Sub-basin F contains a small area west of the existing Burger King restaurant the flows west into Carlisle Boulevard. Runoff from this Sub-basin is collected in the Carlisle Boulevard storm drain system. The hydrologic data table below depicts in further detail each sub-basin and its characteristics.

TABLE 3.1.1 – HYDROLOGIC DATA - EXISTING

| HYDROLOGIC DATA - EXISTING | | | | | | |
|---|---|---|---|---|---|---|
| | | LAND USE PERCENTAGES | | | | |
| SUB-BASIN | AREA (AC) | A | B | C | D | Q100 |
| A | 2.20 | 0% | 0% | 0% | 100% | 10.3 |
| B | 0.96 | 0% | 0% | 0% | 100% | 4.5 |
| C | 2.47 | 0% | 8% | 8% | 84% | 10.8 |
| D | 4.35 | 0% | 4% | 4% | 92% | 19.7 |
| E | 0.54 | 0% | 0% | 0% | 100% | 2.6 |
| F | 0.20 | 0% | 0% | 0% | 100% | 1.0 |
| **TOTAL** | **10.72** | | | | | **48.9** |

## 3.2 PROPOSED CONDITIONS

The proposed site development is to renovate the existing buildings and parking lot and add both commercial and retail pads along the Carlisle Boulevard property frontage. Under the proposed condition, approximately 87% of the site will consist of impervious area and 13% will be landscaped. The total flow generated by the proposed development is 47.6 cfs. Therefore, the discharge from the proposed site is less than the existing condition. The property has been split into five proposed sub-basins. Appendix B shows the proposed sub-basin boundaries for the site.

Sub-basin 1 consists of the northwest corner of the property and is made up of parking area, the existing Burger King restaurant, and a new commercial pad. In general, the sub-basin slopes from southeast to northwest. Runoff is collected in a proposed drop inlet in the new parking lot which discharges into a storm drain that will connect to the existing drop inlet, which is the location that this area is currently discharging to. The existing flow that reaches this inlet is 10.3 cfs while the proposed flow is 9.3 cfs.

Sub-basin 2A and 2B contain the roof drainage for the eastern half of the larger building and the truck dock area and drive aisle located east and north of the building. Sub-basin 2A drains directly to the existing drop inlet at the northeast corner of the property. Sub-basin 2B collects to the low point in front of the dumpster. The low point area in front of the dumpster will not be modified so that flows that reach this area continue to match the existing drainage pattern at that location.. The proposed flow from Sub-basin 2A is 4.4 cfs. The flow generated by Sub-basin 2B is 10.9 cfs, therefore, 5.45 cfs discharges east and 5.45 cfs flows north into Sub-basin 2A. The total proposed flow discharging to the existing drop inlet is 9.85 cfs. The total proposed flow discharging to the eastern property is 5.45 cfs. Therefore, the flow rate discharging through the wall opening and to the existing drop inlet is not increased

Sub-basins 3, 4, and 5 consist of the southwest corner of the property, which contains a majority of the parking lot and the roof drainage from the western half of the larger building as well as two new retail pads. Sub-basins 3 and 5 free discharge from the site through two new driveways. Sub-basin 4 is

collected in a drop inlet toward the northwest corner of the Sub-basin. These three Sub-basins all discharge to the existing storm drain system in Carlisle Boulevard. The existing flow that reaches the Carlisle storm drain under existing conditions is 23.3 cfs while the proposed flow is 23.0 cfs.

The hydrologic data table below depicts in further detail each sub-basin and its characteristics.

TABLE 3.2.1 – HYDROLOGIC DATA - PROPOSED

| HYDROLOGIC DATA - PROPOSED | | | | | | |
|---|---|---|---|---|---|---|
| | | LAND USE PERCENTAGES | | | | |
| SUB-BASIN | AREA (AC) | A | B | C | D | Q100 |
| 1 | 2.10 | 0% | 6% | 6% | 87% | 9.3 |
| 2A | 0.99 | 0% | 6% | 6% | 87% | 4.4 |
| 2B | 2.45 | 0% | 6% | 6% | 87% | 10.9 |
| 3 | 1.56 | 0% | 6% | 6% | 87% | 6.9 |
| 4 | 2.47 | 0% | 6% | 6% | 87% | 11.0 |
| 5 | 1.14 | 0% | 6% | 6% | 87% | 5.1 |
| **TOTAL** | **10.71** | | | | | **47.6** |

The total required water quality volume for the site is 11,512 cubic feet. The owner has elected to pay the fee in lieu for any required stormwater quality volume not provided in on-site ponds. More details regarding water quality will be provided at Building Permit review.

# 4.0 CONCLUSION

This drainage report is prepared in support of the new development for Tracts A and B. The existing buildings and parking area will be renovated and new commercial and retail pads will be added. The proposed conditions closely match the current conditions of the existing property. The hydrologic calculations are included in Appendix C.

# APPENDIX A

## EXISTING SUB-BASINS

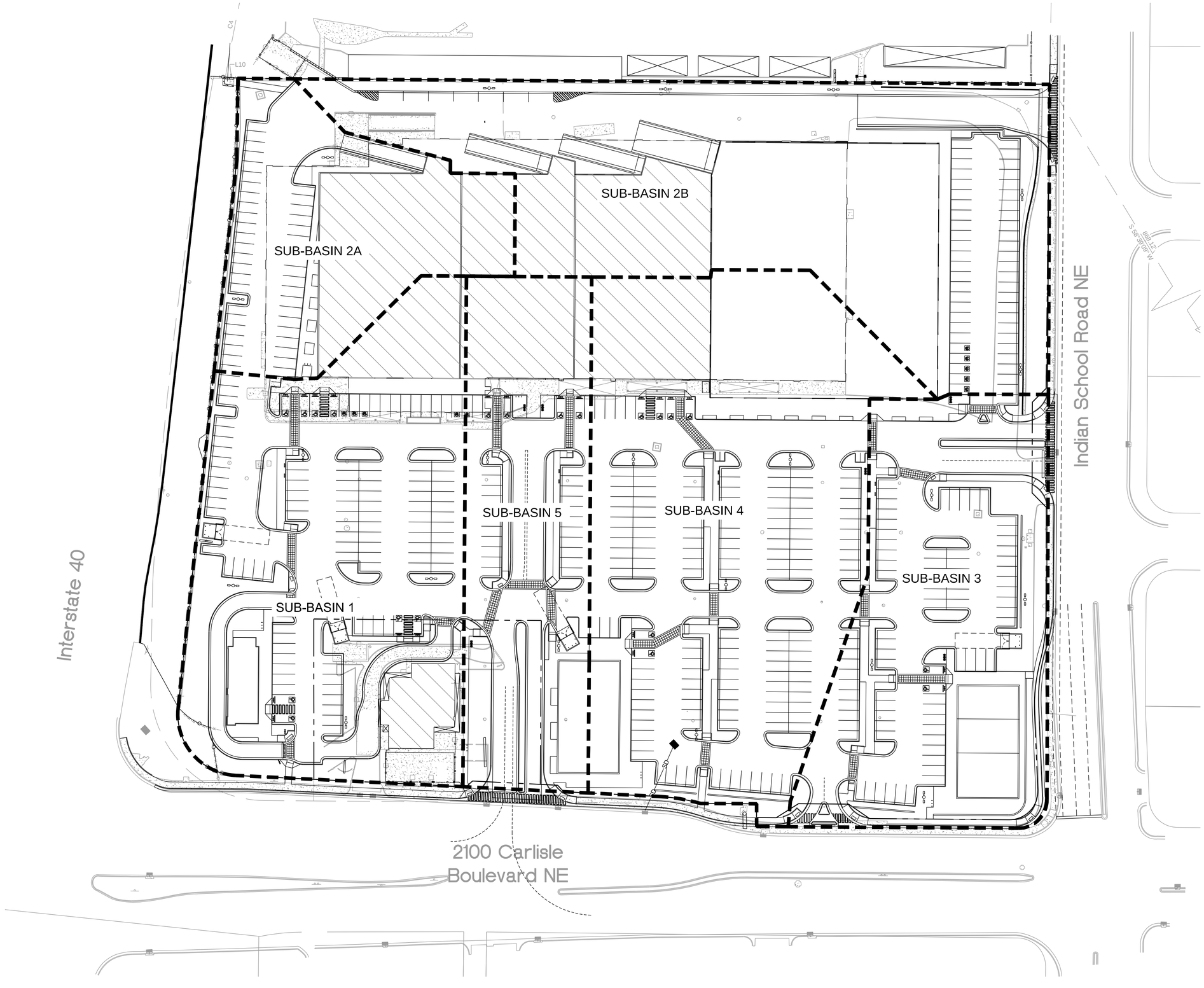

EXISTING SUB-BASINS

RESPEC
5971 JEFFERSON STREET SUITE 101
ALBUQUERQUE, NEW MEXICO 87109
WATER & NATURAL RESOURCES
WWW.RESPEC.COM 505.253.9718

NAME: L:\Active Projects\03738 Modulus Carlisle Marketplace\3. DWG\Sheets\03738 Drainage.dwg PLOT DATE: Jul 09, 2019 1:59pm

# APPENDIX B

## PROPOSED SUB-BASINS




PROPOSED SUB-BASINS

RESPEC
5971 JEFFERSON STREET SUITE 101
ALBUQUERQUE, NEW MEXICO 87109
WATER & NATURAL RESOURCES
WWW.RESPEC.COM 505.253.9718

NAME: L:\Active Projects\03738 Modulus Carlisle Marketplace\3. DWGS\Sheets\03738 Drainage.dwg PLOT DATE: Dec 03, 2019 12:01pm

# APPENDIX C

## HYDROLOGY CALCULATIONS

## Hydrology Calculations

The following calcualtions are based on Albuquerque's Development Process Manual, Seciton 22.2

### Existing Conditions

**Runoff Rate:**

Treatment Type Areas

| Subbasin | $Area_A$ (ac) | $Area_B$ (ac) | $Area_C$ (ac) | $Area_D$ (ac) | Total (ac) |
|---|---|---|---|---|---|
| A | 0.00 | 0.00 | 0.00 | 2.20 | 2.20 |
| B | 0.00 | 0.00 | 0.00 | 0.96 | 0.96 |
| C | 0.00 | 0.19 | 0.19 | 2.09 | 2.47 |
| D | 0.00 | 0.19 | 0.19 | 3.97 | 4.35 |
| E | 0.00 | 0.00 | 0.00 | 0.54 | 0.54 |
| F | 0.00 | 0.00 | 0.00 | 0.20 | 0.20 |
| Total | 0.00 | 0.38 | 0.38 | 9.96 | 10.72 |

Peak Discharge values based on Zone 2 from Table A-9

$Q_A$ = 1.56 cfs/ac $Q_B$ = 2.28 cfs/ac $Q_C$ = 3.14 cfs/ac $Q_D$ = 4.70 cfs/ac

Peak Discharge calculation for a 100-yr, 24-hr storm event from equation A-10

| Subbasin | Discharge (cfs) |
|---|---|
| A | 10.3 |
| B | 4.5 |
| C | 10.8 |
| D | 19.7 |
| E | 2.6 |
| F | 1.0 |
| Total | 48.9 |

### Proposed Conditions

**Runoff Rate:**

Treatment Type Areas

| Subbasin | $Area_A$ (ac) | $Area_B$ (ac) | $Area_C$ (ac) | $Area_D$ (ac) | Total (ac) |
|---|---|---|---|---|---|
| 1 | 0.00 | 0.14 | 0.14 | 1.83 | 2.10 |
| 2A | 0.00 | 0.06 | 0.06 | 0.86 | 0.99 |
| 2B | 0.00 | 0.16 | 0.16 | 2.13 | 2.45 |
| 3 | 0.00 | 0.10 | 0.10 | 1.36 | 1.56 |
| 4 | 0.00 | 0.16 | 0.16 | 2.15 | 2.47 |
| 5 | 0.00 | 0.07 | 0.07 | 0.99 | 1.14 |
| Total | 0.00 | 0.69 | 0.69 | 9.33 | 10.71 |

Peak Discharge values based on Zone 2 from Table A-9

$Q_A$ = 1.56 cfs/ac $Q_B$ = 2.28 cfs/ac $Q_C$ = 3.14 cfs/ac $Q_D$ = 4.70 cfs/ac

Peak Discharge calculation for a 100-yr, 24-hr storm event from equation A-10

| Subbasin | Discharge (cfs) |
|---|---|
| 1 | 9.3 |
| 2A | 4.4 |
| 2B | 10.9 |
| 3 | 6.9 |
| 4 | 11.0 |
| 5 | 5.1 |
| Total | 47.6 |

**Water Quality:**

Required Water Quality volume for first flush of 0.34"

| Subbasin | Volume (cu. ft.) |
|---|---|
| 1 | 2,260 |
| 2A | 1,061 |
| 2B | 2,629 |
| 3 | 1,679 |
| 4 | 2,656 |
| 5 | 1,227 |
| Total | 11,512 |

RESPEC.COM

Current DRC

Project Number:_____

FIGURE 12

Date Submitted: December 20, 2019

Date Site Plan Approved: _____

Date Preliminary Plat Approved: _____

Date Preliminary Plat Expires: _____

DRB Project No.: _____

DRB Application No.: _____

## INFRASTRUCTURE LIST

(Rev. 2-16-18)

**EXHIBIT "A"**

**TO SUBDIVISION IMPROVEMENTS AGREEMENT**

**DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

TRACTS A & B, CARLISLE & INDIAN SCHOOL SUBDIVISION

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

TRACTS A & B, CARLISLE & INDIAN SCHOOL SUBDIVISION

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

| Financially Guaranteed DRC # | Constructed Under DRC # | Size | Type of Improvement | Location | From | To | Construction Certification: Private Inspector | Private P.E. | City Cnst Engineer |
|---|---|---|---|---|---|---|---|---|---|
| | | PAVING | | | | | | | |
| | | 11' EDGE -F | 100' RIGHT TURN LANE PLUS TRANSITION AND STRIPING W/PCC CURB & GUTTER | INDIAN SCHOOL RD | CARLISLE BLVD | 100' EAST | / | / | / |
| | | | TRAFFIC SIGNAL RELOCATION | NE CORNER OF CARLISLE / INDIAN SCHOL INTERSECTION | | | / | / | / |
| | | 6' WIDTH | PCC SIDEWALK ALONG TURN LANE | INDIAN SCHOOL RD | CARLISLE BLVD | 100' EAST | / | / | / |
| | | 6' WIDTH | BIKE LANE WITH NEW STRIPING AND ASPHALT REMOVAL / REPLACEMENT AS NEEDED | CARLISLE BLVD | NORTH PROPERTY BOUNDARY | SOUTH PROPERTY BOUNDARY | / | / | / |
| | | | EXISTING NORTHBOUND RIGHT TURN LANE STRIPING MODIFICATIONS AS NEEDED | CARLISLE BLVD | NORTH PROPERTY BOUNDARY | APPROXIMATELY 500' SOUTH | / | / | / |
| | | | CURB & GUTTER AND SIDEWALK REMOVAL / REPLACEMENT AS NEEDED DUE TO ROADWAY PAVEMENT WIDENING | CARLISLE BLVD | NORTH PROPERTY BOUNDARY | SOUTH PROPERTY BOUNDARY | / | / | / |
| | | | REFURBISH CROSS-WALKS AND STOP BAR STRIPING | INDIAN SCHOOL RD AND CARLISLE BLVD INTERSECTION | | | / | / | / |
| | | | DETECTABLE WARNING SURFACES | INDIAN SCHOOL RD AND CARLISLE BLVD INTERSECTION | | | / | / | / |
| | | | NEW CONDUIT AND WIRING FOR TRAFFIC SIGNAL RELOCATION | NE CORNER OF INDIAN SCHOOL RD AND CARLISLE BLVD INTERSECTION | | | / | / | / |

| Financially Guaranteed DRC # | Constructed Under DRC # | Size | Type of Improvement | Location | From | To |
|---|---|---|---|---|---|---|
| | | | NEW SIGNAL HEADS TO MATCH MUTCD STANDARDS FOR RELOCATED TRAFFIC SIGNAL | NE CORNER OF INDIAN SCHOOL RD AND CARLISLE BLVD INTERSECTION | | |
| | | | | | | |
| | | **STORM** | | | | |
| | | 18" RCP | INSTALL STORM DRAIN AND CONNECT TO INLET | CARLISLE BLVD APPROXIMATELY 400' NORTH OF INTERSECTION WITH INDIAN SCHOOL RD | | |
| | | | | | | |
| | | **UTILITY** | | | | |
| | | 10" PVC | REMOVE AND DISPOSE APPROXIMATELY 320' EXISTING WATERLINE | SOUTHEAST CORNER OF SUBJECT PROPERTY | | |
| | | 10" PVC | INSTALL APPROXIMATELY 230' NEW WATERLINE | SOUTHEAST CORNER OF SUBJECT PROPERTY | | |
| | | | | | | |
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| Construction Certification | | |
|---|---|---|
| Private | | City Cnst |
| Inspector | P.E. | Engineer |
| / | / | / |
| / | / | / |
| / | / | / |
| / | / | / |
| / | / | / |
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| / | / | / |

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The Items listed below are subject to the standard SIA requirements.

| Financially Guaranteed DRC # | Constructed Under DRC # | Size | Type of Improvement | Location | From | To | Construction Certification: Private Inspector | Private P.E. | City Cnst Engineer |
|---|---|---|---|---|---|---|---|---|---|
| | | | | | | | / | / | / |
| | | | | | | | / | / | / |

Approval of Creditable Items:

Impact Fee Admistrator Signature Date

Approval of Creditable Items:

City User Dept. Signature Date

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.

Street lights per City rquirements.

1 Coordinate with Traffic Operations on recommended adjusted Signal Timing as needed prior to Work Order Acceptance.

2 NMDOT acceptance is pending which may require additional infrastructure and amendment to the infrastructure list.

3

**AGENT / OWNER**

JEREMY SHELL
NAME (print)

RESPEC
FIRM

SIGNATURE - date

**DEVELOPMENT REVIEW BOARD MEMBER APPROVALS**

DRB CHAIR - date

PARKS & RECREATION - date

TRANSPORTATION DEVELOPMENT - date

AMAFCA - date

UTILITY DEVELOPMENT - date

CODE ENFORCEMENT - date

CITY ENGINEER - date

_____ - date

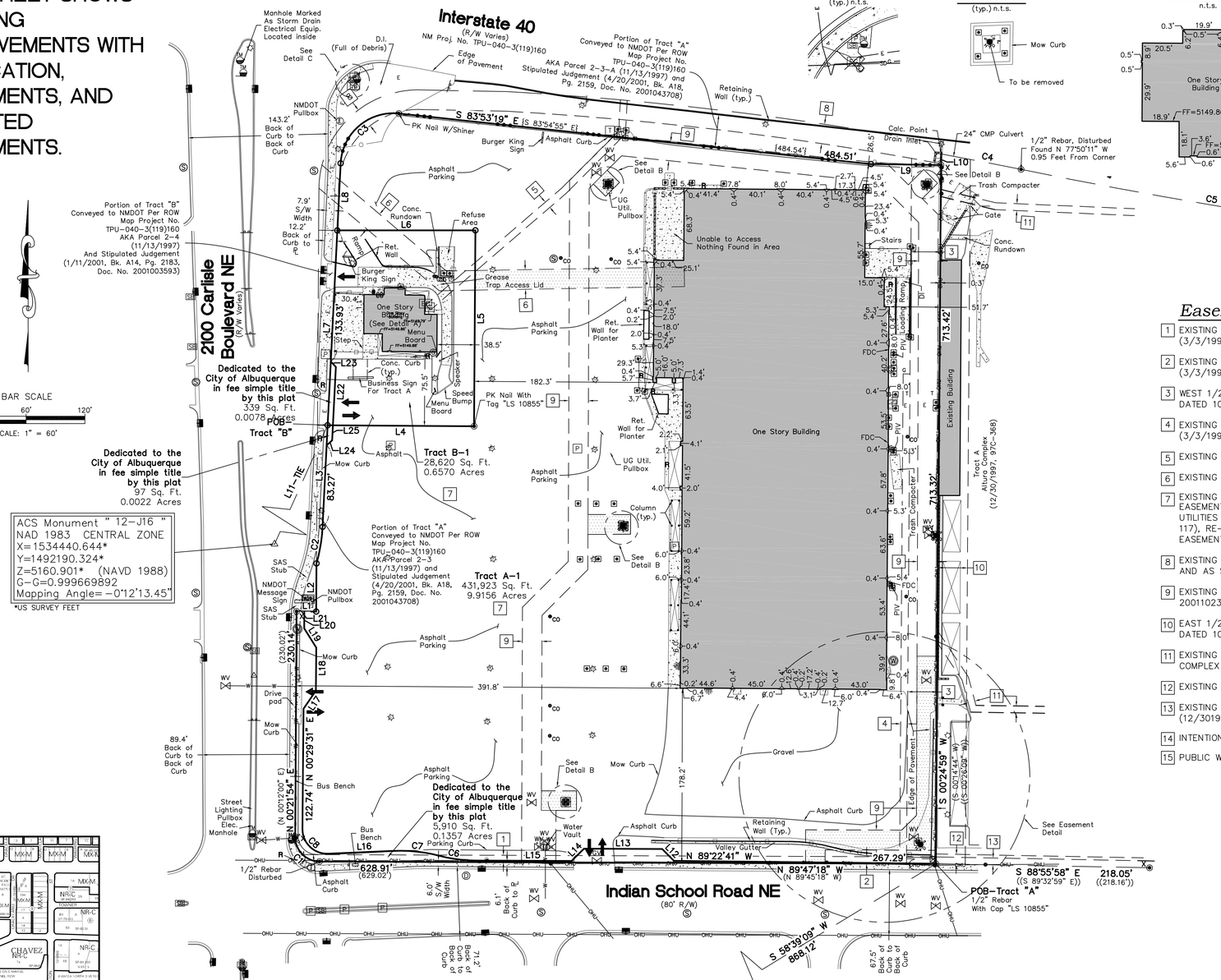
**DESIGN REVIEW COMMITTEE REVISIONS**

| REVISION | DATE | DRC CHAIR | USER DEPARTMENT | AGENT /OWNER |
|---|---|---|---|---|
| | | | | |
| | | | | |
| | | | | |

## Legend

| | |
|---|---|
| N 90°00'00" E | MEASURED BEARINGS AND DISTANCES |
| (N 90°00'00" E) | RECORD BEARINGS AND DISTANCES PER PLAT (3/3/1994, 94C-65) |
| ((N 90°00'00" E)) | RECORD BEARINGS AND DISTANCES PER PLAT (12/30/1997, 97C-368) |
| {N 90°00'00" E} | RECORD BEARINGS AND DISTANCES PER NMDOT MAP PROJECT NO. TPU-140-3(119)160 DATED 11/13/1997 |
| [N 90°00'00" E] | RECORD BEARINGS AND DISTANCES PER DEED (4/4/2001, BK. A17, PG. 6150, DOC. NO. 2001037685) |
| ◉ | FOUND MONUMENT AS INDICATED |
| ◉ | FOUND CHISELED "X" |
| O^X | SET PK NAIL WITH TAG "LS 14271" UNLESS OTHERWISE NOTED |
| | COVERED AREA |
| | CONCRETE |
| ⊡ | UTILITY PEDESTAL |
| | METAL FENCE |
| | BLOCK WALL |
| | CHAINLINK FENCE |
| ▣ | BOLLARD |
| OHU | OVERHEAD UTILITY LINE |
| ● | UTILITY POLE |
| | ANCHOR |
| P | PULL BOX |
| ☼ | LIGHT POLE |
| Ⓔ | ELECTRIC METER |
| T | TRANSFORMER |
| EC | ELECTRIC CABINET |
| SSB | SIGNAL BOX |
| | TRAFFIC MAST |
| Ⓖ | GAS METER |
| GV | GAS VALVE |
| Ⓣ | TELEPHONE MANHOLE |
| WV | WATER VALVE |
| Ⓦ | WATER METER |
| | FIRE HYDRANT |
| | ROOF DRAIN |
| Ⓢ | SANITARY SEWER MANHOLE |
| •co | SAS CLEANOUT |
| ⊠ | IRRIGATION BOX |
| Ⓓ | STORM DRAIN MANHOLE |
| | STORM DRAIN INLET |
| ⊖ OR ⊖ | SIGN |
| | CURB CUT/INDICATION OF ACCESS TO ROADWAY |
| FDC | FIRE DEPARTMENT CONNECTION |
| PIV | POST INDICATOR VALVE |
| | ACCESS CONTROL LINE PER NMDOT MAP PROJECT NO. TPU-140-3(119)160 DATED 11/13/1997 |
| R | RAMP |

THIS SHEET SHOWS EXISTING IMPROVEMENTS WITH DEDICATION, EASEMENTS, AND VACATED EASEMENTS.




### Detail C
(typ.) n.t.s.



### Detail B
(typ.) n.t.s.




### Detail A
n.t.s.




*Sketch Plat for*

# *Tracts A-1 and B-1 Carlisle & Indian School Subdivision less that a portion conveyed to NMDOT*

*Being Comprised of Tract A and B Carlisle & Indian School Subdivision*

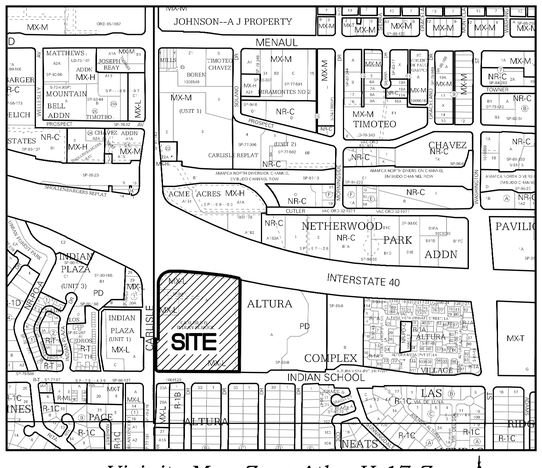
*City of Albuquerque*
*Bernalillo County, New Mexico*
*December 2019*

## *Easement Notes*

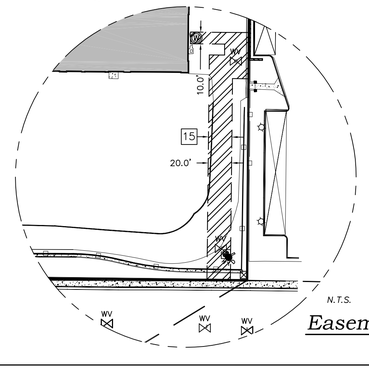
1. EXISTING 7' PNM EASEMENT (12/29/1969, BK. MISC. 159, PG. 619) AND AS SHOWN ON PLAT (3/3/1994, 94C-65)
2. EXISTING 5' X 58.5' P.U.E. (6/6/1966, D-805, FOLIO 492-493) AND AS SHOWN ON PLAT (3/3/1994, 94C-65)
3. WEST 1/2 OF VACATED SOLANO AVENUE NE RETAINED AS P.U.E. PER VACATION ORDINANCE #2742 DATED 10/12/1965 AND AS SHOWN ON PLAT (3/3/1994, 94C-65)
4. EXISTING 7' X 500' P.U.E. (6/6/1966, BK. D805, PG. 492-493) AND AS SHOWN ON PLAT (3/3/1994, 94C-65)
5. EXISTING 7' UNDERGROUND PNM EASEMENT (3/3/1994, 94C-65)
6. EXISTING 20' UTILITY EASEMENT (3/3/1994, 94C-65) PORTION TO BE VACATED SHOWN HEREON AS
7. EXISTING PERMANENT MUTUAL NON-EXCLUSIVE RECIPROCAL INGRESS, EGRESS AND CROSS-PARKING EASEMENT ACROSS TRACTS A AND B FOR THE USE OF PARKING AREAS, DRIVEWAYS, COMMON UTILITIES AND OTHER COMMON AREAS PER PARKING AGREEMENT (3/16/1971, BK. MISC. 208, PG. 117), RE-RECORDED (12/21/1971, BK. MISC. 241, PG. 404) AND AGREEMENT AND DECLARATION OF EASEMENT AND COVENANTS (8/23/2000, BK. A9, PG. 2693), BLANKET IN NATURE
8. EXISTING 20' PERPETUAL P.U.E. AND RIGHT-OF-WAY EASEMENT (11/8/1965, BK. D-790, PG. 7-9) AND AS SHOWN ON PLAT (3/3/1994, 94C-65)
9. EXISTING 20' PERMANENT PUBLIC WATERLINE EASEMENT (8/30/2001, BK. A24, PG. 647, DOC. NO. 2001102359) PORTIONS TO BE VACATED BY PLATTING ACTION SHOWN HEREON AS
10. EAST 1/2 OF VACATED SOLANO AVENUE NE RETAINED AS P.U.E. PER VACATION ORDINANCE #2742 DATED 10/12/1965
11. EXISTING 7' PRIVATE PNM AND US WEST COMMUNICATIONS EASEMENT FOR TRACT A, ALTURA COMPLEX (3/24/1980, BK. 761, PAGE 543, DOC. NO. 8017867)
12. EXISTING 10' P.U.E. (12/30/1997, 97C-368)
13. EXISTING 7' P.U.E. (3/23/1972, BK. MISC. 253, PG. 556-558) AND AS SHOWN ON PLAT (12/301997, 97C-368)
14. INTENTIONALLY OMITTED
15. PUBLIC WATERLINE EASEMENT GRANTED TO ABCWUA WITH FILING OF THIS PLAT SHOWN HEREON AS

| Line Table | | |
|---|---|---|
| Line # | Direction | Length (ft) |
| L1 | S 89°37'03" E (S 89°48'00" E) | 20.00'(20.00') |
| L2 | N 00°22'32" E (N 00°12'00" E) {N 00°21'12" E} | 49.19' |
| L3 | N 02°50'41" E {N 02°49'02" E} | 103.83' [104.10'] |
| L4 | S 89°36'56" E (S 89°47'59" E) {S 89°47'53" E} | 149.44' [149.57'] |
| L5 | N 00°22'57" E (N 00°12'00" E) {N 00°12'00" E} | 200.00'(200.00') [200.00'] |
| L6 | S 89°58'50" W (N 89°47'59" W) {N 89°47'53" W} | 140.89' [140.97'] |
| L7 | N 02°50'41" E {N 02°49'02" E} [N 02°39'44" E] | 199.19' [200.08'] [200.18'] |
| L8 | N 02°50'41" E {N 02°49'02" E} | 68.57' [67.42'] |
| L9 | S 89°14'36" E {S 89°16'12" E} | 71.42' [71.41'] |
| L10 | N 00°25'51" E {N 00°25'51" E} ((N 00°26'09" E)) | 11.24' ((10.19')) |
| L11 | S 07°38'42" W | 907.37' |
| L12 | N 44°47'18" W | 17.05' |
| L13 | N 89°47'18" W | 79.85' |
| L14 | S 45°12'42" W | 17.78' |
| L15 | N 89°47'18" W | 97.34' |
| L16 | S 87°34'03" W | 67.30' |
| L17 | N 34°30'56" E | 22.36' |
| L18 | N 00°29'31" E | 44.06' |
| L19 | N 32°16'20" W | 23.12' |
| L20 | N 00°29'31" E | 17.29' |
| L21 | S 89°37'03" E | 7.90' |
| L22 | S 02°50'41" W | 59.60' |
| L23 | N 42°09'19" W | 7.67' |
| L24 | N 47°50'41" E | 7.67' |
| L25 | S 02°50'41" W | 15.37' |

| Curve Table | | | | | |
|---|---|---|---|---|---|
| Curve # | Length | Radius | Delta | Chord Length | Chord Direction |
| C1 | 39.34' (39.25') | 25.00' (25.00') | 90°09'12" | 35.40' | N 44°42'42" W |
| C2 | 37.92' {37.92'} | 165.88'{165.88'} | 13°05'52" | 37.84' | N 09°23'36" E |
| C3 | 87.53' {87.54'} | 53.77' {53.77'} | 93°16'01" | 78.18' | S 49°28'41" W |
| C4 | 84.01'((84.15')) | 3474.98' ((3495.17')) | 1°23'07" | 84.01' | S 79°04'24" E |
| C5 | 392.05' ((392.31')) | 5803.04' ((5802.85')) | 3°52'15" | 391.97' | S 80°22'17" E |
| C6 | 38.05' | 150.00' | 14°32'06" | 37.95' | S 82°31'16" E |
| C7 | 46.77' | 156.00' | 17°10'44" | 46.60' | N 83°50'35" W |
| C8 | 40.55' | 25.00' | 92°55'28" | 36.25' | S 45°58'13" E |




*Vicinity Map-Zone Atlas H-17-Z*




*Easement Detail* 15

THE PURPOSE OF THIS SKETCH PLAT IS DEDICATE RIGHT OF WAY, GRANT EASEMENT(S), AND VACATE EASEMENT(S) AS SHOWN HEREON.


CSI-CARTESIAN SURVEYS INC.
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