



Kym Dicome, DRB Chair, Planning Department
Development Review Board Members
City of Albuquerque
600 Plaza del Sol, 600 2nd NW, Albuquerque, NM 87102

November 1, 2019

RE: KMART REDEVELOPMENT – DRB SUBMITTAL FOR SITE PLAN

DRB PROJECT NUMBER: PR –2019–002677
APPLICATION NUMBER: SI-2019-00252

Members of the Development Review Board,

Subsequent to our comments provided at the DRB Hearing on September 18, 2019 we have the following written responses as well as the accompanying revised documents and drawings. We look forward to reviewing with you at our next scheduled hearing on November 6, 2019.

TRANSPORTATION DEVELOPMENT

1. The Traffic Impact Study (TIS) comments will need to be addressed, and then the TIS will need to be approved. The infrastructure list will need to include requirements laid out in the approved Traffic Impact Study. Appropriate right-of-way dedication is needed based on these requirements, and plat sign-off will be needed prior to site plan approval.
 - a. Addressed:
 - i. TIS comments have been address by Terry Brown and resubmitted to Transportation and NMDOT for review.
2. DOT approval is needed for the T.I.S.
 - a. Addressed:
 - i. TIS comments have been address by Terry Brown and resubmitted to Transportation and NMDOT for review. We are waiting on comments back by Transportation.



3. Provide right-of-way dedication for new right turn lane and sidewalk along Indian School as well as for the southern access to the site on Carlisle Blvd.
 - a. Addressed:
 - i. This is being submitted via platting action by Cartesian Surveys, this will be a separate action. We will be requesting delegation of approval pending recording of the plat showing ROW dedication.
4. Dimension sidewalk on Carlisle Blvd., and show sidewalk for entire frontage. Show dimensioning (existing and new) for all lanes on Carlisle Boulevard and Indian School Road.
 - a. Addressed:
 - i. See revised Site Plan sheet BP-1.
5. Dimension the on-site walkways from the existing building and parking lot to the sidewalk along Carlisle Boulevard. Label all on-site ramps.
 - a. Addressed:
 - i. See revised Site Plan sheet BP-1.
 - ii. Ramps see revised Site Plan sheet BP-1, note 7-10, and 21.
6. Call out signage on plans where needed.
 - a. Addressed:
 - i. See revised Exterior Elevation Plans – A201, A202, and A203.
7. A minimum 4-foot wide pedestrian path is needed behind the on-site perpendicular curb ramps for maneuverability. Call out these dimensions. Also call out the 6” high curb on the plan to separate parking areas from on-site pedestrian walkways.
 - a. Addressed:
 - i. See revised Site Plan sheet BP-1.
 - ii. 6” high curbs – See revised Site Plan sheet BP-1 note 13.
8. On the northwest corner of the site, there are 15-foot wide access ways. If these access ways are meant to be one-way, provide necessary pavement striping and signage.
 - a. Addressed:
 - i. See revised Site Plan sheet BP-1 note 25 and 33.



9. Provide fire marshall approval and Solid Waste approval.
 - a. Addressed:
 - i. Please see attached Approved Fire One Plan.
 - ii. See Solid Waste Management Signature on revised Site Plan sheet BP-1.
10. Provide turning template design for left-turning movements at the north access off of Carlisle Boulevard.
 - a. Addressed:
 - i. See revised Site Plan sheet BP-1.
11. Address DMD's previous comments with regard to providing sufficient right-of-way for future proposed bicycle facilities along Carlisle Boulevard and I-40.
 - a. Addressed:
 - i. Comment removed by City.
12. Show truck delivery route.
 - a. Addressed:
 - i. See revised Site Plan sheet BP-1.
13. Improvements look as though they encroach into the neighboring property to the east on each corner. Far north entrance appears to need to be shifted to the west.
 - a. Addressed:
 - i. Lines have been adjusted to not encroach neighborhood property. See revised Site Plan sheet BP-1
 - ii. Existing trash enclosure for apartments to remain on North East corner.
 - iii. Far North entrance is shifted west as much as possible.

PLANNING DEPARTMENT

1. Parking table lists bike, motorcycle and vehicle charging spaces as the same for each use, please clarify how these are distributed.
 - a. Addressed
 - i. See new Site Data Table – It clarifies and breaks down the parking in three different proposed use categories: Retail Uses, Grocery and Restaurant



2. 10 electric vehicle spaces are required.
 - a. Addressed
 - i. See new parking calculations in the Site Data Table on BP-1 also see note 31 (10 spaces added).
3. A 15 foot sidewalk is required along the main building, please provide or request a deviation.
 - a. Addressed:
 - i. We maintain the overall 15' sidewalk along the main building but there are certain pinch points that don't meet the standard. A deviation will be requested.
4. See section 5-11-(E)(2)(a) for façade requirements- north elevation does not look like it meets these.
 - a. Addressed:
 - i. Planters where added on the North side see BP-1 – Note 11.
 - ii. Façade elevations where adjust to meet code – See A201 - C1 North Elevation.

Walls

1. Section 5-7(D)(1) shows allowed wall height. Are any walls or fences proposed? If so, please confirm height and location of walls and fences.
 - a. Addressed:
 - i. See note 19 and on BP-1
 - ii. See note 15A on BP-1

CODE ENFORCEMENT

1. Please define retail space on the site plan per tenant area.
 - a. Addressed:
 - i. See BP-1 (Proposed Retail).



WATER AUTHORITY

1. The proposed entrance road located at the southeast corner of the property appears to be adding fill over the existing public waterline. Deepening the waterline is not desirable. Please provide details (e.g. cross section) to illustrate how the waterline will be impacted.
 - a. Addressed:
 - i. The existing waterline will be removed and replaced with a new waterline that follows the proposed grade of the ramp up to Indian School where a new connection to the main will be made. See revised sheet C-300.
2. Keyed note #9 is for proposed waterline. It shall be labeled as a private water line.
 - a. Addressed:
 - i. Keyed note #9 as shown as proposed private waterline. See revised sheet C-300.
3. Proposed onsite fire hydrants shall be deemed private. It is understood that there are several onsite public fire hydrants but the proposed fire hydrants legs are quite and resemble a private fire line.
 - a. Addressed:
 - i. All existing and proposed hydrants are now shown as private. See revised sheet C-300.
4. Minimize the length of the public water service by locating proposed water meters in areas closer to the public main in areas that are free from traffic.
 - a. Addressed:
 - i. Water meters have been relocated to minimize the length of public water service. See revised sheet C-300.
5. The proposed manhole for the proposed 6" sanitary sewer service shall be located in a way that allows proper access by a Vac-truck. The front of the truck should be able to drive up to the manhole.
 - a. Addressed:
 - i. This sanitary sewer service alignment has changed. See revised sheet C-300.



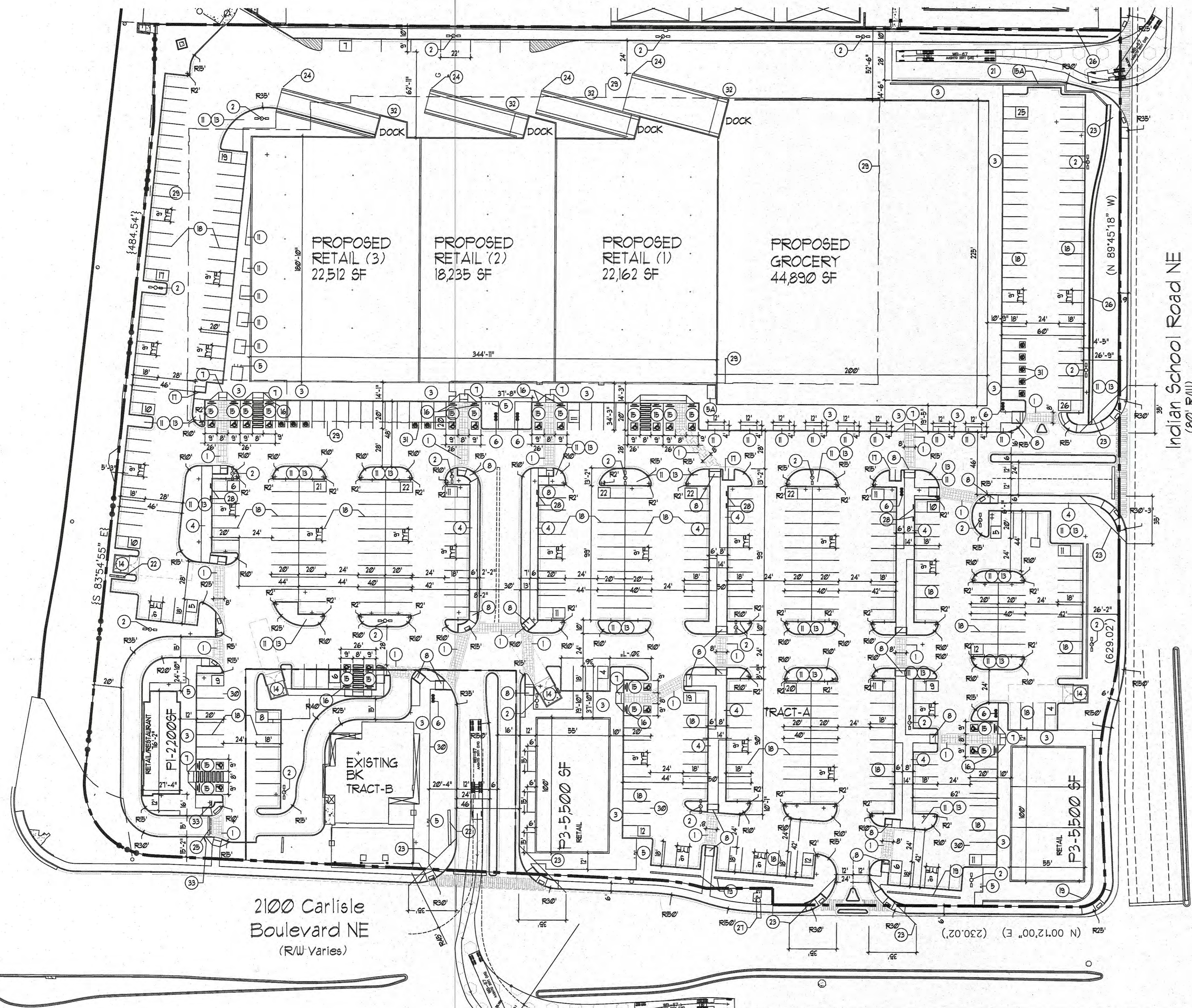
6. PREVIOUS COMMENT - Please provide easement information for the onsite public 10” waterline and the onsite public 8” sanitary sewer.
 - a. Addressed:
 - i. As discussed at the previous DRB hearing, there is an existing 20’ wide public waterline easement for the onsite 10” waterline. This easement will be vacated and a new one granted due to the revisions to the waterline at the ramp at the southeast corner of the property. There is also a 20’ public sewer easement for the onsite 8” sewer. It appears that the Burger King sewer outfalls to this sewer line as well as the existing Kmart building.

7. PREVIOUS COMMENT - There may be an opportunity to convert all or a portion of the onsite public 8” sanitary sewer to a private sanitary sewer. Is this existing public sanitary sewer being used by the existing development on existing Lot B?
 - a. Addressed:
 - i. As stated in the previous response, it appears the Burger King sewer service connects to the public 8” sewer. Therefore, it would be preferred if this sewer remains public.

8. For information only.
 - a. Availability statement #190609 has been executed and provides the conditions for service.

Best Regards,

Angela Williamson, Principal
Modulus Architects, Inc.
100 Sun Ave. NE Suite 305
Albuquerque, NM 87109
Office: (505) 338-1499
Mobile: (505) 999-8016
awilliamson@modulusarchitects.com



- KEYED NOTE:
- 8' , OR AS INDICATED WITHIN SITE PLAN PEDESTRIAN CROSSWALK RE: DETAIL 6/A11
 - LIGHT POLE LOCATION RE: DETAIL 3/A11
 - CONC. SIDEWALK ADJACENT BLDG RE: DET 8/A11 RE: SITE PLAN FOR JOINT LAYOUT
 - CONC. SIDEWALK RE: DET 7/A11 RE: SITE PLAN FOR JOINT LAYOUT
 - INDICATES BIKE RACK LOCATION. (5 BIKE CAPACITY) RE: DETAIL 13/A12
 - INDICATES BIKE RACK LOCKER LOCATION. (5 BIKE CAPACITY)
 - BENCH LOCATION RE: DETAIL 10/A12
 - HANDICAP RAMP RE: 15/A11
 - HANDICAP RAMP RE: 16/A11
 - HANDICAP RAMP RE: 5/A11
 - HANDICAP RAMP RE: 17/A11
 - INDICATES LANDSCAPE PLANTING AREA G.C TO PROVIDE COORDINATE REQ. BLEEVING FOR EA. WELL LOCATION
 - DRIVE AISLE PAINT DETAIL RE: DET 9/A12
 - 6' HIGH CONC. ISLAND /CURE RE: SITE GRADING PLAN FOR INFO
 - REFUSE ENCLOSURE RE: DET.4/A13
 - HC PARKING STALL RE: DET 2/A12
 - NEW RETAINING WALL PER SECTION 5-1(D) OF THE I.D.O.
 - WHEELSTOP RE: DET 4/A12
 - INDICATES PROPOSED MOTORCYCLE PARKING STALL LOCATION RE: SITE PLAN FOR LOCATIONS. RE: DET. 7/A12
 - PAINTED STRIPPING/SIGNING AS INDICATED ON SITE PLAN ALL STANDARD PARKING STALL STRIPPING SHALL BE WHITE
 - INDICATES SPLIT FACE 3'-0" HIGH PAINTED PATIO KNEE WALL
 - EXISTING SIDEWALK TO REMAIN
 - NEW RAMP
 - 300 SF PYLON SIGN TO MATCH ADJACENT BUILDING RE: DETAIL 8/A13 FOR INFO
 - INDICATES CLEAR SIGHT TRIANGLE. NOTE: CLEAR SITE AREA SHALL BE FREE OF ALL SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET AS MEASURED VERTICALLY FROM ADJACENT GUTTERPAN.
 - BOLLARD PAINTED SAFETY YELLOW RE: DET. 1/A13
 - "DO NOT ENTER" RE: DET 8/A12
 - EXISTING RETAINING WALL TO REMAIN
 - EXISTING DOT SIGN TO REMAIN
 - ELECTRIC VEHICLE CHARGING STATION
 - INDICATES EXISTING BUILDING FOOTPRINT AREA
 - INDICATES CONSTRUCTION PHASE LINE
 - ELECTRIC VEHICLE PARKING SPACE, TYPICAL OF 10
 - PROPOSED 40 cu yd ROLL OFF CONTAINER
 - "DO NOT ENTER" SIGN RE: DET 12A/A12

PROJECT NUMBER: _____

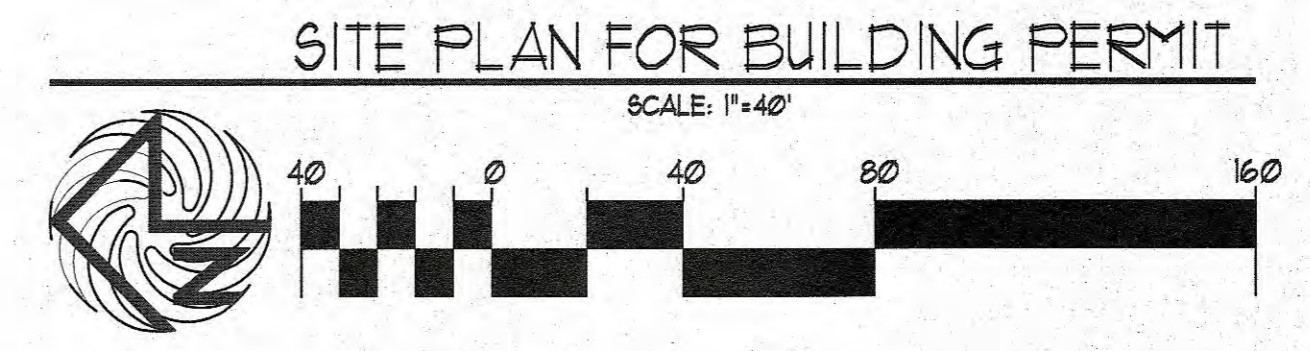
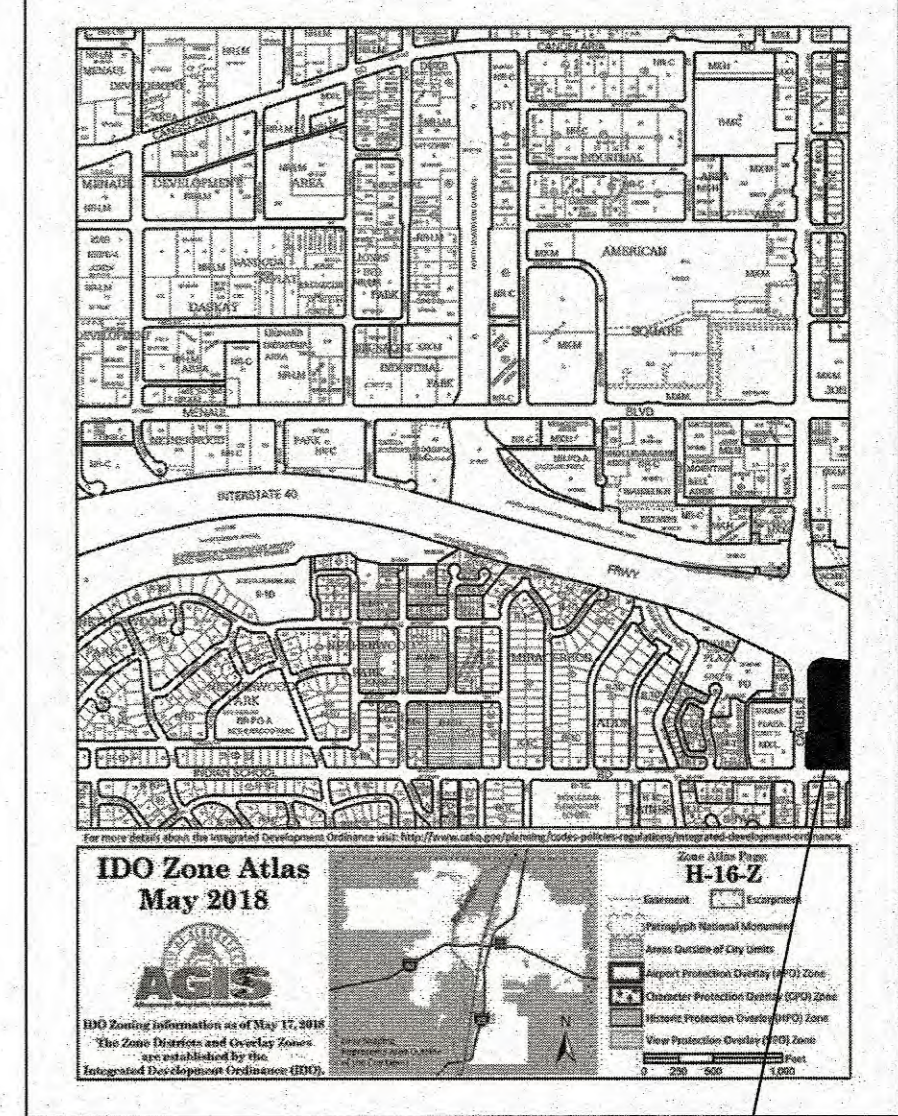
APPLICATION NUMBER: _____

Is an Infrastructure List required? () YES () NO If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements

DRE SITE DEVELOPMENT PLAN SIGNOFF APPROVAL

Traffic Engineering, Transportation Division	Date
DRE ARQUIA ENGINEER	Date
Parks and Recreation Department	Date
City Engineer	Date
Environmental Health Department	Date
Public Waste Management	Date
DRE Cratperson, Planning Department	Date

* Environmental Health, if necessary



Lot 30-A, Block 1
Miraceros Addition
(03/13/1998, 98C-69)

LEGAL DESCRIPTION	SITE DATA TABLE	RETAIL USES	GROCERY	RESTAURANT	ALL USES
LEGAL DESCRIPTION-TRACT-A A CERTAIN TRACT OF LAND DESIGNATED AS TRACT "A" OF THE CARLISLE AND INDIAN SCHOOL SUBDIVISION, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY ON MARCH 3, 1994, IN PLAT BOOK 94C, FOLIO 65, LESS AND EXCEPTING A PORTION OF TRACT A, AKA PARCELS 2-3-A AND 2-3, CONVEYED TO N1 DEPARTMENT OF TRANSPORTATION (INDOT), AS THE SAME IS SHOWN ON THE RIGHT-OF-WAY MAP, HAVING PROJECT NUMBER TRU-040-3(19)160, DATED NOVEMBER 19, 1991, AND DESCRIBED ON THE STRIPULATED JUDGEMENT FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON APRIL 20, 2001, IN BOOK A18, PAGE 283, AS DOCUMENT NO. 2001043120.					
LEGAL DESCRIPTION-TRACT-B A CERTAIN TRACT OF LAND DESIGNATED AS TRACT "B" OF THE CARLISLE AND INDIAN SCHOOL SUBDIVISION, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY ON MARCH 3, 1994, IN PLAT BOOK 94C, FOLIO 65, LESS AND EXCEPTING A PORTION OF TRACT B, AKA PARCEL 2-4, CONVEYED TO N1 DEPARTMENT OF TRANSPORTATION (INDOT), AS THE SAME IS SHOWN ON THE RIGHT-OF-WAY MAP, HAVING PROJECT NUMBER TRU-040-3(19)160, DATED NOVEMBER 19, 1991, AND DESCRIBED ON THE STRIPULATED JUDGEMENT FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON JANUARY 11, 2001, IN BOOK A14, PAGE 283, AS DOCUMENT NO. 2001035933.					
	PROPOSED USES: BUILDING SIZE: TOTAL PARKING REQ: TOTAL PARKING PROV: HC PROVIDED: HC REQUIRED: BIKE SPACES PROVIDED: BIKE SPACES REQUIRED: MOTORCYCLE SPACES PROVIDED: MOTORCYCLE SPACES REQUIRED: ELECTRIC CHARGING STATION SPACES PROVIDED: ELECTRIC STATION REQUIRED:	RETAIL USES 14,628 SF 3020 SPACES 35 SPACES 25 SPACES 6 SPACES 6 SPACES 8 SPACES 6 SPACES	GROCERY 44,890 SF 180 SPACES 35 SPACES 5 SPACES 6 SPACES 1 SPACE 5 SPACES 4 SPACES	RESTAURANT 2,200 SF 24 SPACES 35 SPACES 5 SPACES 6 SPACES 1 SPACE 8 SPACES	ALL USES (MAJOR-MAJOR-2F-1F-2F-3) TOTAL SPACES REQ= 424 SPACES 468 SPACES PROVIDED 20 HC (INCLUDING 20 VAN ACCESSIBLE) 16 HC SPACES 35 BIKE SPACES 42 BIKE SPACES 6 MOTO SPACES 6 MOTO SPACES 8 ELEC. CHARGING STATION PARKS

REVISION

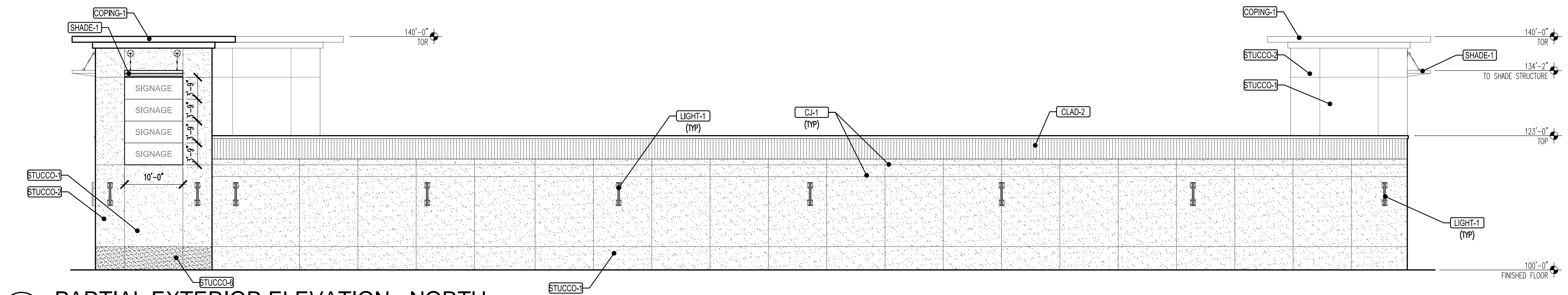
REV	DATE	BY

MODULUS ARCHITECTS
100 SUN AVE. N.W. SUITE 305
ALBUQUERQUE, NEW MEXICO 87109
PHONE (505) 338-1499 FAX (505) 338-1498

PROJECT TITLE: CARLISLE CROSSING
2100 CARLISLE BLVD NE
ALBUQUERQUE, NEW MEXICO

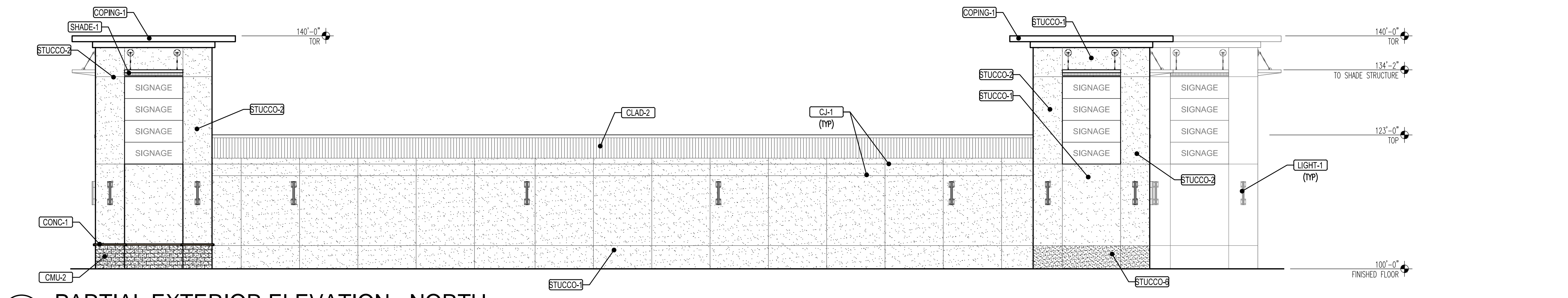
PROJECT NUMBER: STEPHEN DUNBAR, AIA
JOB NO. 5
SHEET TITLE: SITE PLAN FOR BUILDING PERMIT

DATE: 1/24/2019
SCALE: RE: BAR SCALE



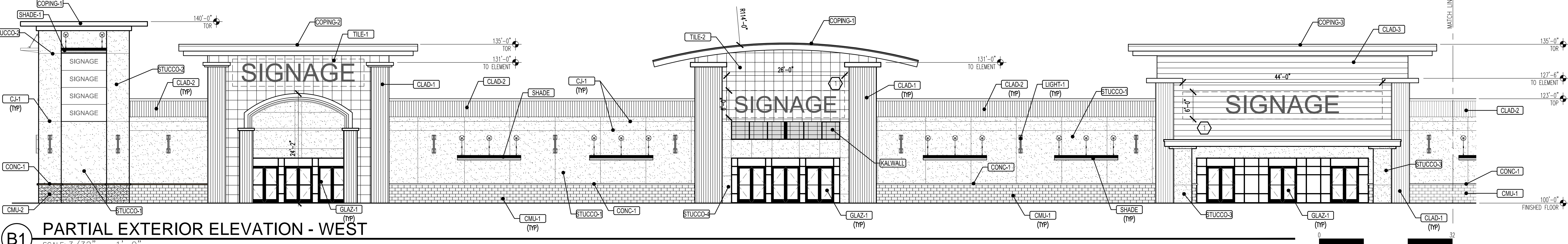
D1 PARTIAL EXTERIOR ELEVATION - NORTH

SCALE: 3/32" = 1'-0"



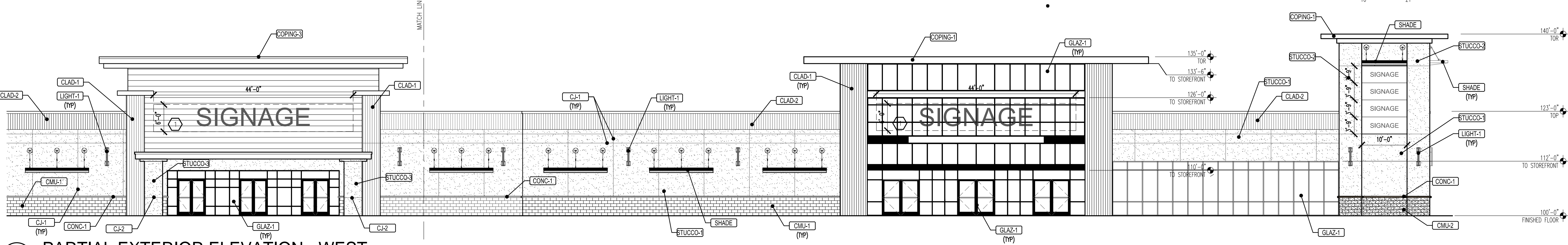
C1 PARTIAL EXTERIOR ELEVATION - NORTH

SCALE: 3/32" = 1'-0"



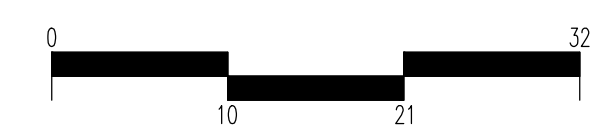
B1 PARTIAL EXTERIOR ELEVATION - WEST

SCALE: 3/32" = 1'-0"



A1 PARTIAL EXTERIOR ELEVATION - WEST

SCALE: 3/32" = 1'-0"



EXTERIOR MATERIALS	
CMU-1	8" SPLIT-FACE CMU BLOCK STANDARD GRAY
CMU-2	8" BURNISHED CMU BLOCK DESERT BROWN
STUCCO-1	2-COAT STUCCO SYSTEM COLOR SHERWIN WILLIAMS #SW6098 PACER WHITE
STUCCO-2	2-COAT STUCCO SYSTEM COLOR SHERWIN WILLIAMS #SW7051 ANALYTICAL GREY
STUCCO-3	2-COAT STUCCO SYSTEM COLOR SHERWIN WILLIAMS #SW6368 BAKELITE GOLD
STUCCO-4	2-COAT STUCCO SYSTEM COLOR SHERWIN WILLIAMS #SW6122 CAMELBACK
STUCCO-5	2-COAT STUCCO SYSTEM COLOR SHERWIN WILLIAMS #SW7027 WELL BRED BROWN
STUCCO-6	2-COAT STUCCO SYSTEM COLOR SHERWIN WILLIAMS #SW7046 ANONYMOUS
COPING-1	GALVANIZED METAL COPING SHERWIN WILLIAMS #SW7046 ANONYMOUS
COPING-2	GALVANIZED METAL COPING SHERWIN WILLIAMS #SW7046 ANONYMOUS
COPING-3	GALVALUME-SILVER
CLAD-1	COMPOSITE CLADDING BY FIBERON COLOR: SAPELE CLADDING
CLAD-2	COMPOSITE CLADDING BY FIBERON COLOR: CUMARA CLADDING
CLAD-3	COMPOSITE CLADDING BY FIBERON COLOR: MORA CLADDING
CONC-1	CONCRETE WATER TABLE SILL COLOR: STANDARD GRAY
GLAZ-1	ALUMINUM STOREFRONT SYSTEM WITH CLEAR LW-E GLASS COLOR: ANODIZED BRONZE
TILE-1	TILE VENEER - METALWOOD ARGENTO BY ARIZONA TILE
TILE-2	TILE VENEER - CREMA VOSSICONE BY ARIZONA TILE
LIGHT-1	DECORATIVE SURFACE MOUNTED LIGHT FIXTURE COLOR TO MATCH STOREFRONT FRAME
KALWALL	KALWALL TRANSLUCENT PANELS
CJ-1	1/4" STUCCO CONTROL JOINT
CJ-2	3/4" ALUMINUM REVEAL
SHADE	SHADE STRUCTURE COLOR: FLAT BLACK

KEYED NOTES

- EXTERIOR SIGNAGE. NOTES SIGNAGE SHALL BE PROVIDED AND INSTALLED BY TENANT UNDER A SEPARATE PERMIT.

REV	DATE	BY	REVISION
1			
2			
3			
4			
5			

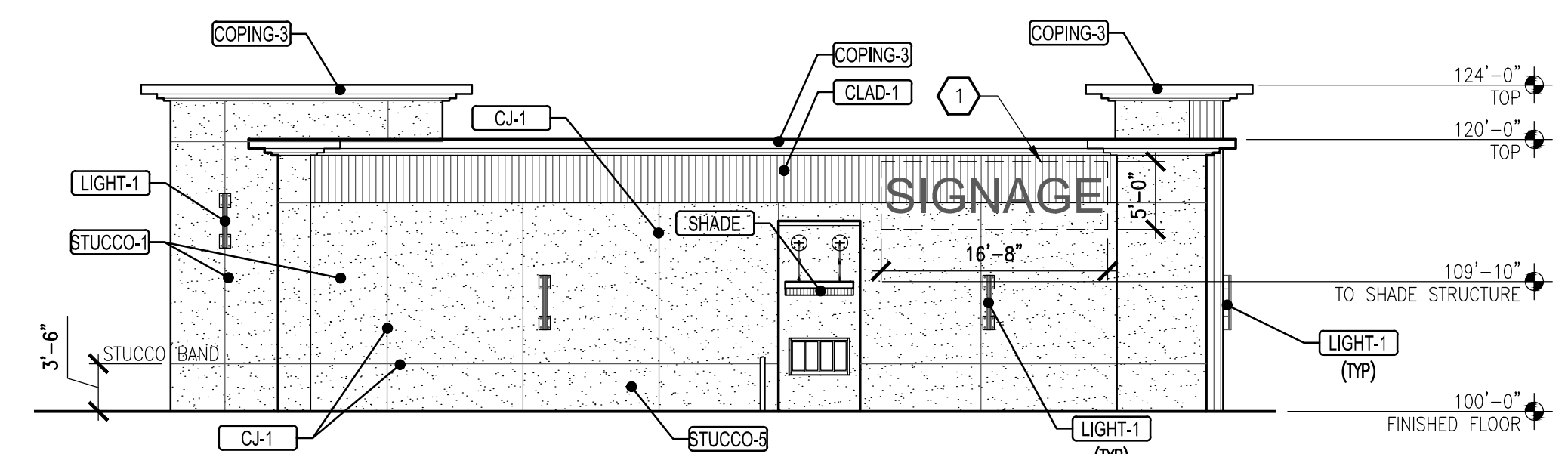
MODULUS ARCHITECTS
 100 SUN AVENUE N.E., Ste 305
 ALBUQUERQUE, NEW MEXICO 87109
 PHONE (505) 338-1499 FAX (505) 338-1498

PROJECT TITLE: **KMART SITE DEVELOPMENT**
 2100 CARLISLE BLVD. NE
 ALBUQUERQUE, NEW MEXICO 87110
 PROJECT MANAGER: **Devyn Nguyen**
 DRAWN BY: **DTN**
 JOB NO.: **Kmart Dvp**
 SHEET TITLE: **EXTERIOR ELEVATIONS**

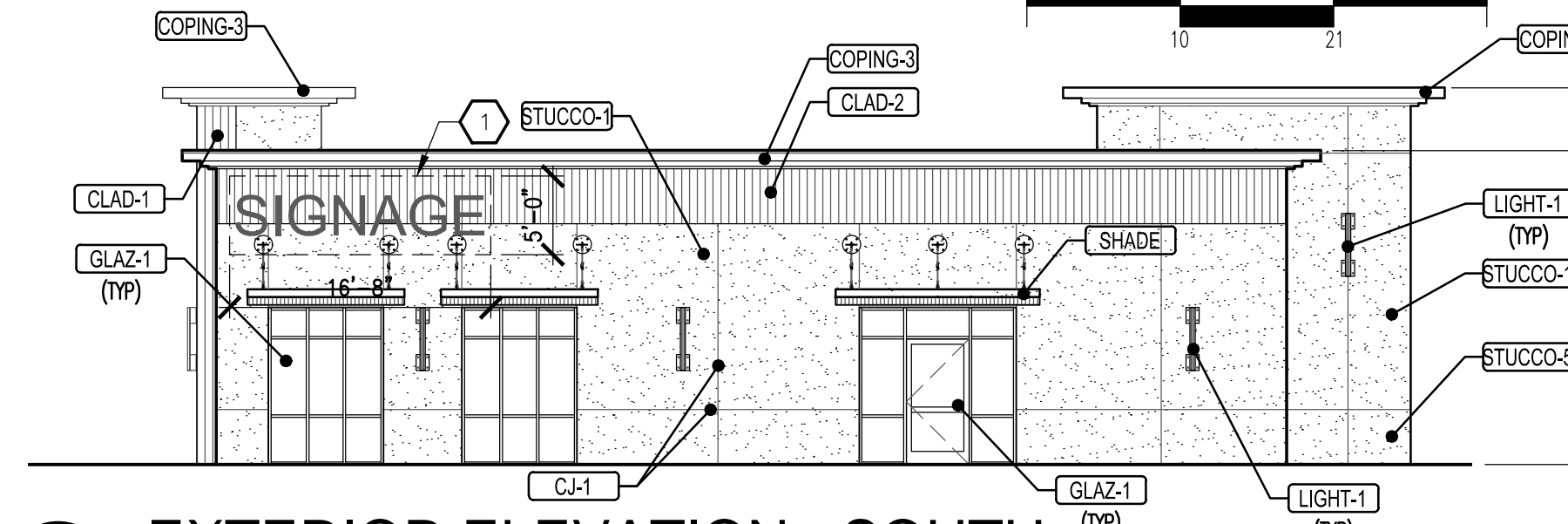
DATE: **06.28.2019** sheet:
 SCALE: **AS NOTED** **A201**
 et.

EXTERIOR MATERIALS	
C-MU-1	8" SPLIT-FACE CMU BLOCK STANDARD GRAY
C-MU-2	8" BURNISHED CMU BLOCK DESERT BROWN
STUCCO-1	2-COAT STUCCO SYSTEM COLOR SHERWIN WILLIAMS #SW6098 PACER WHITE
STUCCO-2	2-COAT STUCCO SYSTEM COLOR SHERWIN WILLIAMS #SW7051 ANALYTICAL GREY
STUCCO-3	2-COAT STUCCO SYSTEM COLOR SHERWIN WILLIAMS #SW7027 WELL BRED BROWN
STUCCO-4	2-COAT STUCCO SYSTEM COLOR SHERWIN WILLIAMS #SW7046 ANONYMOUS
COPING-1	GALVANIZED METAL COPING SHERWIN WILLIAMS #SW7046 ANONYMOUS
COPING-2	GALVANIZED METAL COPING SHERWIN WILLIAMS #SW7046 ANONYMOUS
COPING-3	GALVALUME-SILVER
CLAD-1	COMPOSITE CLADDING BY FIBERON COLOR: SAPELE CLADDING
CLAD-2	COMPOSITE CLADDING BY FIBERON COLOR: CUMARA CLADDING
GLAZ-1	ALUMINUM STOREFRONT SYSTEM WITH CLEAR LW-E GLASS COLOR: ANODIZED BRONZE
LIGHT-1	DECORATIVE SURFACE MOUNTED LIGHT FIXTURE COLOR TO MATCH STOREFRONT FRAME
CJ-1	1/4" STUCCO CONTROL JOINT
SHADE	SHADE STRUCTURE COLOR: FLAT BLACK

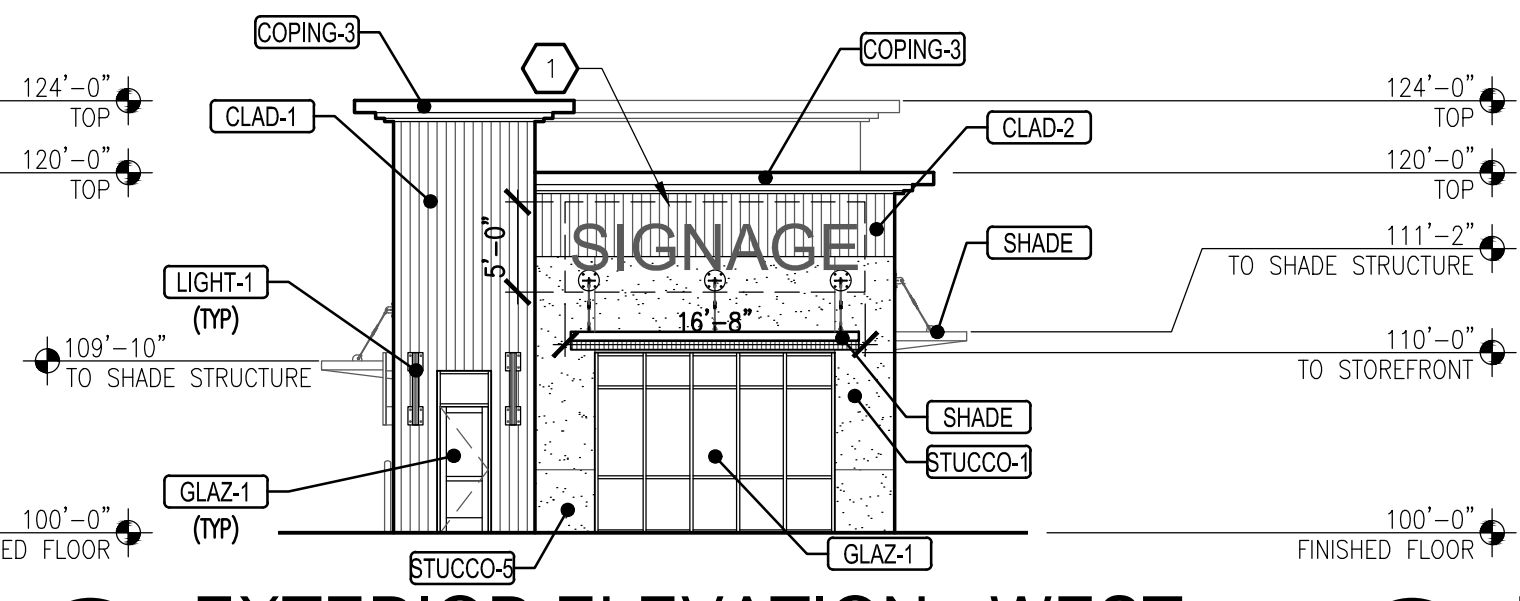
REV	DATE	BY	REVISION
Δ			
Δ			
Δ			
Δ			
Δ			



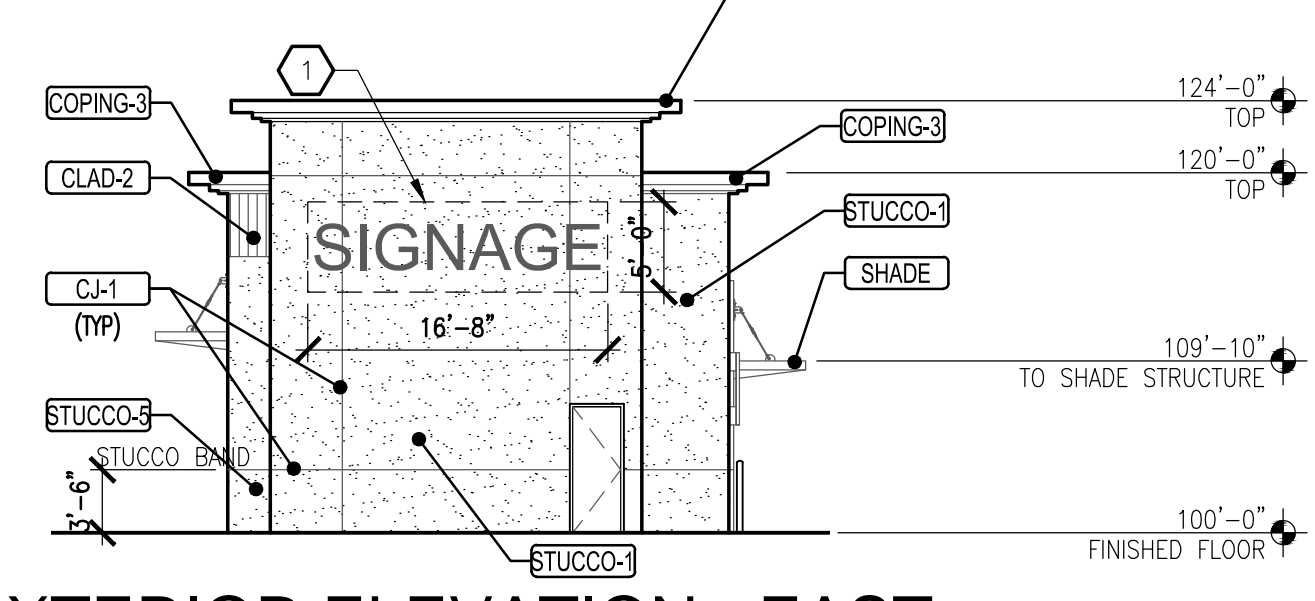
D1 EXTERIOR ELEVATION - NORTH
SCALE: 3/32" = 1'-0"



C1 EXTERIOR ELEVATION - SOUTH
SCALE: 3/32" = 1'-0"

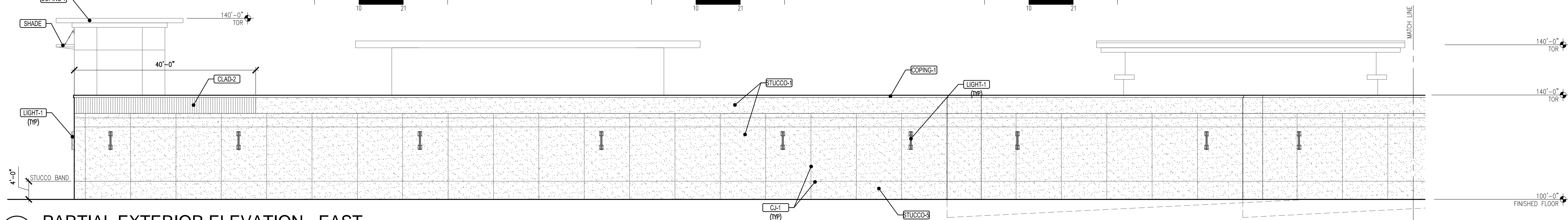


C2 EXTERIOR ELEVATION - WEST
SCALE: 3/32" = 1'-0"

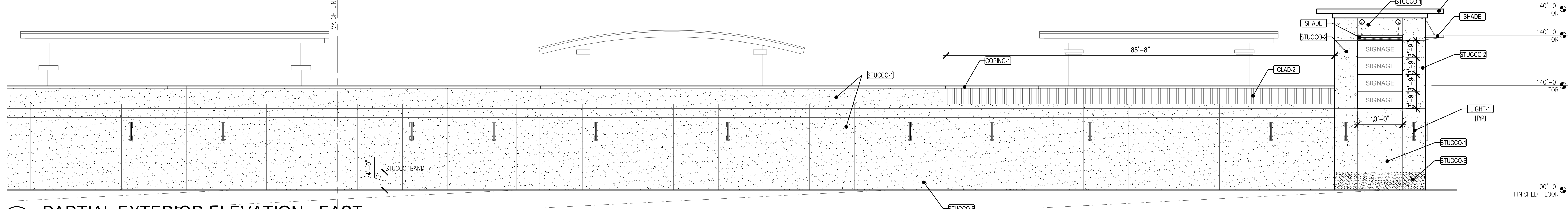


C3 EXTERIOR ELEVATION - EAST
SCALE: 3/32" = 1'-0"

KEYED NOTES
1. EXTERIOR SIGNAGE. NOTES SIGNAGE SHALL BE PROVIDED AND INSTALLED BY TENANT UNDER A SEPARATE PERMIT.



B1 PARTIAL EXTERIOR ELEVATION - EAST
SCALE: 3/32" = 1'-0"



A1 PARTIAL EXTERIOR ELEVATION - EAST
SCALE: 3/32" = 1'-0"

MODULUS ARCHITECTS
100 SUN AVENUE N.E., Ste 305
ALBUQUERQUE, NEW MEXICO 87109
PHONE (505) 338-1499 FAX (505) 338-1498

PROJECT TITLE: **KMART SITE DEVELOPMENT**
2100 CARLISLE BLVD. NE
ALBUQUERQUE, NEW MEXICO 87110

PROJECT MANAGER: **Devyn Nguyen**

JOB NO.: **Kmart Dwp**

DRAWN BY: **DTN**

SHEET TITLE: **EXTERIOR ELEVATIONS**

DATE: **06.28.2019**

SCALE: **AS NOTED**

SHEET: **A202**