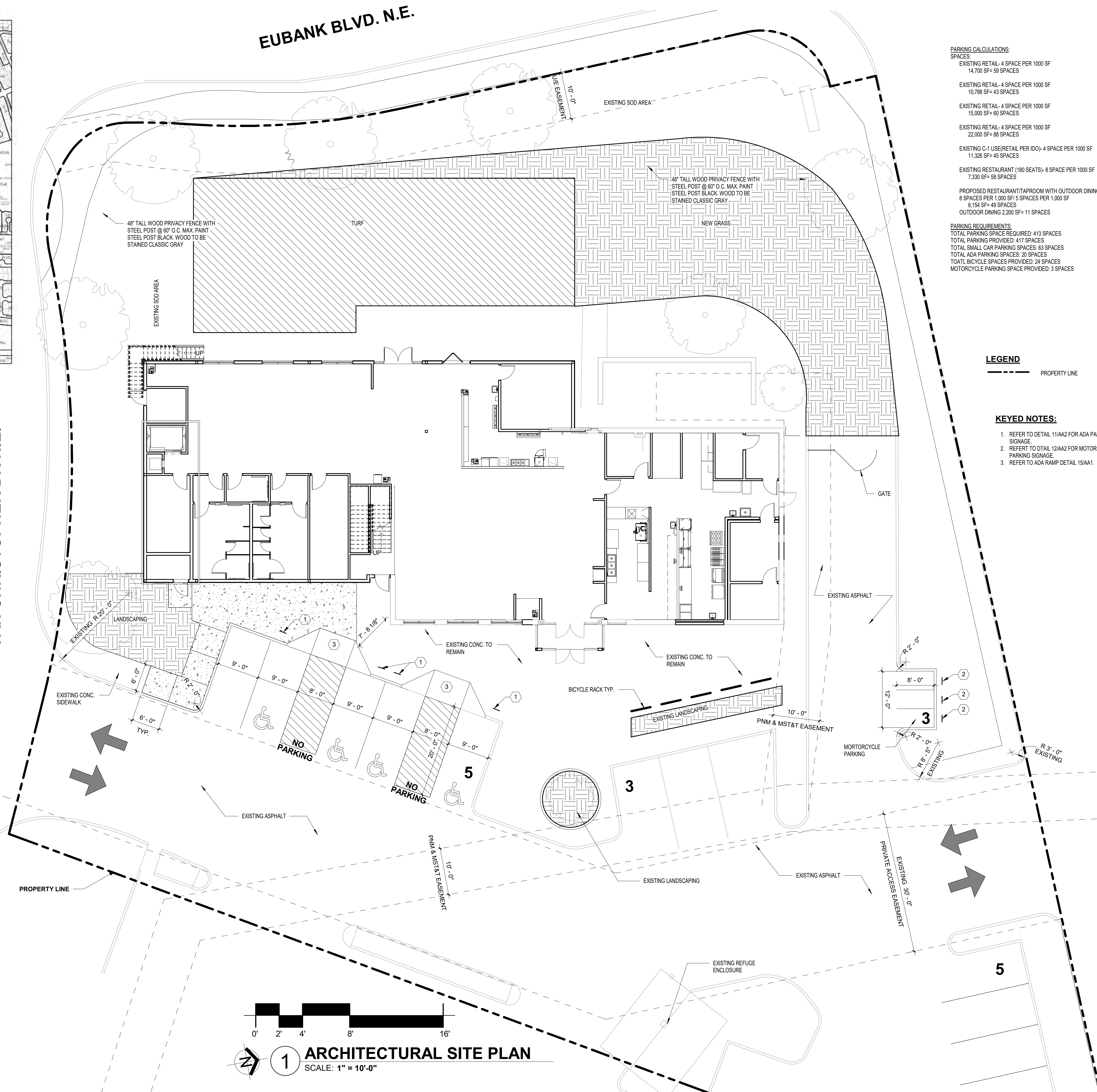


VACINITY MAP

VAN CHRISTOPHER DR N.E.

EUBANK BLVD. N.E.

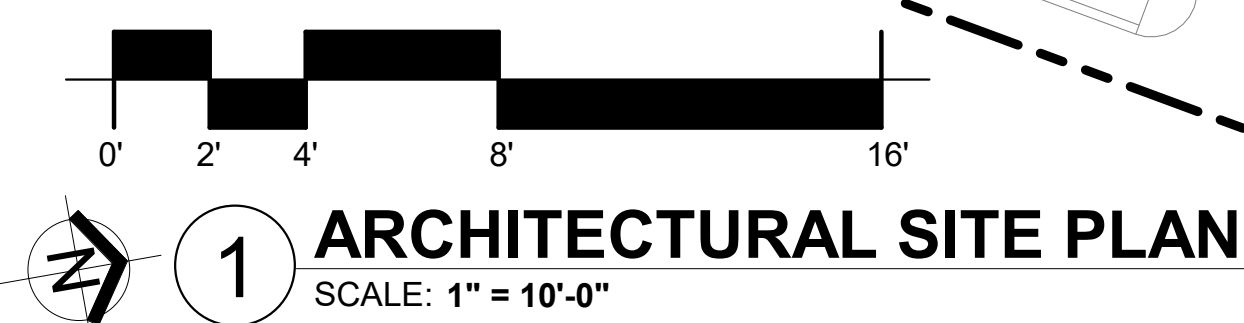


**PARKING CALCULATIONS:**  
 SPACES:  
 EXISTING RETAIL- 4 SPACE PER 1000 SF  
 14,700 SF= 59 SPACES  
 EXISTING RETAIL- 4 SPACE PER 1000 SF  
 10,788 SF= 43 SPACES  
 EXISTING RETAIL- 4 SPACE PER 1000 SF  
 15,000 SF= 60 SPACES  
 EXISTING RETAIL- 4 SPACE PER 1000 SF  
 22,000 SF= 88 SPACES  
 EXISTING C-1 USE (RETAIL PER IDO)- 4 SPACE PER 1000 SF  
 11,326 SF= 45 SPACES  
 EXISTING RESTAURANT (180 SEATS)- 8 SPACE PER 1000 SF  
 7,330 SF= 58 SPACES  
 PROPOSED RESTAURANT/TAPROOM WITH OUTDOOR DINING AREA-  
 8 SPACES PER 1,000 SF / 5 SPACES PER 1,000 SF  
 6,154 SF= 49 SPACES  
 OUTDOOR DINING 2,200 SF= 11 SPACES

**PARKING REQUIREMENTS:**  
 TOTAL PARKING SPACE REQUIRED: 413 SPACES  
 TOTAL PARKING PROVIDED: 417 SPACES  
 TOTAL SMALL CAR PARKING SPACES: 63 SPACES  
 TOTAL ADA PARKING SPACES: 20 SPACES  
 TOTAL BICYCLE SPACES PROVIDED: 24 SPACES  
 MOTORCYCLE PARKING SPACE PROVIDED: 3 SPACES

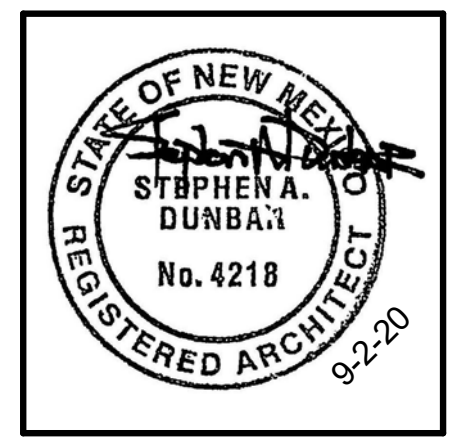
**LEGEND**  
 - - - - - PROPERTY LINE

**KEYED NOTES:**  
 1. REFER TO DETAIL 11/A2 FOR ADA PARKING SIGNAGE.  
 2. REFER TO DETAIL 12/A2 FOR MOTORCYCLE PARKING SIGNAGE.  
 3. REFER TO ADA RAMP DETAIL 15/A1.



REV	DATE	BY	REVISION

**MODULUS ARCHITECTS**  
 100 SUN AVENUE NE SUITE 305  
 ALBUQUERQUE, NEW MEXICO 87109  
 PHONE (505) 338-1499 FAX (505) 338-1498  
 TOLL FREE 1-866-224-2161



**ADMINISTRATIVE AMENDMENT**

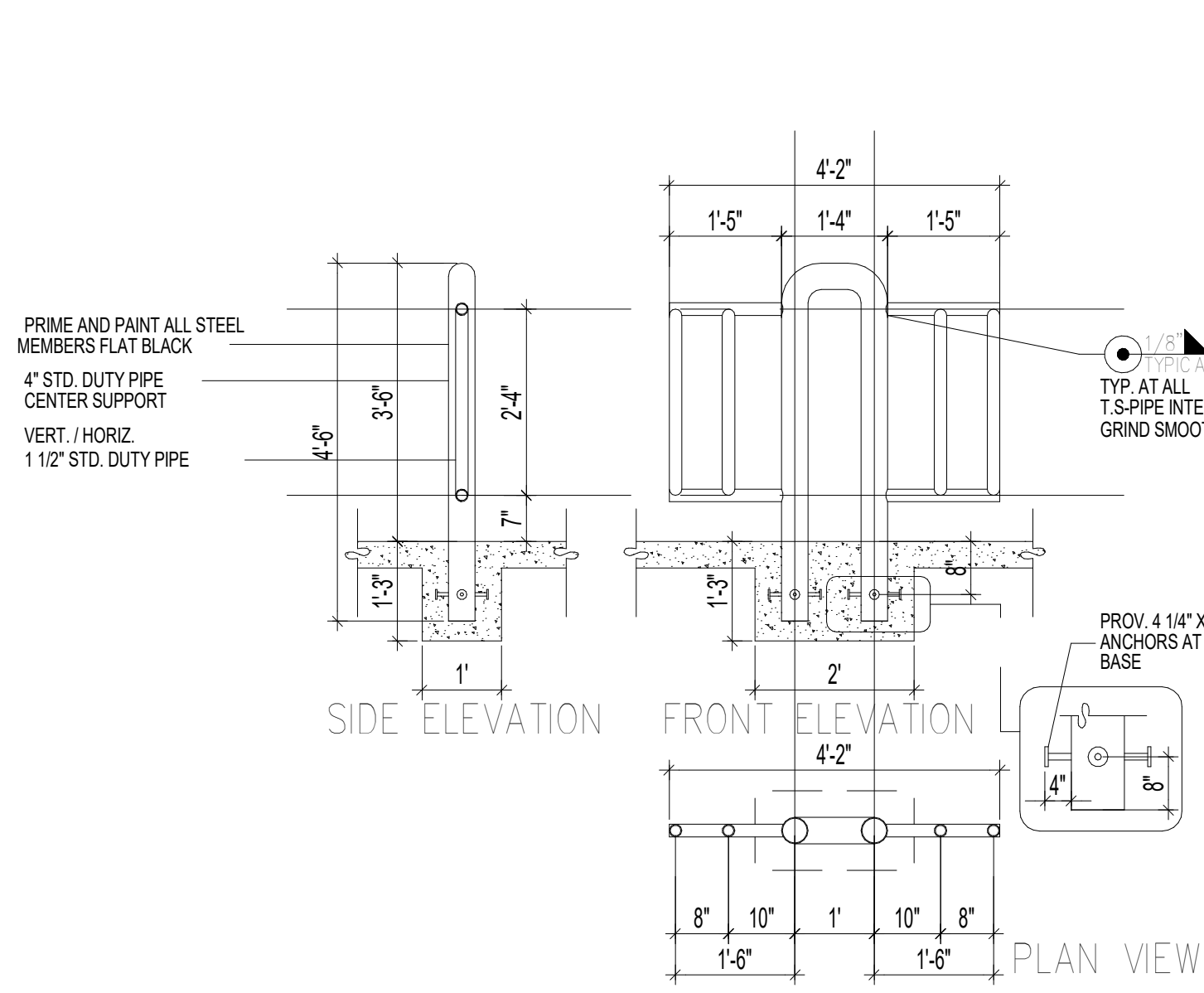
PROJECT TITLE  
**BOSQUE EUBANK**  
 Enter address here

PROJECT MANAGER  
 JOB NO.  
 Project Number

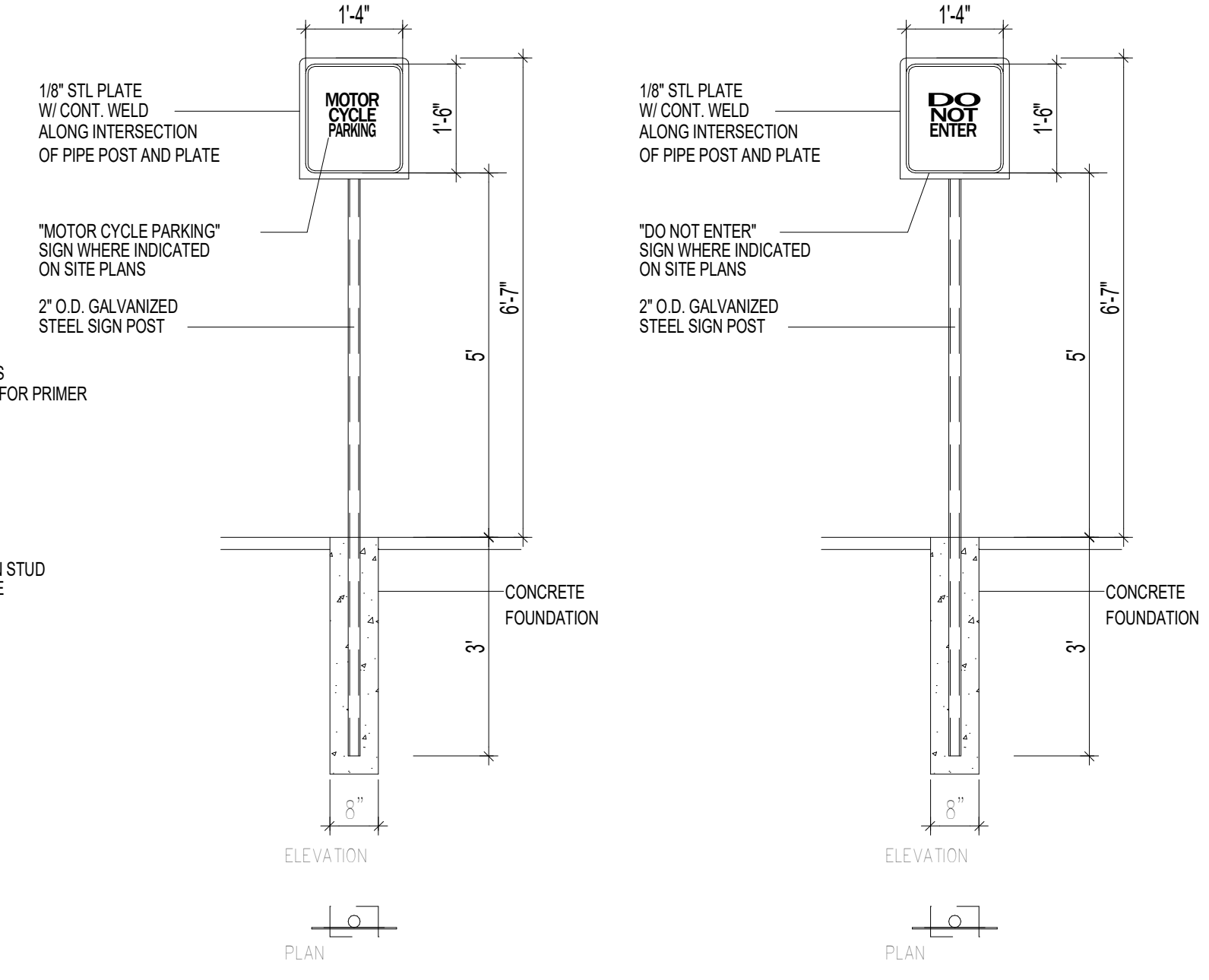
DRAWN BY:

SHEET TITLE  
**ARCHITECTURAL SITE PLAN**

DATE 9-2-20	SHEET AA
SCALE:	

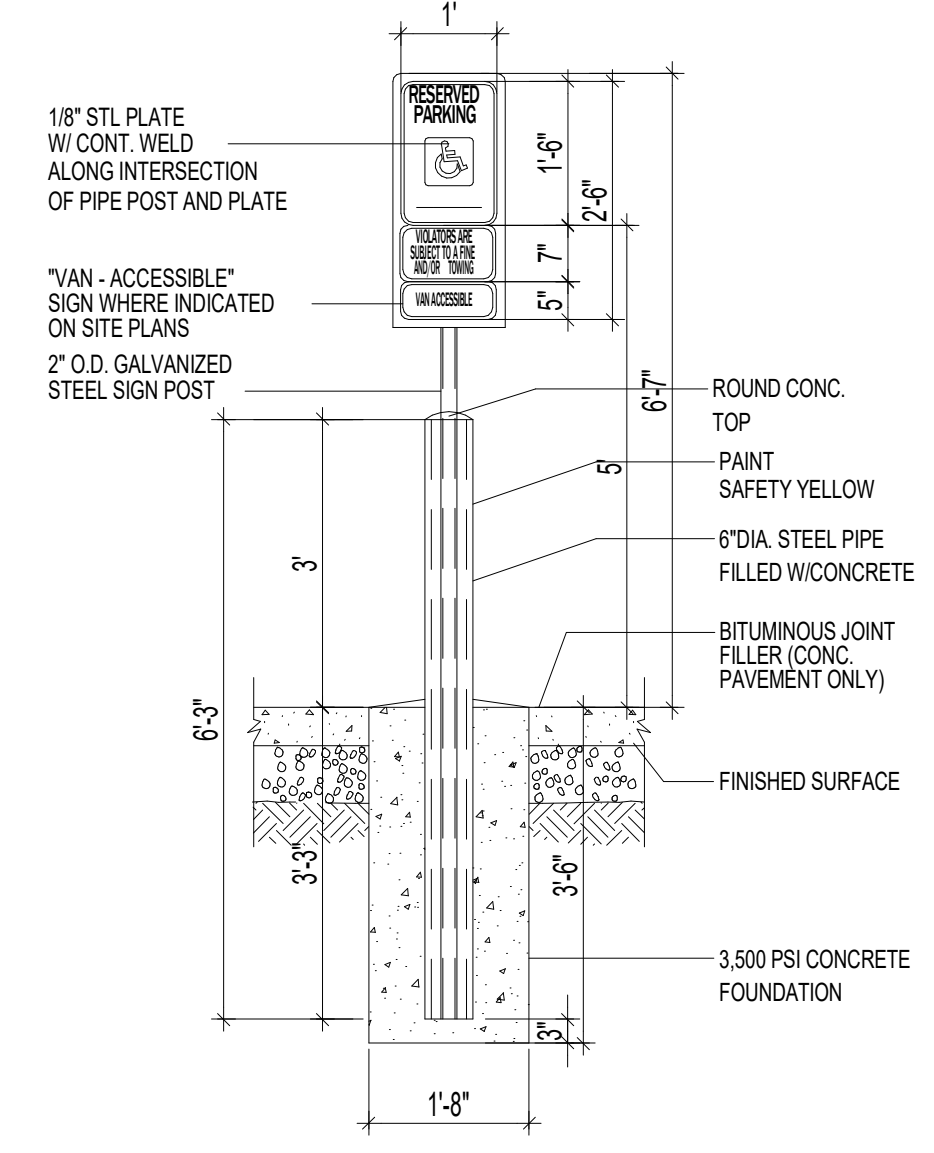


13 BIKE RACK  
N.T.S.

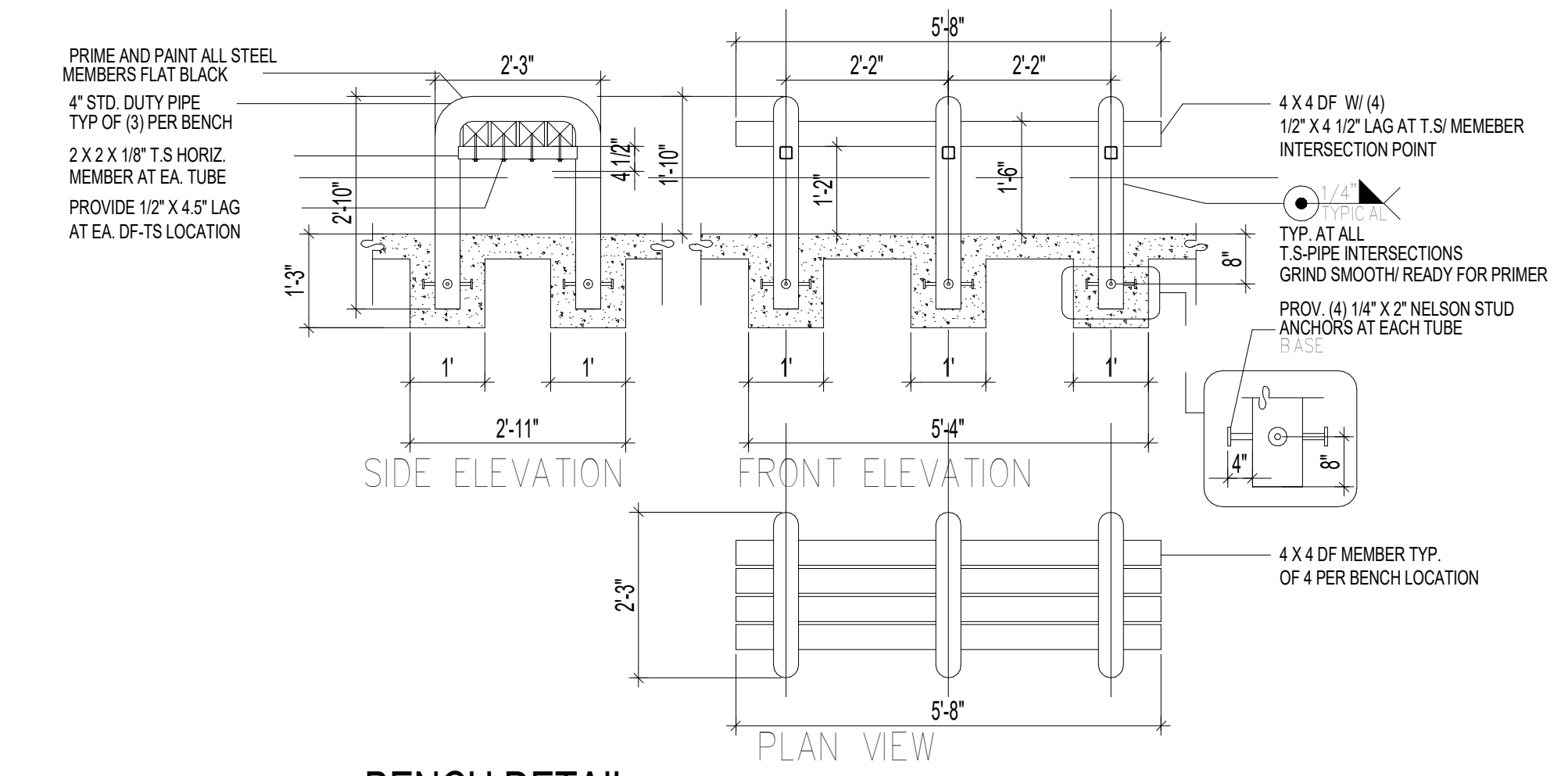


12 MISC. SIGNAGE  
N.T.S.

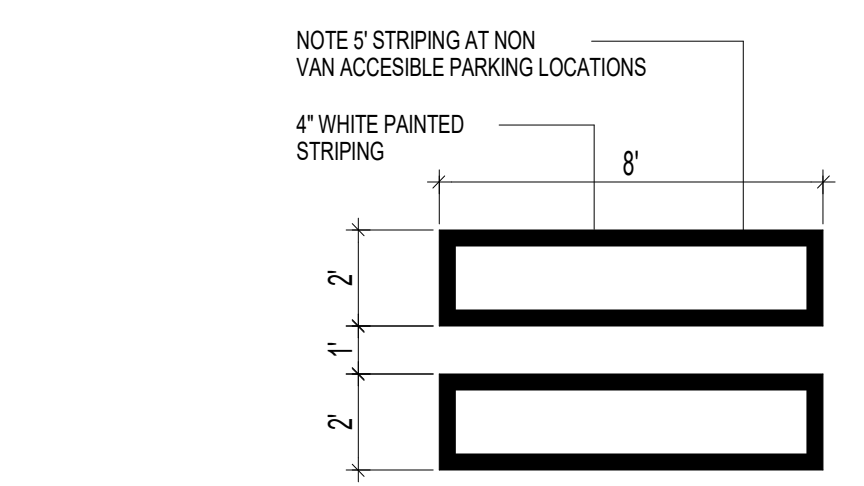
12A MISC. SIGNAGE  
N.T.S.



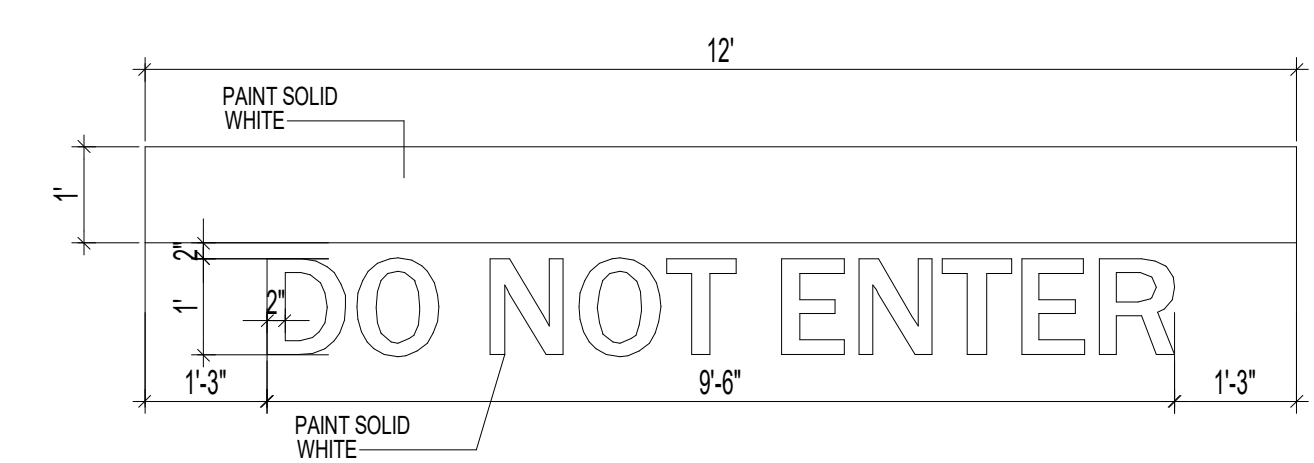
11 H.C SIGNAGE  
N.T.S.



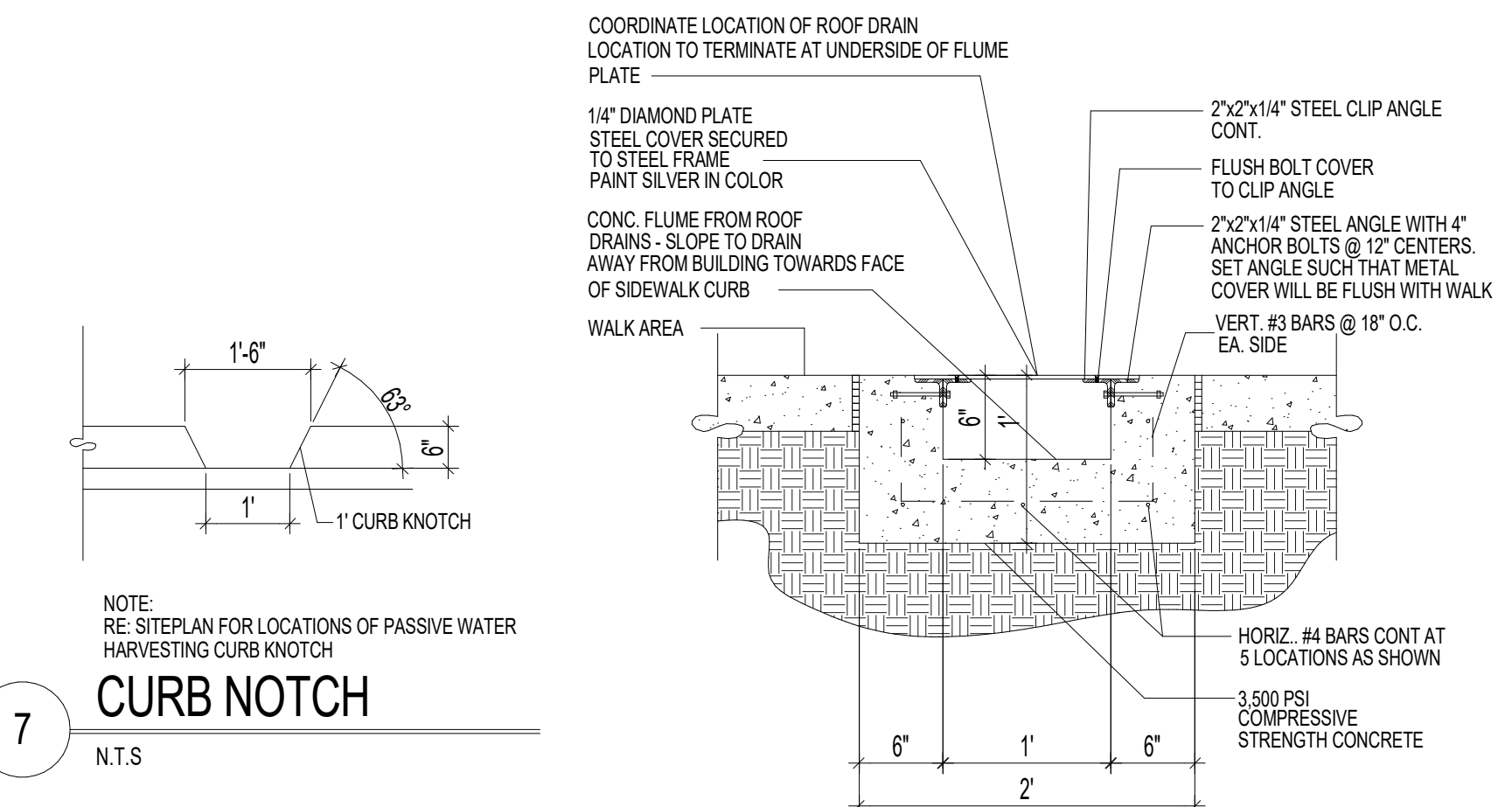
10 BENCH DETAIL  
N.T.S.



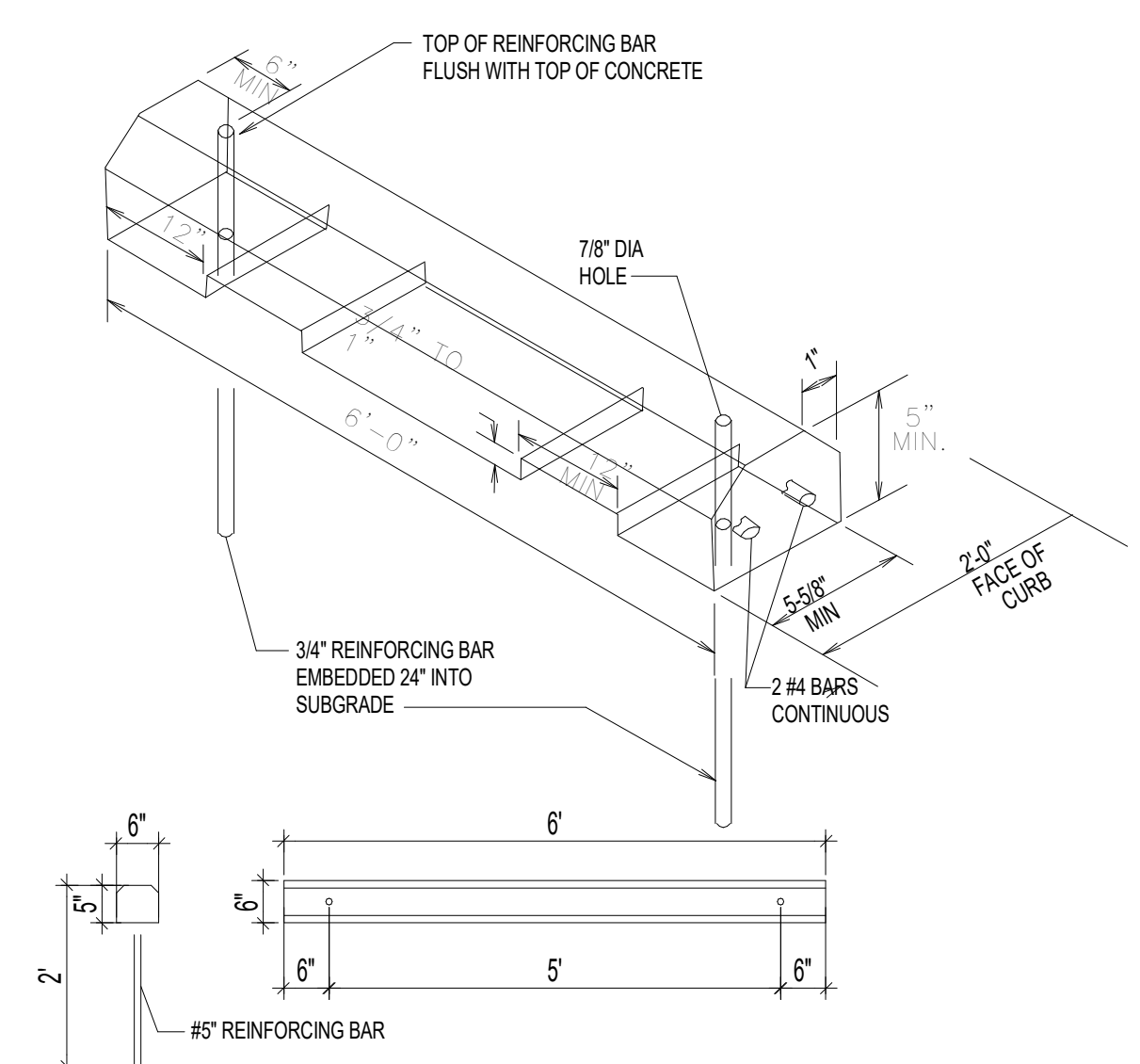
9 H.C PARKING-WALK PAINT DETAIL  
N.T.S.



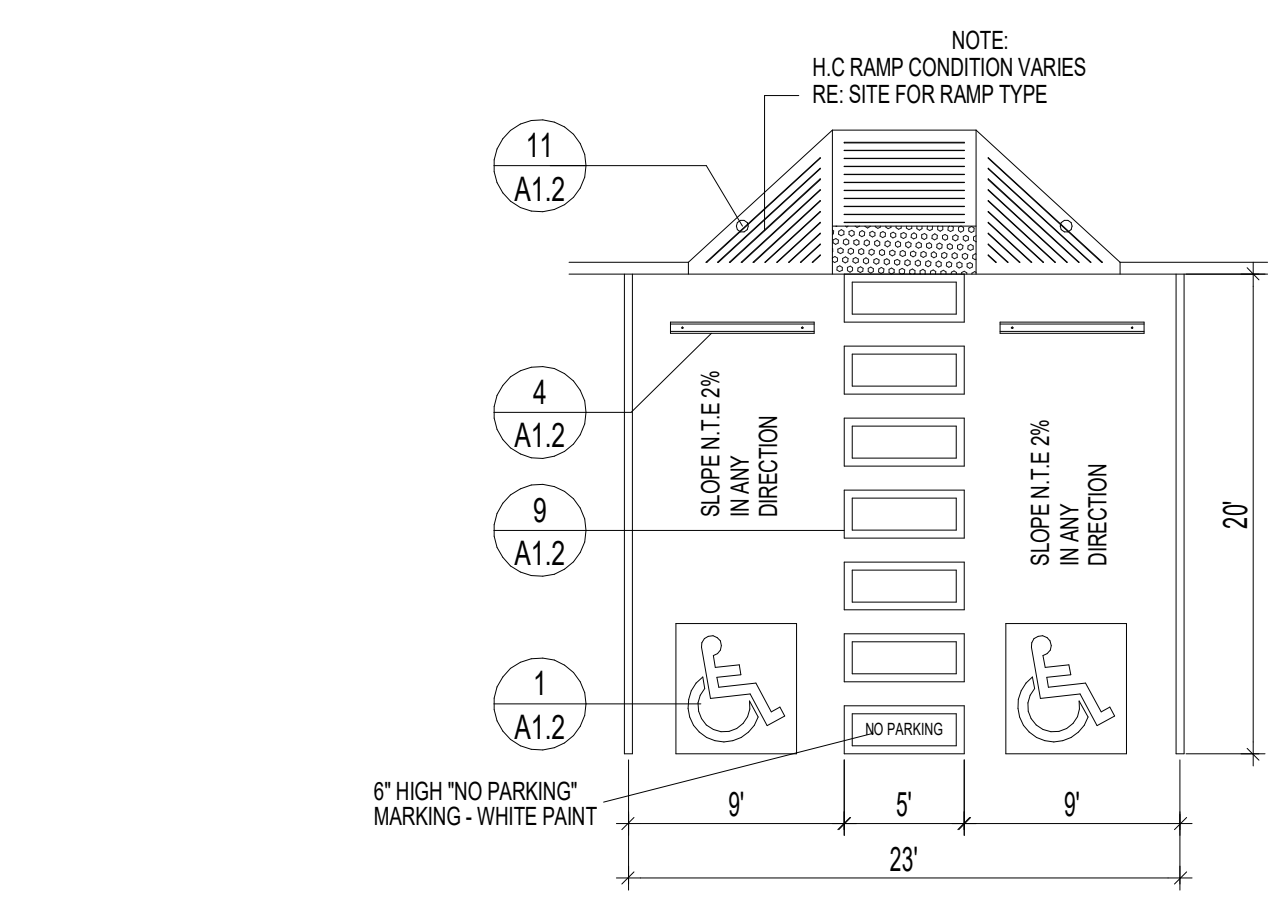
8 SITE DIRECTIONAL PAINT DETAIL  
N.T.S.



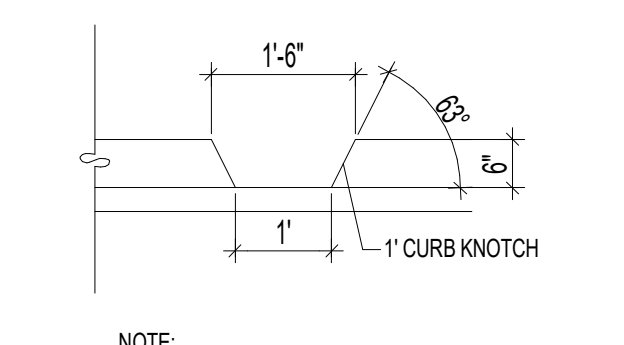
6 CONCRETE FLUME DETAIL  
N.T.S.



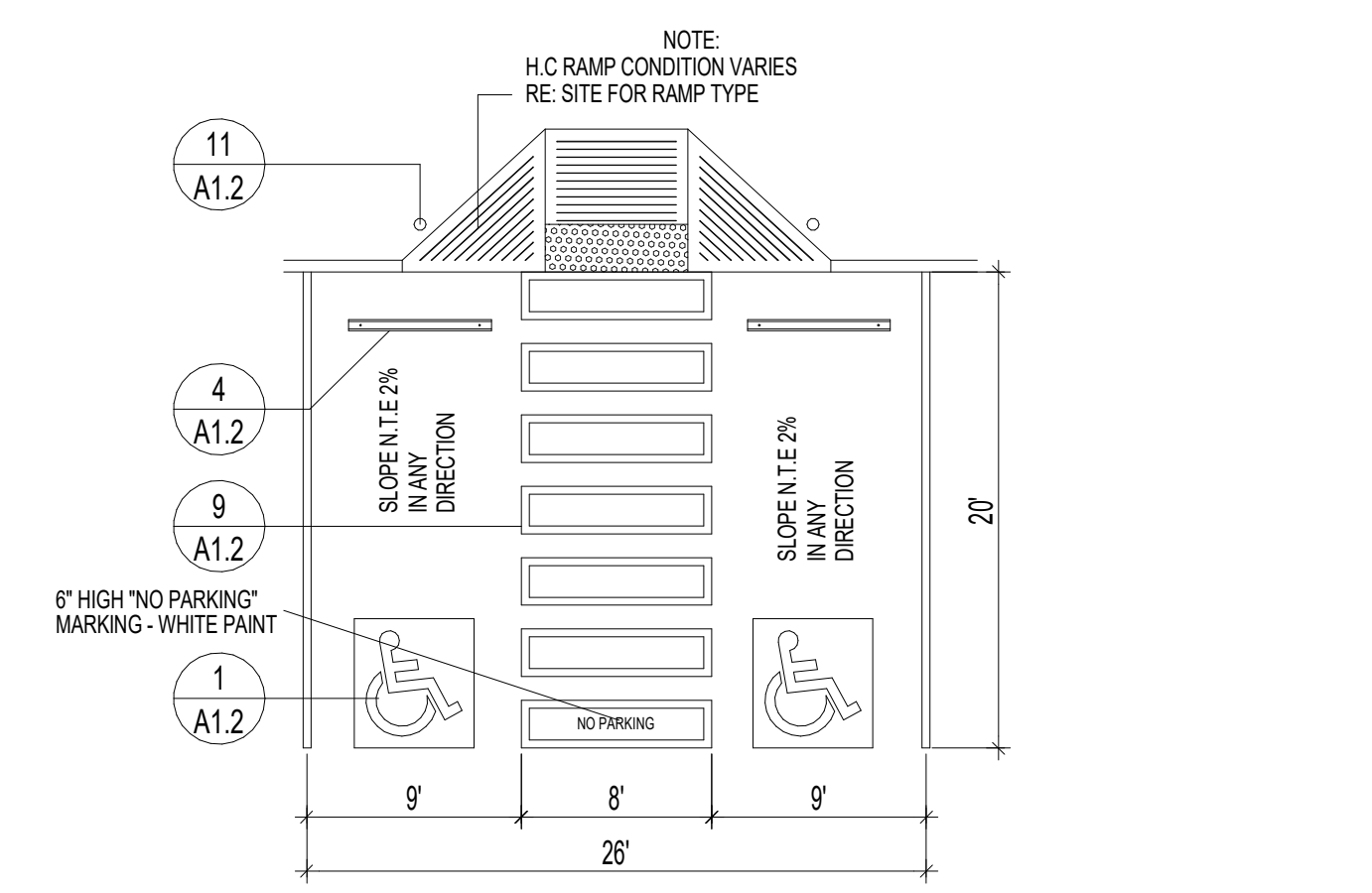
4 WHEEL STOP  
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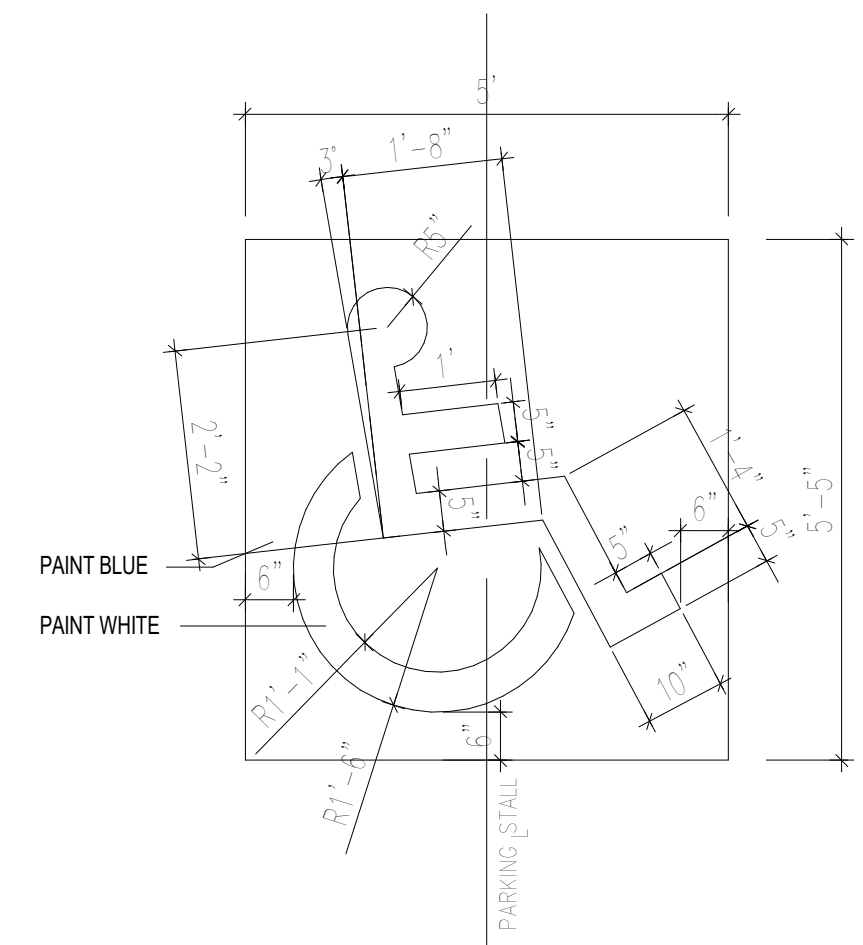
3 H.C PARKING PLAN DETAIL  
N.T.S.



7 CURB NOTCH  
N.T.S.



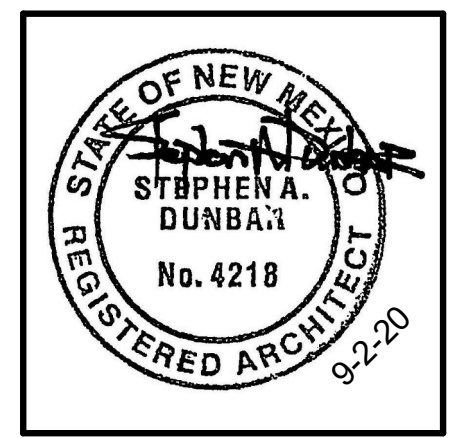
2 H.C PARKING PLAN DETAIL (VAN ACCESIBLE)  
N.T.S.



1 H.C SIGNAGE  
N.T.S.

REV	DATE	BY	REVISION

**MODULUS ARCHITECTS**  
 100 SUN AVENUE NE SUITE 600  
 ALBUQUERQUE, NEW MEXICO 87109  
 PHONE (505) 338-1499 FAX (505) 338-1498  
 TOLL FREE 1-866-224-2161



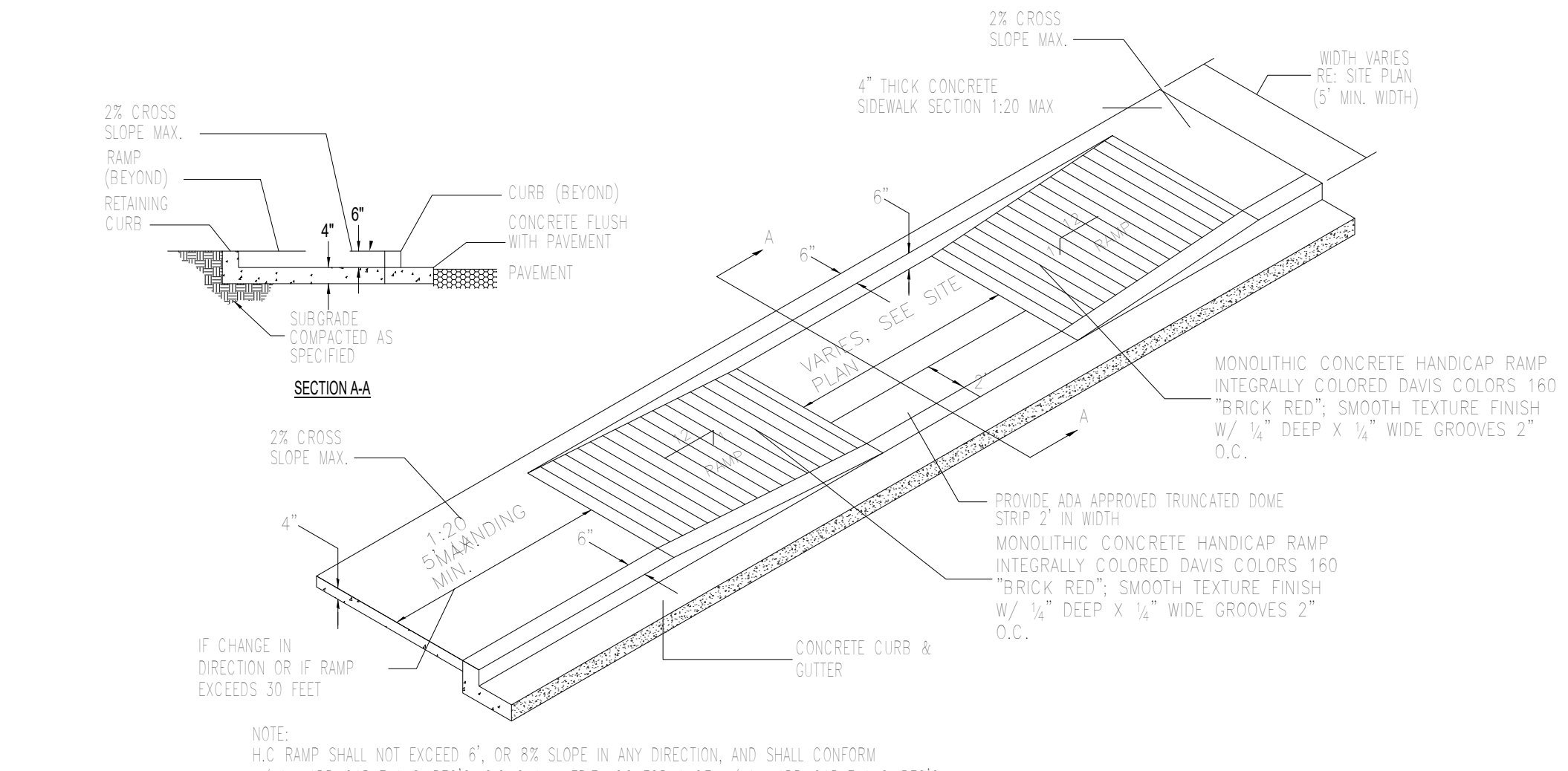
**ADMINISTRATIVE AMENDMENT**

PROJECT TITLE: **BOSQUE EUBANK**  
 5210 EUBANK BLVD. NE ALBUQUERQUE, NM 87111

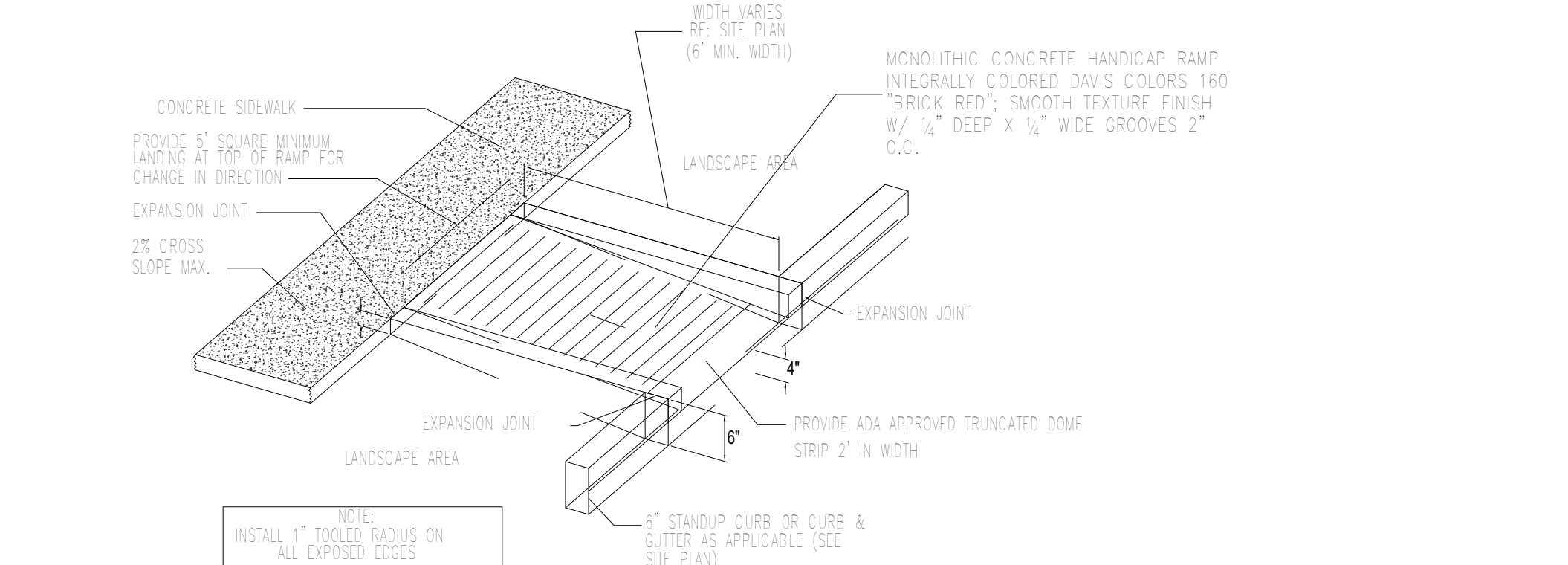
PROJECT MANAGER: **STEPHEN A. DUNBAR**  
 JOB NO.: **9-28-20**  
 DRAWN BY: **STEPHEN A. DUNBAR**

SHEET TITLE: **SITE DETAILS**

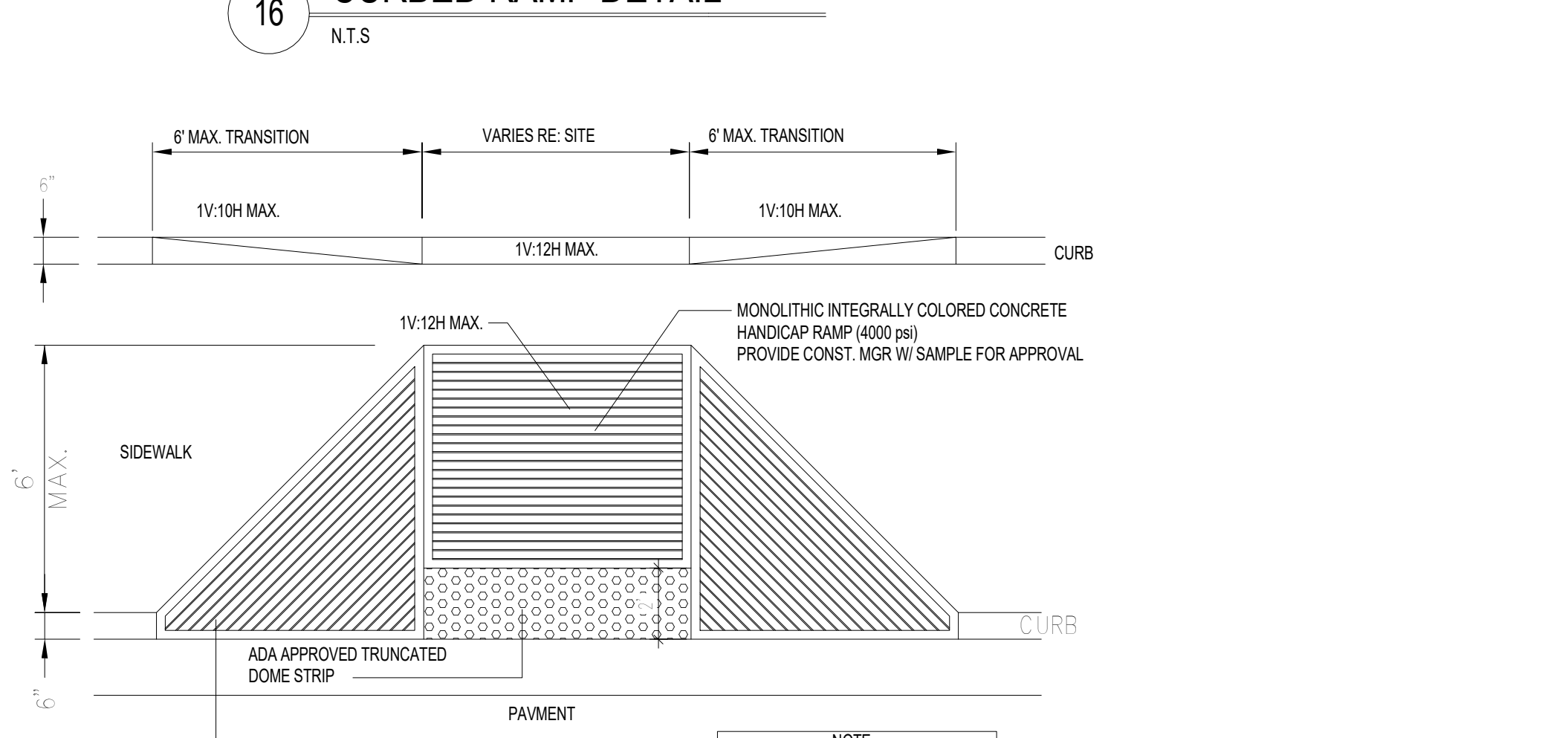
DATE: 9-28-20	SHEET: AA2
SCALE:	



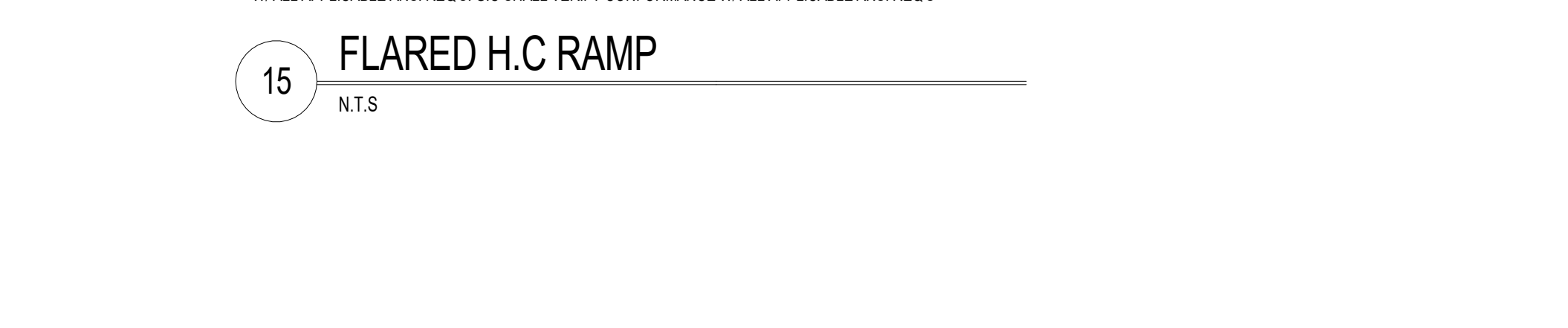
**17 TAPERED RAMP DETAIL**  
N.T.S.



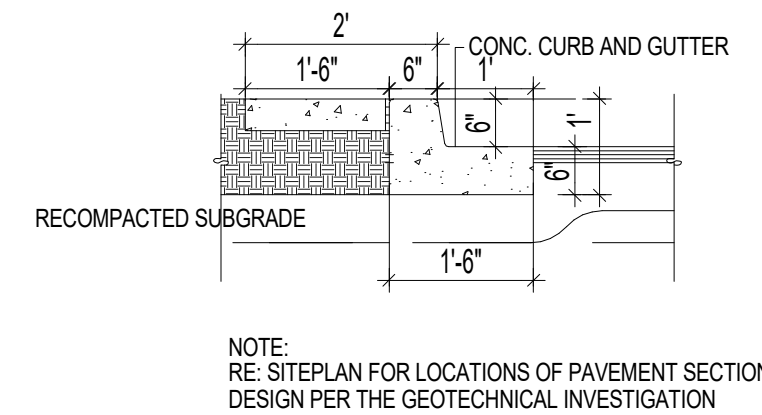
**16 CURBED RAMP DETAIL**  
N.T.S.



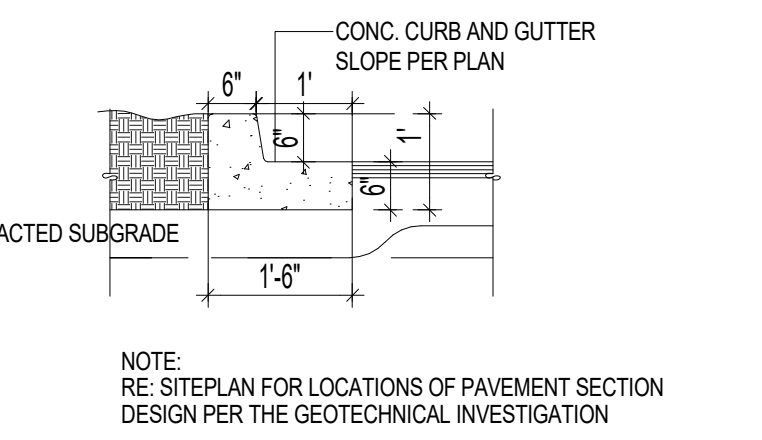
**15 FLARED H.C RAMP**  
N.T.S.



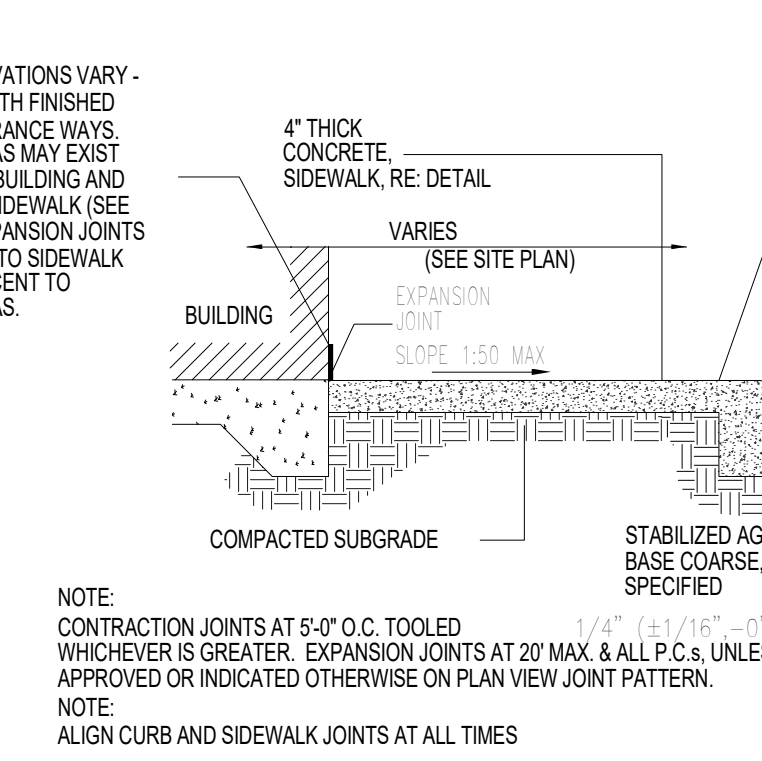
**15 FLARED H.C RAMP**  
N.T.S.



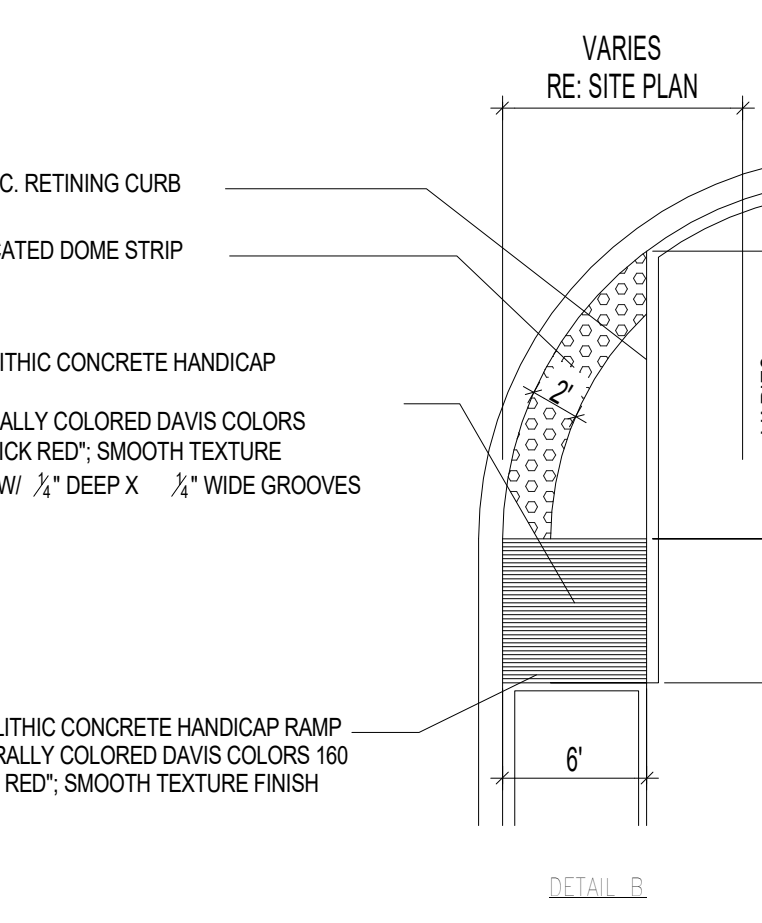
**11 ISLAND CURB DETAIL**  
N.T.S.



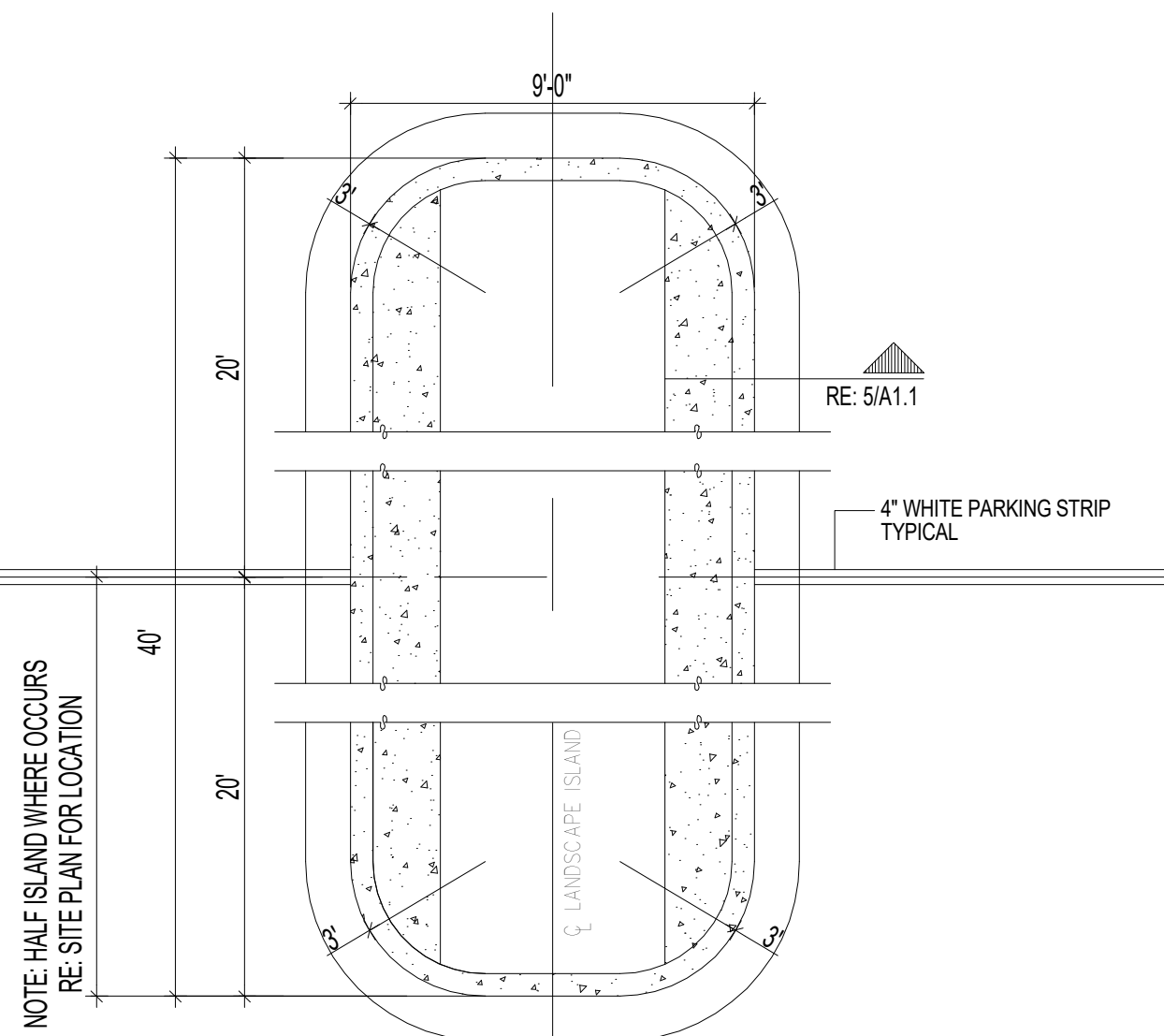
**10 TYPICAL CURB DETAIL**  
N.T.S.



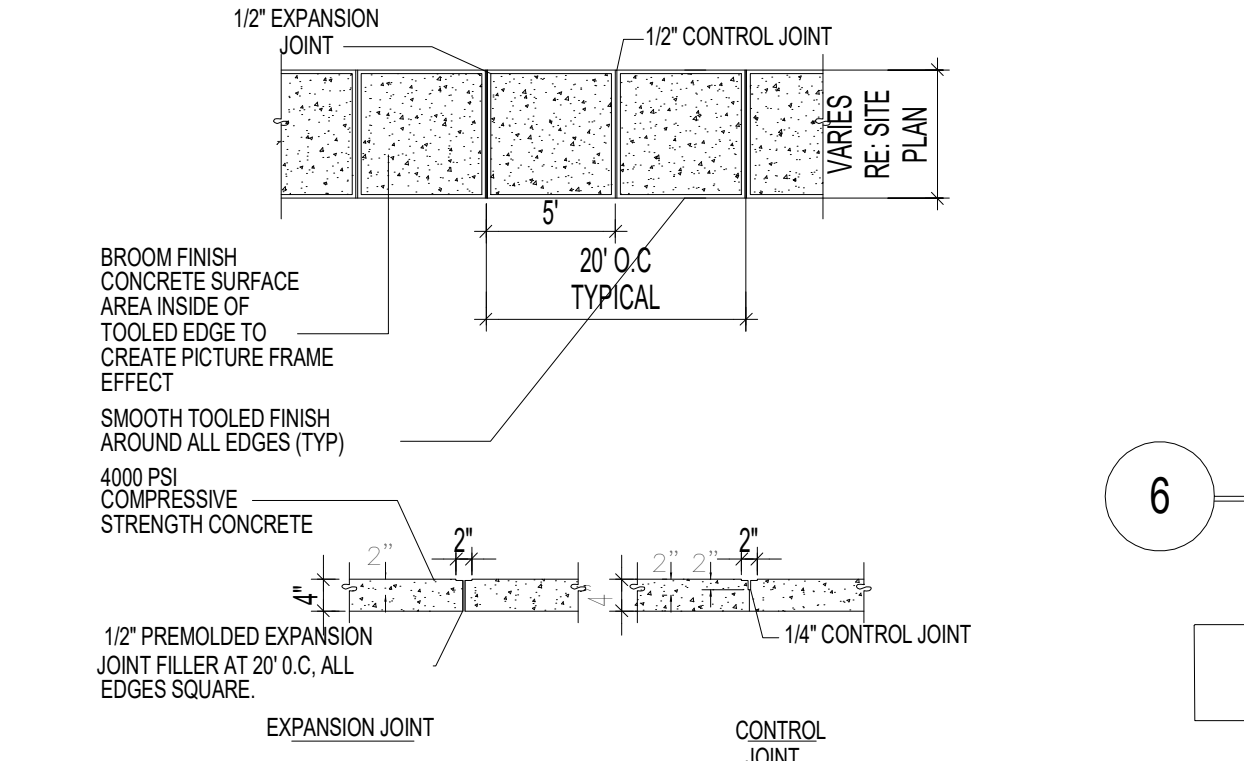
**8 SIDEWALK WITH TURNDOWN CURB SEC.**  
N.T.S.



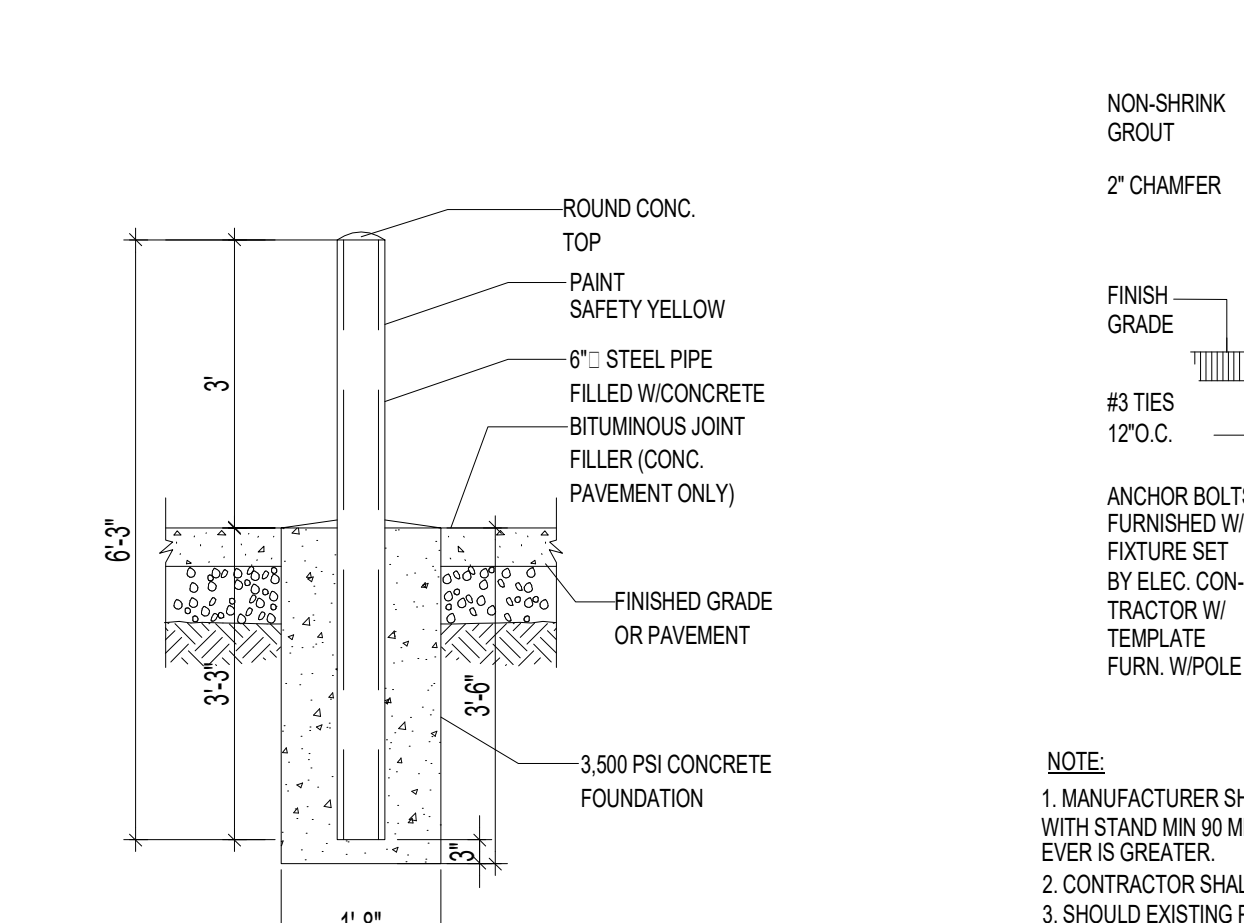
**5 END ISLAND WITH WALK RAMP**  
N.T.S.



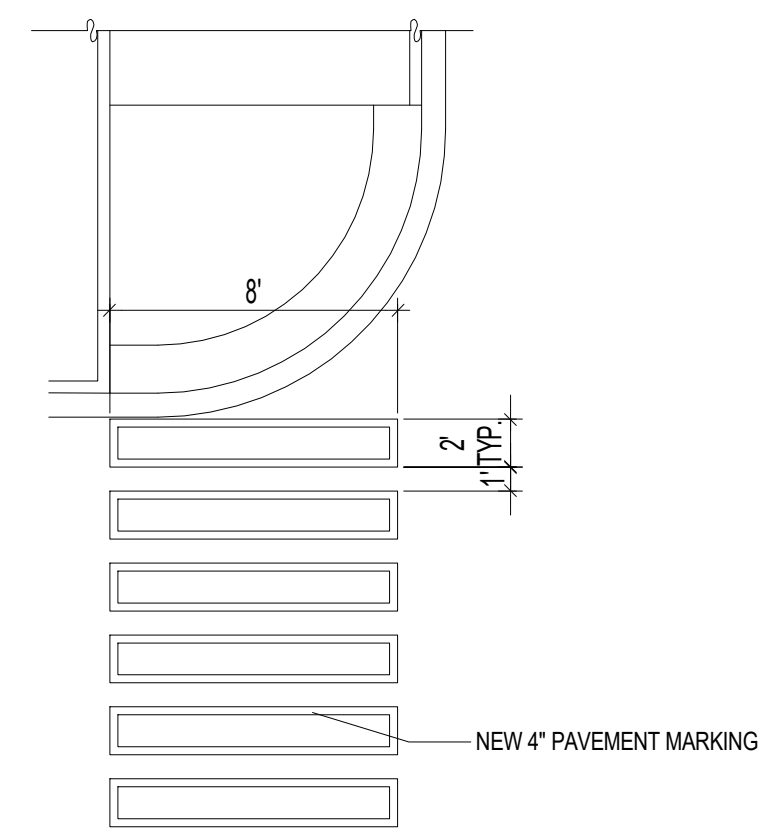
**9 ISLAND DETAIL**  
N.T.S.



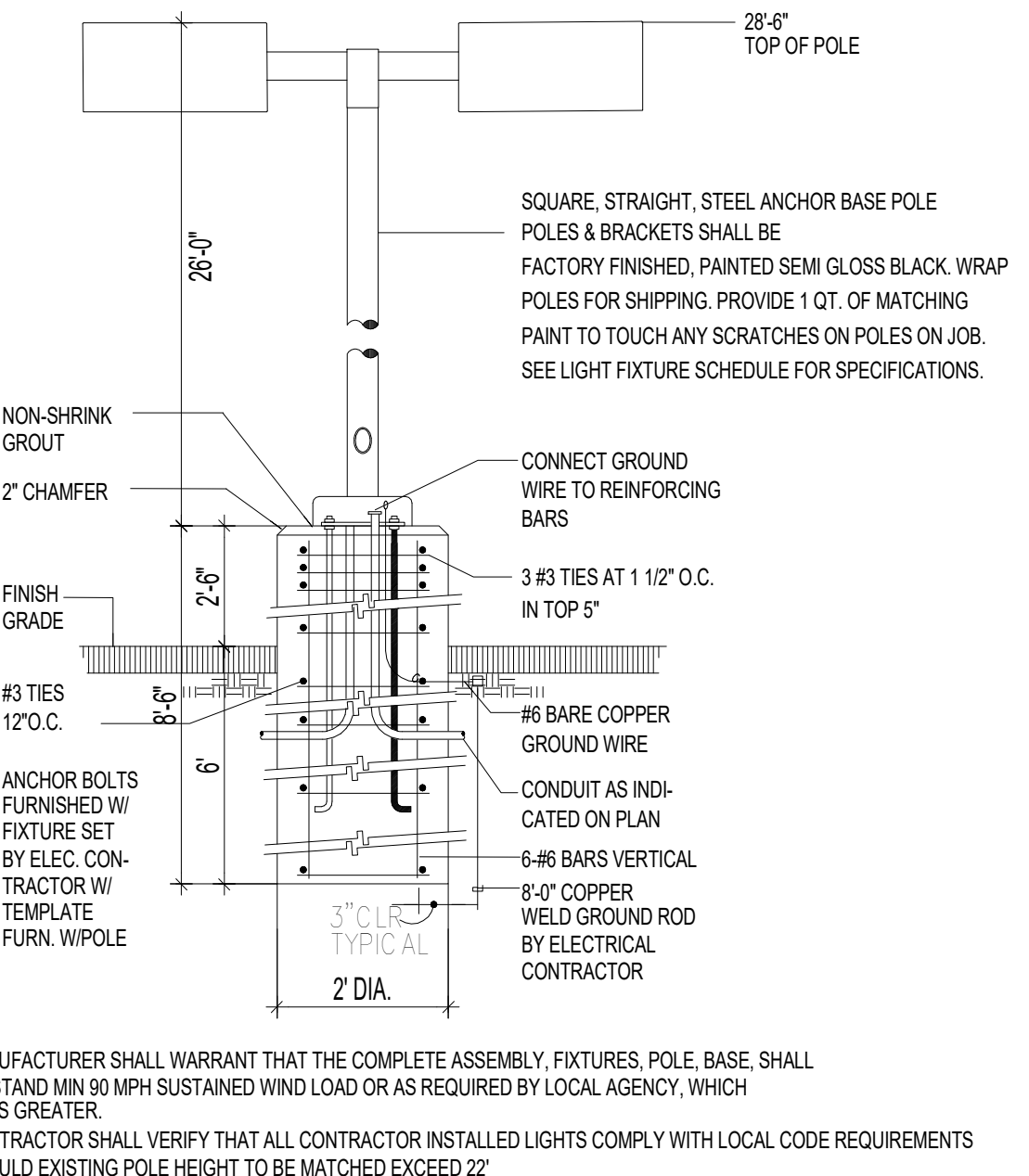
**7 TYPICAL SIDEWALK**  
N.T.S.



**4 BOLLARD DETAIL**  
N.T.S.



**6 TYPICAL CONC. CROSSWALK**  
N.T.S.



**3 LIGHT POLE DETAIL**  
N.T.S.

REV	DATE	BY	REVISION

**MODULUS ARCHITECTS**  
 100 SUN AVENUE NE SUITE 305  
 ALBUQUERQUE, NEW MEXICO 87109  
 PHONE (505) 338-1499 FAX (505) 338-1498  
 TOLL FREE 1-866-224-2161

STATE OF NEW MEXICO  
**STEPHEN A. DUNBAR**  
 No. 4218  
 REGISTERED ARCHITECT  
 9-2-20

**ADMINISTRATIVE AMMENDMENT**

PROJECT TITLE: **BOSQUE EUBANK**  
 Enter address here

PROJECT MANAGER: \_\_\_\_\_ JOB NO. \_\_\_\_\_ DRAWN BY: \_\_\_\_\_  
 Project Number: \_\_\_\_\_

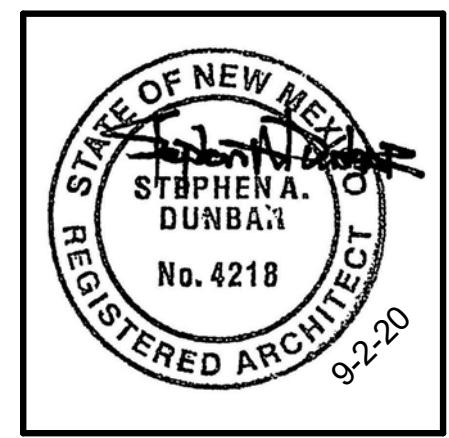
SHEET TITLE: **ARCHITECTURAL SITE DETAILS**

DATE: 9-2-20	SHEET: AA1
SCALE:	

- GENERAL NOTES:
- METAL PANEL TO BE RIBBED OR CORRUGATED, TYP.
  - COLORS SELECTED FROM STANDARD COLOR CHART.
  - METAL CANOPY CAN ONLY BE INSTALLED IF FIRE PROTECTION IS NOT REQUIRED.
  - WINDOW MULLIONS TO BE STANDARD COLOR TO MATCH EXISTING MULLION COLOR.

REV	DATE	BY	REVISION

**MODULUS ARCHITECTS**  
 100 SUN AVENUE NE SUITE 305  
 ALBUQUERQUE, NEW MEXICO 87109  
 PHONE (505) 338-1499 FAX (505) 338-1498  
 TOLL FREE 1-866-224-2161

**ADMINISTRATIVE AMMENDMENT**

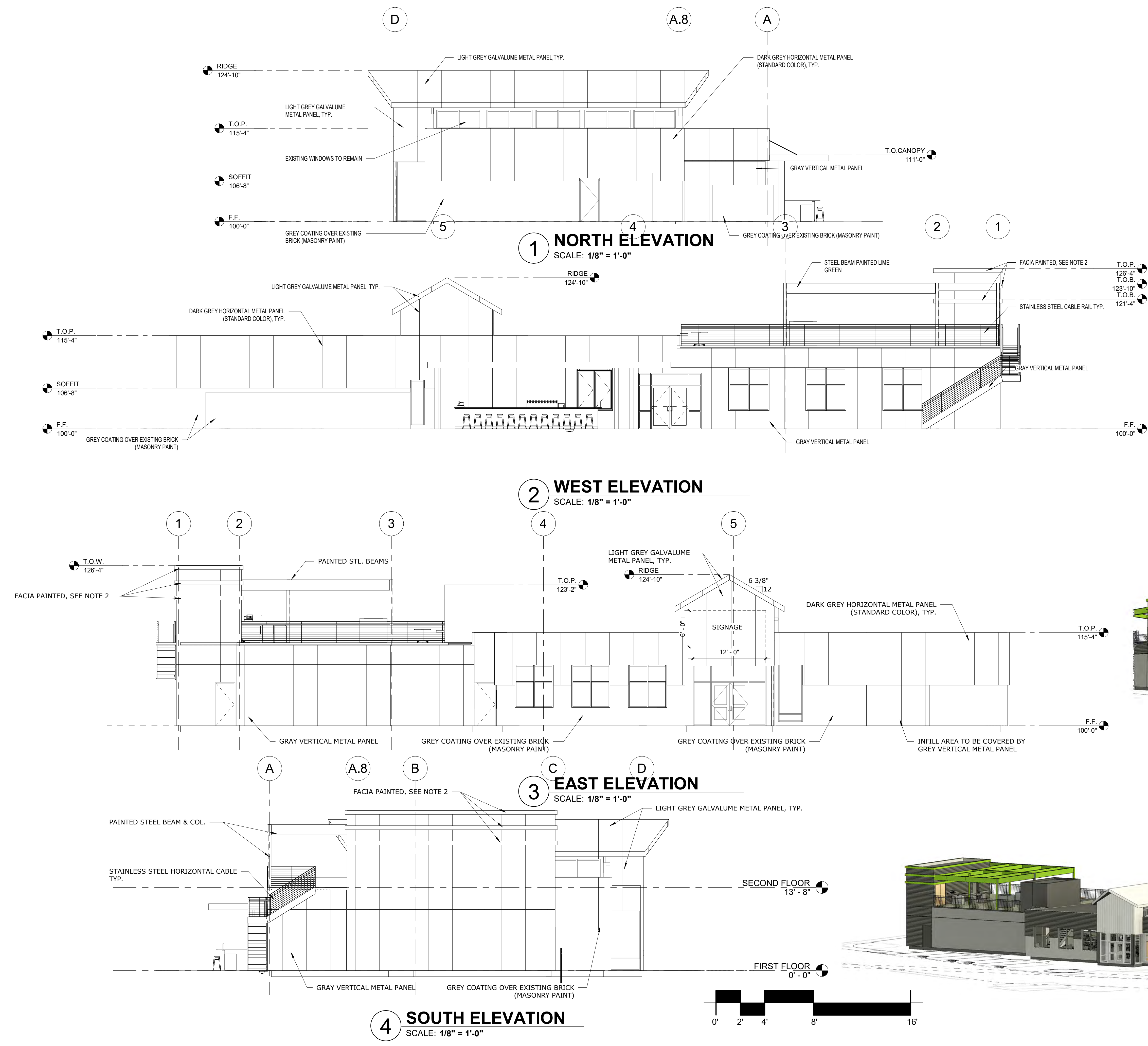
PROJECT TITLE: **BOSQUE EUBANK**  
 Enter address here

PROJECT MANAGER: \_\_\_\_\_  
 JOB NO. \_\_\_\_\_  
 Project Number \_\_\_\_\_

DRAWN BY: \_\_\_\_\_

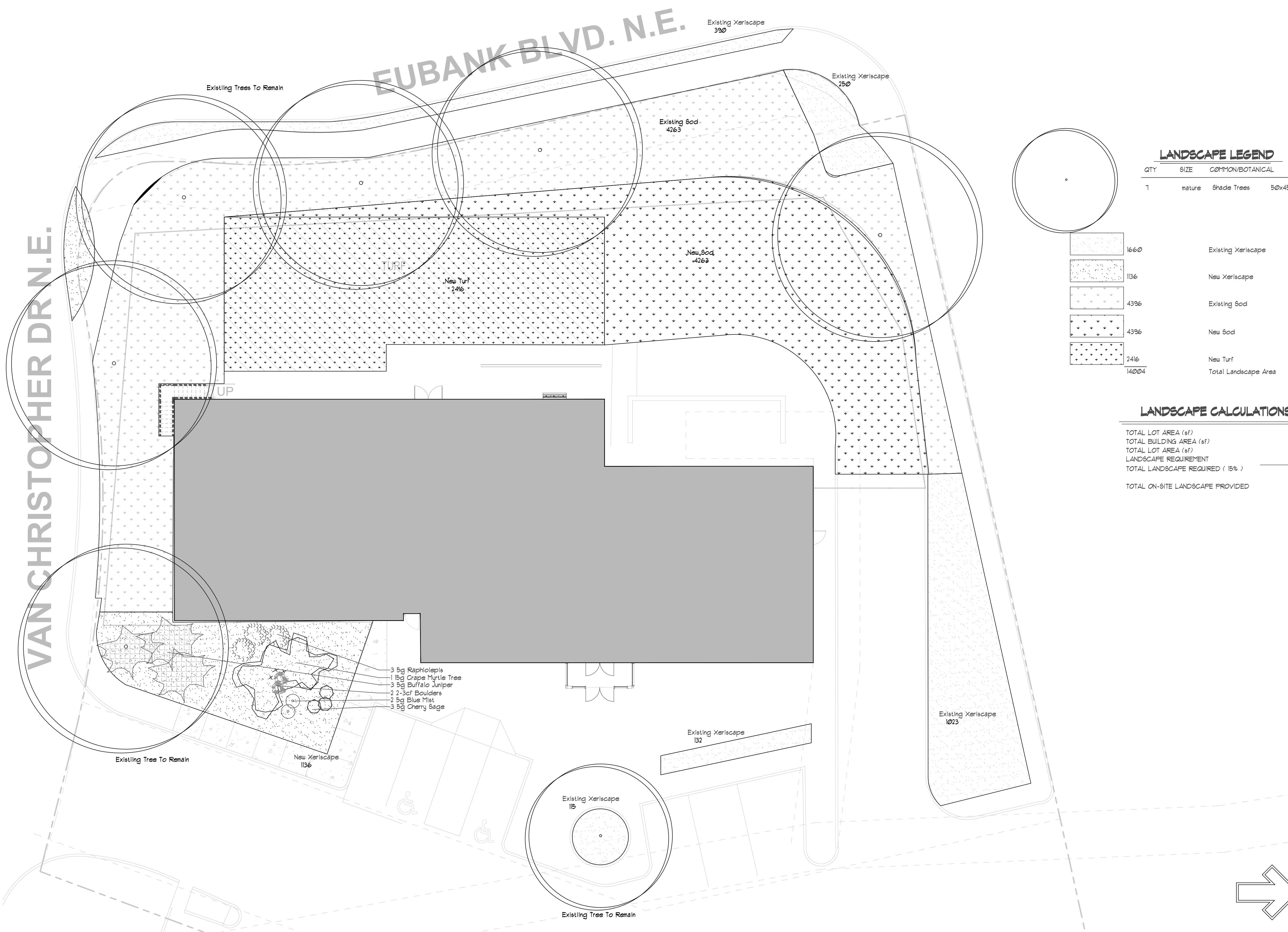
SHEET TITLE: **ELEVATIONS**

DATE: 9-2-20	SHEET: <b>A20</b>
SCALE:	



VAN CHRISTOPHER DR N.E.

EUBANK BLVD. N.E.



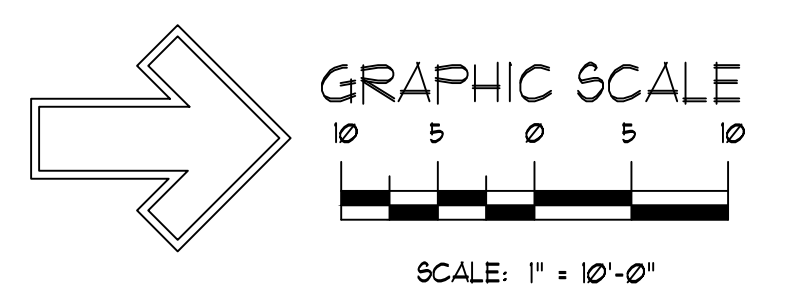
**LANDSCAPE LEGEND**

QTY	SIZE	COMMON/BOTANICAL
1	mature	Shade Trees 50x45
1660		Existing Xeriscape
1136		New Xeriscape
4396		Existing Sod
4396		New Sod
2416		New Turf
14004		Total Landscape Area

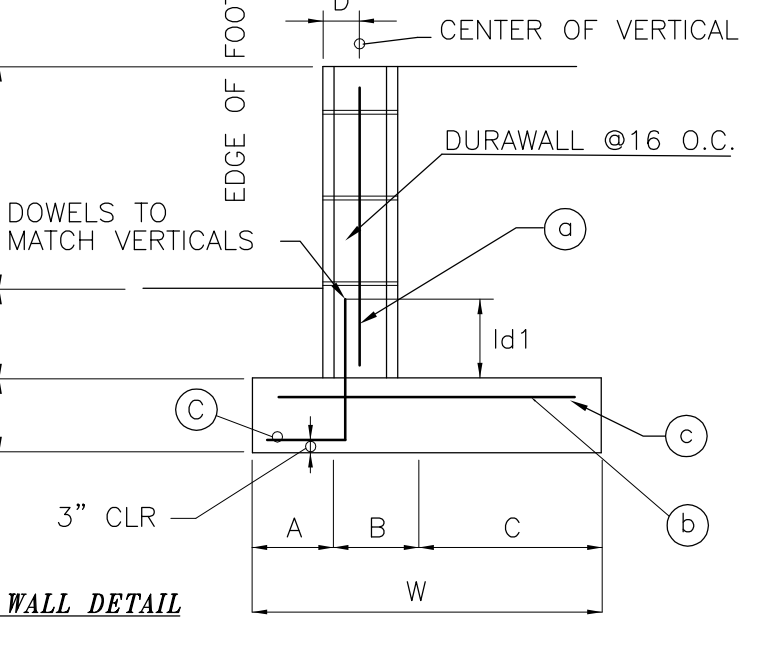
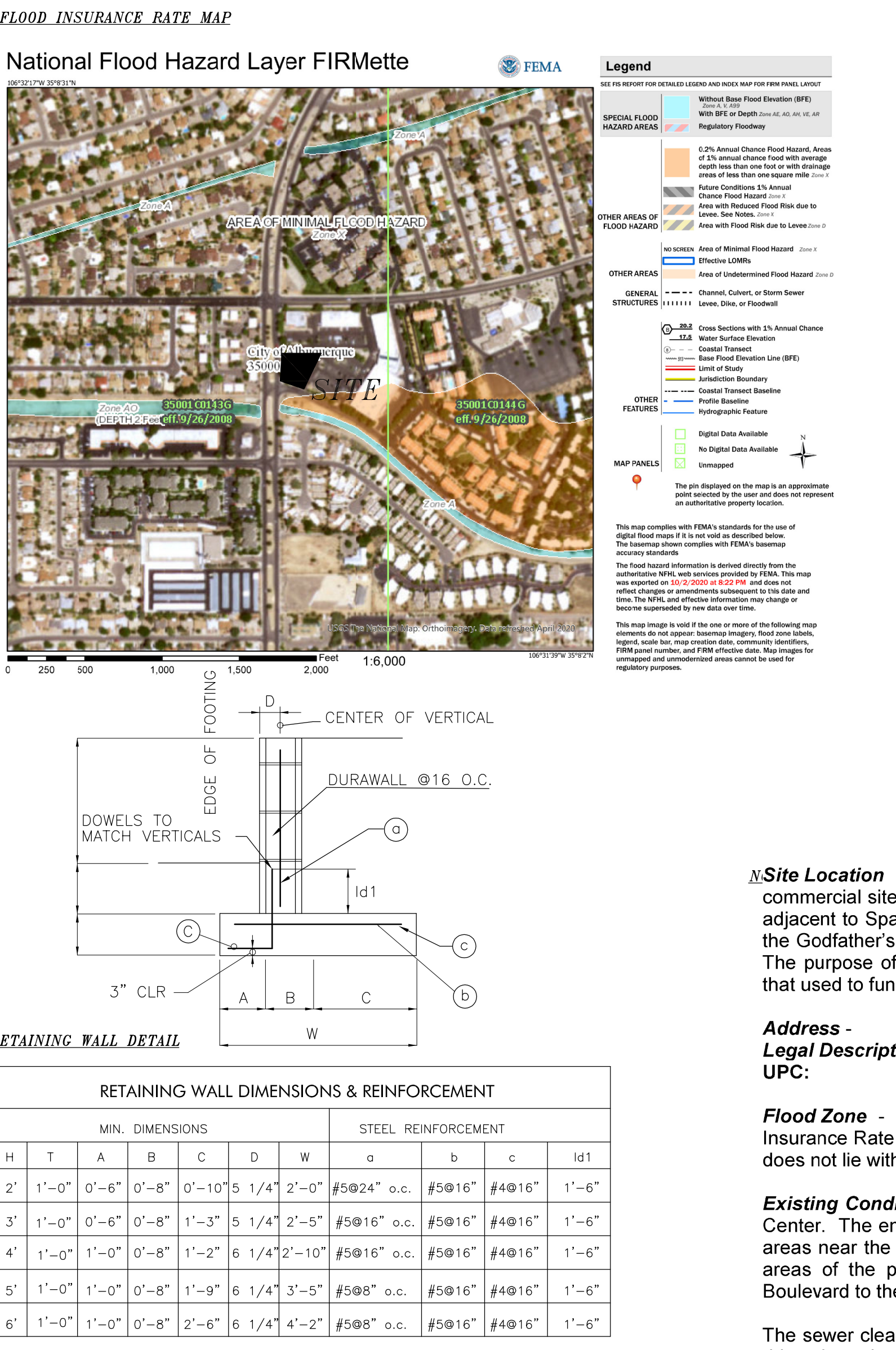
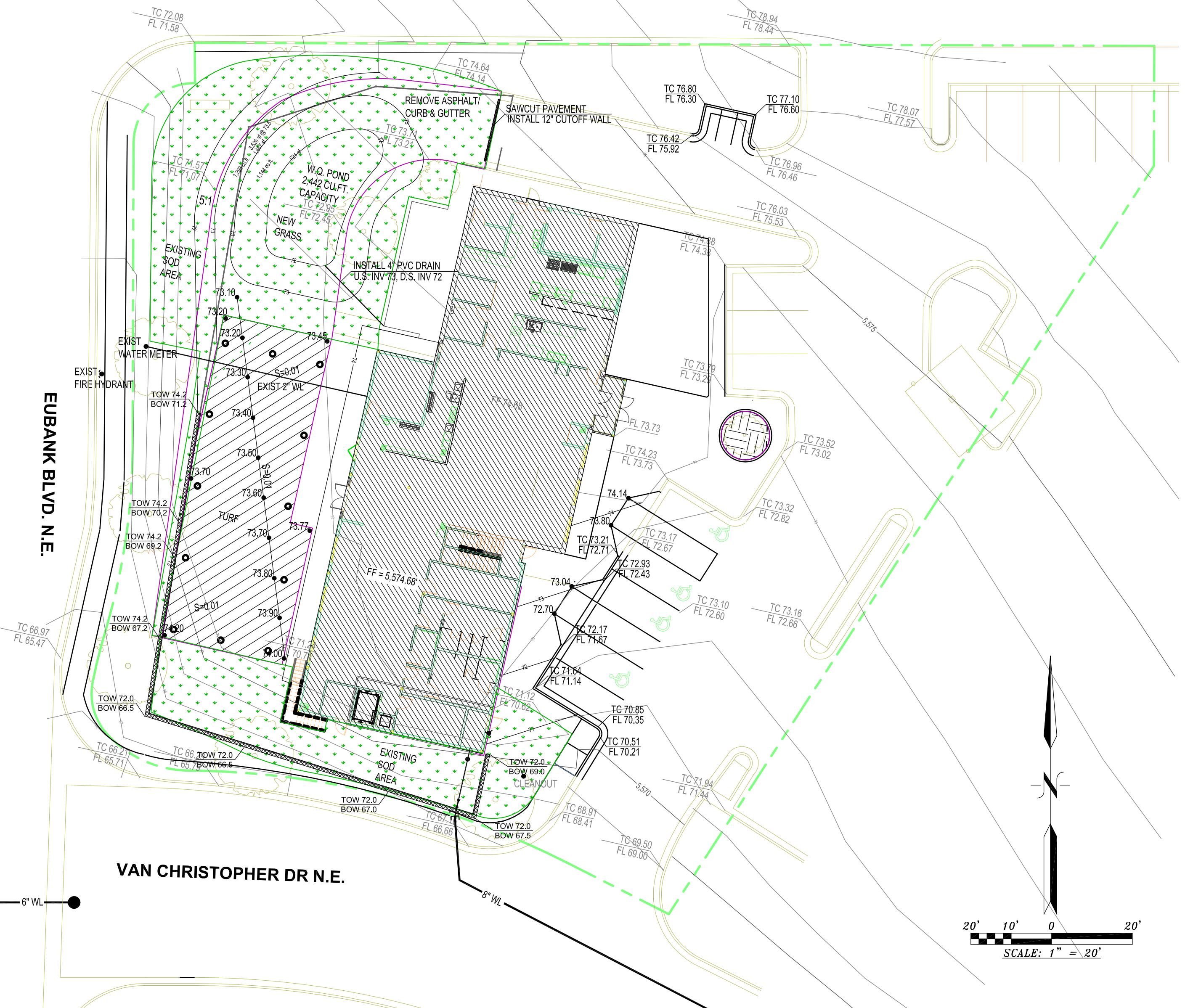
**LANDSCAPE CALCULATIONS**

TOTAL LOT AREA (sf)	42042
TOTAL BUILDING AREA (sf)	-6500
TOTAL LOT AREA (sf)	35462
LANDSCAPE REQUIREMENT	X .35
TOTAL LANDSCAPE REQUIRED (15%)	5315
TOTAL ON-SITE LANDSCAPE PROVIDED	14004

- 3 5g Raphiolepis
- 1 5g Grape Myrtle Tree
- 3 5g Buffalo Juniper
- 2 2-3cf Boulders
- 2 5g Blue Mist
- 3 5g Cherry Sage



DESIGNED BY: <i>D. Mitchell</i>	REVISIONS
DRAWN BY: <i>JM</i>	DATE:
APPROVED BY:	COMMENT:
DATE:	
<p><b>NEW MEXICO ONE CALL</b> STATEWIDE - 811 OR 1-800-321-ALERT (2537) www.1monecall.org Call two working days before you dig.</p>	
<p><b>File ID:</b></p>	
<p><b>Landscape Plan</b></p>	
<p><b>Bosque Brewing</b> 5210 Eubank Blvd. NE Albuquerque, NM 87150</p>	
<p><b>Mitchell Associates, LLC</b>  Danny Mitchell Landscape Architecture danny@mitchellassociatesllc.com</p>	
<p>505.639.9563</p>	
<p>Seal: Landscape Architect</p> <p>August 31, 2020</p>	
<p>DRAWING NO: <b>LS-101</b></p>	



RETAINING WALL DIMENSIONS & REINFORCEMENT table with columns for MIN. DIMENSIONS (H, T, A, B, C, D, W) and STEEL REINFORCEMENT (#, size, spacing).

Site Location - As shown by the Vicinity Map, Zone Atlas D-21, the 40,000 square foot commercial site is located on the east side of Eubank Boulevard in the Promenade Shopping Center adjacent to Spain Boulevard.

Address - 5210 EUBANK BLVD NE ALBUQUERQUE NM 87111
Legal Description - TRACT 2 SUBDIVISION PLAT MAP FOR THE PROMENADE 102106101726322002

Flood Zone - As shown by Panel 143G of 825 of the National Flood Insurance Program Flood Insurance Rate Maps (FIRM) for Bernalillo County, New Mexico, dated September 26, 2008, this site does not lie within a designated flood hazard zone.

Existing Conditions - Currently, the site is fully developed and is part of the Promenade Shopping Center. The entire shopping center is paved and impervious other than the small grass landscaping areas near the buildings, between parking, or along Eubank Boulevard.

The sewer cleanout is located in the grass landscaped area near the southeast corner of the current drive through structure. The water meter is located near an existing fire hydrant on Eubank Boulevard directly west of the center of the existing building.

The John B. Robert Dam, Bear Canyon outfall channel is located adjacent to the south of the property across Van Christopher Drive. The entire shopping center drains to this channel at the Eubank crossing. The channel is concrete lined with a bottom width of 20-feet.

Proposed Conditions - The site is to be the new location for Bosque Brewing. The existing finish floor of the existing building will be extended to the south to encompass the area currently used as the old bank drive-through. To maintain the existing finish floor throughout the entire facility, a stem wall footing will be required. A new turf patio area is to be constructed off the southwest portion of the building.

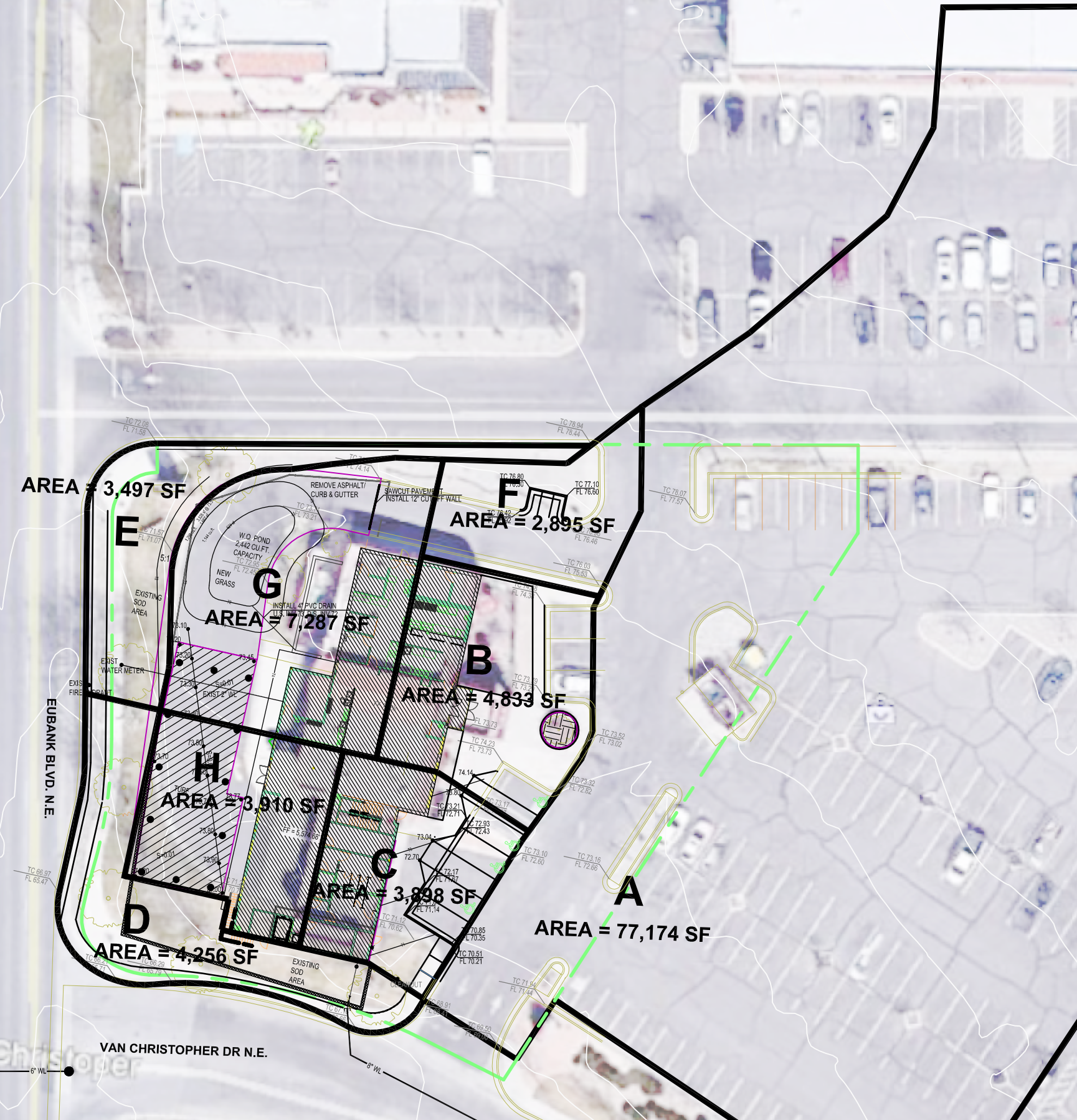
The capacity of the northern retention area was calculated at 2,442 cubic feet and the required water quality volume is only 881 cubic feet. The maximum inflow was found to be 2,555 cubic feet for the six hour storm which is just slightly higher than the capacity. Runoff in excess of the ponding capacity will overtop the grass berm and will sheet flow west to Eubank Boulevard.

Portions of the existing sidewalk area on the East side of the building will be converted to additional handicap parking for the new usage.

Hydrologic Methods - The drainage basin map shows eight separate sub-basins (A-H) impacting the project area to assess peak flow rates at various points around the project site culminating at either the retention basin, or Van Christopher Drive. The calculations which appear hereon analyze both the existing and developed conditions for the 100-year, 6-hour rainfall event. The process outlined in the DPM, Section 22.2 was used to quantify the peak flow rates and volumes. As shown by these calculations, the fully developed improvements will result in a significant decrease in runoff generated by the site due to the proposed retention area. When incorporating the proposed ponding, the downstream impact is reduced when comparing to allowable and/or historical conditions.

By controlling the calculated runoff within the retention area and maintaining the existing grass on the slopes, scour and erosion is expected to be reduced to a minimum amount. A spreadsheet for Precipitation Zone 4 is included on this plan. This spreadsheet outlines the peak runoff and volume generated for each sub-basin for existing and proposed fully developed conditions. Percentage of each land treatment is shown to illustrate the addition of impervious area related to the proposed construction. By routing the proposed developed discharge rates and volumes to the retention basin, the outfall is to be controlled by incorporating a limited capacity grass lined overflow section.

90% Compensatory Volume Management - The first flush has been mitigated based on the impervious areas listed on the attached spreadsheet. This equates to the total impervious area of the site multiplied by 0.615-inches or about 881 cubic feet for the ponding area. This storage has been provided on the plan by the retention basin as shown. The water quality ponding is not expected to exceed one foot in depth during the 100-year peak design storm.



Hydrologic Calculations - COA DPM 22.2 (100-Year, 6-Hour Storm) for 5210 Eubank NE - Bosque Brewing. Includes tables for Precipitation, Discharge, Volume, and Runoff Volume for both Existing and Developed Conditions.

Project title block and metadata containing drawing number (C1), scale (1" = 20'), designer (M.H.B.), drafter (T.D.S.), checker (BY), revision table, and professional seals for Mark H. Burak, P.E. and Brent K. Burak, Consulting Engineer.