



Kym Dicome, DRB Chair, Planning Development  
Development Review Board Members  
City of Albuquerque  
600 Plaza del Sol, 600 2nd NW, Albuquerque, NM 87102

January 10, 2020 UPDATE (6<sup>th</sup> Supplemental Submittal)

**RE: KMART REDEVELOPMENT – DRB SUBMITTAL FOR SITE PLAN**

**DRB PROJECT NUMBER: PR –2019–002677**  
**APPLICATION NUMBER: SI-2019-00252**

Members of the Development Review Board,

Subsequent to our comments provided at the DRB Hearing on December 18, 2019 we have the following written responses as well as the accompanying revised documents and drawings. We look forward to reviewing with you at our next scheduled hearing on January 15, 2019.

#### **TRANSPORTATION DEVELOPMENT**

1. The infrastructure list will need to include recommendations laid out in the recently submitted Traffic Impact Study. Appropriate right-of-way dedication is needed based on these requirements, and plat sign-off will be needed prior to site plan approval.
  - a. **See attached signed Infrastructure List**
2. Upgrades to the Indian School/Carlisle intersection are required including refurbishing of existing striping, addition of detectable warning surfaces, and required traffic infrastructure replacement as required by Traffic Operations.
  - a. **See “PAVING” section on the attached infrastructure list.**
3. Following DOT approval for the T.I.S., the Infrastructure List may need to be amended to include additional infrastructure list requirements. Add note to the Infrastructure List.
  - a. **See “NOTES” section on the attached infrastructure list.**



4. As part of the proposed platting action, provide right-of-way dedication for the southern access to the site on Carlisle Blvd. as well as to the site access from Indian School Road. Curb ramps at these entrances appear to be outside of right-of-way.
  - a. **Refer to Plat for curb ramps that are outlined. See site plan BP-1, the right-of-way dedication for the southern access to the site on Carlisle Blvd. as well as the site access for Indian School Road have been modified to include curb ramps.**
  
5. Dimensioning (existing and new) for all lanes on Carlisle Boulevard and Indian School Road including the 6-foot bike lane has been provided, but it is unclear whether curb needs to be relocated or road striping needs to be done for Indian School Road. Once this is defined, it needs to be reflected for improvements to Indian School Road on the infrastructure list.
  - a. **See BP-1 Site Plan and Infrastructure List**
  
6. On Sheet A1.1, where is cross-section A-A for the curb ramp?
  - a. **See sheet A1.1 - Site Details, note 16 (See bottom right corner of note 16 "Section B-B")**
  
7. The ADA access aisle shall have the words "NO PARKING" in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978)
  - a. **See Sheet A1.2 - Site detail, notes 2 and 3.**
  
8. The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 "Violators Are Subject to a Fine and/or Towing." If that language is present it is not visible in the detail.
  - a. **See Sheet A1.2 Site detail, note 11.**

## **HYDROLOGY**

1. Hydrology has an approved grading plan with Engineers stamp date: 12-3-19 and it needs to be included in the Site Plan.
  - a. **See Engineers stamp dated 12-3-19 on sheet C-200: Conceptual Grading**
2. No objection to the Infrastructure List.



## **WATER AUTHORITY**

### 1. Utility Plan

- a. Previously requested cross section and profile of this waterline, however these were not provided in the utility plan.

- i. **See attached Waterline Exhibit dated November 15, 2019**

- b. Is the curb and gutter along the east side overtop the existing 10" waterline new or existing? It is not labeled on the Site Plan. If new, curb and gutter will not be allowed overtop public waterline, so additional relocation will be required and reflected in the infrastructure list.

- i. **See relocated curb and gutter on the east side on BP-1- Site Plan**

- c. Proposed onsite fire hydrants shall be deemed private. It is understood that there are several onsite public fire hydrants but the proposed fire hydrants legs are quite long and resemble a private fire line.

- i. Response was all existing and proposed hydrants are now shown as private. Simply renaming the existing public hydrants to private does not convert them as such. Please coordinate with Maps & Records and label accordingly. Some onsite existing fire hydrants may be in easements, making them public. Please confirm.

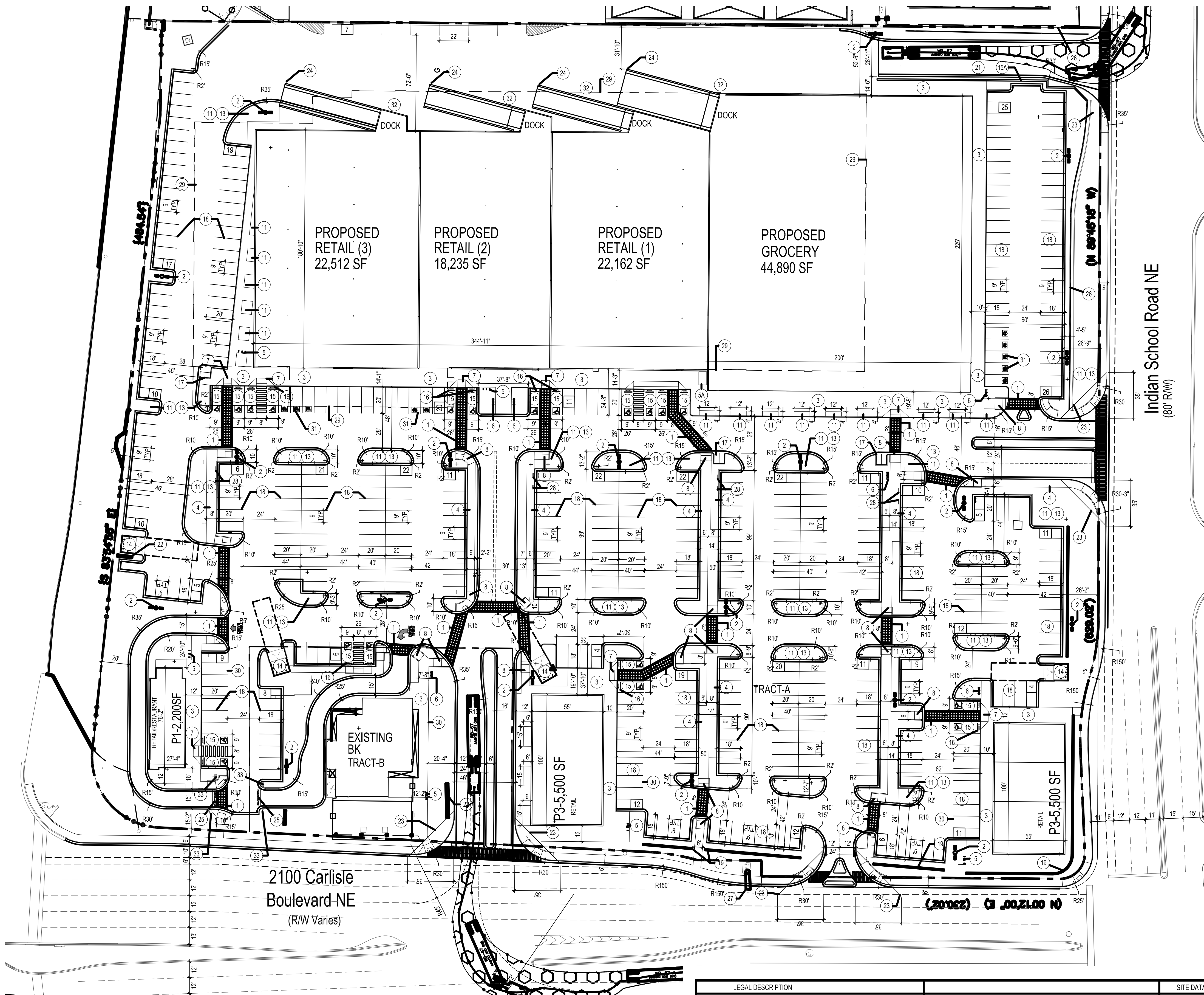
1. How will the existing public fire hydrant(s) be converted to private as per Note 11? If there is an existing easement, then this will need to be vacated. Otherwise, it will remain as public.

- d. **All existing hydrants onsite are public. All new hydrants, as noted on the plan, will be private. Most of the existing hydrants onsite will be removed with the exception being two hydrants along the eastern property boundary. These two hydrants will remain public hydrants within the existing easement as indicated on the revised plan.**

### 2. For information only.

- a. Availability statement #190609 has been executed and provides the conditions for service.
- b. The infrastructure list correctly includes the removal of the existing 10" waterline that is impacted by the new entrance road on the southeast corner of the site. It also includes the installation of the new relocated 10" waterline.

Best Regards,  
Angela Williamson, Principal  
Modulus Architects, Inc.  
100 Sun Ave. NE Suite 305  
Albuquerque, NM 87109  
Office: (505) 338-1499  
Mobile: (505) 999-8016  
[awilliamson@modulusarchitects.com](mailto:awilliamson@modulusarchitects.com)



- KEYED NOTE:**
- 1 8" OR AS INDICATED WITHIN SITE PLAN PEDESTRIAN CROSSWALK RE: DETAIL 6/A1.1
  - 2 LIGHT POLE LOCATION RE: DETAIL 3/A1.1
  - 3 CONC. SIDEWALK ADJACENT BLDG RE: DET 8/A1.1 RE: SITE PLAN FOR JOINT LAYOUT
  - 4 CONC. SIDEWALK RE: DET 7/A1.1 RE: SITE PLAN FOR JOINT LAYOUT
  - 5 INDICATES BIKE RACK LOCATION, (5 BIKE CAPACITY) RE: DETAIL 13/A1.2
  - 5A INDICATES BIKE RACK LOCKERLOCATION, (5 BIKE CAPACITY)
  - 6 BENCH LOCATION RE: DETAIL 10/A1.2
  - 7 HANDICAP RAMP RE: 15/A1.1
  - 8 HANDICAP RAMP RE: 16/A1.1
  - 9 HANDICAP RAMP RE: 5/A1.1
  - 10 HANDICAP RAMP RE: 17/A1.1
  - 11 INDICATES LANDSCAPE PLANTING AREA G.C TO PROVIDE COORDINATE REQ. SLEEVING FOR EA. WELL LOCATION
  - 12 DRIVE AISLE PAINT DETAIL RE: DET 9/A1.2
  - 13 6" HIGH CONC. ISLAND /CURB RE: SITE GRADING PLAN FOR INFO
  - 14 REFUSE ENCLOSURE RE: DET.4/A1.3
  - 15 H.C PARKING STALL RE: DET 2/A1.2
  - 15A NEW RETAINING WALL PER SECTION 5-7(D) OF THE IDO.
  - 16 WHEELSTOP RE: DET 4/A1.2
  - 17 INDICATES PROPOSED MOTORCYCLE PARKING STALL LOCATION RE: SITE PLAN FOR LOCATIONS. RE: DET. 7/A1.2
  - 18 PAINTED STRIPPING/SIGNING AS INDICATED ON SITE PLAN ALL STANDARD PARKING STALL STRIPPING SHALL BE WHITE
  - 19 INDICATES SPLIT FACE 3'-0" HIGH PAINTED PATIO KNEE WALL EXISTING SIDEWALK TO REMAIN
  - 21 NEW RAMP 300 SF PYLON SIGN TO MATCH ADJACENT BUILDING RE: DETAIL 8/A1.3 FOR INFO
  - 23 INDICATES CLEAR SIGHT TRIANGLE: NOTE: CLEAR SITE AREA SHALL BE FREE OF ALL SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET AS MEASURED VERTICALLY FROM ADJACENT GUTTERPAN.
  - 24 BOLLARD PAINTED SAFETY YELLOW RE: DET. 1/A1.3
  - 25 "DO NOT ENTER" RE: DET 8/A1.2
  - 26 EXISTING RETAINING WALL TO REMAIN
  - 27 EXISTING DOT SIGN TO REMAIN
  - 28 ELECTRIC VEHICLE CHARGING STATION
  - 29 INDICATES EXISTING BUILDING FOOTPRINT AREA
  - 30 INDICATES CONSTRUCTION PHASE LINE
  - 31 ELECTRIC VEHICLE PARKING SPACE, TYPICAL OF 10
  - 32 PROPOSED 40 cu yd ROLL OFF CONTAINER
  - 33 "DO NOT ENTER" SIGN RE: DET 12/A1.2

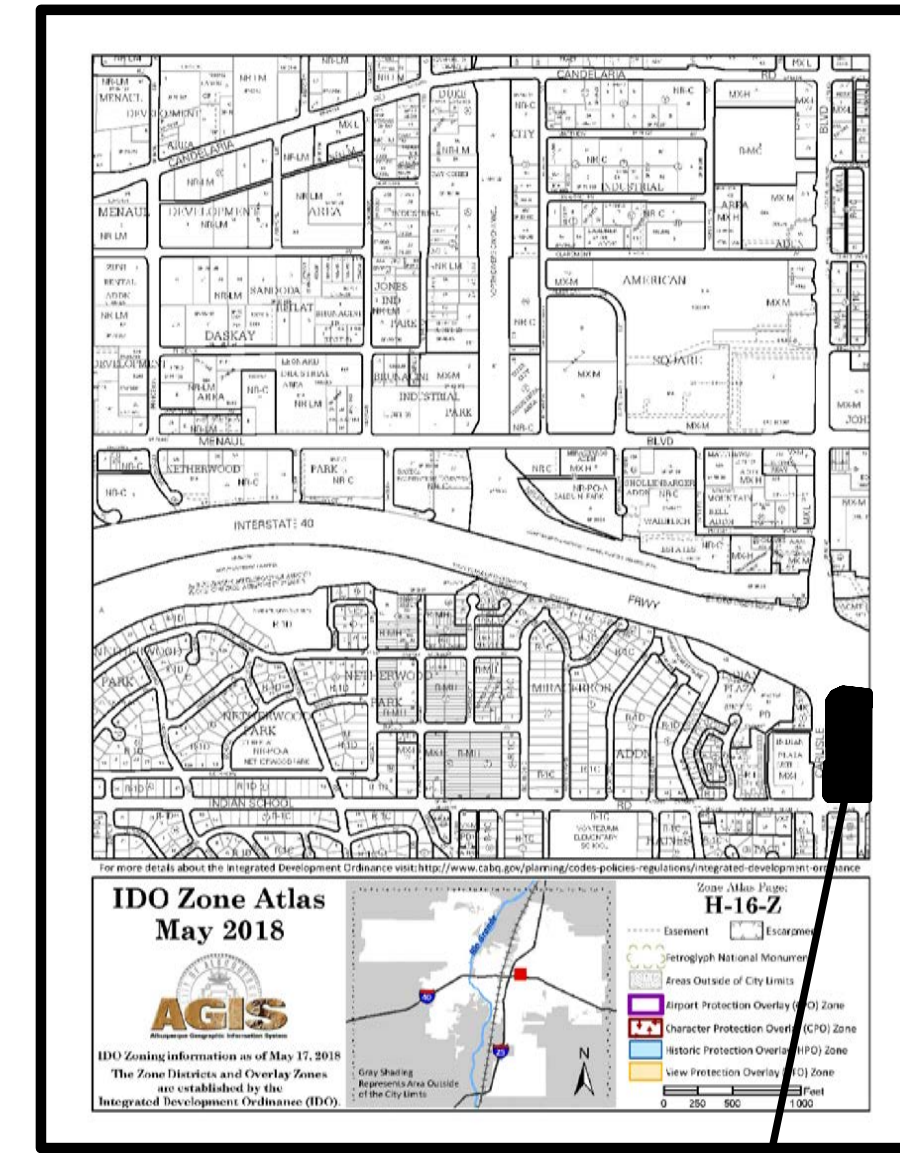
PROJECT NUMBER: \_\_\_\_\_  
 APPLICATION NUMBER: \_\_\_\_\_

Is an Infrastructure List required? ( ) YES ( ) NO If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements

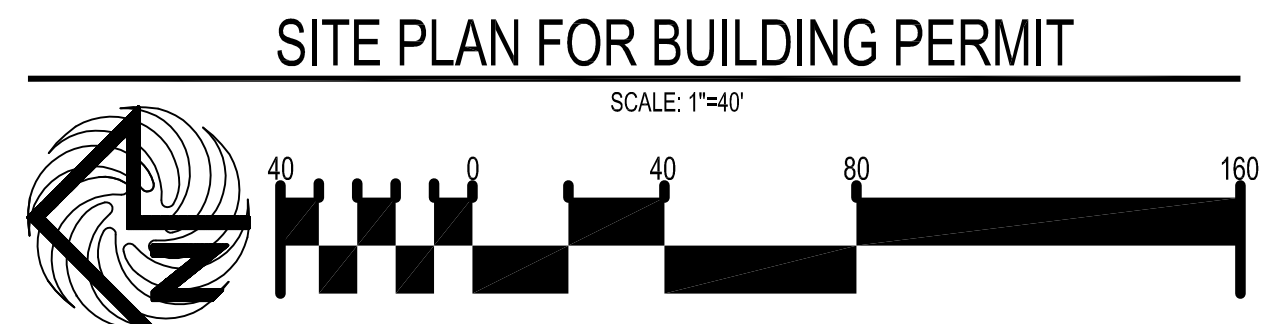
**DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL**

Traffic Engineering, Transportation Division	Date
DRB ABCWUA ENGINEER	Date
Parks and Recreation Department	Date
City Engineer	Date
Environmental Health Department	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

\* Environmental Health, if necessary



PROJECT LOCATION VICINITY MAP



LEGAL DESCRIPTION	SITE DATA TABLE	RETAIL USES	GROCERY	RESTAURANT	ALL USES
<b>LEGAL DESCRIPTION-TRACT-A</b> A CERTAIN TRACT OF LAND DESIGNATED AS TRACT "A" OF "THE CARLISLE AND INDIAN SCHOOL SUBDIVISION", AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY ON MARCH 3, 1994, IN PLAT BOOK 94C, FOLIO 65, LESS AND EXCEPTING A PORTION OF TRACT A, AKA PARCELS 23-A AND 23, CONVEYED TO NM DEPARTMENT OF TRANSPORTATION (NMDOT), AS THE SAME IS SHOWN ON THE RIGHT-OF-WAY MAP, HAVING PROJECT NUMBER TPU-040-3(119)160, DATED NOVEMBER 13, 1997, AND DESCRIBED ON THE STIPULATED JUDGEMENT FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON APRIL 20, 2001, IN BOOK A18, PAGE 2159, AS DOCUMENT NO. 2001043708.	PROPOSED USES: BUILDING SIZE: TOTAL PARKING REQ: TOTAL PARKING PROV: H.C PROVIDED: H.C REQUIRED: BIKE SPACES PROVIDED: BIKE SPACES REQUIRED: MOTORCYCLE SPACES PROVIDED: MOTORCYCLE SPACES REQUIRED: ELECTRIC CHARGING STATION SPACES PROVIDED: ELECTRIC STATION REQUIRED	RETAIL USES 74,828 SF 300 SPACES	GROCERY 44,890 SF 180 SPACES	RESTAURANT 2,200 SF 24 SPACES	ALL USES (MAJOR-1/MAJOR-2/F-1/F-2/F-3) TOTAL SPACES REQ=424 SPACES 468 SPACES PROVIDED 20 H.C (INCLUDING 20 VAN ACCESSIBLE) 16 H.C SPACES 35 BIKE SPACES 42 BIKE SPACES 6 MOTO SPACES 6 MOTO SPACES 8 ELEC. CHARGING STATION PARKS
<b>LEGAL DESCRIPTION-TRACT-B</b> A CERTAIN TRACT OF LAND DESIGNATED AS TRACT "B" OF "THE CARLISLE AND INDIAN SCHOOL SUBDIVISION", AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY ON MARCH 3, 1994, IN PLAT BOOK 94C, FOLIO 65, LESS AND EXCEPTING A PORTION OF TRACT B, AKA PARCEL 24, CONVEYED TO NM DEPARTMENT OF TRANSPORTATION (NMDOT), AS THE SAME IS SHOWN ON THE RIGHT-OF-WAY MAP, HAVING PROJECT NUMBER TPU-040-3(119)160, DATED NOVEMBER 13, 1997, AND DESCRIBED ON THE STIPULATED JUDGEMENT FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON JANUARY 11, 2001, IN BOOK A14, PAGE 2183, AS DOCUMENT NO. 2001003593.					

Lot 30-A, Block 1  
 Maricopa Addition  
 (03/13/1998, SEC-66)

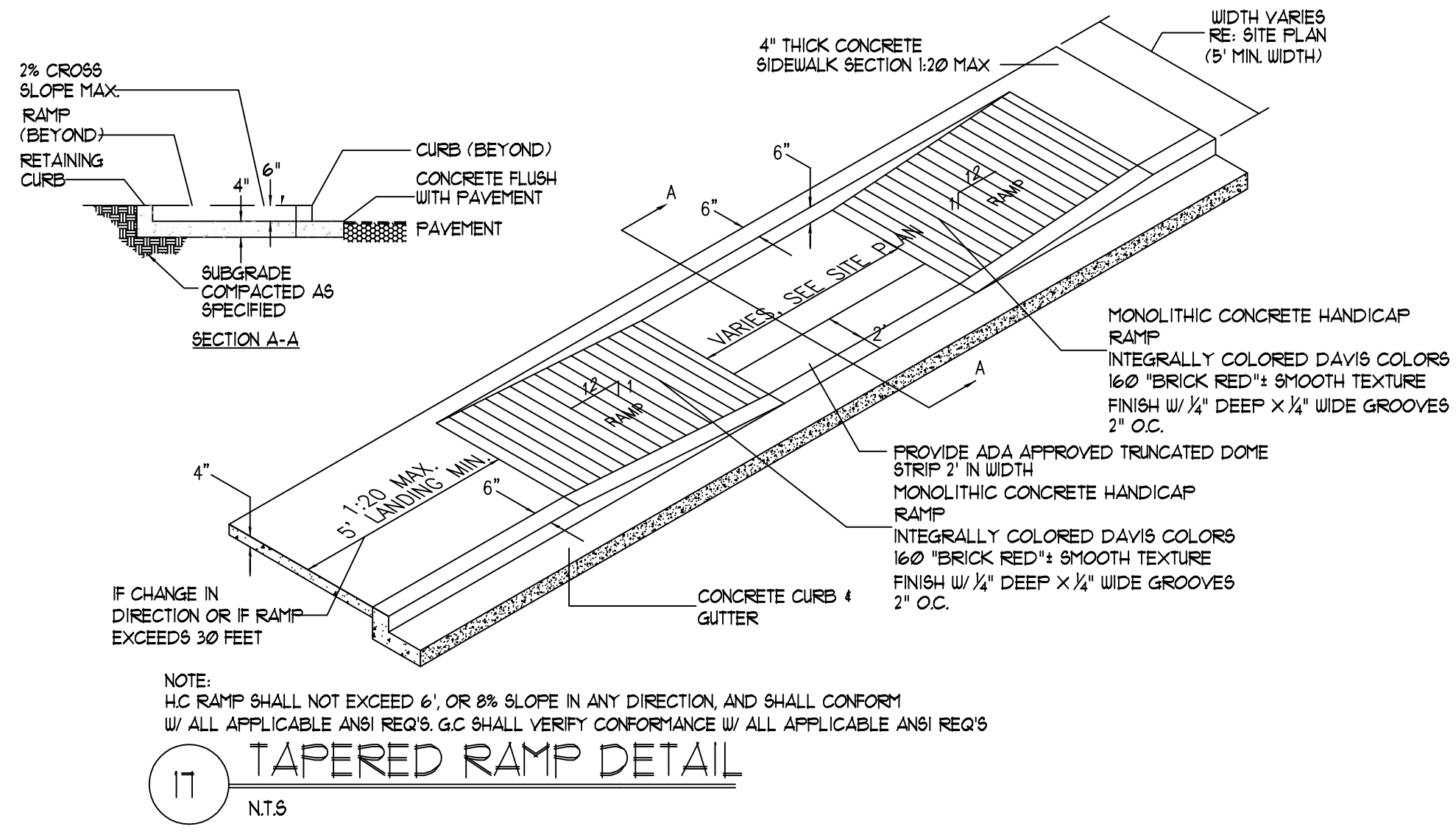
REV	DATE	BY	REVISION

**MODULUS ARCHITECTS**  
 100 SUN AVE. N.W. SUITE 305  
 ALBUQUERQUE, NEW MEXICO 87109  
 PHONE (505) 338-1499 FAX (505) 338-1498

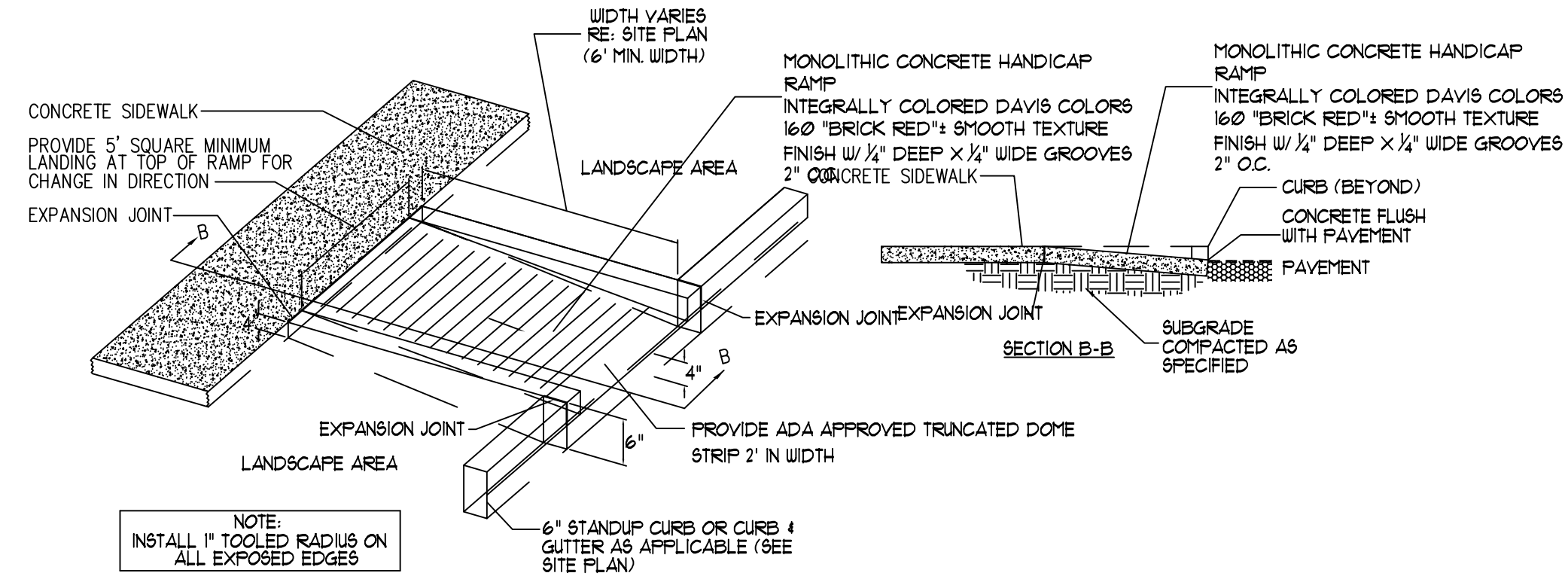
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 ALBUQUERQUE, NEW MEXICO

JOB NO. \_\_\_\_\_ DRAWN BY: S

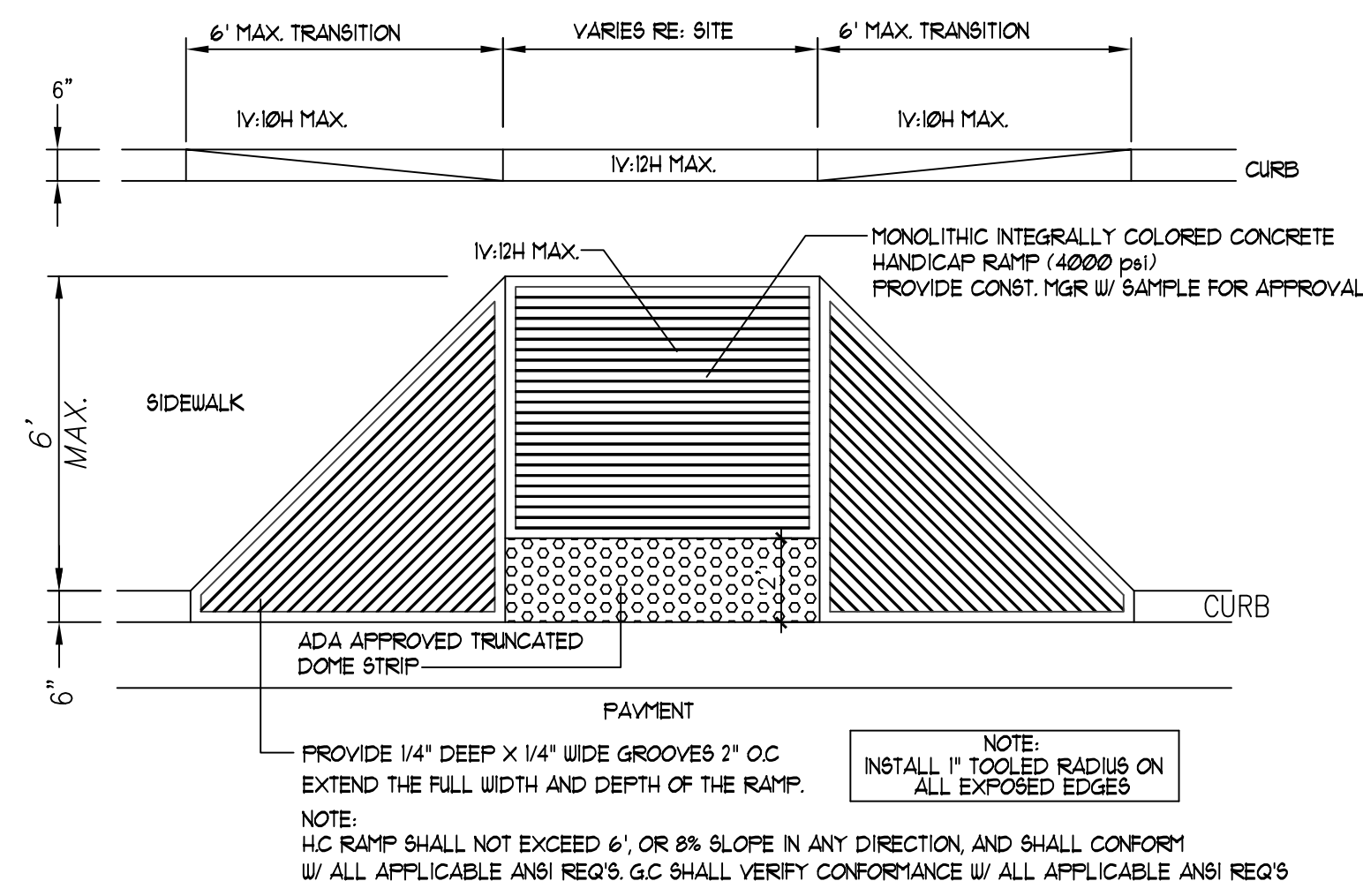
PROJECT MANAGER: STEPHEN DUNBAR, AIA  
 SHEET TITLE: SITE PLAN FOR BUILDING PERMIT



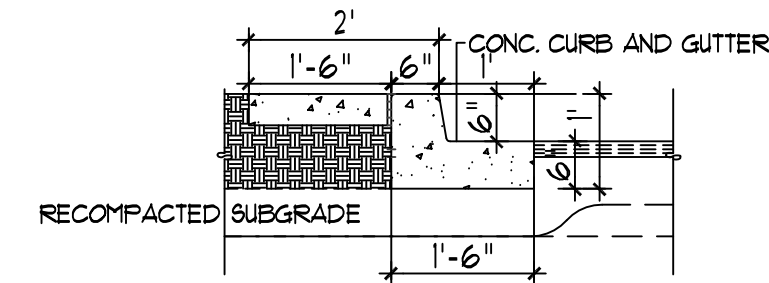
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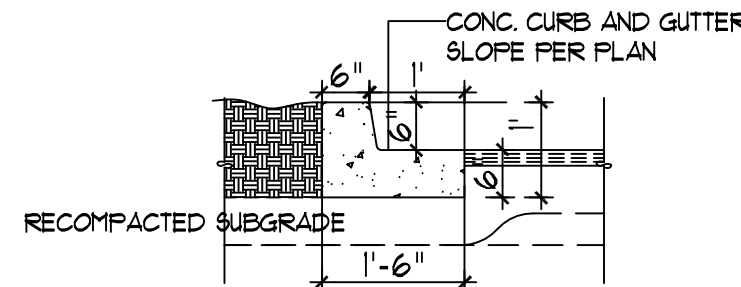
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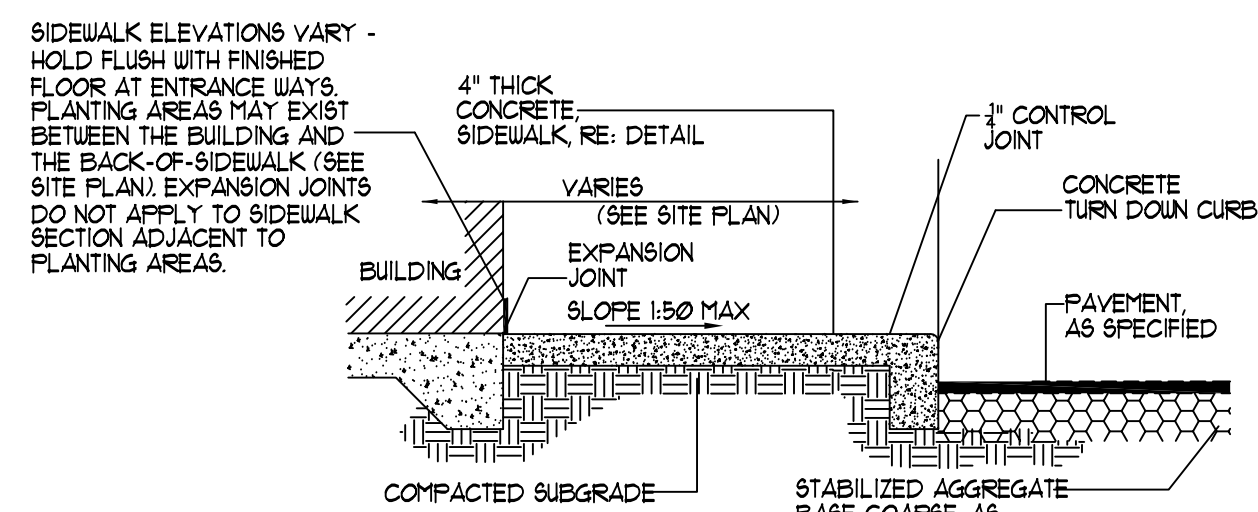
15 FLARED H.C. RAMP  
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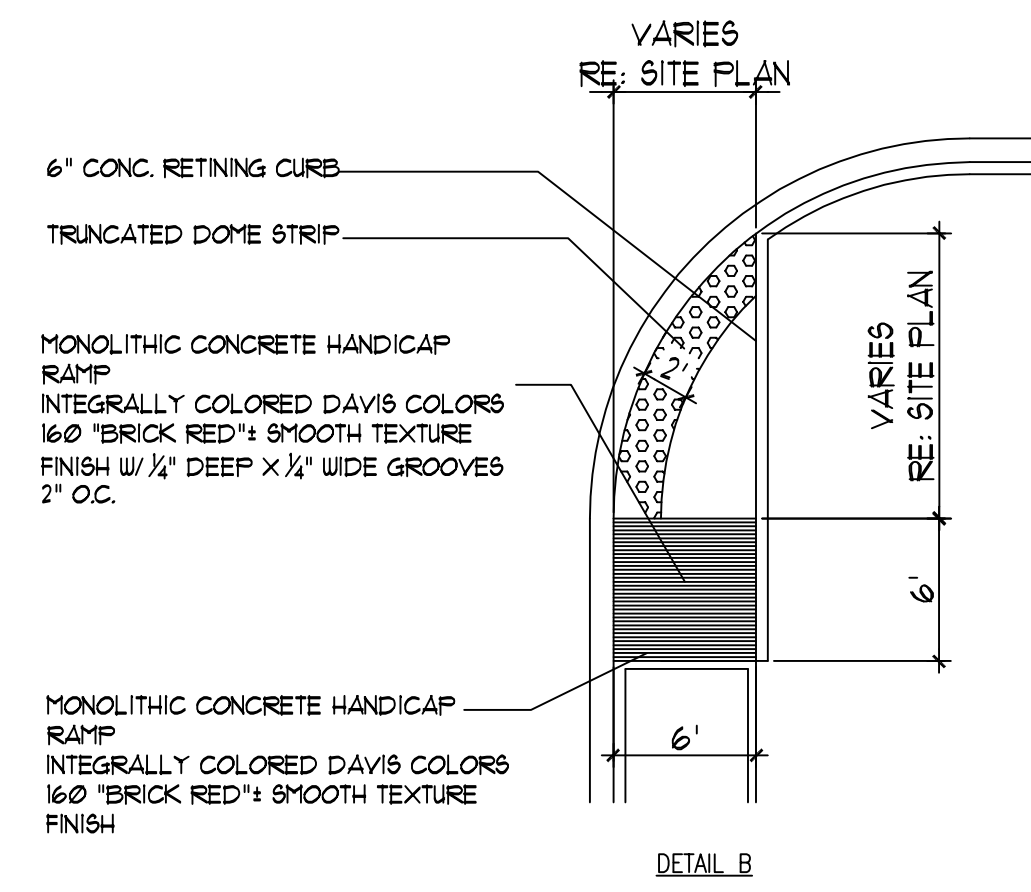
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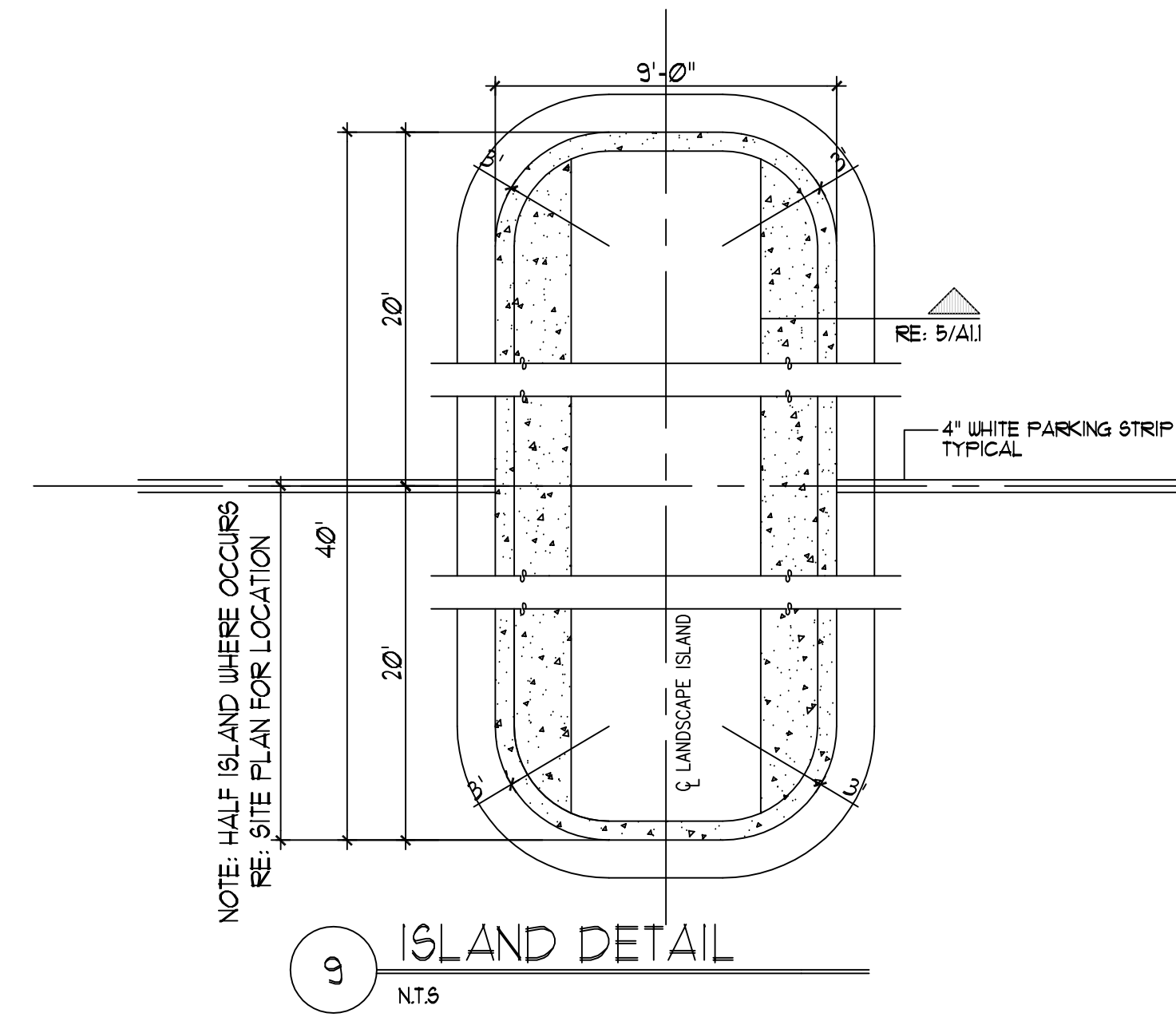
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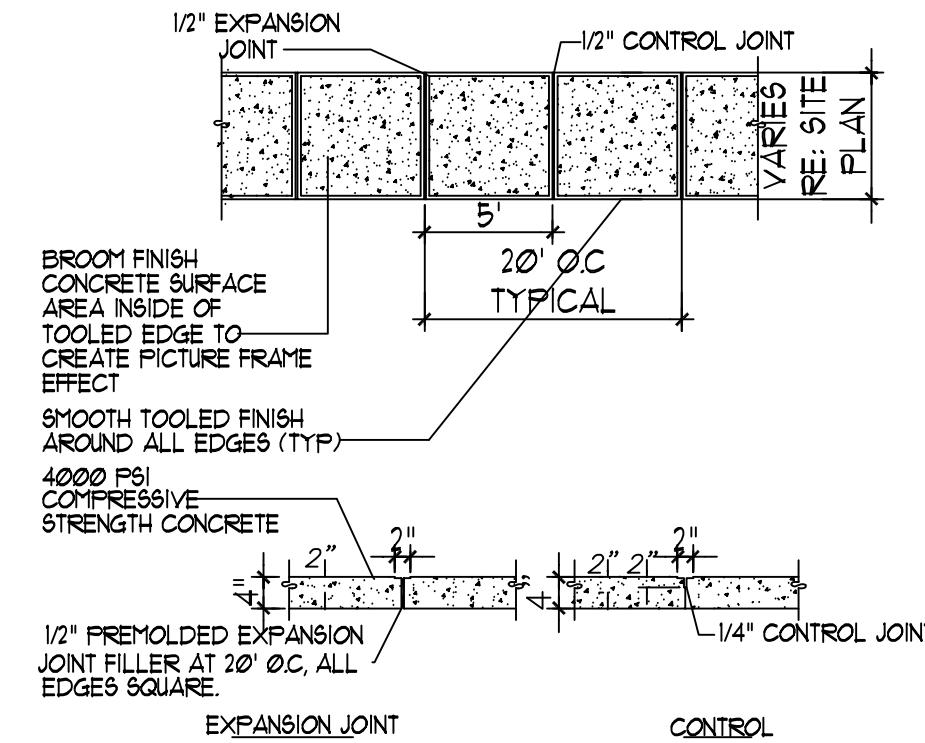
8 SIDEWALK WITH TURNDOWN CURB SEC.  
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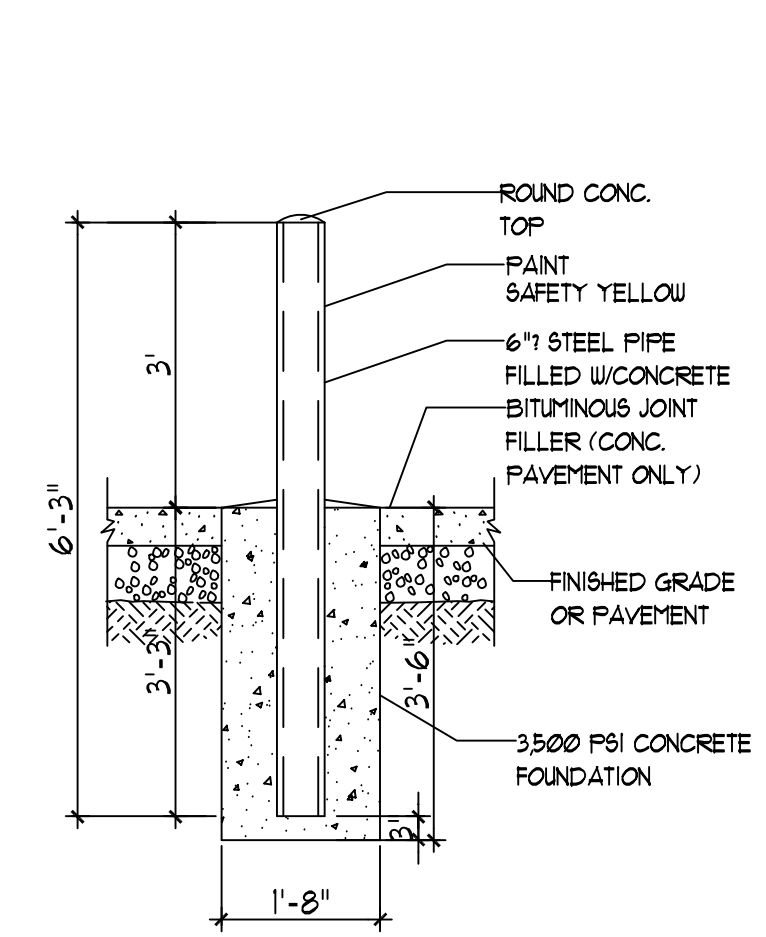
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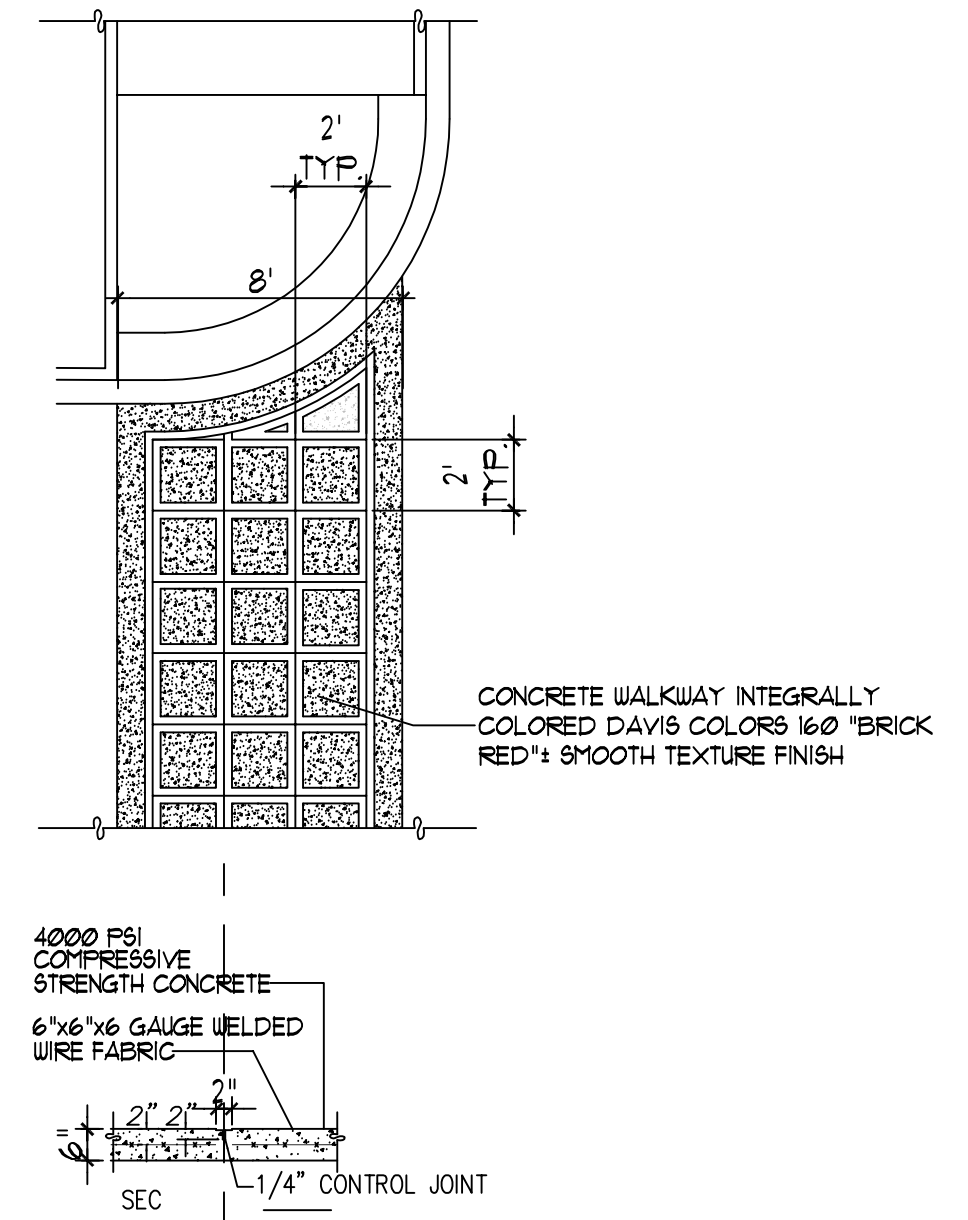
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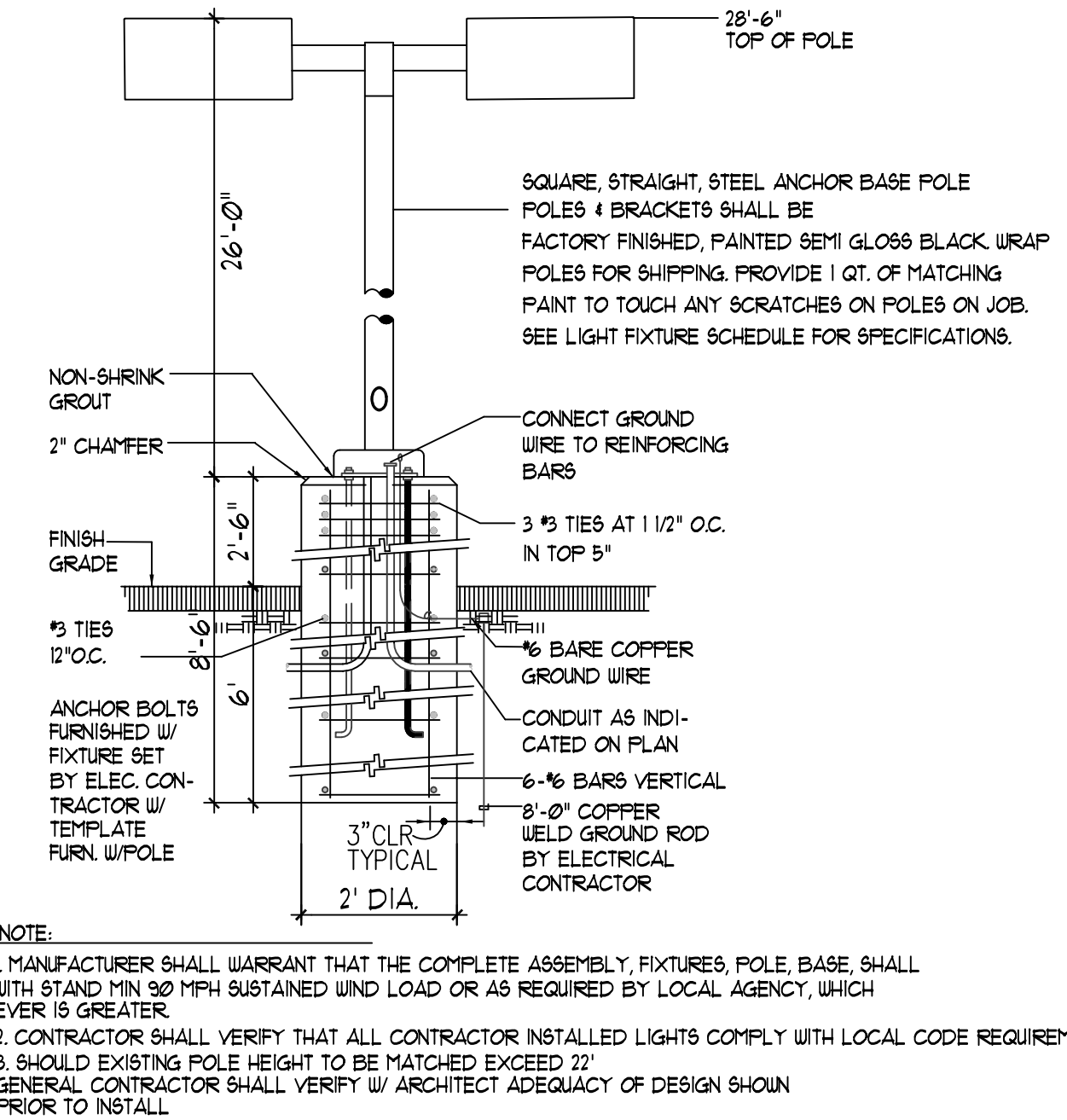
7 TYPICAL SIDEWALK  
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4 BOLLARD DETAIL  
N.T.S.



6 TYPICAL CONC. CROSSWALK  
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3 LIGHT POLE DETAIL  
N.T.S.

REV	DATE	BY	REVISION
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2			
3			
4			
5			

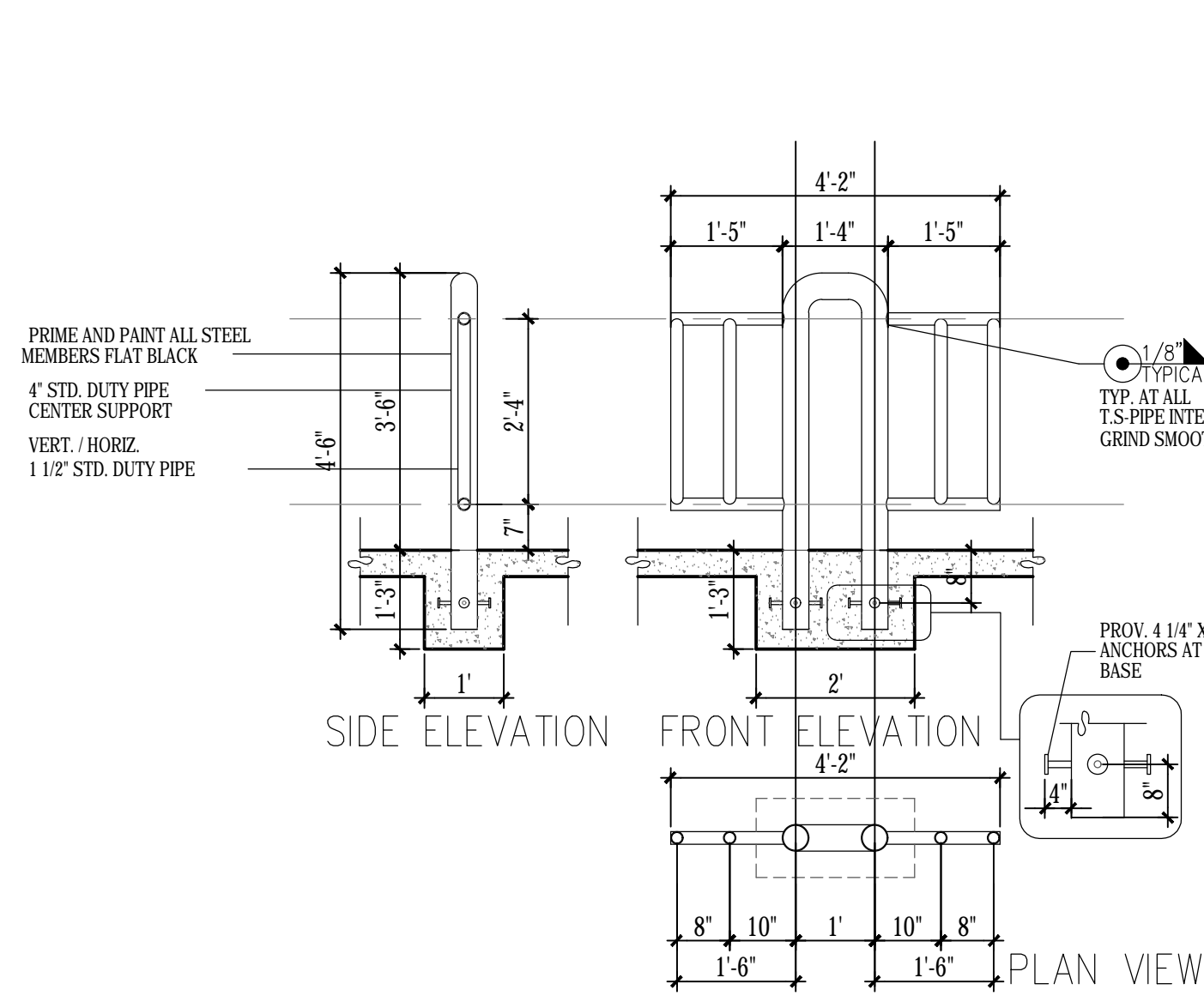
**MODULUS ARCHITECTS**  
 220 COPPER AVE. N.W. SUITE 350  
 ALBUQUERQUE, NEW MEXICO 87102  
 PHONE (505) 338-1499 FAX (505) 338-1498

PROJECT TITLE: COTTONWOOD MALL  
 10000 Coors Bldg NW  
 ALBUQUERQUE, NEW MEXICO 87114

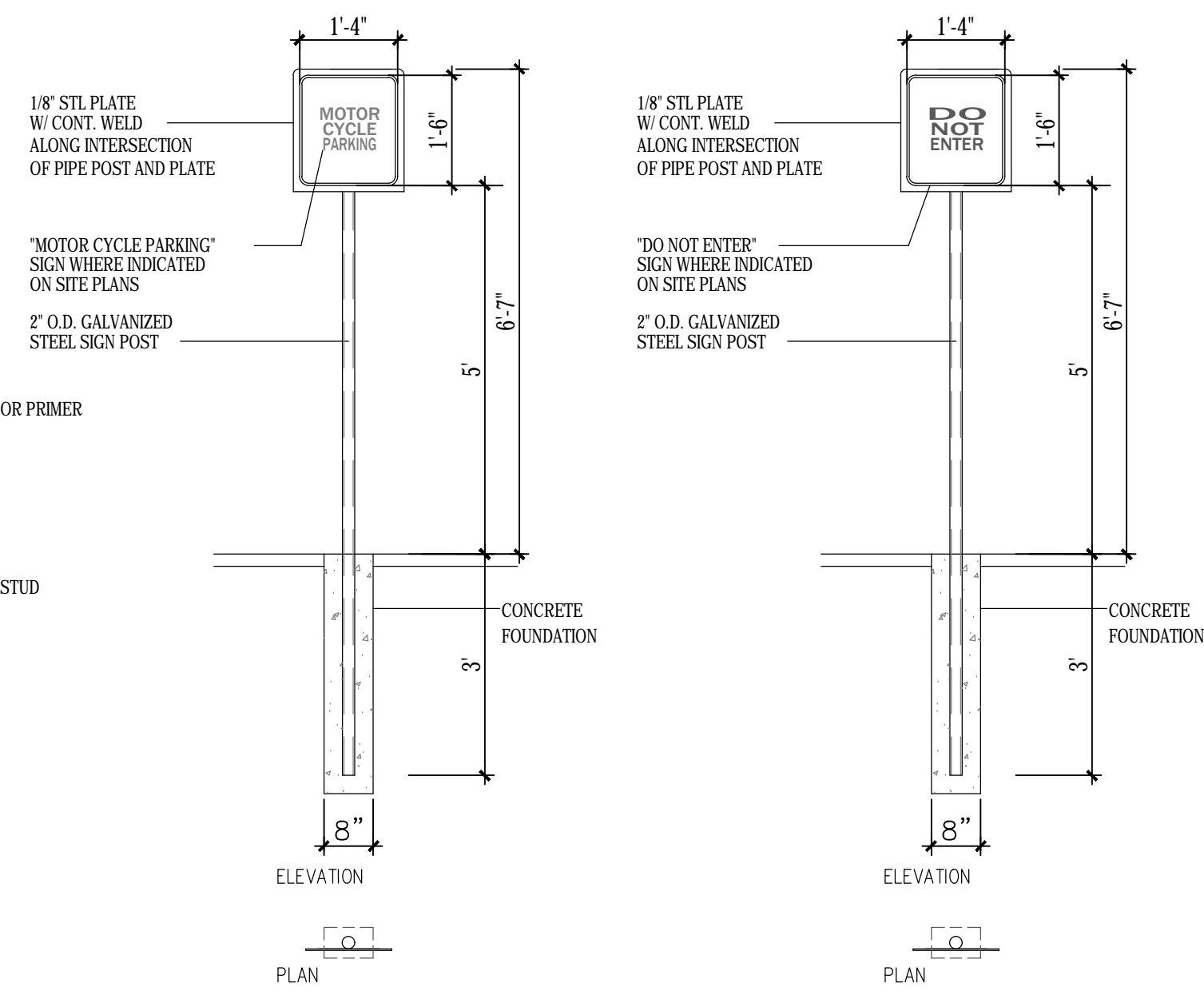
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 PROJECT MANAGER: DEVIN NGUYEN  
 DRAWN BY: Cottonwood P-11-14 DTN

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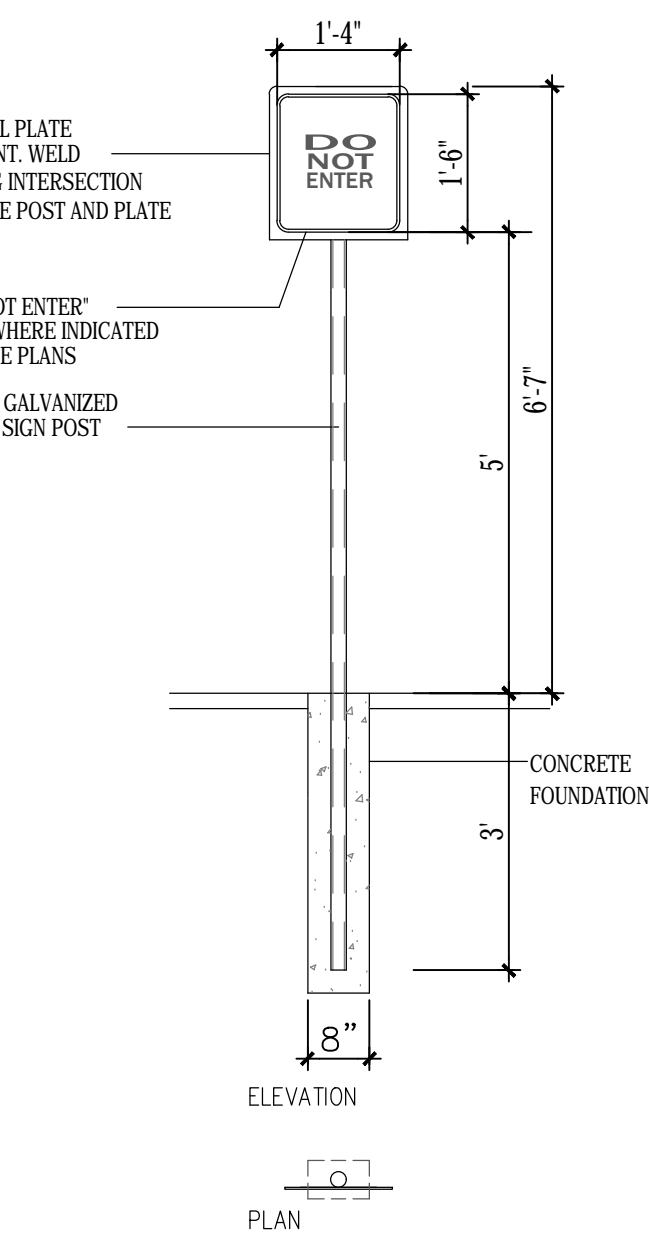
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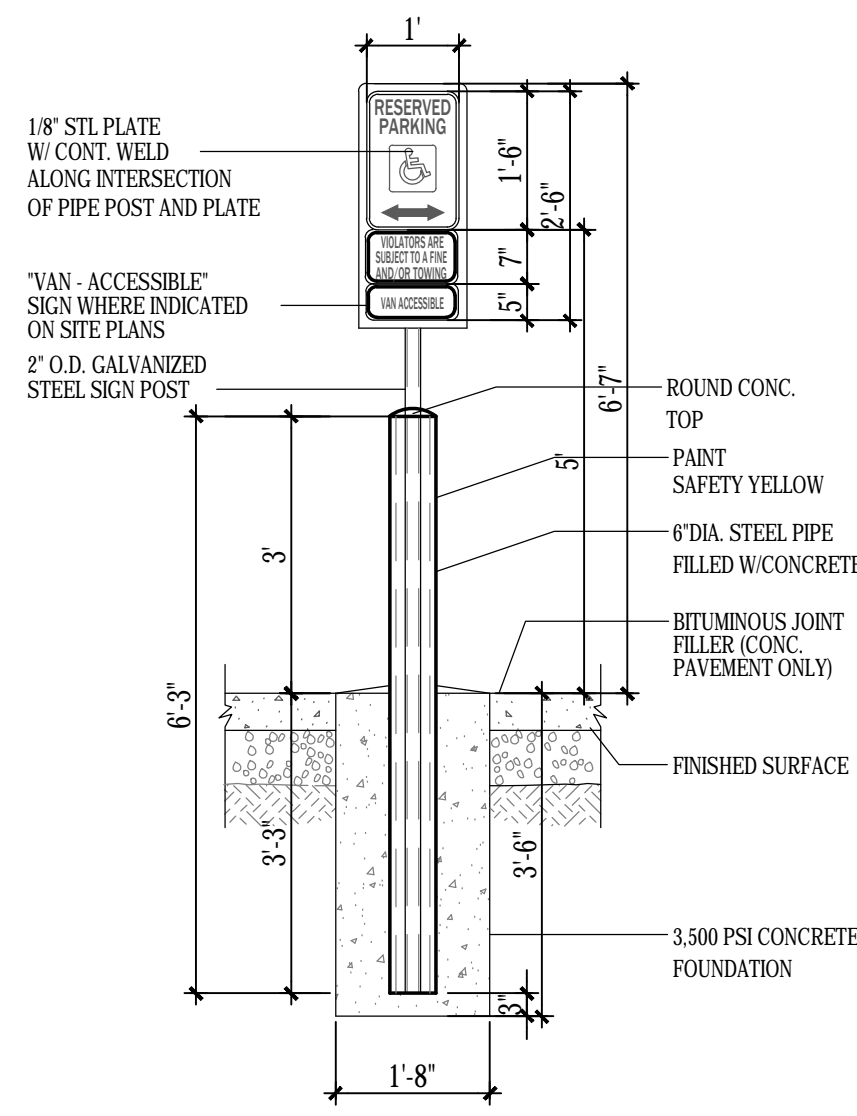
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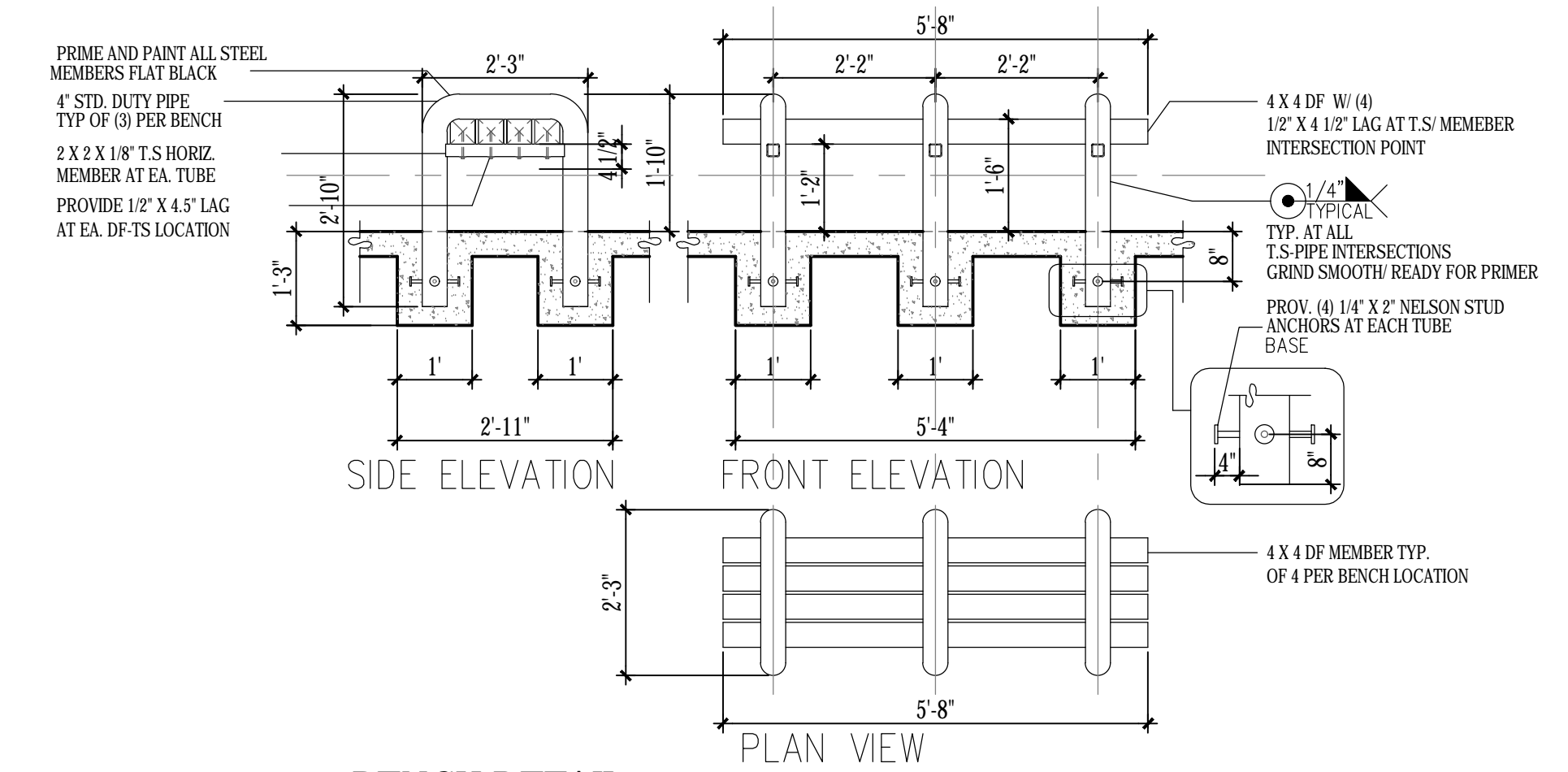
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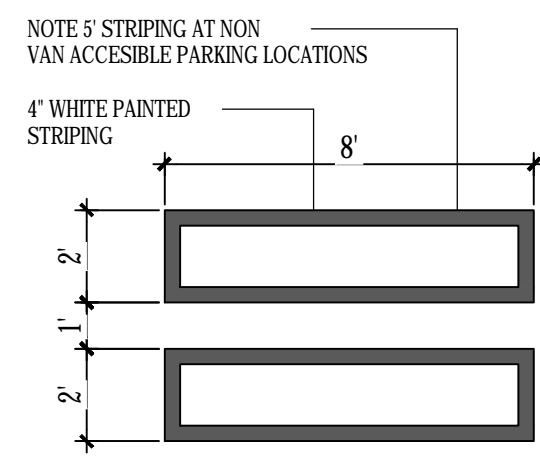
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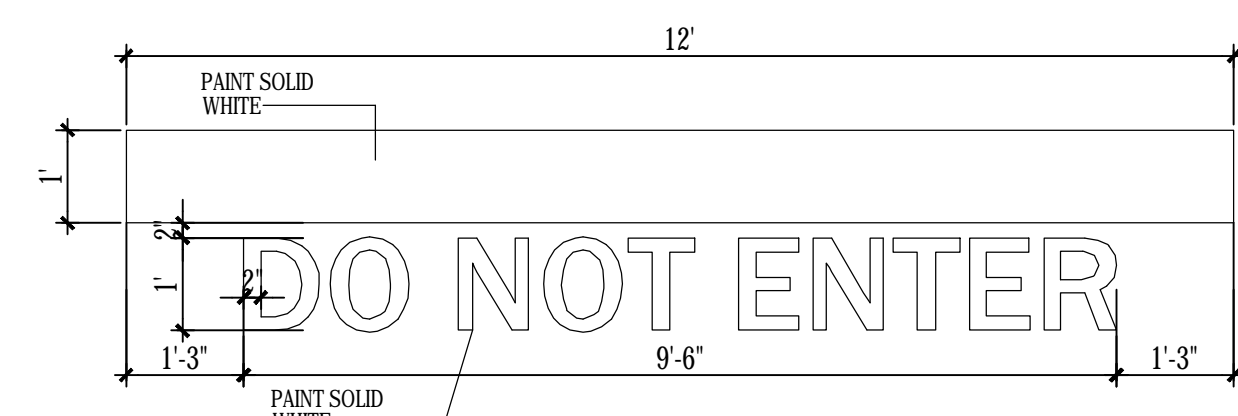
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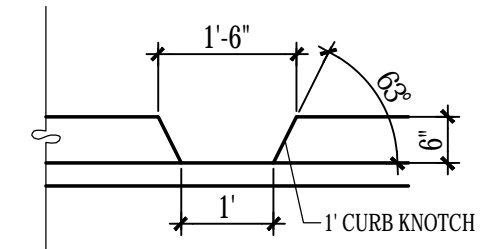
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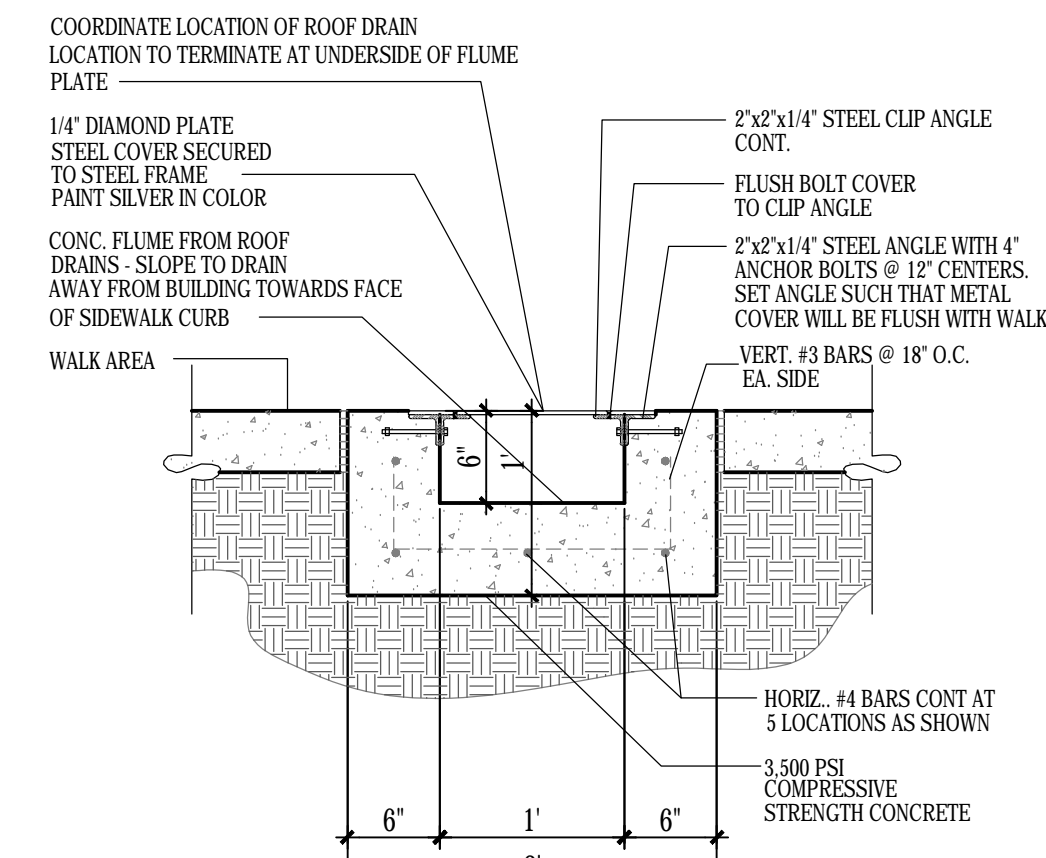
9 H.C PARKING-WALK PAINT DETAIL  
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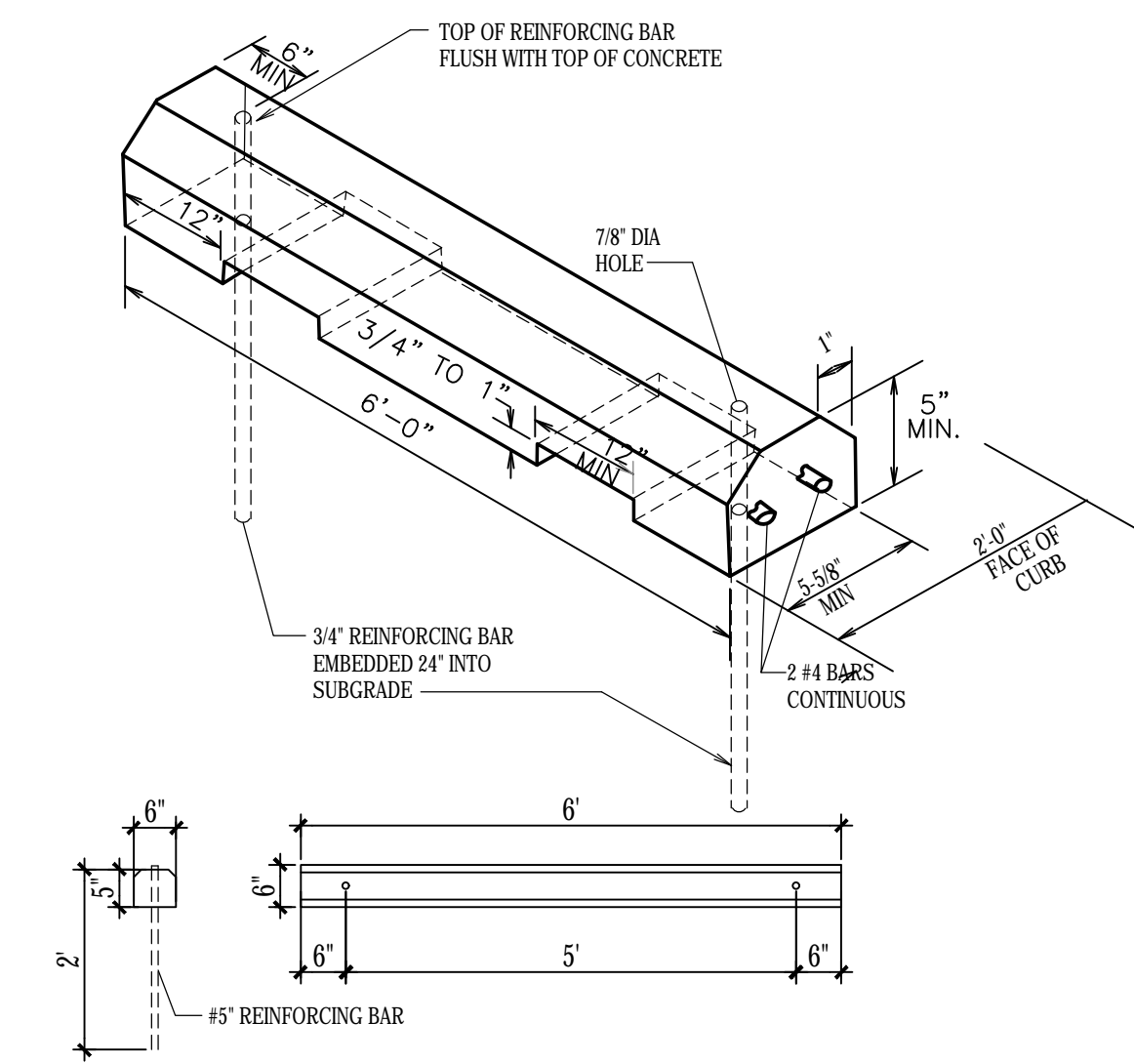
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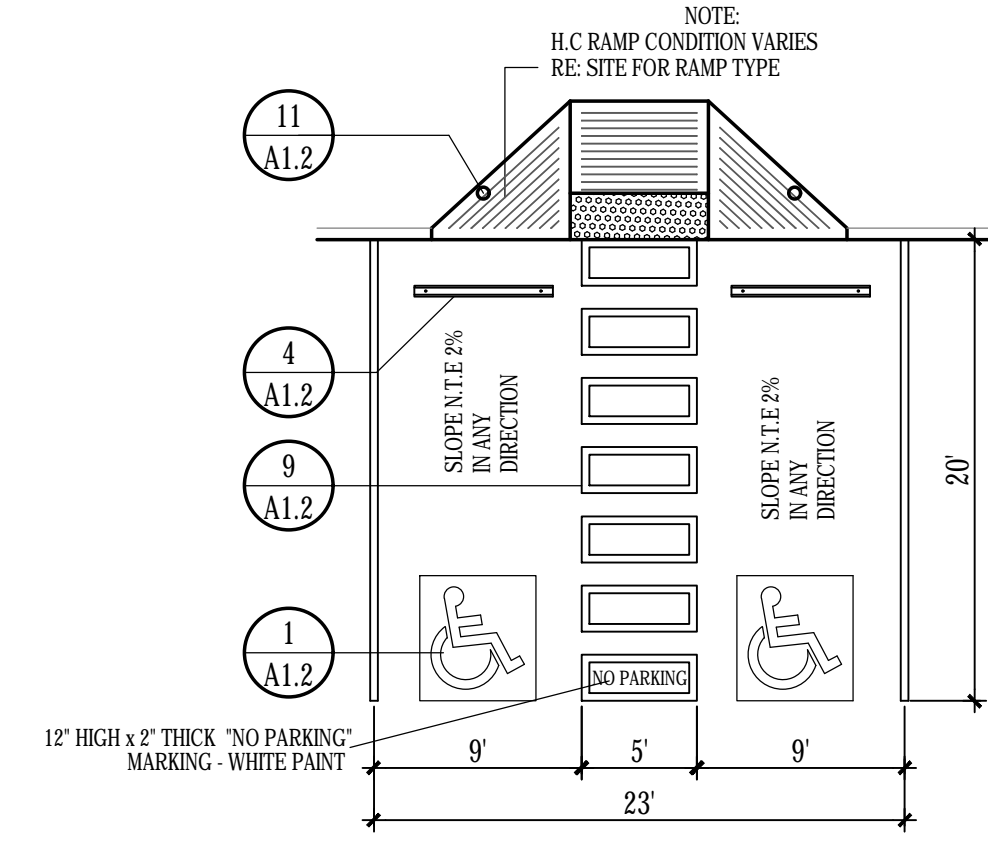
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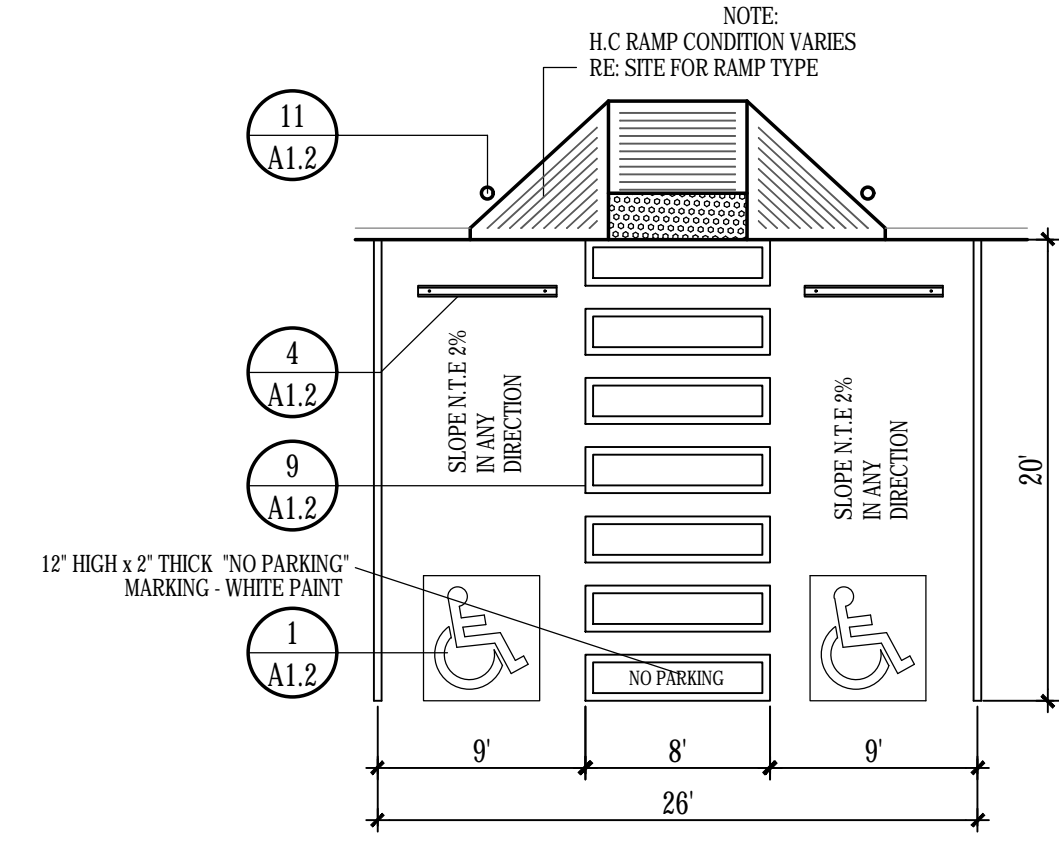
6 CONCRETE FLUME DETAIL  
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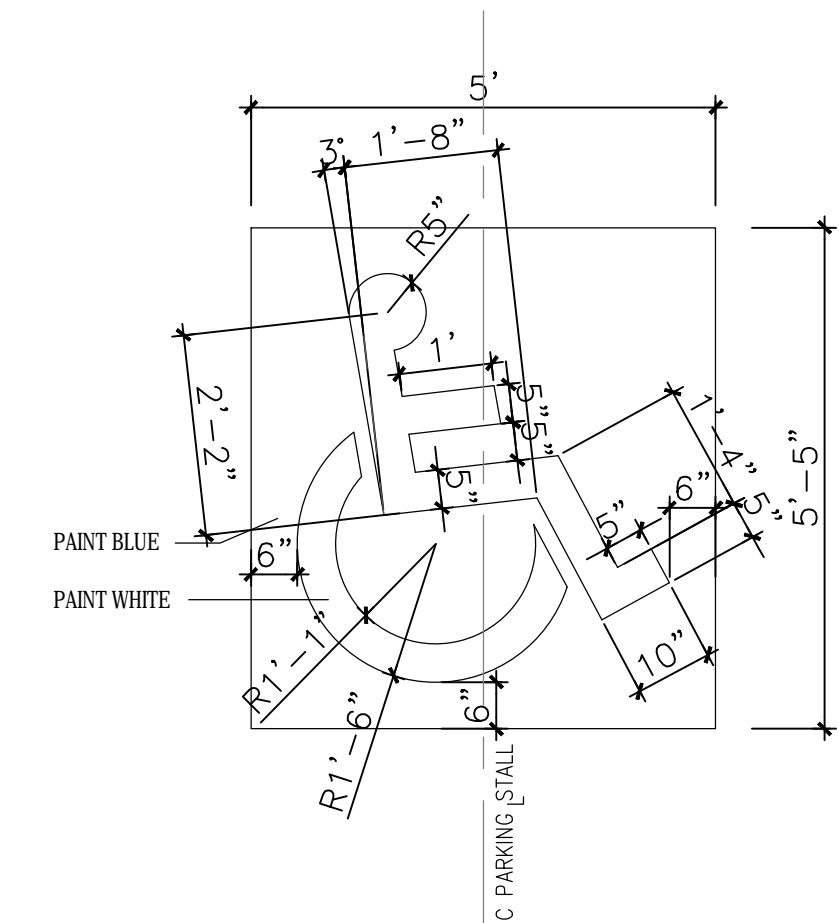
4 WHEEL STOP  
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3 H.C PARKING PLAN DETAIL  
N.T.S.



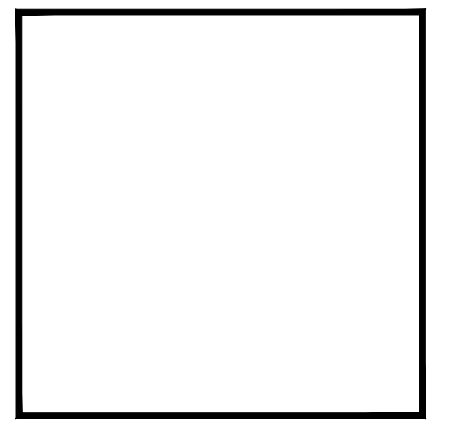
2 H.C PARKING PLAN DETAIL (VAN ACCESSIBLE)  
N.T.S.



1 H.C SIGNAGE  
N.T.S.

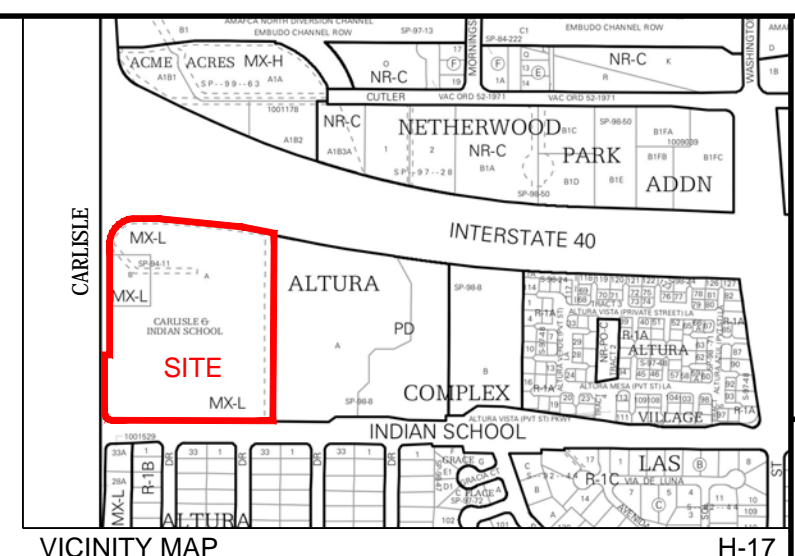
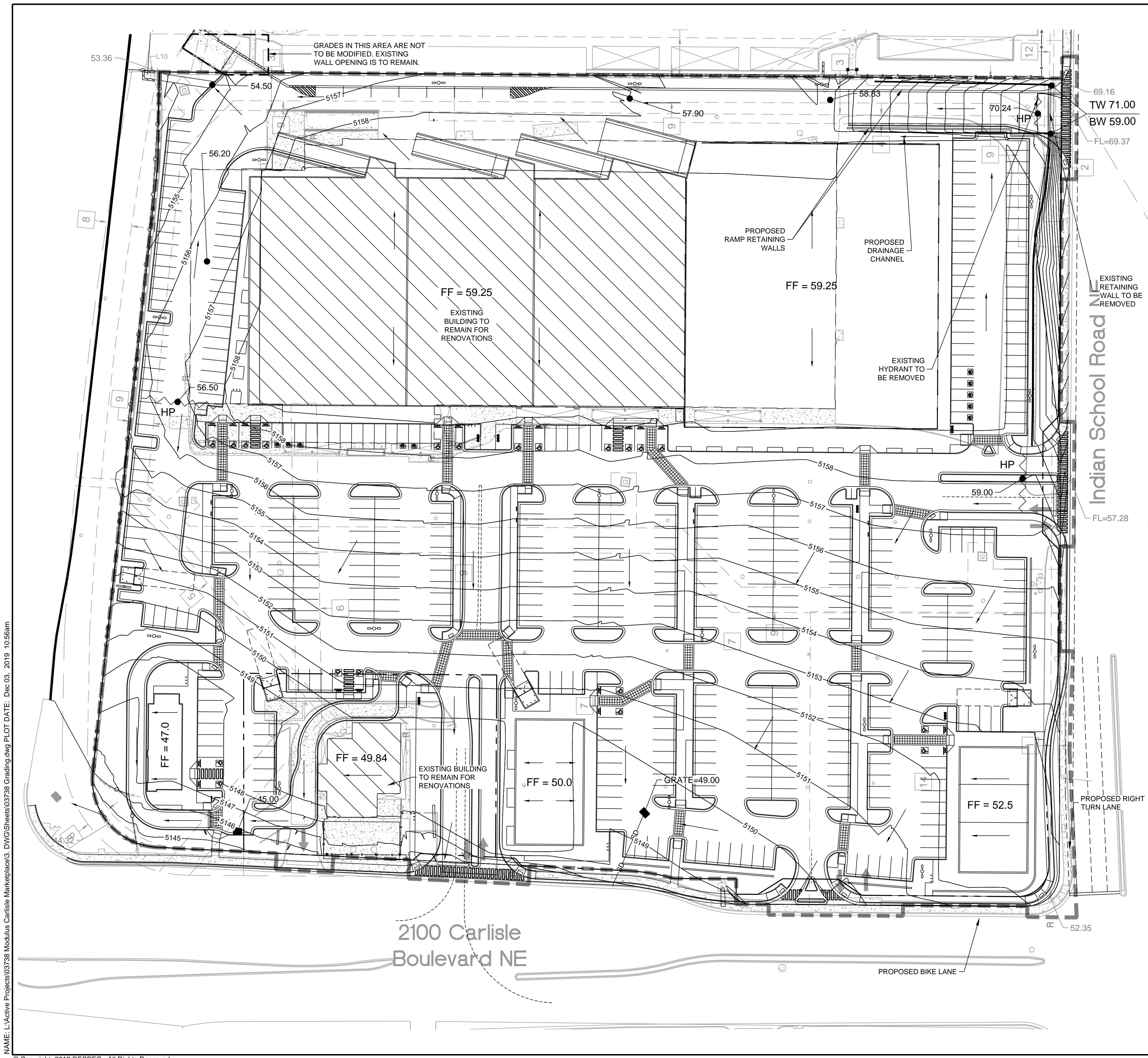
REV	DATE	BY	REVISION

**MODULUS ARCHITECTS**  
220 COPPER AVE. N.W. SUITE 350  
ALBUQUERQUE, NEW MEXICO 87102  
PHONE (505) 338-1499 FAX (505) 338-1498



PROJECT TITLE COTTONWOOD MALL 10000 Coors Bypass NW ALBUQUERQUE, NEW MEXICO 87114	JOB NO. Cottonwood PAD-1	DRAWN BY: DTN
PROJECT MANAGER DEVIN NGUYEN	SHEET TITLE SITE DETAILS	

DATE 07.15.2019	Sheet A1.2
SCALE AS NOTED	of



**NOTE:**  
 1. THE EXISTING PARKING LOT AND BUILDINGS WILL BE DEMOLISHED UNLESS OTHERWISE SPECIFIED ON THIS PLAN.  
 2. PROPOSED PUBLIC INFRASTRUCTURE WILL BE INCLUDED ON PUBLIC WORK ORDER

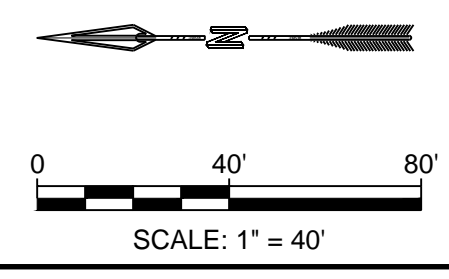
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 G-C=0.999669892  
 Mapping Angle = -0°12'13.45"

**LEGEND**

	PROPERTY LINE
	FLOW ARROW
	HIGH POINT (HP)
	GRADING LIMITS
	PROPOSED SPOT ELEVATIONS
	EXISTING SPOT ELEVATIONS
	EXISTING CONTOUR LINES
	PROPOSED CONTOUR LINES

**EASEMENT NOTES**

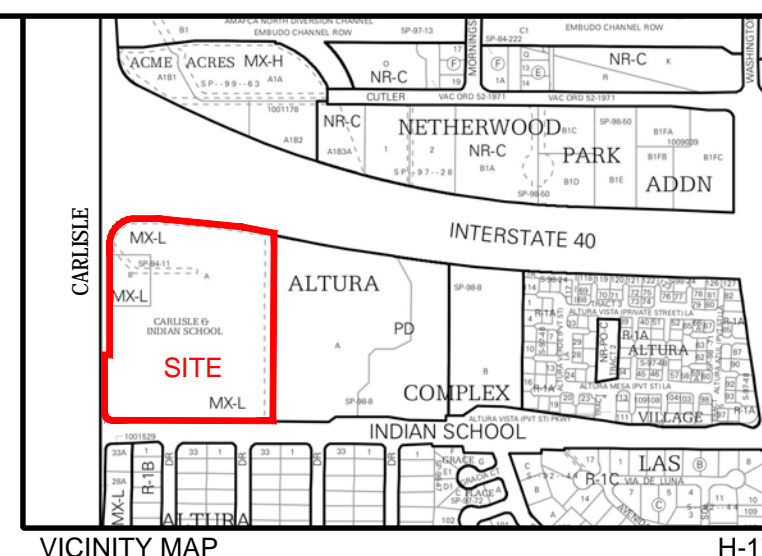
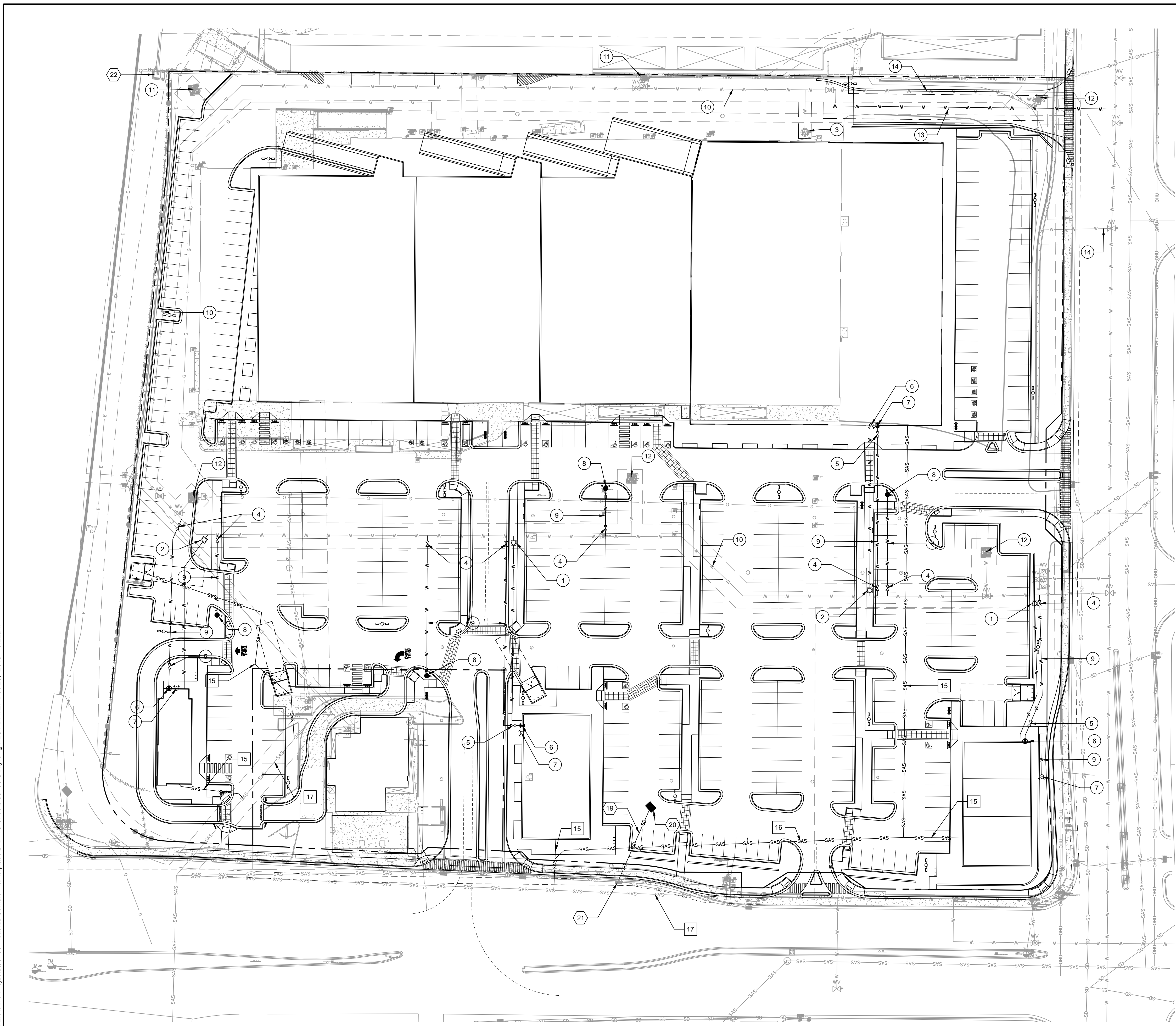
- 1 EXISTING 7' PNM EASEMENT (12/29/1969, BK. MISC. 159, PG. 619) AND AS SHOWN ON PLAT (3/3/1994, 94C-65)
- 2 EXISTING 5' X 58.5' P.U.E. (6/6/1966, D-805, FOLIO 492-493) AND AS SHOWN ON PLAT (3/3/1994, 94C-65)
- 3 WEST 1/2 OF VACATED SOLANO AVENUE NE RETAINED AS P.U.E. PER VACATION ORDINANCE #2742 DATED 10/12/1965 AND AS SHOWN ON PLAT (3/3/1994, 94C-65)
- 4 EXISTING 7' X 500' P.U.E. (6/6/1966, BK. D805, PG. 492-493) AND AS SHOWN ON PLAT (3/3/1994, 94C-65)
- 5 EXISTING 7' UNDERGROUND PNM EASEMENT (3/3/1994, 94C-65)
- 6 EXISTING 20' UTILITY EASEMENT (3/3/1994, 94C-65)
- 7 EXISTING PERMANENT MUTUAL NON-EXCLUSIVE RECIPROCAL INGRESS, EGRESS AND CROSS-PARKING EASEMENT ACROSS TRACTS A AND B FOR THE USE OF PARKING AREAS, DRIVEWAYS, COMMON UTILITIES AND OTHER COMMON AREAS PER PARKING AGREEMENT (3/16/1971, BK. MISC. 208, PG. 117), RE-RECORDED (12/21/1971, BK. MISC. 241, PG. 404) AND AGREEMENT AND DECLARATION OF EASEMENT AND COVENANTS (8/23/2000, BK. A9, PG. 2693), BLANKET IN NATURE
- 8 EXISTING 20' PERPETUAL P.U.E. AND RIGHT-OF-WAY EASEMENT (11/8/1965, BK. D-790, PG. 7-9) AND AS SHOWN ON PLAT (3/3/1994, 94C-65)
- 9 EXISTING 20' PERMANENT PUBLIC WATERLINE EASEMENT (8/30/2001, BK. A24, PG. 647, DOC. NO. 2001102359)
- 10 EAST 1/2 OF VACATED SOLANO AVENUE NE RETAINED AS P.U.E. PER VACATION ORDINANCE #2742 DATED 10/12/1965
- 11 EXISTING 7' PRIVATE PNM AND US WEST COMMUNICATIONS EASEMENT FOR TRACT A, ALTURA COMPLEX (3/24/1980, BK. 761, PAGE 543, DOC. NO. 8017867)
- 12 EXISTING 10' P.U.E. (12/30/1997, 97C-368)
- 13 EXISTING 7' P.U.E. (3/23/1972, BK. MISC. 253, PG. 556-558) AND AS SHOWN ON PLAT (12/30/1997, 97C-368)
- 14 LEASE AREA WITHIN TRACT A (8/23/2000, BK. A9, PG. 2693, DOC. NO. 2000083026)



DESIGNED JS DRAWN JS CHECKED SG DATE 12.03.2019	<b>REVISION</b> 1 2	<p>PROJECT NAME: CARLISLE MARKETPLACE</p> <p>SHEET TITLE: CONCEPTUAL GRADING</p> <p>SUBMITTED FOR: DRB SITE PLAN</p> <p>SHEET NUMBER: C-200</p>
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NAME: L:\Active Projects\03738 Modulus Carlisle Marketplace3\_DWG\Sheets\03738 Grading.dwg PLOT DATE: Dec 03, 2019 10:56am

NAME: L:\Active Projects\03738 Modulus Carlisle Marketplace3\_DWG\Sheets\03738 Utility.dwg PLOT DATE: Dec 20, 2019 10:22am



**KEYED NOTES**

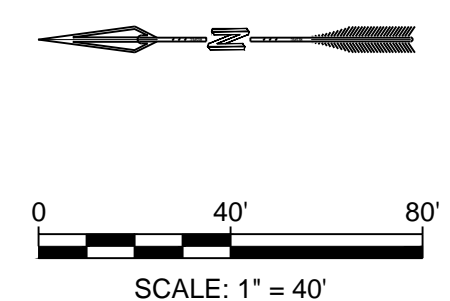
- 1 INSTALL 1" WATER SERVICE
- 2 INSTALL 1 1/2" WATER SERVICE
- 3 EXISTING WATER SERVICE
- 4 INSTALL PUBLIC 6" GATE VALVE & VALVE BOX
- 5 INSTALL PRIVATE 6" GATE VALVE & VALVE BOX
- 6 INSTALL WALL INDICATOR VALVE
- 7 INSTALL FIRE DEPARTMENT CONNECTION
- 8 INSTALL PRIVATE FIRE HYDRANT
- 9 INSTALL PRIVATE 6" WATER LINE
- 10 EXISTING 10" PVC PUBLIC WATER LINE
- 11 EXISTING PUBLIC FIRE HYDRANT TO REMAIN
- 12 EXISTING PUBLIC FIRE HYDRANT TO BE REMOVED
- 13 INSTALL 10" PVC PUBLIC WATER LINE
- 14 EXISTING 10" PVC PUBLIC WATER LINE TO BE REMOVED
- 15 INSTALL 4" SEWER SERVICE
- 16 INSTALL 6" SEWER SERVICE
- 17 EXISTING PUBLIC SEWER
- 18 INSTALL SEWER MANHOLE (NOT USED)
- 19 INSTALL STORM DRAIN PIPE
- 20 INSTALL DROP INLET
- 21 CONNECT TO EXISTING DROP INLET
- 22 EXISTING DROP INLET

**LEGEND**

- PROPERTY LINE
- W W W WATER LINE
- SAS SAS SANITARY SEWER LINE
- SD SD SD STORM DRAIN
- EASEMENT
- ⊗ WATER VALVE
- ⊠ WATER METER
- ⊙ FIRE HYDRANT
- ⊕ POST / WALL INDICATOR VALVE
- ⊙ FIRE DEPARTMENT CONNECTION
- ⊙ SANITARY SEWER MANHOLE
- DROP INLET

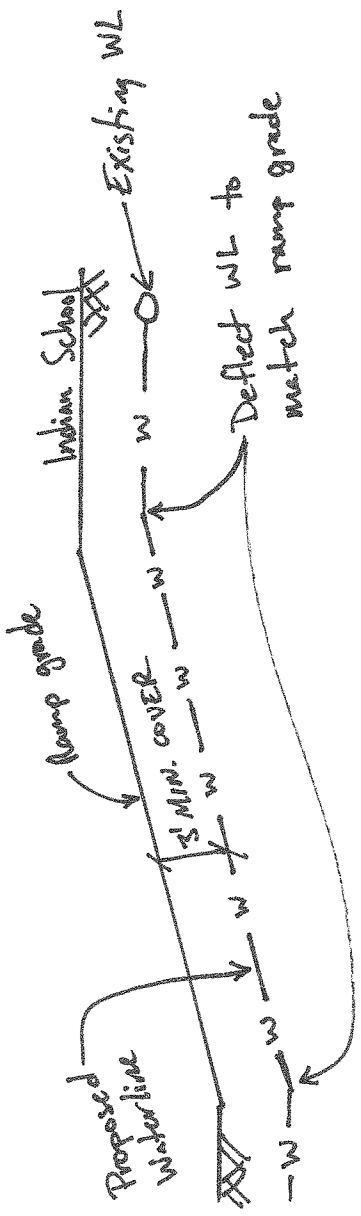
**GENERAL NOTE**

1. TYPE RBPA BACKFLOW PREVENTERS FOR ALL PROPOSED PRIVATE WATER LINES WILL BE PROVIDED INTERNAL TO EACH PROPOSED BUILDING PER COA STD DTL 2385. THE BACKFLOW PREVENTERS WILL BE THE SAME SIZE AS THE TAP/CONNECTION AT THE MAIN LINE.

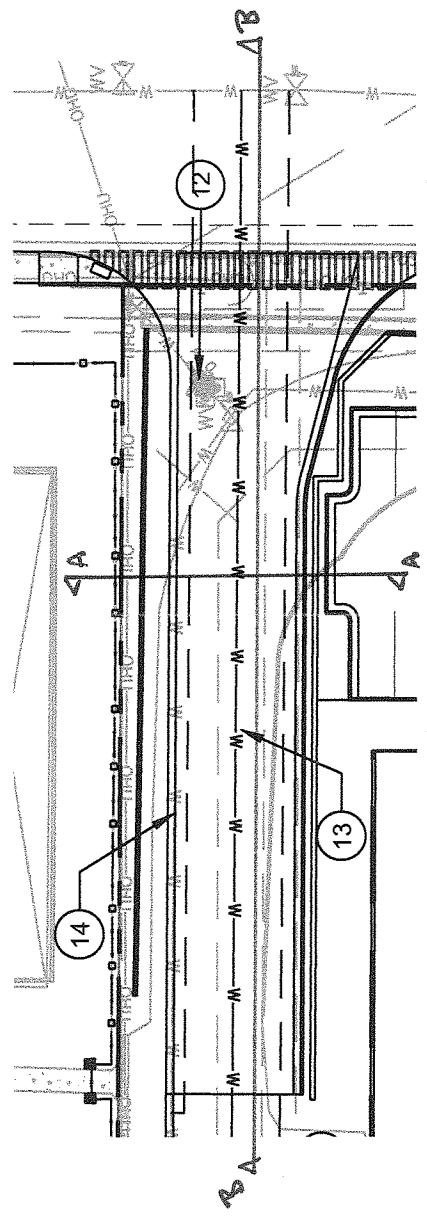


<p>DESIGNED JS DRAWN JS CHECKED SG DATE 12.20.2019</p>	<p>REVISION</p>
<p><b>RESPEC</b> 5971 JEFFERSON STREET SUITE 101 ALBUQUERQUE, NM 87110 WWW.RESPEC.COM 505.253.9718</p>	
<p>STAMP</p>	
<p>THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED.</p>	
<p>SUBMITTED FOR:</p>	<p>PROJECT NAME:</p>
<p><b>DRB SITE PLAN</b></p>	<p><b>CARLISLE MARKETPLACE</b></p>
<p>SHEET TITLE:</p>	<p><b>CONCEPTUAL UTILITY</b></p>
<p>SHEET NUMBER:</p>	<p><b>C-300</b></p>

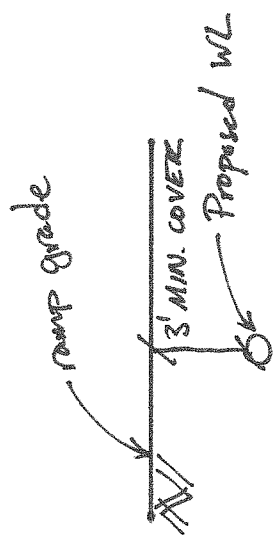




Section B-B  
NTS



Plan View  
NTS



Section A-A

NTS

Carlisle Market place  
Waterline Exhibit  
November 15, 2019



# DRAINAGE REPORT FOR CARLISLE MARKETPLACE



**PREPARED FOR**

City of Albuquerque, Planning Department  
Development Review Services, Hydrology Section

**PREPARED BY**

RESPEC, Inc.  
5971 Jefferson St. NE, Suite 101  
Albuquerque, NM 87109  
505.253.9718

**DECEMBER 2019**





RESPEC

I, Sheldon Greer, do hereby certify that this report was duly prepared by me or under my direction and that I am a duly registered Professional Engineer under the laws of the State of New Mexico.



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Sheldon Greer, P.E.  
NMPE No. 17154

12 / 03 / 2019

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Date

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# 1.0 INTRODUCTION

## 1.1 PURPOSE

The purpose of this drainage report is to demonstrate that the proposed re-development of Tracts A and B of Carlisle and Indian School Subdivision safely conveys the peak 100-year storm runoff. The drainage intent for proposed conditions is to match current existing conditions for the site.

## 1.2 LOCATION AND DESCRIPTION

Tracts A and B are located at the northeast corner of the Carlisle Boulevard and Indian School Road intersection and contain approximately 10.7 acres. See Figure 1.2.1 below. The existing site includes a Burger King restaurant located on Tract B and an old K-Mart building and parking lot on Tract A that is currently vacant. The existing conditions are described in more detail in Section 3.1 and the proposed conditions are described in Section 3.2.



FIGURE 1.2.1 – PROJECT LOCATION

## 2.0 METHODOLOGY

The hydrologic analysis was performed for the site in accordance with the Albuquerque Development Process Manual (DPM) Section 22.2 using the Rational Method to calculate peak flow rates for the 100-year, 24-hour design storm in order to ensure all flow paths are sufficient to carry flows. The required water quality volume was calculated by multiplying the impervious area by the first flush runoff value of 0.34". All hydrologic and hydraulic calculations are included in this report.

## 3.0 HYDROLOGY

### 3.1 EXISTING CONDITIONS

Tracts A & B do not receive any offsite flows. The existing site has approximately 93% impervious area and 7% landscaped. The total flow generated by the property under existing conditions is 48.9 cfs. The site appears to have free discharge and does not have any existing ponds. The existing property has been split into six sub-basins. Appendix A shows the existing sub-basin boundaries for the site.

Sub-basin A consists of the northwest corner of the property and is primarily made up of parking area and also the Burger King restaurant. In general, the sub-basin slopes from southeast to northwest at varying slopes between 3%-5%. Runoff exits the property at the northwest corner of the site and is collected in a drop inlet.

Sub-basin B contains the northeast corner of the property and accounts for surface runoff from the northern portion of the existing building and the drive aisle north of the building. This area accumulates to the northeast corner of the site and discharges out of the property into a concrete rundown. From there, runoff is collected in a drop inlet. Sub-basin B generates 4.5 cfs.

Sub-basin C consists of a majority of the existing building and the drive aisle east of the building. This area flows north along the eastern curb. Runoff collects at a low point in front of the dumpster area. Once the low point area has filled, water spills both through an existing opening in the wall to the east and to the north into Sub-basin B. Due to the elevation being the same at each point water is spilling, the flows split evenly between the east and the north. Therefore, 5.4 cfs discharges east through the existing wall opening, 5.4 cfs flows north into Sub-basin B, and a total of 9.9 cfs is collected by the existing drop inlet.

Sub-basin D contains the southwest corner of the existing building and a majority of the existing parking area. This Sub-basin, in general, sheet flows from southeast to northwest at varying slopes between 2%-5%. Runoff then flows north along a curb along the western property boundary and discharges in Carlisle Boulevard through an existing driveway. From there, flows enter storm inlets located along the eastern curb of Carlisle Boulevard.

Sub-basin E consists of a small portion of the parking area at the southwest corner of the property. This area slopes from southeast to northwest and discharges from the site through an existing driveway. The runoff generated by this Sub-basin is then collected in storm inlets located along the eastern curb of Carlisle Boulevard.