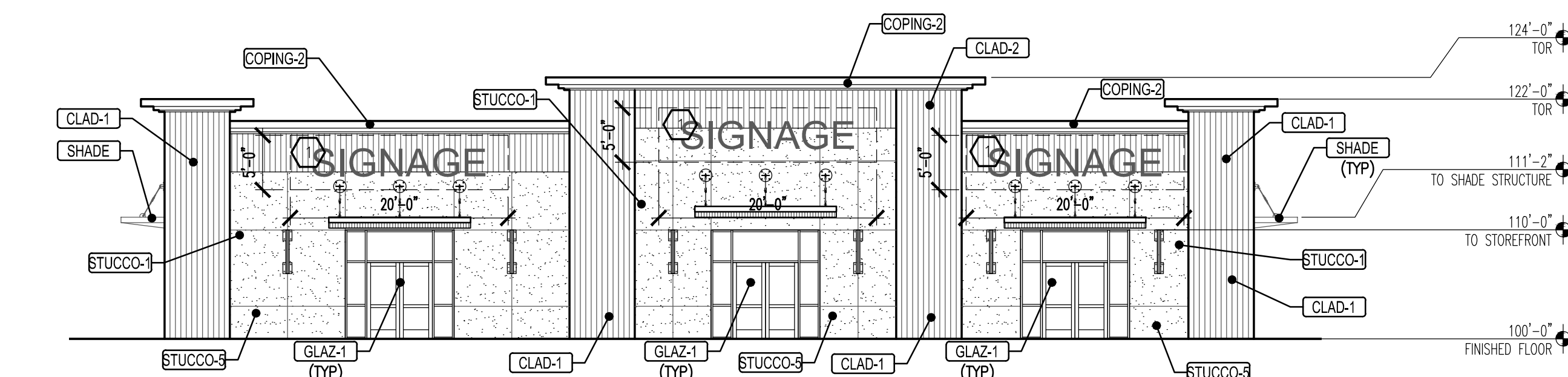
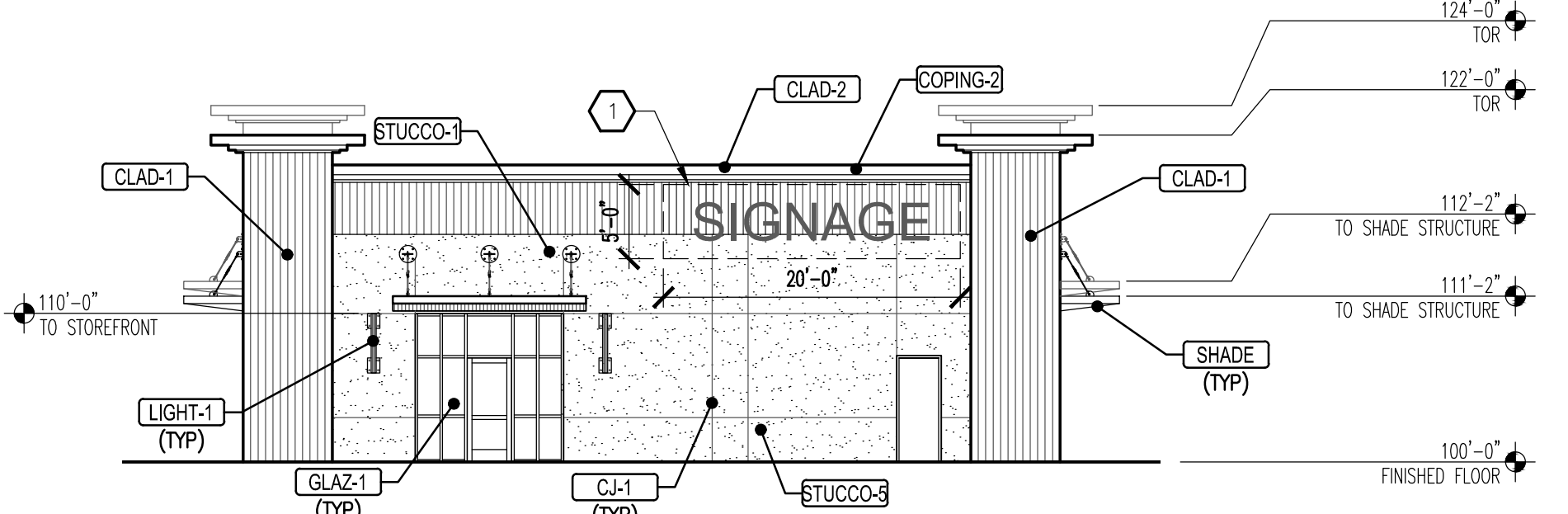


EXTERIOR MATERIALS	
STUCCO-1	2-COAT STUCCO SYSTEM COLOR SHERWIN WILLIAMS #SW6098 PACER WHITE
STUCCO-3	2-COAT STUCCO SYSTEM COLOR SHERWIN WILLIAMS #SW7027 WELL BRED BROWN
COPING-2	GALVANIZED METAL COPING SHERWIN WILLIAMS #SW7046 ANONYMOUS
CLAD-1	COMPOSITE CLADDING BY FIBERON COLOR: SAPELE CLADDING
CLAD-2	COMPOSITE CLADDING BY FIBERON COLOR: CUMARA CLADDING
GLAZ-1	ALUMINUM STOREFRONT SYSTEM WITH CLEAR LW-E GLASS COLOR: ANODIZED BRONZE
LIGHT-1	DECORATIVE SURFACE MOUNTED LIGHT FIXTURE COLOR TO MATCH STOREFRONT FRAME
CJ-1	1/4" STUCCO CONTROL JOINT
SHADE	SHADE STRUCTURE COLOR: FLAT BLACK

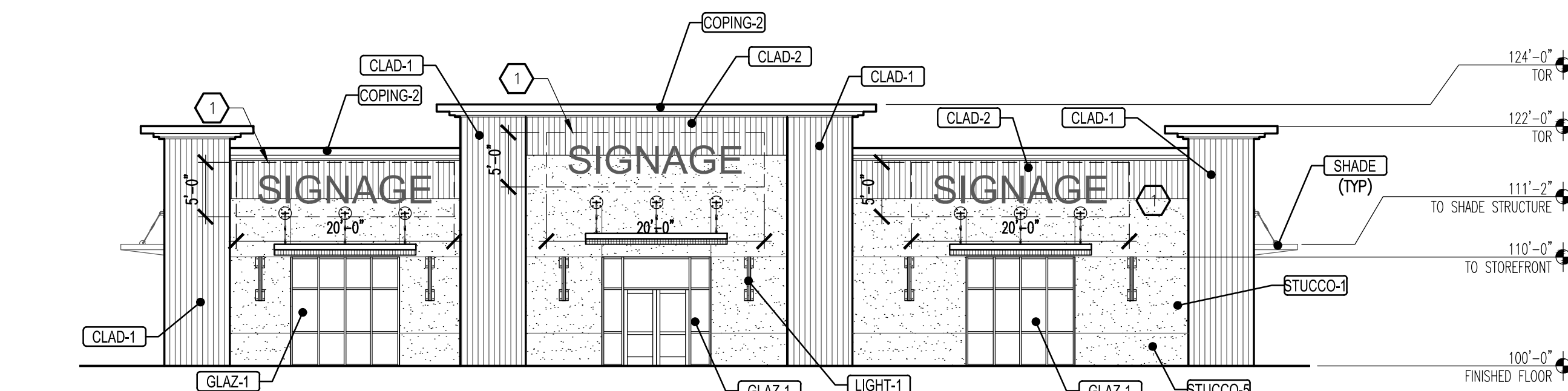
REV	DATE	BY	REVISION



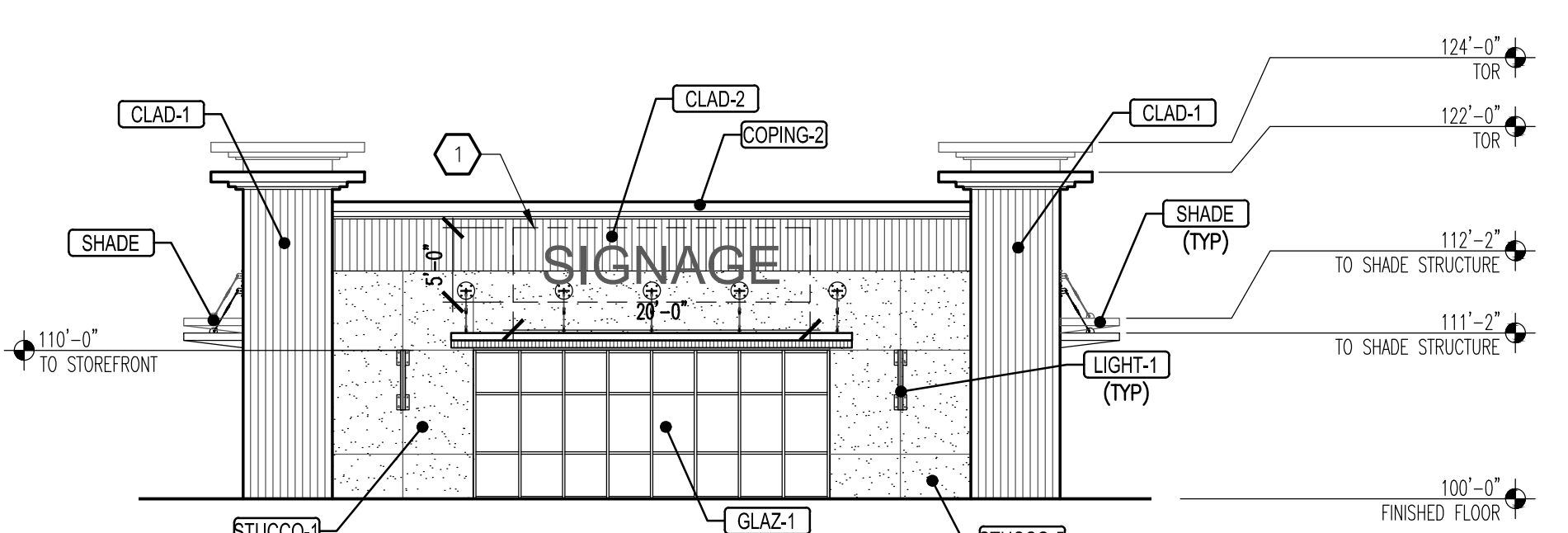
**D1** EXTERIOR ELEVATION - NORTH  
SCALE: 3/32" = 1'-0"



**D3** EXTERIOR ELEVATION - EAST  
SCALE: 3/32" = 1'-0"

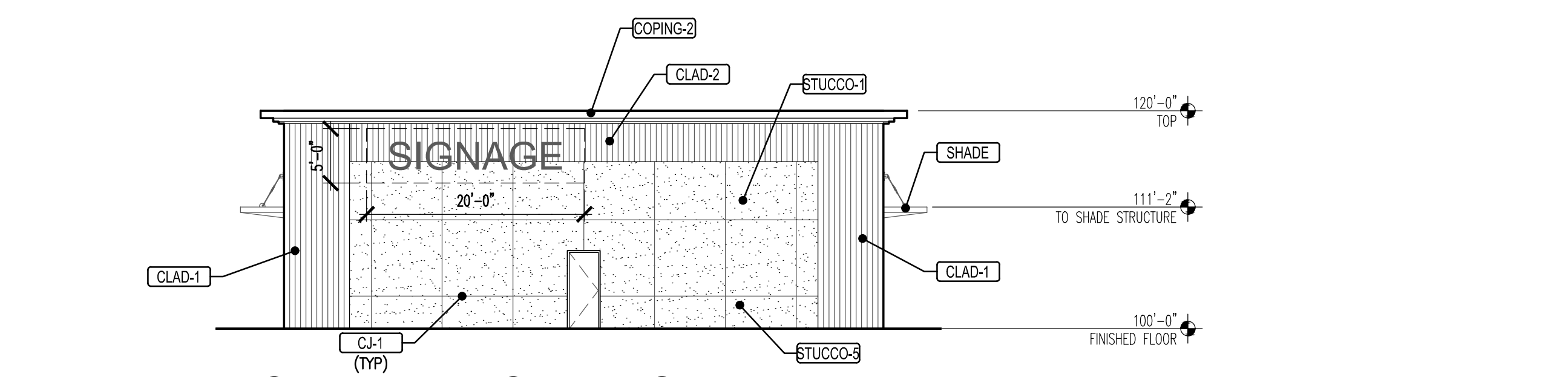


**C1** EXTERIOR ELEVATION - SOUTH  
SCALE: 3/32" = 1'-0"

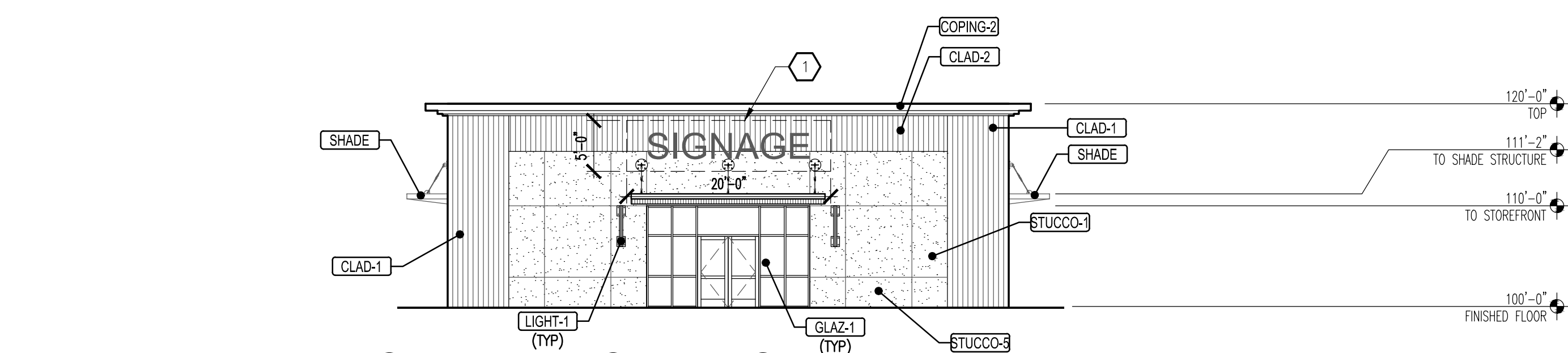


**C3** EXTERIOR ELEVATION - WEST  
SCALE: 3/32" = 1'-0"

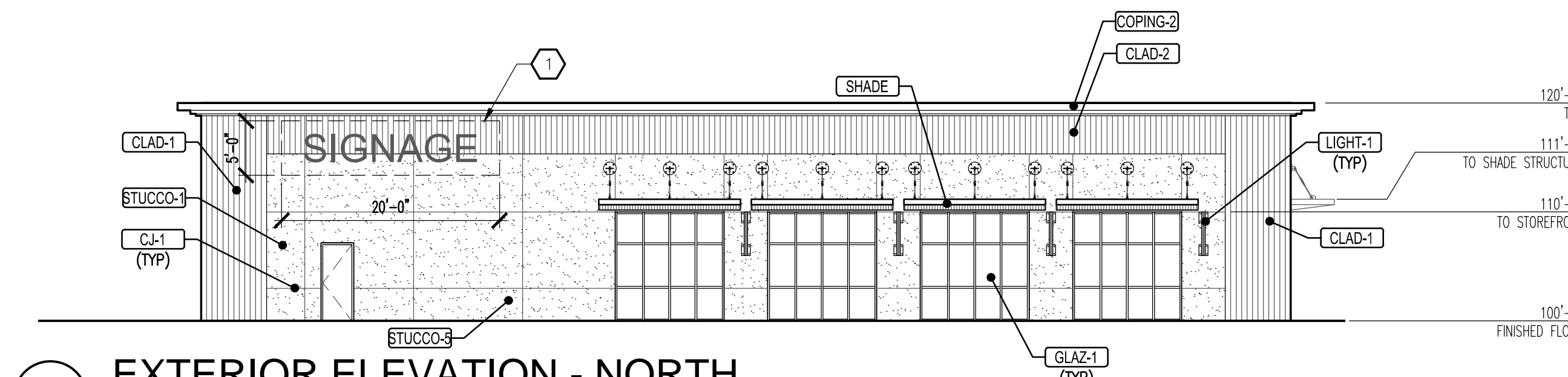
**KEYED NOTES**  
1. EXTERIOR SIGNAGE. NOTES SIGNAGE SHALL BE PROVIDED AND INSTALLED BY TENANT UNDER A SEPARATE PERMIT.



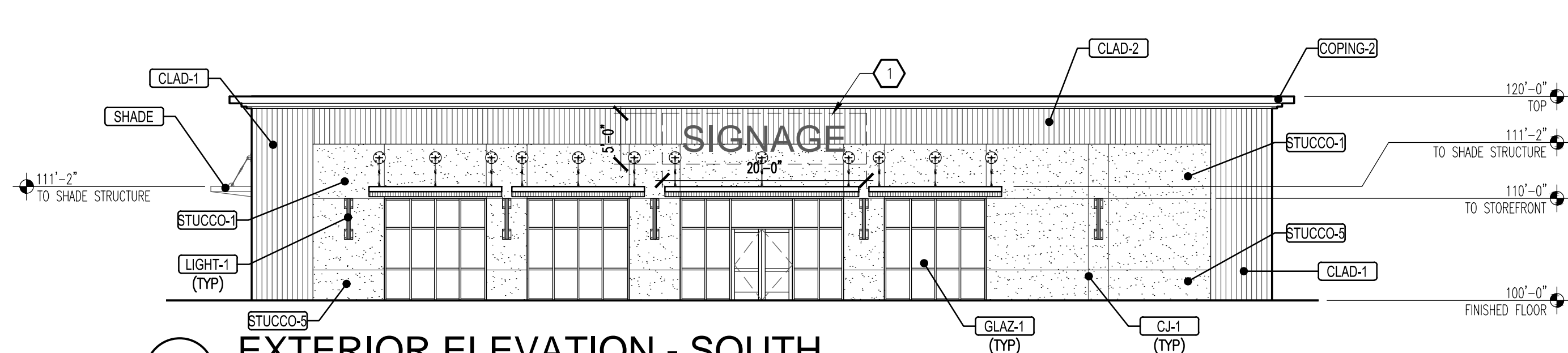
**B1** EXTERIOR ELEVATION - EAST  
SCALE: 3/32" = 1'-0"



**B5** EXTERIOR ELEVATION - WEST  
SCALE: 3/32" = 1'-0"



**A1** EXTERIOR ELEVATION - NORTH  
SCALE: 3/32" = 1'-0"



**A5** EXTERIOR ELEVATION - SOUTH  
SCALE: 3/32" = 1'-0"

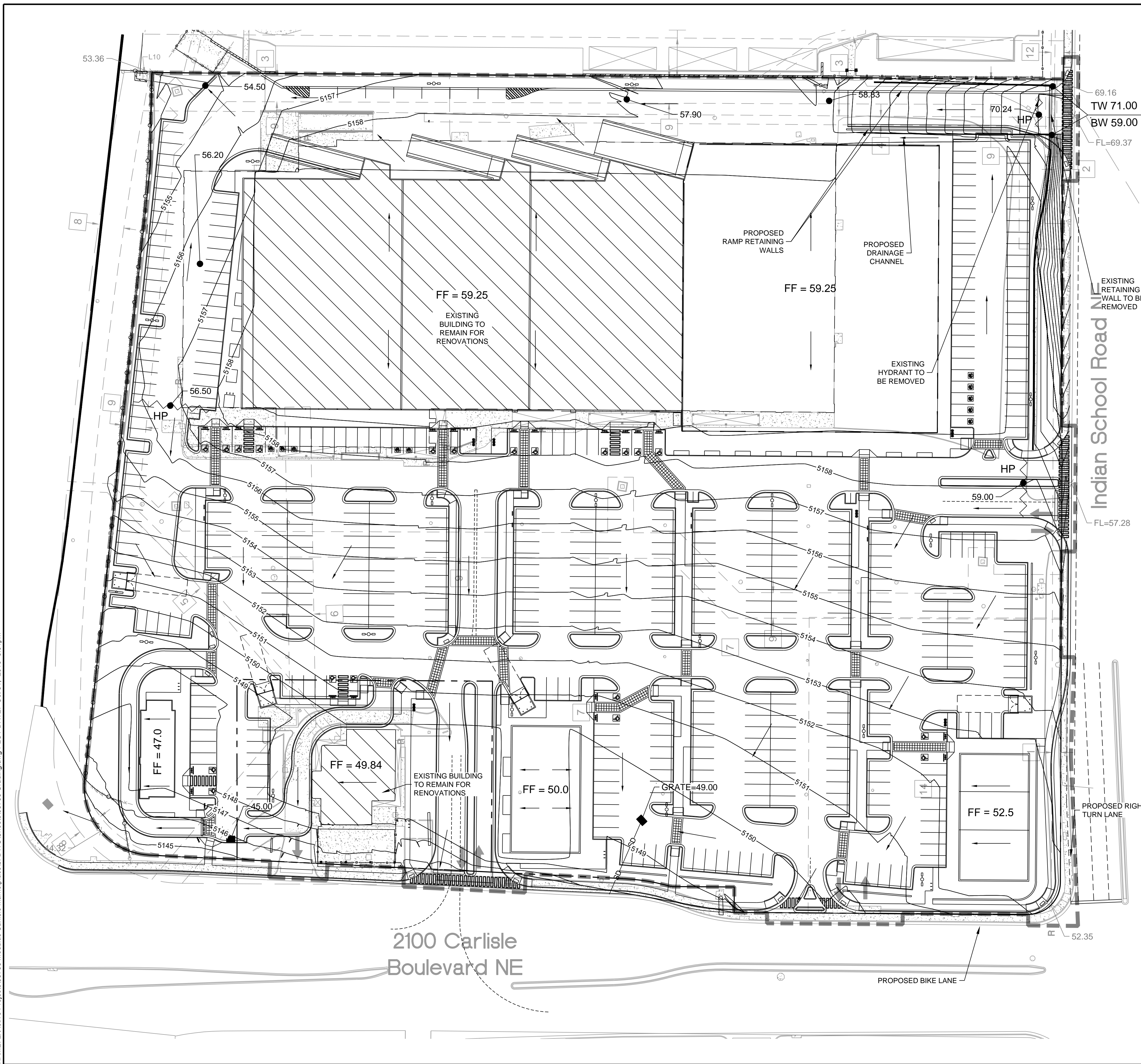
**MODULUS ARCHITECTS**  
100 SUN AVENUE N.E., Ste 305  
ALBUQUERQUE, NEW MEXICO 87109  
PHONE (505) 338-1499 FAX (505) 338-1498

PROJECT TITLE: **KMART SITE DEVELOPMENT**  
2100 CARLISLE BLVD. NE  
ALBUQUERQUE, NEW MEXICO 87110  
JOB NO.: Kmart Dwp  
PROJECT MANAGER: Devin Nguyen  
DRAWN BY: DTM  
SHEET TITLE: **EXTERIOR ELEVATIONS**

DATE: 06.28.2019  
SCALE: AS NOTED  
SHEET: **A203**



NAME: L:\Active Projects\03738 Modulus Carlisle Marketplace3\_DWG\Sheets\03738 Grading.dwg PLOT DATE: Oct 31, 2019 8:01pm



**NOTE:**  
 1. THE EXISTING PARKING LOT AND BUILDINGS WILL BE DEMOLISHED UNLESS OTHERWISE SPECIFIED ON THIS PLAN.  
 2. PROPOSED PUBLIC INFRASTRUCTURE WILL BE INCLUDED ON PUBLIC WORK ORDER

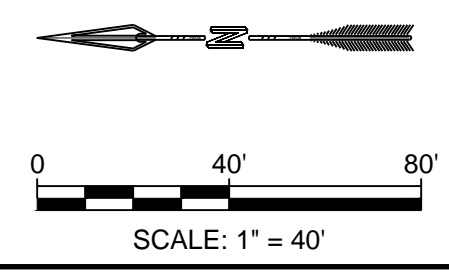
ACS Monument "12-J16"  
 NAD 1983 CENTRAL ZONE  
 X=1534440.644  
 Y=1492190.324  
 Z=5160.901 (NAVD 1988)  
 G-C=0.999669892  
 Mapping Angle = -0°12'13.45"

**LEGEND**

	PROPERTY LINE
	FLOW ARROW
	HIGH POINT (HP)
	GRADING LIMITS
	PROPOSED SPOT ELEVATIONS
	EXISTING SPOT ELEVATIONS
	EXISTING CONTOUR LINES
	PROPOSED CONTOUR LINES

**EASEMENT NOTES**

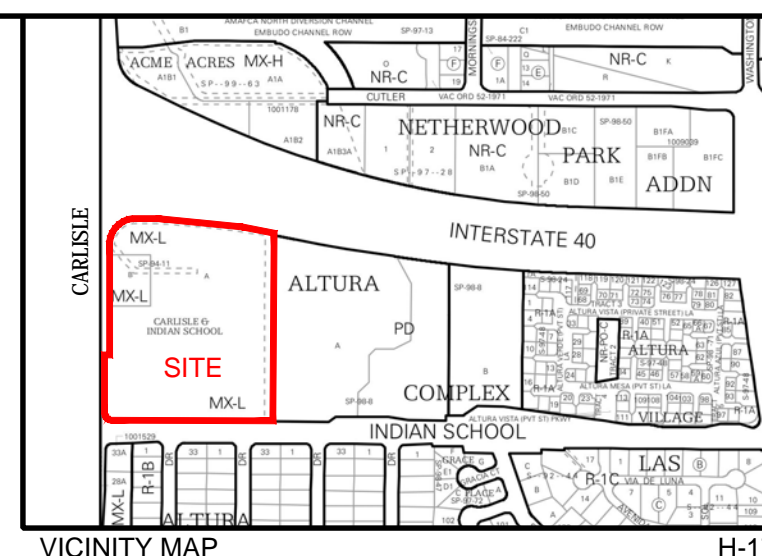
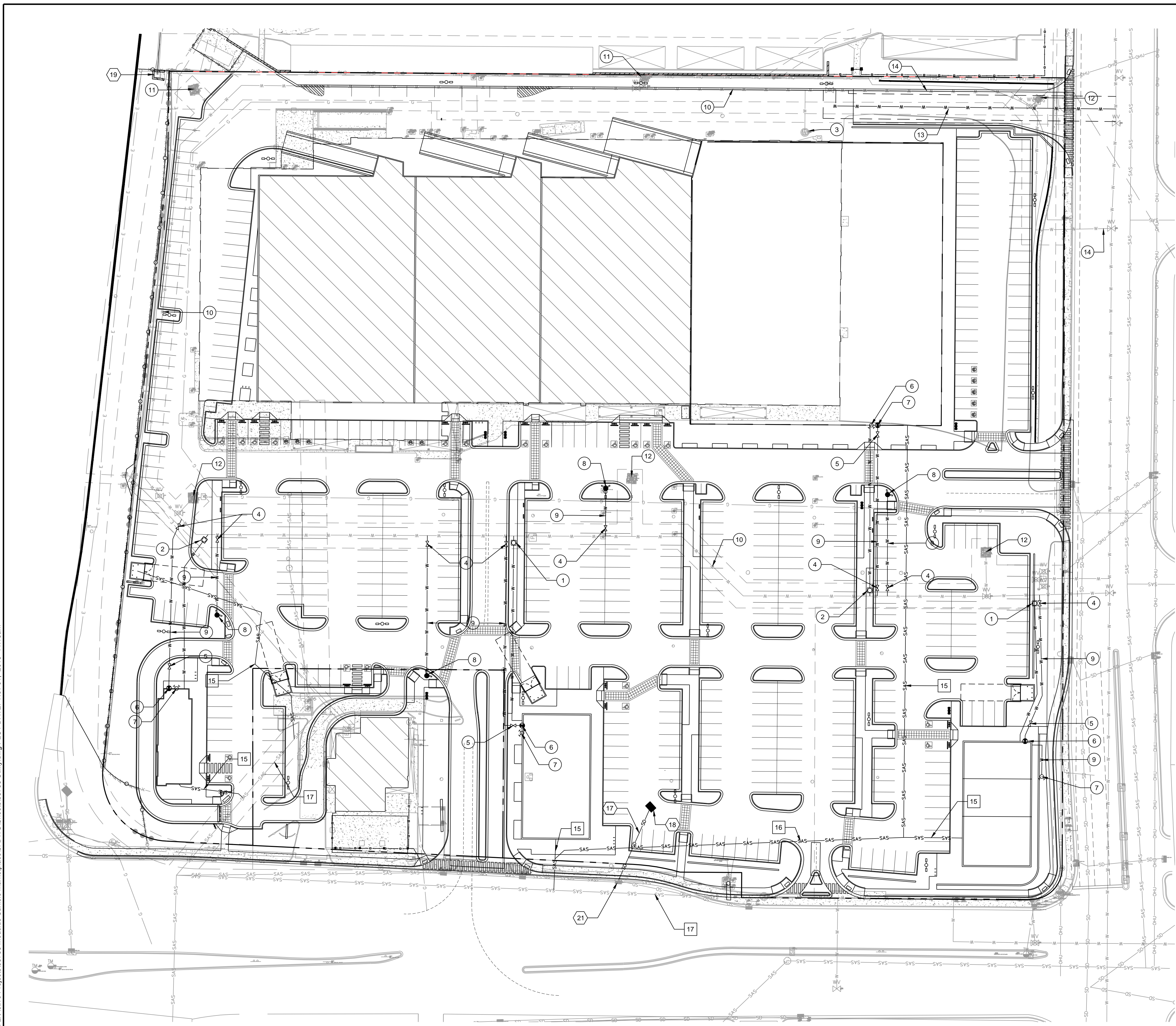
- 1 EXISTING 7' PNM EASEMENT (12/29/1969, BK. MISC. 159, PG. 619) AND AS SHOWN ON PLAT (3/3/1994, 94C-65)
- 2 EXISTING 5' X 58.5' P.U.E. (6/6/1966, D-805, FOLIO 492-493) AND AS SHOWN ON PLAT (3/3/1994, 94C-65)
- 3 WEST 1/2 OF VACATED SOLANO AVENUE NE RETAINED AS P.U.E. PER VACATION ORDINANCE #2742 DATED 10/12/1965 AND AS SHOWN ON PLAT (3/3/1994, 94C-65)
- 4 EXISTING 7' X 500' P.U.E. (6/6/1966, BK. D805, PG. 492-493) AND AS SHOWN ON PLAT (3/3/1994, 94C-65)
- 5 EXISTING 7' UNDERGROUND PNM EASEMENT (3/3/1994, 94C-65)
- 6 EXISTING 20' UTILITY EASEMENT (3/3/1994, 94C-65)
- 7 EXISTING PERMANENT MUTUAL NON-EXCLUSIVE RECIPROCAL INGRESS, EGRESS AND CROSS-PARKING EASEMENT ACROSS TRACTS A AND B FOR THE USE OF PARKING AREAS, DRIVEWAYS, COMMON UTILITIES AND OTHER COMMON AREAS PER PARKING AGREEMENT (3/16/1971, BK. MISC. 208, PG. 117), RE-RECORDED (12/21/1971, BK. MISC. 241, PG. 404) AND AGREEMENT AND DECLARATION OF EASEMENT AND COVENANTS (8/23/2000, BK. A9, PG. 2693), BLANKET IN NATURE
- 8 EXISTING 20' PERPETUAL P.U.E. AND RIGHT-OF-WAY EASEMENT (11/8/1965, BK. D-790, PG. 7-9) AND AS SHOWN ON PLAT (3/3/1994, 94C-65)
- 9 EXISTING 20' PERMANENT PUBLIC WATERLINE EASEMENT (8/30/2001, BK. A24, PG. 647, DOC. NO. 2001102359)
- 10 EAST 1/2 OF VACATED SOLANO AVENUE NE RETAINED AS P.U.E. PER VACATION ORDINANCE #2742 DATED 10/12/1965
- 11 EXISTING 7' PRIVATE PNM AND US WEST COMMUNICATIONS EASEMENT FOR TRACT A, ALTURA COMPLEX (3/24/1980, BK. 761, PAGE 543, DOC. NO. 8017867)
- 12 EXISTING 10' P.U.E. (12/30/1997, 97C-368)
- 13 EXISTING 7' P.U.E. (3/23/1972, BK. MISC. 253, PG. 556-558) AND AS SHOWN ON PLAT (12/30/1997, 97C-368)
- 14 LEASE AREA WITHIN TRACT A (8/23/2000, BK. A9, PG. 2693, DOC. NO. 2000083026)



<p>DESIGNED JS                  DRAWN JS                  CHECKED SG                  DATE 10.31.2019</p>	<p>REVISION</p>
<p>RESPEC                  5871 JEFFERSON STREET SUITE 101                  ALBUQUERQUE, NM 87109                  WWW.RESPEC.COM 505.253.9718</p>	<p>RESPEC</p>
<p>STAMP</p>	
<p>THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED.</p>	
<p>PROJECT NAME:</p>	<p>CARLISLE MARKETPLACE</p>
<p>SHEET TITLE:</p>	<p>CONCEPTUAL GRADING</p>
<p>SUBMITTED FOR:</p>	<p>DRB SITE PLAN</p>
<p>SHEET NUMBER:</p>	<p>C-200</p>



NAME: L:\Active Projects\03738 Modulus Carlisle Marketplace3\_DWG\Sheets\03738 Utility.dwg PLOT DATE: Nov 01, 2019 11:18am



**KEYED NOTES**

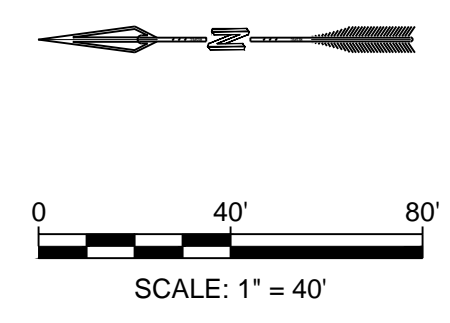
- 1 INSTALL 1" WATER SERVICE
- 2 INSTALL 1 1/2" WATER SERVICE
- 3 EXISTING WATER SERVICE
- 4 INSTALL PUBLIC 6" GATE VALVE & VALVE BOX
- 5 INSTALL PRIVATE 6" GATE VALVE & VALVE BOX
- 6 INSTALL WALL INDICATOR VALVE
- 7 INSTALL FIRE DEPARTMENT CONNECTION
- 8 INSTALL PRIVATE FIRE HYDRANT
- 9 INSTALL PRIVATE 6" WATER LINE
- 10 EXISTING 10" PVC PUBLIC WATER LINE
- 11 EXISTING PUBLIC FIRE HYDRANT TO BE CONVERTED TO PRIVATE HYDRANT
- 12 EXISTING PUBLIC FIRE HYDRANT TO BE REMOVED
- 13 INSTALL 10" PVC PUBLIC WATER LINE
- 14 EXISTING 10" PVC PUBLIC WATER LINE TO BE REMOVED
- 15 INSTALL 4" SEWER SERVICE
- 16 INSTALL 6" SEWER SERVICE
- 17 EXISTING PUBLIC SEWER
- 18 INSTALL SEWER MANHOLE (NOT USED)
- 19 INSTALL STORM DRAIN PIPE
- 20 INSTALL DROP INLET
- 21 CONNECT TO EXISTING DROP INLET

**LEGEND**

- PROPERTY LINE
- WATER LINE
- SAS---SANITARY SEWER LINE
- STORM DRAIN
- EASEMENT
- ⊕ WATER VALVE
- ⊕ WATER METER
- ⊕ FIRE HYDRANT
- ⊕ POST / WALL INDICATOR VALVE
- ⊕ FIRE DEPARTMENT CONNECTION
- ⊕ SANITARY SEWER MANHOLE
- DROP INLET

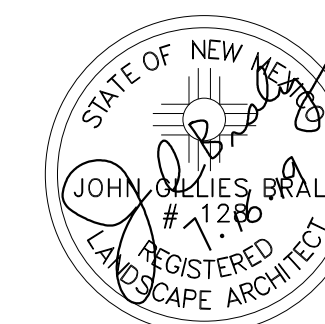
**GENERAL NOTE**

1. TYPE RBPA BACKFLOW PREVENTERS FOR ALL PROPOSED PRIVATE WATER LINES WILL BE PROVIDED INTERNAL TO EACH PROPOSED BUILDING PER COA STD DTL 2385. THE BACKFLOW PREVENTERS WILL BE THE SAME SIZE AS THE TAP/CONNECTION AT THE MAIN LINE.



<p>DESIGNED JS DRAWN JS CHECKED SG DATE 11.01.2019</p>	<p>REVISION</p>
<p>RESPEC 5971 JEFFERSON STREET SUITE 101 ALBUQUERQUE, NM 87113 WWW.RESPEC.COM 505.253.9718</p>	<p>RESPEC</p>
<p>STAMP</p>	
<p>THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED.</p>	
<p>PROJECT NAME:</p>	<p>CARLISLE MARKETPLACE</p>
<p>SHEET TITLE:</p>	<p>CONCEPTUAL UTILITY</p>
<p>SUBMITTED FOR:</p>	<p>DRB SITE PLAN</p>
<p>SHEET NUMBER:</p>	<p>C-300</p>



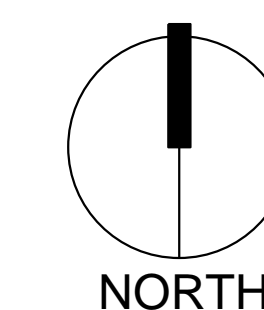


Date: 7/16/2019

Revisions:  
▲ 8/19/2019  
▲ 10/31/2019

Drawn by: V.Blount  
Reviewed by: TN

2100 Carlisle  
Site Redevelopment  
2100 Carlisle Blvd  
Albuquerque, New Mexico



Scale: 1" = 30'



Sheet Title:  
**Landscape Plan**

Sheet Number:

**LP-01**

PLANT SCHEDULE SITE 10.30.19

TREES	QTY	BOTANICAL / COMMON NAME	SIZE	WATER	ALLOWANCE	H.X.S
	11	Existing Tree	Varies	Varies	50	Varies
DECIDUOUS TREES	QTY	BOTANICAL / COMMON NAME	SIZE	WATER	ALLOWANCE	H.X.S
	27	Chilopsis linearis / Desert Willow	2" 88B	RW	60	20' X 25'
	26	Pistacia chinensis / Chinese Pistache	2" 88B	Medium	75	60' X 60'
	58	Pyrus calleryana 'Cleveland Select' / Cleveland Select Pear	2" 88B	Medium+	70	25' X 15'
	46	Ulmus parvifolia 'Bosque' / Bosque Elm	2" 88B	Medium	75	50' X 30'
	11	Vitex agnus-castus / Chaste Tree	24"box	Medium	60	20' X 20'
EVERGREEN TREES	QTY	BOTANICAL / COMMON NAME	SIZE	WATER	ALLOWANCE	H.X.S
	19	Pinus leucodermis / Bosnian Pine	6'-8" 88B	Medium	75	20' X 10'
SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	WATER	ALLOWANCE	H.X.S
	55	Existing Shrub	Varies	Varies	25	varies
DECIDUOUS SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	WATER	ALLOWANCE	H.X.S
	122	Caryopteris x clandonensis 'Dark Knight' / Blue Mist Spirea	1 gal	Low+	20	3' X 3'
	162	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	5 gal	Low+	25	4' X 4'
DESERT ACCENTS	QTY	BOTANICAL / COMMON NAME	SIZE	WATER	ALLOWANCE	H.X.S
	90	Hesperaloe parviflora / Red Yucca	5 gal	Low+	30	3' X 4'
	33	Nolina microcarpa / Beargrass	5 gal	RW	35	5' X 6'
EVERGREEN SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	WATER	ALLOWANCE	H.X.S
	101	Baccharis x 'Starr' / Starr Coyote Brush	5 gal	Low+	30	5' X 5'
	216	Rosmarinus officinalis / Rosemary	5 gal	Low+	30	6' X 6'
GRASSES	QTY	BOTANICAL / COMMON NAME	SIZE	WATER	ALLOWANCE	H.X.S
	125	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass	1 gal	Medium	15	30' X 2'
VINE/ESPALIER	QTY	BOTANICAL / COMMON NAME	SIZE	WATER	ALLOWANCE	H.X.S
	36	Lonicera japonica 'Halliana' / Halls Honeysuckle Flowering Vine	5 gal	Medium+	35	Spreading

REFERENCE NOTES SCHEDULE SITE 10.30.19

SYMBOL	DESCRIPTION	QTY	DETAIL
	Amaretto 5/8"-1 1/4" Gravel 3" Depth over Filter Fabric (landscape are in ROW)	1,987 sf	2019-10-30 15.32
	Amaretto 5/8"-1 1/4" Gravel 3" Depth over Filter Fabric	45,041 sf	
	2-4" Mountainair Blush Cobble 4" Depth over Filter Fabric	3,947 sf	
	DOT Existing - Gravel and Landscape	18,084 sf	

GENERAL NOTES:

1. MAINTENANCE OF THE LANDSCAPE AND IRRIGATION PROVIDED BY THE PROPERTY OWNER.
2. LANDSCAPE AREAS SHALL BE DEPRESSED TO PROVIDE POSITIVE DRAINAGE FOR SITE RUN OFF. SEE CIVIL DRAWINGS FOR DRAINAGE INFORMATION AND PLACEMENT OF CURB CUTS.
3. THE LANDSCAPE PLAN IS DESIGNED TO MEET ALL CITY OF ALBUQUERQUE, AND IDO REQUIREMENTS.
4. PLANT MATERIALS AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) ARE NOT ACCEPTABLE IN 'CLEAR SIGHT' AREAS.
5. THE LANDSCAPE PLAN IS DESIGNED TO COMPLY WITH THE GENERAL IDO LANDSCAPING REGULATIONS (section 14-16-5-6) INCLUDING PROVISION OF A MINIMUM OF 75% LIVE GROUND COVERAGE, MEASURED AT MATURITY, OF ALL REQUIRED LANDSCAPE AREAS, AND A MINIMUM OF 25% REQUIRED VEGETATIVE COVERAGE OF GROUND LEVEL PLANTS. 5-6(C)(4)(h) SHADE TREES ARE TO BE PLANTED APPROXIMATELY 25' O.C. ALONG ALL REQUIRED PEDESTRIAN WALKWAYS. 5-6(C)(5) IN REGARDS TO A MAXIMUM OF 75% OF GRAVEL OF ANY OUTDOOR SPACE AND ORGANIC MULCH SUCH AS BARK MULCH SURROUNDING VEGETATION ROOT BALLS AND BENEATH THE ENTIRE TREE CANOPY OR DRIPLINE.

PLANTINGS NOTES:

1. THE LANDSCAPE DESIGN SHALL COMPLY WITH THE CITY OF ALBUQUERQUE WASTE WATER CONSERVATION, LANDSCAPE, IDO, AND WATER WASTE ORDINANCE...
2. THERE IS NO NEW TURF USED IN THE DESIGN OF THE LANDSCAPE.
3. THE R.O.W. (WHEN DEDICATED TO THE PUBLIC) SHALL BE MAINTAINED BY THE PROPERTY OWNER. THE PLAN SHALL FOLLOW THE COA DESIGN GUIDELINES FOR STREET TREES UNLESS OBSTRUCTED BY UTILITY EASEMENTS.
4. ALL LANDSCAPE AREAS SHALL BE COVERED WITH MULCH. USE GRAVEL MULCH AT 3" DEPTH OVER FILTER FABRIC.
5. WHERE MULCH IS ADJACENT TO THE CONCRETE, FINISH GRADE OF MULCH SHALL BE APPROXIMATELY 1/2" BELOW THE TOP OF CONCRETE.

IRRIGATION NOTES:

1. ALL NEW PLANTINGS TO BE WATERED BY AUTO DRIP IRRIGATION SYSTEM.
2. WATER MANAGEMENT AND THE MAINTENANCE OF THE IRRIGATION SYSTEM IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
3. THE IRRIGATION SYSTEM SHALL BE CONNECTED TO CITY WATER. THE POINT OF CONNECTION SHALL CONSIST OF A WATER METER, BACKFLOW PREVENTER, AND MASTER VALVE. SEE I103 FOR DETAIL.
4. USE 6.2 GPH EMITTERS PER EACH TREE AND TWO 2 GPH EMITTERS PER EACH SHRUB/GROUNDCOVER. USE SIX 2 GPH DRIP EMITTERS PER TREES IN POTS. SEPARATE IRRIGATION ZONES SHALL BE DESIGNED FOR TREES AND SHRUBS/GROUNDCOVERS.
5. INSTALL THRUST BLOCKS WHEREVER THE MAINLINE BENDS IN NINETY DEGREE ANGLE.
6. INSTALL SLEEVES TWO SIZES LARGER THAN THE SLEEVED PIPE UNDER ALL HARD SURFACES.
7. THE BACKFLOW SIZE AND LOCATION IS ASSUMED ONLY, BASED ON THE LATEST AVAILABLE UTILITY PLAN. GENERAL CONTRACTOR TO PROVIDE THE IRRIGATION WATER STUB OUT AND ELECTRICITY FOR THE HOTBOX.
8. IRRIGATION EQUIPMENT IS SHOWN ON A LARGER SCALE FOR CLARITY. THE PIPE ROUTING ON THE PLAN IS SCHEMATIC AND MAY REQUIRE FIELD ADJUSTMENTS TO AVOID INSTALLING PIPE WITHIN THE ROOT ZONE OF PLANTS OR IN CONFLICT WITH UTILITY EASMENTS.
9. ALL SLEEVES ARE ASSUMED TO BE PLACED PRIOR HARDCAPE WITHOUT THE NEED OF BORING.

SECTION A  
SECTION B

SITE DATA

GROSS LOT AREA (4.03 ACRES)	439,882 SF
LESS BUILDING(S)	121,368 SF
NET LOT AREA	318,513 SF

REQUIRED LANDSCAPE	47,776 SF
15% OF NET LOT AREA	47,776 SF
PROPOSED LANDSCAPE	45,041 SF
PROPOSED OFFSITE LANDSCAPE	1,987 SF
ROW EXISTING LANDSCAPE	18,084 SF
TOTAL PROPOSED LANDSCAPE	65,112 SF
PERCENT OF NET LOT AREA	20 %

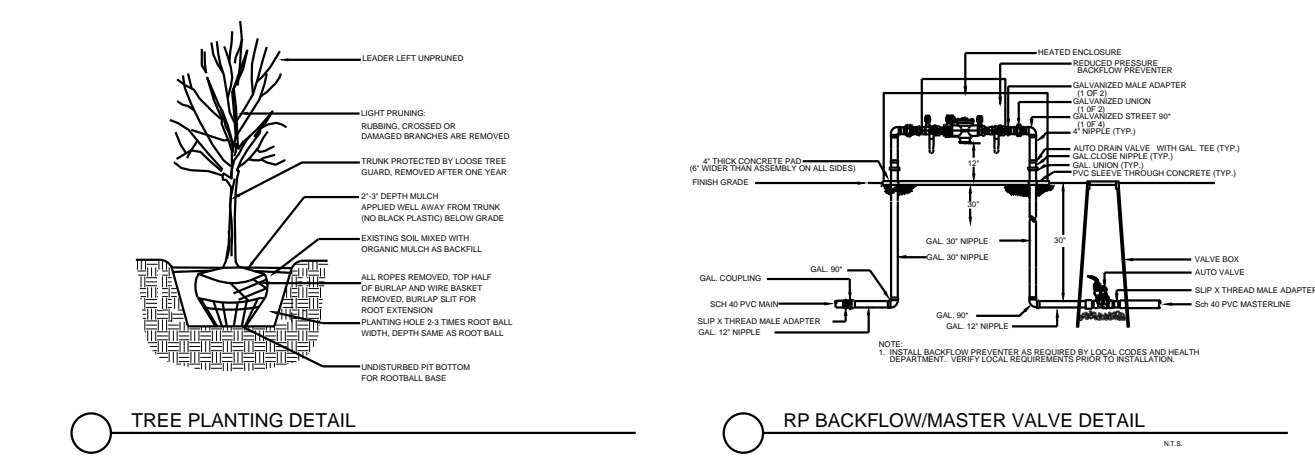
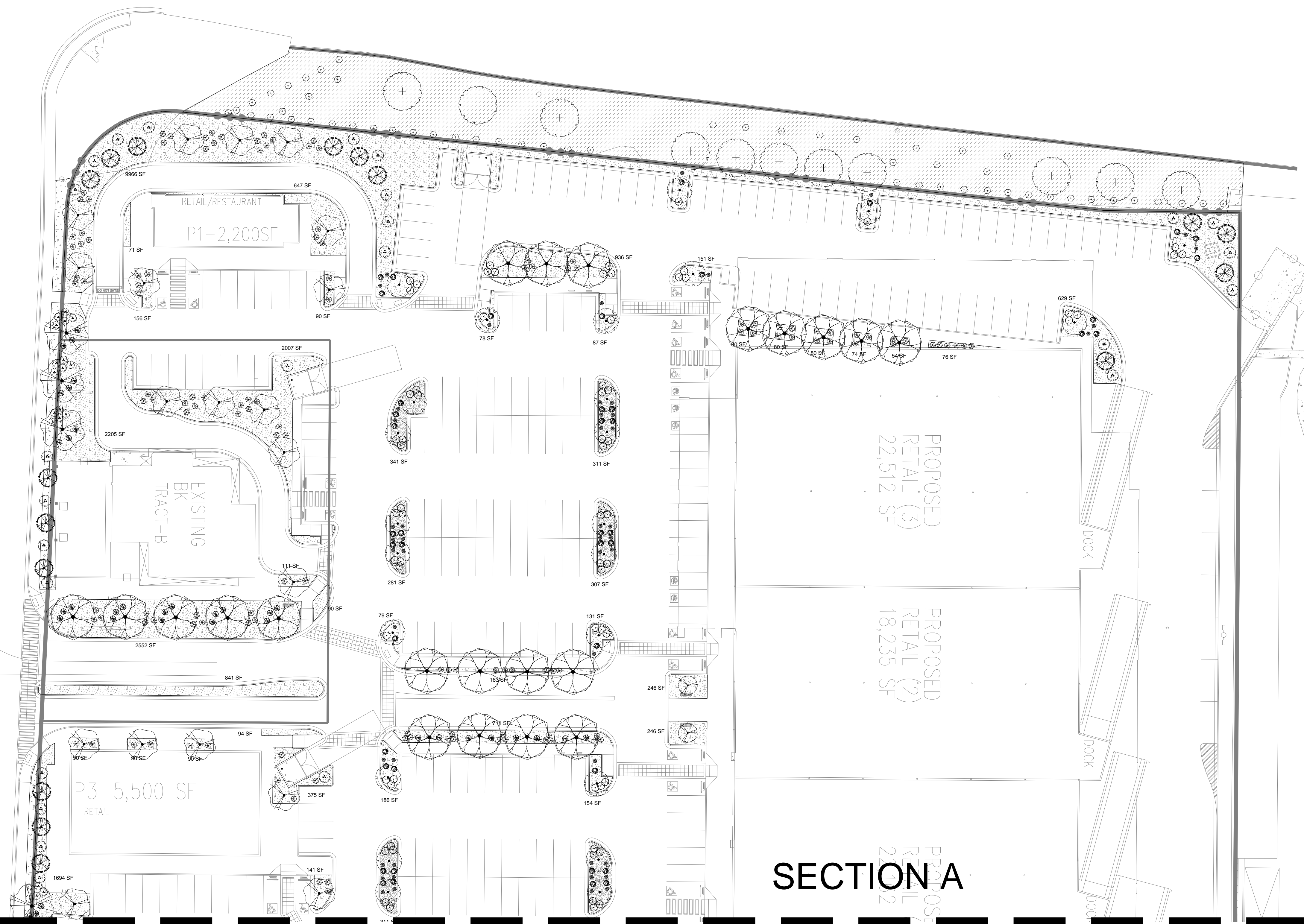
REQUIRED STREET TREES	45
PROVIDED/EXISTING AT 25' O.C. SPACING ALONG STREET	47
REQUIRED PARKING LOT TREES	45
PROVIDED AT 1 PER 10 SPACES (464 SPACES/10)	140**
TOTAL REQUIRED TREES:	90
TOTAL PROVIDED TREES:	187

\*\* (tree provided per parking space quantity is due to IDO ordinance to provide 1 shade tree 25' O.C. along any pedestrian walkway)

REQUIRED LANDSCAPE COVERAGE	75%
75% LIVE VEGETATIVE MATERIAL	47,776 SF REQUIRED LANDSCAPE X 75%
PROVIDED GROUND COVER COVERAGE	35,832 SF MIN.
(EXCLUDES EXISTING ROW LANDSCAPE)	36,155 SF
PERCENT GROUND COVER COVERAGE OF REQUIRED LANDSCAPE AREAS	75%

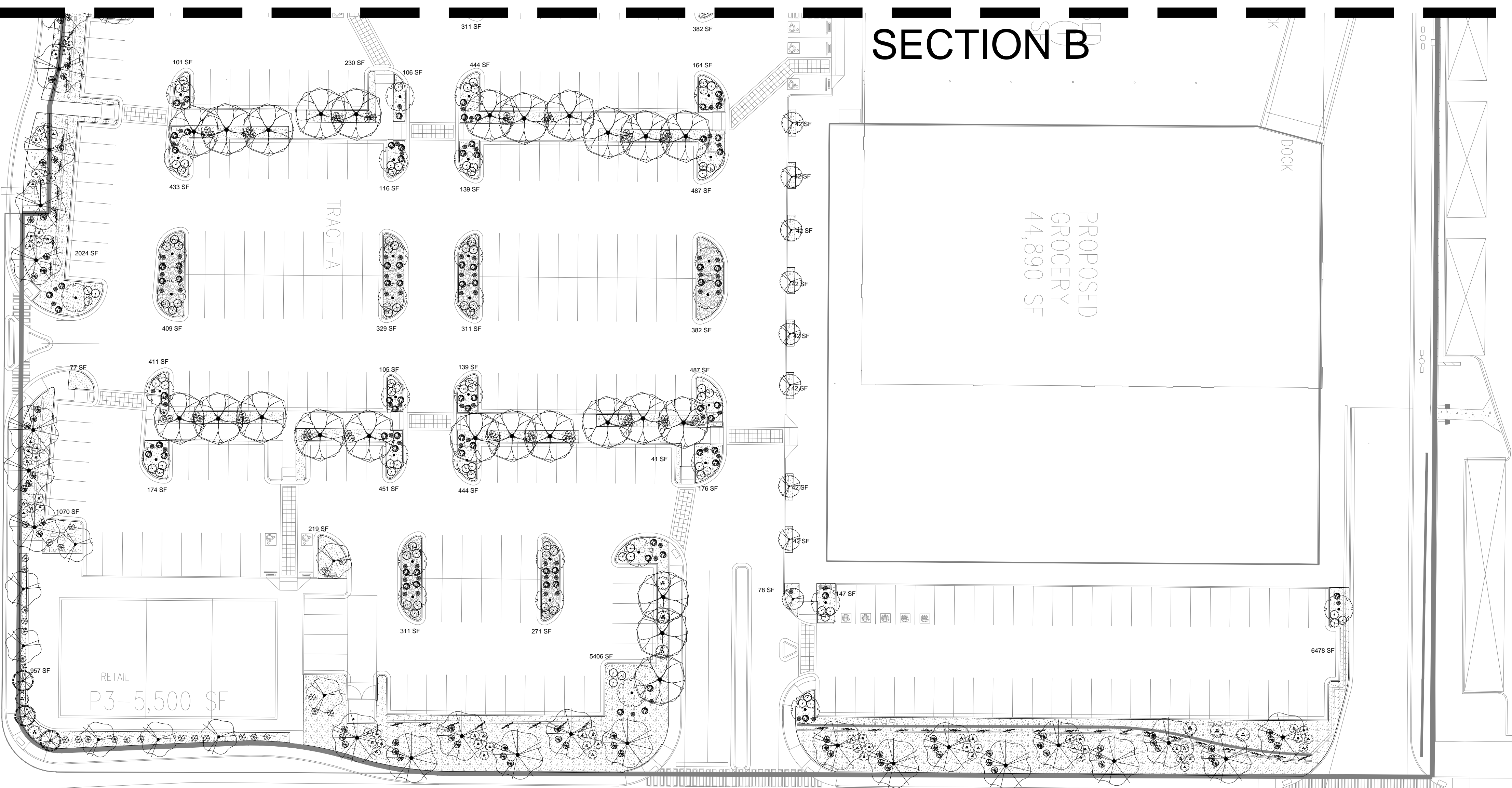
IRRIGATION NOTE

DRIP SYSTEM RUN CYCLES:  
ESTABLISHMENT AND SUMMER:  
1 HOUR/4 DAYS A WEEK  
SPRING:  
1 HOUR/2-3 DAYS A WEEK  
FALL:  
1 HOUR/2-3 DAYS A WEEK  
WINTER:





# SECTION A SECTION B



Indian School Road NE  
(80' R/W)

PLANT SCHEDULE SITE 10.30.19						
TREES	QTY	BOTANICAL / COMMON NAME	SIZE	WATER	ALLOWANCE	H X S
+	11	Existing Tree	Varies	Varies	50	Varies
DECIDUOUS TREES						
○	27	Chilopsis linearis / Desert Willow	2" B&B	RW	60	20' X 25'
○	26	Pistacia chinensis / Chinese Pistache	2" B&B	Medium	75	60' X 60'
○	58	Pyrus calleryana 'Cleveland Select' / Cleveland Select Pear	2" B&B	Medium+	70	25' X 15'
○	46	Ulmus parvifolia 'Bosque' / Bosque Elm	2" B&B	Medium	75	50' X 30'
○	11	Vitex agnus-castus / Chaste Tree	24" box	Medium	60	20' X 20'
EVERGREEN TREES						
○	19	Pinus leucodermis / Bosnian Pine	6'-8' B&B	Medium	75	20' X 10'
SHRUBS						
○	55	Existing Shrub	Varies	Varies	25	varies
DECIDUOUS SHRUBS						
○	122	Caryopteris x clandonensis 'Dark Knight' / Blue Mist Spirea	1 gal	Low+	20	3' X 3'
○	162	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	5 gal	Low+	25	4' X 4'
DESERT ACCENTS						
○	90	Hesperaloe parviflora / Red Yucca	5 gal	Low+	30	3' X 4'
○	33	Nolina microcarpa / Beargrass	5 gal	RW	35	5' X 6'
EVERGREEN SHRUBS						
○	101	Baccharis x Starni / Starni Coyote Brush	5 gal	Low+	30	5' X 5'
○	216	Rosmarinus officinalis / Rosemary	5 gal	Low+	30	6' X 6'
GRASSES						
○	125	Calamagrostis x acutiflora 'Kari Foerster' / Feather Reed Grass	1 gal	Medium	15	30" X 2'
VINE/ESPALIER						
○	36	Lonicera japonica 'Halliana' / Halls Honeysuckle Flowering Vine	5 gal	Medium+	35	Spreading

REFERENCE NOTES SCHEDULE SITE 10.30.19				
SYMBOL	DESCRIPTION	QTY	2019-10-30 15:32 DETAIL	
○	Amaretto 5/8" - 1 1/4" Gravel 3" Depth over Filter Fabric (landscape are in ROW)	1,987 sf		
○	Amaretto 5/8" - 1 1/4" Gravel 3" Depth over Filter Fabric	45,041 sf		
○	2-4" Mountainair Blush Cobble 4" Depth over Filter Fabric	3,947 sf		
○	DOT Existing - Gravel and Landscape	18,084 sf		

- GENERAL NOTES:**
1. MAINTENANCE OF THE LANDSCAPE AND IRRIGATION PROVIDED BY THE PROPERTY OWNER.
  2. LANDSCAPE AREAS SHALL BE DEPRESSED TO PROVIDE POSITIVE DRAINAGE FOR SITE RUN OFF. SEE CIVIL DRAWINGS FOR DRAINAGE INFORMATION AND PLACEMENT OF CURB CUTS.
  3. THE LANDSCAPE PLAN IS DESIGNED TO MEET ALL CITY OF ALBUQUERQUE, AND IDO REQUIREMENTS.
  4. PLANT MATERIALS AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) ARE NOT ACCEPTABLE IN 'CLEAR SIGHT' AREAS.
  5. THE LANDSCAPE PLAN IS DESIGNED TO COMPLY WITH THE GENERAL IDO LANDSCAPING REGULATIONS (section 14-16-5-6) INCLUDING PROVISION OF A MINIMUM OF 75% LIVE GROUND COVER, MEASURED AT MATURITY, OF ALL REQUIRED LANDSCAPE AREAS, AND A MINIMUM OF 25% REQUIRED VEGETATIVE COVERAGE OF GROUND LEVEL PLANTS. 5-6(C)(4)(h) SHADE TREES ARE TO BE PLANTED APPROXIMATELY 25' O.C. ALONG ALL REQUIRED PEDESTRIAN WALKWAYS. 5-6(C)(5) IN REGARDS TO A MAXIMUM OF 75% OF GRAVEL OF ANY OUTDOOR SPACE AND ORGANIC MULCH SUCH AS BARK MULCH SURROUNDING VEGETATION ROOT BALLS AND BENEATH THE ENTIRE TREE CANOPY OR DRIPLINE.

- PLANTINGS NOTES:**
1. THE LANDSCAPE DESIGN SHALL COMPLY WITH THE CITY OF ALBUQUERQUE WASTE WATER CONSERVATION, LANDSCAPE, IDO, AND WATER WASTE ORDINANCE...
  2. THERE IS NO NEW TURF USED IN THE DESIGN OF THE LANDSCAPE.
  3. THE R.O.W. (WHEN DEDICATED TO THE PUBLIC) SHALL BE MAINTAINED BY THE PROPERTY OWNER. THE PLAN SHALL FOLLOW THE COA DESIGN GUIDELINES FOR STREET TREES UNLESS OBSTRUCTED BY UTILITY EASEMENTS.
  4. ALL LANDSCAPE AREAS SHALL BE COVERED WITH MULCH. USE GRAVEL MULCH AT 3" DEPTH OVER FILTER FABRIC.
  5. WHERE MULCH IS ADJACENT TO THE CONCRETE, FINISH GRADE OF MULCH SHALL BE APPROXIMATELY 1/2" BELOW THE TOP OF CONCRETE.

- IRRIGATION NOTES:**
1. ALL NEW PLANTINGS TO BE WATERED BY AUTO DRIP IRRIGATION SYSTEM.
  2. WATER MANAGEMENT AND THE MAINTENANCE OF THE IRRIGATION SYSTEM IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
  3. THE IRRIGATION SYSTEM SHALL BE CONNECTED TO CITY WATER. THE POINT OF CONNECTION SHALL CONSIST OF A WATER METER, BACKFLOW PREVENTER, AND MASTER VALVE. SEE I103 FOR DETAIL.
  4. USE 6.2 GPH EMITTERS PER EACH TREE AND TWO 2 GPH EMITTERS PER EACH SHRUB/GROUND COVER. USE SIX 2 GPH DRIP EMITTERS PER TREES IN POTS. SEPARATE IRRIGATION ZONES SHALL BE DESIGNED FOR TREES AND SHRUBS/GROUND COVERS.
  5. INSTALL THRUST BLOCKS WHEREVER THE MAINLINE BENDS IN NINETY DEGREE ANGLE.
  6. INSTALL SLEEVES TWO SIZES LARGER THAN THE SLEEVED PIPE UNDER ALL HARD SURFACES.
  7. THE BACKFLOW SIZE AND LOCATION IS ASSUMED ONLY, BASED ON THE LATEST AVAILABLE UTILITY PLAN. GENERAL CONTRACTOR TO PROVIDE THE IRRIGATION WATER STUB OUT AND ELECTRICITY FOR THE HOTBOX.
  8. IRRIGATION EQUIPMENT IS SHOWN ON A LARGER SCALE FOR CLARITY. THE PIPE ROUTING ON THE PLAN IS SCHEMATIC AND MAY REQUIRE FIELD ADJUSTMENTS TO AVOID INSTALLING PIPE WITHIN THE ROOT ZONE OF PLANTS OR IN CONFLICT WITH UTILITY EASMENTS.
  9. ALL SLEEVES ARE ASSUMED TO BE PLACED PRIOR HARDSCAPE WITHOUT THE NEED OF BORING.

**SITE DATA**

GROSS LOT AREA (4.03 ACRES)	439,882 SF
LESS BUILDING(S)	121,369 SF
NET LOT AREA	318,513 SF

**REQUIRED LANDSCAPE**

15% OF NET LOT AREA	47,776 SF
PROPOSED LANDSCAPE	45,041 SF
PROPOSED OFFSITE LANDSCAPE	1,987 SF
ROW EXISTING LANDSCAPE	18,084 SF
TOTAL PROPOSED LANDSCAPE	65,112 SF
PERCENT OF NET LOT AREA	20 %

**REQUIRED STREET TREES**

PROVIDED/EXISTING AT 25' O.C. SPACING ALONG STREET	47
REQUIRED PARKING LOT TREES	45
PROVIDED AT 1 PER 10 SPACES (464 SPACES/10)	140**
TOTAL REQUIRED TREES:	90
TOTAL PROVIDED TREES:	187

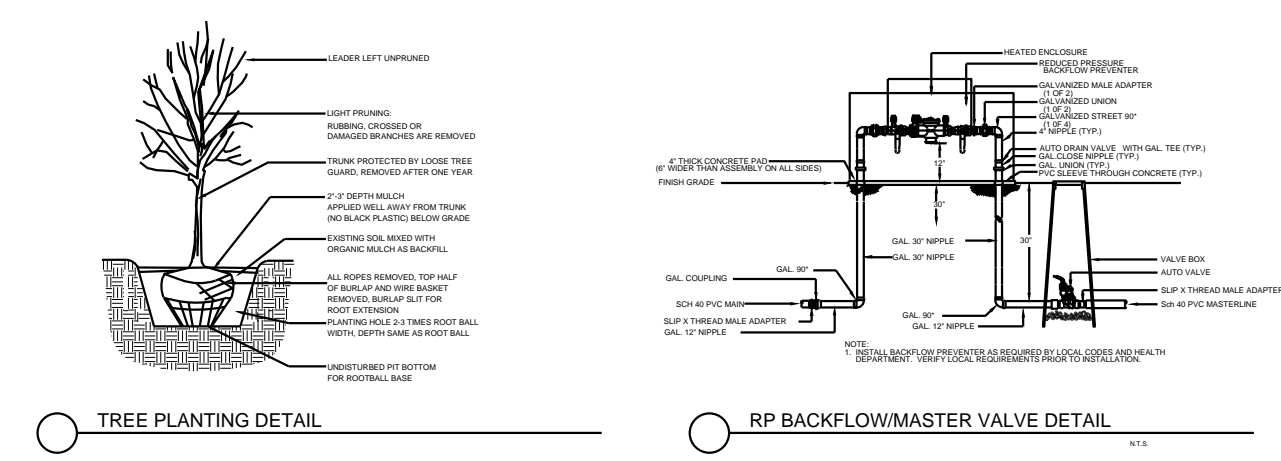
\*\* (tree provided per parking space quantity is due to IDO ordinance to provide 1 shade tree 25' O.C. along any pedestrian walkway)

**REQUIRED LANDSCAPE COVERAGE**

75% LIVE VEGETATIVE MATERIAL (47,776 SF REQUIRED LANDSCAPE X 75%)	35,832 SF MIN.
PROVIDED GROUND COVER COVERAGE (EXCLUDES EXISTING ROW LANDSCAPE)	36,155 SF (1,436 SF)
PERCENT GROUND COVER COVERAGE OF REQUIRED LANDSCAPE AREAS	75%

**IRRIGATION NOTE**

DRIP SYSTEM RUN CYCLES:  
ESTABLISHMENT AND SUMMER:  
1 HOUR/4 DAYS A WEEK  
SPRING:  
1 HOUR/2-3 DAYS A WEEK  
FALL:  
1 HOUR/2-3 DAYS A WEEK  
WINTER:  
1 HOUR/2 DAYS PER MONTH

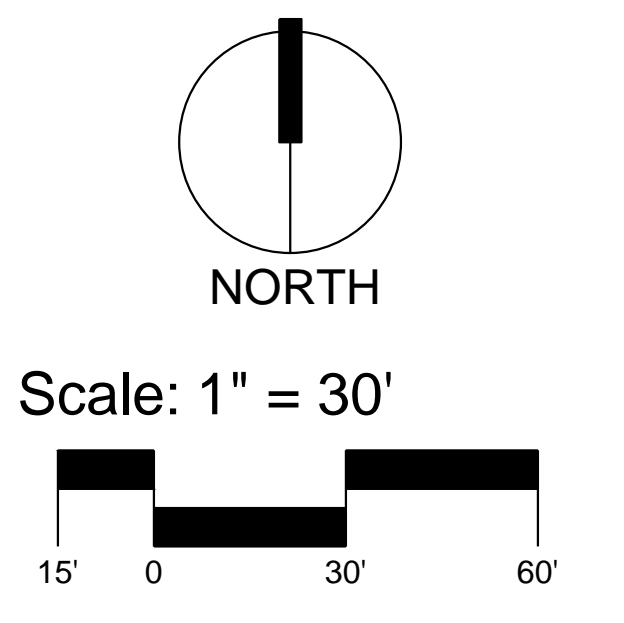


growing better  
**Up**  
**HeadSup**  
LANDSCAPE CONTRACTORS  
www.headsuplandscape.com  
PO Box 10597  
Albuquerque, NM 87184  
505.898.9615  
505.898.2105 (fax)  
design@hulc.com



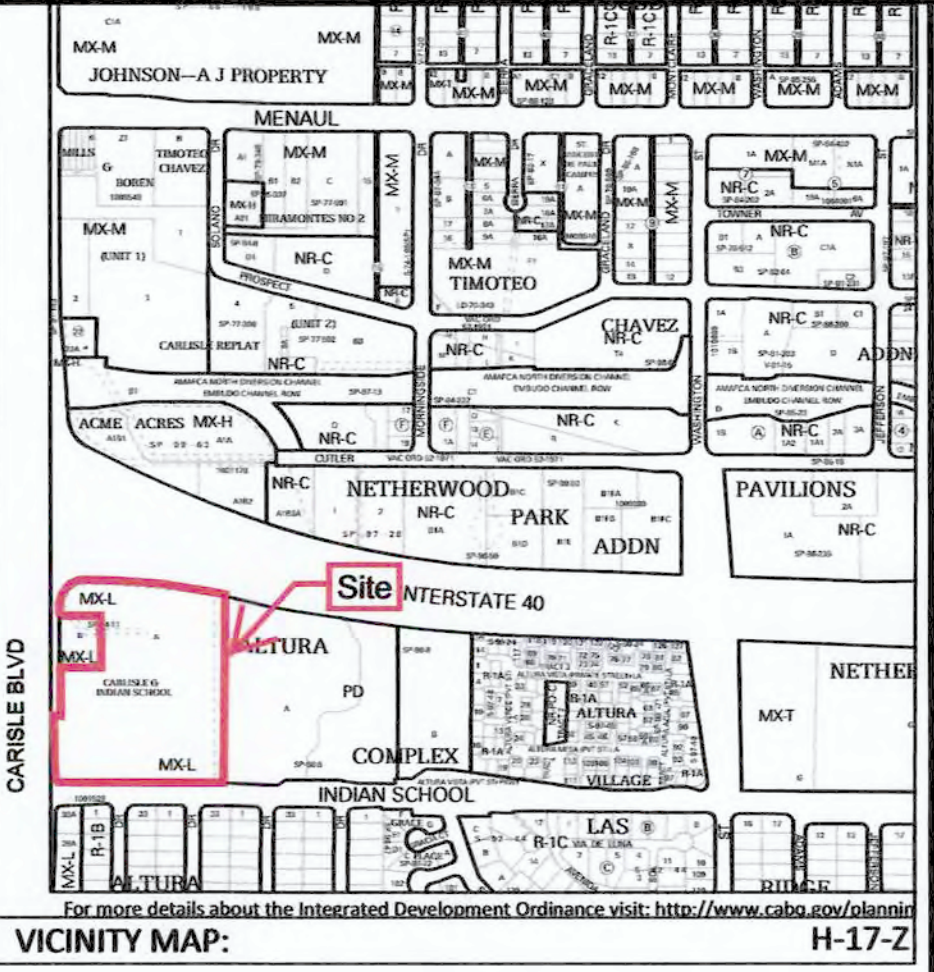
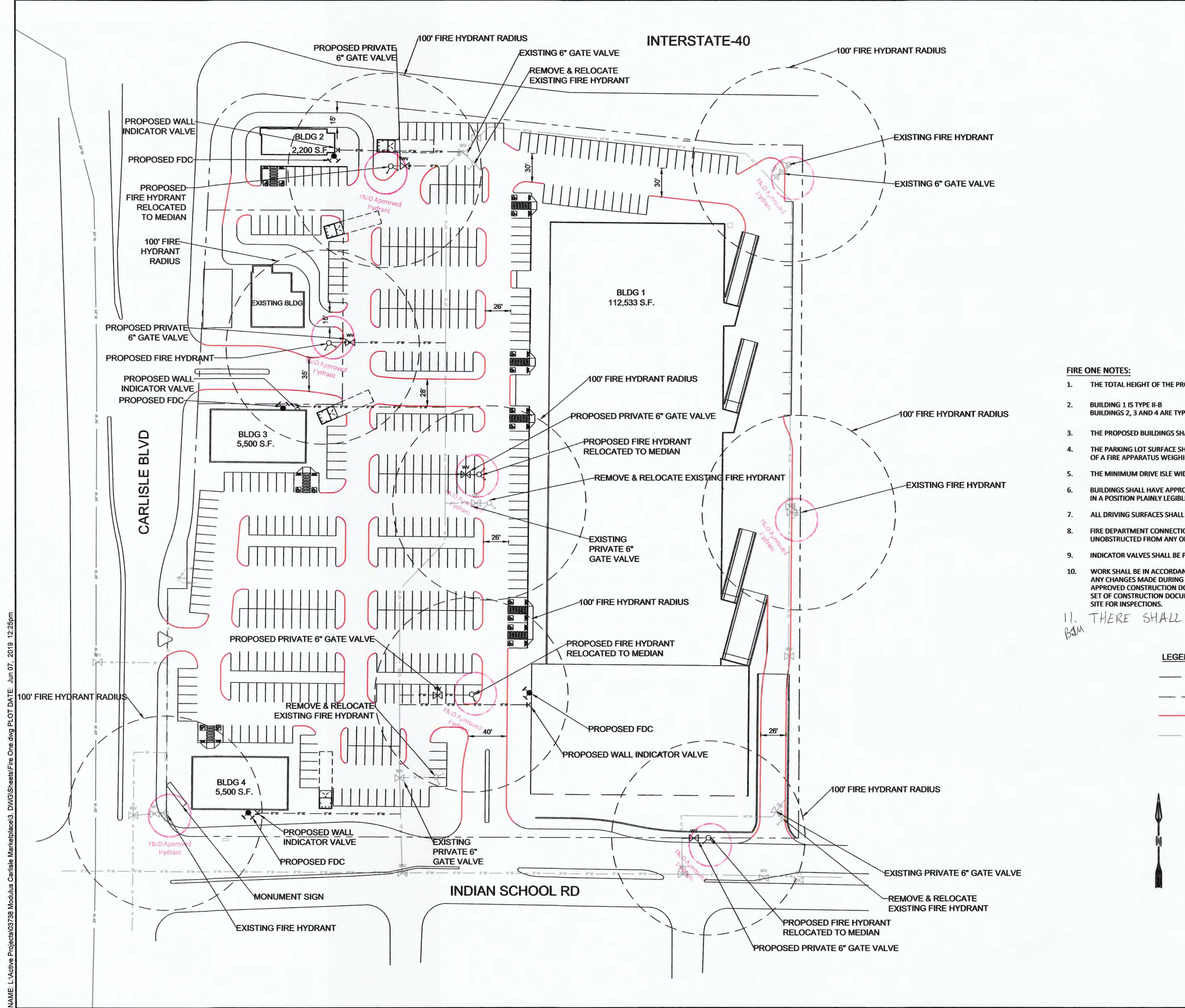
Date: 7/16/2019  
Revisions:  
▲ 08/19/2019  
▲ 10/31/2019  
▲  
▲  
▲  
▲  
Drawn by: V. Blount  
Reviewed by: TN

2100 Carlisle  
Site Redevelopment  
2100 Carlisle Blvd  
Albuquerque, New Mexico



Sheet Title:  
**Landscape Plan**  
Sheet Number:  
**LP-02**





REVISION	
DESIGNED JS	DATE 9.07.2019
DRAWN BM	CHECKED SG
5871 JEFFERSON STREET SUITE 101 ALBUQUERQUE, NM 87109 WWW.RESPEC.COM 505.263.9718	

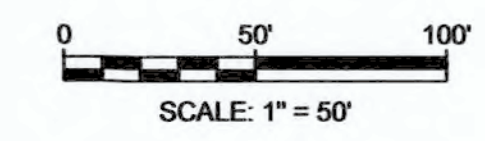
NAME: L:\Active Projects\03738 - Modulus Carlisle Marketplace3 - DWG\Sheets\Fire One.dwg PLOT DATE: Jun 07, 2019 12:25pm

**FIRE ONE NOTES:**

1. THE TOTAL HEIGHT OF THE PROPOSED BUILDINGS SHALL BE 30' OR LESS
2. BUILDING 1 IS TYPE II-B BUILDINGS 2, 3 AND 4 ARE TYPE V-B
3. THE PROPOSED BUILDINGS SHALL BE FULLY SPRINKLED.
4. THE PARKING LOT SURFACE SHALL BE ASPHALT AND CAPABLE OF SUPPORTING AN IMPOSED LOAD OF A FIRE APPARATUS WEIGHING 75,000 LBS.
5. THE MINIMUM DRIVE ISLE WIDTH SHALL 24' UNLESS OTHERWISE SPECIFIED.
6. BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS OR BUILDING IDENTIFICATION PLACED IN A POSITION PLAINLY LEGIBLE AND VISIBLE FROM THE STREET.
7. ALL DRIVING SURFACES SHALL NOT EXCEED 10 PERCENT IN GRADE.
8. FIRE DEPARTMENT CONNECTIONS SHALL BE LOCATED WITHIN 100' OF A HYDRANT AND BE UNOBSTRUCTED FROM ANY OBJECT FOR A MINIMUM DISTANCE OF 3'.
9. INDICATOR VALVES SHALL BE PROVIDED PER NFPA 13.
10. WORK SHALL BE IN ACCORDANCE WITH THE APPROVED CONSTRUCTION DOCUMENTS, AND ANY CHANGES MADE DURING CONSTRUCTION THAT ARE NOT IN COMPLIANCE WITH THE APPROVED CONSTRUCTION DOCUMENTS SHALL BE RESUBMITTED FOR APPROVAL AS AN AMENDED SET OF CONSTRUCTION DOCUMENTS. APPROVED WET STAMPED SHOP DRAWING SHALL BE ON SITE FOR INSPECTIONS.
11. THERE SHALL BE KNOX BOXES ON ALL BUILDINGS.  
BSM

**LEGEND**

- w — PROPOSED WATER LINE
- - - - - PROPERTY LINE
- PROPOSED MARKED FIRE LANE
- w — EXISTING WATER LINE



2875-19  
HYDRANT AND FIRE ACCESS  
ALBUQUERQUE FIRE MARSHAL'S OFFICE  
PLANS CHECKING DIVISION  
SOFT 11.2.2019 CONSTRUCTION TYPE II-B  
3500 NUMBER OF HYDRANTS 4  
APPROVED / DISAPPROVED  
Kamranett 6.14.19  
SHEET NO. / TOTAL NUMBER / DATE

STAMP  
30% REVIEW

PRELIMINARY  
NOT FOR CONSTRUCTION  
6/2019

THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED



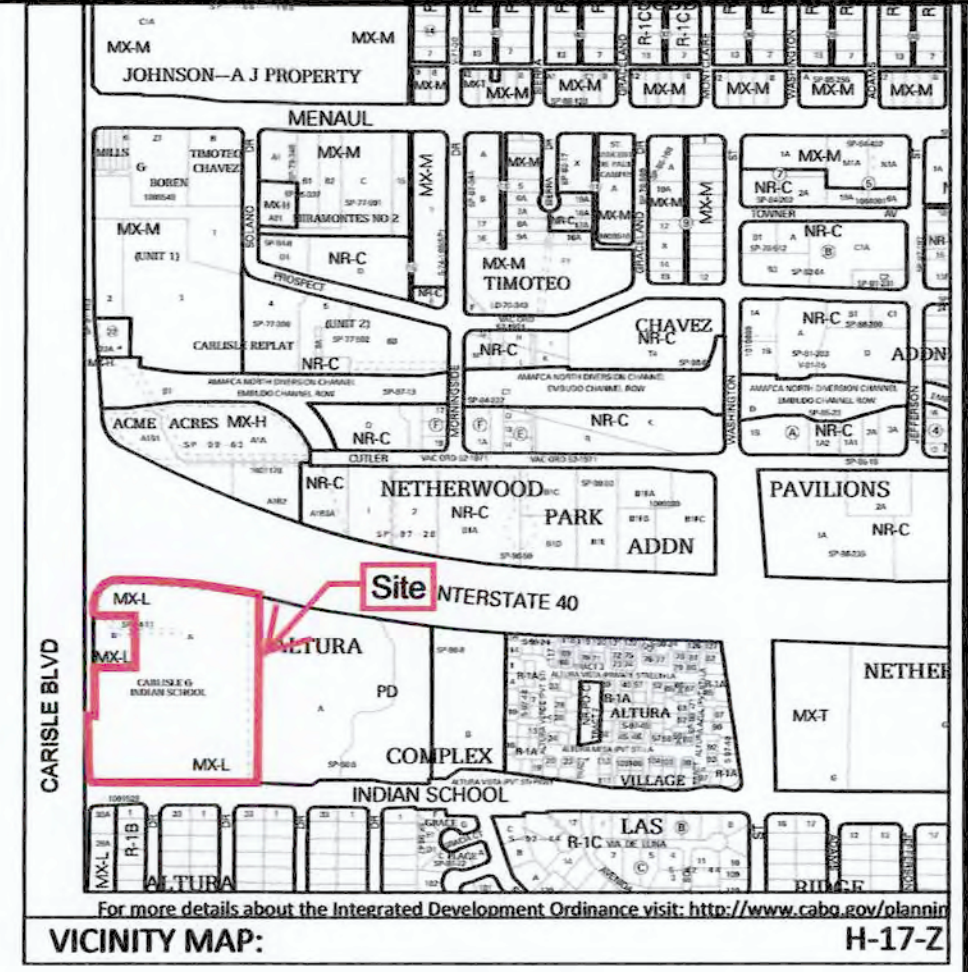
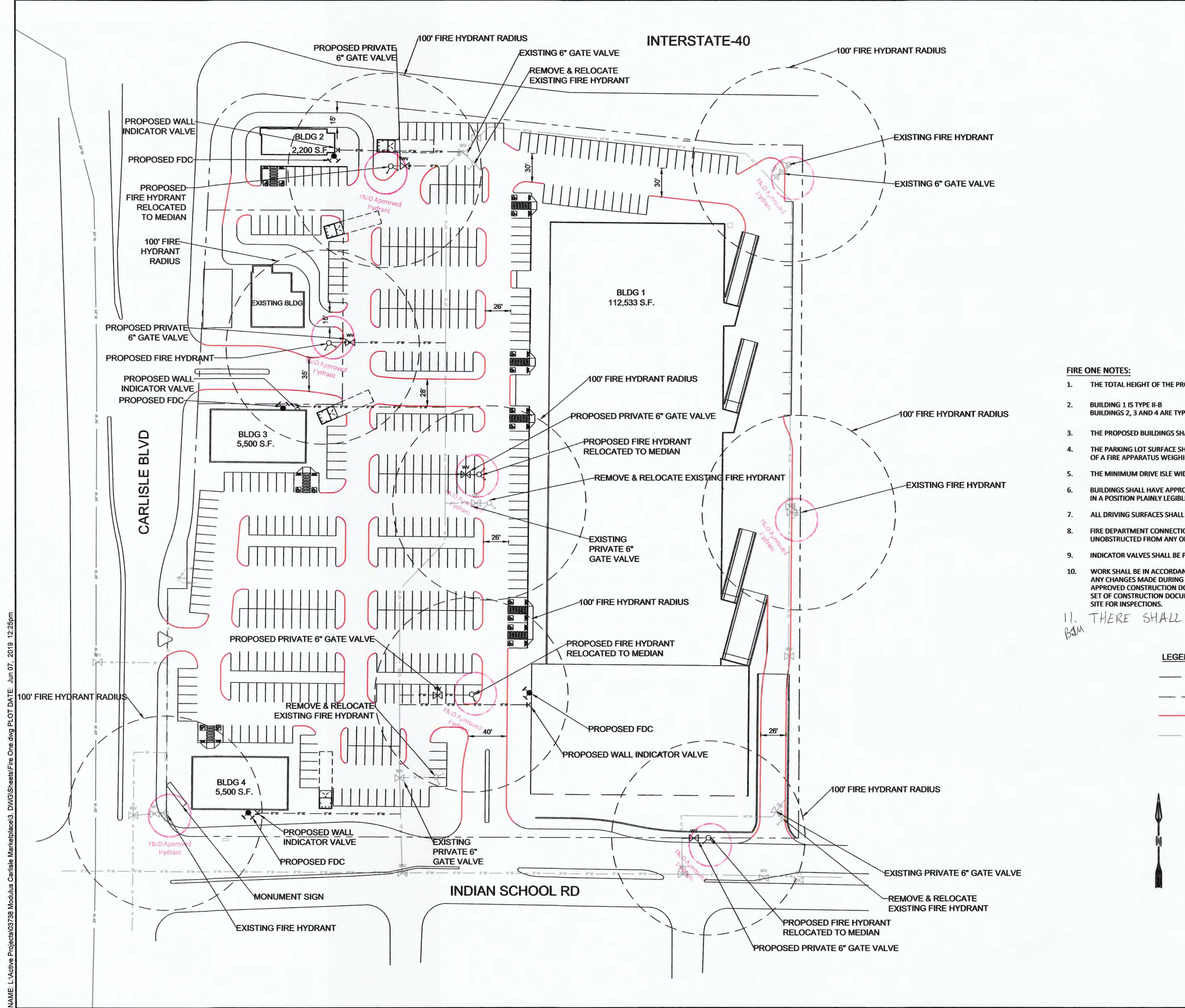
PROJECT NAME:  
**CARLISLE MARKETPLACE**  
2100 Carlisle Blvd. NE  
Albuquerque, NM 87112  
BSM

SHEET TITLE:  
**FIRE ONE PLAN**

SUBMITTED FOR:  
**REVIEW**

SHEET NUMBER:  
**F-1**





REVISION	
DESIGNED JS	DATE 9.07.2019
DRAWN BM	CHECKED SG
5871 JEFFERSON STREET SUITE 101 ALBUQUERQUE, NM 87109	
WWW.RESPEC.COM 505.263.9718	

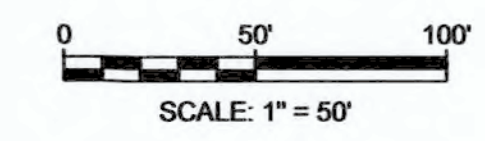
NAME: L:\Active Projects\03738 - Carlisle Marketplace\3 - DWG\Sheets\Fire One.dwg PLOT DATE: Jun 07, 2019 12:25pm

**FIRE ONE NOTES:**

1. THE TOTAL HEIGHT OF THE PROPOSED BUILDINGS SHALL BE 30' OR LESS
2. BUILDING 1 IS TYPE II-B BUILDINGS 2, 3 AND 4 ARE TYPE V-B
3. THE PROPOSED BUILDINGS SHALL BE FULLY SPRINKLED.
4. THE PARKING LOT SURFACE SHALL BE ASPHALT AND CAPABLE OF SUPPORTING AN IMPOSED LOAD OF A FIRE APPARATUS WEIGHING 75,000 LBS.
5. THE MINIMUM DRIVE ISLE WIDTH SHALL 24' UNLESS OTHERWISE SPECIFIED.
6. BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS OR BUILDING IDENTIFICATION PLACED IN A POSITION PLAINLY LEGIBLE AND VISIBLE FROM THE STREET.
7. ALL DRIVING SURFACES SHALL NOT EXCEED 10 PERCENT IN GRADE.
8. FIRE DEPARTMENT CONNECTIONS SHALL BE LOCATED WITHIN 100' OF A HYDRANT AND BE UNOBSTRUCTED FROM ANY OBJECT FOR A MINIMUM DISTANCE OF 3'.
9. INDICATOR VALVES SHALL BE PROVIDED PER NFPA 13.
10. WORK SHALL BE IN ACCORDANCE WITH THE APPROVED CONSTRUCTION DOCUMENTS, AND ANY CHANGES MADE DURING CONSTRUCTION THAT ARE NOT IN COMPLIANCE WITH THE APPROVED CONSTRUCTION DOCUMENTS SHALL BE RESUBMITTED FOR APPROVAL AS AN AMENDED SET OF CONSTRUCTION DOCUMENTS. APPROVED WET STAMPED SHOP DRAWING SHALL BE ON SITE FOR INSPECTIONS.
11. THERE SHALL BE KNOX BOXES ON ALL BUILDINGS.  
BSM

**LEGEND**

- w — PROPOSED WATER LINE
- - - - - PROPERTY LINE
- PROPOSED MARKED FIRE LANE
- w — EXISTING WATER LINE



2875-19  
 HYDRANT AND FIRE ACCESS  
 ALBUQUERQUE FIRE MARSHAL'S OFFICE  
 PLANS CHECKING DIVISION  
 11.2.2019 CONSTRUCTION TYPE II-B  
 3500 NUMBER OF HYDRANTS 4  
 APPROVED / DISAPPROVED  
 Kamearrett 6.14.19  
 (Signature and Stamp)

STAMP  
 30% REVIEW

PRELIMINARY  
 NOT FOR CONSTRUCTION  
 6/2019

THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED



PROJECT NAME:  
**CARLISLE MARKETPLACE**  
 2100 Carlisle Blvd. NE  
 Albuquerque, NM 87112  
 BSM

SHEET TITLE:  
**FIRE ONE PLAN**

SUBMITTED FOR:  
**REVIEW**

SHEET NUMBER:  
**F-1**



Current DRC  
Project Number: \_\_\_\_\_

**FIGURE 12**

Date Submitted: November 1, 2019

**INFRASTRUCTURE LIST**

(Rev. 2-16-18)

**EXHIBIT "A"**

**TO SUBDIVISION IMPROVEMENTS AGREEMENT  
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

Date Site Plan Approved: \_\_\_\_\_  
Date Preliminary Plat Approved: \_\_\_\_\_  
Date Preliminary Plat Expires: \_\_\_\_\_  
DRB Project No.: \_\_\_\_\_  
DRB Application No.: \_\_\_\_\_

**TRACTS A & B, CARLISLE & INDIAN SCHOOL SUBDIVISION  
PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN**

**TRACTS A & B, CARLISLE & INDIAN SCHOOL SUBDIVISION  
EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION**

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
		<b>PAVING</b>							
		11' EDGE -F	100' RIGHT TURN LANE PLUS TRANSITION AND STRIPING W/PCC CURB & GUTTER	INDIAN SCHOOL RD	CARLISLE BLVD	100' EAST	/	/	/
			TRAFFIC SIGNAL RELOCATION	NE CORNER OF CARLISLE / INDIAN SCHOL INTERSECTION			/	/	/
		6' WIDTH	PCC SIDEWALK ALONG TURN LANE	INDIAN SCHOOL RD	CARLISLE BLVD	100' EAST	/	/	/
		6'	BIKE LANE	CARLISLE BLVD	NORTH PROPERTY BOUNDARY	SOUTH PROPERTY BOUNDARY	/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/



The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The Items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification				
							Private Inspector	P.E.	City Cnst Engineer		
<input type="text"/>	<input type="text"/>						/	/	/		
<input type="text"/>	<input type="text"/>						/	/	/		
Approval of Creditable Items:							Approval of Creditable Items:				
Impact Fee Administrator Signature							Date		City User Dept. Signature		Date

**NOTES**

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.  
Street lights per City requirements.

- 1 \_\_\_\_\_
- \_\_\_\_\_
- 2 \_\_\_\_\_
- \_\_\_\_\_
- 3 \_\_\_\_\_
- \_\_\_\_\_

**AGENT / OWNER**

**DEVELOPMENT REVIEW BOARD MEMBER APPROVALS**

**JEREMY SHELL**  
NAME (print)

---

**RESPEC**  
FIRM

---

\_\_\_\_\_  
SIGNATURE - date

\_\_\_\_\_  
DRB CHAIR - date

---

\_\_\_\_\_  
TRANSPORTATION DEVELOPMENT - date

---

\_\_\_\_\_  
UTILITY DEVELOPMENT - date

---

\_\_\_\_\_  
CITY ENGINEER - date

\_\_\_\_\_  
PARKS & RECREATION - date

---

\_\_\_\_\_  
AMAFCA - date

---

\_\_\_\_\_  
CODE ENFORCEMENT - date

---

\_\_\_\_\_  
- date

**DESIGN REVIEW COMMITTEE REVISIONS**

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT /OWNER





# DRAINAGE REPORT FOR CARLISLE MARKETPLACE



**PREPARED FOR**

City of Albuquerque, Planning Department  
Development Review Services, Hydrology Section

**PREPARED BY**

RESPEC, Inc.  
5971 Jefferson St. NE, Suite 101  
Albuquerque, NM 87109  
505.253.9718

**OCTOBER 2019**







I, Sheldon Greer, do hereby certify that this report was duly prepared by me or under my direction and that I am a duly registered Professional Engineer under the laws of the State of New Mexico.



---

Sheldon Greer, P.E.  
NMPE No. 17154

10/31/2019

---

Date



# TABLE OF CONTENTS

<b>1.0 INTRODUCTION .....</b>	<b>3</b>
1.1 Purpose .....	3
1.2 Location and Description .....	3
Figure 1.2.1 – Project Location .....	3
<b>2.0 METHODOLOGY.....</b>	<b>4</b>
<b>3.0 HYDROLOGY .....</b>	<b>4</b>
3.1 Existing Conditions.....	4
Table 3.1.1 – Hydrologic Data - Existing .....	5
3.2 Proposed Conditions .....	5
Table 3.2.1 – Hydrologic Data - Proposed.....	6
<b>4.0 CONCLUSION.....</b>	<b>6</b>
<b>APPENDIX A EXISTING SUB-BASINS .....</b>	<b>7</b>
<b>APPENDIX B PROPOSED SUB-BASINS .....</b>	<b>8</b>
<b>APPENDIX C HYDROLOGY CALCULATIONS.....</b>	<b>9</b>



## 1.0 INTRODUCTION

### 1.1 PURPOSE

The purpose of this drainage report is to demonstrate that the proposed re-development of Tracts A and B of Carlisle and Indian School Subdivision safely conveys the peak 100-year storm runoff. The drainage intent for proposed conditions is to match current existing conditions for the site.

### 1.2 LOCATION AND DESCRIPTION

Tracts A and B are located at the northeast corner of the Carlisle Boulevard and Indian School Road intersection and contain approximately 10.7 acres. See Figure 1.2.1 below. The existing site includes a Burger King restaurant located on Tract B and an old K-Mart building and parking lot on Tract A that is currently vacant. The existing conditions are described in more detail in Section 3.1 and the proposed conditions are described in Section 3.2.



FIGURE 1.2.1 – PROJECT LOCATION



## 2.0 METHODOLOGY

The hydrologic analysis was performed for the site in accordance with the Albuquerque Development Process Manual (DPM) Section 22.2 using the Rational Method to calculate peak flow rates for the 100-year, 24-hour design storm in order to ensure all flow paths are sufficient to carry flows. The required water quality volume was calculated by multiplying the impervious area by the first flush runoff value of 0.34". All hydrologic and hydraulic calculations are included in this report.

## 3.0 HYDROLOGY

### 3.1 EXISTING CONDITIONS

Tracts A & B do not receive any offsite flows. The existing site has approximately 93% impervious area and 7% landscaped. The total flow generated by the property under existing conditions is 48.9 cfs. The site appears to have free discharge and does not have any existing ponds. The existing property has been split into six sub-basins. Appendix A shows the existing sub-basin boundaries for the site.

Sub-basin A consists of the northwest corner of the property and is primarily made up of parking area and also the Burger King restaurant. In general, the sub-basin slopes from southeast to northwest at varying slopes between 3%-5%. Runoff exits the property at the northwest corner of the site and is collected in a drop inlet.

Sub-basin B contains the northeast corner of the property and accounts for surface runoff from the northern portion of the existing building and the drive aisle north of the building. This area accumulates to the northeast corner of the site and discharges out of the property into a concrete rundown. From there, runoff is collected in a drop inlet.

Sub-basin C consists of a majority of the existing building and the drive aisle east of the building. This area flows north along the eastern curb. At the northeast corner of the Sub-basin, there is an opening in the wall that allows runoff to discharge into the adjacent property to the east. Flows that bypass this wall opening enter Sub-basin B.

Sub-basin D contains the southwest corner of the existing building and a majority of the existing parking area. This Sub-basin, in general, sheet flows from southeast to northwest at varying slopes between 2%-5%. Runoff then flows north along a curb along the western property boundary and discharges in Carlisle Boulevard through an existing driveway. From there, flows enter storm inlets located along the eastern curb of Carlisle Boulevard.

Sub-basin E consists of a small portion of the parking area at the southwest corner of the property. This area slopes from southeast to northwest and discharges from the site through an existing driveway. The runoff generated by this Sub-basin is then collected in storm inlets located along the eastern curb of Carlisle Boulevard.

Sub-basin F contains a small area west of the existing Burger King restaurant the flows west into Carlisle Boulevard. Runoff from this Sub-basin is collected in the Carlisle Boulevard storm drain system.



The hydrologic data table below depicts in further detail each sub-basin and its characteristics.

**TABLE 3.1.1 – HYDROLOGIC DATA - EXISTING**

HYDROLOGIC DATA - EXISTING						
SUB-BASIN	AREA (AC)	LAND USE PERCENTAGES				Q100
		A	B	C	D	
A	2.20	0%	0%	0%	100%	10.3
B	0.96	0%	0%	0%	100%	4.5
C	2.47	0%	8%	8%	84%	10.8
D	4.35	0%	4%	4%	92%	19.7
E	0.54	0%	0%	0%	100%	2.6
F	0.20	0%	0%	0%	100%	1.0
<b>TOTAL</b>	<b>10.72</b>					<b>48.9</b>

### 3.2 PROPOSED CONDITIONS

The proposed site development is to renovate the existing buildings and parking lot and add both commercial and retail pads along the Carlisle Boulevard property frontage. Under the proposed condition, approximately 87% of the site will consist of impervious area and 13% will be landscaped. The total flow generated by the proposed development is 47.6 cfs. Therefore, the discharge from the proposed site is less than the existing condition. The property has been split into five proposed sub-basins. Appendix B shows the proposed sub-basin boundaries for the site.

Sub-basin 1 consists of the northwest corner of the property and is made up of parking area, the existing Burger King restaurant, and a new commercial pad. In general, the sub-basin slopes from southeast to northwest. Runoff surface flows to the northwest corner of the property and drains to an existing drop inlet, as which matches the historic drainage pattern. The existing flow that reaches this inlet is 10.3 cfs while the proposed flow is 9.3 cfs.

Sub-basin 2 contains the roof drainage for the eastern half of the larger building and the truck dock area and drive aisle located east of the building. Runoff generated by this Sub-basin flows north to the northeast corner of the site where it enters a concrete channel. This channel will connect to the existing concrete rundown that discharges to the existing drop inlet. The existing flow that reaches the northeast corner of the property is 15.3 cfs while the proposed flow is 15.4 cfs. The additional 0.1 cfs is considered negligible. The flows that currently discharge to the neighboring property to the east will be cut off under the proposed condition.

Sub-basins 3, 4, and 5 consist of the southwest corner of the property, which contains a majority of the parking lot and the roof drainage from the western half of the larger building as well as two new retail pads. Sub-basins 3 and 5 free discharge from the site through two new driveways. Sub-basin 4 is collected in a drop inlet toward the northwest corner of the Sub-basin. These three Sub-basins all discharge to the existing storm drain system in Carlisle Boulevard. The existing flow that reaches the Carlisle storm drain under existing conditions is 23.3 cfs while the proposed flow is 22.9 cfs.

The hydrologic data table below depicts in further detail each sub-basin and its characteristics.



**TABLE 3.2.1 – HYDROLOGIC DATA - PROPOSED**


HYDROLOGIC DATA - PROPOSED						
SUB-BASIN	AREA (AC)	LAND USE PERCENTAGES				Q100
		A	B	C	D	
1	2.10	0%	6%	6%	87%	9.3
2	3.46	0%	6%	6%	87%	15.4
3	1.54	0%	6%	6%	87%	6.8
4	2.47	0%	6%	6%	87%	11.0
5	1.14	0%	6%	6%	87%	5.1
<b>TOTAL</b>	<b>10.72</b>					<b>47.6</b>

The total required water quality volume for the site is 11,526 cubic feet. The owner has elected to pay the fee in lieu for any required stormwater quality volume not provided in on-site ponds. More details regarding water quality will be provided at Building Permit review.

## 4.0 CONCLUSION

This drainage report is prepared in support of the new development for Tracts A and B. The existing buildings and parking area will be renovated and new commercial and retail pads will be added. The proposed conditions closely match the current conditions of the existing property. The hydrologic calculations are included in Appendix C.





# **APPENDIX A**

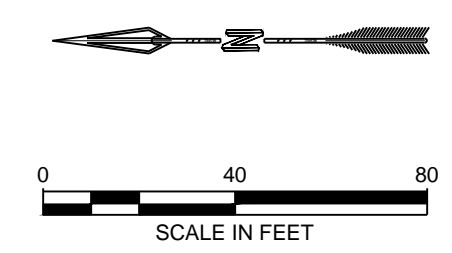
## **EXISTING SUB-BASINS**





NAME: L:\Active Projects\03738 Modulus Carlisle Marketplace\3. DWG\Sheets\03738 Drainage.dwg PLOT DATE: Jul 09, 2019 1:59pm

Interstate 40



EXISTING SUB-BASINS



**RESPEC**

5971 JEFFERSON STREET SUITE 101  
 ALBUQUERQUE, NEW MEXICO 87109  
 WATER & NATURAL RESOURCES  
 WWW.RESPEC.COM 505.253.9718





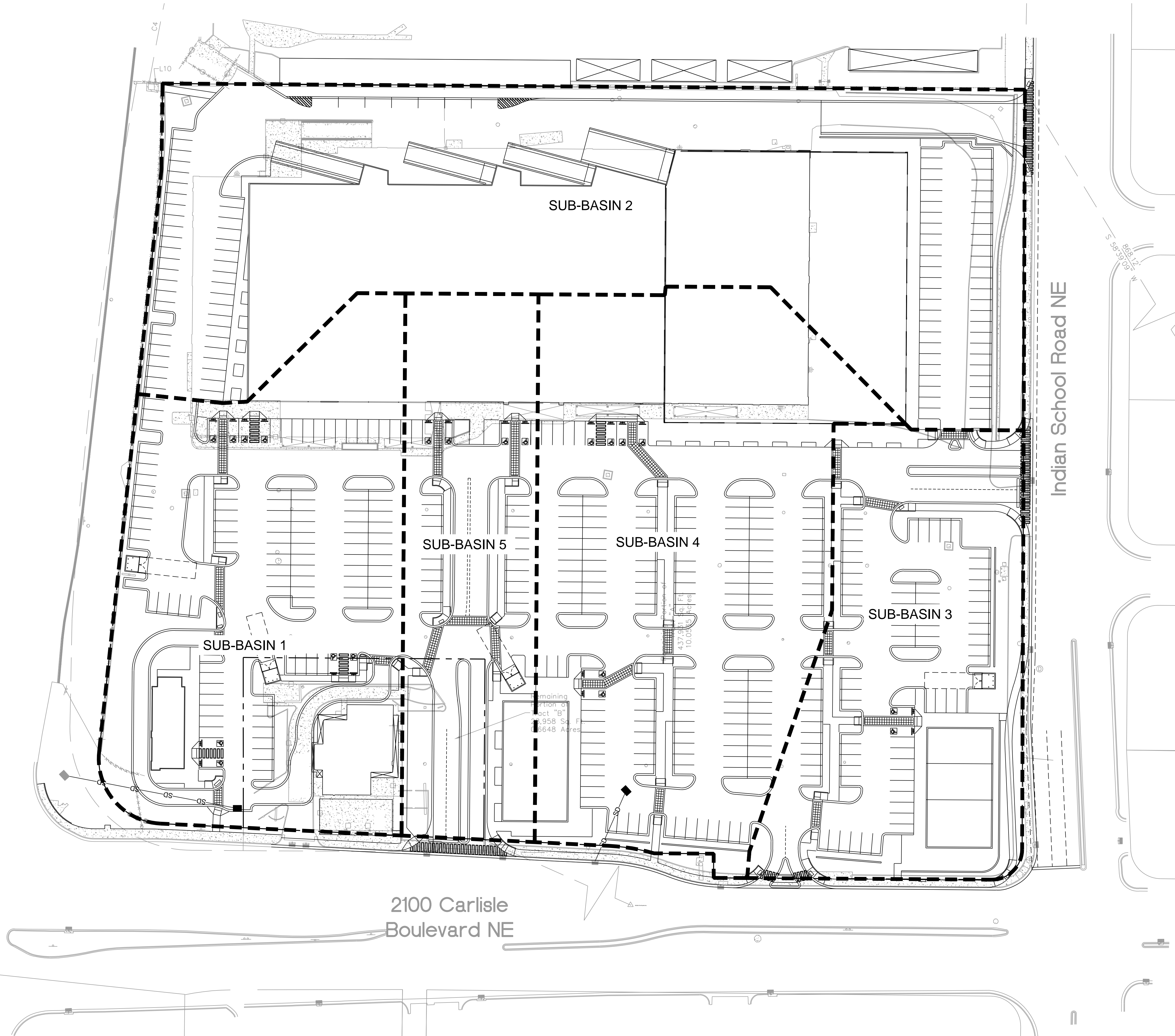
# **APPENDIX B**

## **PROPOSED SUB-BASINS**





Interstate 40



SUB-BASIN 2

SUB-BASIN 5

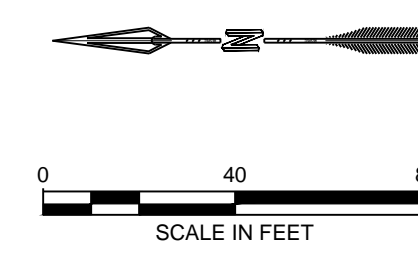
SUB-BASIN 4

SUB-BASIN 3

SUB-BASIN 1

Indian School Road NE

2100 Carlisle  
Boulevard NE




PROPOSED SUB-BASINS



**RESPEC**


5971 JEFFERSON STREET SUITE 101  
ALBUQUERQUE, NEW MEXICO 87109  
WATER & NATURAL RESOURCES  
WWW.RESPEC.COM 505.253.9718





# **APPENDIX C**

## **HYDROLOGY CALCULATIONS**





## **Hydrology Calculations**

The following calculations are based on Albuquerque's Development Process Manual, Section 22.2

### **Existing Conditions**

#### **Runoff Rate:**

Treatment Type Areas

Subbasin	Area <sub>A</sub> (ac)	Area <sub>B</sub> (ac)	Area <sub>C</sub> (ac)	Area <sub>D</sub> (ac)	Total (ac)
A	0.00	0.00	0.00	2.20	2.20
B	0.00	0.00	0.00	0.96	0.96
C	0.00	0.19	0.19	2.09	2.47
D	0.00	0.19	0.19	3.97	4.35
E	0.00	0.00	0.00	0.54	0.54
F	0.00	0.00	0.00	0.20	0.20
Total	0.00	0.38	0.38	9.96	10.72

Peak Discharge values based on Zone 2 from Table A-9

$$Q_A = 1.56 \text{ cfs/ac}$$

$$Q_B = 2.28 \text{ cfs/ac}$$

$$Q_C = 3.14 \text{ cfs/ac}$$

$$Q_D = 4.70 \text{ cfs/ac}$$

Peak Discharge calculation for a 100-yr, 24-hr storm event from equation A-10

Subbasin	Discharge (cfs)
A	10.3
B	4.5
C	10.8
D	19.7
E	2.6
F	1.0
Total	48.9

### **Proposed Conditions**

#### **Runoff Rate:**

Treatment Type Areas

Subbasin	Area <sub>A</sub> (ac)	Area <sub>B</sub> (ac)	Area <sub>C</sub> (ac)	Area <sub>D</sub> (ac)	Total (ac)
1	0.00	0.14	0.14	1.83	2.10
2	0.00	0.22	0.22	3.02	3.46
3	0.00	0.10	0.10	1.34	1.54
4	0.00	0.16	0.16	2.15	2.47
5	0.00	0.07	0.07	0.99	1.14
Total	0.00	0.69	0.69	9.34	10.72

Peak Discharge values based on Zone 2 from Table A-9

$$Q_A = 1.56 \text{ cfs/ac}$$

$$Q_B = 2.28 \text{ cfs/ac}$$

$$Q_C = 3.14 \text{ cfs/ac}$$

$$Q_D = 4.70 \text{ cfs/ac}$$

Peak Discharge calculation for a 100-yr, 24-hr storm event from equation A-10

Subbasin	Discharge (cfs)
1	9.3
2	15.4
3	6.8
4	11.0
5	5.1
Total	47.6



**Water Quality:**

Required Water Quality volume for first flush of 0.34"

Subbasin	Volume (cu. ft.)
1	2,260
2	3,725
3	1,658
4	2,656
5	1,227
Total	11,526