

SITE DEVELOPMENT PLANS

SEVEN BREW

2100 CARLISLE BLVD
ALBUQUERQUE, NEW MEXICO

GENERAL NOTES:

- A. TOPOGRAPHIC BOUNDARY SURVEY, INCLUDING PROPERTY LINES, LEGAL DESCRIPTION, EXISTING UTILITIES, SITE TOPOGRAPHY WITH SPOT ELEVATIONS, OUTSTANDING PHYSICAL FEATURES AND EXISTING STRUCTURE LOCATIONS WAS PROVIDED BY THE FOLLOWING COMPANY, AS A CONTRACTOR TO THE SELLER/OWNER:
- TOPOGRAPHY & BOUNDARY: BLEW & ASSOCIATES
3825 N. SHILOH DRIVE
FAIETTEVILLE, AR 72703
PH: (479) 443-4506
- CEI ENGINEERING AND ITS ASSOCIATES WILL NOT BE HELD RESPONSIBLE FOR THE ACCURACY OF THE SURVEY OR FOR DESIGN ERRORS OR OMISSIONS RESULTING FROM SURVEY INACCURACIES.
- B. ALL PHASES OF SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE OWNER / DEVELOPER SITE WORK SPECIFICATIONS.
- C. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF EXISTING STRUCTURES, RELATED UTILITIES, PAVING, UNDERGROUND STORAGE TANKS AND ANY OTHER EXISTING IMPROVEMENTS AS NOTED. SEE SITE WORK SPECIFICATIONS.
- D. CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS. DISPOSAL WILL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
- E. THE GENERAL CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR AND SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
- F. **WARRANTY/DISCLAIMER:**
THE DESIGNS REPRESENTED IN THESE PLANS ARE IN ACCORDANCE WITH ESTABLISHED PRACTICES OF CIVIL ENGINEERING FOR THE DESIGN FUNCTIONS AND USES INTENDED BY THE OWNER AT THIS TIME. HOWEVER, NEITHER THE ENGINEER NOR ITS PERSONNEL CAN OR DO WARRANT THESE DESIGNS OR PLANS AS CONSTRUCTED EXCEPT IN THE SPECIFIC CASES WHERE THE ENGINEER INSPECTS AND CONTROLS THE PHYSICAL CONSTRUCTION ON A CONTEMPORANEOUS BASIS AT THE SITE.
- G. **SAFETY NOTICE TO CONTRACTOR:**
IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. ANY CONSTRUCTION OBSERVATION BY THE ENGINEER OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN, ON OR NEAR THE CONSTRUCTION SITE.
- H. ALL CONSTRUCTION IN STATE HIGHWAY DEPARTMENT RIGHT-OF-WAY SHALL BE COORDINATED WITH THE HIGHWAY DEPARTMENT RESIDENT ENGINEER.
- I. **RESIDENT ENGINEERING SERVICES:**
WHEN REQUESTED BY THE OWNER, RESIDENT ENGINEERING SERVICES SHALL BE PROVIDED BY THE ENGINEERS (ON A TIME AND FREQUENCY BASIS) ACCEPTABLE TO THE CITY ENGINEER FOR IMPROVEMENTS TO PUBLIC WATER MAINS, PUBLIC SEWER, AND CITY STREETS. AT THE COMPLETION OF CONSTRUCTION, THE ENGINEER SHALL CERTIFY THE CONSTRUCTION TO BE IN COMPLIANCE WITH THE PLANS AND SPECIFICATIONS. THIS WORK WILL BE AT THE OWNER/DEVELOPER'S DIRECT EXPENSE AND SHALL BE COORDINATED WITH CEI ENGINEERING ASSOCIATES, INC. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE RESIDENT ENGINEER OF ANY PRECONSTRUCTION / CONSTRUCTION CONFERENCES AND ANY PUBLIC CONSTRUCTION 24 HOURS PRIOR TO SAID ACTION.

NOTICE TO BIDDERS:

ALL QUESTIONS REGARDING THE PREPARATION OF THE GENERAL CONTRACTOR'S BID SHALL BE DIRECTED TO THE OWNER'S FIELD CONSTRUCTION MANAGER:

KEN BROCK
78 NEW MEXICO, LLC
PHONE: (316) 684-8100

SUBCONTRACTORS MUST DIRECT THEIR QUESTIONS THROUGH THE GENERAL CONTRACTOR, THE CONSULTING ARCHITECT AND/OR THE CONSULTING ENGINEER SHALL NOT BE CONTACTED DIRECTLY WITHOUT PRIOR AUTHORIZATION FROM THE OWNER/DEVELOPER.

FLOOD CERTIFICATION:

BY SCALED MAP LOCATION AND GRAPHICAL PLOTTING ONLY. THIS PROPERTY IS LOCATED IN ZONE "X" UNSHADED WHICH ARE AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN DETERMINED BY THE NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP FOR BERNALILLO COUNTY, NEW MEXICO
MAP NUMBER: 35001C0351H
MAP REVISED: 08/16/2012

APPROVED

CITY OF ALBUQUERQUE

DATE



VICINITY MAP

NOT TO SCALE

CEI CONTACT:

MICHAEL SERRATO
PROJECT MANAGER
2600 NE 11TH ST., SUITE 300
BENTONVILLE, AR 72712
MSERRATO@CEIENG.COM
PHONE: (479) 715-4425

OWNER:

78 NEW MEXICO, LLC
CONNER JOHNSON
8100 E. 32ND ST N
BLDG 300-100
WICHITA, KS 67226
CONNER@78BREWKS.COM
PHONE: (316) 806-0288

ARCHITECT:

GALLOWAY
CHRIS CARLSON
400 S EMPORIA, SUITE 300,
WICHITA, KS 67202
CHRISCARLSON@GALLOWAYUS.COM
PHONE: (316) 368-5444



Know what's below.
Call before you dig.



PLAN INDEX:

- C0.0 COVER SHEET
C1.0 DEMOLITION PLAN
C2.0 SITE PLAN
C3.0 GRADING PLAN
C4.0 EROSION CONTROL PLAN
C5.0 PRE MAP
C5.1 POST MAP
C6.0 UTILITY PLAN
C7.0 PAVING PLAN
C8.0 DETAIL SHEET I
C8.1 DETAIL SHEET II
C8.2 DETAIL SHEET III
L1.0 LANDSCAPE PLAN
L1.1 LANDSCAPE NOTES

ASSOCIATED PLANS:

- SURVEY
1 OF 2 ALTA/ACSM SURVEY
2 OF 2 ALTA/ ACSM SURVEY

PLANNING & ZONING DEPARTMENT
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
600 2ND NW
ALBUQUERQUE, NM 87102
ALAN VARELA
PHONE: (505) 924-3860
EMAIL: AVARELA@CABQ.GOV

BUILDING DEPARTMENT
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
600 2ND NW
ALBUQUERQUE, NM 87102
ALAN VARELA
PHONE: (505) 924-3860
EMAIL: AVARELA@CABQ.GOV

ENGINEERING DEPARTMENT
CITY OF ALBUQUERQUE MUNICIPAL DEVELOPMENT DEPARTMENT
1 CIVIC PLZ NW CITY HALL 7 FLR
ALBUQUERQUE, NM 87102
JENNIFER TURNER, ID
PHONE: (505) 768-3830
EMAIL: JENNIFERTURNER@CABQ.GOV

STORMWATER
CITY OF ALBUQUERQUE MUNICIPAL DEVELOPMENT DEPARTMENT
1 CIVIC PLZ NW CITY HALL 7 FLR
ALBUQUERQUE, NM 87102
JENNIFER TURNER, ID
PHONE: (505) 768-3830
EMAIL: JENNIFERTURNER@CABQ.GOV

FIRE DEPARTMENT
ALBUQUERQUE FIRE RESCUE
11500 SUNSET GARDENS SW
ALBUQUERQUE, NM 87121
EMILY JARAMILLO
PHONE: (505) 768-9300
EMAIL: JFEIER@CABQ.GOV (PIC)

HEALTH DEPARTMENT
CITY OF ALBUQUERQUE ENVIRONMENTAL HEALTH DEPARTMENT
1 CIVIC PLZ NW CITY HALL 3 FLR
ALBUQUERQUE, NM 87102
PAUL ROGERS (DIRECTOR)
PHONE: (505) 768-2716
EMAIL: PROGRS@CABQ.GOV

WATER
ALBUQUERQUE WATER AUTHORITY
1441 MISSION AVE NE
ALBUQUERQUE, NM 87107
PHONE: (505) 942-3287
EMAIL: WESCUSTOMERSERVICE@ABCWUA.ORG

ELECTRIC
POWERING NEW MEXICO CUSTOMER INTERCONNECTION
4401 MASTHEAD ST NE CITY, STATE ZIP
ALBUQUERQUE, NM 87109
ROSARIO LOPEZ
PHONE: (505) 241-7744
EMAIL: ROSARIO.REYES@PNM.COM

NATURAL GAS
NEW MEXICO GAS COMPANY
7120 WYOMING BLVD NE SUITE 20
ALBUQUERQUE, NM 87109
RUBEN SOSA
PHONE: (505) 697-3118
EMAIL: RUBEN.SOSA@NMGCO.COM

SANITARY SEWER PROVIDER
CITY OF ALBUQUERQUE SOLID WASTE MANAGEMENT DEPARTMENT
4600 EDITH NE
ALBUQUERQUE, NM 87107
WILLIAM BILLY GALLEGOS
PHONE: (505) 761-8100
EMAIL: ABUKOSKI@CABQ.GOV (PIC)

DOT/TRAFFIC
NEW MEXICO DEPARTMENT OF TRANSPORTATION (DISTRICT 3)
7500 PAN AMERICAN FRWY NE
ALBUQUERQUE, NM 87109
PAUL BRASHER
PHONE: (505) 362-3632
EMAIL: PAUL.BRASHER@DOT.NM.GOV

TELEPHONE/INTERNET COMPANY
COMCAST
PHONE: (800) 391-3000



CEI ENGINEERING ASSOCIATES, INC.
2600 NE 11TH ST, SUITE 300
BENTONVILLE, AR 72712
PHONE: (479) 273-9472
FAX: (479) 273-0844

REVISION		
NO.	DESCRIPTION	DATE



SEVEN BREW
2100 CARLISLE BLVD
ALBUQUERQUE, NEW MEXICO

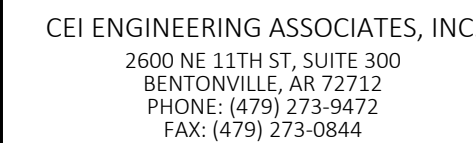


PROFESSIONAL OF RECORD	ISB
PROJECT MANAGER	MAS
DESIGNER	RM
CEI PROJECT NUMBER	34746
DATE	11/7/2025
REVISION	REV-0

COVER SHEET

SHEET TITLE
SHEET NUMBER

C0.0



REVISION		
NO.	DESCRIPTION	DATE



SEVEN BREW
22100 CARLISLE BLVD
ALBUQUERQUE, NEW MEXICO



PROFESSIONAL OF RECORD	ISE
PROJECT MANAGER	MAS
DESIGNER	RM
CEI PROJECT NUMBER	34746
DATE	11/7/2025
REVISION	REV-C

DEMOLITION PLAN

SHEET TITLE

SHEET NUMBER

C1.0










































SITE BENCHMARK
TEMPORARY BENCHMARK #1
 SET MAG-NAIL W/ WASHER
 "GAGNER NM 25206"
 ELEVATION: 5148.76'
 NORTHING: 1492985.44'
 EASTING: 1534556.18'

TEMPORARY BENCHMARK #2
SET MAG-NAIL W/ WASHER
 "GAGNER NM 25206"
 ELEVATION: 5147.26'
 NORTHING: 1493089.12'
 EASTING: 1534566.73'

LEGEND

EXISTING LEGEND

	FOUND MONUMENT AS NOTED	•	BUILDING
	SET MONUMENT AS NOTED	BHL	BUILDING HEIGHT LOCATION
	HANDICAP PARKING	EVPS	ELECTRIC VEHICLE PARKING SPACE(S)
	POWER POLE	FFE	FINISHED FLOOR ELEVATION
	TRANSMISSION LINE POLE	CPS	COVERED PICKUP ORDER PARKING SPACE(S)
	GUY WIRE ANCHOR	PPS	PARALLEL PARKING SPACE(S)
	LIGHT POLE	PS	STANDARD PARKING SPACE(S)
	ELECTRIC VAULT	(M)	MEASURED/CALCULATED DIMENSION
	TRAFFIC SIGNAL MANHOLE	(R)	RECORD DIMENSION PER DOC NO. 2023069202
	TRAFFIC VAULT	N/F	NOW OR FORMERLY
	SCREEN INTERCOM	CBW	CONCRETE BLOCK WALL
	ELECTRIC CABINET	CC	CART CORRAL
	ELECTRIC BOX	CI	CONCRETE ISLAND
	ELECTRIC METER	CMP	CONCRETE METAL PIPE
	ELECTRIC VEHICLE CHARGING STATION	CH	CONCRETE
	TELEPHONE PEDESTAL	CRW	CONCRETE RETAINING WALL
	FIBER OPTIC MANHOLE	OV	OVERHANG
	CONDUIT RISER	PVC	POLYVINYL CHLORIDE PIPE
	FIRE HYDRANT	TLB	TRUCK LOADING BAY
	WATER VALVE	BOC	BACK OF CURB
	IRRIGATION CONTROL VALVE	EA	EDGE OF ASPHALT
	WATER METER	EC	EDGE OF CONCRETE
	WATER VAULT	FL	FLOW LINE
	FIRE DEPARTMENT CONTROL VALVE	NG	NATURAL GROUND
	WATER UTILITY BOX	TA	TOP OF ASPHALT
	GAS VALVE RISER	TC	TOP OF CONCRETE
	SANITARY MANHOLE (SMHW)		BOUNDARY LINE
	CLEANOUT	-----	EASEMENT LINE
	GREASE TRAP	-----	SETBACK LINE
	STORM MANHOLE (DMHW)	R/W	RIGHT-OF-WAY LINE
	DRAIN GRATE W/ CURB INLET (DGCW)	-----	FENCE LINE
	DRAIN GRATE	-----	METAL GUARDRAIL
	UTILITY MANHOLE	-----	METAL HANDRAIL
	HEIGHT CLEARANCE POLE	-----	OVERHEAD POWER LINE
	PEDESTRIAN SIGNAL POLE	-----	OVERHEAD TRANSMISSION LINE
	SOLAR POWER POLE	-----	UNDERGROUND GAS LINE
	TRAFFIC SIGNAL POLE	-----	SANITARY SEWER LINE
	HIGHWAY SIGN	-----	STORM SEWER LINE
	SIGN	-----	NOT TO SCALE

GENERAL DEMOLITION NOTES

- A. THE SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE "7BREW STANDARD SITE WORK SPECIFICATIONS".
- B. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF THE EXISTING STRUCTURES, RELATED UTILITIES, PAVING, UNDERGROUND STORAGE TANKS AND ANY OTHER EXISTING IMPROVEMENTS AS NOTED. SEE SITE WORK SPECIFICATIONS.
- C. CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS. DISPOSAL WILL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
- D. THE GENERAL CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. THE CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGES TO THE ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
- E. ENGINEER'S NOTICE TO CONTRACTOR
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS THE FIELD. THE INFORMATION IS NOT TO BE RELED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- F. PRIOR TO ANY CONSTRUCTION IN RIGHT-OF-WAY, CONTRACTOR SHALL INSTALL TRAFFIC CONTROL IN ACCORDANCE WITH MUTCD.
- G. ANY WORK TO TAKE PLACE OFF-SITE SHALL BE COORDINATED WITH THE APPROPRIATE PROPERTY OWNER.

DEMOLITION NOTES

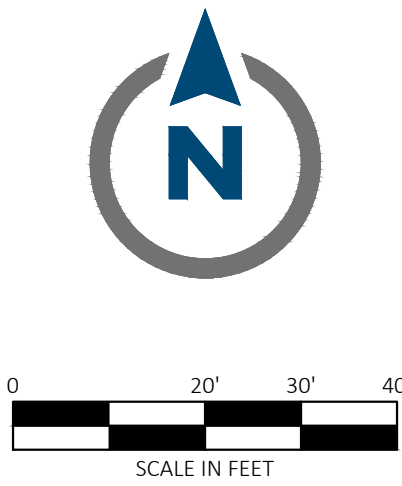
- 18A EXISTING TO BE REMOVED.
19A EXISTING TO REMAIN.
51B LIMITS OF SAWCUT AND PAVEMENT REMOVAL.
51D PROTECT EXISTING STRUCTURES AND/OR PIPES DURING DEMOLITION AND CONSTRUCTION PHASES.

ACREAGE SUMMARY TABLE		
PARCEL	± 20,814 SF (0.48 AC)	
PERVIOUS AREA	± 7,091 SF (0.16AC)	
IMPERVIOUS AREA	± 13,723 SF (0.32 AC)	
PARKING TABLE		
	SPACES REQUIRED	SPACES PROVIDED
STANDARD CAR PARKING	2 SPACES	2 SPACES
ACCESSIBLE PARKING	1 SPACE	1 SPACE
TOTAL CAR PARKING	3 SPACES	3 SPACES

SITE INFORMATION	
ZONING	MX-M (MODERATE INTENSITY)
BUILDING FOOTPRINT (TOTAL, 2 STRUCTURES)	510 + 250 = 760 SF
BUILDING HEIGHT	19'
SETBACKS	
NORTH	15' BUILDING; 6' LANDSCAPE
SOUTH	15' BUILDING; 10' LANDSCAPE
EAST	0' BUILDING; 6' LANDSCAPE
WEST	15' BUILDING; 10' LANDSCAPE

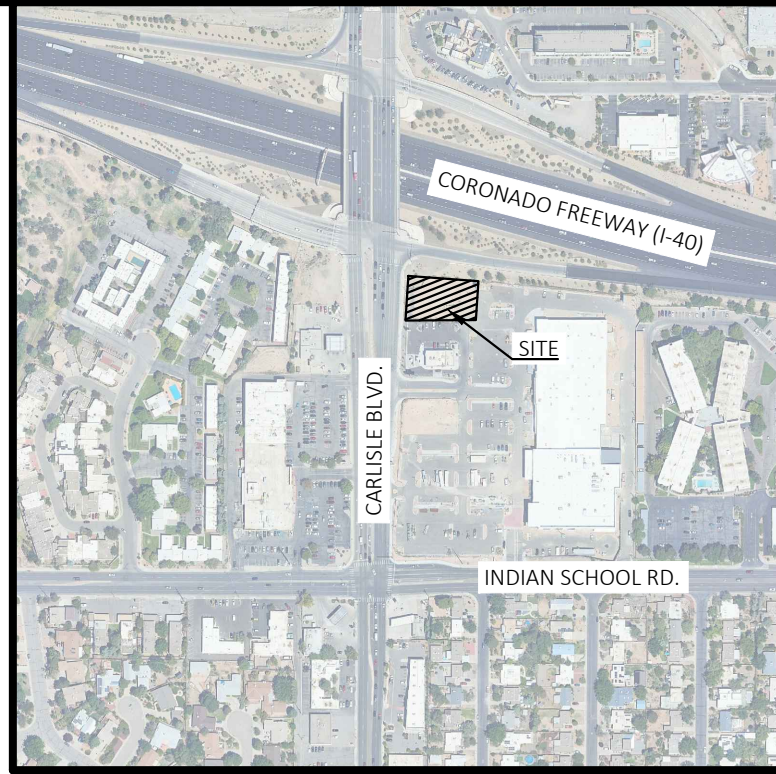
ADJACENT ZONING INFORMATION	
NORTH	NMDDOT HWY 40
SOUTH	MX-L LOW INTENSITY, C-1 COMMERCIAL
EAST	MX-M MODERATE INTENSITY, C-1 COMMERCIAL
WEST	MX-L LOW INTENSITY, C-1 COMMERCIAL

- GENERAL SITE NOTES
- A. ALL DIMENSIONS SHOWN ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- B. ALL CURB RETURN RADII SHALL BE 3', AS SHOWN TYPICAL ON THIS PLAN, UNLESS OTHERWISE NOTED.
- C. UNLESS OTHERWISE SHOWN, CALLED OUT OR SPECIFIED HEREON OR WITHIN THE SPECIFICATIONS: ALL CURB AND GUTTER ADJACENT TO ASPHALT PAVING SHALL BE INSTALLED PER DETAIL 01A. ALL CURBING ADJACENT TO CONCRETE PAVING SHALL BE INSTALLED PER DETAIL 01B. PAVEMENT SHALL BE INSTALLED IN ACCORDANCE WITH DETAIL 08A OVER THE ENTIRE PARKING LOT AREA AND ALL APPROACH DRIVES. ALL PARKING LOT STRIPING INCLUDING ACCESSIBLE AND VAN ACCESSIBLE SPACES SHALL BE PAINTED PER DETAIL 09N.
- D. ALL PARKING LOT SIGN BASE SUPPORTS SHALL BE INSTALLED PER DETAIL 12F.
- E. ALL ACCESSIBLE PARKING STALLS SHALL HAVE SIGNAGE INSTALLED PER DETAIL 09S.
- F. PRIOR TO ANY CONSTRUCTION IN RIGHT-OF-WAY, CONTRACTOR SHALL INSTALL TRAFFIC CONTROL IN ACCORDANCE WITH MUTCD.



Know what's below.
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SITE BENCHMARK TEMPORARY BENCHMARK #1 SET MAG-NAIL W/ WASHER "GAGNER NM 25206" ELEVATION: 5148.76' NORTHING: 1492985.44' EASTING: 1534556.18'
TEMPORARY BENCHMARK #2 SET MAG-NAIL W/ WASHER "GAGNER NM 25206" ELEVATION: 5147.26' NORTHING: 1493089.12' EASTING: 1534566.73'



VICINITY MAP
NOT TO SCALE

LEGEND

EXISTING LEGEND

● FOUND MONUMENT AS NOTED	● BOLLARD
○ SET MONUMENT AS NOTED	● BHL BUILDING HEIGHT LOCATION
○ HANDICAP PARKING	● EVPS ELECTRIC VEHICLE PARKING SPACE(S)
○ POWER POLE	● FFE FINISHED FLOOR ELEVATION
○ TRANSMISSION LINE POLE	● CPS COVERED PICKUP ORDER PARKING SPACE(S)
○ GUY WIRE ANCHOR	● PPS PARALLEL PARKING SPACE(S)
○ LIGHT POLE	● PS STANDARD PARKING SPACE(S)
○ ELECTRIC VAULT	● (M) MEASURED/CALCULATED DIMENSION
○ TRAFFIC SIGNAL MANHOLE	● (R) RECORD DIMENSION PER DOC NO. 2023069204
○ TRAFFIC VAULT	● N/F NOW OR FORMERLY
○ SCREEN INTERCOM	● CBW CONCRETE BLOCK WALL
○ ELECTRIC CABINET	● CC CART CORRAL
○ ELECTRIC BOX	● BOC CONCRETE ISLAND
○ ELECTRIC METER	● CMP CORRUGATED METAL PIPE
○ ELECTRIC VEHICLE CHARGING STATION	● CN CONCRETE
○ TELEPHONE PEDESTAL	● CRW CONCRETE RETAINING WALL
○ FIBER OPTIC MANHOLE	● OV OVERHANG
○ CONDUIT RISER	● PVC POLYVINYL CHLORIDE PIPE
○ FIRE HYDRANT	● TLB TRUCK LOADING BAY
○ WATER VALVE	● BOC BACK OF CURB
○ IRRIGATION CONTROL VALVE	● EA EDGE OF ASPHALT
○ WATER METER	● EC EDGE OF CONCRETE
○ WATER VAULT	● FL FLOW LINE
○ FIRE DEPARTMENT CONTROL VALVE	● NG NATURAL GROUND
○ WATER UTILITY BOX	● TA TOP OF ASPHALT
○ GAS VALVE RISER	● TC TOP OF CONCRETE
○ SANITARY MANHOLE (SMH#)	● BOUNDARY LINE
○ CLEANOUT	● EASEMENT LINE
○ GREASE TRAP	● SETBACK LINE
○ STORM MANHOLE (DMH#)	● R/W RIGHT-OF-WAY LINE
○ DRAIN GRATE W/ CURB INLET (DGC#)	● FENCE LINE
○ DRAIN GRATE	● METAL GUARDRAIL
○ UTILITY MANHOLE	● METAL HANDRAIL
○ HEIGHT CLEARANCE POLE	● OVERHEAD POWER LINE
○ PEDESTRIAN SIGNAL POLE	● OVERHEAD TRANSMISSION LINE
○ SOLAR POWER POLE	● UNDERGROUND GAS LINE
○ TRAFFIC SIGNAL POLE	● SANITARY SEWER LINE
○ HIGHWAY SIGN	● STORM SEWER LINE
○ SIGN	● NOT TO SCALE

PROPOSED LEGEND

● PROPERTY LINE/RIGHT OF WAY LINE
○ CONCRETE CURB AND GUTTER. SEE DETAIL PAVING PLAN
○ POP-UP DRAINAGE EMITTER OR APPROVED EQUAL
○ GREASE TRAP (PER SEVEN BREW STANDARDS)
○ BUILDING CONTROL POINT
○ PROPOSED PARKING SPACES
○ LIMITS OF SIDEWALKS AND CONCRETE APRONS (PER ARCHITECTURAL PLANS)

SITE DETAILS

- 01A TYPE A CONCRETE CURB AND GUTTER.
01B TYPE B CONCRETE INTEGRAL CURB AND GUTTER.
03A WHEELCHAIR RAMP IN SIDEWALK.
03D CONCRETE SIDEWALK.
03K CONCRETE SIDEWALK.
03M WHEELCHAIR RAMP IN SIDEWALK.
09B NINETY DEGREE PARKING SPACE STRIPING.
09N 90° PARKING, ACCESSIBLE PARKING AND "VAN" ACCESSIBLE PARKING SPACE STRIPING.
09S ACCESSIBLE / VAN ACCESSIBLE PARKING SIGN.
09U ACCESSIBLE PARKING SYMBOL.
10B STOP BAR.
10I CROSSWALK MARKING.
12F SIGN BASE.

SITE NOTES

- 01B LANDSCAPE AREA. SEE LANDSCAPE PLAN.
02B TRANSFORMER PAD.
02E TRASH DUMPSTER ENCLOSURE (PER ARCH. PLANS).
08B OVERHEAD CANOPY - (TYP. PER ARCH. PLANS).
18D MATCH EXISTING PAVEMENT ELEVATIONS.
21A TAPER CURB TO MATCH EXISTING CURB.
21B TAPER CURB FROM 6 INCHES TO 0 INCHES OVER 2 FEET.
51B LIMITS OF SAWCUT AND PAVEMENT REMOVAL.
70B 45° STRIPING (SEE PAVING PLAN).
70C CMU SCREENING WALL PER CITY OF ALBUQUERQUE STANDARDS (REF ARCH. PLANS).
70D RETAINING WALL (SEE GRADING PLAN).

SEE TOPOGRAPHIC DETAIL
ON SHEET 2

FOUND
5/8" REBAR
NO CAP
HELD PER
DOC 2023069204

FOUND PK NAIL W/ SHINER
HELD PER DOC 2023069204

FOUND LEAD & TACK
"CARTESIAN SURVEYS"
HELD PER DOC 2023069204

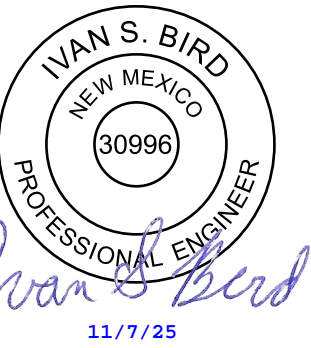


CEI ENGINEERING ASSOCIATES, INC.
2600 NE 11TH ST, SUITE 300
BENTONVILLE, AR 72712
PHONE: (479) 273-9472
FAX: (479) 273-0844

REVISION		
NO.	DESCRIPTION	DATE



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2100 CARLISLE BLVD
ALBUQUERQUE, NEW MEXICO

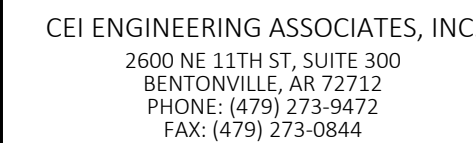


PROFESSIONAL OF RECORD	ISB
PROJECT MANAGER	MAS
DESIGNER	RM
CEI PROJECT NUMBER	34746
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REVISION	REV-0

SITE PLAN

SHEET TITLE
SHEET NUMBER

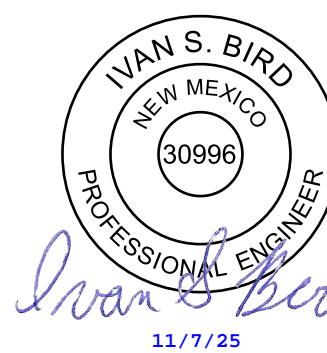
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REVISION		
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SEVEN BREW
22100 CARLISLE BLVD
ALBUQUERQUE, NEW MEXICO



PROFESSIONAL OF RECORD	ISE
PROJECT MANAGER	MAS
DESIGNER	RM
CEI PROJECT NUMBER	34746
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GRADING PLAN

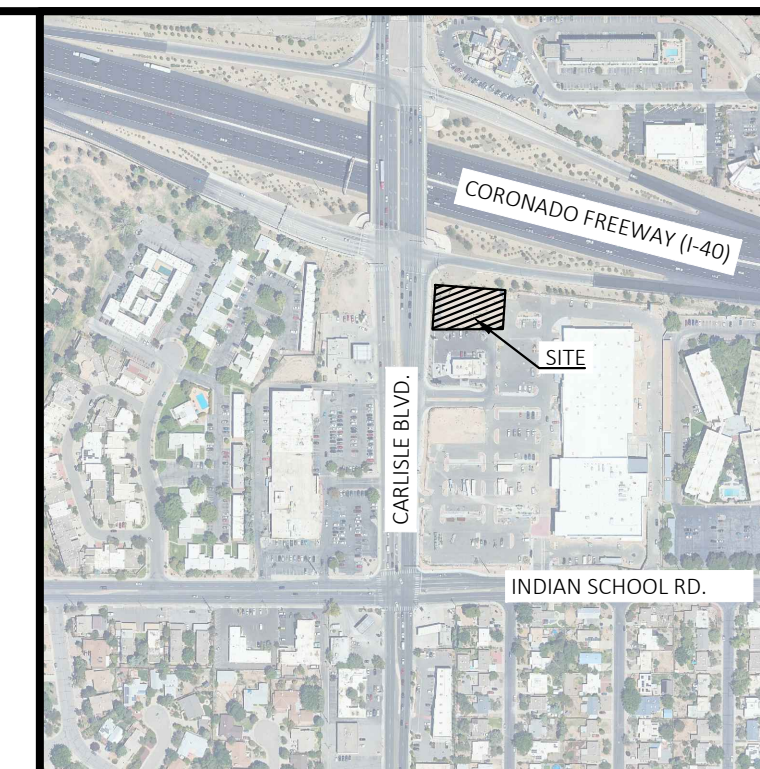
SHEET TITLE
SHEET NUMBER

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NOTE:

SEE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF PORCHES, RAMPS, VESTIBULE, SLOPED PAVING, TRUCK DOCKS, BUILDING UTILITY ENTRANCE LOCATIONS AND PRECISE BUILDING DIMENSIONS.



 VICINITY MAP
NOT TO SCALE

LEGEND

EXISTING LEGEND

●	FOUND MONUMENT AS NOTED	●	BOLLARD
○	SET MONUMENT AS NOTED	BUILDING	BUILDING HEIGHT LOCATION
○	HANDICAP PARKING	EVPS	ELECTRIC VEHICLE PARKING SPACE(S)
○	POWER POLE	FFE	FINISHED FLOOR ELEVATION
○	TRANSMISSION LINE POLE	CPS	COVERED PICKUP ORDER PARKING SPACE(S)
○	GUY WIRE ANCHOR	PPS	PARALLEL PARKING SPACE(S)
○	LIGHT POLE	PS	STANDARD PARKING SPACE(S)
○	ELECTRIC VAULT (M)	MEASURED	MEASURED CALCULATED DIMENSION
○	TRAFFIC SIGNAL MANHOLE	(R)	RECORD DIMENSION PER DOC NO. 2023069520
○	TRAFFIC VAULT	N/F	NOW OR FORMERLY
○	SCREEN INTERCOM	CBW	CONCRETE BLOCK WALL
○	ELECTRIC CABINET	CC	CART CORRAL
○	ELECTRIC BOX	CI	CONCRETE ISLAND
○	ELECTRIC METER	CMP	CORRUGATED METAL PIPE
○	ELECTRIC VEHICLE CHARGING STATION	CC	CONCRETE
○	TELEPHONE PEDESTAL	CRW	CONCRETE RETAINING WALL
○	FIBER OPTIC MANHOLE	OV	OVERHANG
○	CONDUIT RISER	PVC	POLYVINYL CHLORIDE PIPE
○	FIRE HYDRANT	TLB	TRUCK LOADING BAY
○	WATER VALVE	BOC	BACK OF CURB
○	IRRIGATION CONTROL VALVE	EA	EDGE OF ASPHALT
○	WATER METER	EC	EDGE OF CONCRETE
○	WATER VAULT	FL	FENCE LINE
○	FIRE DEPARTMENT CONTROL VALVE	NG	NATURAL GROUND
○	WATER UTILITY BOX	TA	TOP OF ASPHALT
○	GAS VALVE RISER	TC	TOP OF CONCRETE
○	SANITARY MANHOLE (SMHH)	-----	BOUNDARY LINE
○	CLEANOUT	-----	EASEMENT LINE
○	GREASE TRAP	-----	SETBACK LINE
○	STORM MANHOLE (DMHH)	R/W	RIGHT-OF-WAY LINE
○	DRAIN GRATE W/ CURB INLET (DGCW)	-----	FENCE LINE
○	DRAIN GRATE	-----	METAL GUARDRAIL
○	UTILITY MANHOLE	-----	METAL HANDRAIL
○	HEIGHT CLEARANCE POLE	-----	OVERHEAD POWER LINE
○	POLESTRAN SIGNAL POLE	-----	OVERHEAD TRANSMISSION LINE
○	SOLAR POWER POLE	-----	UNDERGROUND GAS LINE
○	TRAFFIC SIGNAL POLE	-----	SANITARY SEWER LINE
○	HIGHWAY SIGN	-----	STORM SEWER LINE
○	SIGN	-----	NOT TO SCALE

PROPOSED LEGEND

	PROPERTY LINE/RIGHT OF WAY LINE	x XX.XX	SPOT ELEVATIONS:
	GRADE BREAK (RIDGE)		EG = EXISTING GRADE
	GRADE BREAK (FLOWLINE)		TG = TOP OF CURB
	CONTOUR ELEVATIONS		G = GUTTER
	POP-UP DRAINAGE EMITTER OR APPROVED EQUAL		FG = FINISHED GRADE
	GREASE TRAP (PER SEVEN BROW STANDARDS)		FFL = FINISHED FLOOR ELEVATION
			FL = FLOW LINE

□ GRADING DETAILS

06D RETAINING WALL
17C CONCRETE FLUME WITH RIP RAP TO TOE OF SLOPE

GRADING NOTES

18D MATCH EXISTING PAVEMENT ELEVATIONS.
51B LIMITS OF SAWCUT AND PAVEMENT REMOVAL
73A RIP-RAP DRAINAGE SWALE, CONTRACTOR TO MATCH THE EXISTING SWALE DESIGN AND DRAINAGE.
73B TRASH ENCLOSURE DRAIN, CONTRACTOR TO ENSURE POSITIVE DRAINAGE TOWARDS DRAIN AND
DRAINS TO THE SANITARY SEWER (SEE UTILITY PLAN FOR CONNECTION).
73C TAPER CURB FROM 6 INCHES TO 0 INCHES.

DRAWING LOCATION - P:\34000\34746.0\DRAWINGS\DESIGN\WORKING\34746-GP.DWG -- SAVED BY - RMENDIA

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GENERAL EROSION NOTES

- A. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN AND THE STATE OF NEW MEXICO NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT) AND BECOME FAMILIAR WITH THEIR CONTENTS.
- B. THE TEMPORARY PARKING AND STORAGE AREA SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AREA, EQUIPMENT CLEANING AREA, EMPLOYEE BREAK AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS AND TOILET FACILITIES. THE EXACT LOCATIONS SHALL BE COORDINATED WITH THE OWNER'S CONSTRUCTION MANAGER.
- C. ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DISPOSED OF IN A MANNER THAT PREVENTS CONTACT BETWEEN THESE MATERIALS AND STORM WATER THAT IS DISCHARGED FROM THE SITE.
- D. MAINTAIN ON THE SITE OR HAVE READILY AVAILABLE SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS TO CONTAIN AND CLEAN UP FUEL OR CHEMICAL SPILLS AND LEAKS.
- E. DUST ON THE SITE SHALL BE CONTROLLED BY SPRAYING WATER ON DRY AREAS OF THE SITE. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
- F. NO RUBBISH, TRASH, GARBAGE OR OTHER SUCH MATERIALS SHALL BE DISCHARGED INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
- G. ALL STORM WATER POLLUTION PREVENTION MEASURES PRESENTED ON THIS PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE INITIATED AS SOON AS PRACTICABLE.
- H. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY WILL STOP FOR AT LEAST 21 DAYS, SHALL BE TEMPORARILY SEEDED WITHIN 14 DAYS.

- I. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY SEEDED. THESE AREAS SHALL BE SEEDED NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS. REFER TO THE LANDSCAPING PLAN.
- J. IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE. THE EXACT LOCATIONS SHALL BE COORDINATED WITH THE OWNERS CONSTRUCTION MANAGER.
- K. ALL MATERIALS SPILLED, DROPPED, WASHED OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
- L. CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING SEDIMENT IN THE DETENTION POND AFTER THE STABILIZATION OF THE SITE AND ALSO ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS.
- M. IF SOIL STOCKPILING IS EMPLOYED ON THE SITE, SILT FENCES SHALL BE USED TO HELP CONTAIN THE SEDIMENT.
- N. SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
- O. SEDIMENT BASINS ARE ATTRACTIVE TO CHILDREN AND CAN BE VERY DANGEROUS. IN ALL CASES, LOCAL ORDINANCES AND REGULATIONS REGARDING HEALTH AND SAFETY MUST BE ADHERED TO.
- P. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE DISPOSED OF WITHIN 30 DAYS AFTER FINAL STABILIZATION. FINAL STABILIZATION HAS OCCURRED WHEN ALL SOIL DISTURBING ACTIVITIES ARE COMPLETED AND A UNIFORM PERENNIAL VEGETATIVE COVER WITH A DENSITY OF 70% OF THE COVER FOR UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES HAS BEEN EMPLOYED.

- Q. DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURES (SILT FENCES, STRAW BALES, ETC.) TO HELP PREVENT EROSION AND STORM WATER POLLUTION.
- R. ALL OFF-SITE CONSTRUCTION SHALL BE STABILIZED AT THE END OF EACH WORKING DAY, THIS INCLUDES BACKFILLING OF TRENCHES FOR STORM DRAINS & UTILITY CONSTRUCTION AND PLACEMENT OF GRAVEL OR BITUMINOUS PAVING FOR ROAD CONSTRUCTION.
- MAINTENANCE**
ALL MEASURES STATED ON THIS EROSION AND SEDIMENT CONTROL PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A RAINFALL EVENT, AND SHOULD BE CLEANED AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:
1. ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED AND RESEEDED AS NEEDED.
 2. SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-THIRD TO ONE-HALF THE HEIGHT OF THE SILT FENCE.
 3. THE CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION ENTRANCES AS CONDITIONS DEMAND.
 4. THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AS CONDITIONS DEMAND.
 5. IF THE STONES IN THE GRAVEL INLET SEDIMENT FILTERS BECOME CLOGGED WITH SEDIMENT, THE STONES MUST BE PULLED AWAY, CLEANED AND REPLACED.



NOTE:

SEE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF PORCHES, RAMPS, VESTIBULE, SLOPED PAVING, TRUCK DOCKS, BUILDING UTILITY ENTRANCE LOCATIONS AND PRECISE BUILDING DIMENSIONS.



Know what's below.
Call before you dig.



VICINITY MAP
NOT TO SCALE

LEGEND

EXISTING LEGEND

● FOUND MONUMENT AS NOTED	● BOLLARD	● BOLLARD
○ SET MONUMENT AS NOTED	● BHLL	● BUILDING HEIGHT LOCATION
○ HANDICAP PARKING	● EVPS	● ELECTRIC VEHICLE PARKING SPACE(S)
○ POWER POLE	● FFE	● FINISHED FLOOR ELEVATION
○ TRANSMISSION LINE POLE	● CPS	● COVERED PICKUP ORDER PARKING SPACE(S)
○ GUY WIRE ANCHOR	● PPS	● PARALLEL PARKING SPACE(S)
○ LIGHT POLE	● PS	● STANDARD PARKING SPACE(S)
○ ELECTRIC VAULT	● (M)	● MEASURED/CALCULATED DIMENSION
○ TRAFFIC SIGNAL MANHOLE	● (R)	● RECORDED DIMENSION PER DOC NO. 2023069204
○ TRAFFIC VAULT	● N/F	● NOW OR FORMERLY
○ SCREEN INTERCOM	● CBW	● CONCRETE BLOCK WALL
○ ELECTRIC CABINET	● CC	● CART CORRAL
○ ELECTRIC BOX	● CI	● CONCRETE ISLAND
○ ELECTRIC METER	● CMP	● CORRUGATED METAL PIPE
○ ELECTRIC VEHICLE CHARGING STATION	● CN	● CONCRETE
○ TELEPHONE PEDESTAL	● CRW	● CONCRETE RETAINING WALL
○ FIBER OPTIC MANHOLE	● OV	● OVERHANG
○ CONDUIT RISER	● PVC	● POLYVINYL CHLORIDE PIPE
○ FIRE HYDRANT	● TLB	● TRUCK LOADING BAY
○ WATER VALVE	● BOC	● BACK OF CURB
○ IRRIGATION CONTROL VALVE	● EA	● EDGE OF ASPHALT
○ WATER METER	● EC	● EDGE OF CONCRETE
○ WATER VAULT	● FL	● FLOW LINE
○ FIRE DEPARTMENT CONTROL VALVE	● NG	● NATURAL GROUND
○ WATER UTILITY BOX	● TA	● TOP OF ASPHALT
○ GAS VALVE RISER	● TC	● TOP OF CONCRETE
○ SANITARY MANHOLE (SMH#)		○ BOUNDARY LINE
○ CLEANOUT		○ EASEMENT LINE
○ GREASE TRAP		○ SETBACK LINE
○ STORM MANHOLE (DMH#)		○ RIGHT-OF-WAY LINE
○ DRAIN GRATE W/ CURB INLET (DGC#)		○ FENCE LINE
○ DRAIN GRATE		○ METAL GUARDRAIL
○ UTILITY MANHOLE		○ METAL HANDRAIL
○ HEIGHT CLEARANCE POLE		○ OVERHEAD POWER LINE
○ PEDESTRIAN SIGNAL POLE		○ OVERHEAD TRANSMISSION LINE
○ SOLAR POWER POLE		○ UNDERGROUND GAS LINE
○ TRAFFIC SIGNAL POLE		○ SANITARY SEWER LINE
○ HIGHWAY SIGN		○ STORM SEWER LINE
○ SIGN		○ NOT TO SCALE

PROPOSED LEGEND

— PROPERTY LINE/RIGHT OF WAY LINE	□ CONCRETE WASHOUT
— LIMITS OF DISTURBANCE	
— XXX CONTOUR ELEVATIONS	
— GRADE BREAK	
— FLOWLINE	
— SILT FENCE	— SWP-CI (BIG RED)

AREA OF DISTURBANCE = 0.47 ACRES (21,614 S.F.)

SOIL TYPES

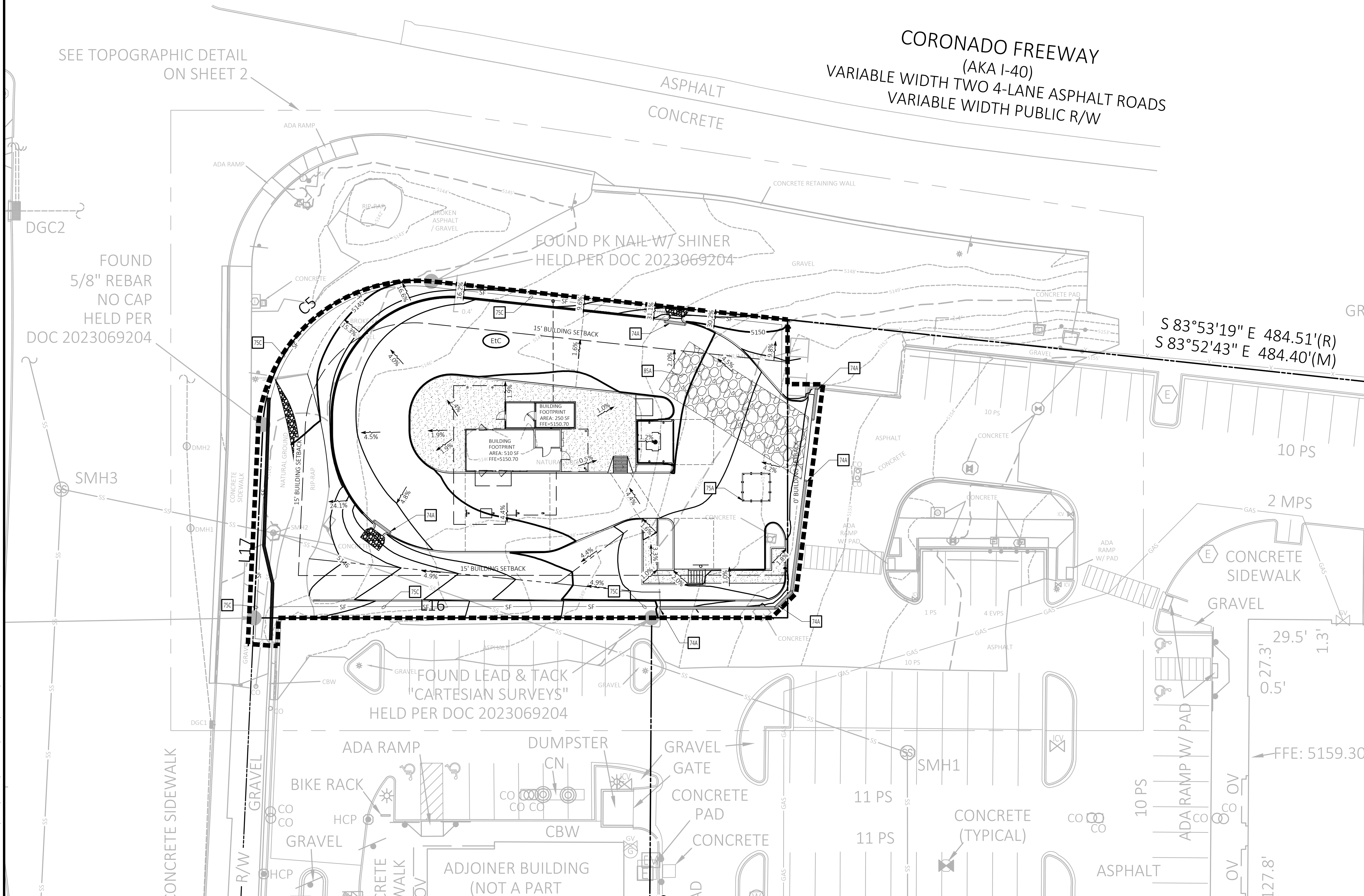
ETC EMBUDO-TUERAS COMPLEX, 0-9% SLOPES

EROSION DETAILS

74A BIG RED.
75A PORTABLE CONCRETE WASHOUT BIN.
75C SILT FENCE.
85A TEMPORARY STONE CONSTRUCTION ENTRANCE.

SEQUENCE OF CONSTRUCTION
NOTE: DOWNSLOPE PROTECTIVE MEASURES MUST ALWAYS BE IN PLACE BEFORE SOIL IS DISTURBED. CONSTRUCTION STEPS CAN BE IMPLEMENTED CONCURRENTLY ONLY IF ASSOCIATED DOWNSLOPE PROTECTIVE MEASURES HAVE BEEN INSTALLED FOR EACH ACTIVITY.

1. INSTALL STABILIZED CONSTRUCTION ENTRANCES.
2. CONSTRUCT THE SILT FENCES ON THE SITE.
3. PREPARE TEMPORARY PARKING AND STORAGE AREA.
4. CONSTRUCT TEMPORARY DIVERSION DITCHES AND CHECK DAMS AS SHOWN ON THE PLANS.
5. CLEAR AND GRUB THE SITE.
6. BEGIN GRADING THE SITE.
7. START CONSTRUCTION OF BUILDING PAD AND STRUCTURES.
8. TEMPORARILY SEED DENUDEED AREAS.
9. INSTALL UTILITIES, UNDERDRAINS, STORM SEWERS, CURBS AND GUTTERS.
10. INSTALL RIP RAP AROUND OUTLET STRUCTURES.
11. PREPARE SITE FOR PAVING.
12. PAVE SITE.
13. COMPLETE GRADING AND INSTALL PERMANENT SEEDING AND PLANTING.
14. REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES (ONLY IF SITE IS STABILIZED).



CEI ENGINEERING ASSOCIATES, INC.
2600 NE 11TH ST, SUITE 300
BENTONVILLE, AR 72712
PHONE: (479) 273-9472
FAX: (479) 273-0844



SEVEN BREW
2100 CARLISLE BLVD
ALBUQUERQUE, NEW MEXICO



PROFESSIONAL OF RECORD	ISB
PROJECT MANAGER	MAS
DESIGNER	RM
CEI PROJECT NUMBER	34746
DATE	11/6/2025
REVISION	REV-0

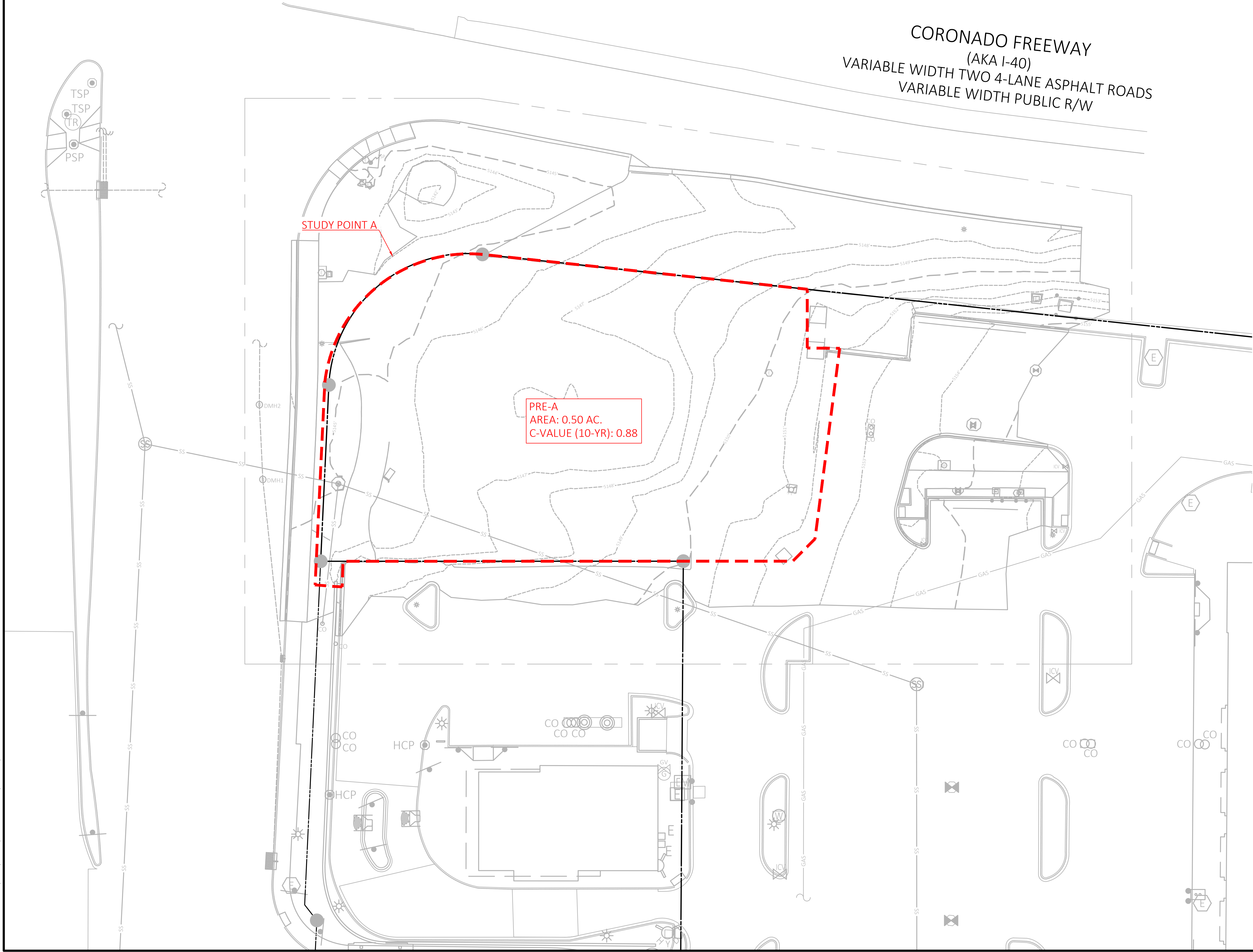
EROSION CONTROL
PLAN

SHEET TITLE
SHEET NUMBER

C4.0

DRAWING LOCATION: P:\34000\34746\0\DRAWING\REPORT\WORKING\34746.DRAW.DWG - SAVED BY: C TORRES

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0 20' 30' 40'
SCALE IN FEET



Know what's below.
Call before you dig.

PROPOSED LEGEND

- PRE-DEVELOPED DRAINAGE BASIN LIMITS
- - - - - TIME OF CONCENTRATION PATH
- GRADE BREAK

Land Use	C-Value (2-YR)	C-Value (10-YR)	C-Value (100-YR)
Impervious (Land Treatment: D)	0.89	0.90	0.90
Pervious (Land Treatment: B)	0.04	0.32	0.49

Weighted Runoff Coefficient - Pre	
	Pre-A
Impervious (Land Treatment: D) (ac.)	0.48
Pervious (Land Treatment: B) (ac.)	0.02
Total Area (ac.)	0.50
Weighted C-Value (2-Year)	0.86
Weighted C-Value (10-Year)	0.88
Weighted C-Value (100-Year)	0.88



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REVISION

NO.	DESCRIPTION	DATE



SEVEN BREW
2100 CARLISLE BLVD
ALBUQUERQUE, NEW MEXICO



PROFESSIONAL OF RECORD	ISB
PROJECT MANAGER	MAS
DESIGNER	RM
CEI PROJECT NUMBER	34746
DATE	11/6/2025
REVISION	REV-0

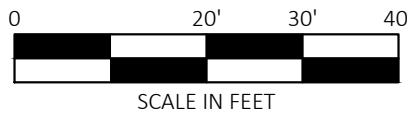
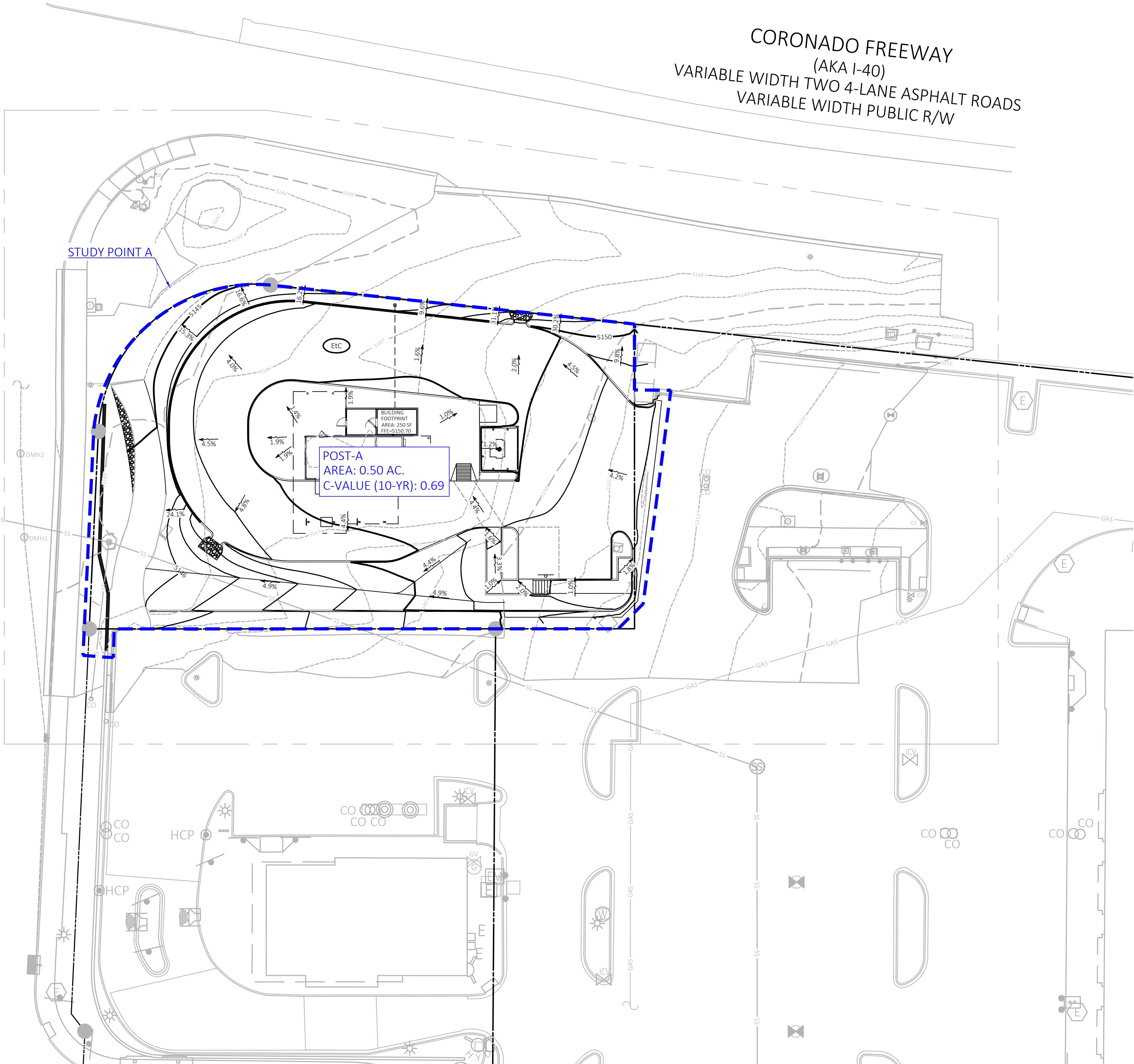
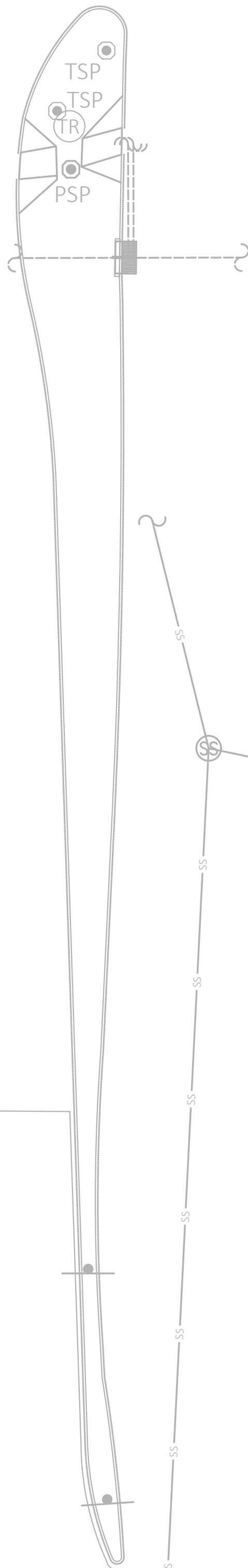
PRE-DEVELOPMENT
DRAINAGE AREA MAP

SHEET TITLE
SHEET NUMBER

C5.0

DRAWING LOCATION: P:\34000\34746\0\DRAINAGE REPORT\WORKING\34746.DRAW.DWG - SAVED BY: COTORES

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Know what's below.
Call before you dig.

PROPOSED LEGEND

- POST-DEVELOPED DRAINAGE BASIN LIMITS
- TIME OF CONCENTRATION PATH
- GRADE BREAK
- CONTOUR ELEVATIONS
- FLOWLINE

Land Use	C-Value (2-YR)	C-Value (10-YR)	C-Value (100-YR)
Impervious (Land Treatment: D)	0.89	0.90	0.90
Pervious (Land Treatment: B)	0.04	0.32	0.49

Weighted Runoff Coefficient - Post	
	Post-A
Impervious (Land Treatment: D) (ac.)	0.32
Pervious (Land Treatment: B) (ac.)	0.18
Total Area (ac.)	0.50
Weighted C-Value (2-Year)	0.58
Weighted C-Value (10-Year)	0.69
Weighted C-Value (100-Year)	0.75



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REVISION		
NO.	DESCRIPTION	DATE



SEVEN BREW
2100 CARLISLE BLVD
ALBUQUERQUE, NEW MEXICO



PROFESSIONAL OF RECORD	ISB
PROJECT MANAGER	MAS
DESIGNER	RM
CEI PROJECT NUMBER	34746
DATE	11/6/2025
REVISION	REV-0

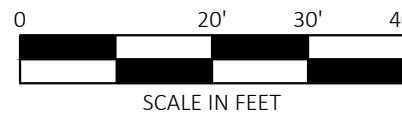
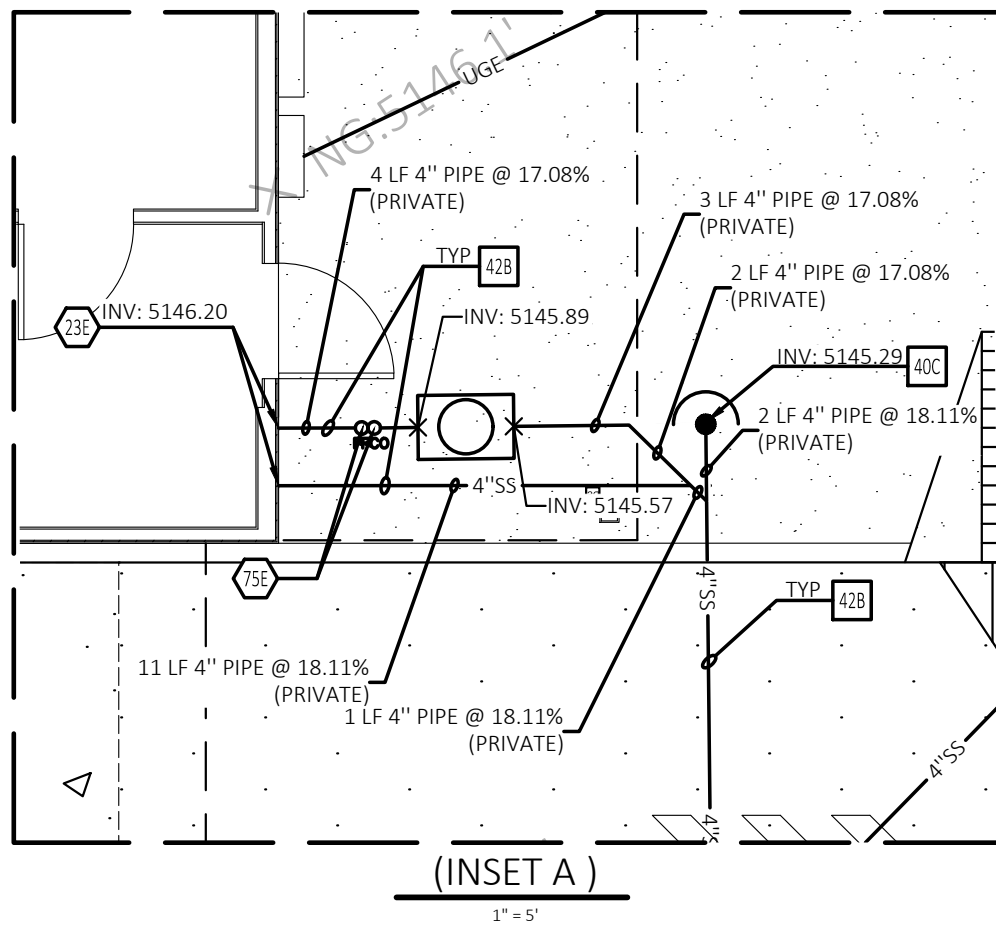
POST-DEVELOPMENT
DRAINAGE AREA MAP

SHEET TITLE	
SHEET NUMBER	

C5.1

GENERAL UTILITY NOTES

- A. ALL WATER LINES SIZE AND MATERIAL REFER TO CITY OF ALBUQUERQUE STANDARDS FOR ALL WATER LINES MUST MAINTAIN A MINIMUM COVERAGE 36 INCHES.
- B. ALL SANITARY SEWER LINES SIZE AND MATERIAL REFER TO CITY OF ALBUQUERQUE STANDARDS. FOR ALL SANITARY SEWER LINES MUST MAINTAIN A MINIMUM COVERAGE 36 INCHES..
- C. CONTRACTOR SHALL COORDINATE ANY DISRUPTIONS TO EXISTING UTILITY SERVICES WITH ADJACENT PROPERTY OWNERS.
- D. ALL ELECTRIC, TELEPHONE AND GAS EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE DESIGNATED UTILITY COMPANIES.
- E. CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED BY THE ENGINEER FROM THE APPROPRIATE GOVERNING AUTHORITY AND CONTRACTOR HAS BEEN NOTIFIED BY THE ENGINEER.
- F. PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OF THE DRY UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM CEI ENGINEERING AND THE OWNER/DEVELOPER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION. CEI ENGINEERING AND ITS CLIENTS SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION.
- G. UNLESS OTHERWISE SHOWN, CALLED OUT OR SPECIFIED HEREON OR WITHIN SPECIFICATIONS: ALL WATER LINE FITTINGS SHALL BE INSTALLED WITH THRUST BLOCKING PER DETAIL 31C. ALL WATER LINE PIPE BEDDING SHALL BE INSTALLED PER DETAIL 42A. ALL SANITARY SEWER PIPE BEDDING SHALL BE INSTALLED PER DETAIL 42B.
- H. PRIOR TO ANY CONSTRUCTION IN RIGHT-OF-WAY, CONTRACTOR SHALL INSTALL TRAFFIC CONTROL IN ACCORDANCE WITH MUTCD.



NOTE:

SEE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF PORCHES, RAMPS, VESTIBULE, SLOPED PAVING, TRUCK DOCKS, BUILDING UTILITY ENTRANCE LOCATIONS AND PRECISE BUILDING DIMENSIONS.



Know what's below.
Call before you dig.



VICINITY MAP
NOT TO SCALE

LEGEND

EXISTING LEGEND

● FOUND MONUMENT AS NOTED	● BOLLARD
○ SET MONUMENT AS NOTED	● BHL BUILDING HEIGHT LOCATION
○ HANDICAP PARKING	● EVPS ELECTRIC VEHICLE PARKING SPACE(S)
○ POWER POLE	● FFE FINISHED FLOOR ELEVATION
○ TRANSMISSION LINE POLE	● CPS COVERED PICKUP ORDER PARKING SPACE(S)
○ GUY WIRE ANCHOR	● PPS PARALLEL PARKING SPACE(S)
○ LIGHT POLE	● PS STANDARD PARKING SPACE(S)
○ ELECTRIC VAULT	● (M) MEASURED/CALCULATED DIMENSION
○ TRAFFIC SIGNAL MANHOLE	● (R) RECORD DIMENSION PER DOC NO. 2023069204
○ TRAFFIC VAULT	● N/F NOW OR FORMERLY
○ SCREEN INTERCOM	● CBW CONCRETE BLOCK WALL
○ ELECTRIC CABINET	● CC CART CORRAL
○ ELECTRIC BOX	● CI CONCRETE ISLAND
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○ CONDUIT RISER	● PVC POLYVINYL CHLORIDE PIPE
○ FIRE HYDRANT	● TLB TRUCK LOADING BAY
○ WATER VALVE	● BOC BACK OF CURB
○ IRRIGATION CONTROL VALVE	● EA EDGE OF ASPHALT
○ WATER METER	● EC EDGE OF CONCRETE
○ WATER VAULT	● FL FLOW LINE
○ FIRE DEPARTMENT CONTROL VALVE	● NG NATURAL GROUND
○ WATER UTILITY BOX	● TA TOP OF ASPHALT
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○ SANITARY MANHOLE (SMH#)	● --- BOUNDARY LINE
○ CLEANOUT	● --- EASEMENT LINE
○ GREASE TRAP	● --- SETBACK LINE
○ STORM MANHOLE (DMH#)	● --- R/W RIGHT-OF-WAY LINE
○ DRAIN GRATE W/ CURB INLET (DGC#)	● --- FENCE LINE
○ DRAIN GRATE	● --- METAL GUARDRAIL
○ UTILITY MANHOLE	● --- METAL HANDRAIL
○ HEIGHT CLEARANCE POLE	● --- OVERHEAD POWER LINE
○ PEDESTRIAN SIGNAL POLE	● --- OVERHEAD TRANSMISSION LINE
○ SOLAR POWER POLE	● --- UNDERGROUND GAS LINE
○ TRAFFIC SIGNAL POLE	● --- SANITARY SEWER LINE
○ HIGHWAY SIGN	● --- STORM SEWER LINE
○ SIGN	● --- NOT TO SCALE

PROPOSED LEGEND

— UGE —	PROPERTY LINE/RIGHT OF WAY LINE	□ GREASE TRAP (PER SEVEN BREW STANDARDS)
— X"SS —	UNDERGROUND ELECTRIC SERVICE	● POP-UP DRAINAGE EMITTER OR APPROVED EQUAL
— X"SS —	SANITARY SEWER SERVICE	
— X"W —	WATER SERVICE	

UTILITY DETAILS

- 34A BELOW GROUND BACKFLOW PREVENTER
40C SANITARY SEWER CLEAN-OUT
42A WATER LINE TRENCHING AND BEDDING
42B SANITARY SEWER TRENCHING AND BEDDING
75A POP-UP DRAIN EMITTER

UTILITY NOTES

- 19A EXISTING TO REMAIN.
22A POINT OF CONNECTION - WATER SERVICE (PER LOCAL CODES).
22L METERED DOMESTIC WATER SERVICE ENTRY (PER ARCH. PLANS) (SEE SIZES THIS SHEET).
22M PROPOSED 1" WATER METER (PER LOCAL CODES AND SPECIFICATIONS).
22Y INTERIOR BACK FLOW PREVENTER (PER ARCH. PLANS).
23A POINT OF CONNECTION - SANITARY SEWER SERVICE (PER LOCAL CODES).
23E SANITARY SEWER SERVICE ENTRY (PER ARCH PLANS).
23I CONNECT TO EXISTING SANITARY SEWER MANHOLE.
24A POINT OF CONNECTION FOR ELECTRICAL SERVICE (PER ELECTRIC COMPANY REQUIREMENTS).
24D PROPOSED ELECTRIC TRANSFORMER (PER ELECTRIC COMPANY REQUIREMENTS).
30B CONTRACTOR TO STUB UTILITIES TO PROPERTY LINE AND COORDINATE WATER SERVICE FOR CONTINUATION. VERIFY LOCATION AND DEPTH OF EXISTING UTILITY BEFORE CONSTRUCTING PROPOSED UTILITY.
31A LOCATION FOR THIS UTILITY AS SHOWN IS FOR DRAWING PURPOSES ONLY. CONTRACTOR SHALL VERIFY THE EXACT LOCATION IN FIELD PRIOR TO THE CONSTRUCTION OF THE PROPOSED UTILITY LINE TO BE CONNECTED. CONTRACTOR SHALL NOTIFY CEI ENGINEERING IF THE DESIGN AS SHOWN IS NOT ACHIEVABLE.
73B TRASH ENCLOSURE DRAIN, CONTRACTOR TO ENSURE POSITIVE DRAINAGE TOWARDS DRAIN AND DRAINS TO THE SANITARY SEWER.
75B TWO 4" CONDUITS.
75D 3/4" IRRIGATION WATER METER. SEE IRRIGATION PLANS FOR BFP DETAILS.
75E TWO WAY CLEANOUT.
75F PUMPED STORMWATER DISCHARGE. (PER ARCH PLANS) (SEE ARCH PLANS FOR PUMP AND PIPE SIZE DETAILS.)
75G UNDERGROUND ELECTRICAL SERVICE ENTRY (PER ARCH PLANS) (REF ELECTRIC COMPANY REQUIREMENTS).



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SEVEN BREW
2100 CARLISLE BLVD
ALBUQUERQUE, NEW MEXICO



Ivan S. Bird
11/7/25

PROFESSIONAL OF RECORD	ISB
PROJECT MANAGER	MAS
DESIGNER	RM
CEI PROJECT NUMBER	34746
DATE	11/7/2025
REVISION	REV-0

UTILITY PLAN

SHEET TITLE

SHEET NUMBER

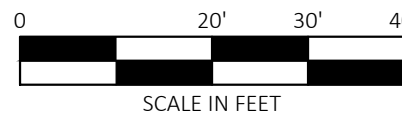
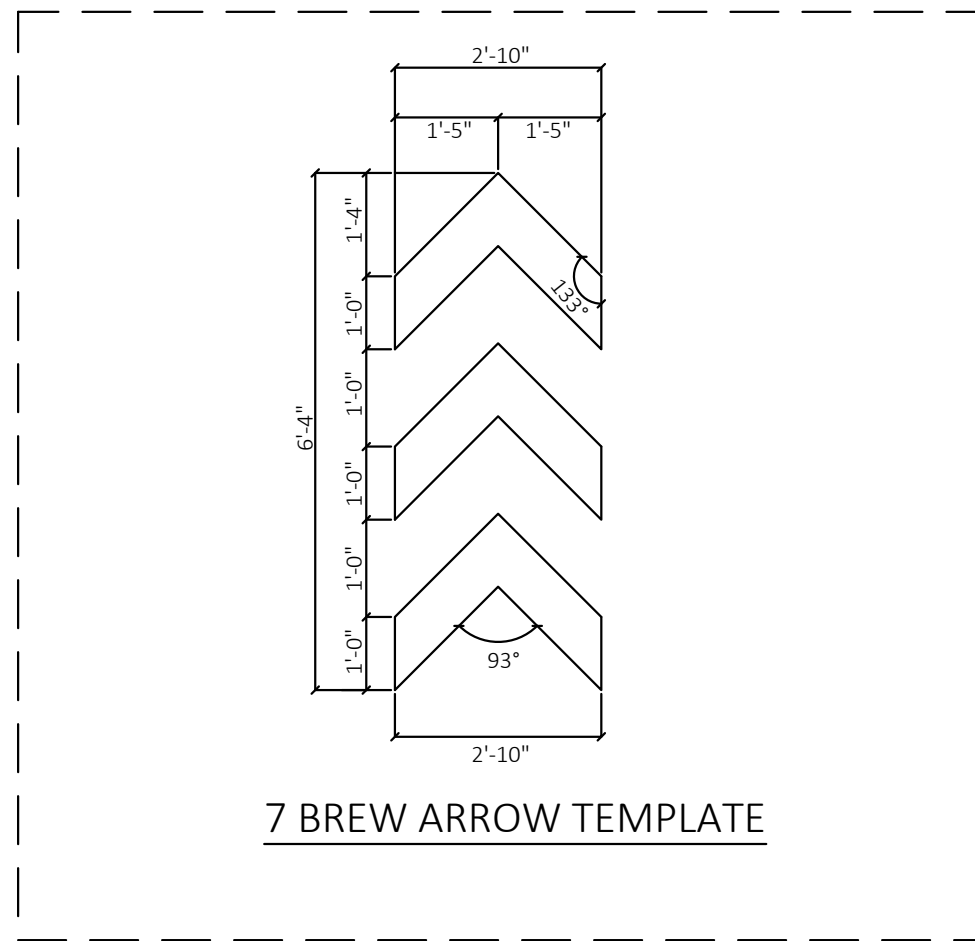
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PAVING DETAILS

- 01A TYPE A CONCRETE CURB AND GUTTER.
- 01B TYPE B CONCRETE INTEGRAL CURB AND GUTTER.
- 03D/03K CONCRETE SIDEWALK.
- 08A STANDARD DUTY ASPHALT PAVING.
- 08C HEAVY DUTY CONCRETE PAVING.
- 10I CROSSWALK MARKING
- 10A TRAFFIC FLOW ARROW

PAVING NOTES

- 12D 4 INCH WIDE PAINTED BLUE STRIPES. 2.0 FOOT O.C. @ 45 DEGREES (SEE SIZE INDICATED AT SYMBOL).
- 12G 4 INCH WIDE PAINTED WHITE STRIPES. 2.0 FOOT O.C. @ 45 DEGREES (SEE SIZE INDICATED AT SYMBOL).
- 70B 45" STRIPING
- 70C CROSSWALK STRIPING TO BE REPAINTED TO MATCH EXISTING CROSSWALK, AFTER NEW PAVEMENT HAS BEEN REPLACED.



NOTE:

SEE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF PORCHES, RAMPS, VESTIBULE, SLOPED PAVING, TRUCK DOCKS, BUILDING UTILITY ENTRANCE LOCATIONS AND PRECISE BUILDING DIMENSIONS.



Know what's below.
Call before you dig.



VICINITY MAP
NOT TO SCALE

LEGEND

EXISTING LEGEND

- | | |
|-------------------------------------|---|
| ● FOUND MONUMENT AS NOTED | ● BOLLARD |
| ○ SET MONUMENT AS NOTED | ● BHL BUILDING HEIGHT LOCATION |
| ○ HANDICAP PARKING | ● EVPS ELECTRIC VEHICLE PARKING SPACE(S) |
| ○ POWER POLE | ● FFE FINISHED FLOOR ELEVATION |
| ○ TRANSMISSION LINE POLE | ● CPS COVERED PICKUP ORDER PARKING SPACE(S) |
| ○ GUY WIRE ANCHOR | ● PPS PARALLEL PARKING SPACE(S) |
| ○ LIGHT POLE | ● PS STANDARD PARKING SPACE(S) |
| ○ ELECTRIC VAULT | ● (M) MEASURED/CALCULATED DIMENSION |
| ○ TRAFFIC SIGNAL MANHOLE | ● (R) RECORD DIMENSION PER DOC NO. 2023069204 |
| ○ TRAFFIC VAULT | ● N/F NOW OR FORMERLY |
| ○ SCREEN INTERCOM | ● CBW CONCRETE BLOCK WALL |
| ○ ELECTRIC CABINET | ● CC CART CORRAL |
| ○ ELECTRIC BOX | ● CI CONCRETE ISLAND |
| ○ ELECTRIC METER | ● CMP CORRUGATED METAL PIPE |
| ○ ELECTRIC VEHICLE CHARGING STATION | ● CN CONCRETE |
| ○ TELEPHONE PEDESTAL | ● CRW CONCRETE RETAINING WALL |
| ○ FIBER OPTIC MANHOLE | ● OV OVERHANG |
| ○ CONDUIT RISER | ● PVC POLYVINYL CHLORIDE PIPE |
| ○ FIRE HYDRANT | ● TLB TRUCK LOADING BAY |
| ○ WATER VALVE | ● BOC BACK OF CURB |
| ○ IRRIGATION CONTROL VALVE | ● EA EDGE OF ASPHALT |
| ○ WATER METER | ● EC EDGE OF CONCRETE |
| ○ WATER VAULT | ● FL FLOW LINE |
| ○ FIRE DEPARTMENT CONTROL VALVE | ● NG NATURAL GROUND |
| ○ WATER UTILITY BOX | ● TA TOP OF ASPHALT |
| ○ GAS VALVE RISER | ● TC TOP OF CONCRETE |
| ○ SANITARY MANHOLE (SMH#) | ● BOUNDARY LINE |
| ○ CLEANOUT | ● EASEMENT LINE |
| ○ GREASE TRAP | ● SETBACK LINE |
| ○ STORM MANHOLE (DMH#) | ● R/W RIGHT-OF-WAY LINE |
| ○ DRAIN GRATE W/ CURB INLET (DGC#) | ● FENCE LINE |
| ○ DRAIN GRATE | ● METAL GUARDRAIL |
| ○ UTILITY MANHOLE | ● METAL HANDRAIL |
| ○ HEIGHT CLEARANCE POLE | ● OVERHEAD POWER LINE |
| ○ PEDESTRIAN SIGNAL POLE | ● OVERHEAD TRANSMISSION LINE |
| ○ SOLAR POWER POLE | ● UNDERGROUND GAS LINE |
| ○ TRAFFIC SIGNAL POLE | ● SANITARY SEWER LINE |
| ○ HIGHWAY SIGN | ● STORM SEWER LINE |
| ○ SIGN | ● NOT TO SCALE |

PROPOSED LEGEND

- PROPERTY LINE/RIGHT OF WAY LINE
- CONCRETE CURB AND GUTTER. SEE DETAIL 01A/01E.

STRIPING PAINT COLORS

- WHITE
- PMS 000C
- C: 0%, M: 0%, Y: 0%, K: 0%
- R: 255, G: 255, B: 255
- HEX: FFFFFFFF
- BLUE
- PMS 293
- C: 100%, M: 63%, Y: 0%, K: 35%
- R: 0, G: 61, B: 165
- HEX: 003DA5
- RED
- PMS 202
- C: 2%, M: 100%, Y: 92%, K: 0%
- R: 234, G: 0, B: 41
- HEX: e80029

GENERAL PAVING NOTES

- A. ALL DIMENSIONS SHOWN ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- B. PAVEMENT SECTION DESIGNS ARE TAKEN FROM THE GEOTECHNICAL INVESTIGATION REPORT AND ADDENDA AS PREPARED BY TERRACON, DATED OCTOBER 29, 2025. REFERENCE GEOTECHNICAL REPORT FOR COMPLETE DESIGN SPECIFICATION AND DETAILED RECOMMENDATIONS.
- C. WITHIN 24 HOURS PRIOR TO ANY PAVING ACTIVITIES, THE CONTRACTOR SHALL PERFORM SUBGRADE COMPACTION AND PROOF ROLL TESTS ON PREPARED SUBGRADE TO VERIFY THE SUBGRADE HAS NOT DETERIORATED DURING PROJECT CONSTRUCTION.
- D. AFTER COMPLETING PAVING ACTIVITIES, THE CONTRACTOR IS RESPONSIBLE FOR HAVING PAVEMENT CORED UNDER SUPERVISION OF MATERIALS INSPECTOR AND SUBMITTING CORE RESULTS TO ENGINEER AND OWNER.
- E. CONCRETE TO ASPHALT STANDARD PAVEMENT HEADER SHALL BE USED FOR ALL CONCRETE TO ASPHALT INTERFACES.
- F. ALL AREAS WITH CONCRETE PAVING SHALL HAVE A "LIGHT BROOM" FINISH.
- G. UNLESS OTHERWISE SHOWN, CALLED OUT OR SPECIFIED HEREON OR WITHIN THE SPECIFICATIONS:
- ALL CURB AND GUTTER ADJACENT TO ASPHALT PAVING SHALL BE INSTALLED PER DETAIL 01A.
 - ALL CURB AND GUTTER ADJACENT TO CONCRETE PAVING SHALL BE INSTALLED PER DETAIL 01B.
- H. PRIOR TO ANY CONSTRUCTION IN RIGHT-OF-WAY, CONTRACTOR SHALL INSTALL TRAFFIC CONTROL IN ACCORDANCE WITH MUTCD.

PAVEMENT MARKING KEYNOTES

- 12" SOLID RED STOP BAR WITH 48-INCH TALL "STOP" TEXT PAINTED IN RED.
- 4" SOLID BLUE PAVEMENT MARKER, TYPICAL. MINIMUM SPACE AT 24" O.C.
- ALIGN 4" SOLID BLUE CROSS WALK MARKER WITH SLIDING DOOR PANEL AT FRONT OPENING.
- SOLID WHITE TRIPLE ARROW PAVEMENT MARKER.
- BLUE PAINTED ADA ACCESSIBLE PARKING SYMBOL.
- 48-INCH TALL "LANE #1" PAINTED IN RED.
- SOLID RED DIRECTIONAL ARROW PAVEMENT MARKING.
- "DO NOT ENTER" PAINTED IN RED.



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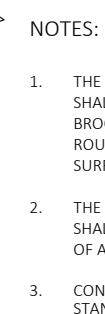
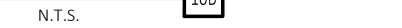
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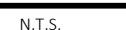
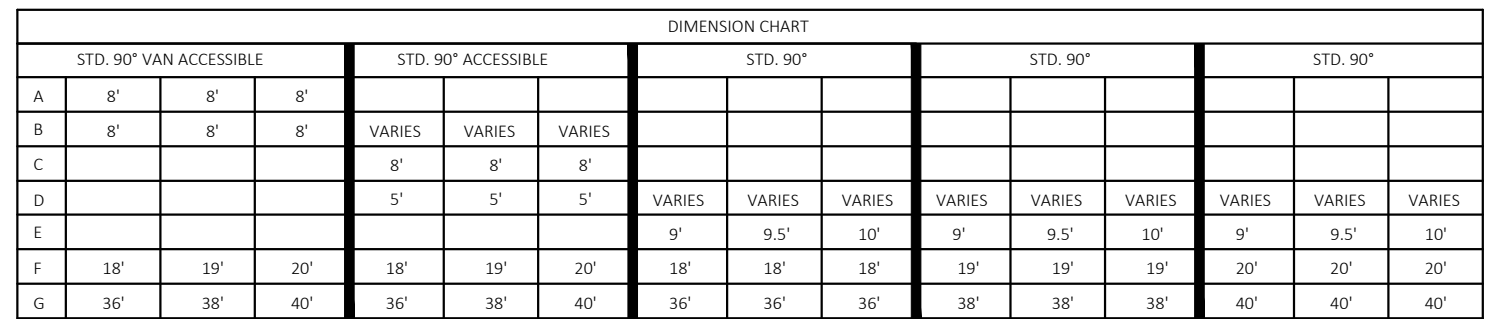
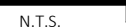
PAVING PLAN

SHEET TITLE
SHEET NUMBER

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NOTE: SEE SITE PLAN FOR TOTAL LAYOUT



C8.0

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PORTABLE CONCRETE WASHOUT BIN



The Concrete Washout Systems (CWS) solution, when implemented by a licensed operator, meets EPA Best Management Practice (BMP) requirements for concrete washout wastewater containment and recycling of residual concrete waste.



The sample spec below is intended to assist contractors, job site managers and architects with defining the concrete washout management portion of an overall Storm Water Pollution Prevention Plan (SWPPP) to meet National Pollutant Discharge Elimination System (NPDES) requirements.

PORTABLE CONCRETE WASHOUT BIN

GENERAL

Summary: This work includes the containment, removal and disposal of concrete waste and concrete wash water by furnishing, maintaining and removing portable concrete washout bins.

Bin Capacity/Dimensions:

- Each bin has washout capacity sufficient for a pour of approximately 350 cubic yards.
- Ramped container accommodates concrete pump trucks, tile and grout and stucco washout: 26 ft x 8ft with ramps extended.
- Rampless container for jobs with mixer trucks only: 14 ft x 8ft

Submittals/Pre-planning: At least five business days before concrete operations start, submit to Engineer or job site manager:

- Name and location of the solid and liquid concrete waste disposal facility
- Verification that the off-site commercial disposal site has a permit issued by the local water quality control authority.
- Verification that the off-site concrete waste disposal facility is licensed/permited to receive concrete wastes.

Quality Control and Assurance: Records of concrete waste disposal must be maintained and retained, including:

- Weight tickets
- Delivery, maintenance and removal of concrete waste bins

Concrete Washout Systems Specification

PORTABLE CONCRETE WASHOUT BIN



MATERIALS

Concrete Waste Bin(s) The concrete waste bin(s) must:

- Be a commercially available, watertight container
- Have a minimum capacity of five (5) cubic yards
- Be a roll-off bin, with or without attached/folding steel ramps
- Be lined with a solid, affixed, non-stick liner to facilitate recycling of concrete
- Be labeled for exclusive use as a concrete waste container and washout facility

CONSTRUCTION:

Placement: Place concrete waste bins at the project site:

- Prior to placement of concrete
- In the immediate concrete work area
- At least 50 feet away from storm drain inlets or watercourses
- Away from construction traffic or public access areas
- In sufficient numbers/sizes so that total capacity can contain all liquid and concrete waste generated by concrete washout operations without seepage or spills

Signs: Install a sign adjacent to each temporary concrete washout bin location. Signs must:

- Comply with all size standards in the overall job specification
- Be approved by the engineer or job site manager
- Be made of plywood, with a minimum size of two feet by four feet
- Read "Concrete Washout" in black letters, at least three inches high, on a white background

Operation:

Concrete washout bins are used to:

- Contain waste and wastewater from washing out of concrete delivery and mixing trucks
- Contain slurries containing Portland cement concrete or hot mix asphalt, such as would result from sawcutting, coring, grinding, grooving and hydro-concrete demolition

Service provider will relocate concrete washout bins as needed.

Inspect bins:

- Daily if concrete work occurs daily
- Weekly if concrete work does not occur each day

Maintenance: Bins must be secured when moved to prevent spillage of material from the bin (solid waste or wastewater). Any spilled material should be returned to the bin.

Removal and Disposal: Concrete waste and wastewater must be disposed of at a facility or facilities specifically licensed to receive these materials. Concrete washout bins are to be removed for material disposal within one day of reaching capacity.

MEASUREMENT AND PAYMENT

Temporary contract washout bin pricing is based on actual count of bins in place and includes full compensation for furnishing all labor, materials, tools, equipment and incidentals, and for doing all the work involved in furnishing, placing, maintaining, and transporting concrete washout

Concrete Washout Systems Specification

PORTABLE CONCRETE WASHOUT BIN



bin(s), and for disposing of concrete waste and wastewater and removing the concrete washout bin(s).

Contact information:

Concrete Washout Systems
(916) 381-6312
info@concretewashout.com
concretewashout.com

or

to find a local CWS service provider:
concretewashout.com/pages/cws_locator/

Concrete Washout Systems Specification



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ALBUQUERQUE, NEW MEXICO



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PROJECT MANAGER	MAS
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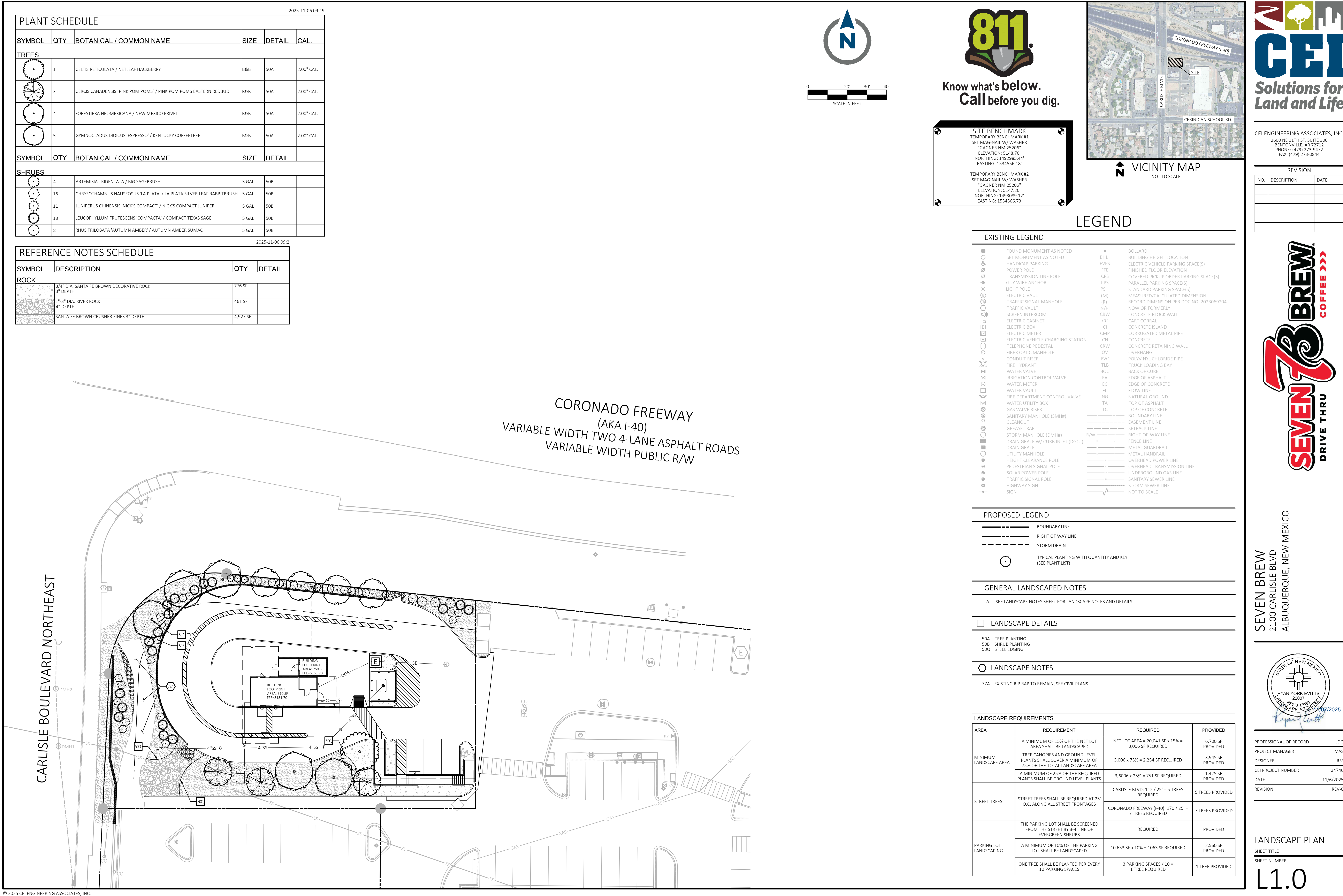
DETAIL III

SHEET TITLE
SHEET NUMBER

C8.2

75A

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PLANT SCHEDULE

SYMBOL	QTY	BOTANICAL / COMMON NAME	SIZE	DETAIL	CAL.
TREES					
	1	CELTIS RETICULATA / NETLEAF HACKBERRY	B&B	50A	2.00" CAL.
	3	CERCIS CANADENSIS 'PINK POM POMS' / PINK POM POMS EASTERN REDBUD	B&B	50A	2.00" CAL.
	4	FORESTIERA NEOMEXICANA / NEW MEXICO PRIVET	B&B	50A	2.00" CAL.
	5	GYMNOCLADUS DIOICUS 'ESPRESSO' / KENTUCKY COFFEETREE	B&B	50A	2.00" CAL.
SYMBOL	QTY	BOTANICAL / COMMON NAME	SIZE	DETAIL	
SHRUBS					
	4	ARTEMISIA TRIDENTATA / BIG SAGEBRUSH	5 GAL	50B	
	16	CHRYSOTHAMNUS NAUSEOSUS 'LA PLATA' / LA PLATA SILVER LEAF RABBITBRUSH	5 GAL	50B	
	11	JUNIPERUS CHINENSIS 'NICK'S COMPACT' / NICK'S COMPACT JUNIPER	5 GAL	50B	
	18	LEUCOPHYLLUM FRUTESCENS 'COMPACTA' / COMPACT TEXAS SAGE	5 GAL	50B	
	8	RHUS TRILOBATA 'AUTUMN AMBER' / AUTUMN AMBER SUMAC	5 GAL	50B	

2025-11-06 09:2

REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION	QTY	DETAIL
	3/4" DIA. SANTA FE BROWN DECORATIVE ROCK 3" DEPTH	776 SF	
	1"-3" DIA. RIVER ROCK 4" DEPTH	461 SF	
	SANTA FE BROWN CRUSHER FINES 3" DEPTH	4,927 SF	

020'30'40'

SCALE IN FEET

Know what's below.
Call before you dig.

VICINITY MAP
NOT TO SCALE

LEGEND

EXISTING LEGEND

FOUND MONUMENT AS NOTED

SET MONUMENT AS NOTED

HANDICAP PARKING

POWER POLE

TRANSMISSION LINE POLE

GUY WIRE ANCHOR

LIGHT POLE

ELECTRIC VAULT

TRAFFIC SIGNAL MANHOLE

TRAFFIC VAULT

SCREEN INTERCOM

ELECTRIC CABINET

ELECTRIC BOX

ELECTRIC METER

ELECTRIC VEHICLE CHARGING STATION

TELEPHONE PEDESTAL

FIBER OPTIC MANHOLE

CONDUIT RISER

FIRE HYDRANT

WATER VALVE

IRRIGATION CONTROL VALVE

WATER METER

WATER VAULT

FIRE DEPARTMENT CONTROL VALVE

WATER UTILITY BOX

GAS VALVE RISER

SANITARY MANHOLE (SMH#)

CLEANOUT

GREASE TRAP

STORM MANHOLE (DMH#)

DRAIN GRATE W/ CURB (INLET (DGC#))

DRAIN GRATE

UTILITY MANHOLE

HEIGHT CLEARANCE POLE

PEDESTRIAN SIGNAL POLE

SOLAR POWER POLE

TRAFFIC SIGNAL POLE

HIGHWAY SIGN

SIGN

BOLLARD

BUILDING HEIGHT LOCATION

ELECTRIC VEHICLE PARKING SPACE(S)

FINISHED FLOOR ELEVATION

COVERED PICKUP ORDER PARKING SPACE(S)

PARALLEL PARKING SPACE(S)

STANDARD PARKING SPACE(S)

MEASURED/CALCULATED DIMENSION

RECORD DIMENSION PER DOC NO. 2023069204

NOW OR FORMERLY

CONCRETE BLOCK WALL

CART CORRAL

CONCRETE ISLAND

CORRUGATED METAL PIPE

CONCRETE

CONCRETE RETAINING WALL

OVERHANG

POLYVINYL CHLORIDE PIPE

TRUCK LOADING BAY

BACK OF CURB

EDGE OF ASPHALT

EDGE OF CONCRETE

FLOW LINE

NATURAL GROUND

TOP OF ASPHALT

TOP OF CONCRETE

BOUNDARY LINE

EASEMENT LINE

SETBACK LINE

RIGHT-OF-WAY LINE

FENCE LINE

METAL GUARDRAIL

METAL HANDRAIL

OVERHEAD POWER LINE

OVERHEAD TRANSMISSION LINE

UNDERGROUND GAS LINE

SANITARY SEWER LINE

STORM SEWER LINE

NOT TO SCALE

PROPOSED LEGEND

BOUNDARY LINE

RIGHT OF WAY LINE

STORM DRAIN

TYPICAL PLANTING WITH QUANTITY AND KEY
(SEE PLANT LIST)

GENERAL LANDSCAPED NOTES

A. SEE LANDSCAPE NOTES SHEET FOR LANDSCAPE NOTES AND DETAILS

LANDSCAPE DETAILS

50A TREE PLANTING

50B SHRUB PLANTING

50Q STEEL EDGING

LANDSCAPE NOTES

77A. EXISTING RIP RAP TO REMAIN, SEE CIVIL PLANS

LANDSCAPE REQUIREMENTS

AREA	REQUIREMENT	REQUIRED	PROVIDED
MINIMUM LANDSCAPE AREA	A MINIMUM OF 15% OF THE NET LOT AREA SHALL BE LANDSCAPED	NET LOT AREA = 20,041 SF x 15% = 3,006 SF REQUIRED	6,700 SF PROVIDED
	TREE CANOPIES AND GROUND LEVEL PLANTS SHALL COVER A MINIMUM OF 75% OF THE TOTAL LANDSCAPE AREA	3,006 x 75% = 2,254 SF REQUIRED	3,945 SF PROVIDED
	A MINIMUM OF 25% OF THE REQUIRED PLANTS SHALL BE GROUND LEVEL PLANTS	3,6006 x 25% = 751 SF REQUIRED	1,425 SF PROVIDED
STREET TREES	STREET TREES SHALL BE REQUIRED AT 25' O.C. ALONG ALL STREET FRONTAGES	CARLISLE BLVD: 112 / 25' = 5 TREES REQUIRED CORONADO FREEWAY (I-40): 170 / 25' = 7 TREES REQUIRED	5 TREES PROVIDED 7 TREES PROVIDED
PARKING LOT LANDSCAPING	THE PARKING LOT SHALL BE SCREENED FROM THE STREET BY 3-4 LINE OF EVERGREEN SHRUBS	REQUIRED	PROVIDED
	A MINIMUM OF 10% OF THE PARKING LOT SHALL BE LANDSCAPED	10,633 SF x 10% = 1063 SF REQUIRED	2,560 SF PROVIDED
	ONE TREE SHALL BE PLANTED PER EVERY 10 PARKING SPACES	3 PARKING SPACES / 10 = 1 TREE REQUIRED	1 TREE PROVIDED

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REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION	QTY	DETAIL
<			

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GENERAL NOTES

- CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL PROPOSED LANDSCAPING IS INSTALLED IN ACCORDANCE WITH PLANS, DETAILS, SPECIFICATIONS (IF APPLICABLE) AND ALL LOCAL CODES AND REQUIREMENTS.
- CONTRACTOR TO INSPECT SITE AND VERIFY CONDITIONS AND DIMENSIONING PRIOR TO PROCEEDING WITH WORK DESCRIBED HERE IN. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES PRIOR TO BEGINNING ANY CONSTRUCTION.
- QUANTITIES PROVIDED IN THE PLANT LIST ARE FOR GENERAL USE ONLY. CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL PLANT AND LANDSCAPE MATERIAL QUANTITIES. SYMBOL COUNT ON PLAN TAKES PRECEDENCE OVER TABLE QUANTITIES.
- IMMEDIATELY AFTER AWARD OF CONTRACT, NOTIFY THE OWNER'S REPRESENTATIVE AND/OR THE LANDSCAPE ARCHITECT OF UNAVAILABILITY OF SPECIFIED PLANT MATERIAL FROM COMMERCIAL NURSERIES. THE OWNER'S REPRESENTATIVE AND/OR LANDSCAPE ARCHITECT WILL PROVIDE ALTERNATE PLANT MATERIAL SELECTIONS IF UNAVAILABILITY OCCURS. SUCH CHANGES SHALL NOT ALTER THE ORIGINAL BID PRICE UNLESS A CREDIT IS DUE TO THE OWNER.
- ALL PLANT MATERIALS TO CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1.
- CONTAINER GROWN STOCK SHOULD HAVE GROWN IN A CONTAINER LONG ENOUGH FOR THE ROOT SYSTEM TO HAVE DEVELOPED SUFFICIENTLY TO HOLD ITS SOIL TOGETHER.
- ANY PLANT SUBSTITUTIONS, RELOCATION, OR REQUIRED CHANGE SHALL REQUIRE THE WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT OR OWNER.
- THE OWNER'S REPRESENTATIVE AND/OR LANDSCAPE ARCHITECT RESERVE THE RIGHT TO REFUSE ANY MATERIAL THEY DEEM UNACCEPTABLE.
- COORDINATE WITH PROJECT REPRESENTATIVE FOR DISTURBED SITE TREATMENTS OUTSIDE LANDSCAPE IMPROVEMENTS. SEE CIVIL PLANS FOR SOIL STABILIZATION FOR EROSION CONTROL.
- IF REQUIRED, CONTRACTOR TO ENSURE THAT AN AUTOMATED IRRIGATION SYSTEM THAT PROVIDES COMPLETE COVERAGE OF THE SITE IS INSTALLED PRIOR TO INSTALLING TREES/PALMS (SEE IRRIGATION PLAN SHEET IF PROVIDED). IF NO PLAN IS PROVIDED THE CONTRACTOR SHALL SUBMIT A PROPOSED DESIGN TO THE LANDSCAPE ARCHITECT/ENGINEER FOR APPROVAL PRIOR TO INSTALLATION. THE PROPOSED DESIGN MUST HAVE AN APPROVED BACKFLOW DEVICE AND RAIN SENSOR INSTALLED TO STOP IRRIGATION DURING RAIN EVENTS. CONTRACTOR SHALL ENSURE THAT THERE IS POSITIVE DRAINAGE AND NO PONDING OF WATER AT ROOT AREA.
- ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH AND FOUR INCHES OF TOPSOIL APPLIED. IF ADEQUATE TOPSOIL IS NOT AVAILABLE ON SITE, THE CONTRACTOR SHALL PROVIDE TOPSOIL, APPROVED BY THE OWNER, AS NEEDED. THE AREA SHALL THEN BE SEEDED/SODDED, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS. ANY RELOCATED TREES SHALL BE MAINTAINED UNTIL SUCH POINT AS TREE IS RE-ESTABLISHED. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE PROJECT SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK. LOCATIONS OF EXISTING BURIED UTILITY LINES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR 1) TO VERIFY THE LOCATIONS OF UTILITY LINES AND ADJACENT TO THE WORK AREA 2) TO PROTECT OF ALL UTILITY LINES DURING THE CONSTRUCTION PERIOD 3) TO REPAIR ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCURS AS A RESULT OF THE CONSTRUCTION AT NO COST TO THE OWNER.
- WEED MAT IS REQUIRED IN LANDSCAPED ISLANDS AS SPECIFIED.
- ALL PLANT MATERIAL QUANTITIES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE COVERAGE OF ALL PLANTING BEDS AT SPACING SHOWN.
- IF A SWPPP PLAN IS PROVIDED THIS PLAN IS TO BE IMPLEMENTED COOPERATIVELY WITH SWPPP PLAN, AS NEEDED, TO MAXIMIZE THE EFFECTIVENESS OF THE SWPPP PLAN FOR THIS SITE.
- THE CONTRACTOR IS ENCOURAGED TO COMPLETE TEMPORARY OR PERMANENT SEEDING OR SODDING IN STAGES FOR SOIL STABILIZATION AS AREAS ARE COMPLETED AFTER GRADING.
- SEEDING ON SLOPES: HYDROSEED WITH GRASS SEED AS INDICATED ON PLANS. SEE LEGEND FOR SPECIFIC GRASS SEED TYPE. SEEDING SHALL BE ACCOMPLISHED IMMEDIATELY AFTER BED PREPARATION. HYDROSEED MIXTURE SHALL CONTAIN CELLULOSE MULCH APPLIED AT A RATE OF 2,000 LBS./ACRE, WITH A MAXIMUM OF 50 LBS./100 GAL. OF WATER. IF SEEDING IS DELAYED AFTER MIXING 1/2 - 2 HOURS ADD AN ADDITIONAL 50% OF SEED MIX. IF DELAY IS LONGER THAN 2 HOURS, BEGIN WITH NEW MIXTURE. ALL SLOPES 2:1 OR GREATER SHALL BE COVERED WITH EROSION CONTROL BLANKET AS SHOWN IN THE EROSION CONTROL BLANKET DETAIL. SEE SPECIFICATIONS FOR SEED ESTABLISHMENT REQUIREMENTS.
- ALL PLANT MATERIAL IN TREE HOLDING AREAS SHALL BE MANUALLY WATERED/IRRIGATED TO KEEP MOIST UNTIL PLANTED.

PLANTING NOTES

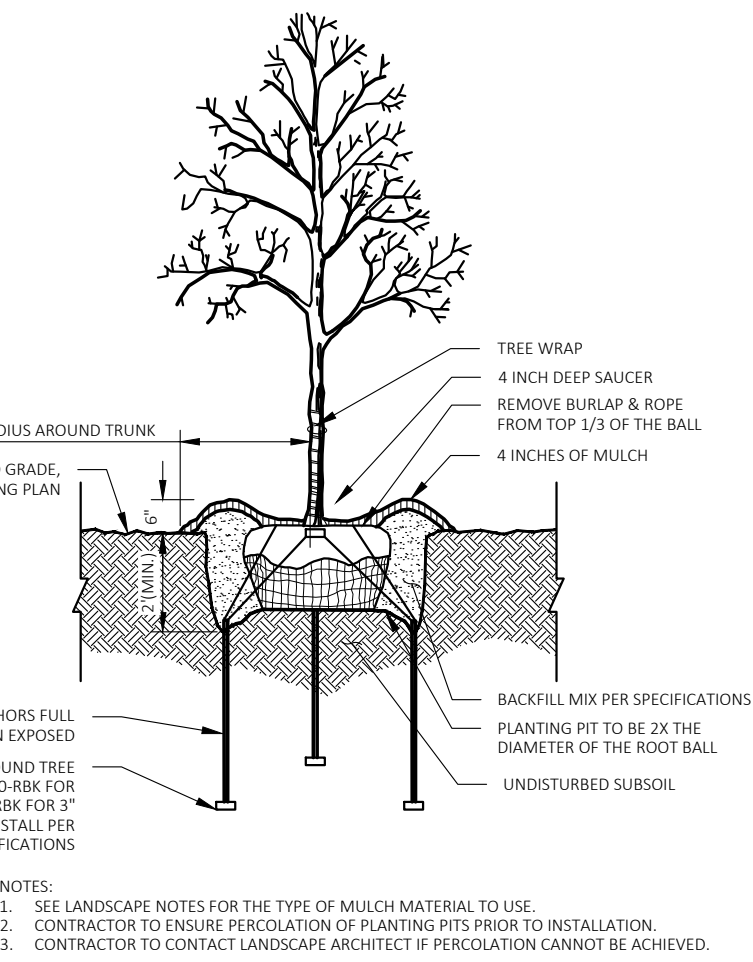
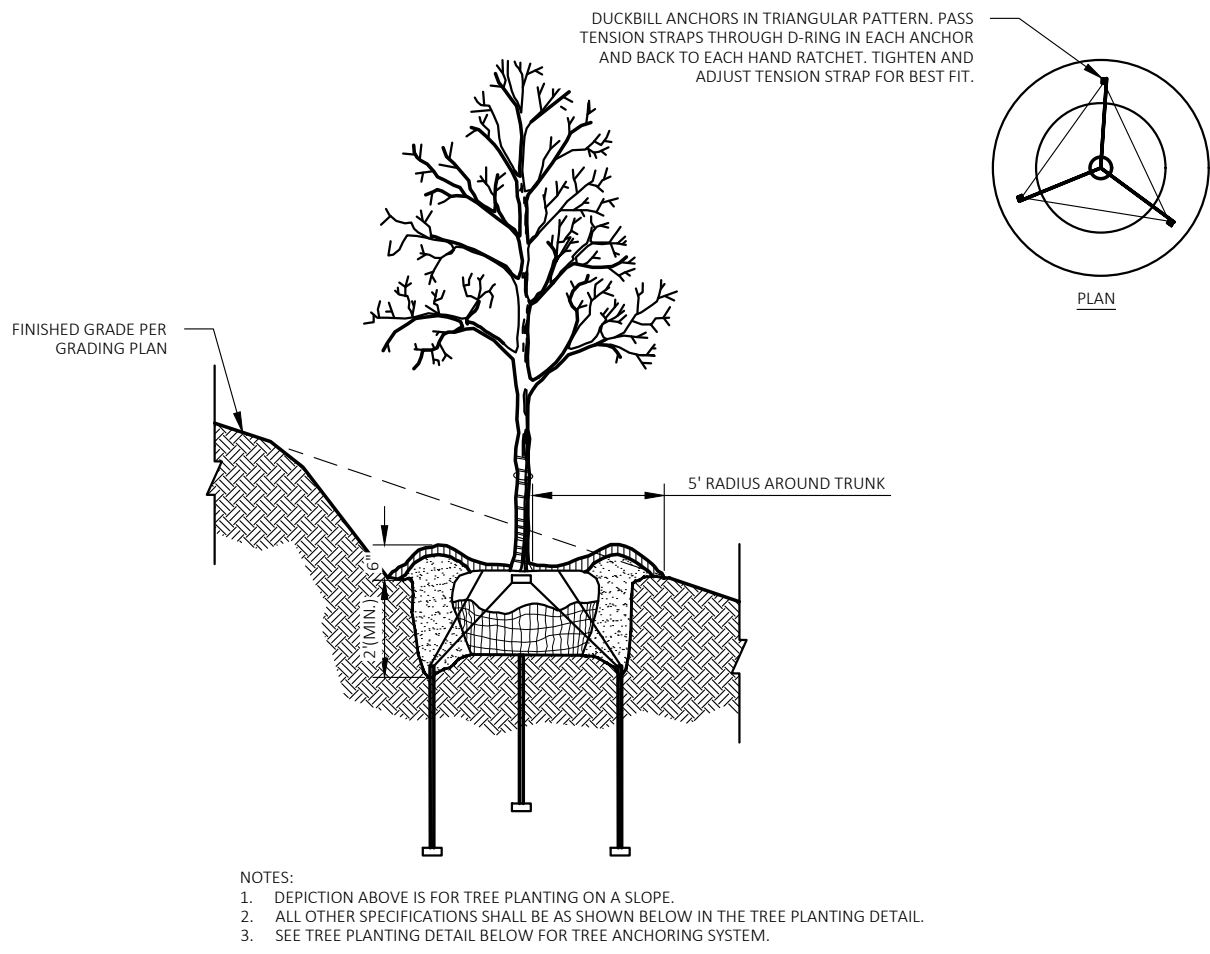
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR PREPARING ALL PLANTED AREAS. ALL DELETERIOUS MATERIALS SUCH AS ROCK, TRASH, CONSTRUCTION DEBRIS, AGGREGATE BASE MATERIAL, ASPHALT, ETC. SHALL BE REMOVED PRIOR TO ANY FILL OPERATIONS. FILL ALL PLANTING AREAS WITH CLEAN EARTHEN FILL. SOIL SHALL BE FREE OF HEAVY, STIFF CLAY AND ANY DELETERIOUS MATERIAL OVER ONE INCH IN SIZE. THE TOP SIX INCHES OF FILL MATERIAL STRIPPED FROM SITE MAY BE UTILIZED FOR PLANTER OR TOPSOIL FILL IF PRIOR APPROVAL HAS BEEN OBTAINED FROM THE OWNER'S REPRESENTATIVE AND/OR LANDSCAPE ARCHITECT.
- FINISH GRADE OF LANDSCAPE AREAS (TOP OF TURF AND MULCH) MUST BE GRADED TO 1 1/2" BELOW ADJACENT PAVEMENT SURFACES.
- LOCATE SHRUBS A DISTANCE OF HALF OF THEIR AVERAGE MATURE SPREAD AWAY FROM WALKS, STRUCTURES, CONCRETE PADS, ETC.. LOCATE GROUND COVER PLANTINGS A MINIMUM OF 2' FROM WALKS, STRUCTURES, CONCRETE PADS, ETC.
- ALL LAWN AREAS NOT OTHERWISE BORDERED BY WALKS, OR OTHER STRUCTURES, SHALL HAVE MANUFACTURED EDGING AS REQUIRED.
- TREES PLANTED ADJACENT TO PUBLIC ROADS AND PEDESTRIAN SIDEWALKS SHALL BE PRUNED SUFFICIENTLY TO AVOID VISUAL BLOCKS TO INTERSECTING VEHICULAR ACCESS OR INTERFERENCE WITH PEDESTRIAN WALKWAYS. TREES WITH A 4" OR LARGER CALIPER SHALL BE PRUNED UP TO 6'-0" ABOVE PAVEMENTS.
- ALL TREES WITHIN 4' OF PAVED SURFACES (SUCH AS CURBS, WALLS, BUILDINGS AND SIDEWALKS) SHALL BE PROVIDED WITH A DEEP ROOT BARRIER CONTROL DEVICE OR EQUAL. INSTALL PER MFR'S SPECIFICATIONS.
- TOPSOIL DEPTH SHALL BE AS FOLLOWS :
PLANTER BEDS - 12" MINIMUM
GRASS/SOD AREAS - 4" MINIMUM (AFTER COMPACTION)
- BACKFILL ALL TREES, SHRUBS, GROUND COVER WITH A MIXTURE OF 2 PARTS NATIVE SOIL AND 1 PART SOIL CONDITIONING WITH WOOD MULCH.
- THE LANDSCAPE CONTRACTOR SHALL WATER TEST ALL PLANTING HOLE PRIOR TO PLANTING. IF HOLES DO NOT DRAIN PROPERLY, EXCAVATE FURTHER UNTIL IMPERMEABLE LAYER IS BREACHED. EXCAVATED PLANT PITS SHALL HAVE POSITIVE DRAINAGE. PLANT PITS (WHEN FULLY FLOODED WITH WATER) SHALL DRAIN WITHIN 1 HOUR OF FILLING. ENSURE THAT ALL PLANT PITS HAVE POSITIVE DRAINAGE.
- ALL PLANTING BEDS SHALL BE TREATED WITH A PRE-EMERGENT HERBICIDE. PRE-EMERGENT HERBICIDE SHALL BE APPLIED PER MANUFACTURER'S RECOMMENDATIONS AND SHALL OCCUR AFTER TOPSOIL PLACEMENT AND PRIOR TO INSTALLATION OF PLANT MATERIALS AND MULCH.
- FERTILIZE ALL PLANTS AT THE TIME OF PLANTING WITH A TIME RELEASE FERTILIZER PER BRAND'S SPECIFIED APPLICATION RATES.
- ALL PLANTING BED SOILS SHALL BE AMENDED WITH 2" OF ORGANIC COMPOST
- ALL TREES AND SHRUBS SHALL BE PLANTED IN SUCH A MANNER AS TO ENSURE THEIR SURVIVAL.
- ANY ROPE OR WIRE BINDING THE BALL SHALL BE CUT PRIOR TO PREVENT GIRDLING OF THE TREE. REMOVE WIRE, TWINE, AND BURLAP FROM THE TOP HALF OF ALL B&B PLANT MATERIAL.
- IF A NON-BIODEGRADABLE MATERIAL IS USED AROUND THE BALL, IT SHALL BE COMPLETELY REMOVED PRIOR TO BACKFILLING.
- PRIOR TO INSTALLATION, THE ROOTS OF CONTAINER GROWN STOCK SHALL BE SEPARATED OR SPLIT TO ENSURE PROPER ROOT DEVELOPMENT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DELIVERY SCHEDULE AND PROTECTION BETWEEN DELIVERY AND PLANTING TO MAINTAIN HEALTHY PLANT CONDITIONS.
- ANY PLANT MATERIAL WHICH IS DISEASED, DISTRESSED, DEAD, OR REJECTED (PRIOR TO SUBSTANTIAL COMPLETION) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE MEETING ALL PLANT LIST SPECIFICATIONS. TREES & SHRUBS SHALL BE PLANTED AS SOON AS POSSIBLE AFTER DELIVERY.
- ALL TREES MUST BE STRAIGHT-TRUNKED, FULL-HEADED AND MEET ALL REQUIREMENTS SPECIFIED.
- ALL TREES MUST BE STAKED AS SHOWN IN THE DETAILS.
- NO SUBSTITUTIONS OR ALTERNATIVES WILL BE ALLOWED FOR GROUND SURFACE MATERIALS UNLESS APPROVED IN WRITING BY THE LANDSCAPE ARCHITECT OR OWNER.
- MAINTAIN 5' MIN. HORIZONTAL SEPARATION BETWEEN TREE PLANTINGS AND ALL UTILITIES UNLESS OTHERWISE SPECIFIED.
- A FOUR INCH (4") TOP DRESSING/MULCHING OF LANDSCAPE ROCK PER LANDSCAPE PLAN SHALL BE PLACED IN ALL PLANT BEDS AND AROUND ALL TREES. SINGLE TREES OR SHRUBS SHALL HAVE TOP DRESSING TO THE OUTSIDE EDGE OF THE MANUFACTURED EDGING OR LANDSCAPE ISLAND. (SEE PLANTING DETAILS) TOP DRESSING CAN BE WOOD MULCH, ROCK, OR ANY OTHER DECORATIVE MATERIAL SPECIFIED ON PLANS. SEE LANDSCAPE PLAN FOR TYPE.
- THE FOLLOWING PLANTING SEASONS ARE RECOMMENDED:
EVERGREEN SHRUBBERY NOVEMBER - MARCH
DECIDUOUS SHRUBBERY & TREES NOVEMBER - MARCH
EVERGREEN TREES NOVEMBER - MARCH

PLANT GUARANTEE, REPLACEMENT AND MAINTENANCE

- GUARANTEE:**
ACCEPTANCE OF GRADING AND SEEDING SHALL BE BY LANDSCAPE ARCHITECT AND/OR OWNER. THE CONTRACTOR SHALL ASSUME MAINTENANCE RESPONSIBILITIES UNTIL FINAL ACCEPTANCE. MAINTENANCE SHALL INCLUDE WATERING, WEEDING, RESEEDING AND OTHER OPERATIONS NECESSARY TO KEEP ALL LAWN AREAS IN A THRIVING CONDITION. UPON FINAL ACCEPTANCE, OWNER SHALL ASSUME ALL MAINTENANCE RESPONSIBILITIES. AFTER LAWN AREAS HAVE GERMINATED, AREAS WHICH FAIL TO SHOW A UNIFORM STAND OF GRASS FOR ANY REASON, WHATSOEVER SHALL BE RE-SEEDD REPEATEDLY UNTIL ALL AREAS ARE COVERED WITH A SATISFACTORY STAND OF GRASS. MINIMUM ACCEPTANCE OF SEEDED LAWN AREAS MAY INCLUDE SCATTERED BARE SPOTS, NONE OF WHICH ARE LARGER THAN 1 SQUARE FOOT, AND WHEN COMBINED DO NOT EXCEED 2% OF TOTAL SEEDED LAWN AREA.
- REPLACEMENT:**
ANY PLANT UNDER THIS SPEC WHICH IS DEAD, MISSING, UNHEALTHY, OR OTHERWISE NOT ACCEPTABLE AND NOT IN SATISFACTORY GROWING CONDITION DURING CONSTRUCTION MAINTENANCE PERIOD, OR AT THE END OF THE GUARANTEE PERIOD, SHALL BE REMOVED FROM SITE AND REPLACED WITH SUITABLE, ACCEPTABLE PLANT AS SPECIFIED, WITHIN FIVE (5) DAYS.
- MAINTENANCE:**
GENERAL CONTRACTOR SHALL PROVIDE ONE YEAR OF LANDSCAPE MAINTENANCE, FROM THE TIME THE PROJECT RECEIVES THE CERTIFICATE OF OCCUPANCY AND THERE AFTER, FOR ALL NEW LANDSCAPE. IF EXISTING LANDSCAPE EXISTS ON-SITE, GENERAL CONTRACTOR IS TO PROVIDE THE OPTION OF MAINTENANCE FOR THE OWNER'S REVIEW.

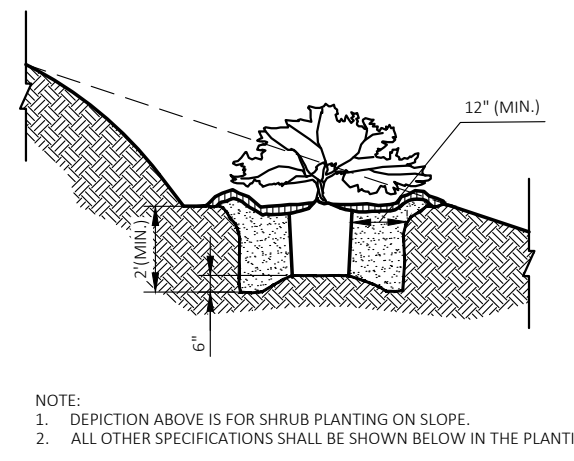
HERBICIDES NOTES

- APPLICATION OF HERBICIDES SHALL BE IN COMPLIANCE WITH STATE PESTICIDES REGULATIONS. IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO CONSULT WITH THE REGULATORY AGENCIES FOR LOCAL HERBICIDES APPLICATION REQUIREMENTS.
- IF THERE IS A DISCREPANCY BETWEEN STATE REGULATIONS AND ADDITIONAL REQUIREMENTS BELOW, MOST STRINGENT SHALL RULE
- NO AERIAL APPLICATION OF HERBICIDES IS PERMITTED ON SITE.
- CARCINOGENS AND EPA TOXIC CATEGORY I AND II ARE PROHIBITED TO USE ON SITE.

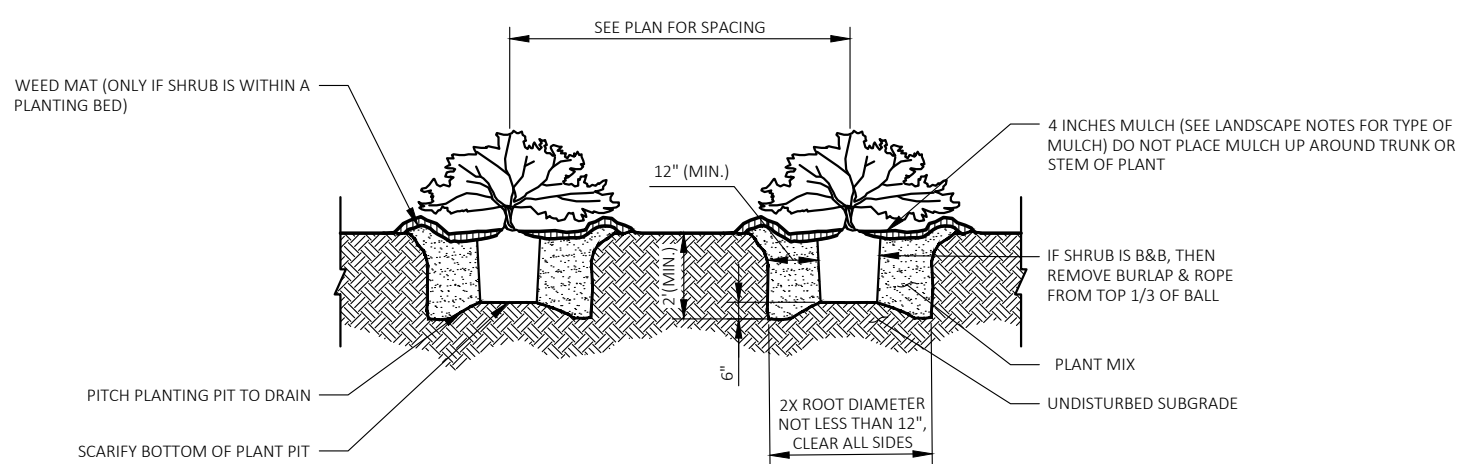


TREE PLANTING

N.T.S.

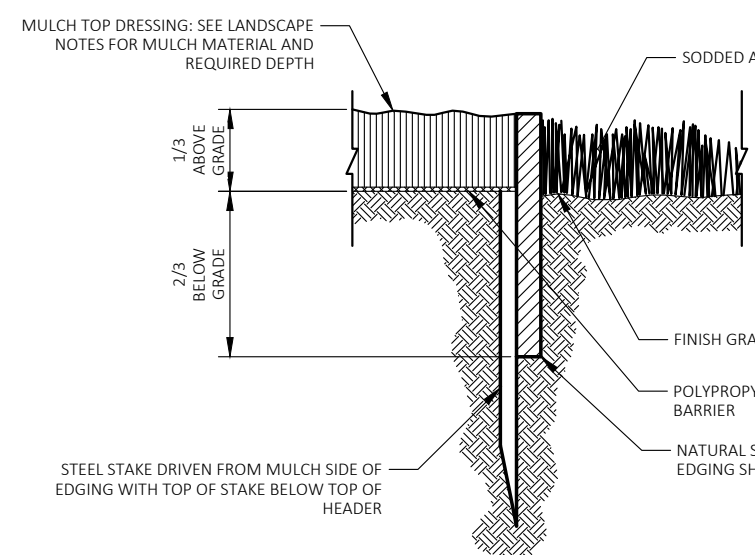


NOTE:
1. DEPICTION ABOVE IS FOR SHRUB PLANTING ON SLOPE.
2. ALL OTHER SPECIFICATIONS SHALL BE SHOWN BELOW IN THE PLANTING DETAIL.



SHRUB PLANTING

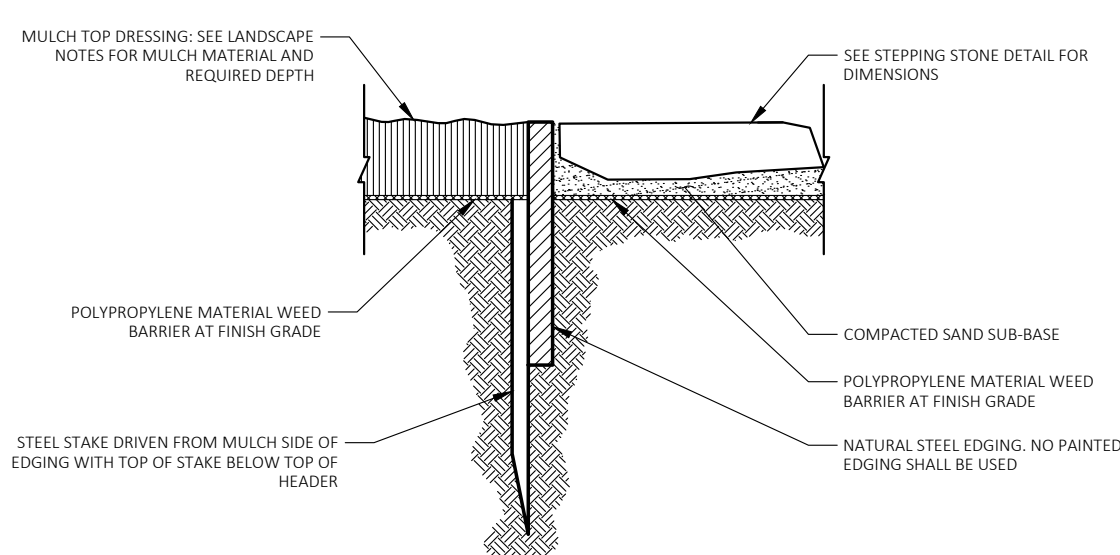
N.T.S.



NOTE:
1. DEPICTION ABOVE IS FOR SODDED AREA WITH MULCH.

STEEL EDGING

N.T.S.



NOTE:
1. DEPICTION ABOVE IS FOR STEPPING STONE AREA WITH MULCH.



CEI ENGINEERING ASSOCIATES, INC.

2600 NE 11TH ST, SUITE 300
BENTONVILLE, AR 72712
PHONE: (479) 273-9472
FAX: (479) 273-0844

REVISION

NO.	DESCRIPTION	DATE



SEVEN BREW
2100 CARLISLE BLVD
ALBUQUERQUE, NEW MEXICO



PROFESSIONAL OF RECORD	JDG
PROJECT MANAGER	MAS
DESIGNER	RM
CEI PROJECT NUMBER	34746
DATE	11/6/2025
REVISION	REV-0

LANDSCAPE NOTES

SHEET TITLE

SHEET NUMBER

L1.1

2100 CARLISLE BOULEVARD
LOCATED IN: SECTION 11, TOWNSHIP 10 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO 87105

LINE TABLE					
LINE	BEARING	DISTANCE	LINE	BEARING	DISTANCE
L1(M)	N 44°53'28" W	17.06	L1(M)	N 44°47'18" W	17.06
L2(M)	N 89°53'28" W	79.85	L2(R)	N 89°47'18" W	79.85
L3(M)	S 45°06'32" W	17.78	L3(R)	S 45°12'42" W	17.78
L4(M)	N 89°53'28" W	97.34	L4(R)	N 89°47'18" W	97.34
L5(M)	S 87°27'53" W	67.30	L5(R)	S 87°34'03" W	67.30
L6(M)	N 34°30'01" E	22.36	L6(R)	N 34°30'56" E	22.36
L7(M)	N 00°28'36" E	44.08	L7(R)	N 00°29'31" E	44.08
L8(M)	S 32°17'15" W	23.12	L8(R)	S 32°16'20" W	23.12
L9(M)	N 00°28'36" E	44.08	L9(R)	N 00°29'31" E	44.08
L10(M)	S 89°37'58" E	12.10	L10(R)	S 89°37'03" E	12.10
L11(M)	N 00°21'37" E	48.19	L11(R)	N 00°22'32" E	48.19
L12(M)	N 02°49'46" E	83.27	L12(R)		83.27
L13(M)	N 47°49'46" E	7.67	L13(R)	N 47°50'41" E	7.67
L14(M)	N 02°49'46" E	15.37	L14(R)	S 02°50'41" W	15.37
L15(M)	N 00°22'36" E	200.00	L15(R)	N 00°22'57" E	200.00
L16(M)	S 89°37'06" W	66.89	L16(R)	S 89°58'50" W	66.89
L17(M)	N 02°39'59" E	66.87	L17(R)	S 02°40'51" W	66.87
L18(M)	S 89°34'31" E	71.42	L18(R)	S 89°14'36" E	71.42
L19(M)	N 02°49'06" E	10.96	L19(R)	N 00°25'51" E	11.24
L20(M)	S 02°49'46" W	59.60	L20(R)	S 02°50'41" W	59.60

N/F: CARLISLE ASSOC LP C/O ROSEN ASSOC MGMT CORP
2100 CARLISLE BLVD ALBUQUERQUE, NM 87110

N/F: CARLISLE ASSOC LP C/O ROSEN ASSOC MGMT CORP
2100 CARLISLE NE BLVD, ALBUQUERQUE, NM 87110
APN: 101705904405130123
431,894 ± SQUARE FEET, OR 9.915 ± ACRES

AWAITING TITLE COMMITMENT

AWAITING TITLE COMMITMENT

AWAITING TITLE COMMITMENT

REGULAR= 374

REGULAR= 374
PARALLEL= 18
HANDICAP= 12
COVERED PICKUP= 1
ELECTRIC VEHICLE= 0
MOTORCYCLE= 6

TOTAL= 428

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE "X" OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 35001C0351H, WHICH BEARS AN EFFECTIVE DATE OF 8/16/2012 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.

ZONE "X" - AREA OF MINIMAL FLOOD HAZARD, USUALLY DEPICTED ON FIRMS AS ABOVE THE 500-YEAR FLOOD LEVEL. ZONE "X" IS THE AREA DETERMINED TO BE OUTSIDE THE 500-YEAR FLOOD AND PROTECTED BY LEVEE FROM 100-YEAR FLOOD.

THE BASIS OF BEARING OF THIS SURVEY IS GRID NORTH BASED ON THE EAST LINE OF THE
SUBJECT PROPERTY. THE BEARING IS DENOTED AS S00°22'54"W PER GPS COORDINATE
OBSERVATIONS NEW MEXICO STATE PLANE, CENTRAL ZONE NAD83.
LATITUDE = 35°06'10.6032"
LONGITUDE = -00°12'12.67"
CONVERGENCE ANGLE = -00°12'12.67"

AWAITING TITLE COMMITMENT

THE UTILITIES SHOWN ON THIS DRAWING HEREON HAVE BEEN LOCATED BY FIELD MEASUREMENTS, UTILITY MAP DRAWINGS, AND NEW MEXICO 811 DIG UTILITY LOCATE REQUEST. BLEW AND ASSOCIATES MAKES NO WARRANTY TO THE EXACT LOCATION OF ANY UNDERGROUND UTILITIES SHOWN OR NOT SHOWN ON THIS DRAWING. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ANY AND ALL UTILITIES PRIOR TO CONSTRUCTION. TICKET NUMBER: 255E110007

COMPANY:	CONTACT:
CITY OF ALBUQUERQUE - STORM DRAINS	505-768-3830
CITY OF ALBUQUERQUE - STREET LIGHTING DEPT	505-768-3830
ALBUQUERQUE/BERNALILLO COUNTY WUA	808-842-9287
CITY OF ALBUQUERQUE	808-768-2000
NEW MEXICO DEPARTMENT OF TRANSPORTATION - FIBER	505-537-1976
NEW MEXICO GAS COMPANY - ALBUQUERQUE	888-664-2726
PNM ELECTRIC - ALBUQUERQUE	888-342-5766

PROPERTY IS CURRENTLY ZONED: **AWAITING ZONING REPORT**

DATE	REVISION HISTORY	BY

NOT TO SCALE

CUTLER AVE NE

CORONADO FWY (I-40)

CARLISLE BLVD NE

HERMOSA DR NE

SOLANO DR NE

ALISO DR NE

MORRINGSIDE DR NE

SUNINGSCALE AVE NE

INDIAN SCHOOL RD NE

SITE

Compass Rose: N, S, E, W

1. SOME FEATURES SHOWN ON THIS PLAT MAY BE SHOWN OUT OF SCALE FOR CLARITY.
2. DIMENSIONS ON THIS PLAT ARE EXPRESSED IN FEET AND DECIMAL PARTS THEREOF UNLESS OTHERWISE NOTED. MONUMENTS WERE FOUND AT POINTS WHERE INDICATED.
3. IN REGARD TO ALTA/NSPS TABLE A ITEM 16, THERE WAS OBSERVABLE EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR ADDITIONS AS SHOWN HEREON.
4. IN REGARD TO ALTA/NSPS TABLE A ITEM 17, THERE WERE NO KNOWN PROPOSED CHANGES IN RIGHT OF WAY LINES, RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS EXCEPT AS SHOWN HEREON.
5. AT THE TIME OF THE ALTA/NSPS SURVEY, THERE WAS NO OBSERVABLE EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, PUMP, OR SANITARY LANDFILL.
6. AT THE TIME OF THE ALTA/NSPS SURVEY, THERE WAS NO OBSERVABLE EVIDENCE OF SITE USE AS A CEMETERY, ISOLATED GRAVE SITE OR BURIAL GROUNDS.
7. COMPLETED FIELD WORK WAS SEPTEMBER 23, 2025.
8. THE DISTANCES SHOWN HEREON ARE UNITS OF GROUND MEASUREMENT.
9. THE SUBJECT PROPERTY HAS DIRECT PHYSICAL ACCESS TO CARLISLE BOULEVARD AND INDIAN SCHOOL ROAD, BEING PUBLICLY DEDICATED RIGHTS-OF-WAY. IT APPEARS THE SUBJECT PROPERTY HAS RIGHTS OF INDIRECT ACCESS ACROSS APN: 10170590190630139. AWAITING TITLE DOCUMENTS TO CONFIRM.
10. EXCEPT AS SPECIFICALLY STATED OR SHOWN ON THIS PLAT, THIS SURVEY DOES NOT PURPORT TO REFLECT ANY OF THE FOLLOWING WHICH MAY BE APPLICABLE TO THE SUBJECT PROPERTY: EASEMENTS, OTHER THAN POSSIBLE EASEMENTS WHICH WERE VISIBLE AT THE TIME OF SURVEY; RESTRICTIVE COVENANTS; SUBDIVISION MAPS, PLATS OR OTHER INSTRUMENTS OR CONDITIONS; AND ANY OTHER FACTS WHICH AN ACCURATE TITLE SEARCH MAY DISCLOSE.
11. NO SURVEYOR OR ANY OTHER PERSON OTHER THAN A LICENSED NEW MEXICO ATTORNEY MAY PROVIDE LEGAL ADVICE CONCERNING THE STATUS OF TITLE TO THE PROPERTY DESCRIBED IN THIS SURVEY ("THE SUBJECT PROPERTY"). THE PURPOSE OF THIS SURVEY, AND THE RESULTS THEREOF, ARE RELATED TO THE SCHEDULED B EXCEPTIONS. IS ONLY TO SHOW THE LOCATION OF BOUNDARIES AND PHYSICAL OBJECTIONS IN RELATION THERETO, TO THE EXTENT THAT THE SURVEY INDICATES THAT THE LEGAL INSTRUMENT "AFFECTS" THE SUBJECT PROPERTY. SUCH STATEMENT IS ONLY INTENDED TO ADVISE THAT THE SUBJECT PROPERTY BOUNDARY INCLUDED IN SUCH INSTRUMENT INCLUDE SOME OR ALL OF THE SUBJECT PROPERTY. THE SURVEYOR DOES NOT PURPORT TO DESCRIBE HOW SUCH INSTRUMENT AFFECTS THE SUBJECT PROPERTY OR THE ENFORCEABILITY OR LEGAL CONSEQUENCES OF SUCH INSTRUMENT.
12. NAMES AND ADDRESSES OF ADJOINING PROPERTY OWNERS WERE TAKEN FROM BERNALLICO COUNTY GIS.
13. THE SUBJECT PROPERTY SHOWN HEREON FORMS A MATHEMATICALLY CLOSED FIGURE AND IS CONTIGUOUS WITH THE ADJOINING PUBLIC RIGHT-OF-WAY AND/OR ADJOINING PARCELS WITH NO GAPS OR OVERLAPS.
14. IN REGARD TO ALTA/NSPS TABLE A ITEM 10, NO VISIBLE DIVISION OR PARTY WALLS WITH RESPECT TO ADJOINING PROPERTIES WERE OBSERVED AT THE TIME THE FIELD SURVEY WAS PERFORMED, NOR WERE ANY DESIGNATED BY THE CLIENT.
15. IN REGARD TO ALTA/NSPS TABLE A ITEM 18, ANY PLOTTABLE OFFSITE (I.E., APPURTENANT) EASEMENTS DISCLOSED IN DOCUMENTS PROVIDED TO OR OBTAINED BY THE SURVEYOR HAVE BEEN SHOWN AND/OR NOTED HEREON.
16. ELEVATIONS ESTABLISHED WITH GPS STATIC OBSERVATIONS UTILIZING ONLINE POSITIONING USER SERVICE (OPUS) FOR POST PROCESSING. VERTICAL DATUM BASED UPON NORTH AMERICAN VERTICAL DATUM (NAVD83) IN US SURVEY FEET. CONTOURS SHOWN ARE 1' INTERVALS.

FOUND MONUMENT AS NOTED
 SET MONUMENT AS NOTED
 HANDICAP PARKING
 POWER POLE
 TRANSMISSION LINE POLE
 GUY WIRE ANCHOR
 LIGHT POLE
 ELECTRIC VAULT
 TRAFFIC SIGNAL MANHOLE
 TRAFFIC VAULT
 SCREEN INTERCOM
 ELECTRIC CABINET
 ELECTRIC BOX
 ELECTRIC METER
 ELECTRIC VEHICLE CHARGING STATION
 TELEPHONE PEDESTAL
 FIBER OPTIC MANHOLE
 CONDUIT RISER
 FIRE HYDRANT
 WATER VALVE
 IRRIGATION CONTROL VALVE
 WATER METER
 WATER VAULT
 FIRE DEPARTMENT CONTROL VALVE
 WATER UTILITY BOX
 GAS VALVE RISER
 SAUNER MANHOLE (SMHH)
 CLEANOUT
 GREASE TRAP
 STORM MANHOLE (DMHH)
 DRAIN GRATE W/ CURB INLET (DGCH)
 DRAIN GRATE
 UTILITY MANHOLE
 HEIGHT CLEARANCE POLE
 PEDESTRIAN SIGNAL POLE
 SOLAR POWER POLE
 TRAFFIC SIGNAL POLE
 HIGHWAY SIGN
 SIGN
 BOLLARD
 BUILDING HEIGHT LOCATION
 ELECTRIC VEHICLE PARKING SPACE(S)
 FINISH FLOOR ELEVATION
 COVERED PICKUP ORDER PARKING SPACE(S)
 PARALLEL PARKING SPACE(S)
 STANDARD PARKING SPACE(S)
 MEASURED/CALCULATED DIMENSION
 RECORD DIMENSION PER DOC NO. 20230699204
 NOW OR FORMERLY
 CONCRETE BLOCK WALL
 CART CORRAL
 CONCRETE ISLAND
 CORRUGATED METAL PIPE
 CONCRETE
 CONCRETE RETAINING WALL
 OVERHANG
 POLYVINYL CHLORIDE PIPE
 TRUCK LOADING BAY
 BACK OF CURB
 EDGE OF ASPHALT
 EDGE OF CONCRETE
 FLOW LINE
 NATURAL GROUND
 TOP OF ASPHALT
 TOP OF CONCRETE
 BOUNDARY LINE
 EASEMENT LINE
 SETBACK LINE
 RIGHT-OF-WAY LINE
 FENCE LINE
 METAL GUARDRAIL
 METAL HANDRAIL
 OVERHEAD POWER LINE
 OVERHEAD TRANSMISSION LINE
 UNDERGROUND GAS LINE
 SANITARY SEWER LINE
 STORM SEWER LINE
 NOT TO SCALE

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED
WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS
FOR ALTA/NPSPLAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND
NPSPLAND AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6A, 6B, 7A, 7B1, 7C, 8, 9, 10, 11A, 13, 16, 17, 18, AND
19 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON 09/23/2025.

DATE OF PLAT OR MAP: 09/25/2025

WILLIAM G. GAGNER
PROFESSIONAL LAND SURVEYOR NO.: 25206
STATE OF NEW MEXICO

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SURVEYOR JOB NUMBER:

25-7098

SURVEY DRAWN BY:

AJK - 09/25/2025

SHEET:

1 OF 2

ALT/NSPS LAND TITLE SURVEY

2100 CARLISLE BOULEVARD

LOCATED IN: SECTION 11, TOWNSHIP 10 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN

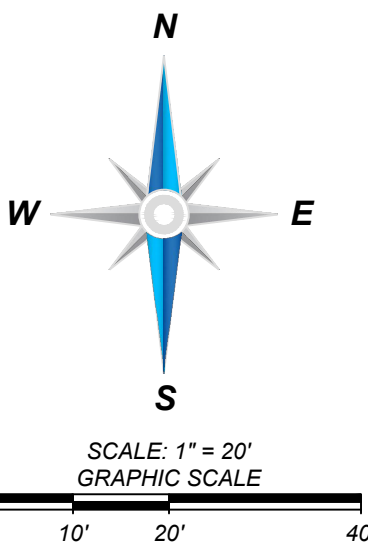
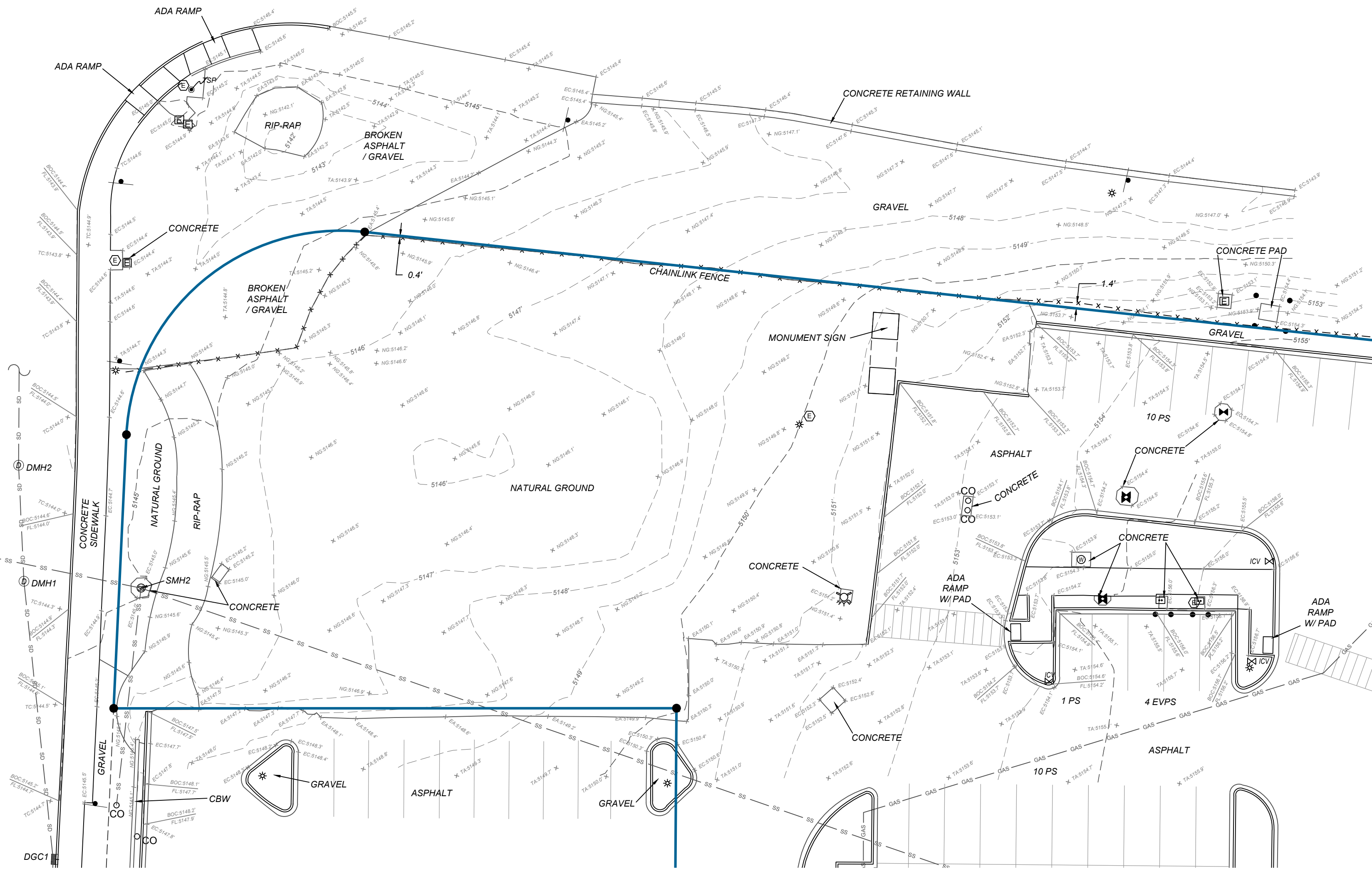
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO 87105

CURVE TABLE

CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1(M)	150.00'	38.05'	14°32'05"	N 82°37'26" W	37.95'
C1(R)	150.00'	38.05'	14°32'05"	S 82°31'16" E	37.95'
C2(M)	156.00'	46.78'	17°10'46"	N 83°56'45" W	46.60'
C2(R)	156.00'	46.77'	17°10'44"	N 83°50'35" W	46.60'
C3(M)	25.00'	40.55'	92°56'16"	N 45°29'18" W	36.25'
C3(R)	25.00'	40.55'	92°56'28"	S 45°58'13" E	36.25'
C4(M)	165.88'	37.92'	13°05'55"	N 09°22'41" E	37.84'
C4(R)	165.88'	37.92'	13°05'52"	N 09°23'36" E	37.84'
C5(M)	53.77'	87.69'	93°26'35"	N 49°37'43" E	78.29'
C5(R)	53.77'	87.53'	93°16'01"	S 49°28'41" W	78.18'
C6(M)	3474.98'	82.56'	1°21'41"	S 79°00'36" E	82.58'
C6(R)	3474.98'	84.01'	1°23'07"	S 79°04'24" E	84.01'

LINE TABLE

LINE	BEARING	DISTANCE	LINE	BEARING	DISTANCE
L1(M)	N 44°53'28" W	17.05'	L1(R)	N 44°47'18" W	17.05'
L2(M)	N 89°53'28" W	79.85'	L2(R)	N 89°47'18" W	79.85'
L3(M)	S 45°06'32" W	17.78'	L3(R)	S 45°12'42" W	17.78'
L4(M)	N 89°53'28" W	97.34'	L4(R)	N 89°47'18" W	97.34'
L5(M)	S 87°27'53" W	67.30'	L5(R)	S 87°34'03" W	67.30'
L6(M)	N 34°30'01" E	22.36'	L6(R)	N 34°30'56" E	22.36'
L7(M)	N 00°28'36" E	44.06'	L7(R)	N 00°29'31" E	44.06'
L8(M)	N 32°17'15" W	23.12'	L8(R)	N 32°16'20" W	23.12'
L9(M)	N 00°28'36" E	17.29'	L9(R)	N 00°29'31" E	17.29'
L10(M)	S 89°37'58" E	12.10'	L10(R)	S 89°37'03" E	12.10'
L11(M)	N 00°21'37" E	49.19'	L11(R)	N 00°22'32" E	49.19'
L12(M)	N 02°49'46" E	83.27'	L12(R)	N 02°49'41" E	83.27'
L13(M)	N 47°49'46" E	7.67'	L13(R)	N 47°50'41" E	7.67'
L14(M)	N 02°49'46" E	15.37'	L14(R)	S 02°50'41" W	15.37'
L15(M)	N 00°22'36" E	200.00'	L15(R)	N 00°22'57" E	200.00'
L16(M)	S 89°59'06" W	140.89'	L16(R)	S 89°58'50" W	140.89'
L17(M)	N 02°39'59" E	68.57'	L17(R)	N 02°50'41" E	68.57'
L18(M)	S 89°34'31" E	71.42'	L18(R)	S 89°14'36" E	71.42'
L19(M)	N 02°49'06" E	10.96'	L19(R)	N 00°25'51" E	11.24'
L20(M)	S 02°49'46" W	59.60'	L20(R)	S 02°50'41" W	59.60'



INVERT TABLE

SMH1	RIM ELEVATION: 5154.40'
	6" PVC INVERT S: 5138.9'
	8" PVC INVERT NW: 5137.9'
SMH2	RIM ELEVATION: 5144.83'
	4" PVC INVERT S: 5120.6'
	6" PVC INVERT SE: 5120.6'
	8" PVC INVERT NW: 5120.4'
SMH3	RIM ELEVATION: 5144.09'
	6" PVC INVERT S: 5120.9'
	8" PVC INVERT SE: 5120.9'
	8" PVC INVERT NW: 5120.5'
DMH1	RIM ELEVATION: 5144.18'
	24" CMP INVERT S: 5140.0'
	24" CMP INVERT N: 5139.8'
DMH2	RIM ELEVATION: 5143.88'
	24" CMP INVERT S: 5139.7'
	24" CMP INVERT N: 5139.5'
DGC1	RIM ELEVATION: 5144.75'
	24" CMP INVERT S: 5140.6'
	24" CMP INVERT N: 5140.4'
DGC2	RIM ELEVATION: 5142.93'
	6" PVC INVERT N: 5141.9'
	24" CMP INVERT N: 5132.4'
	24" CMP INVERT E: 5132.3'
	24" CMP INVERT W: 5131.9'

LEGEND & SYMBOLS

●	FOUND MONUMENT AS NOTED
○	SET MONUMENT AS NOTED
♿	HANDICAP PARKING
⚡	POWER POLE
⚡	TRANSMISSION LINE POLE
⚡	GUY WIRE ANCHOR
⚡	LIGHT POLE
⚡	ELECTRIC VAULT
⚡	TRAFFIC SIGNAL MANHOLE
⚡	TRAFFIC VAULT
⚡	SCREEN INTERCOM
⚡	ELECTRIC CABINET
⚡	ELECTRIC BOX
⚡	ELECTRIC METER
⚡	ELECTRIC VEHICLE CHARGING STATION
⚡	TELEPHONE PEDESTAL
⚡	FIBER OPTIC MANHOLE
⚡	CONDUIT RISER
⚡	FIRE HYDRANT
⚡	WATER VALVE
⚡	IRRIGATION CONTROL VALVE
⚡	WATER METER
⚡	WATER VAULT
⚡	FIRE DEPARTMENT CONTROL VALVE
⚡	WATER UTILITY BOX
⚡	GAS VALVE RISER
⚡	SANITARY MANHOLE (SMH#)
⚡	CLEANOUT
⚡	GREASE TRAP
⚡	STORM MANHOLE (DMH#)
⚡	DRAIN GRATE W/ CURB INLET (DGCH)
⚡	DRAIN GRATE
⚡	UTILITY MANHOLE
⚡	HEIGHT CLEARANCE POLE
⚡	PEDESTRIAN SIGNAL POLE
⚡	SOLAR POWER POLE
⚡	TRAFFIC SIGNAL POLE
⚡	HIGHWAY SIGN
⚡	SIGN
⚡	BOLLARD
⚡	BUILDING HEIGHT LOCATION
⚡	ELECTRIC VEHICLE PARKING SPACE(S)
⚡	FINISHED FLOOR ELEVATION
⚡	COVERED PICKUP ORDER PARKING SPACE(S)
⚡	PARALLEL PARKING SPACE(S)
⚡	STANDARD PARKING SPACE(S)
⚡	MEASURED/CALCULATED DIMENSION
⚡	RECORD DIMENSION PER DOC NO. 2023069204
⚡	NOW OR FORMERLY
⚡	CONCRETE BLOCK WALL
⚡	CART CORRAL
⚡	CONCRETE ISLAND
⚡	CORRUGATED METAL PIPE
⚡	CONCRETE
⚡	CONCRETE RETAINING WALL
⚡	OVERHANG
⚡	POLYVINYL CHLORIDE PIPE
⚡	TRUCK LOADING BAY
⚡	BACK OF CURB
⚡	EDGE OF ASPHALT
⚡	EDGE OF CONCRETE
⚡	FLOW LINE
⚡	NATURAL GROUND
⚡	TOP OF ASPHALT
⚡	TOP OF CONCRETE
⚡	BOUNDARY LINE
⚡	EASEMENT LINE
⚡	SETBACK LINE
⚡	RIGHT-OF-WAY LINE
⚡	FENCE LINE
⚡	METAL GUARDRAIL
⚡	METAL HANDRAIL
⚡	OVERHEAD POWER LINE
⚡	OVERHEAD TRANSMISSION LINE
⚡	UNDERGROUND GAS LINE
⚡	SANITARY SEWER LINE
⚡	STORM SEWER LINE
⚡	NOT TO SCALE

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KLR

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2 OF 2