION
SCALE: 1/2" = 1'-0"

A SECTION
SCALE: 1/2" = 1'-0"

SLEEVE ELEVATION

GENERAL NOTES

- A. "C" SERIES SHEETS APPLY TO THE ENTIRE SET OF DRAWINGS.
- B. INDICATED DIMENSIONS ARE TO FACE OF FINISH, UNLESS OTHERWISE NOTED.

KEYED NOTES

1. (2) #5 BARS @ TOP KNOCK-OUT BLOCK BOND BEAM, CONTINUOUS; #5 BRAS @ 32" OC VERTICAL GROUT REINFORCED CELLS, DUBANWALL @ 16" OC HORIZONTAL.
2. 8" CMU WALL WITH 2-COAT SYNTHETIC STUCCO SYSTEM. COLOR TO MATCH BUILDING STUCCO COLOR; COORDINATE WITH ARCHITECT FOR FINAL STUCCO COLOR.
3. SLOPE STUCCO CAP.
4. 1/2" EXPANSION JOINT MATERIAL.
5. 6" SEALED CONCRETE SLAB AT 4,000 PSI, 3/4" AGGREGATE WITH 6x6 - 10x10 WWM.
6. (4) #4 BARS CONTINUOUS @ BOTTOM OF FOOTING #4 @ 16" OC ACROSS BOTTOM OF FOOTING.
7. 3 1/2" x 3 1/2" x 3/8" STEEL ANGLE-WELD CORNERS (TYPICAL OF 4 SIDES).
8. METAL DECKING, 18ga WITH SHEET METAL SCREWS @ 9" OC TOP, BOTTOM AND SIDES. PAINT FINISH, SHERWIN WILLIAMS #BW6143 BASKET BRIDGE.
9. 3 1/2" x 3 1/2" x 3/8" STEEL ANGLE-WELD FLUSH WITH METAL DECKING AT EACH END.
10. 5" OD HEAVY DUTY PIPE POST.
11. 3/4" DIAMETER CANE BOLT. PROVIDE CATCH TO HOLD IN POSITION WHEN REQUIRED TO ELIMINATE DRAG.
12. STEEL TUBING WELD TO ANGLE AT TOP TO FIT STEEL ROD.
13. 3/4" DIAMETER STEEL ROD TAPER END AND WELD 6" HANDLE.
14. 3/4" SQUARE STOCK WRAP AROUND POST AT EACH LOCATION.
15. 6" HEAVY DUTY PIPE SLEEVE 4" IN WIDTH.
16. 1/2" x 3 1/2" FLAT BAR STOCK OVER 6" SLEEVE.
17. 3 1/2" x 3 1/2" x 3/8" ANGLE OVER 1/2" FLAT BAR.
18. BOLLARD: SEE D1/A1.3.
19. 6" CONCRETE APRON AT 4,000 PSI 3/4" AGGREGATE WITH 6x6 - 10x10 WWM WITH TURNDOWN EDGE.
20. ASPHALT PAVING.
21. FINISHED GRADE.
22. ROUND CONCRETE TOP.
23. 6" STEEL PIPE FILLED WITH CONCRETE. PAINT FINISH - SAFETY YELLOW.
24. BITUMINOUS JOINT FILLER (AT CONCRETE PAVEMENT ONLY).
25. CONCRETE FOOTING.
26. GROUT SOLID.
27. #4 @ 48" OC.
28. 8" STANDARD GRAY BLOCK WALL.
29. 8" SPLIT-FACE BLOCK BEAM: CRECO BLOCK - DESERT BEIGE, OR APPROVED EQUAL.
30. 8" SPLIT-FACE BLOCK WALL: CRECO BLOCK - DESERT BEIGE, OR APPROVED EQUAL.
31. PROVIDE 1/4" PER FOOT SLOPE TO FLOOR DRAIN.
32. FLOOR DRAIN: SEE UTILITY PLAN ON SHEET C105.
33. CONTINUOUS #4.

REV	DATE	BY	REVISION
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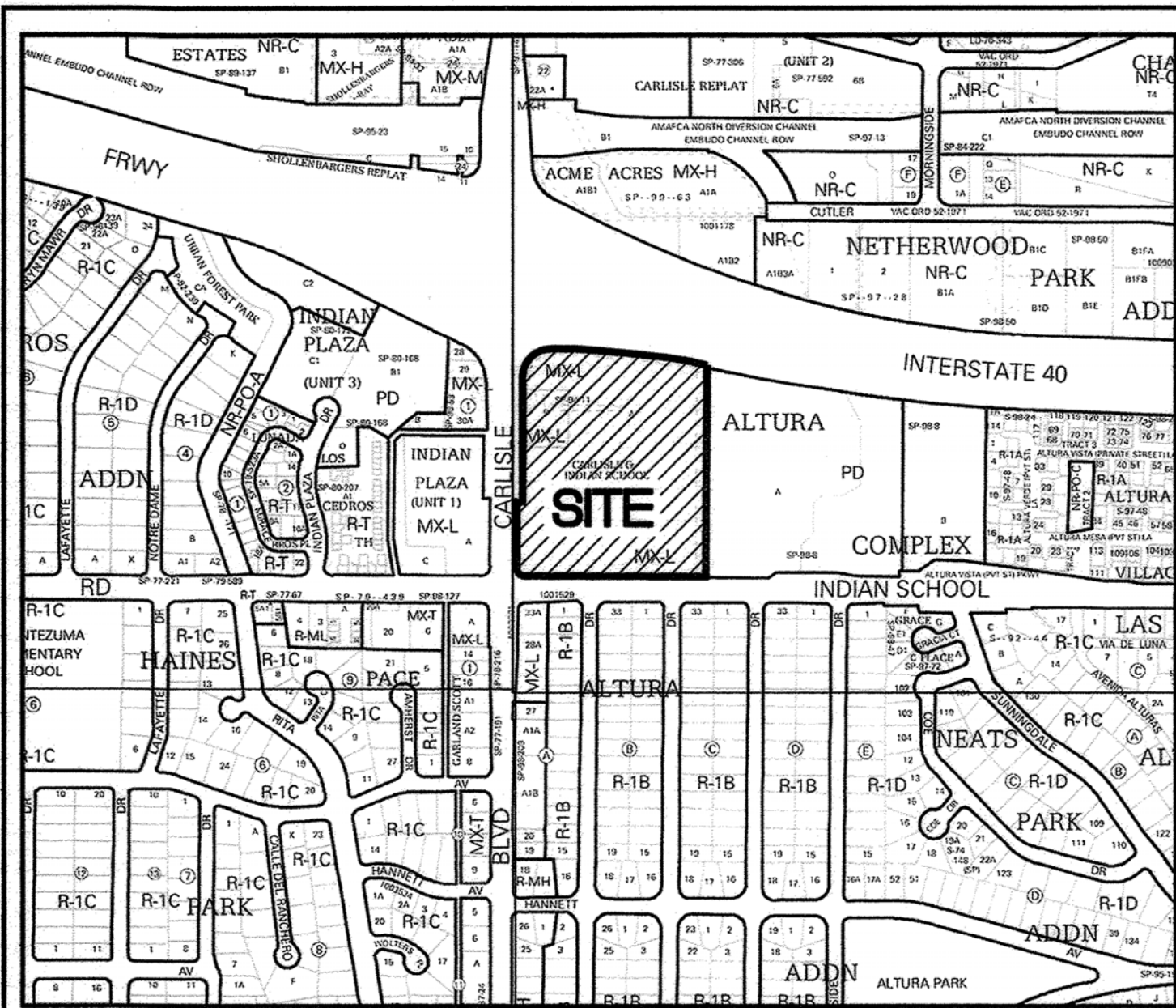
REV	DATE	BY	REVISION
1			
2			
3			
4			
5			

MODULUS ARCHITECTS
100 SUN AVENUE N.E., Ste 305
ALBUQUERQUE, NEW MEXICO 87109
PHONE (505) 338-1499 FAX (505) 338-1498

STATE OF NEW MEXICO
STEPHEN A. DUNBAR
REGISTERED ARCHITECT
No. 4218
04 Mar 2021

PROJECT TITLE: **KMART SITE DEVELOPMENT**
2100 CHARLES BLVD. NE
ALBUQUERQUE, NEW MEXICO 87110
JOB NO.: **Site Dvplmt**
PROJECT MANAGER: **Devin Nguyen**
DRAWN BY: **DYN**
SHEET TITLE: **SITE DETAILS**

DATE: **04 Mar 2021**
SCALE: **A6 NOTED**
sheet: **A1.3**



Vicinity Map - Zone Atlas H-17-Z

N.T.S.

Subdivision Data

GROSS ACREAGE.....10.7183 ACRES
 ZONE ATLAS PAGE NO.....H-17-Z
 NUMBER OF EXISTING TRACTS.....2
 NUMBER OF TRACTS CREATED.....2
 MILES OF FULL-WIDTH STREETS.....0.00 MILES
 MILES OF HALF-WIDTH STREETS.....0.00 MILES
 RIGHT-OF-WAY DEDICATION TO THE CITY OF ALBUQUERQUE.....0.1457 ACRES
 DATE OF SURVEY.....JANUARY 2020

DOC# 2020128551
 12/19/2020 10:17 AM Page: 1 of 4
 PLAT R \$25.00 B: 2020C P: 0125 Linda Stover, Bernalillo County

Free Consent & Dedication

THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S) THEREOF WHO HEREBY GRANT THE RIGHT TO CONSTRUCT, OPERATE, INSPECT, MAINTAIN FACILITIES THEREIN ALL PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICE FOR DISTRIBUTION LINES, CONDUITS AND PIPES, INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION, INSPECTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY CONSENT TO ALL OF THE FOREGOING AND DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY DEDICATE ADDITIONAL PUBLIC RIGHT OF WAY SHOWN HEREON TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE

CARLISLE ASSOCIATES LIMITED PARTNERSHIP
 BY: CARLISLE MANAGEMENT LIMITED PARTNERSHIP G.P.
 BY: CARLISLE ASSOCIATES CORPORATION, G.P.
 DAVID ROSEN, DIRECTOR

STATE OF } SS
 COUNTY OF }

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON NOVEMBER 18, 2020
 CARLISLE ASSOCIATES LIMITED PARTNERSHIP
 BY: CARLISLE MANAGEMENT LIMITED PARTNERSHIP
 BY: CARLISLE ASSOCIATES CORPORATION, G.P.
 DAVID ROSEN, DIRECTOR

By: Kathleen Markart
 NOTARY PUBLIC

KATHLEEN MARKART
 Notary Public, State of New York
 No. 01146327050
 Qualified in Suffolk County
 Certified in Nassau County
 Commission Expires June 28, 2023

MY COMMISSION EXPIRES June 28, 2023

11-18-2020

Indexing Information

Section 11, Township 10 North, Range 3 East, N.M.P.M.
 Subdivision: Carlisle and Indian School Subdivision
 Owner: Carlisle Associates Limited Partnership
 UPC #: 101705904004630123 (Tract A)
 101705901506330139 (Tract B)

Purpose of Plat

1. REPLAT AS SHOWN HEREON.
2. VACATE EASEMENTS AS SHOWN HEREON.
3. DEDICATE RIGHT-OF-WAY AS SHOWN HEREON.
4. GRANT EASEMENTS AS SHOWN HEREON.

Legal Description

A CERTAIN TRACT OF LAND DESIGNATED AS TRACT "A" OF "THE CARLISLE AND INDIAN SCHOOL SUBDIVISION", AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY ON MARCH 3, 1994, IN PLAT BOOK 94C, FOLIO 65, LESS AND EXCEPTING A PORTION OF TRACT A, AKA PARCELS 2-3-A AND 2-3, CONVEYED TO NM DEPARTMENT OF TRANSPORTATION (NMDOT), AS THE SAME IS SHOWN ON THE RIGHT-OF-WAY MAP, HAVING PROJECT NUMBER TPU-040-3(119)160, DATED NOVEMBER 13, 1997, AND DESCRIBED ON THE STIPULATED JUDGEMENT FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON APRIL 20, 2001, IN BOOK A18, PAGE 2159, AS DOCUMENT NO. 2001043708:

AND

A CERTAIN TRACT OF LAND DESIGNATED AS TRACT "B" OF "THE CARLISLE AND INDIAN SCHOOL SUBDIVISION", AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY ON MARCH 3, 1994, IN PLAT BOOK 94C, FOLIO 65, LESS AND EXCEPTING A PORTION OF TRACT B, AKA PARCEL 2-4, CONVEYED TO NM DEPARTMENT OF TRANSPORTATION (NMDOT), AS THE SAME IS SHOWN ON THE RIGHT-OF-WAY MAP, HAVING PROJECT NUMBER TPU-040-3(119)160, DATED NOVEMBER 13, 1997, AND DESCRIBED ON THE STIPULATED JUDGEMENT FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON JANUARY 11, 2001, IN BOOK A14, PAGE 2183, AS DOCUMENT NO. 2001003593;

BEING MORE PARTICULARLY DESCRIBED TOGETHER BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF THE HEREIN DESCRIBED TRACT, BEING A POINT ON THE NORTHERLY RIGHT-OF-WAY OF INDIAN SCHOOL ROAD NE, MARKED BY A 1/2" REBAR WITH CAP "LS 10855", WHENCE A TIE TO ACS MONUMENT "12-J16", BEARS S 58°39'09" W, A DISTANCE OF 868.12 FEET;

THENCE, COINCIDING WITH SAID NORTHERLY INDIAN SCHOOL ROAD NE RIGHT-OF-WAY, N 89°47'18" W, A DISTANCE OF 628.91 FEET TO A POINT OF CURVATURE, MARKED BY A 1/2" REBAR, DISTURBED;

THENCE, LEAVING SAID NORTHERLY INDIAN SCHOOL ROAD NE RIGHT-OF-WAY, 39.34 FEET ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 25.00 FEET, A DELTA OF 90°09'12", AND A CHORD BEARING OF N 44°42'42" W, A DISTANCE OF 35.40 FEET, BEING A POINT ON THE EASTERLY RIGHT-OF-WAY OF CARLISLE BOULEVARD NE, MARKED BY A CHISELED "X",

THENCE, COINCIDING WITH SAID EASTERLY CARLISLE BOULEVARD NE RIGHT-OF-WAY, THE FOLLOWING FIVE COURSES:

N 00°21'54" E, A DISTANCE OF 230.14 FEET TO AN ANGLE POINT MARKED BY A CHISELED "X";

S 89°37'03" E, A DISTANCE OF 20.00 FEET TO AN ANGLE POINT MARKED BY A PK NAIL WITH TAG "LS 14271";

N 00°22'32" E, A DISTANCE OF 49.19 FEET TO A POINT OF CURVATURE, MARKED BY A PK NAIL WITH TAG "LS 14271";

37.92 FEET ALONG A CURVE TO THE LEFT, BEING NON-TANGENT TO THE PREVIOUS COURSE HAVING A RADIUS OF 165.88 FEET, A DELTA OF 13°05'52", AND A CHORD BEARING N 09°23'36" E, A DISTANCE OF 37.84 FEET TO A POINT OF TANGENCY, MARKED BY A PK NAIL WITH TAG "LS 14271";

N 02°50'41" E, A DISTANCE OF 371.59 FEET TO A POINT OF CURVATURE, MARKED BY A PK NAIL WITH TAG "LS 14271";

LEAVING SAID EASTERLY CARLISLE BOULEVARD NE RIGHT-OF-WAY, 87.53 FEET ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 53.77 FEET, A DELTA OF 93°16'01", AND A CHORD BEARING N 49°28'41" E, A DISTANCE OF 78.18 FEET TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY OF INTERSTATE 40, MARKED BY A PK NAIL WITH SHINER;

THENCE, COINCIDING WITH SAID SOUTHERLY INTERSTATE 40 RIGHT-OF-WAY, THE FOLLOWING TWO COURSES:

S 83°53'19" E, A DISTANCE OF 484.51 FEET TO AN ANGLE POINT, MARKED BY A PK NAIL WITH TAG "LS 14271";

S 89°14'36" E, A DISTANCE OF 71.42 FEET TO THE NORTHEAST CORNER OF THE HEREIN DESCRIBED TRACT, MARKED BY A CHISELED "X";

THENCE, LEAVING SAID SOUTHERLY INTERSTATE 40 RIGHT-OF-WAY, S 00°24'59" W, A DISTANCE OF 713.42 FEET TO THE SOUTHEAST CORNER OF SAID TRACT "A", TO THE POINT OF BEGINNING, CONTAINING 10.7183 ACRES (466,889 SQ. FT.), MORE OR LESS.

Treasurer's Certificate

THIS IS TO CERTIFY THAT THE TAXES ARE CURRENT AND

PAID ON UPC#

101705904004630123

101705901506330139

PROPERTY OWNER OF RECORD

Indian School Subdivision

BERNALILLO COUNTY TREASURER'S OFFICE

Jovonne Gallagos

Plat for

Tracts A-1 and B-1

Carlisle & Indian School Subdivision

less than a portion conveyed to NMDOT

Being Comprised of

Tract A and B

Carlisle & Indian School Subdivision

City of Albuquerque

Bernalillo County, New Mexico

February 2020

Project Number: PR-2019-002677

Application Number: SD-2020-00032

Plat Approvals:

Rydt 2/12/2020
 PNM Electric Services
Don Durales 2/12/2020
 Qwest Corp. d/b/a CenturyLink QC
[Signature] 2/12/2020
 New Mexico Gas Company
[Signature] 2/12/2020

City Approvals:

Loren N. Reinbocker P.S. 2/4/2020
 City Surveyor
[Signature] 2-5-20
 Traffic Engineer
[Signature] Dec 16, 2020
 ABCWA
[Signature] 2.5.20
 Code Enforcement
[Signature] 02-05-2020
 Parks and Recreation Department
[Signature] 4/14/2020
 AMAFCA
[Signature] 2-5-2020
 City Engineer
[Signature] Dec 16, 2020
 DRB Chairperson, Planning Department
 N/A

Surveyor's Certificate

I, WILL PLOTNER JR., A REGISTERED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THIS PLAT AND DESCRIPTION WERE PREPARED BY ME OR UNDER MY SUPERVISION, SHOWS ALL EASEMENTS AS SHOWN ON THE PLAT OF RECORD OR MADE KNOWN TO ME BY THE OWNERS AND/OR PROPRIETORS OF THE SUBDIVISION SHOWN HEREON, THE UTILITY COMPANIES OR OTHER INTERESTED PARTIES AND MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE, AND FURTHER MEETS THE MINIMUM STANDARDS FOR LAND SURVEYING IN THE STATE OF NEW MEXICO AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Will Plotner 2/4/2020
 Will Plotner Jr. Date
 N.M.R.P.S. No. 14271



CSI-CARTESIAN SURVEYS INC.

P.O. BOX 44414 RIO RANCHO, N.M. 87174
 Phone (505) 896-3050 Fax (505) 891-0244
 wplotnerjr@gmail.com

2020 C-125

(1)

The easements shown as portions to remain without the dot hatch are for reference only

DOCH 2020128551
12/19/2020 10:17 AM Page: 2 of 4
PLAT R-525 08 B 202005 P. 0125 Linda Stover, Bernalillo County

ACS Monument "9_H17"
NAD 1983 CENTRAL ZONE
X=1537088.971*
Y=1495173.375*
Z=5180.854* (NAVD 1988)
G-G=0.999668300
Mapping Angle=-0°11'55.34"
*US SURVEY FEET

Plat for
Tracts A-1 and B-1
Carlisle & Indian School Subdivision
less than a portion conveyed to NMDOT
Being Comprised of
Tract A and B
Carlisle & Indian School Subdivision
City of Albuquerque
Bernalillo County, New Mexico
February 2020

Easement Notes

- 1 EXISTING 7' PNM EASEMENT (12/29/1969, BK. MISC. 159, PG. 619) AND AS SHOWN ON PLAT (3/3/1994, 94C-65)
- 2 EXISTING 5' X 58.5' P.U.E. (6/6/1966, D-805, FOLIO 492-493) AND AS SHOWN ON PLAT (3/3/1994, 94C-65)
- 3 WEST 1/2 OF VACATED SOLANO AVENUE NE RETAINED AS 30' P.U.E. PER VACATION ORDINANCE #2742 DATED 10/12/1965 AND AS SHOWN ON PLAT (3/3/1994, 94C-65)
- 4 EXISTING 7' X 500' P.U.E. (6/6/1966, BK. D805, PG. 492-493) AND AS SHOWN ON PLAT (3/3/1994, 94C-65)
- 5 EXISTING 7' UNDERGROUND PNM EASEMENT (3/3/1994, 94C-65)
- 6 EXISTING 20' UTILITY EASEMENT (3/3/1994, 94C-65) VACATED BY THE FILING OF THIS PLAT SHOWN HEREON AS [Hatched Box]
- 7 EXISTING PERMANENT MUTUAL NON-EXCLUSIVE RECIPROCAL INGRESS, EGRESS AND CROSS-PARKING EASEMENT ACROSS TRACTS A AND B FOR THE USE OF PARKING AREAS, DRIVEWAYS, COMMON UTILITIES AND OTHER COMMON AREAS PER PARKING AGREEMENT (3/16/1971, BK. MISC. 208, PG. 117), RE-RECORDED (12/21/1971, BK. MISC. 241, PG. 404) AND AGREEMENT AND DECLARATION OF EASEMENT AND COVENANTS (8/23/2000, BK. A9, PG. 2693), BLANKET IN NATURE
- 8 EXISTING 20' PERPETUAL P.U.E. AND RIGHT-OF-WAY EASEMENT (11/8/1965, BK. D-790, PG. 7-9) AND AS SHOWN ON PLAT (3/3/1994, 94C-65)
- 9 EXISTING 20' PERMANENT PUBLIC WATERLINE EASEMENT (8/30/2001, BK. A24, PG. 647, DOC. NO. 2001102359) PORTIONS TO BE VACATED BY PLATTING ACTION SHOWN HEREON AS [Hatched Box]
- 10 EAST 1/2 OF VACATED SOLANO AVENUE NE RETAINED AS 30' P.U.E. PER VACATION ORDINANCE #2742 DATED 10/12/1965
- 11 EXISTING 7' PRIVATE PNM AND US WEST COMMUNICATIONS EASEMENT FOR TRACT A, ALTURA COMPLEX (3/24/1980, BK. 761, PAGE 543, DOC. NO. 8017867)
- 12 EXISTING 10' P.U.E. (12/30/1997, 97C-368)
- 13 EXISTING 7' P.U.E. (3/23/1972, BK. MISC. 253, PG. 556-558) AND AS SHOWN ON PLAT (12/30/1997, 97C-368)
- 14 INTENTIONALLY OMITTED
- 15 PUBLIC WATERLINE EASEMENT GRANTED TO ABCWUA WITH THE FILING OF THIS PLAT SHOWN HEREON AS [Hatched Box]
- 16 20' PUBLIC SEWER EASEMENT GRANTED TO AND MAINTAINED BY ABCWUA WITH THE FILING OF THIS PLAT
- 17 BLANKET ACCESS EASEMENT FOR TRASH PICKUP BENEFITING THE OWNERS OF TRACT A AND TO BE MAINTAINED BY THE OWNERS OF TRACT A-1 GRANTED WITH THE FILING OF THIS PLAT

Portion of Tract "B" Conveyed to NMDOT Per ROW Map Project No. TPU-040-3(119)160 AKA Parcel 2-4 (11/13/1997) And Stipulated Judgement (1/11/2001, Bk. A14, Pg. 2183, Doc. No. 2001003593)

Dedicated to the City of Albuquerque in fee simple title by this plat 339 Sq. Ft. 0.0078 Acres

Dedicated to the City of Albuquerque in fee simple title by this plat 97 Sq. Ft. 0.0022 Acres

Portion of Tract "A" Conveyed to NMDOT Per ROW Map Project No. TPU-040-3(119)160 AKA Parcel 2-3 (11/13/1997) and Stipulated Judgement (4/20/2001, Bk. A18, Pg. 2159, Doc. No. 2001043708)

Dedicated to the City of Albuquerque in fee simple title by this plat 5,910 Sq. Ft. 0.1357 Acres

Tract A-1
431,923 Sq. Ft.
9.9156 Acres

Tract B-1
28,620 Sq. Ft.
0.6570 Acres

CSI-CARTESIAN SURVEYS INC.

P.O. BOX 44414 RIO RANCHO, N.M. 87174
Phone (505) 896-3050 Fax (505) 891-0244
wplotnerjr@gmail.com

ACS Monument "12-J16"
NAD 1983 CENTRAL ZONE
X=1534440.644*
Y=1492190.324*
Z=5160.901* (NAVD 1988)
G-G=0.999669892
Mapping Angle=-0°12'13.45"
*US SURVEY FEET

This sheet shows easements being vacated shown hereon as [Hatched Box]

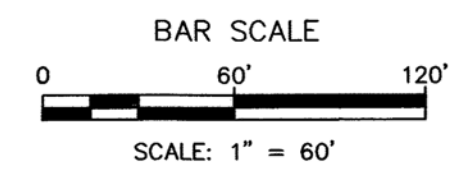
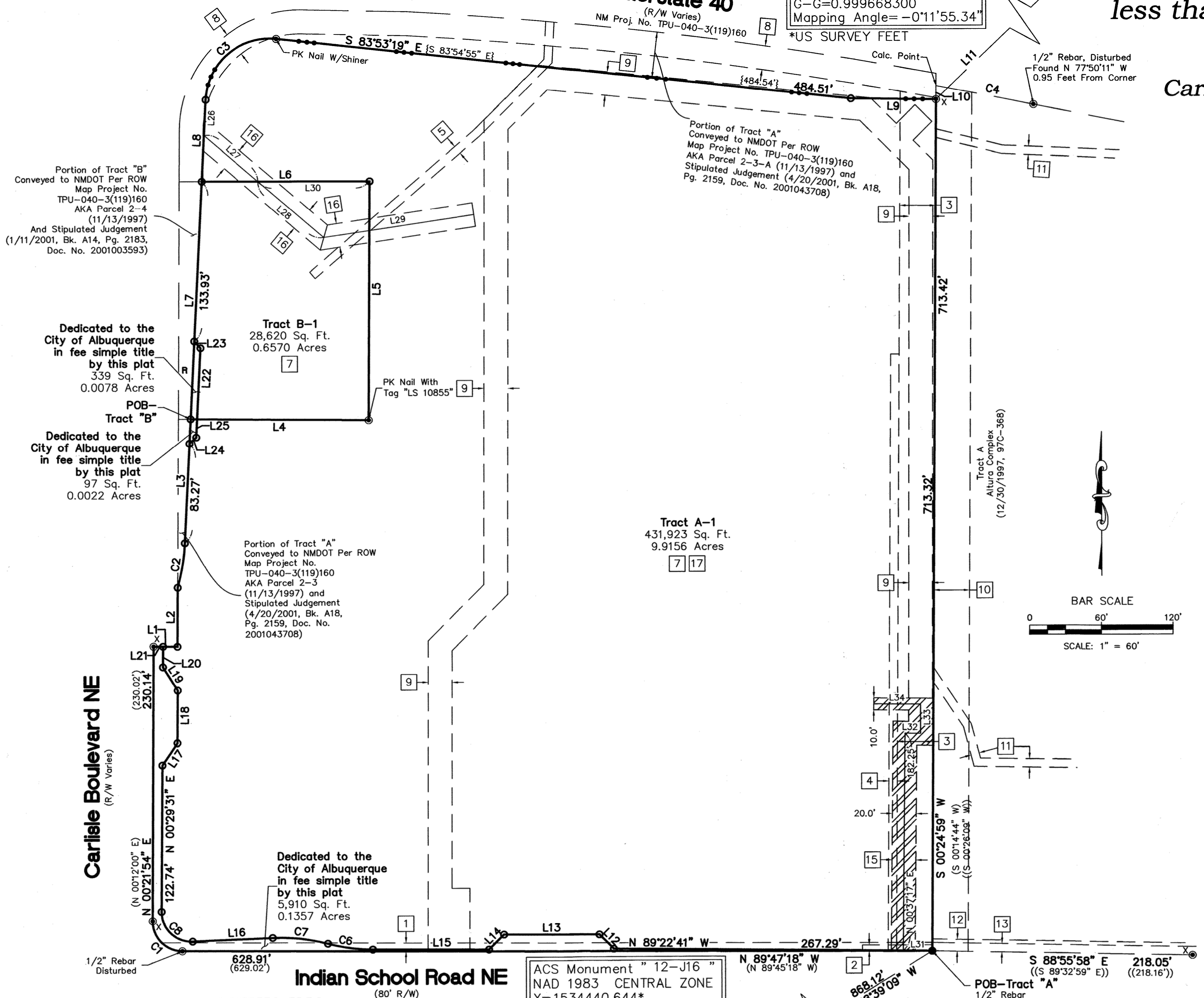
DOC# 2020128551
 12/19/2020 10:17 AM Page: 3 of 4
 PLAT R:\$25.00 B: 2020C P: 8125 Linda Stover, Bernalillo County

ACS Monument "9_H17"
 NAD 1983 CENTRAL ZONE
 X=1537088.971*
 Y=1495173.375*
 Z=5180.854* (NAVD 1988)
 G-G=0.999668300
 Mapping Angle=-0°11'55.34"
 *US SURVEY FEET

Plat for
Tracts A-1 and B-1
Carlisle & Indian School Subdivision
 less than a portion conveyed to NMDOT
 Being Comprised of
Tract A and B
Carlisle & Indian School Subdivision
 City of Albuquerque
 Bernalillo County, New Mexico
 February 2020

Easement Notes

- 1 EXISTING 7' PNM EASEMENT (12/29/1969, BK. MISC. 159, PG. 619) AND AS SHOWN ON PLAT (3/3/1994, 94C-65)
- 2 EXISTING 5' X 58.5' P.U.E. (6/6/1966, D-805, FOLIO 492-493) AND AS SHOWN ON PLAT (3/3/1994, 94C-65)
- 3 WEST 1/2 OF VACATED SOLANO AVENUE NE RETAINED AS 30' P.U.E. PER VACATION ORDINANCE #2742 DATED 10/12/1965 AND AS SHOWN ON PLAT (3/3/1994, 94C-65)
- 4 EXISTING 7' X 500' P.U.E. (6/6/1966, BK. D805, PG. 492-493) AND AS SHOWN ON PLAT (3/3/1994, 94C-65)
- 5 EXISTING 7' UNDERGROUND PNM EASEMENT (3/3/1994, 94C-65)
- 6 EXISTING 20' UTILITY EASEMENT (3/3/1994, 94C-65) VACATED BY THE FILING OF THIS PLAT SHOWN HEREON AS [Hatched]
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 Mapping Angle=-0°12'13.45"
 *US SURVEY FEET

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 wplotnerjr@gmail.com

This sheet shows remaining easements and easements granted

2020 C-125

(3)

Documents

- TITLE SEARCH REPORT PROVIDED BY STEWART TITLE, HAVING FILE NO. 01147-54258 AND AN EFFECTIVE DATE OF MAY 17, 2019.
- PLAT OF RECORD FOR TRACTS "A" AND "B", CARLISLE AND INDIAN SCHOOL SUBDIVISION, FILED IN THE BERNALILLO COUNTY CLERK'S OFFICE ON MARCH 3, 1994, IN BOOK 94C, PAGE 65.
- NEW MEXICO STATE HIGHWAY AND TRANSPORTATION DEPARTMENT RIGHT OF WAY MAP, NEW MEXICO PROJECT NO. TPU-040-3(119)160, WITH FINAL DATE OF NOVEMBER 13, 1997.
- WARRANTY DEED FOR SUBJECT TRACTS, FILED IN THE BERNALILLO COUNTY CLERK'S OFFICE ON NOVEMBER 2, 1992, IN BOOK BCR 92-26, PAGE 415, AS DOC. NO. 19992110057.
- WARRANTY DEED FOR TRACT B, FILED IN THE BERNALILLO COUNTY CLERK'S OFFICE ON APRIL 4, 2001, IN BOOK A17, PAGE 6150, DOC. NO. 2001037685.

Notes

- FIELD SURVEY PERFORMED IN AUGUST 2015.
- ALL DISTANCES ARE GROUND DISTANCES: US SURVEY FOOT.
- THE BASIS OF BEARINGS REFERENCES NEW MEXICO STATE PLANE COORDINATES (NAD 83-CENTRAL ZONE).

DOCH 2020128551

12/19/2020 10:17 AM Page: 4 of 4
 PLAT R: 325.00 B: 2020C P: 0125 Linda Stover, Bernalillo County

Solar Collection Note

NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BUILDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERECTED ON THE LOTS OR PARCELS WITHIN THE AREA OF PROPOSED PLAT, THE FOREGOING REQUIREMENT SHALL BE A CONDITION TO APPROVAL OF THIS PLAT.

Public Utility Easements

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- Public Service Company of New Mexico ("PNM"), a New Mexico corporation, (PNM Electric) for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services.
- New Mexico Gas Company for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
- Qwest Corporation d/b/a CenturyLink QC for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services.
- Cable TV for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, replace, modify, renew, operate and maintain facilities for purposes described above, together with free access to, from, and over said easements, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat. Easements for electric transformer/switchgears, as installed, shall extend ten (10) feet in front of transformer/switchgear doors and five (5) feet on each side.

Disclaimer

In approving this plat, Public Service Company of New Mexico (PNM) and New Mexico Gas Company (NMGC) did not conduct a Title Search of the properties shown hereon. Consequently, PNM and NMGC do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

Legend

N 90°00'00" E	MEASURED BEARINGS AND DISTANCES
(N 90°00'00" E)	RECORD BEARINGS AND DISTANCES PER PLAT (3/3/1994, 94C-65)
((N 90°00'00" E))	RECORD BEARINGS AND DISTANCES PER PLAT (12/30/1997, 97C-368)
{N 90°00'00" E}	RECORD BEARINGS AND DISTANCES PER NMDOT MAP PROJECT NO. TPU-140-3(119)160 DATED 11/13/1997
[N 90°00'00" E]	RECORD BEARINGS AND DISTANCES PER DEED (4/4/2001, BK. A17, PG. 6150, DOC. NO. 2001037685)
⊙	FOUND MONUMENT AS INDICATED
⊙	FOUND CHISELED "X"
⊙X	SET PK NAIL WITH TAG "LS 14271" UNLESS OTHERWISE NOTED

Curve #	Length	Radius	Delta	Chord Length	Chord Direction
C1	39.34' (39.25')	25.00' (25.00')	90°09'12"	35.40'	N 44°42'42" W
C2	37.92' {37.92}	165.88' {165.88}	13°05'52"	37.84'	N 09°23'36" E
C3	87.53' {87.54}	53.77' {53.77}	93°16'01"	78.18'	S 49°28'41" W
C4	84.01' ((84.15'))	3474.98' ((3495.17'))	1°23'07"	84.01'	S 79°04'24" E
C5	392.05' ((392.31'))	5803.04' ((5802.85'))	3°52'15"	391.97'	S 80°22'17" E
C6	38.05'	150.00'	14°32'06"	37.95'	S 82°31'16" E
C7	46.77'	156.00'	17°10'44"	46.60'	N 83°50'35" W
C8	40.55'	25.00'	92°55'28"	36.25'	S 45°58'13" E

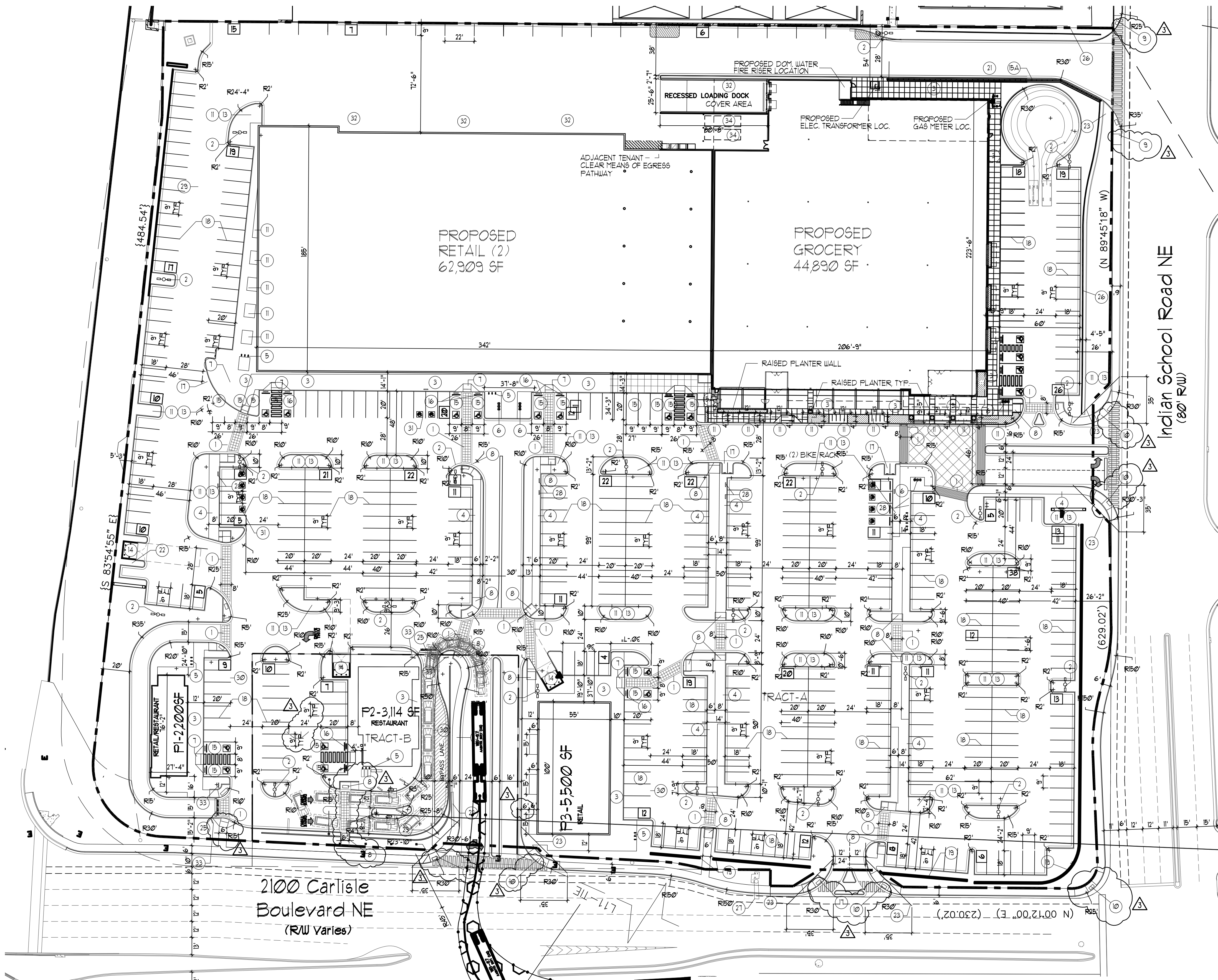
Plat for
Tracts A-1 and B-1
Carlisle & Indian School Subdivision
less than a portion conveyed to NMDOT
Being Comprised of
Tract A and B
Carlisle & Indian School Subdivision
City of Albuquerque
Bernalillo County, New Mexico
February 2020

Line #	Direction	Length (ft)
L1	S 89°37'03" E (S 89°48'00" E)	20.00' (20.00')
L2	N 00°22'32" E (N 00°12'00" E) {N 00°21'12" E}	49.19'
L3	N 02°50'41" E {N 02°49'02" E}	103.83' {104.10}
L4	S 89°36'56" E (S 89°47'59" E) [S 89°47'53" E]	149.44' [149.57]
L5	N 00°22'57" E (N 00°12'00" E) [N 00°12'00" E]	200.00' (200.00') [200.00']
L6	S 89°58'50" W (N 89°47'59" W) [N 89°47'53" W]	140.89' [140.97]
L7	N 02°50'41" E {N 02°49'02" E} {N 02°39'44" E}	199.19' {200.08} [200.18]
L8	N 02°50'41" E {N 02°49'02" E}	68.57' {67.42}
L9	S 89°14'36" E {S 89°16'12" E}	71.42' {71.41}
L10	N 00°25'51" E {N 00°25'51" E} ((N 00°26'09" E))	11.24' ((10.19'))
L11	N 46°17'13" E	2632.20'
L12	N 44°47'18" W	17.05'
L13	N 89°47'18" W	79.85'
L14	S 45°12'42" W	17.78'
L15	N 89°47'18" W	97.34'
L16	S 87°34'03" W	67.30'
L17	N 34°30'56" E	22.36'
L18	N 00°29'31" E	44.06'
L19	N 32°16'20" W	23.12'
L20	N 00°29'31" E	17.29'
L21	S 89°37'03" E	7.90'
L22	S 02°50'41" W	59.60'
L23	N 42°09'19" W	7.67'
L24	N 47°50'41" E	7.67'
L25	S 02°50'41" W	15.37'
L26	S 02°50'41" W	29.98'
L27	S 49°33'48" E	59.40'
L28	S 49°33'48" E	72.61'
L29	N 81°18'10" E	38.67'
L30	S 89°58'50" W	93.76'
L31	N 89°22'40" W	24.38'
L32	S 89°22'43" E	13.12'
L33	N 00°03'30" E	24.44'
L34	N 89°29'54" W	39.13'

CSI-CARTESIAN SURVEYS INC.
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2020 C-125

(4)



- KEYED NOTE:**
- 8" OR AS INDICATED WITHIN SITE PLAN PEDESTRIAN CROSSWALK RE: DETAIL C5/A11.
 - LIGHT POLE LOCATION RE: DETAIL A5/A11.
 - CONC. SIDEWALK ADJACENT BLDG RE: DET B2/A11 RE: SITE PLAN FOR JOINT LAYOUT
 - CONC. SIDEWALK RE: DET B3/A11 RE: SITE PLAN FOR JOINT LAYOUT
 - INDICATES BIKE RACK LOCATION (5 BIKE CAPACITY) RE: DETAIL B1/A12.
 - INDICATES BIKE RACK LOCKER LOCATION (5 BIKE CAPACITY)
 - BENCH LOCATION RE: DETAIL 10/A12
 - HANDICAP RAMP RE: A3/A11.
 - HANDICAP RAMP RE: A1/A11.
 - HANDICAP RAMP RE: A4/A11.
 - HANDICAP RAMP RE: C1/A11.
 - INDICATES LANDSCAPE PLANTING AREA GC TO PROVIDE COORDINATE REQ. SLEEVING FOR EA. WELL LOCATION
 - DRIVE AISLE PAINT DETAIL RE: DET C5/A12.
 - 6" HIGH CONC. ISLAND /CURB RE: SITE GRADING PLAN FOR INFO
 - REFUSE ENCLOSURE RE: DET B2/A13.
 - H.C. PARKING STALL RE: DET A3/A12.
 - NEW RETAINING WALL PER SECTION 5-1(D) OF THE IDO.
 - WHEELSTOP RE: DET B5/A12.
 - INDICATES PROPOSED MOTORCYCLE PARKING STALL LOCATION RE: SITE PLAN FOR LOCATIONS, RE: DET. B2/A12.
 - PAINTED STRIPPING/SIGNING AS INDICATED ON SITE PLAN ALL STANDARD PARKING STALL STRIPPING SHALL BE WHITE
 - INDICATES SPLIT FACE 3'-0" HIGH PAINTED PATIO KNEE WALL
 - EXISTING SIDEWALK TO REMAIN
 - NEW RAMP
 - 300 SF PYLON SIGN TO MATCH ADJACENT BUILDING RE: DETAIL 8/A13 FOR INFO
 - INDICATES CLEAR SIGHT TRIANGLE. NOTE: CLEAR SITE AREA SHALL BE FREE OF ALL SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3' AND 8 FEET AS MEASURED VERTICALLY FROM ADJACENT GUTTERPAN.
 - BOLLARD PAINTED SAFETY YELLOW RE: DET. D1/A13.
 - "DO NOT ENTER" RE: DET 8/A12
 - EXISTING RETAINING WALL TO REMAIN
 - EXISTING DOT SIGN TO REMAIN
 - ELECTRIC VEHICLE CHARGING STATION
 - INDICATES EXISTING BUILDING FOOTPRINT AREA
 - INDICATES CONSTRUCTION PHASE LINE
 - ELECTRIC VEHICLE PARKING SPACE, TYPICAL OF 10
 - PROPOSED 40 cu yd ROLL OFF CONTAINER
 - "DO NOT ENTER" SIGN RE: DET B3/A12.
 - DASHED LINE INDICATES TRASH COMPACTOR BY TENANT.

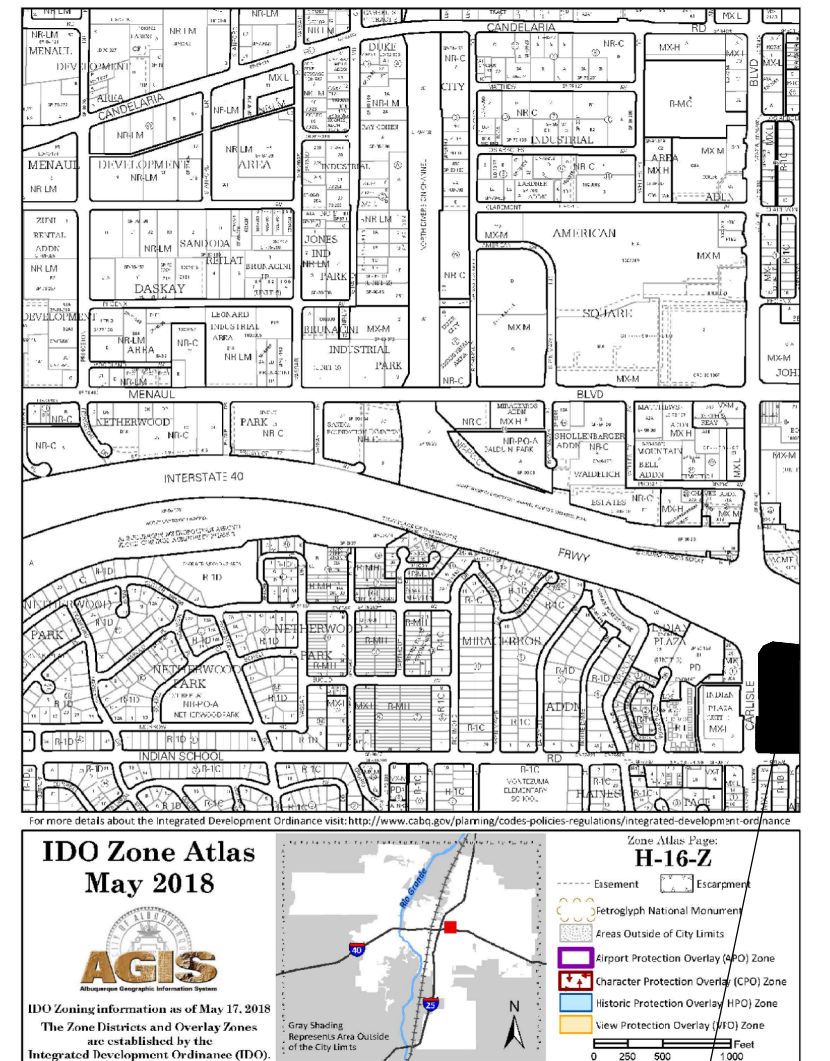
PROJECT NUMBER: _____
APPLICATION NUMBER: _____

Is an Infrastructure List required? () YES () NO If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements

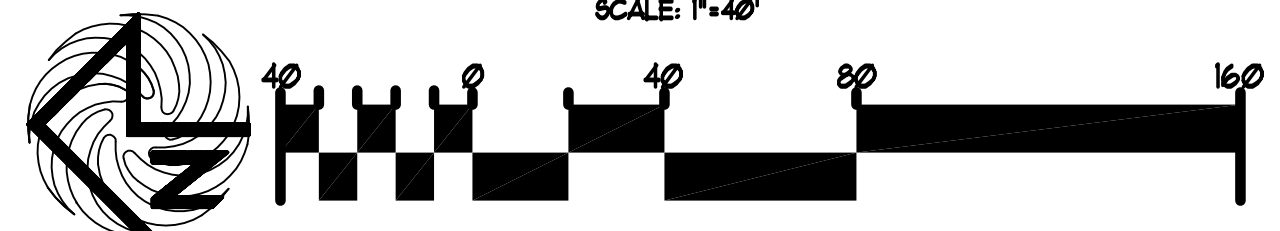
DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL

Traffic Engineering, Transportation Division	Date
DRB ABCUWA ENGINEER	Date
Parks and Recreation Department	Date
City Engineer	Date
Environmental Health Department	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date
Code Enforcement	Date

* Environmental Health, if necessary



SITE PLAN FOR BUILDING PERMIT



2100 Carlisle Boulevard NE
(R/W Varies)

Lot 30-A, Block 1
Miraceros Addition
(03/13/1998, 98C-69)

LEGAL DESCRIPTION

LEGAL DESCRIPTION-TRACT-A
 A CERTAIN TRACT OF LAND DESIGNATED AS TRACT "A" OF "THE CARLISLE AND INDIAN SCHOOL SUBDIVISION", AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY ON MARCH 3, 1994, IN PLAT BOOK 94C, FOLIO 65, LESS AND EXCEPTING A PORTION OF TRACT A, AKA PARCELS 2-3-A AND 2-3, CONVEYED TO NM DEPARTMENT OF TRANSPORTATION (NDOT), AS THE SAME IS SHOWN ON THE RIGHT-OF-WAY MAP, HAVING PROJECT NUMBER TPU-040-3/19/16/0, DATED NOVEMBER 13, 1991, AND DESCRIBED ON THE STIPULATED JUDGEMENT FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON APRIL 10, 2001, IN BOOK A18, PAGE 2159, AS DOCUMENT NO. 2001003108.

LEGAL DESCRIPTION-TRACT-B
 A CERTAIN TRACT OF LAND DESIGNATED AS TRACT "B" OF "THE CARLISLE AND INDIAN SCHOOL SUBDIVISION", AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY ON MARCH 3, 1994, IN PLAT BOOK 94C, FOLIO 65, LESS AND EXCEPTING A PORTION OF TRACT B, AKA PARCEL 2-4, CONVEYED TO NM DEPARTMENT OF TRANSPORTATION (NDOT), AS THE SAME IS SHOWN ON THE RIGHT-OF-WAY MAP, HAVING PROJECT NUMBER TPU-040-3/19/16/0, DATED NOVEMBER 13, 1991, AND DESCRIBED ON THE STIPULATED JUDGEMENT FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON JANUARY 11, 2001, IN BOOK A14, PAGE 2183, AS DOCUMENT NO. 2001003593.

SITE DATA TABLE

	RETAIL USES	GROCERY	RESTAURANT	ALL USES
PROPOSED USES:	RETAIL USES	GROCERY	RESTAURANT	ALL USES (MAJOR-1/MAJOR-2/F-1/F-2/F-3)
BUILDING SIZE:	68,429 SF	44,890 SF	5,314 SF	
TOTAL PARKING REQ.	213 SPACES	180 SPACES	24 SPACES	TOTAL SPACES REQ= 469 SPACES
TOTAL PARKING PROV.				499 SPACES PROVIDED
HC PROVIDED:				28 HC (INCLUDING 20 VAN ACCESSIBLE)
HC REQUIRED:				9 HC SPACES
BIKE SPACES PROVIDED:				46 BIKE SPACES
BIKE SPACES REQUIRED:	10% OF TOTAL	10% OF TOTAL	10% OF TOTAL	46 BIKE SPACES
MOTORCYCLE SPACES PROVIDED:	2 SPACES	2 SPACES	2 SPACES	6 MOTO SPACES
MOTORCYCLE SPACES REQUIRED:	2 SPACES	2 SPACES	2 SPACES	6 MOTO SPACES
ELECTRIC CHARGING STATION SPACES PROVIDED:	6 SPACES	4 SPACES	-	10 ELEC. CHARGING STATION PARKS
ELECTRIC STATION REQUIRED:	5 SPACES	4 SPACES	-	9 ELEC. CHARGING STATION PARKS
BURGER KING			2/1000	TOTAL SPACES REQ= 19 SPACES
BURGER KING HC REQUIRED:				1 HC SPACES

REV	DATE	BY	REVISION
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			

MODULUS ARCHITECTS
 100 SUN AVE. N.W. SUITE 305
 ALBUQUERQUE, NEW MEXICO 87109
 PHONE (505) 338-1499 FAX (505) 338-1498

STATE OF NEW MEXICO
 REGISTERED ARCHITECT
 STEPHEN A. DUNBAR
 No. 4218
 15 JULY 2021

PROJECT TITLE: CARLISLE CROSSING
 2100 CARLISLE BLVD NE
 ALBUQUERQUE, NEW MEXICO

JOB NO.: _____
 DRAWN BY: _____
 SHEET NUMBER: _____
 SHEET TITLE: SITE PLAN FOR BUILDING PERMIT

DATE: 29 June 2021
 SCALE: RE: BAR SCALE

Indian School and Carlisle (2100 Carlisle)

Administrative Amendment Request

Project #PR- 2019-002677

Transportation Development Comments:

Contact: Jeanne Wolfenbarger 924-3991, jwolfenbarger@cabq.gov

1. Provide an Architectural Stamp.
Provided.
2. A 180-degree right turn from the new Burger King drive-thru onto the main entrance to Carlisle does not appear as though it will work. Provide turning template design for a typical vehicle and make adjustments as necessary.
Per attached revised site plan, I've added the turning template for a car and it works fine and meet the DPM requirements.
3. Provide parking calculations for the new Burger King and a shared parking agreement for any spaces that will need to be used on an adjacent lot. Include handicapped spaces, motorcycle parking, and bicycle parking within calculations.
The plat recorded refers to note (7) that provided for shared parking. Please see attached Plat.

7 EXISTING PERMANENT MUTUAL NON-EXCLUSIVE RECIPROCAL INGRESS, EGRESS AND CROSS-PARKING EASEMENT ACROSS TRACTS A AND B FOR THE USE OF PARKING AREAS, DRIVEWAYS, COMMON UTILITIES AND OTHER COMMON AREAS PER PARKING AGREEMENT (3/16/1971, BK. MISC. 208, PG. 117), RE-RECORDED (12/21/1971, BK. MISC. 241, PG. 404) AND AGREEMENT AND DECLARATION OF EASEMENT AND COVENANTS (8/23/2000, BK. A9, PG. 2693), BLANKET IN NATURE

4. Show painted arrows and a one-way sign for the new drive-thru.
Provided on sheet BP-1, see clouded area with delta #2.
5. Show queue of cars for the new drive-thru with 20-foot spacing for each vehicle.
Provided on sheet BP-1, see clouded area with delta #2.
6. Obtain Solid Waste approval for the new trash receptacle location.
Please see BP-1 for the approval stamp.

7. Include a 6-foot ADA pathway from the handicapped parking spaces to the Burger King entrance and from the building to the public right-of-way.
Provided on sheet BP-1, see clouded area with delta #2.
8. For the handicapped ramp in front of the Burger King, provide a minimum 4-foot space for turning at the top of the curb ramp and show this dimension.
Provided on sheet BP-1, see clouded area with delta #2.
9. Provide a detail sheet including all handicapped ramp details, proposed signage, and bike rack details.
See A1.1, A1.2 and A1.3 for details.
10. For the new parking spaces at the southwest corner of the site, provide typical parking stall widths.
Provided on sheet BP-1, see clouded area with delta #2.
11. Show and dimension the one loading dock. Provide any details as needed. **(see attached site plan).**