

- KEYED NOTES**
- 8' OR AS INDICATED WITHIN SITE PLAN PEDESTRIAN CROSSWALK RE: DETAIL 6/A11
  - LIGHT POLE LOCATION RE: DETAIL 3/A11
  - CONC. SIDEWALK ADJACENT BLDG RE: DET 8/A11 RE: SITE PLAN FOR JOINT LAYOUT
  - CONC. SIDEWALK RE: DET 7/A11 RE: SITE PLAN FOR JOINT LAYOUT
  - INDICATES BIKE RACK LOCATION. (5 BIKE CAPACITY) RE: DETAIL 13/A12
  - INDICATES BIKE RACK LOCKER LOCATION. (5 BIKE CAPACITY) RE: DETAIL 10/A12
  - BENCH LOCATION RE: DETAIL 15/A12
  - HANDICAP RAMP RE: 15/A11
  - HANDICAP RAMP RE: 16/A11
  - HANDICAP RAMP RE: 5/A11
  - HANDICAP RAMP RE: 17/A11
  - INDICATES LANDSCAPE PLANTING AREA G.C. TO PROVIDE/COORDINATE REG. SLEEVING FOR EA. WELL LOCATION
  - DRIVE AISLE PAINT DETAIL RE: DET 9/A12
  - 6" HIGH CONC. ISLAND / CURB RE: SITE GRADING PLAN FOR INFO
  - REFUSE ENCLOSURE RE: DET.4/A13
  - H.C. PARKING STALL RE: DET 2/A12
  - NEW RETAINING WALL PER SECTION 5-1(D) OF THE I.D.O.
  - WHEELSTOP RE: DET 4/A12
  - INDICATES PROPOSED MOTORCYCLE PARKING STALL LOCATION RE: SITE PLAN FOR LOCATIONS. RE: DET. 7/A12
  - PAINTED STRIPPING/SIGNING AS INDICATED ON SITE PLAN ALL STANDARD PARKING STALL STRIPPING SHALL BE WHITE
  - INDICATES 6" FLIT FACE 3'-0" HIGH PAINTED PATIO KNEE WALL EXISTING SIDEWALK TO REMAIN
  - NEW RAMP 300 SF PYLON SIGN TO MATCH ADJACENT BUILDING RE: DETAIL 8/A13 FOR INFO
  - INDICATES CLEAR SIGHT TRIANGLE. NOTE: CLEAR SITE AREA SHALL BE FREE OF ALL SIGNS, WALL TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET AS MEASURED VERTICALLY FROM ADJACENT GUTTERPAN.
  - BOLLARD PAINTED SAFETY YELLOW RE: DET. 1/A13
  - "DO NOT ENTER" SIGN RE: DET 8/A12
  - EXISTING RETAINING WALL TO REMAIN
  - EXISTING DOT SIGN TO REMAIN
  - ELECTRIC VEHICLE CHARGING STATION
  - INDICATES EXISTING BUILDING FOOTPRINT AREA
  - INDICATES CONSTRUCTION PHASE LINE
  - ELECTRIC VEHICLE PARKING SPACE, TYPICAL OF 10
  - PROPOSED 40 cu yd ROLL OFF CONTAINER
  - "DO NOT ENTER" SIGN RE: DET 12/A12

**PROJECT NUMBER** PR 2019-002677

**APPLICATION NUMBER** ST 2019-00252

Is an Infrastructure Link required? ( ) YES ( ) NO If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

*Signature* Date 02-05-20

Traffic Engineering, Transportation Division

*Signature* Date 02-07-20

DRB ADMIN ENGINEER

*Signature* Date 02-05-2020

Public and Recreation Department

*Signature* Date 2-5-20

City Engineer

Environmental Health Department  
See next sheet

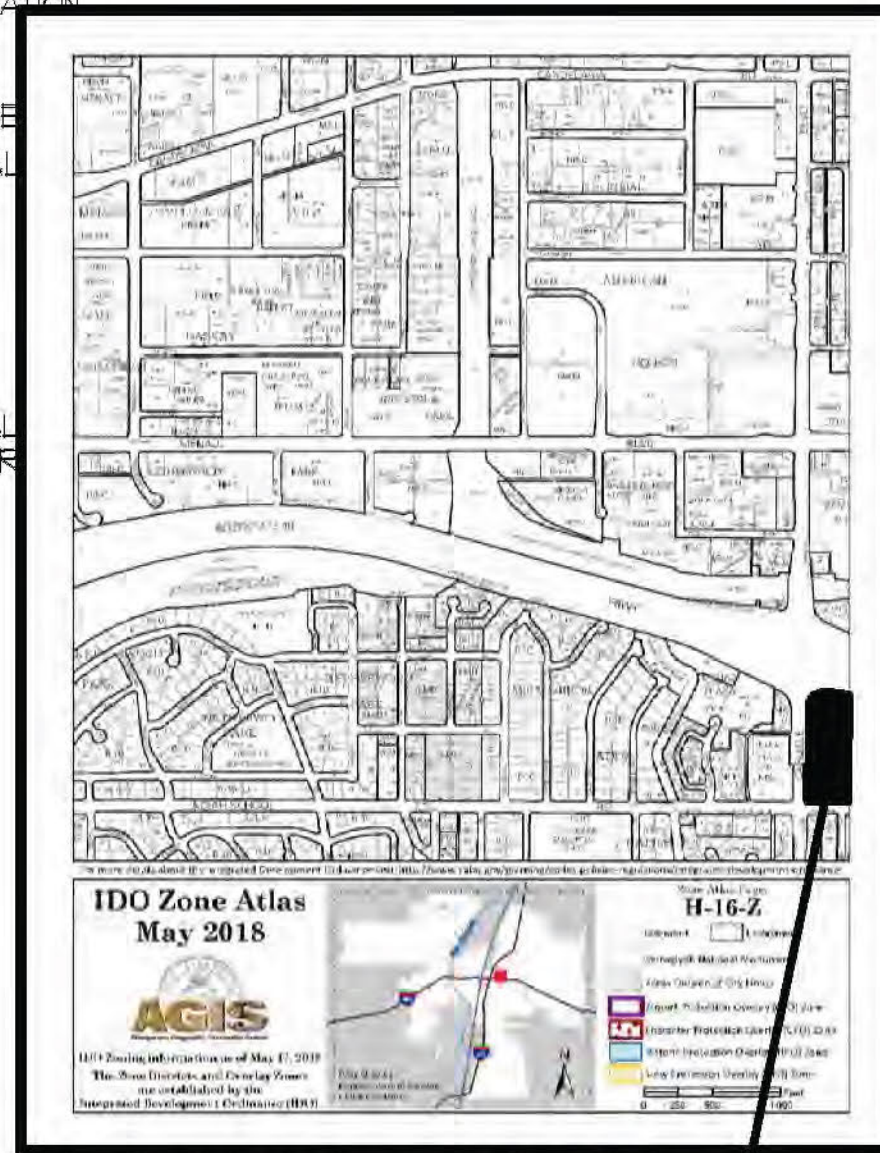
Solid Waste Management  
*Signature* Date Jun 11, 2021

DRB Chairperson, Planning Department  
*Signature* Date

\* Environmental Health, if necessary  
*Signature* Date 2/5/20

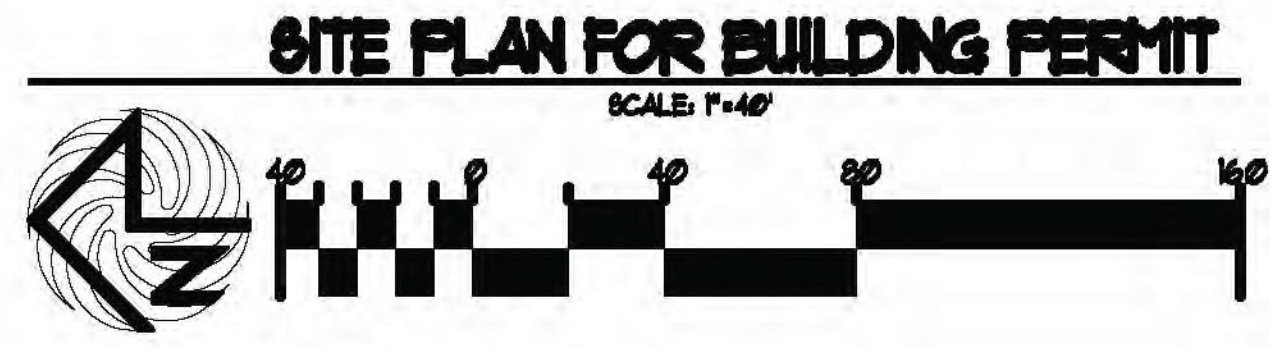
Code Enforcement

REV	DATE	BY	REVISION
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			



**MODULUS ARCHITECTS**

100 SUN AVE. N.W. SUITE 305  
ALBUQUERQUE, NEW MEXICO 87109  
PHONE (505) 338-1499 FAX (505) 338-1498



Let 30-A, Block 1  
Measure Addition  
(03/13/1988, 800-00)

LEGAL DESCRIPTION	SITE DATA TABLE	RETAIL USES	GROCERY	RESTAURANT	ALL USES
<b>LEGAL DESCRIPTION-TRACT-A</b> A CERTAIN TRACT OF LAND DESIGNATED AS TRACT 'A' OF 'THE CARLISLE AND INDIAN SCHOOL SUBDIVISION', AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY ON MARCH 3, 1984, IN PLAT BOOK 34C, FOLIO 65, LESS AND EXCEPTING A PORTION OF TRACT 'B', AKA PARCELS 2-3-A AND 2-3, CONVEYED TO THE DEPARTMENT OF TRANSPORTATION (NDOT), AS THE SAME IS SHOWN ON THE RIGHT-OF-WAY MAP, HAVING PROJECT NUMBER TPU-040-3119160, DATED NOVEMBER 13, 1991, AND DESCRIBED ON THE STIPULATED JUDGEMENT FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON APRIL 20, 2001, IN BOOK A18, PAGE 219, AS DOCUMENT NO. 2001041028.	PROPOSED USES: BUILDING SIZE: TOTAL PARKING REQ: TOTAL PARKING PROV: HC PROVIDED: HC REQUIRED: BIKE SPACES PROVIDED: BIKE SPACES REQUIRED: MOTORCYCLE SPACES PROVIDED: MOTORCYCLE SPACES REQUIRED: ELECTRIC CHARGING STATION SPACES PROVIDED: ELECTRIC STATION REQUIRED:	RETAIL USES: 14,890 SF 300 SPACES	GROCERY: 44,890 SF 180 SPACES	RESTAURANT: 2,200 SF 24 SPACES	ALL USES: TOTAL SPACES REQ: 424 SPACES 488 SPACES PROVIDED 20 HC (INCLUDING 20 VAN ACCESSIBLE) 16 HC SPACES 35 BIKE SPACES 42 BIKE SPACES 6 MOTO SPACES 6 MOTO SPACES 8 ELEC. CHARGING STATION PARKS
<b>LEGAL DESCRIPTION-TRACT-B</b> A CERTAIN TRACT OF LAND DESIGNATED AS TRACT 'B' OF 'THE CARLISLE AND INDIAN SCHOOL SUBDIVISION', AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY ON MARCH 3, 1984, IN PLAT BOOK 34C, FOLIO 65, LESS AND EXCEPTING A PORTION OF TRACT 'A', AKA PARCEL 2-4, CONVEYED TO THE DEPARTMENT OF TRANSPORTATION (NDOT), AS THE SAME IS SHOWN ON THE RIGHT-OF-WAY MAP, HAVING PROJECT NUMBER TPU-040-3119160, DATED NOVEMBER 13, 1991, AND DESCRIBED ON THE STIPULATED JUDGEMENT FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON JANUARY 11, 2001, IN BOOK A14, PAGE 219, AS DOCUMENT NO. 2001003953.					

PROJECT TITLE: CARLISLE CROSSING  
2100 CARLISLE BLVD NE  
ALBUQUERQUE, NEW MEXICO

PROJECT NUMBER: JOB NO. 1000000000

PROJECT MANAGER: STEPHEN DANBAR, AIA

DRAWN BY: 6

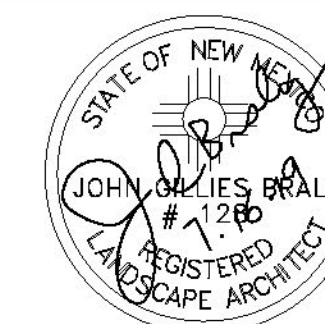
SHEET TITLE: SITE PLAN FOR BUILDING PERMIT

DATE: 7/24/2019

SCALE: 1"=40'

RE BAR SCALE



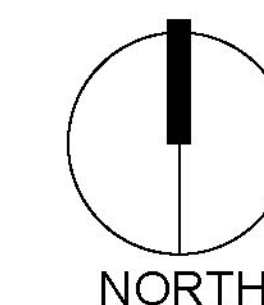


Date: 7/16/2019

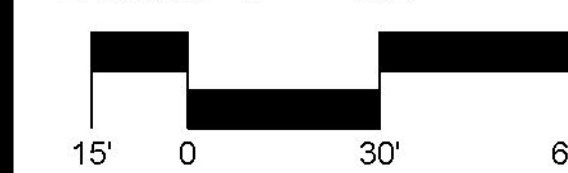
Revisions:  
 ▲ 8/19/2019  
 ▲ 10/31/2019

Drawn by: V. Blount  
 Reviewed by: TN

**2100 Carlisle**  
 Site Redevelopment  
**2100 Carlisle Blvd**  
 Albuquerque, New Mexico



Scale: 1" = 30'



Sheet Title:  
**Landscape Plan**

Sheet Number:

**LP-01**

PLANT SCHEDULE SITE 10.30.19

TREES	QTY	BOTANICAL / COMMON NAME	SIZE	WATER	ALLOWANCE	H.X.S
	11	Existing Tree	Varies	Varies	50	Varies
DECIDUOUS TREES	QTY	BOTANICAL / COMMON NAME	SIZE	WATER	ALLOWANCE	H.X.S
	27	Chilopsis linearis / Desert Willow	2" B&B	RW	60	20' X 25'
	26	Pistacia chinensis / Chinese Pistache	2" B&B	Medium	75	60' X 60'
	58	Pyrus calleryana 'Cleveland Select' / Cleveland Select Pear	2" B&B	Medium+	70	25' X 15'
	46	Ulmus parvifolia 'Bosque' / Bosque Elm	2" B&B	Medium	75	50' X 30'
	11	Vitex agnus-castus / Chaste Tree	24" box	Medium	60	20' X 20'
EVERGREEN TREES	QTY	BOTANICAL / COMMON NAME	SIZE	WATER	ALLOWANCE	H.X.S
	19	Pinus leucodermis / Bosnian Pine	6' 8" B&B	Medium	75	20' X 10'
SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	WATER	ALLOWANCE	H.X.S
	55	Existing Shrub	Varies	Varies	25	varies
DECIDUOUS SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	WATER	ALLOWANCE	H.X.S
	122	Caryopteris x clandonensis 'Dark Knight' / Blue Mist Spirea	1 gal	Low+	20	3' X 3'
	162	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	5 gal	Low+	25	4' X 4'
DESERT ACCENTS	QTY	BOTANICAL / COMMON NAME	SIZE	WATER	ALLOWANCE	H.X.S
	90	Hesperaloe parviflora / Red Yucca	5 gal	Low+	30	3' X 4'
	33	Nolina microcarpa / Beargrass	5 gal	RW	35	5' X 6'
EVERGREEN SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	WATER	ALLOWANCE	H.X.S
	101	Baccharis x Starn / Starn Coyote Brush	5 gal	Low+	30	5' X 5'
	216	Rosmarinus officinalis / Rosemary	5 gal	Low+	30	6' X 6'
GRASSES	QTY	BOTANICAL / COMMON NAME	SIZE	WATER	ALLOWANCE	H.X.S
	125	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass	1 gal	Medium	15	30' X 2'
VINE/SPALIER	QTY	BOTANICAL / COMMON NAME	SIZE	WATER	ALLOWANCE	H.X.S
	36	Lonicera japonica 'Halliana' / Halls Honeysuckle Flowering Vine	5 gal	Medium+	35	Spreading

REFERENCE NOTES SCHEDULE SITE 10.30.19

SYMBOL	DESCRIPTION	QTY	2019-10-30 15:32
	Amaretto 5/8" - 1 1/4" Gravel 3" Depth over Filter Fabric (landscape are in ROW)	1,987 sf	
	Amaretto 5/8" - 1 1/4" Gravel 3" Depth over Filter Fabric	45,041 sf	
	2-4" Mountainair Blush Cobble 4" Depth over Filter Fabric	3,947 sf	
	DOT Existing - Gravel and Landscape	18,084 sf	

GENERAL NOTES:

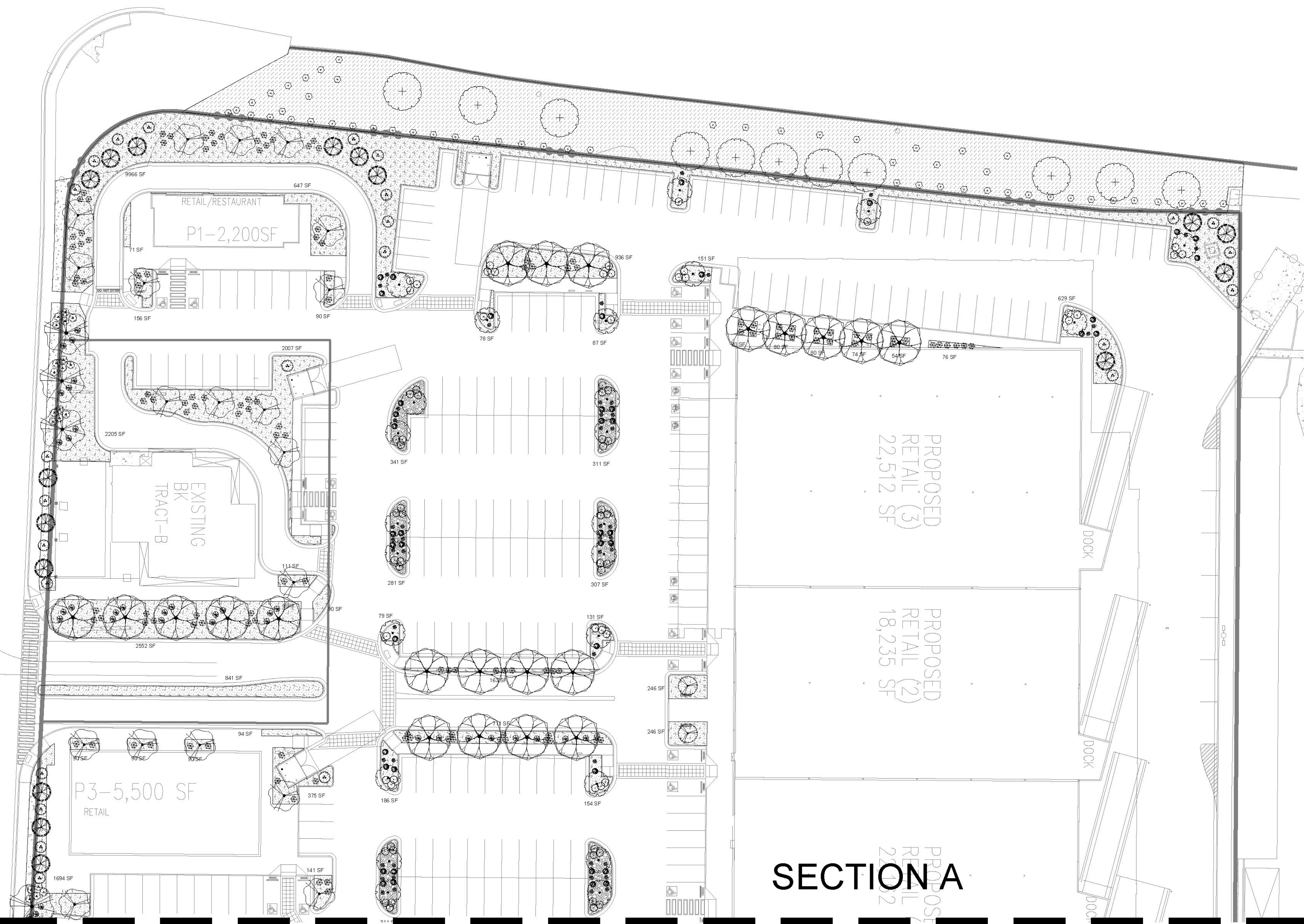
1. MAINTENANCE OF THE LANDSCAPE AND IRRIGATION PROVIDED BY THE PROPERTY OWNER.
2. LANDSCAPE AREAS SHALL BE DEPRESSED TO PROVIDE POSITIVE DRAINAGE FOR SITE RUN OFF. SEE CIVIL DRAWINGS FOR DRAINAGE INFORMATION AND PLACEMENT OF CURB CUTS.
3. THE LANDSCAPE PLAN IS DESIGNED TO MEET ALL CITY OF ALBUQUERQUE, AND IDO REQUIREMENTS.
4. PLANT MATERIALS AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) ARE NOT ACCEPTABLE IN 'CLEAR SIGHT' AREAS.
5. THE LANDSCAPE PLAN IS DESIGNED TO COMPLY WITH THE GENERAL IDO LANDSCAPING REGULATIONS (section 14-16-5-6) INCLUDING PROVISION OF A MINIMUM OF 75% LIVE GROUND COVER, MEASURED AT MATURITY, OF ALL REQUIRED LANDSCAPE AREAS, AND A MINIMUM OF 25% REQUIRED VEGETATIVE COVERAGE OF GROUND LEVEL PLANTS. 5-6(C)(4)(h) SHADE TREES ARE TO BE PLANTED APPROXIMATELY 25' O.C. ALONG ALL REQUIRED PEDESTRIAN WALKWAYS. 5-6(C)(5) IN REGARDS TO A MAXIMUM OF 75% OF GRAVEL OF ANY OUTDOOR SPACE AND ORGANIC MULCH SUCH AS BARK MULCH SURROUNDING VEGETATION ROOT BALLS AND BENEATH THE ENTIRE TREE CANOPY OR DRIPLINE.

PLANTINGS NOTES:

1. THE LANDSCAPE DESIGN SHALL COMPLY WITH THE CITY OF ALBUQUERQUE WASTE WATER CONSERVATION, LANDSCAPE, IDO, AND WATER WASTE ORDINANCE..
2. THERE IS NO NEW TURF USED IN THE DESIGN OF THE LANDSCAPE.
3. THE R.O.W. (WHEN DEDICATED TO THE PUBLIC) SHALL BE MAINTAINED BY THE PROPERTY OWNER. THE PLAN SHALL FOLLOW THE COA DESIGN GUIDELINES FOR STREET TREES UNLESS OBSTRUCTED BY UTILITY EASEMENTS.
4. ALL LANDSCAPE AREAS SHALL BE COVERED WITH MULCH. USE GRAVEL MULCH AT 3" DEPTH OVER FILTER FABRIC.
5. WHERE MULCH IS ADJACENT TO THE CONCRETE, FINISH GRADE OF MULCH SHALL BE APPROXIMATELY 1/2" BELOW THE TOP OF CONCRETE.

IRRIGATION NOTES:

1. ALL NEW PLANTINGS TO BE WATERED BY AUTO DRIP IRRIGATION SYSTEM.
2. WATER MANAGEMENT AND THE MAINTENANCE OF THE IRRIGATION SYSTEM IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
3. THE IRRIGATION SYSTEM SHALL BE CONNECTED TO CITY WATER. THE POINT OF CONNECTION SHALL CONSIST OF A WATER METER, BACKFLOW PREVENTER, AND MASTER VALVE. SEE I103 FOR DETAIL.
4. USE 6 2 GPH EMITTERS PER EACH TREE AND TWO 2 GPH EMITTERS PER EACH SHRUB/GROUNDCOVER. USE SIX 2 GPH DRIP EMITTERS PER TREES IN POTS. SEPARATE IRRIGATION ZONES SHALL BE DESIGNED FOR TREES AND SHRUBS/GROUNDCOVERS.
5. INSTALL THRUST BLOCKS WHEREVER THE MAINLINE BENDS IN NINETY DEGREE ANGLE.
6. INSTALL SLEEVES TWO SIZES LARGER THAN THE SLEEVED PIPE UNDER ALL HARD SURFACES.
7. THE BACKFLOW SIZE AND LOCATION IS ASSUMED ONLY, BASED ON THE LATEST AVAILABLE UTILITY PLAN. GENERAL CONTRACTOR TO PROVIDE THE IRRIGATION WATER STUB OUT AND ELECTRICITY FOR THE HOTBOX.
8. IRRIGATION EQUIPMENT IS SHOWN ON A LARGER SCALE FOR CLARITY. THE PIPE ROUTING ON THE PLAN IS SCHEMATIC AND MAY REQUIRE FIELD ADJUSTMENTS TO AVOID INSTALLING PIPE WITHIN THE ROOT ZONE OF PLANTS OR IN CONFLICT WITH UTILITY EASMENTS.
9. ALL SLEEVES ARE ASSUMED TO BE PLACED PRIOR HARDSCAPE WITHOUT THE NEED OF BORING.



**SECTION A**  
**SECTION B**

SITE DATA

GROSS LOT AREA (4.03 ACRES)	439,882 SF
LESS BUILDING(S)	121,388 SF
NET LOT AREA	318,513 SF
REQUIRED LANDSCAPE	47,776 SF
15% OF NET LOT AREA	45,041 SF
PROPOSED LANDSCAPE	1,987 SF
PROPOSED OFFSITE LANDSCAPE	18,084 SF
ROW EXISTING LANDSCAPE	65,112 SF
TOTAL PROPOSED LANDSCAPE	20 %

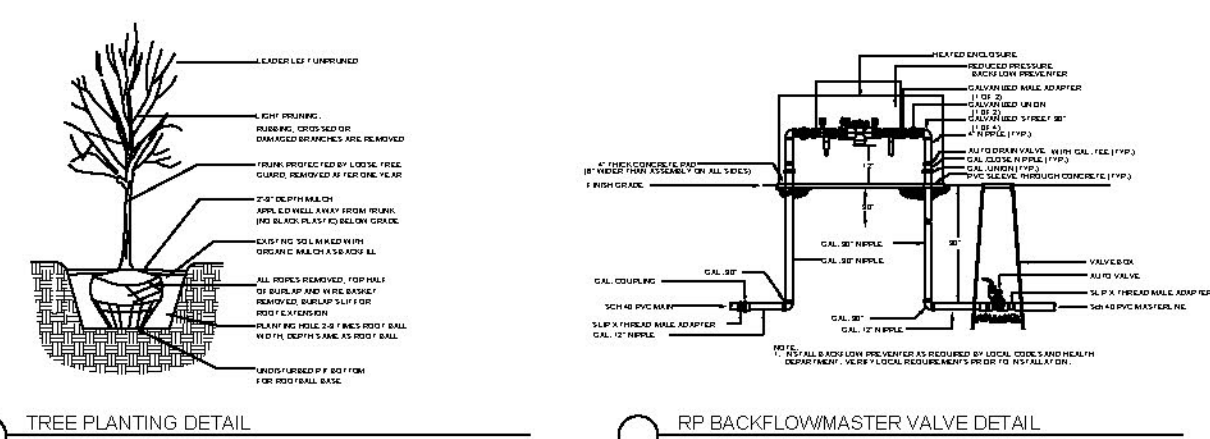
REQUIRED STREET TREES	45
PROVIDED/EXISTING AT 25' O.C. SPACING ALONG STREET	47
REQUIRED PARKING LOT TREES	45
PROVIDED AT 1 PER 10 SPACES (464 SPACES/10)	140**
TOTAL REQUIRED TREES	90
TOTAL PROVIDED TREES	187

\*\* (tree provided per parking space quantity is due to IDO ordinance to provide 1 shade tree 25' O.C. along any pedestrian walkway)

REQUIRED LANDSCAPE COVERAGE	75%
75% LIVE VEGETATIVE MATERIAL	35,832 SF MIN.
(47,776 SF REQUIRED LANDSCAPE X 75%)	36,156 SF
PROVIDED GROUND COVER COVERAGE	(1,436 SF)
(EXCLUDES EXISTING ROW LANDSCAPE)	
PERCENT GROUND COVER COVERAGE	75%
OF REQUIRED LANDSCAPE AREAS	

IRRIGATION NOTE

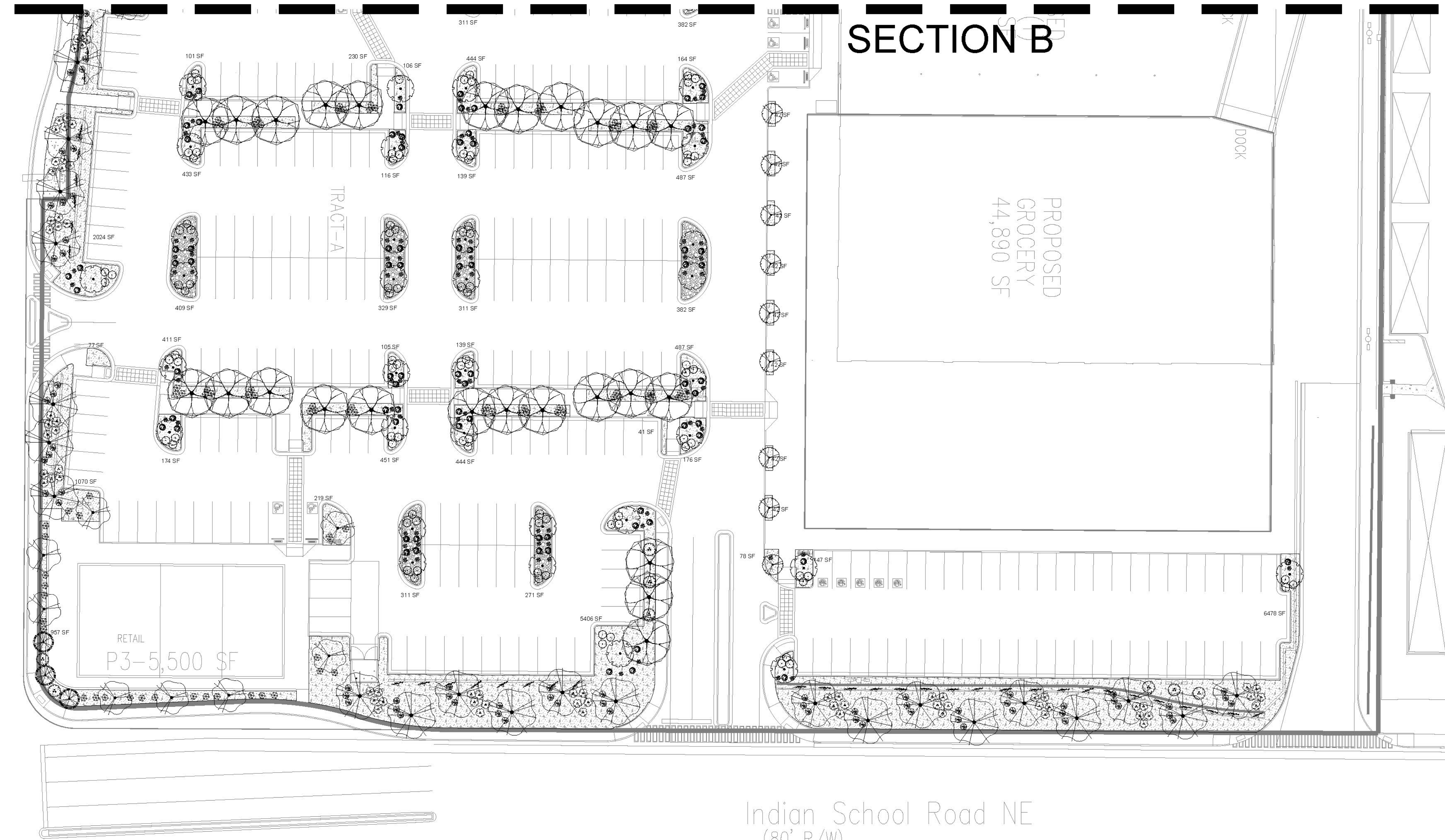
DRIP SYSTEM RUN CYCLES:  
 ESTABLISHMENT AND SUMMER:  
 1 HOUR/4 DAYS A WEEK  
 SPRING:  
 1 HOUR/2-3 DAYS A WEEK  
 FALL:  
 1 HOUR/2-3 DAYS A WEEK  
 WINTER:



TREE PLANTING DETAIL  
 RP BACKFLOW MASTER VALVE DETAIL



# SECTION A SECTION B



Indian School Road NE  
(80' R/W)

### PLANT SCHEDULE SITE 10.30.19

TREES	QTY	BOTANICAL / COMMON NAME	SIZE	WATER	ALLOWANCE	H X S
+	11	Existing Tree	Varies	Varies	50	Varies
DECIDUOUS TREES	QTY	BOTANICAL / COMMON NAME	SIZE	WATER	ALLOWANCE	H X S
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LESS BUILDING(S)	121,369 SF
NET LOT AREA	318,513 SF

### REQUIRED LANDSCAPE

15% OF NET LOT AREA	47,778 SF
PROPOSED LANDSCAPE	45,041 SF
PROPOSED OFFSITE LANDSCAPE	1,387 SF
ROW EXISTING LANDSCAPE	18,084 SF
TOTAL PROPOSED LANDSCAPE	65,112 SF
PERCENT OF NET LOT AREA	20 %

### REQUIRED STREET TREES

PROVIDED/EXISTING AT 25' O.C. SPACING ALONG STREET	47
REQUIRED PARKING LOT TREES	45
PROVIDED AT 1 PER 10 SPACES (464 SPACES/10)	140**
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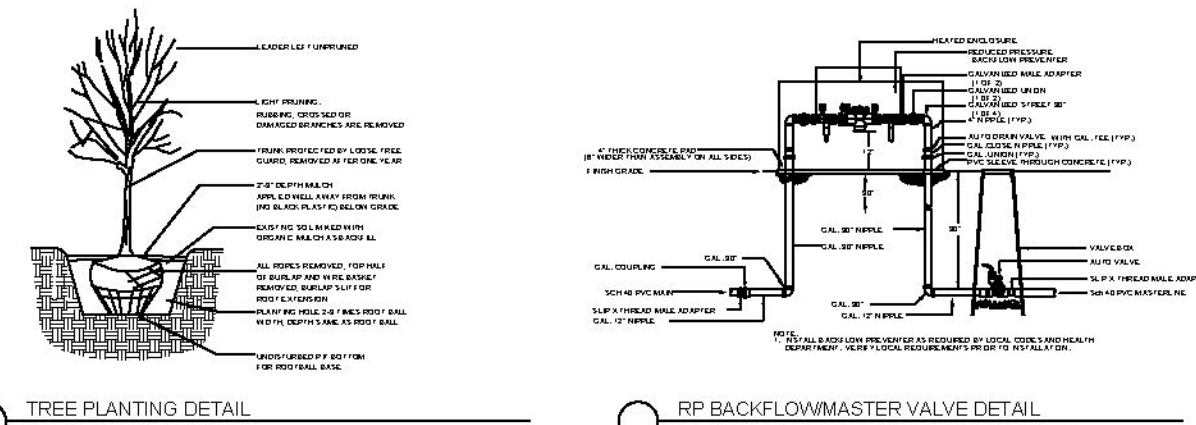
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75% LIVE VEGETATIVE MATERIAL (47,778 SF REQUIRED LANDSCAPE X 75%)	35,832 SF MIN.
PROVIDED GROUND COVER COVERAGE (EXCLUDES EXISTING ROW LANDSCAPE)	36,155 SF (1,436 SF)
PERCENT GROUND COVER COVERAGE OF REQUIRED LANDSCAPE AREAS	75%

### IRRIGATION NOTE

DRIP SYSTEM RUN CYCLES:  
ESTABLISHMENT AND SUMMER:  
1 HOUR/4 DAYS A WEEK  
SPRING:  
1 HOUR/2-3 DAYS A WEEK  
FALL:  
1 HOUR/2-3 DAYS A WEEK  
WINTER:  
1 HOUR/2 DAYS PER MONTH



growing better  
**HeadSup**  
LANDSCAPE CONTRACTORS  
www.headsuplandscape.com

PO Box 10597  
Albuquerque, NM 87184  
505.898.9615  
505.898.2105 (fax)  
design@hulc.com

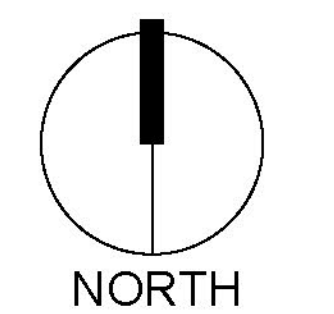


Date: 7/16/2019

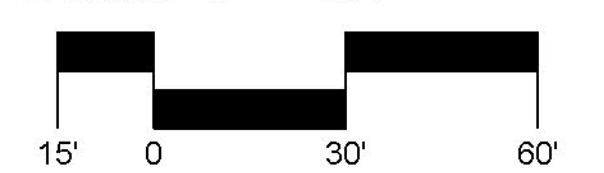
Revisions:  
▲ 08/19/2019  
▲ 10/31/2019

Drawn by: V. Blount  
Reviewed by: TN

2100 Carlisle  
Site Redevelopment  
2100 Carlisle Blvd  
Albuquerque, New Mexico



Scale: 1" = 30'

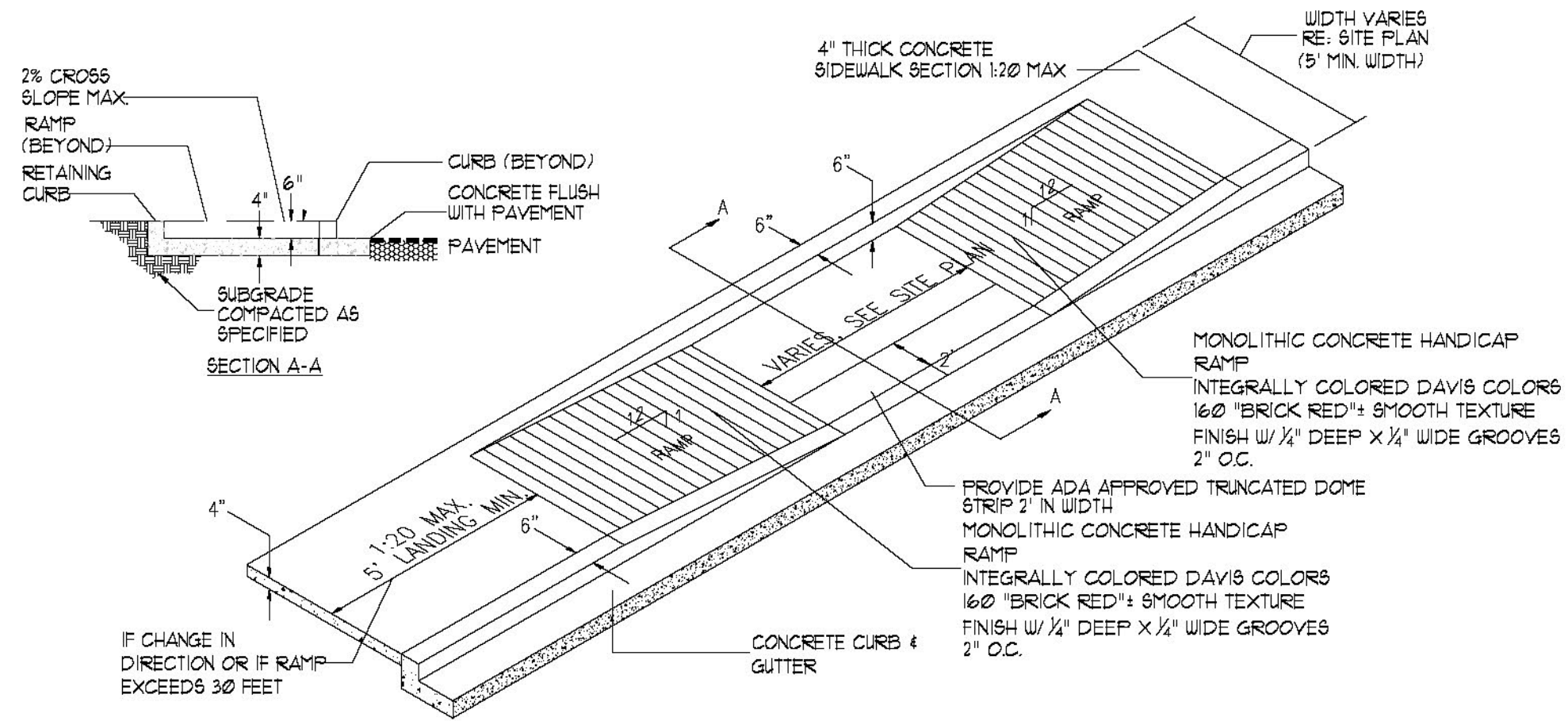


Sheet Title:  
**Landscape Plan**

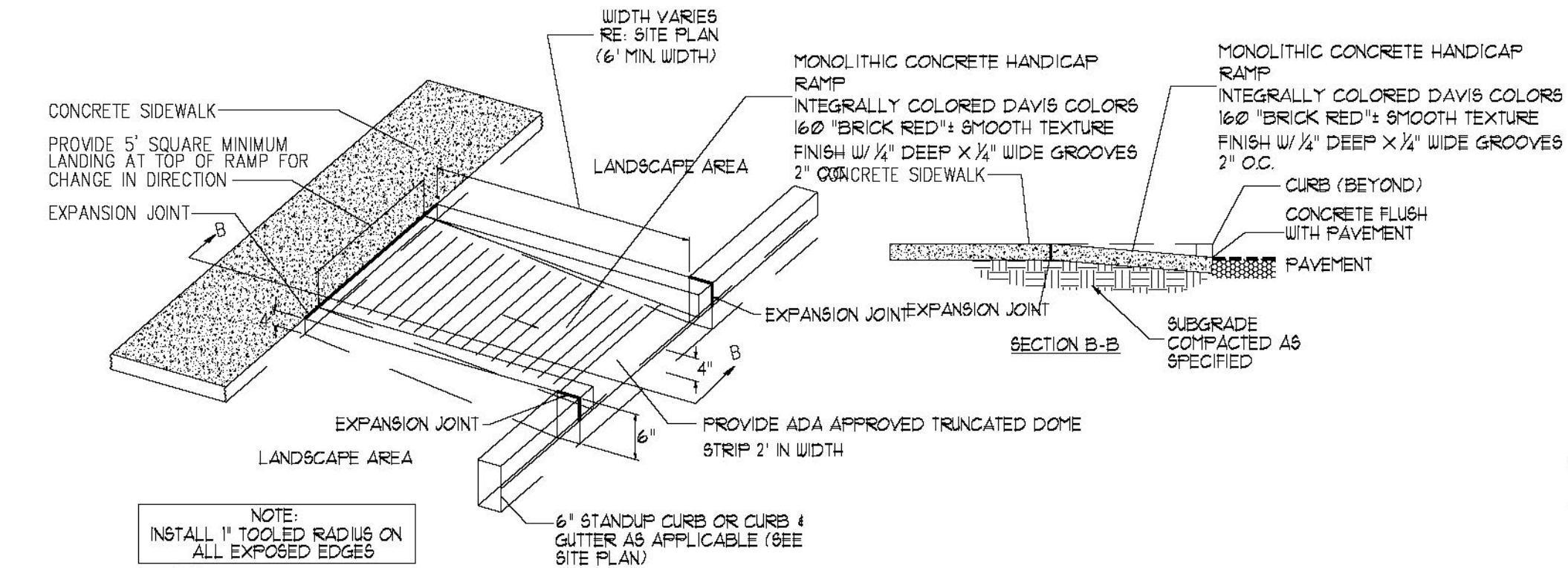
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**LP-02**

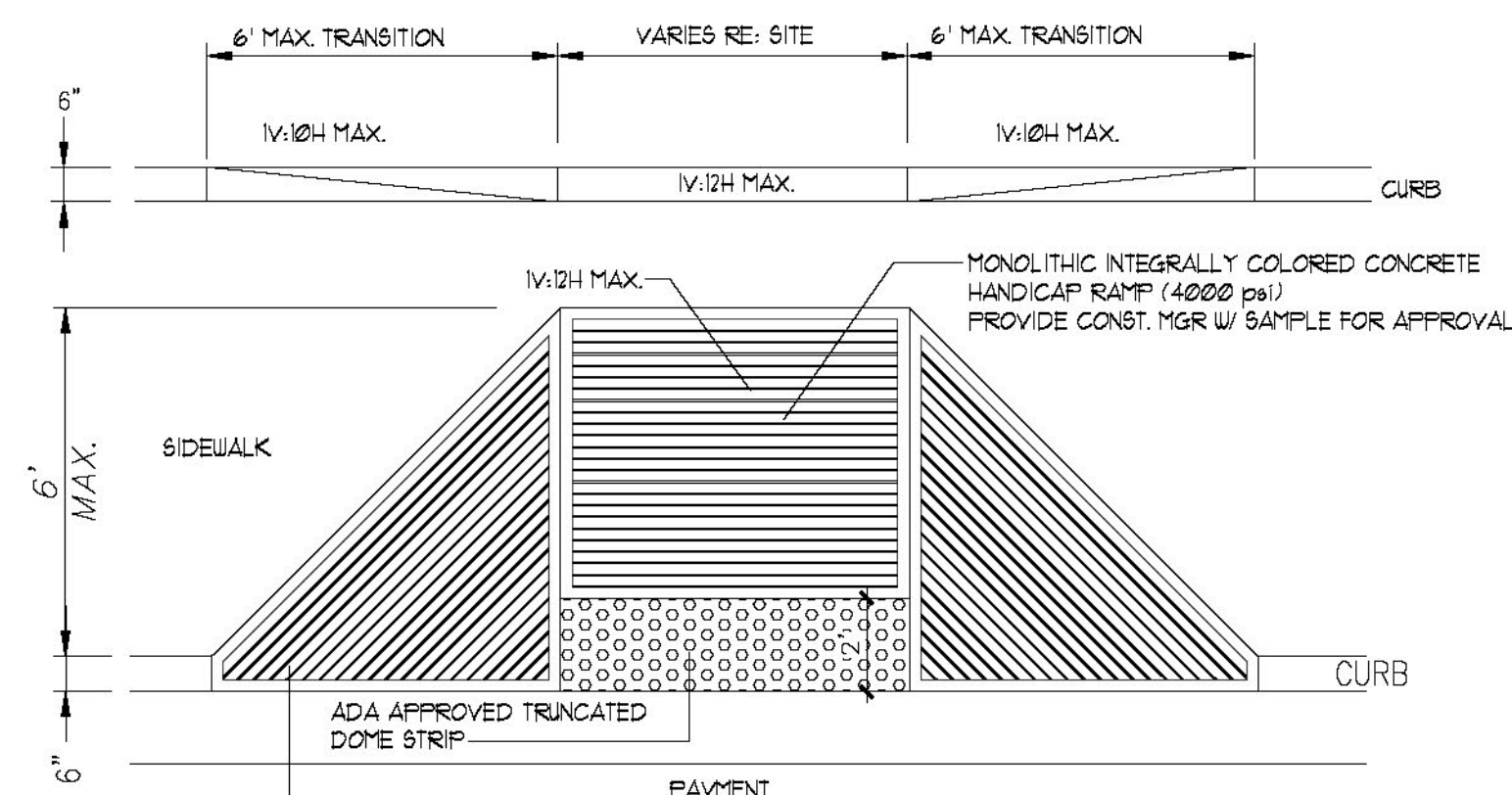




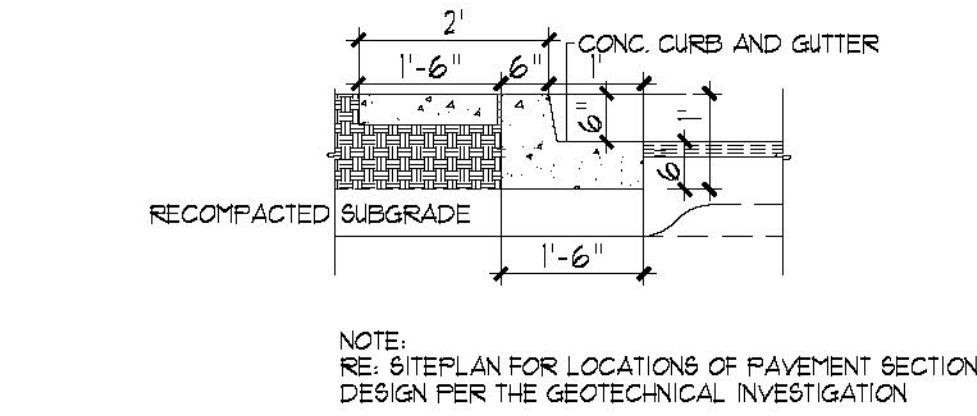
**11 TAPERED RAMP DETAIL**  
N.T.S.



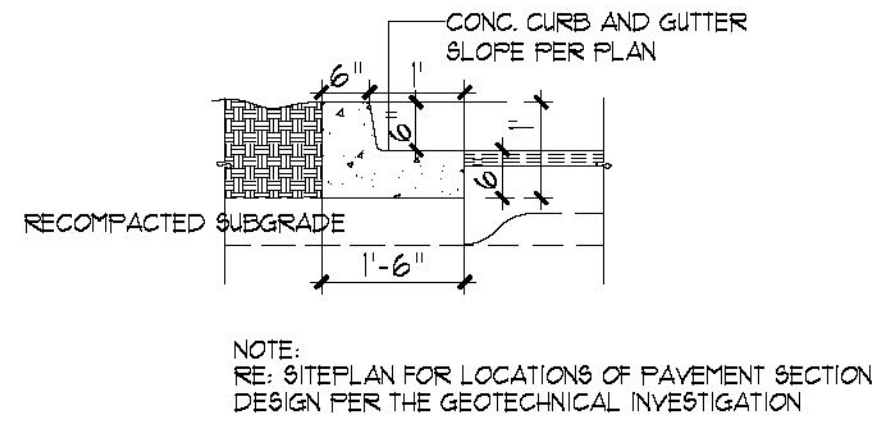
**16 CURBED RAMP DETAIL**  
N.T.S.



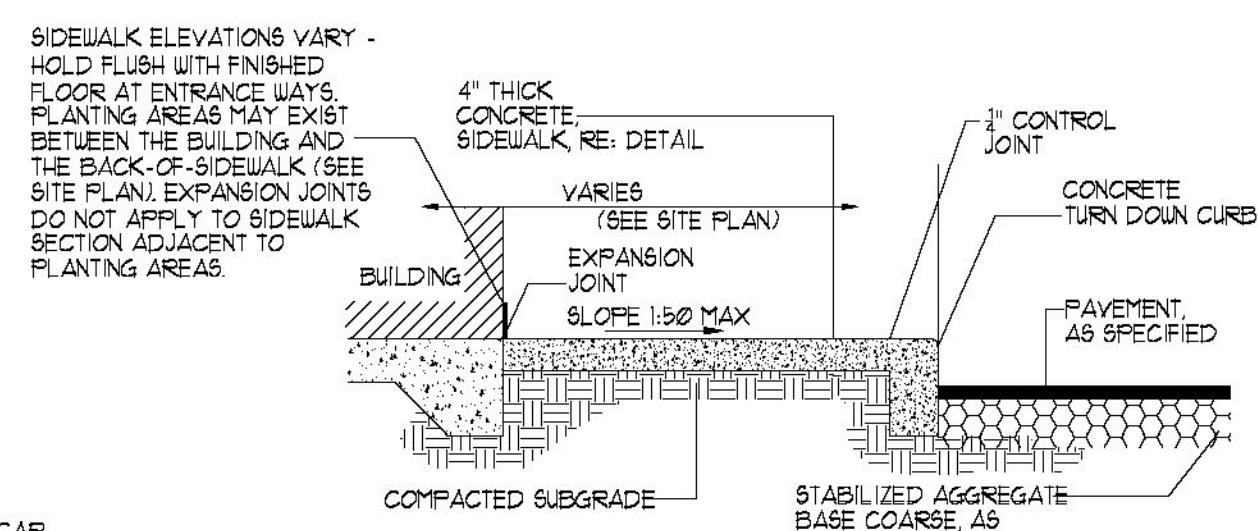
**15 FLARED H.C. RAMP**  
N.T.S.



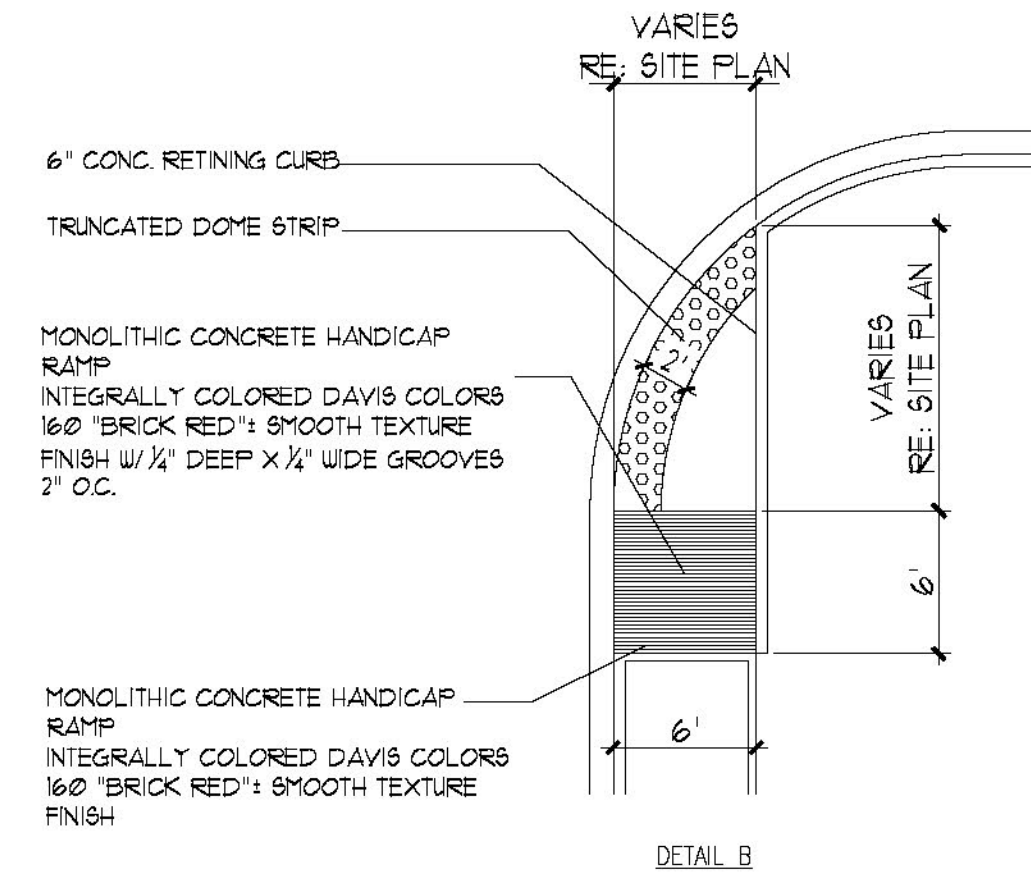
**11 ISLAND CURB DETAIL**  
N.T.S.



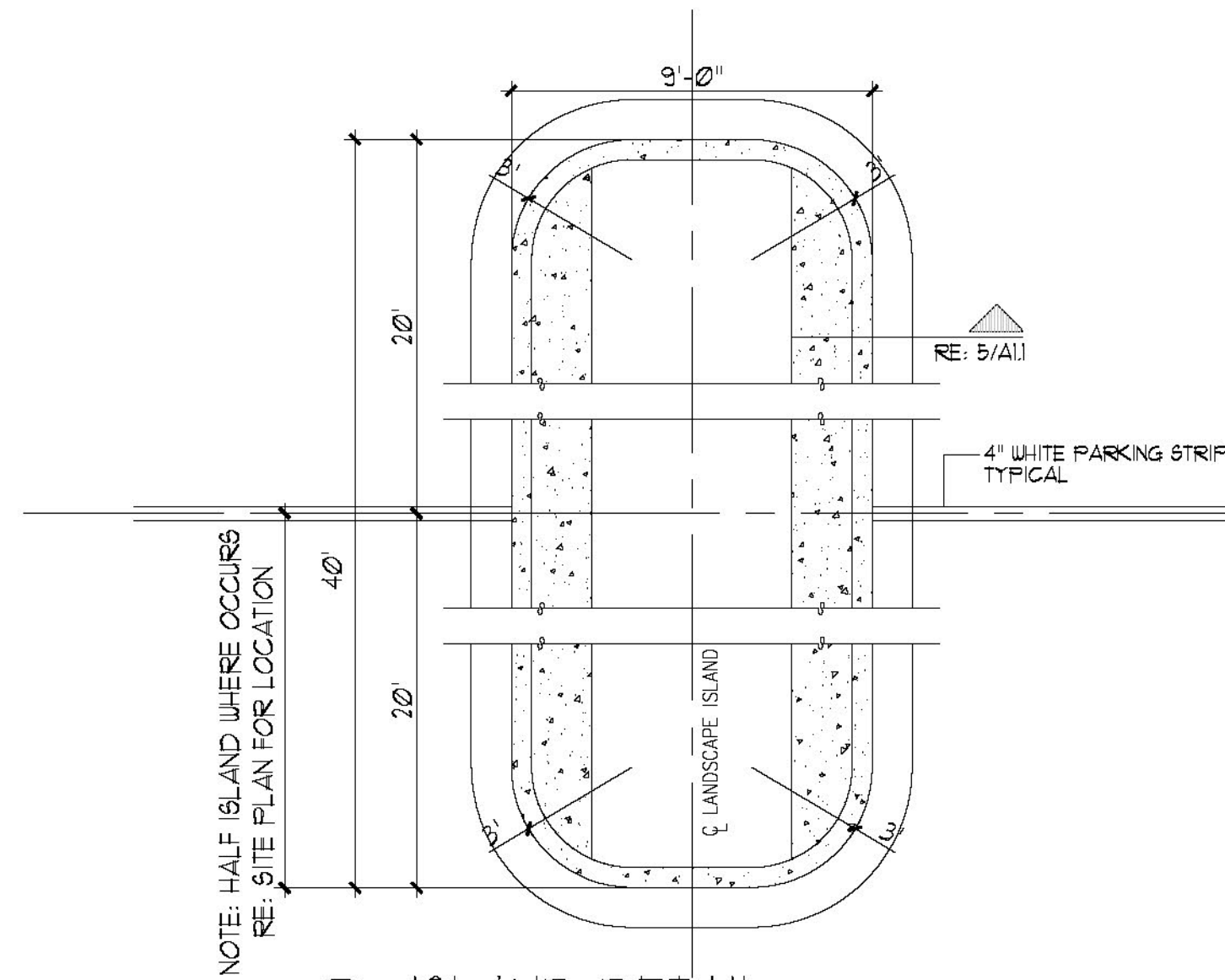
**10 TYPICAL CURB DETAIL**  
N.T.S.



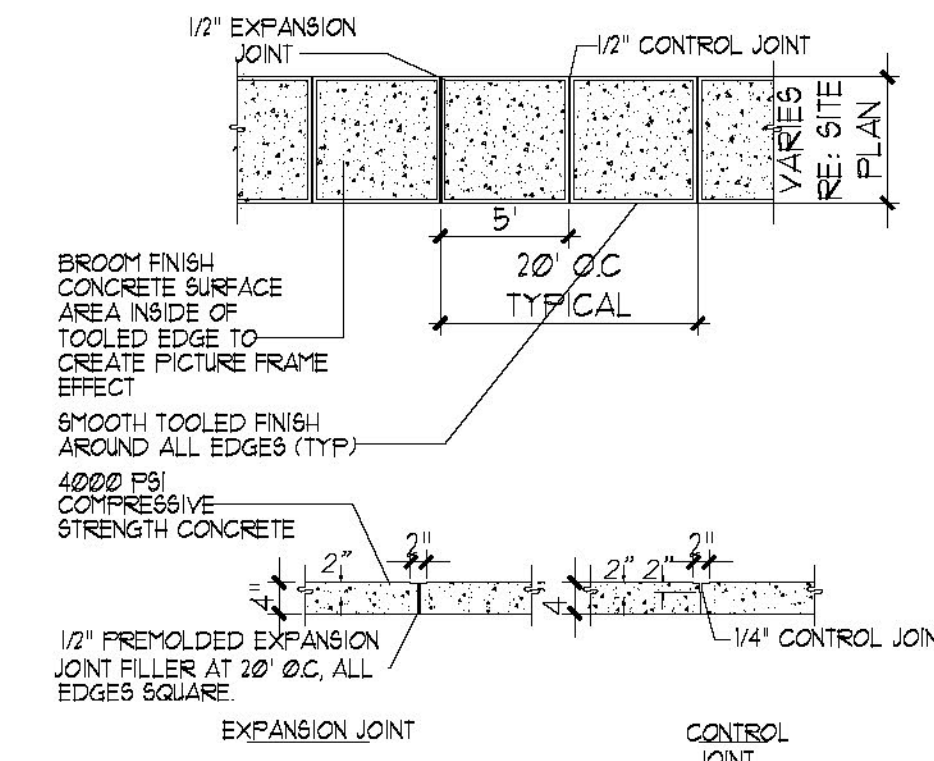
**8 SIDEWALK WITH TURNDOWN CURB SEC.**  
N.T.S.



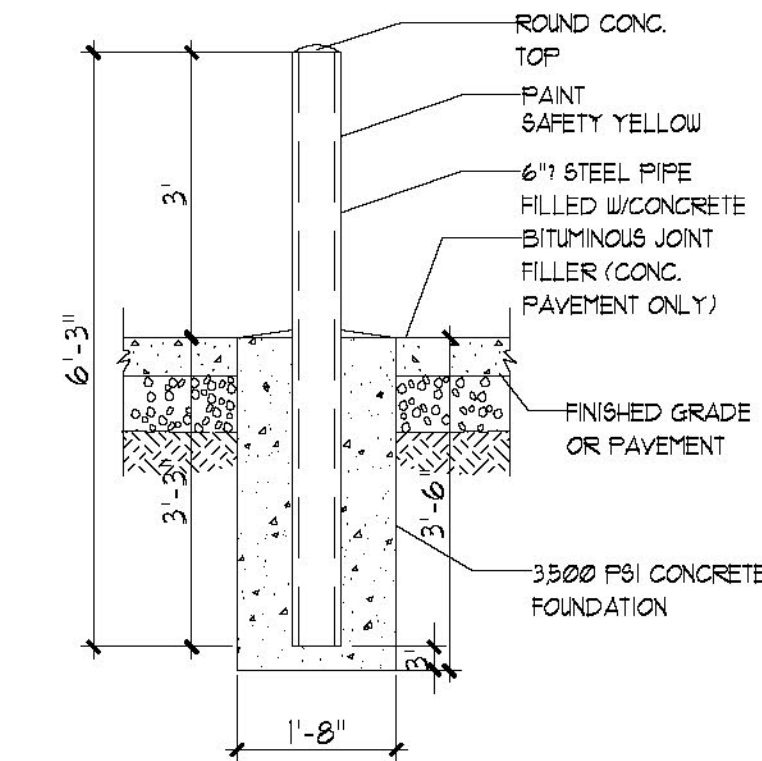
**5 END ISLAND WITH WALK RAMP**  
N.T.S.



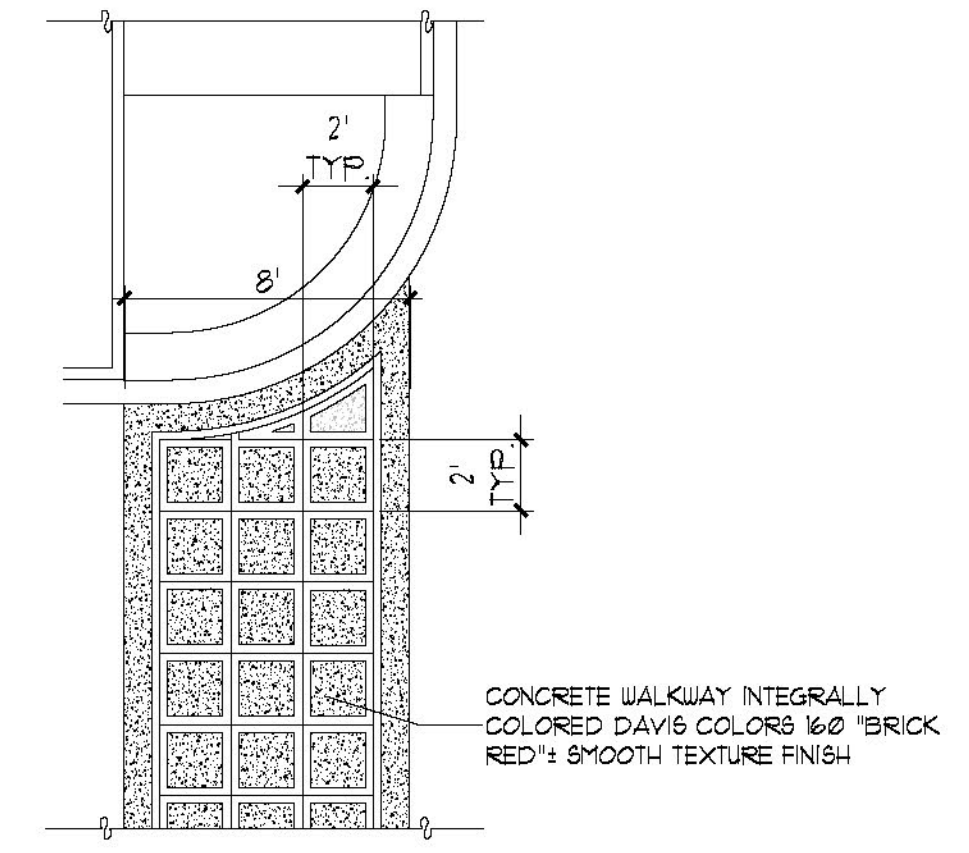
**9 ISLAND DETAIL**  
N.T.S.



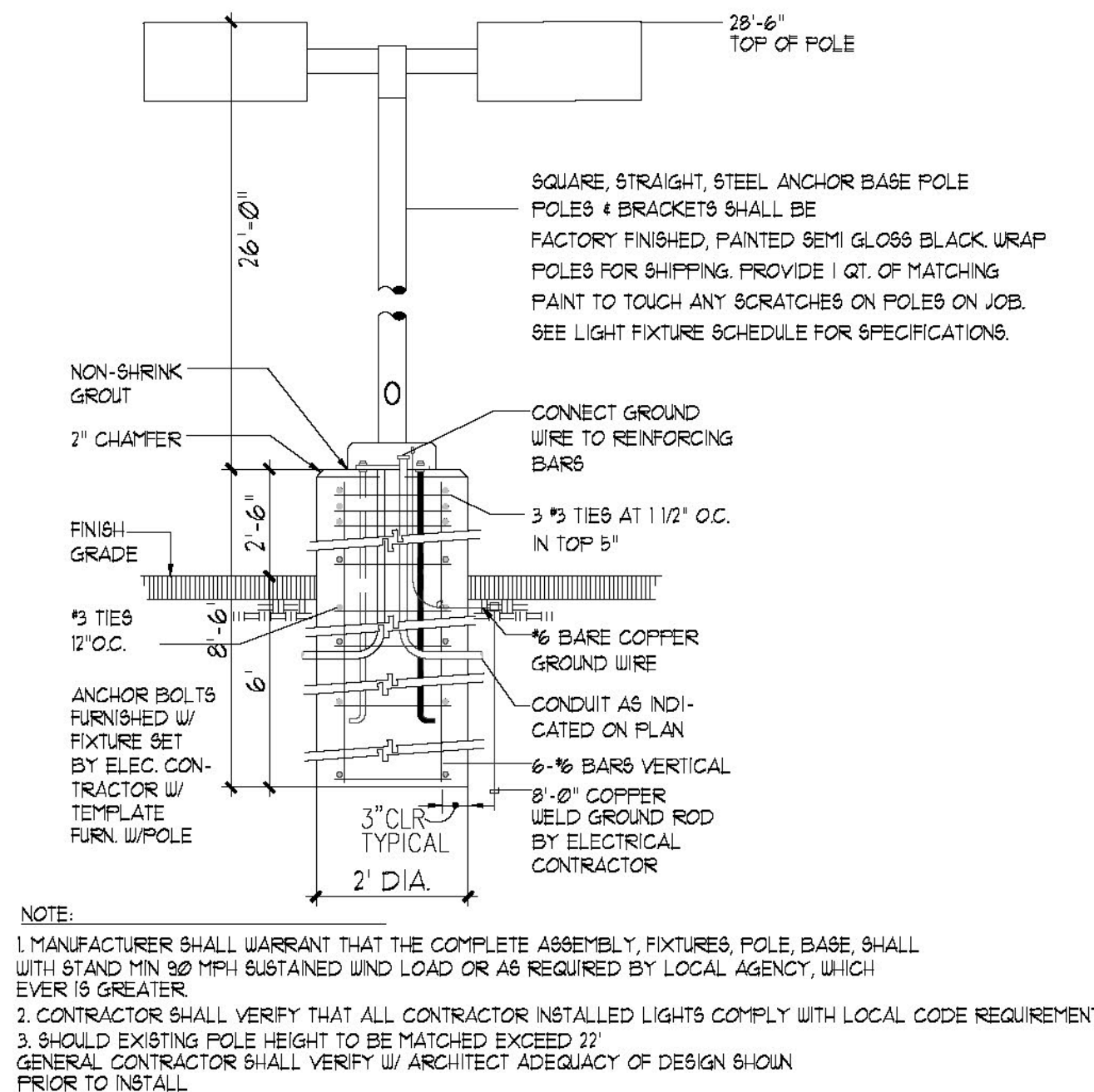
**7 TYPICAL SIDEWALK**  
N.T.S.



**4 BOLLARD DETAIL**  
N.T.S.




**6 TYPICAL CONC. CROSSWALK**  
N.T.S.



**3 LIGHT POLE DETAIL**  
N.T.S.

REV	DATE	BY	REVISION
1			
2			
3			
4			
5			

**MODULUS ARCHITECTS**  
220 COPPER AVE. N.W. SUITE 350  
ALBUQUERQUE, NEW MEXICO 87102  
PHONE (505) 338-1499 FAX (505) 338-1498



PROJECT: COTTONWOOD MALL  
10000 Coors Blvd. NE  
ALBUQUERQUE, NEW MEXICO 87114

JOB NO.: Cottonwood P-14  
PROJECT MANAGER: DEVIN NEUTEN  
DRAWN BY: Cottonwood P-14  
DATE: 07.15.2019  
SCALE: AS NOTED

DATE: 07.15.2019  
SCALE: AS NOTED



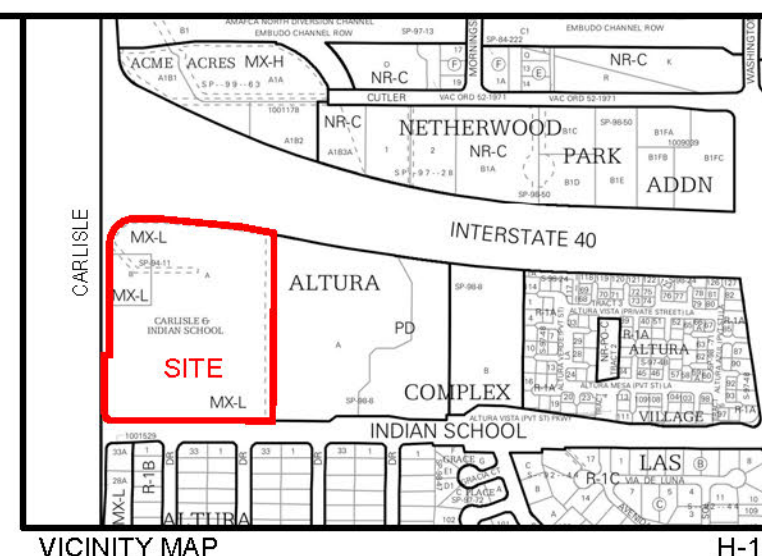
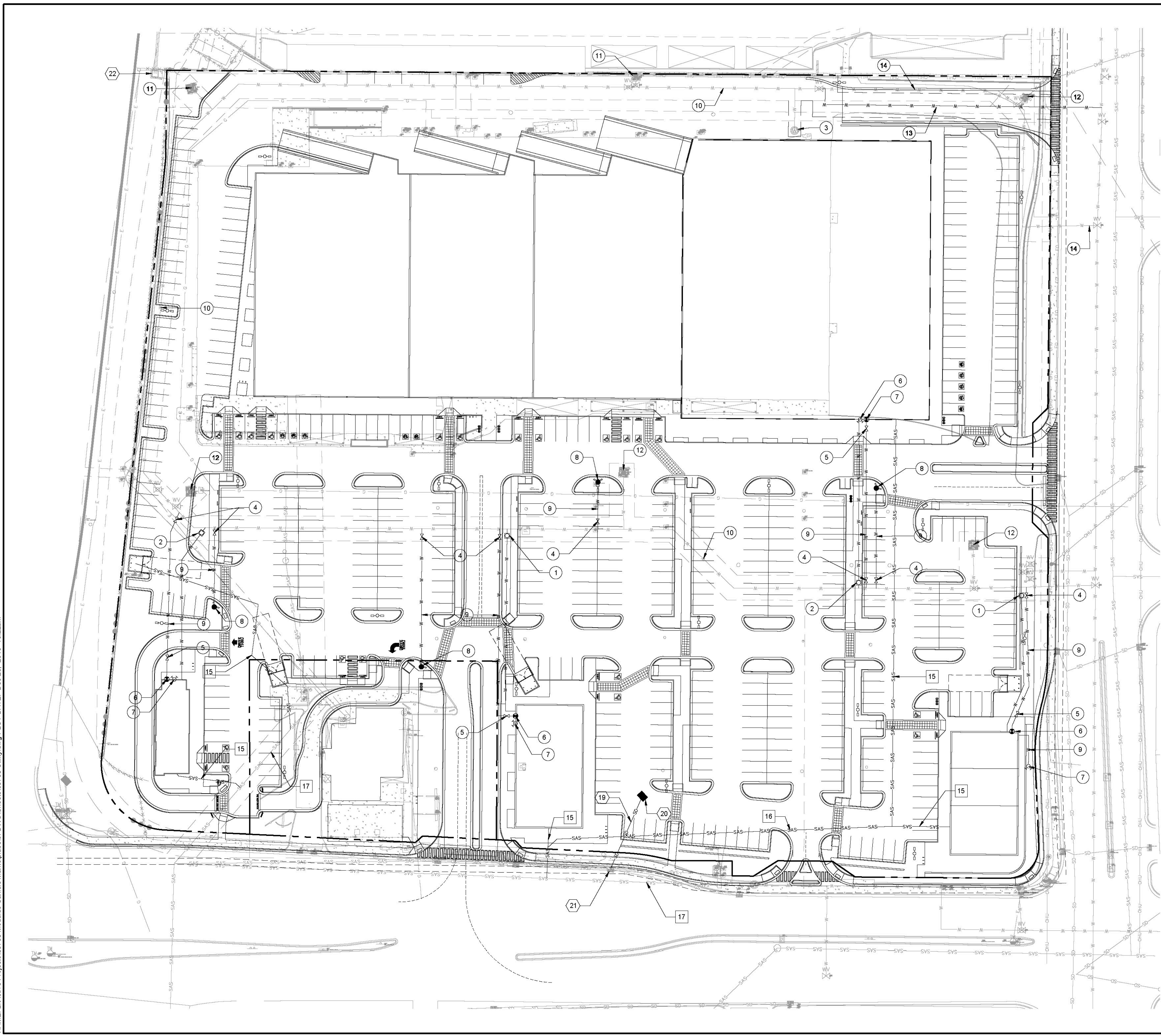








NAME: L:\Active Projects\03739 Modulus Carlisle Marketplace3\_DWG\Sheets\03739 Utility.dwg PLOT DATE: Dec 20, 2019 10:22am



**KEYED NOTES**

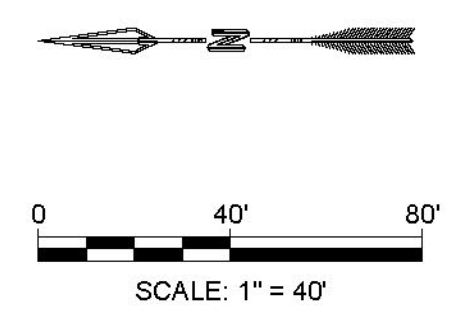
- 1 INSTALL 1" WATER SERVICE
- 2 INSTALL 1 1/2" WATER SERVICE
- 3 EXISTING WATER SERVICE
- 4 INSTALL PUBLIC 6" GATE VALVE & VALVE BOX
- 5 INSTALL PRIVATE 6" GATE VALVE & VALVE BOX
- 6 INSTALL WALL INDICATOR VALVE
- 7 INSTALL FIRE DEPARTMENT CONNECTION
- 8 INSTALL PRIVATE FIRE HYDRANT
- 9 INSTALL PRIVATE 6" WATER LINE
- 10 EXISTING 10" PVC PUBLIC WATER LINE
- 11 EXISTING PUBLIC FIRE HYDRANT TO REMAIN
- 12 EXISTING PUBLIC FIRE HYDRANT TO BE REMOVED
- 13 INSTALL 10" PVC PUBLIC WATER LINE
- 14 EXISTING 10" PVC PUBLIC WATER LINE TO BE REMOVED
- 15 INSTALL 4" SEWER SERVICE
- 16 INSTALL 6" SEWER SERVICE
- 17 EXISTING PUBLIC SEWER
- 18 INSTALL SEWER MANHOLE (NOT USED)
- 19 INSTALL STORM DRAIN PIPE
- 20 INSTALL DROP INLET
- 21 CONNECT TO EXISTING DROP INLET
- 22 EXISTING DROP INLET

**LEGEND**

- PROPERTY LINE
- WATER LINE
- SAS-SAS SANITARY SEWER LINE
- SD-SD-SD STORM DRAIN
- EASEMENT
- ⊗ WATER VALVE
- ⊠ WATER METER
- FIRE HYDRANT
- ⊕ POST / WALL INDICATOR VALVE
- ⊕ FIRE DEPARTMENT CONNECTION
- ⊙ SANITARY SEWER MANHOLE
- DROP INLET

**GENERAL NOTE**

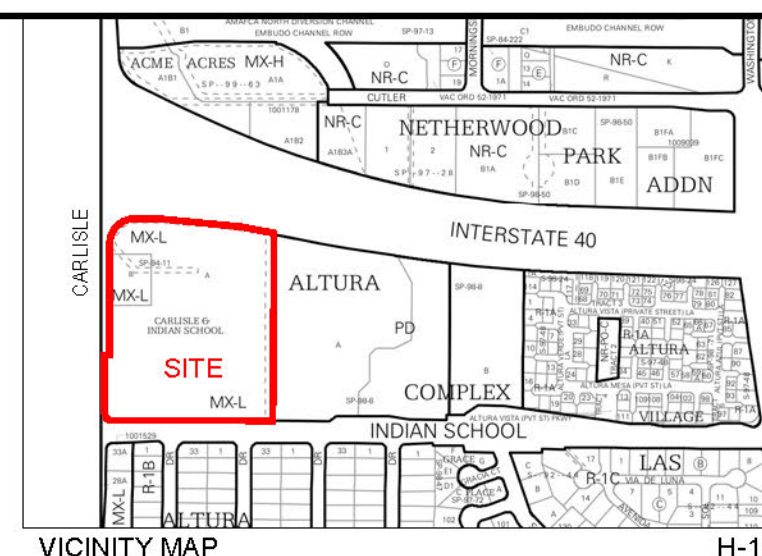
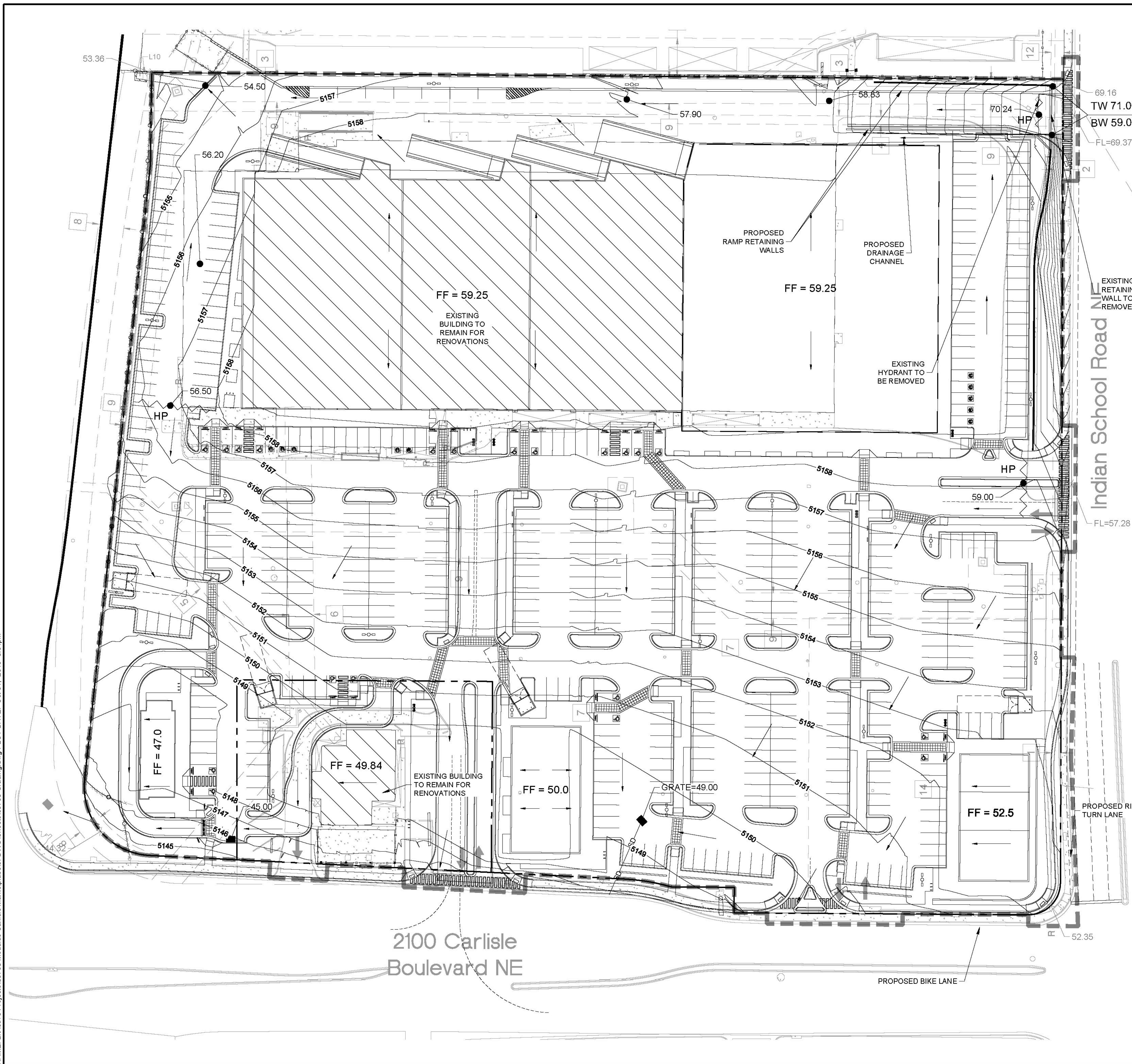
1. TYPE RBPA BACKFLOW PREVENTERS FOR ALL PROPOSED PRIVATE WATER LINES WILL BE PROVIDED INTERNAL TO EACH PROPOSED BUILDING PER COA STD DTL 2385. THE BACKFLOW PREVENTERS WILL BE THE SAME SIZE AS THE TAP/CONNECTION AT THE MAIN LINE.



<p>DESIGNED JS DRAWN JS CHECKED SG DATE 12.20.2019</p> <p>RESPEC 5571 JEFFERSON STREET, SUITE 101 ALBUQUERQUE, NM 87106 WWW.RESPEC.COM 505.253.9716</p>	<p>REVISION</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> </table>								
<p>STAMP</p>									
<p>THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED.</p>									
<p>PROJECT NAME:</p> <p>CARLISLE MARKETPLACE</p>	<p>SHEET TITLE:</p> <p>CONCEPTUAL UTILITY</p>								
<p>SUBMITTED FOR:</p> <p>DRB SITE PLAN</p>	<p>SHEET NUMBER:</p> <p>C-300</p>								



NAME: L:\Active Projects\03739 Modulus Carlisle Marketplace3\_DWG\Sheets\03739 Grading.dwg PLOT DATE: Oct 31, 2019 8:01pm



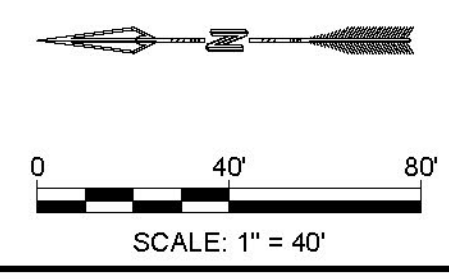
NOTE:  
1. THE EXISTING PARKING LOT AND BUILDINGS WILL BE DEMOLISHED UNLESS OTHERWISE SPECIFIED ON THIS PLAN.  
2. PROPOSED PUBLIC INFRASTRUCTURE WILL BE INCLUDED ON PUBLIC WORK ORDER

ACS Monument "12-J16"  
NAD 1983 CENTRAL ZONE  
X=1534440.644  
Y=1492190.324  
Z=5160.901 (NAVD 1988)  
G=0.999669892  
Mapping Angle=-0°12'13.45"

- LEGEND**
- PROPERTY LINE
  - FLOW ARROW
  - ~ HIGH POINT (HP)
  - GRADING LIMITS
  - XX.XX PROPOSED SPOT ELEVATIONS
  - XX.XX EXISTING SPOT ELEVATIONS
  - EXISTING CONTOUR LINES
  - 5280 PROPOSED CONTOUR LINES

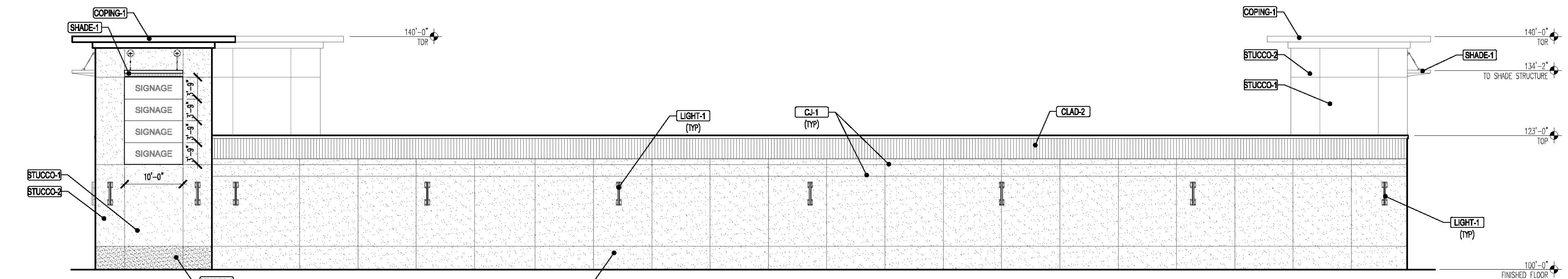
**EASEMENT NOTES**

- 1 EXISTING 7' PNM EASEMENT (12/29/1969, BK. MISC. 159, PG. 619) AND AS SHOWN ON PLAT (3/3/1994, 94C-65)
- 2 EXISTING 5' X 58.5' P.U.E. (6/6/1966, D-805, FOLIO 492-493) AND AS SHOWN ON PLAT (3/3/1994, 94C-65)
- 3 WEST 1/2 OF VACATED SOLANO AVENUE NE RETAINED AS P.U.E. PER VACATION ORDINANCE #2742 DATED 10/12/1965 AND AS SHOWN ON PLAT (3/3/1994, 94C-65)
- 4 EXISTING 7' X 500' P.U.E. (6/6/1966, BK. D805, PG. 492-493) AND AS SHOWN ON PLAT (3/3/1994, 94C-65)
- 5 EXISTING 7' UNDERGROUND PNM EASEMENT (3/3/1994, 94C-65)
- 6 EXISTING 20' UTILITY EASEMENT (3/3/1994, 94C-65)
- 7 EXISTING PERMANENT MUTUAL NON-EXCLUSIVE RECIPROCAL INGRESS, EGRESS AND CROSS-PARKING EASEMENT ACROSS TRACTS A AND B FOR THE USE OF PARKING AREAS, DRIVEWAYS, COMMON UTILITIES AND OTHER COMMON AREAS PER PARKING AGREEMENT (3/19/1971, BK. MISC. 208, PG. 117), RE-RECORDED (12/21/1971, BK. MISC. 241, PG. 404) AND AGREEMENT AND DECLARATION OF EASEMENT AND COVENANTS (8/23/2000, BK. A9, PG. 2693), BLANKET IN NATURE
- 8 EXISTING 20' PERPETUAL P.U.E. AND RIGHT-OF-WAY EASEMENT (11/8/1965, BK. D-790, PG. 7-9) AND AS SHOWN ON PLAT (3/3/1994, 94C-65)
- 9 EXISTING 20' PERMANENT PUBLIC WATERLINE EASEMENT (8/30/2001, BK. A24, PG. 647, DOC. NO. 2001102359)
- 10 EAST 1/2 OF VACATED SOLANO AVENUE NE RETAINED AS P.U.E. PER VACATION ORDINANCE #2742 DATED 10/12/1965
- 11 EXISTING 7' PRIVATE PNM AND US WEST COMMUNICATIONS EASEMENT FOR TRACT A, ALTURA COMPLEX (3/24/1980, BK. 761, PAGE 543, DOC. NO. 8017867)
- 12 EXISTING 10' P.U.E. (12/30/1997, 97C-368)
- 13 EXISTING 7' P.U.E. (3/23/1972, BK. MISC. 253, PG. 556-558) AND AS SHOWN ON PLAT (12/30/1997, 97C-368)
- 14 LEASE AREA WITHIN TRACT A (8/23/2000, BK. A9, PG. 2693, DOC. NO. 2000083026)



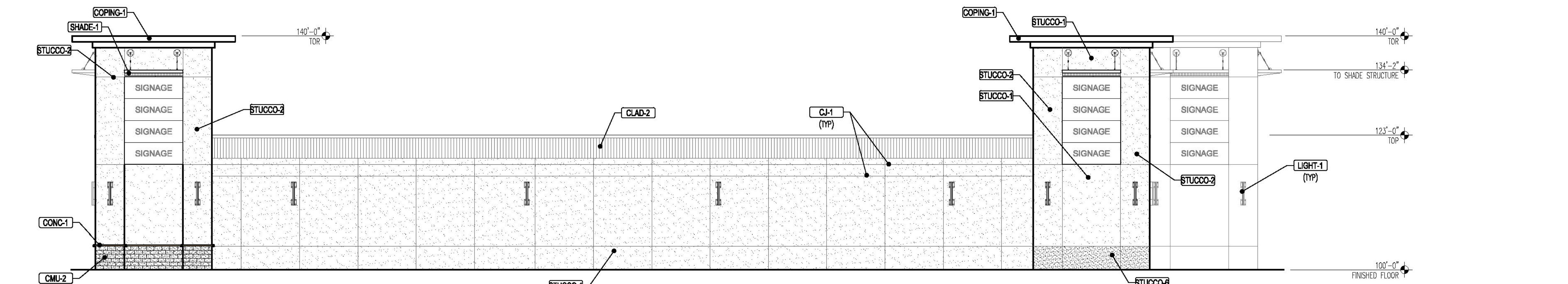
DESIGNED JS DRAWN JS CHECKED SG DATE 10.31.2019	REVISION 1 2
THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED.	
PROJECT NAME: CARLISLE MARKETPLACE	SHEET TITLE: CONCEPTUAL GRADING
SUBMITTED FOR: DRB SITE PLAN	SHEET NUMBER: C-200





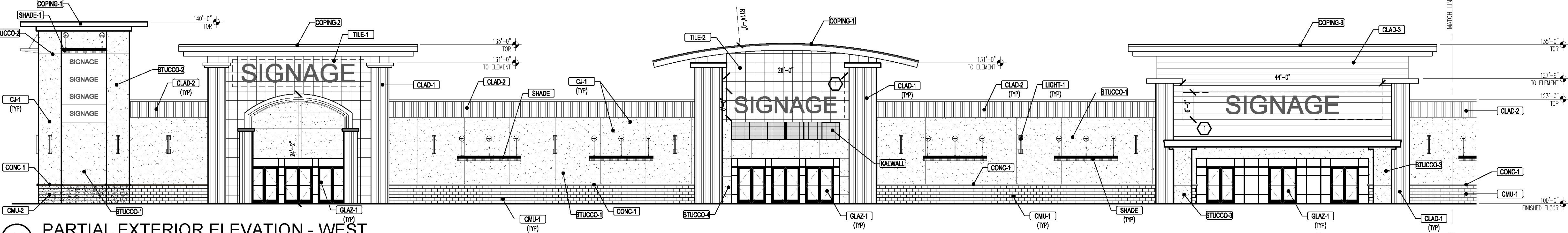
**D1** PARTIAL EXTERIOR ELEVATION - NORTH

SCALE: 3/32" = 1'-0"



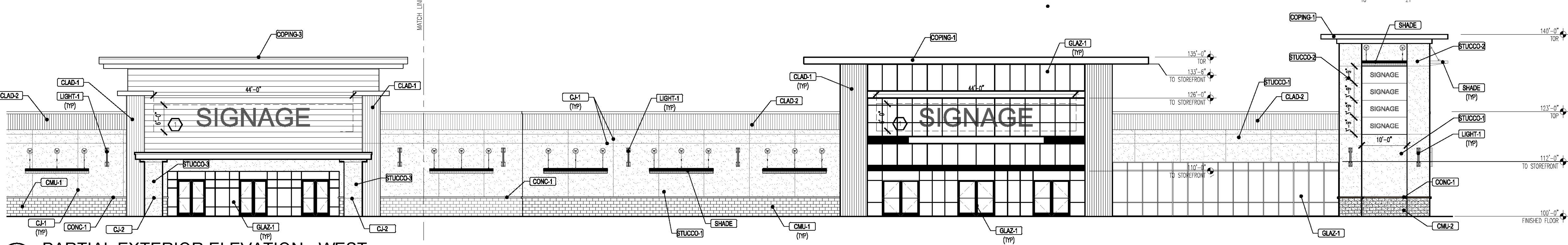
**C1** PARTIAL EXTERIOR ELEVATION - NORTH

SCALE: 3/32" = 1'-0"



**B1** PARTIAL EXTERIOR ELEVATION - WEST

SCALE: 3/32" = 1'-0"



**A1** PARTIAL EXTERIOR ELEVATION - WEST

SCALE: 3/32" = 1'-0"

EXTERIOR MATERIALS	
CMU-1	8" SPLIT-FACE CMU BLOCK STANDARD GRAY
CMU-2	8" BURNISHED CMU BLOCK DESERT BROWN
STUCCO-1	2-COAT STUCCO SYSTEM COLOR SHERWIN WILLIAMS #SW6098 PACER WHITE
STUCCO-2	2-COAT STUCCO SYSTEM COLOR SHERWIN WILLIAMS #SW7051 ANALYTICAL GREY
STUCCO-3	2-COAT STUCCO SYSTEM COLOR SHERWIN WILLIAMS #SW6368 BAKELITE GOLD
STUCCO-4	2-COAT STUCCO SYSTEM COLOR SHERWIN WILLIAMS #SW6122 CAMELBACK
STUCCO-5	2-COAT STUCCO SYSTEM COLOR SHERWIN WILLIAMS #SW7027 WELL BRED BROWN
STUCCO-6	2-COAT STUCCO SYSTEM COLOR SHERWIN WILLIAMS #SW7046 ANONYMOUS
COPING-1	GALVANIZED METAL COPING SHERWIN WILLIAMS #SW7046 ANONYMOUS
COPING-2	GALVANIZED METAL COPING SHERWIN WILLIAMS #SW7046 ANONYMOUS
COPING-3	GALVALUME-SILVER
CLAD-1	COMPOSITE CLADDING BY FIBERON COLOR: SAPELE CLADDING
CLAD-2	COMPOSITE CLADDING BY FIBERON COLOR: CUMARA CLADDING
CLAD-3	COMPOSITE CLADDING BY FIBERON COLOR: MORA CLADDING
CONC-1	CONCRETE WATER TABLE SILL COLOR: STANDARD GRAY
GLAZ-1	ALUMINUM STOREFRONT SYSTEM WITH CLEAR LW-E GLASS COLOR: ANODIZED BRONZE
TILE-1	TILE VENEER - METALWOOD ARGENTO BY ARIZONA TILE
TILE-2	TILE VENEER - CREMA VOSSICONE BY ARIZONA TILE
LIGHT-1	DECORATIVE SURFACE MOUNTED LIGHT FIXTURE COLOR TO MATCH STOREFRONT FRAME
KALWALL	KALWALL TRANSLUCENT PANELS
CJ-1	1/4" STUCCO CONTROL JOINT
CJ-2	3/4" ALUMINUM REVEAL
SHADE	SHADE STRUCTURE COLOR: FLAT BLACK

**KEYED NOTES**

- EXTERIOR SIGNAGE. NOTES SIGNAGE SHALL BE PROVIDED AND INSTALLED BY TENANT UNDER A SEPARATE PERMIT.

REV	DATE	BY	REVISION
1			
2			
3			
4			
5			

**MODULUS ARCHITECTS**  
 100 SUN AVENUE N.E., Ste 305  
 ALBUQUERQUE, NEW MEXICO 87109  
 PHONE (505) 338-1499 FAX (505) 338-1498

**EXTERIOR ELEVATIONS**

PROJECT TITLE: **KMART SITE DEVELOPMENT**  
 2100 CARLSLE BLVD. NE  
 ALBUQUERQUE, NEW MEXICO 87110

PROJECT MANAGER: **Devlin Nguyen**

JOB NO.: **Kmart Dwp**

DRAWN BY: **DTN**

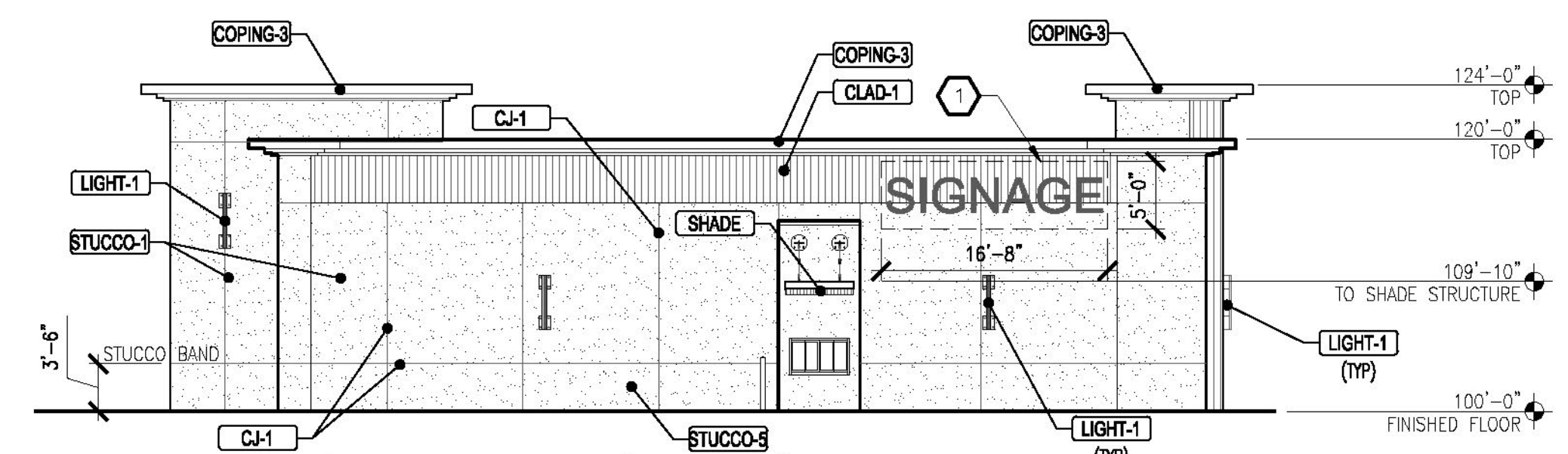
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DATE: **06.28.2019**

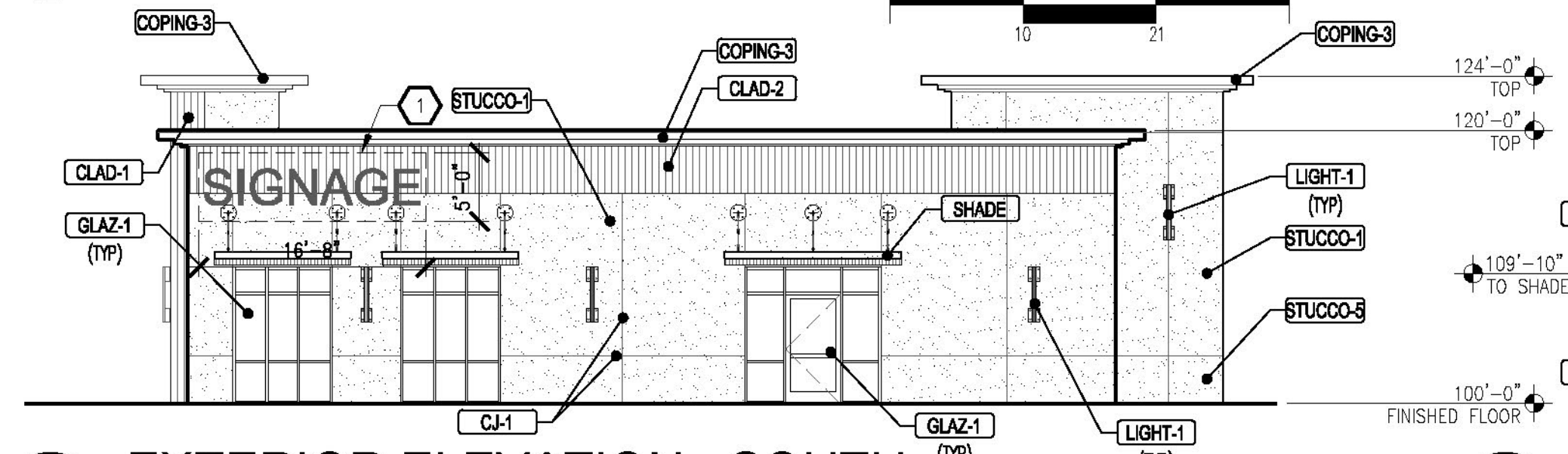
SCALE: **AS NOTED**

SHEET NO.: **A201**

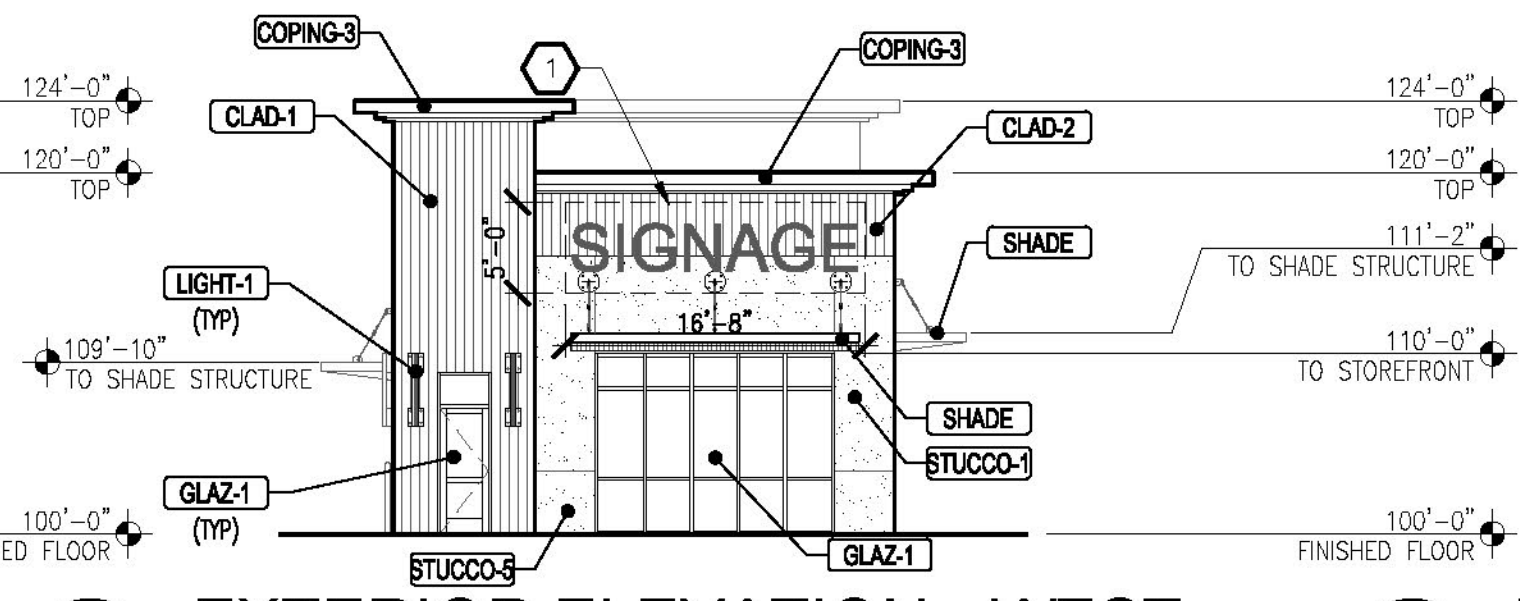




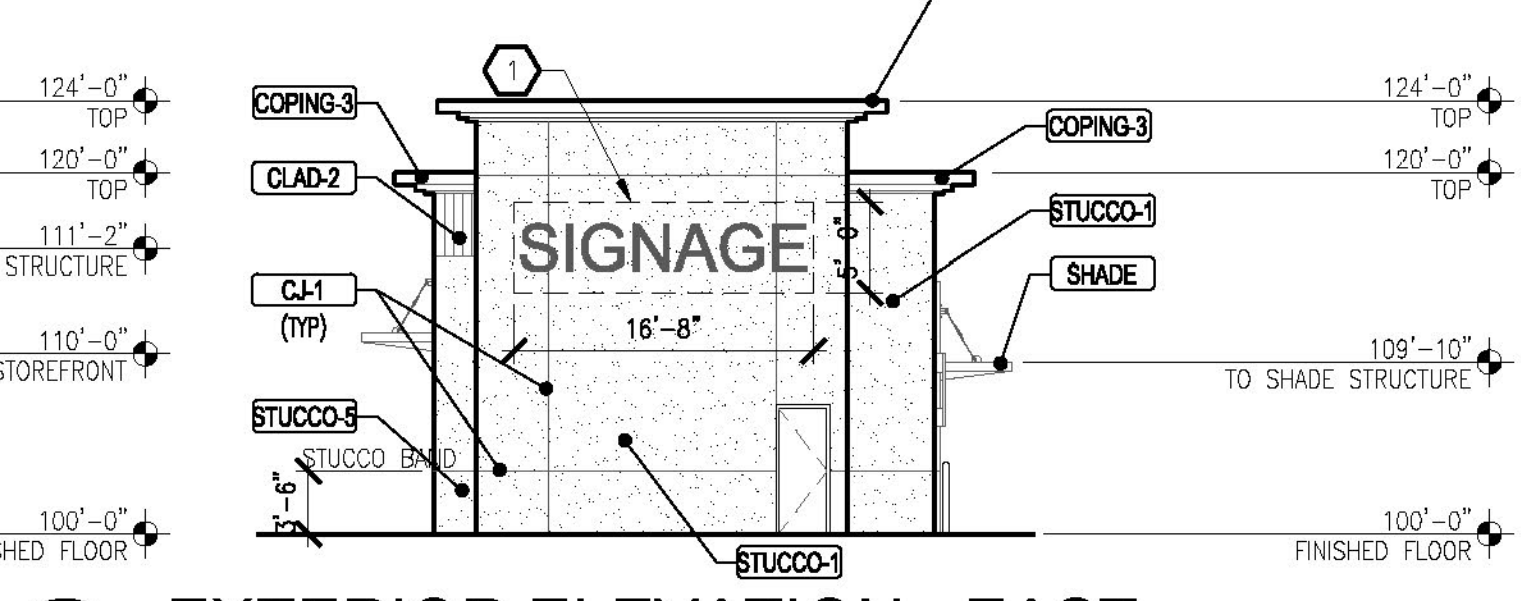
**D1** EXTERIOR ELEVATION - NORTH  
SCALE: 3/32" = 1'-0"



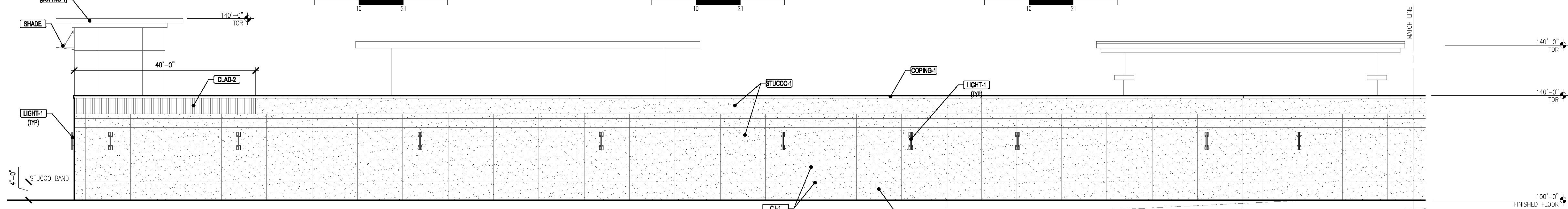
**C1** EXTERIOR ELEVATION - SOUTH  
SCALE: 3/32" = 1'-0"



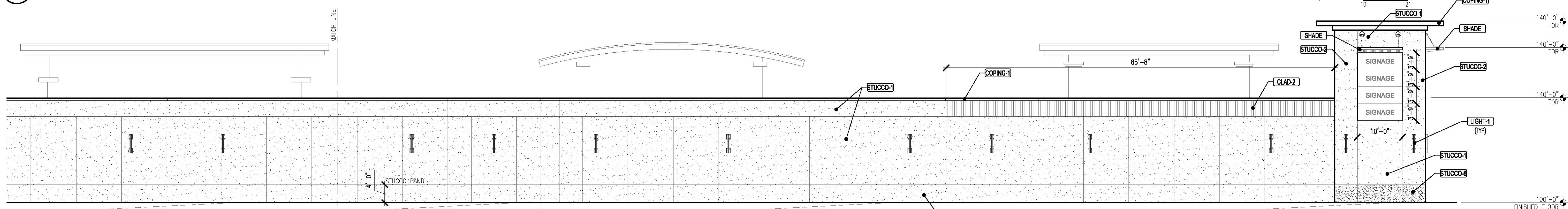
**C2** EXTERIOR ELEVATION - WEST  
SCALE: 3/32" = 1'-0"



**C3** EXTERIOR ELEVATION - EAST  
SCALE: 3/32" = 1'-0"



**B1** PARTIAL EXTERIOR ELEVATION - EAST  
SCALE: 3/32" = 1'-0"



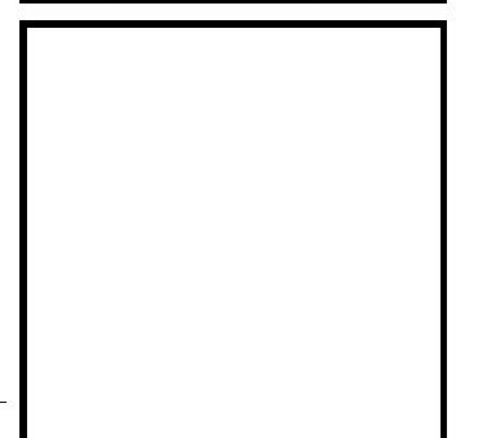
**A1** PARTIAL EXTERIOR ELEVATION - EAST  
SCALE: 3/32" = 1'-0"

EXTERIOR MATERIALS	
CMU-1	8" SPLIT-FACE CMU BLOCK STANDARD GRAY
CMU-2	8" BURNISHED CMU BLOCK DESERT BROWN
STUCCO-1	2-COAT STUCCO SYSTEM COLOR SHERWIN WILLIAMS #SW6098 PACER WHITE
STUCCO-2	2-COAT STUCCO SYSTEM COLOR SHERWIN WILLIAMS #SW7051 ANALYTICAL GREY
STUCCO-3	2-COAT STUCCO SYSTEM COLOR SHERWIN WILLIAMS #SW7027 WELL BRED BROWN
STUCCO-4	2-COAT STUCCO SYSTEM COLOR SHERWIN WILLIAMS #SW7046 ANONYMOUS
COPING-1	GALVANIZED METAL COPING SHERWIN WILLIAMS #SW7046 ANONYMOUS
COPING-2	GALVANIZED METAL COPING SHERWIN WILLIAMS #SW7046 ANONYMOUS
COPING-3	GALVALUME-SILVER
CLAD-1	COMPOSITE CLADDING BY FIBERON COLOR: SAPELE CLADDING
CLAD-2	COMPOSITE CLADDING BY FIBERON COLOR: CUMARA CLADDING
GLAZ-1	ALUMINUM STOREFRONT SYSTEM WITH CLEAR LW-E GLASS COLOR: ANODIZED BRONZE
LIGHT-1	DECORATIVE SURFACE MOUNTED LIGHT FIXTURE COLOR TO MATCH STOREFRONT FRAME
CJ-1	1/4" STUCCO CONTROL JOINT
SHADE	SHADE STRUCTURE COLOR: FLAT BLACK

**KEYED NOTES**  
1. EXTERIOR SIGNAGE. NOTES SIGNAGE SHALL BE PROVIDED AND INSTALLED BY TENANT UNDER A SEPARATE PERMIT.

REV	DATE	BY	REVISION
1			
2			
3			
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**MODULUS ARCHITECTS**  
100 SUN AVENUE N.E., Ste 305  
ALBUQUERQUE, NEW MEXICO 87109  
PHONE (505) 338-1499 FAX (505) 338-1498

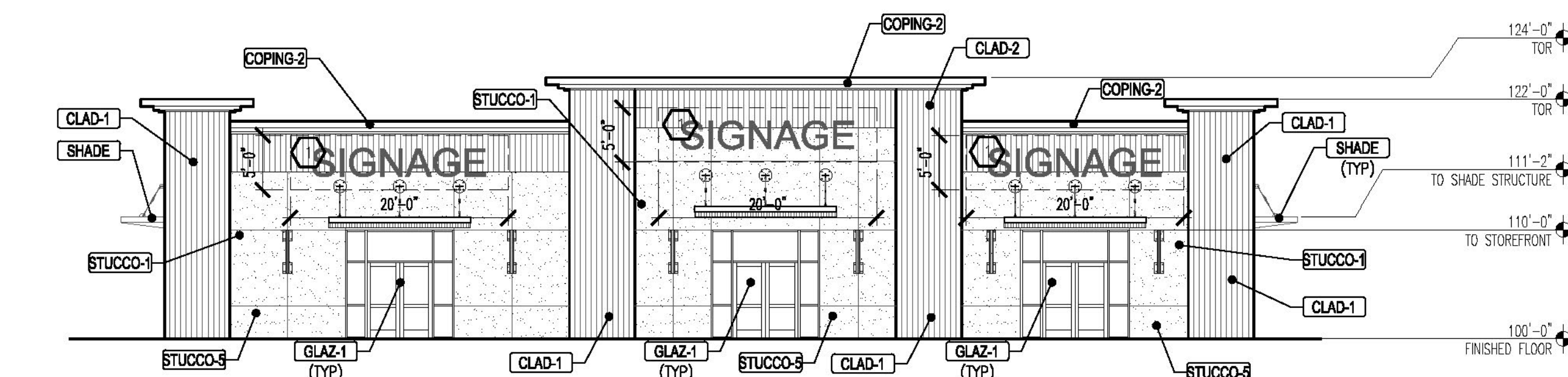


PROJECT TITLE	DATE	9988-
KMART SITE DEVELOPMENT	06.28.2019	
2100 CARLSLE BLVD. NE	SCALE	A202
ALBUQUERQUE, NEW MEXICO 87110	AS NOTED	
PROJECT MANAGER	DRAWN BY:	
Devon Nguyen	DITN	
JOB NO.		
Kmart Dwp		
SHEET TITLE		
EXTERIOR ELEVATIONS		

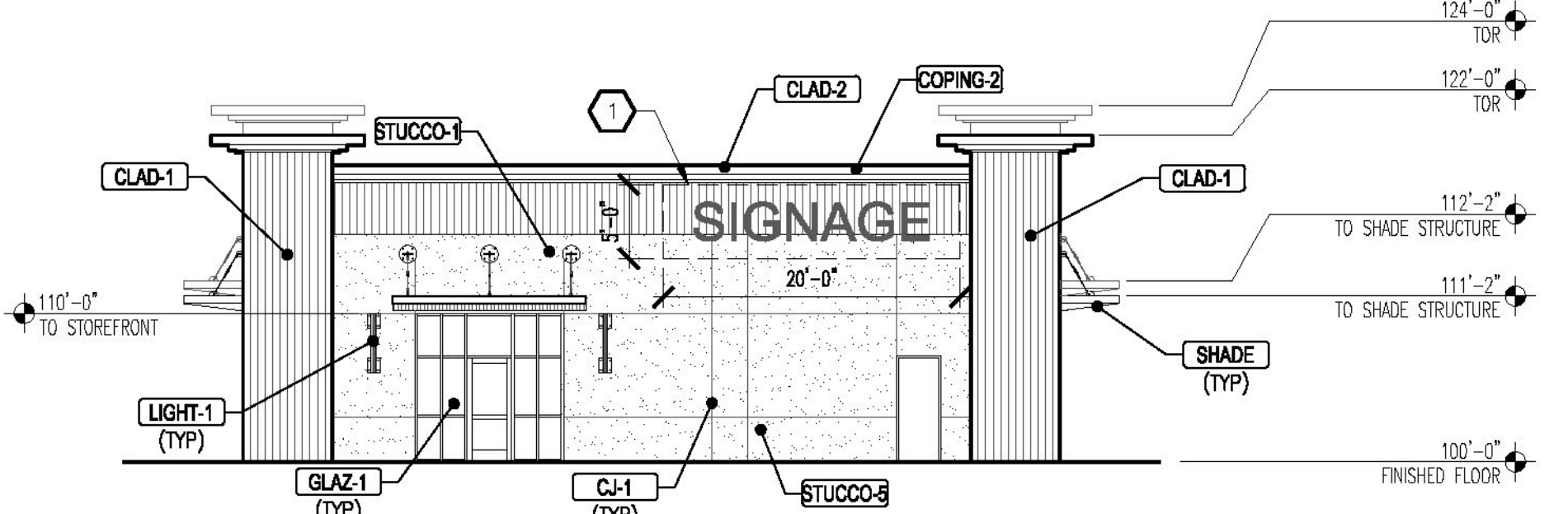


EXTERIOR MATERIALS	
STUCCO-1	2-COAT STUCCO SYSTEM COLOR SHERWIN WILLIAMS #SW6098 PACER WHITE
STUCCO-3	2-COAT STUCCO SYSTEM COLOR SHERWIN WILLIAMS #SW7027 WELL BRED BROWN
COPING-2	GALVANIZED METAL COPING SHERWIN WILLIAMS #SW7046 ANONYMOUS
CLAD-1	COMPOSITE CLADDING BY FIBERON COLOR: SAPELE CLADDING
CLAD-2	COMPOSITE CLADDING BY FIBERON COLOR: CUMARA CLADDING
GLAZ-1	ALUMINUM STOREFRONT SYSTEM WITH CLEAR LW-E GLASS COLOR: ANODIZED BRONZE
LIGHT-1	DECORATIVE SURFACE MOUNTED LIGHT FIXTURE COLOR TO MATCH STOREFRONT FRAME
CL-1	1/4" STUCCO CONTROL JOINT
SHADE	SHADE STRUCTURE COLOR: FLAT BLACK

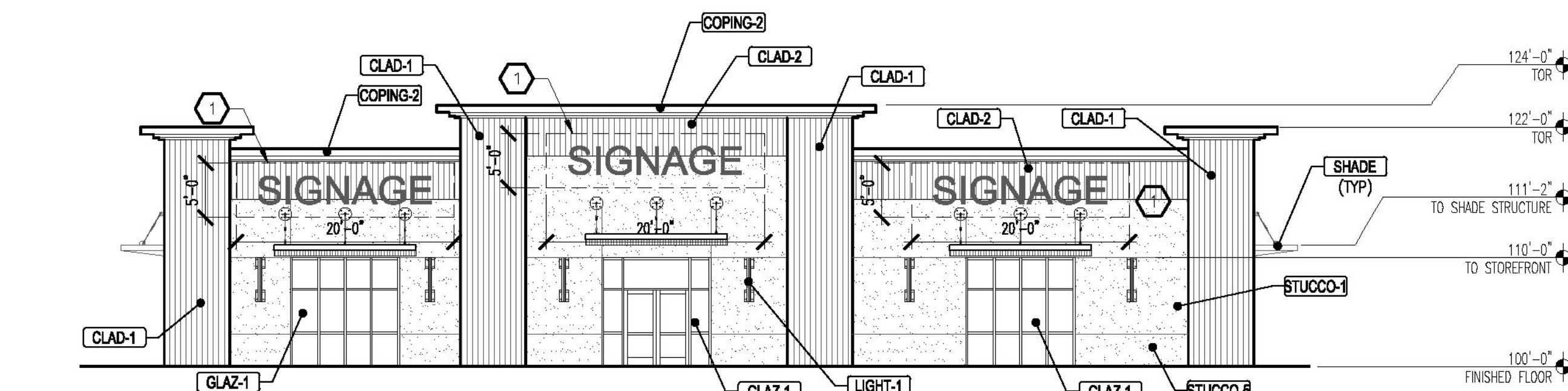
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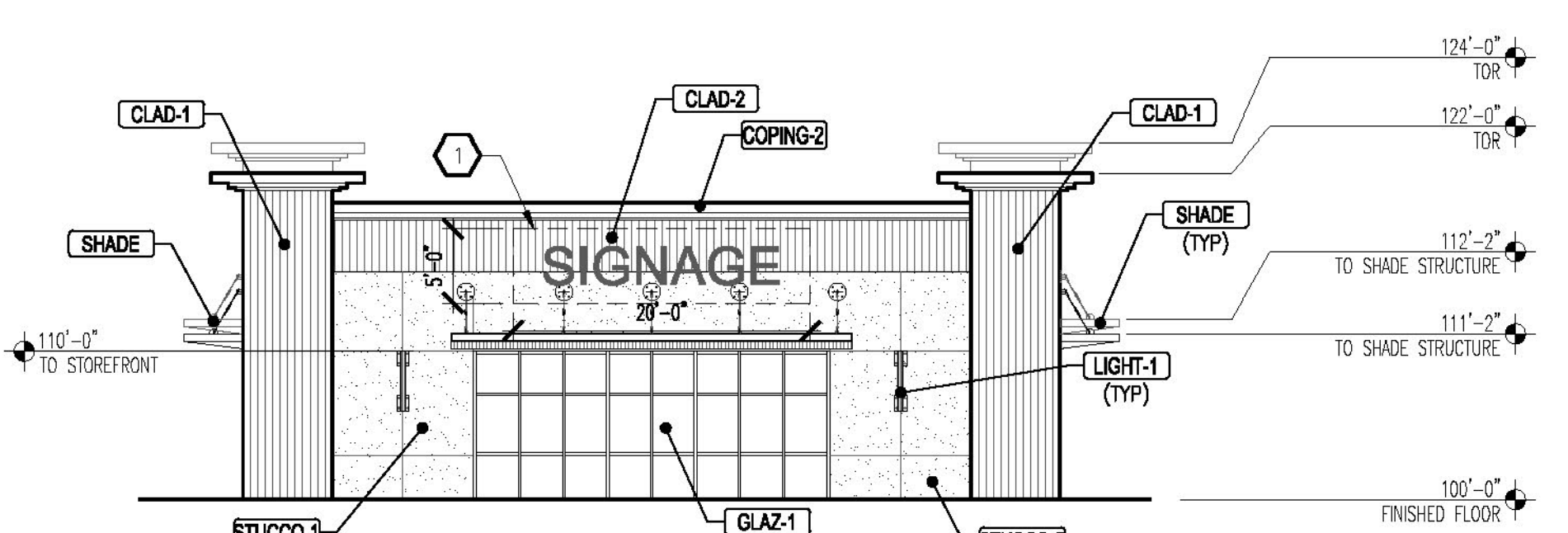
**D1** EXTERIOR ELEVATION - NORTH  
SCALE: 3/32" = 1'-0"



**D3** EXTERIOR ELEVATION - EAST  
SCALE: 3/32" = 1'-0"

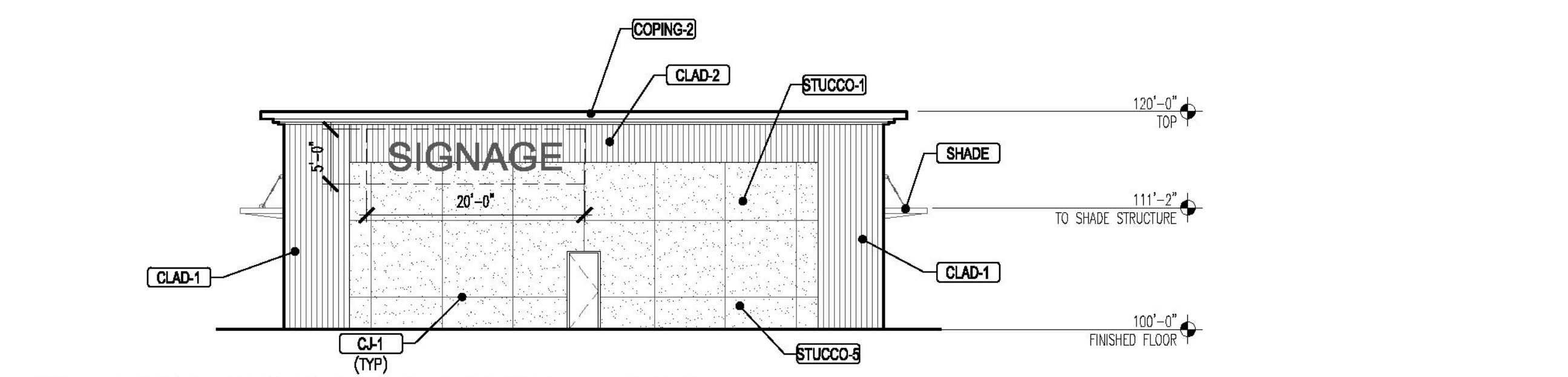


**C1** EXTERIOR ELEVATION - SOUTH  
SCALE: 3/32" = 1'-0"

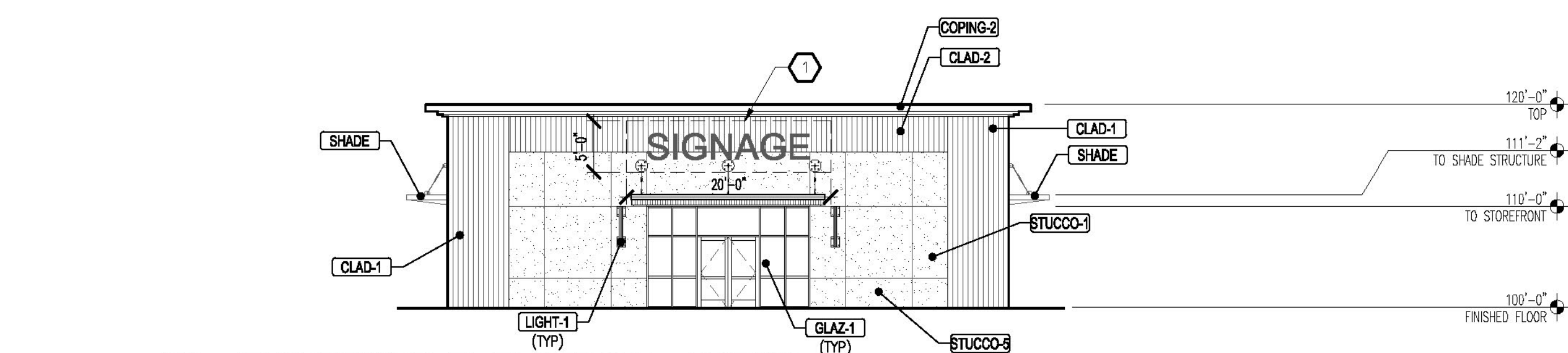


**C3** EXTERIOR ELEVATION - WEST  
SCALE: 3/32" = 1'-0"

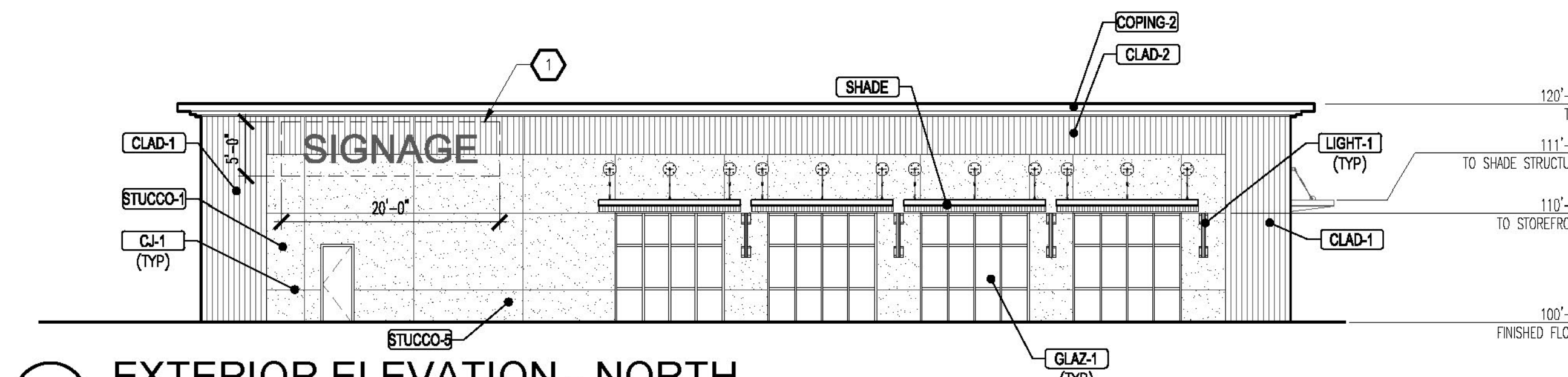
**KEYED NOTES**  
1. EXTERIOR SIGNAGE. NOTES SIGNAGE SHALL BE PROVIDED AND INSTALLED BY TENANT UNDER A SEPARATE PERMIT.



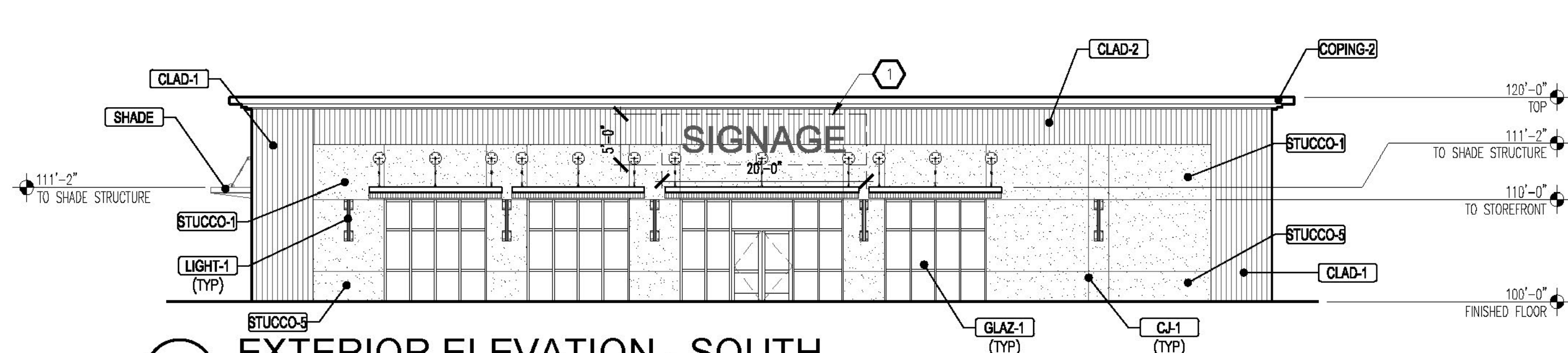
**B1** EXTERIOR ELEVATION - EAST  
SCALE: 3/32" = 1'-0"



**B5** EXTERIOR ELEVATION - WEST  
SCALE: 3/32" = 1'-0"



**A1** EXTERIOR ELEVATION - NORTH  
SCALE: 3/32" = 1'-0"



**A5** EXTERIOR ELEVATION - SOUTH  
SCALE: 3/32" = 1'-0"

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JOB NO.: **Kmart Dwp**

DRAWN BY: **DTN**

SHEET TITLE: **EXTERIOR ELEVATIONS**

DATE: **06.28.2019**

SCALE: **AS NOTED**

SHEET NO.: **A203**