

ADMINISTRATIVE AMENDMENT

FILE # _____ PROJECT # _____

APPROVED BY

DATE

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

November 10, 2020

Mark H. Burak, P.E.
1512 Sagebrush Trail SE
Albuquerque, NM, 87123

**RE: Chase Bank
5210 Eubank NE
Grading and Drainage Plan Stamp Date: 11/4/20
Hydrology File: F21D047A**

Dear Mr. Burak:

Based on the re-submittal received on 11/4/20, this project is approved for Administrative Amendment and Building Permit. As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance..

PO Box 1293

Albuquerque

Prior to Certificate of Occupancy (For Information):

NM 87103

1. Engineer's Certification, per the DPM Chapter 22.7: *Engineer's Certification Checklist For Non-Subdivision* is required.
2. For the Storm Water Quality Volume which is not being captured by ponding Payment in Lieu (Amount = 211CF x \$8/CF = \$1688, per sheet C1) of onsite management of the SWQV must be made. Take three copies of the treasury deposit slip to the Treasury and then include one copy of the paid deposit slip when resubmitting.

www.cabq.gov

If you have any questions, please contact me at 924-3986 or earnijo@cabq.gov.

Sincerely,

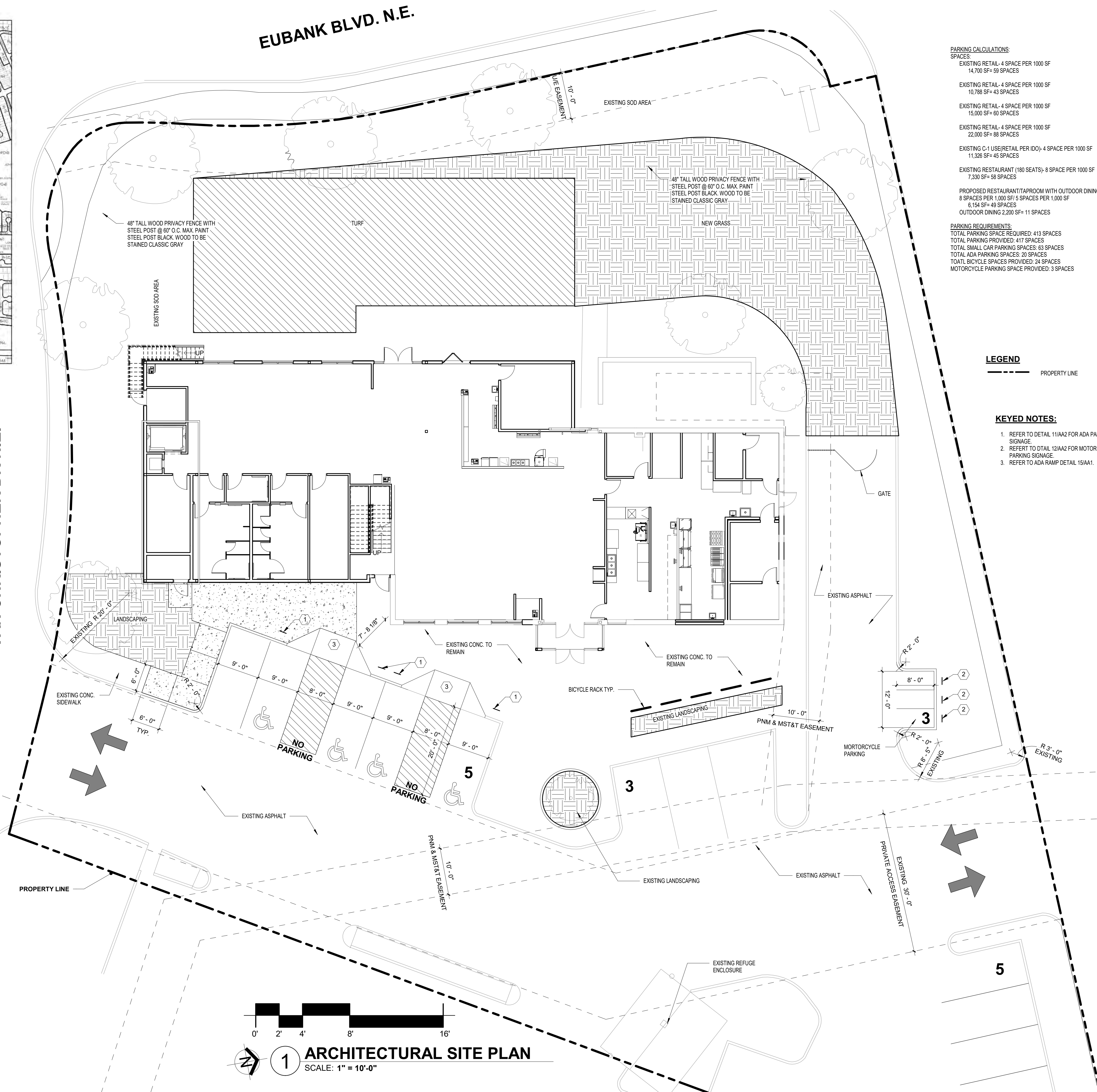
Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services



VACINITY MAP

VAN CHRISTOPHER DR. N.E.

EUBANK BLVD. N.E.



PARKING CALCULATIONS:

SPACES:

EXISTING RETAIL- 4 SPACE PER 1000 SF
14,700 SF= 59 SPACES

EXISTING RETAIL- 4 SPACE PER 1000 SF
10,788 SF= 43 SPACES

EXISTING RETAIL- 4 SPACE PER 1000 SF
15,000 SF= 60 SPACES

EXISTING RETAIL- 4 SPACE PER 1000 SF
22,000 SF= 88 SPACES

EXISTING C-1 USE (RETAIL PER IDO)- 4 SPACE PER 1000 SF
11,326 SF= 45 SPACES

EXISTING RESTAURANT (180 SEATS)- 8 SPACE PER 1000 SF
7,330 SF= 58 SPACES

PROPOSED RESTAURANT/TAPROOM WITH OUTDOOR DINING AREA-
8 SPACES PER 1,000 SF / 5 SPACES PER 1,000 SF
6,154 SF= 49 SPACES

OUTDOOR DINING 2,200 SF= 11 SPACES

PARKING REQUIREMENTS:

TOTAL PARKING SPACE REQUIRED: 413 SPACES

TOTAL PARKING PROVIDED: 417 SPACES

TOTAL SMALL CAR PARKING SPACES: 63 SPACES

TOTAL ADA PARKING SPACES: 20 SPACES

TOTAL BICYCLE SPACES PROVIDED: 24 SPACES

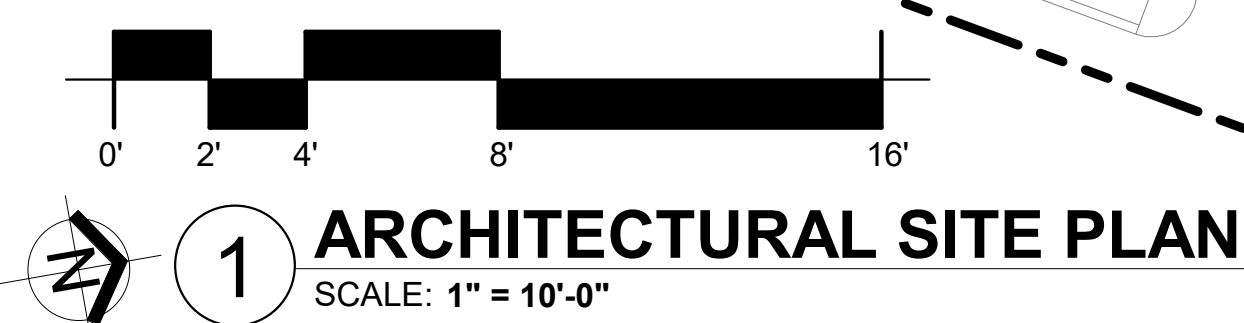
MOTORCYCLE PARKING SPACE PROVIDED: 3 SPACES

LEGEND

----- PROPERTY LINE

KEYED NOTES:

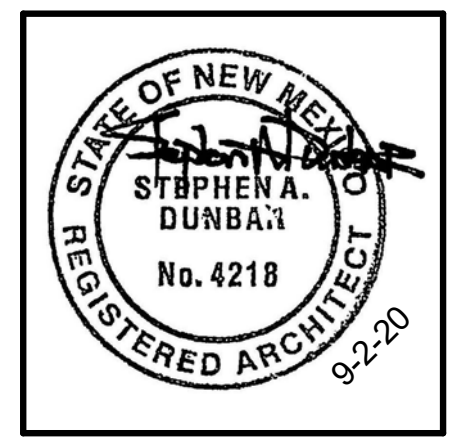
1. REFER TO DETAIL 11/A2 FOR ADA PARKING SIGNAGE.
2. REFER TO DETAIL 12/A2 FOR MOTORCYCLE PARKING SIGNAGE.
3. REFER TO ADA RAMP DETAIL 15/A1.



REV	DATE	BY	REVISION

MODULUS ARCHITECTS

100 SUN AVENUE NE SUITE 305
ALBUQUERQUE, NEW MEXICO 87109
PHONE (505) 338-1499 FAX (505) 338-1498
TOLL FREE 1-866-224-2161



ADMINISTRATIVE AMENDMENT

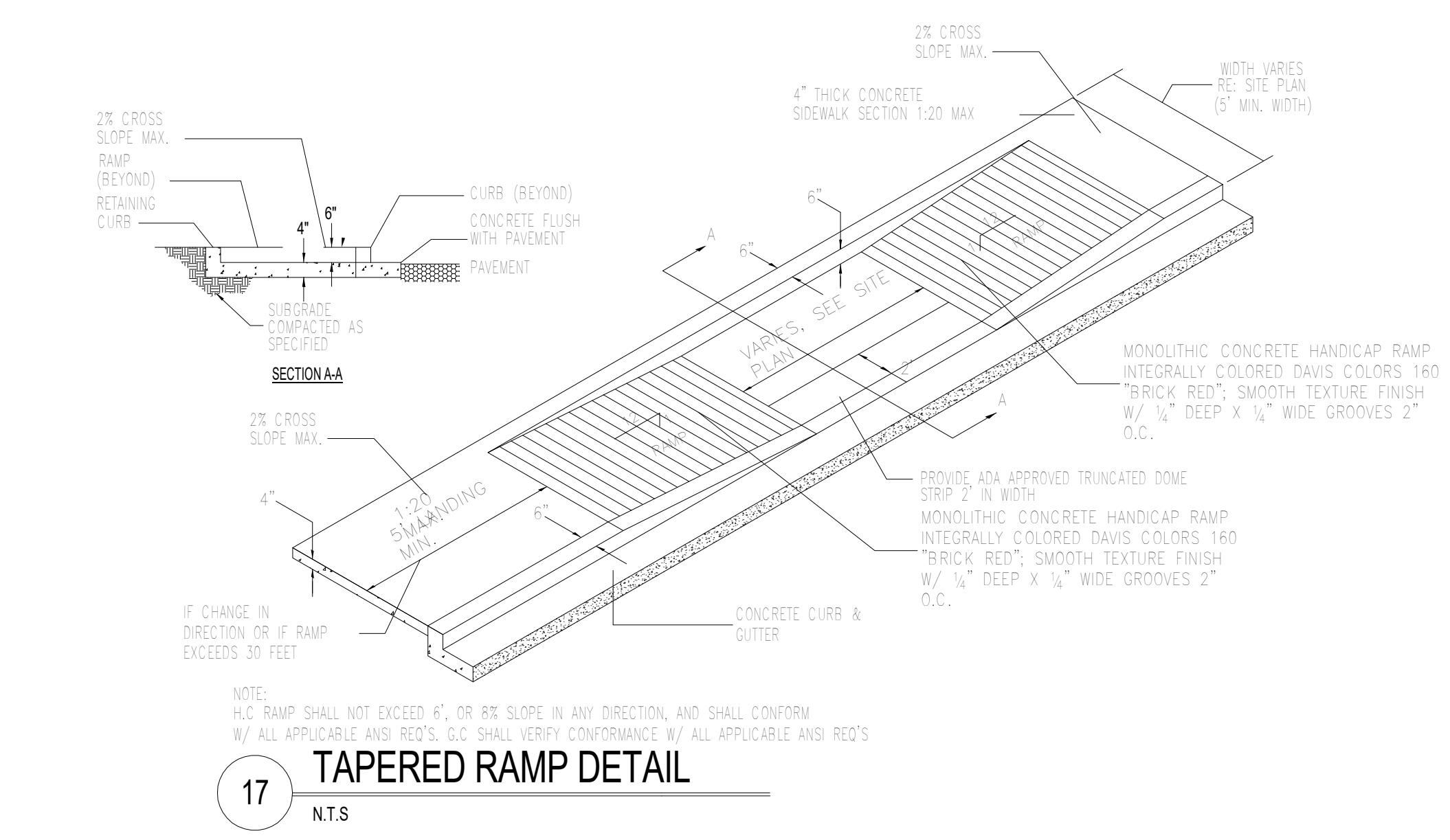
PROJECT TITLE
BOSQUE EUBANK
Enter address here

PROJECT MANAGER
JOB NO.
Project Number

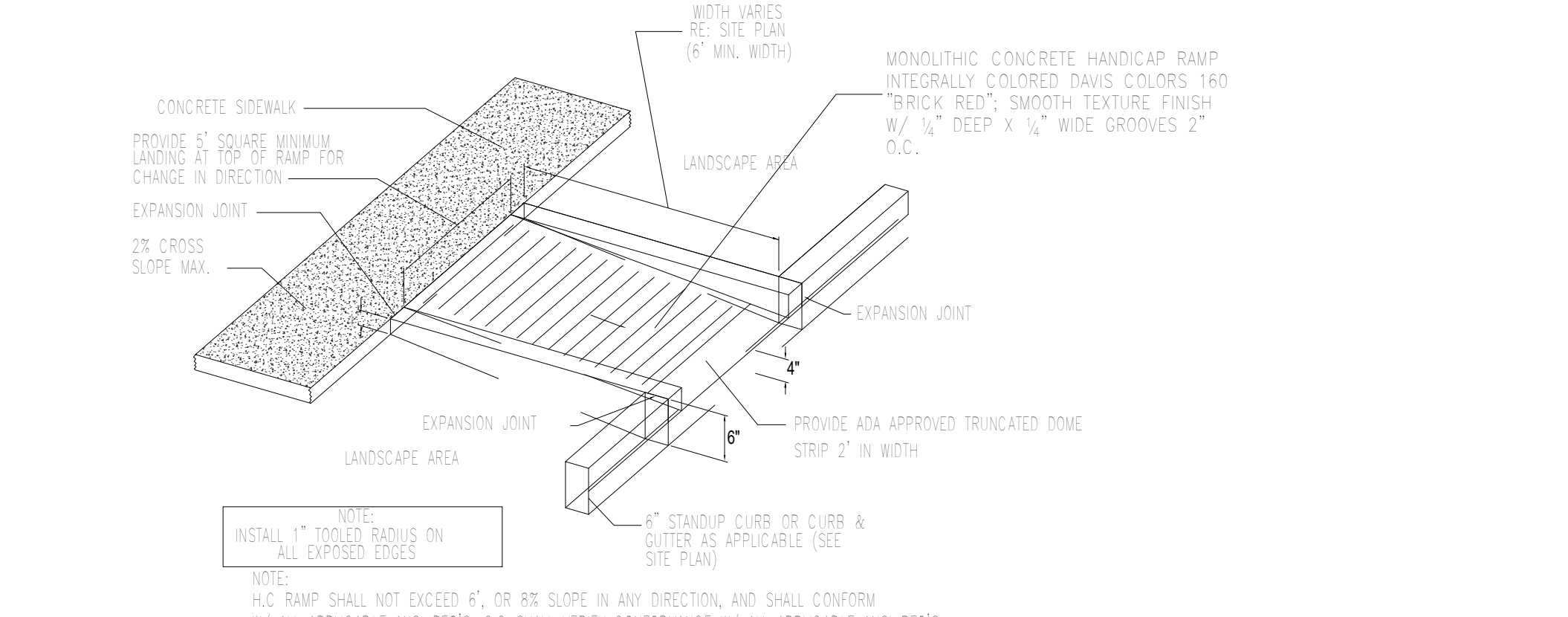
DRAWN BY:

SHEET TITLE
ARCHITECTURAL SITE PLAN

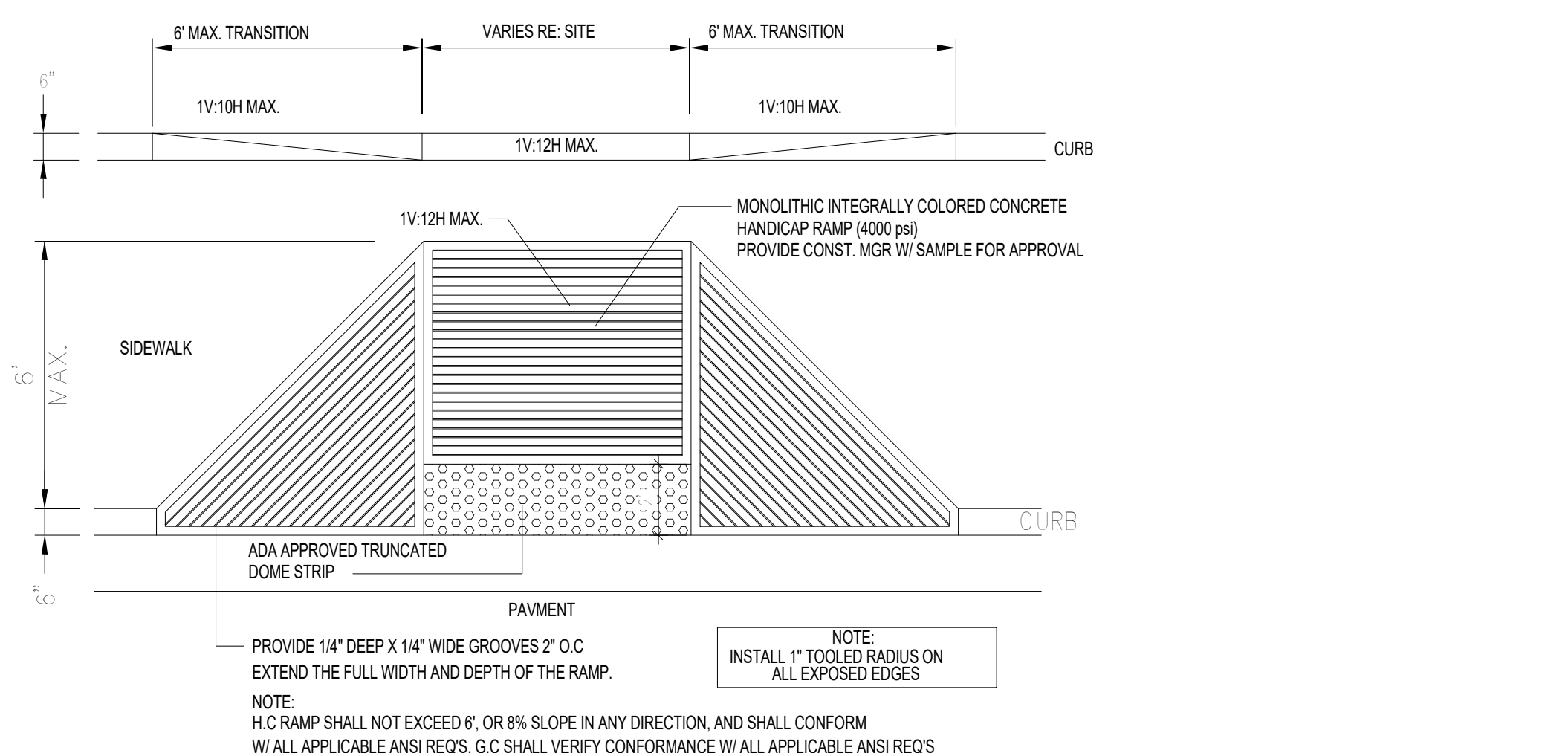
DATE 9-2-20	SHEET AA
SCALE:	



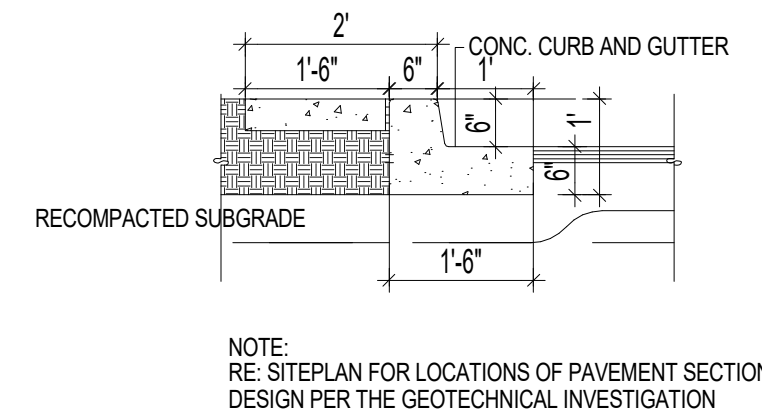
17 TAPERED RAMP DETAIL
N.T.S.



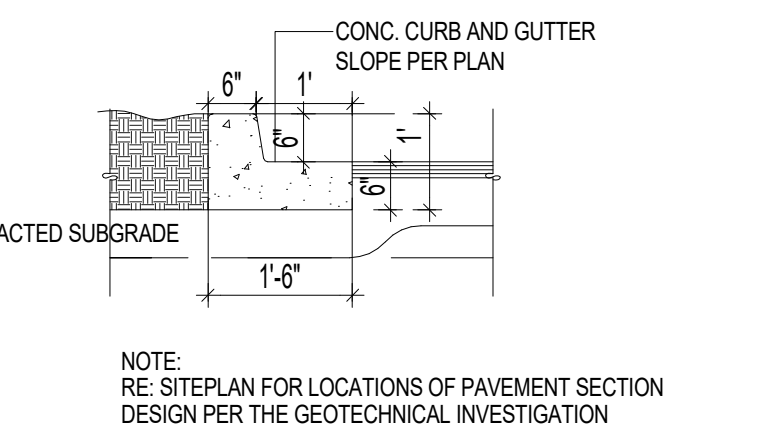
16 CURBED RAMP DETAIL
N.T.S.



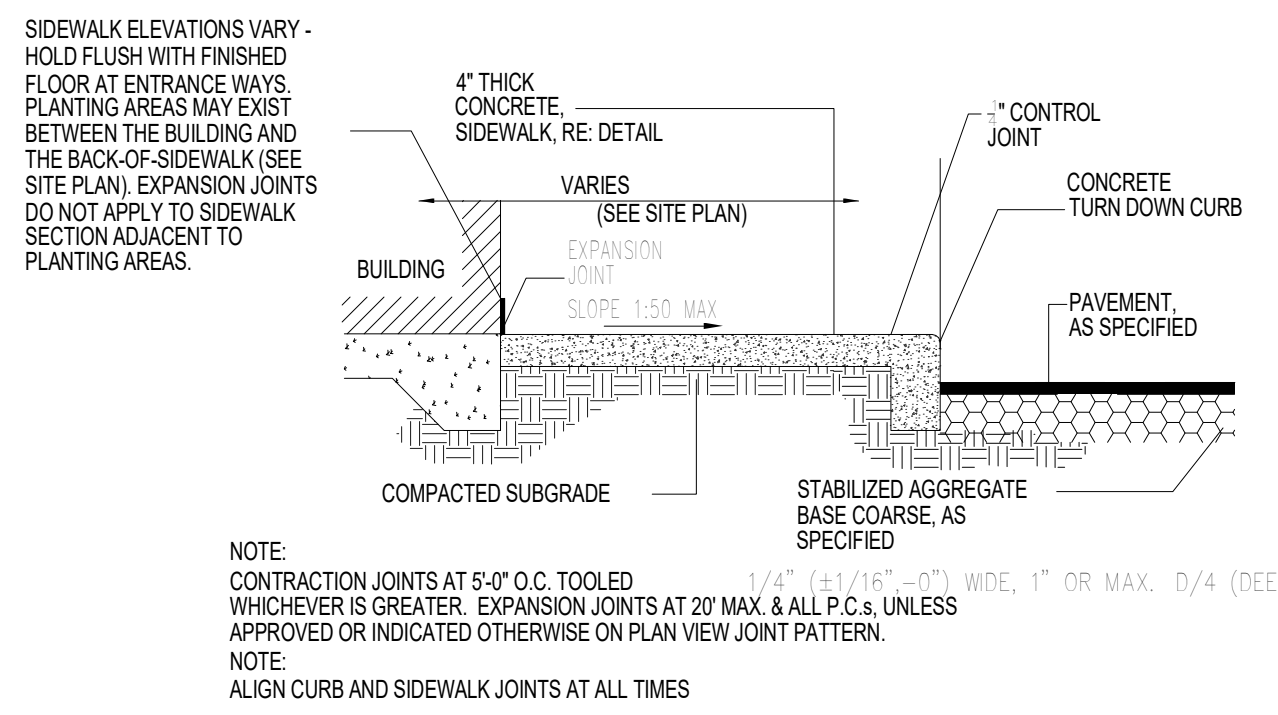
15 FLARED H.C RAMP
N.T.S.



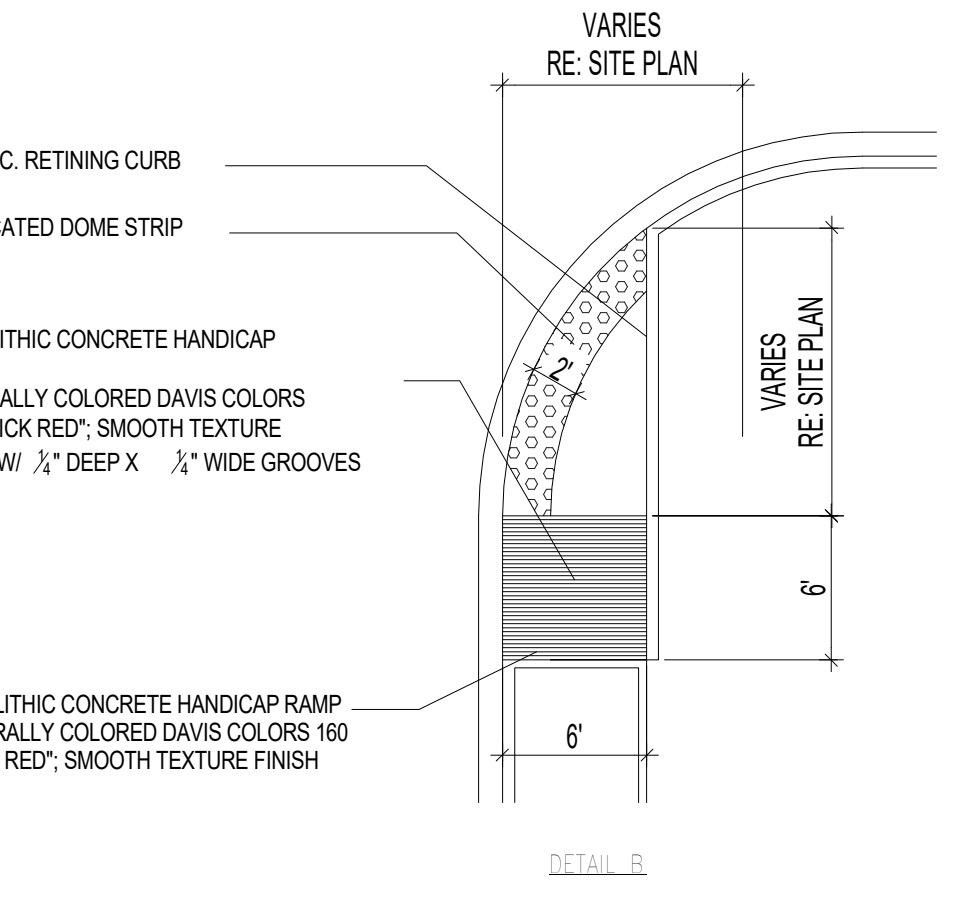
11 ISLAND CURB DETAIL
N.T.S.



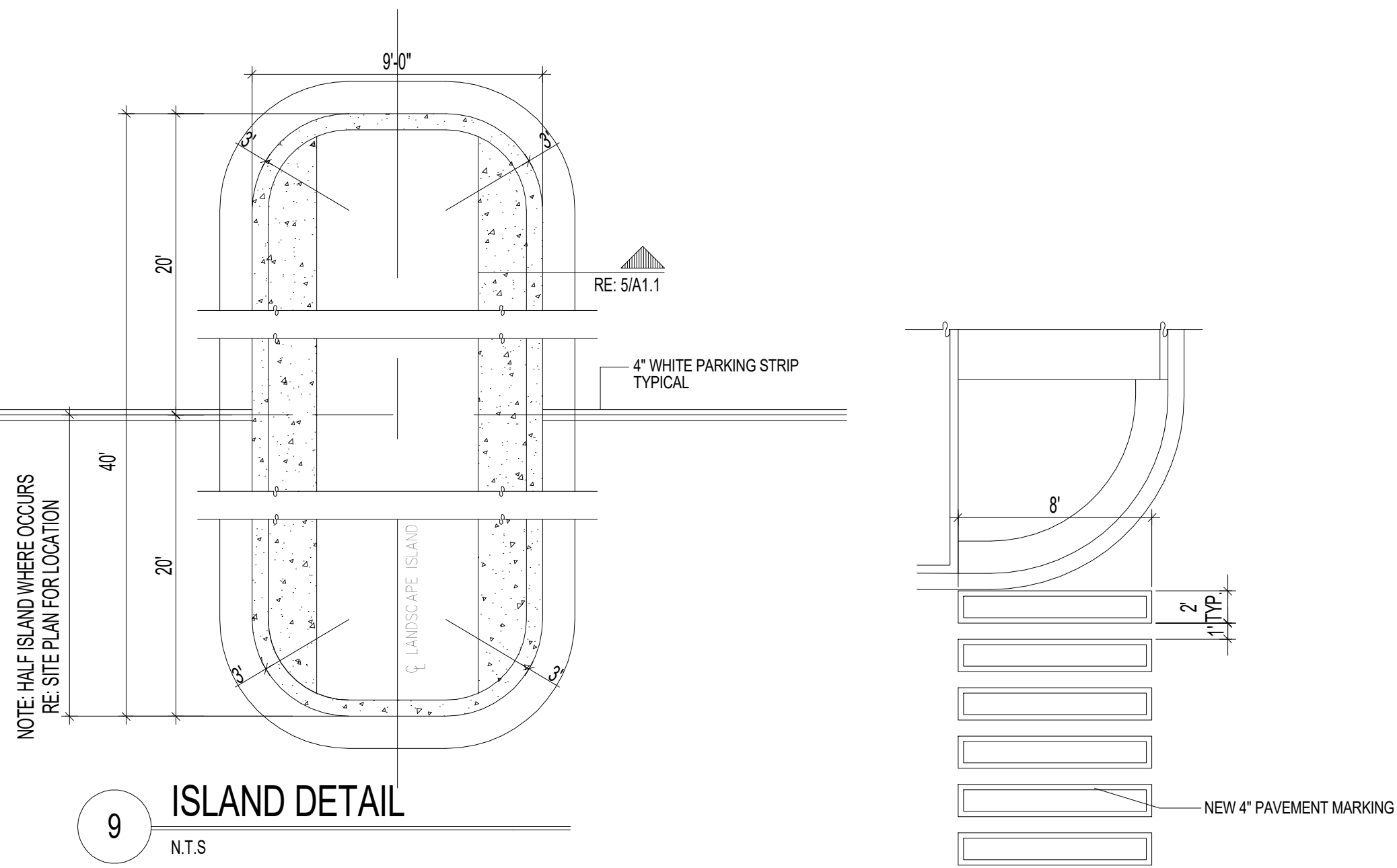
10 TYPICAL CURB DETAIL
N.T.S.



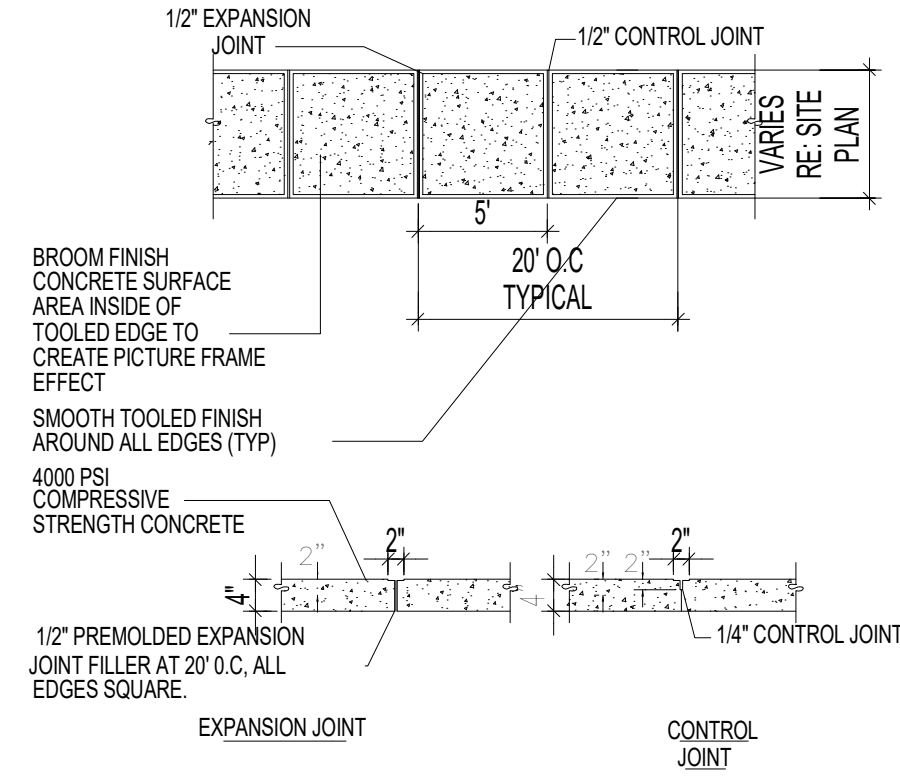
8 SIDEWALK WITH TURNDOWN CURB SEC.
N.T.S.



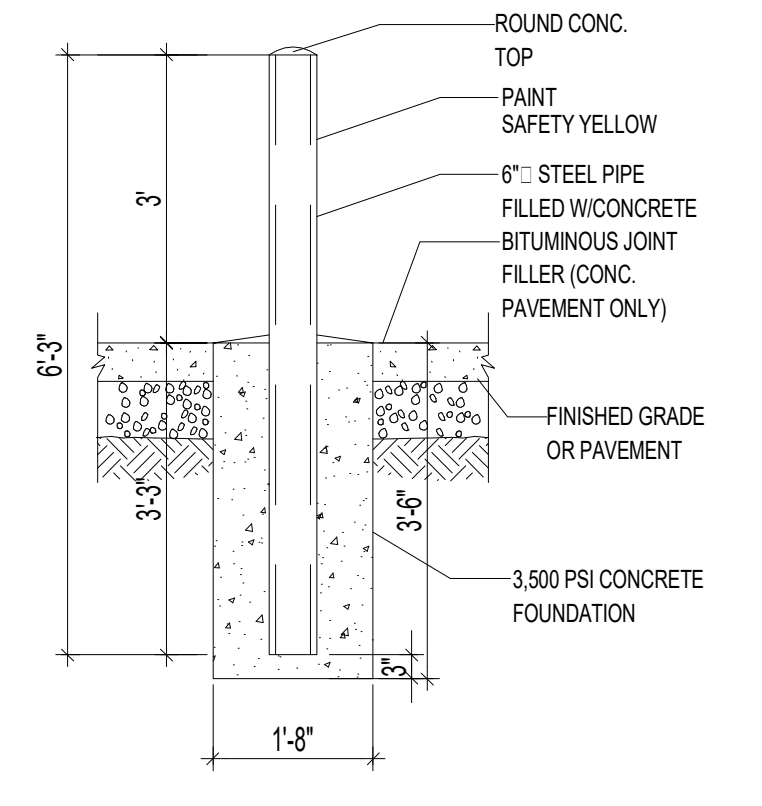
5 END ISLAND WITH WALK RAMP
N.T.S.



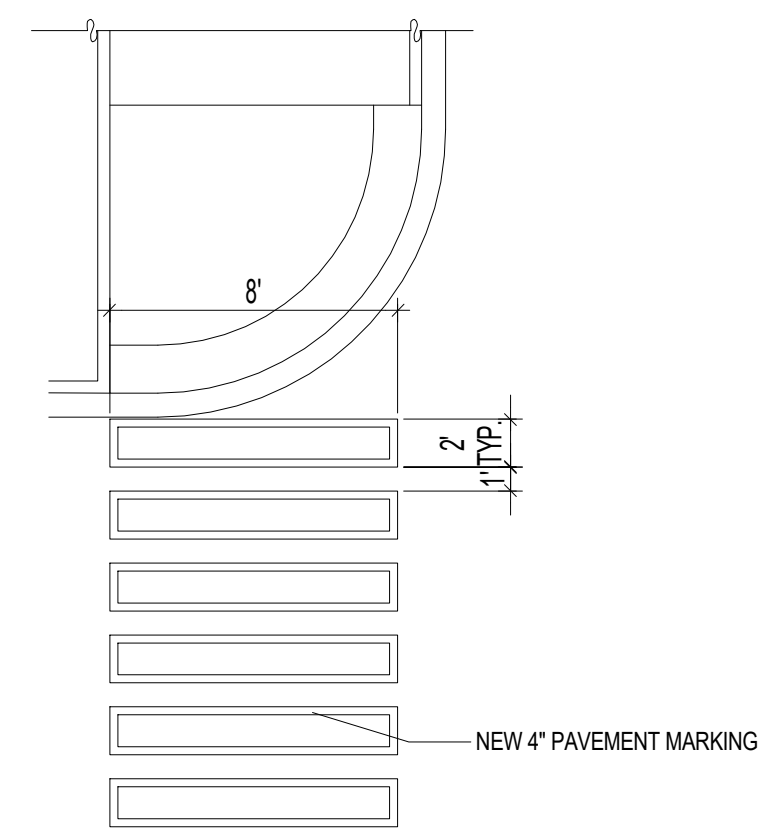
9 ISLAND DETAIL
N.T.S.



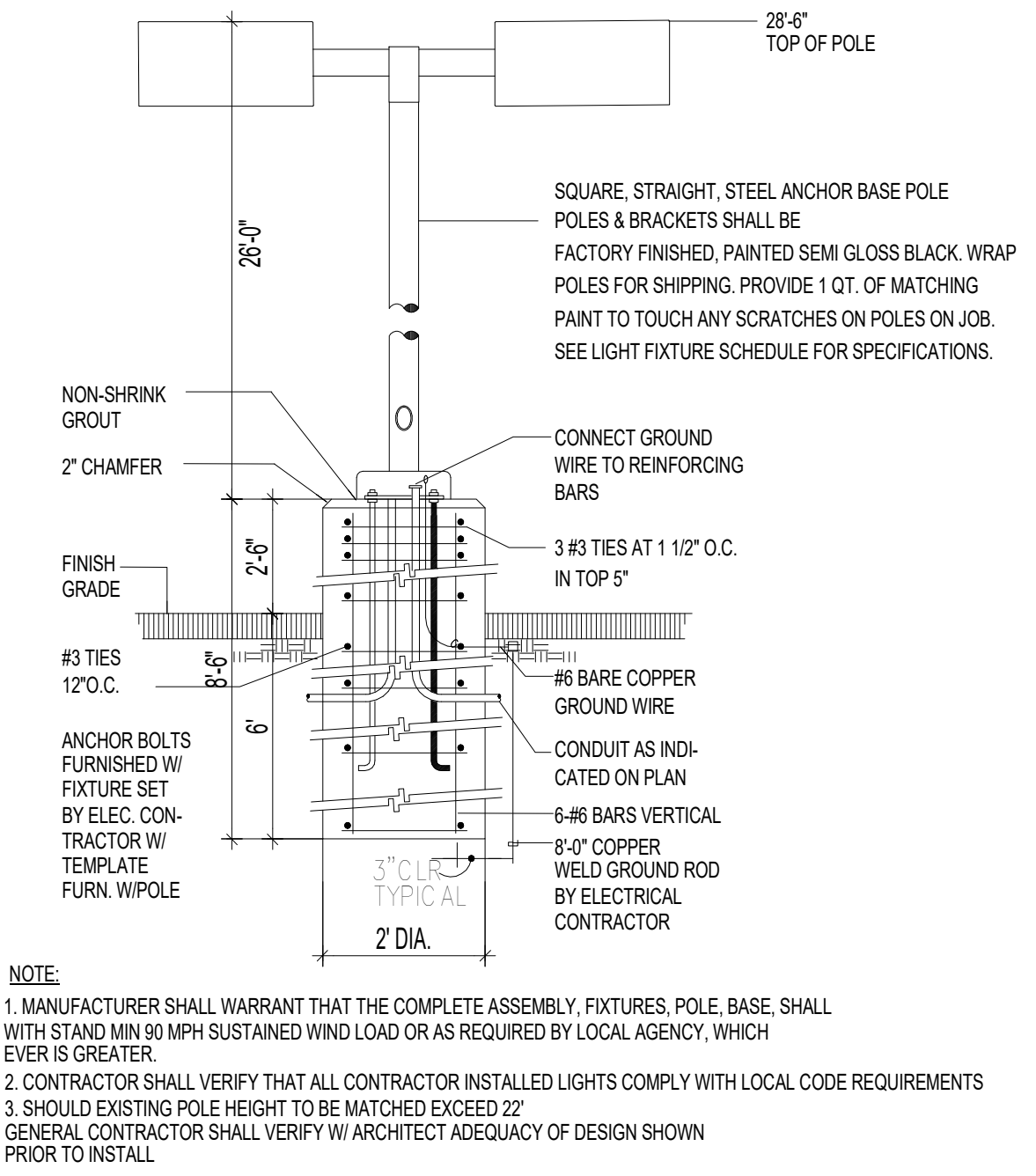
7 TYPICAL SIDEWALK
N.T.S.



4 BOLLARD DETAIL
N.T.S.



6 TYPICAL CONC. CROSSWALK
N.T.S.



3 LIGHT POLE DETAIL
N.T.S.

REV	DATE	BY	REVISION

MODULUS ARCHITECTS
 100 SUN AVENUE NE SUITE 305
 ALBUQUERQUE, NEW MEXICO 87109
 PHONE (505) 338-1499 FAX (505) 338-1498
 TOLL FREE 1-866-224-2161

STATE OF NEW MEXICO
STEPHEN A. DUNBAR
 No. 4218
 REGISTERED ARCHITECT
 9-2-20

ADMINISTRATIVE AMMENDMENT

PROJECT TITLE: **BOSQUE EUBANK**
 Enter address here

PROJECT MANAGER: _____ JOB NO. _____ DRAWN BY: _____
 Project Number: _____

SHEET TITLE: **ARCHITECTURAL SITE DETAILS**

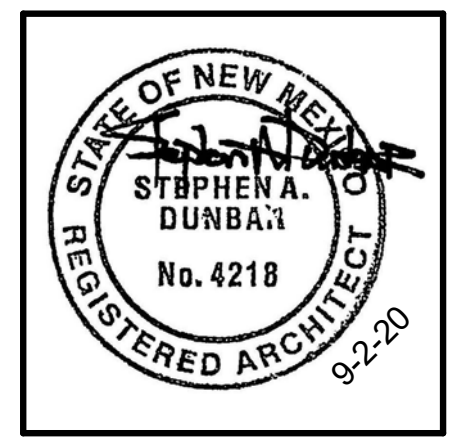
DATE: 9-2-20	SHEET: AA1
SCALE:	

GENERAL NOTES:

1. METAL PANEL TO BE RIBBED OR CORRUGATED, TYP.
2. COLORS SELECTED FROM STANDARD COLOR CHART.
3. METAL CANOPY CAN ONLY BE INSTALLED IF FIRE PROTECTION IS NOT REQUIRED.
4. WINDOW MULLIONS TO BE STANDARD COLOR TO MATCH EXISTING MULLION COLOR.

REV	DATE	BY	REVISION

MODULUS ARCHITECTS
 100 SUN AVENUE NE SUITE 305
 ALBUQUERQUE, NEW MEXICO 87109
 PHONE (505) 338-1499 FAX (505) 338-1498
 TOLL FREE 1-866-224-2161

ADMINISTRATIVE AMMENDMENT

PROJECT TITLE
BOSQUE EUBANK
 Enter address here

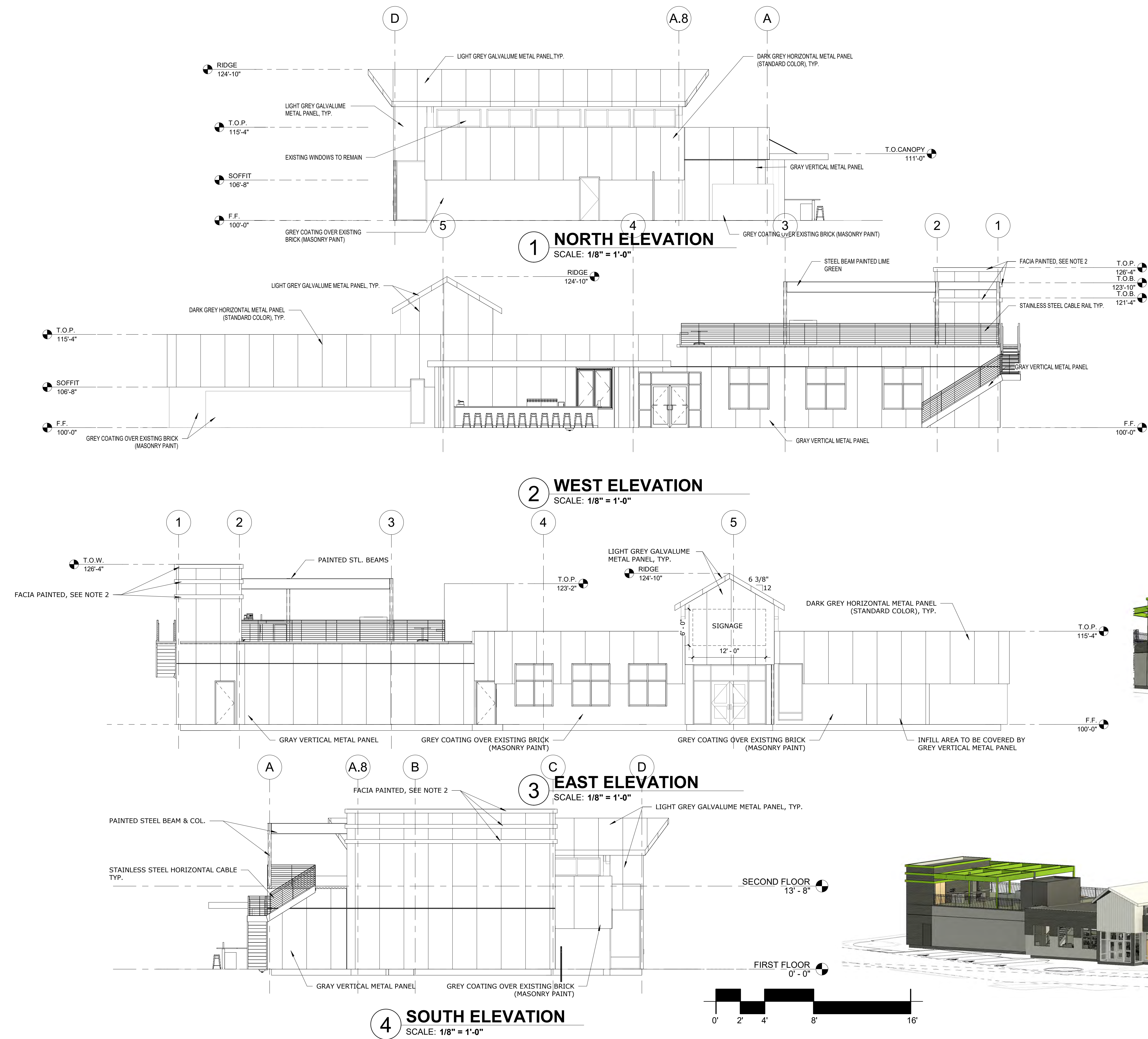
PROJECT MANAGER
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JOB NO.
 Project Number

DRAWN BY:

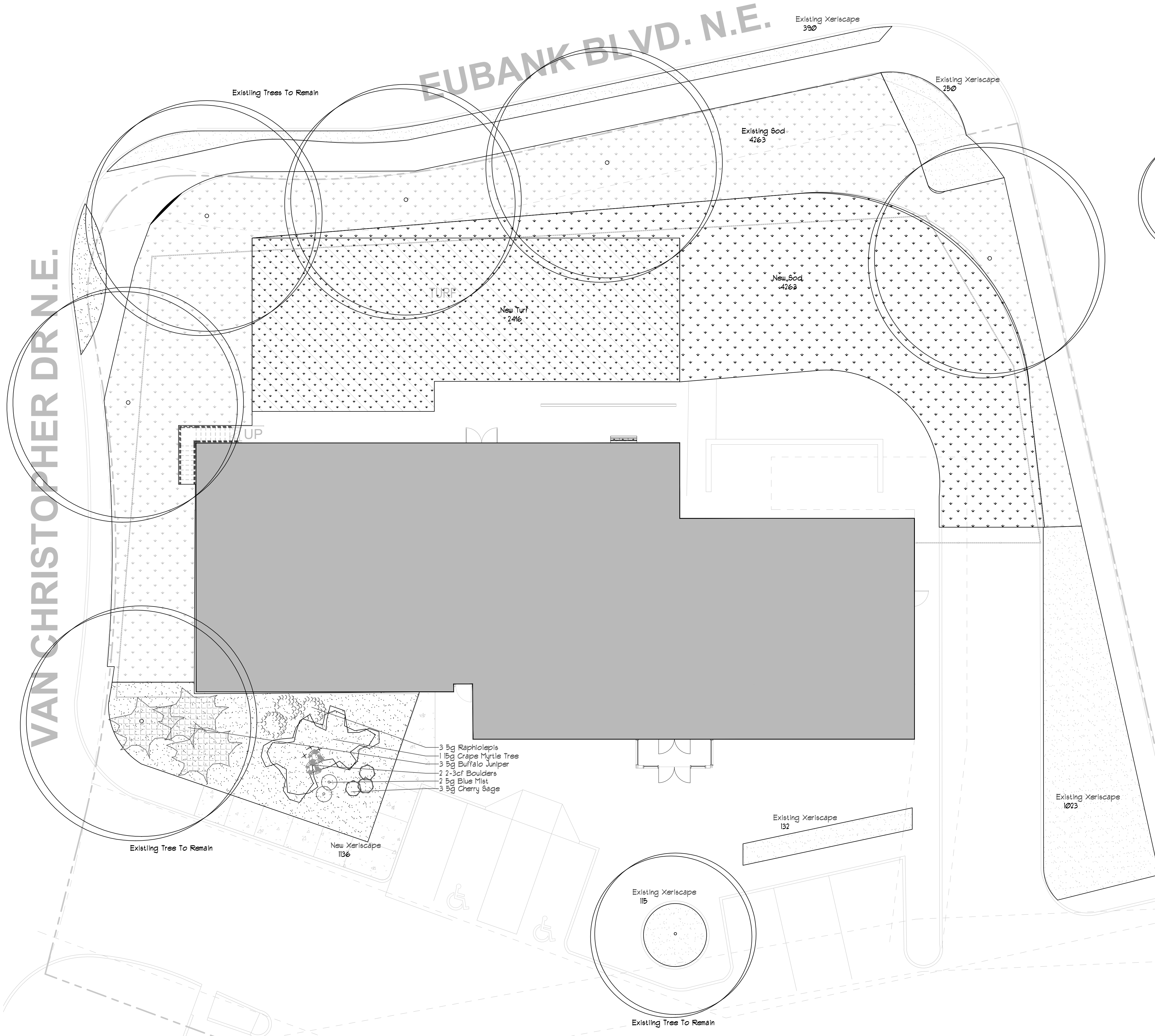
SHEET TITLE
ELEVATIONS

DATE 9-2-20	SHEET A20
SCALE:	



VAN CHRISTOPHER DR N.E.

EUBANK BLVD. N.E.

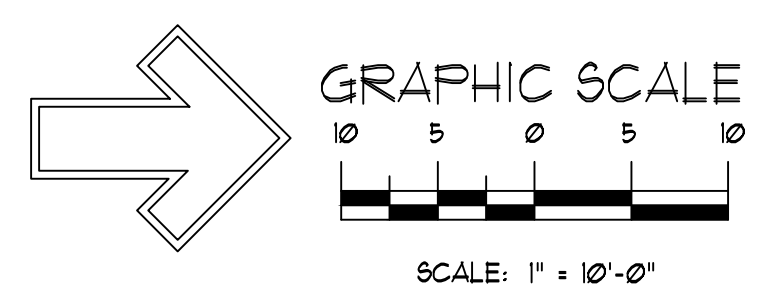


LANDSCAPE LEGEND

QTY	SIZE	COMMON/BOTANICAL
1	mature	Shade Trees 50x45
1660		Existing Xeriscape
1136		New Xeriscape
4396		Existing Sod
4396		New Sod
2416		New Turf
14004		Total Landscape Area

LANDSCAPE CALCULATIONS

TOTAL LOT AREA (sf)	42042
TOTAL BUILDING AREA (sf)	-6500
TOTAL LOT AREA (sf)	35462
LANDSCAPE REQUIREMENT	X .35
TOTAL LANDSCAPE REQUIRED (15%)	5318
TOTAL ON-SITE LANDSCAPE PROVIDED	14004



Designed By: *D. Mitchell*
 Drawn By: *Jm*
 Approved By: _____
 Date: _____

NEW MEXICO ONE CALL
 STATEWIDE - 811 OR
 1-800-321-ALERT (2537)
 www.1monecall.org
 Call two working days
 before you dig.

REVISIONS
 Comment
 Date:

Landscape Plan

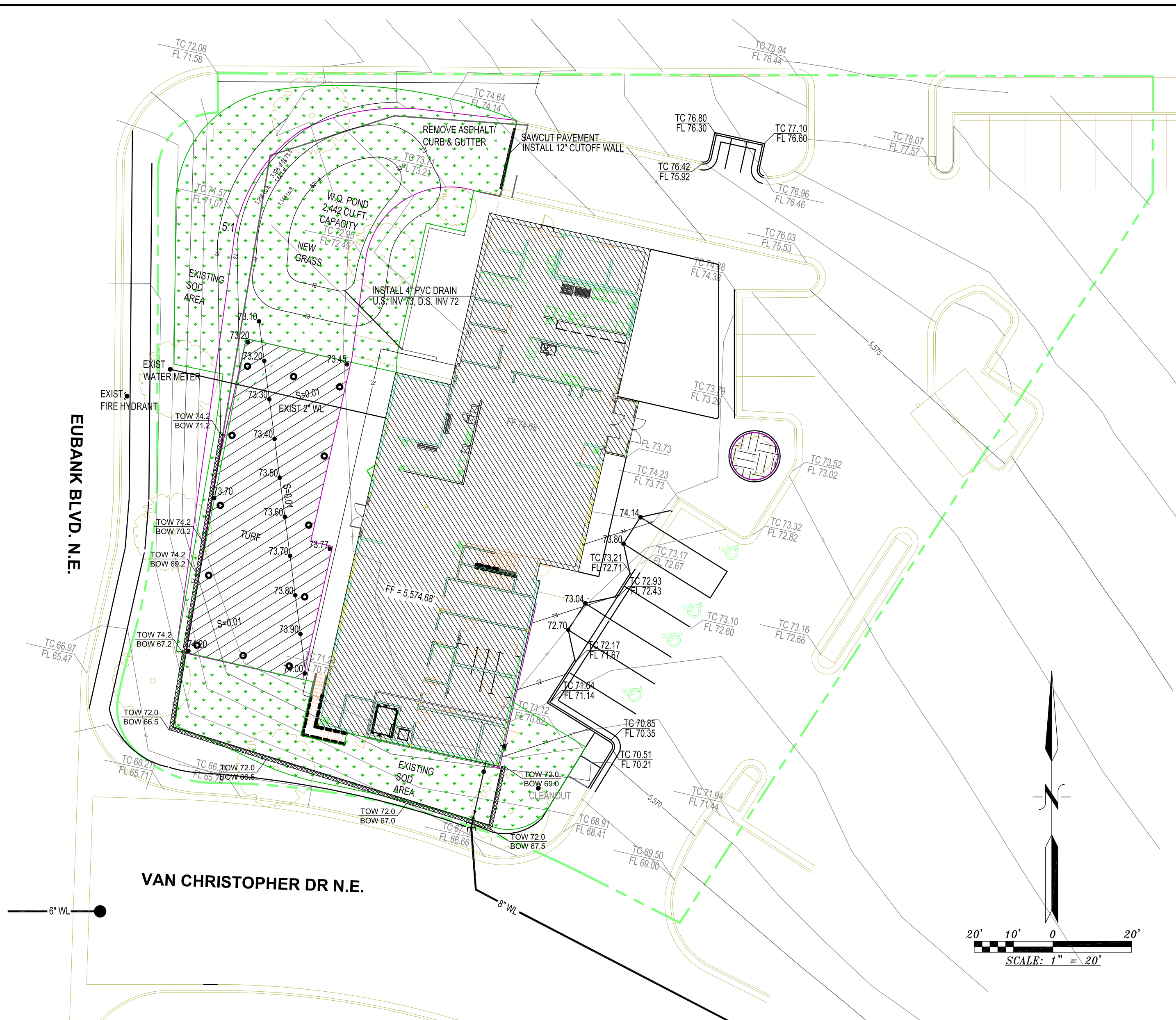
Bosque Brewing
 5210 Eubank Blvd. NE
 Albuquerque, NM 87150

Mitchell Associates, LLC

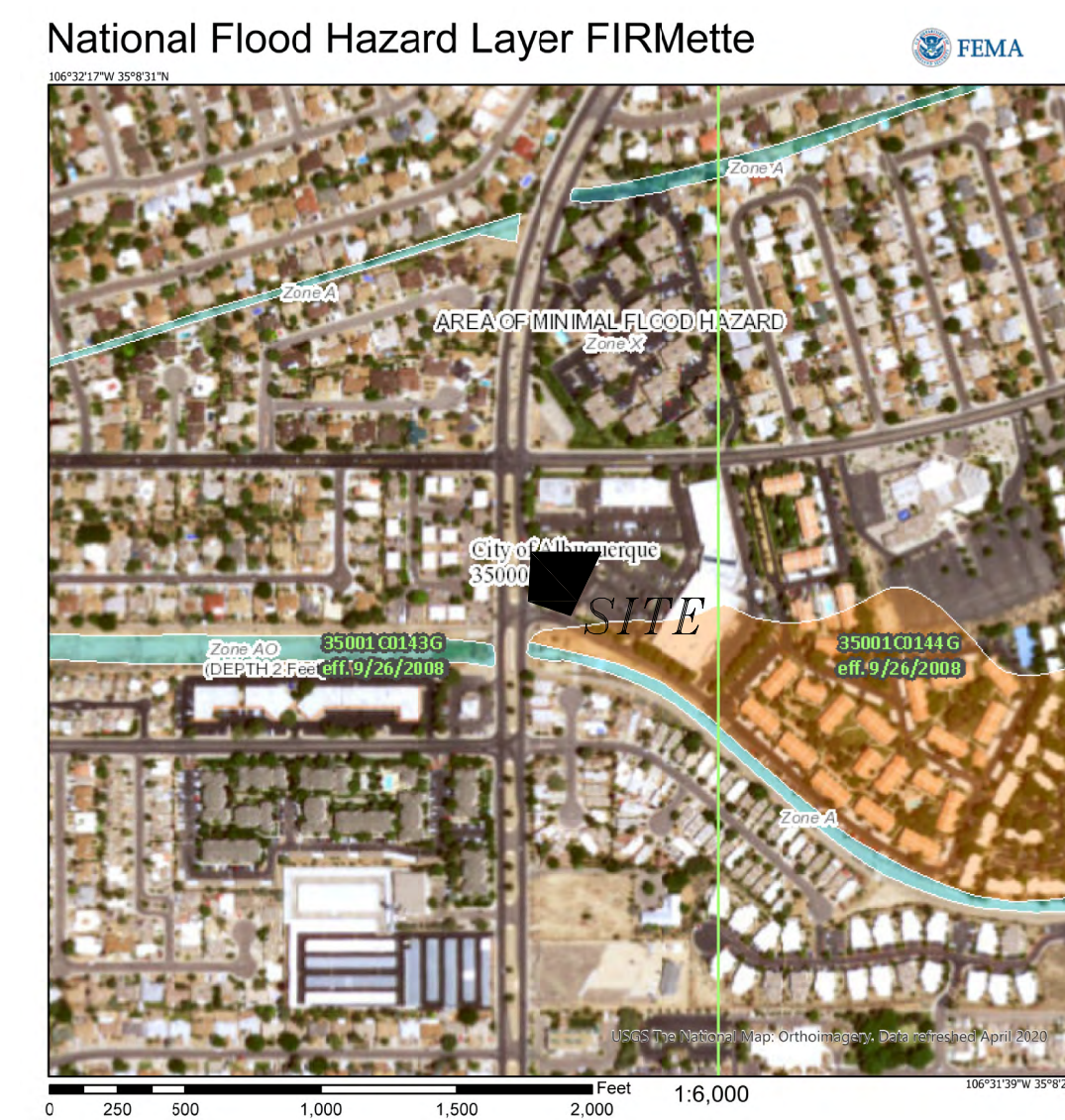
 Danny Mitchell
 Landscape Architect
 danny@mitchellassociatesllc.com
 505.639.9563

Seal:
 Landscape Architect

 DANNY D. MITCHELL
 239
 REGISTERED
 LANDSCAPE ARCHITECT
 August 31, 2020



NATIONAL FLOOD HAZARD RATE MAP



Legend

SPECIAL FLOOD HAZARD AREAS

- Without Base Flood Elevation (BFE)
- With BFE or Depth
- Regulatory Floodway
- 1% Annual Chance Flood Hazard
- 1% Annual Chance Flood with average depth less than one foot with drainage areas of less than one square mile
- 1% Annual Chance Flood with average depth less than one foot with drainage areas of one to ten square miles
- 1% Annual Chance Flood with average depth less than one foot with drainage areas of more than ten square miles
- Special Flood Hazard Zone
- Area with Flood Risk Due to Levee Breach
- Area with Flood Risk Due to Levee Failure

OTHER AREAS

- Area of Minimal Flood Hazard
- Effective Limits
- Area of Undetermined Flood Hazard
- General
- Channel, Culvert, or Storm Sewer
- Levee, State or Federal
- Structure
- Area with 1% Annual Chance Flood Hazard
- Water Surface Elevation
- Control Structure
- Base Flood Elevation Line (BFE)
- Level of Study
- Jurisdiction Boundary
- Control Structure Elevation
- Profile Baseline
- Hydrographic Features

OTHER FEATURES

- Right-of-Way Available
- No Right-of-Way Available
- Unimproved

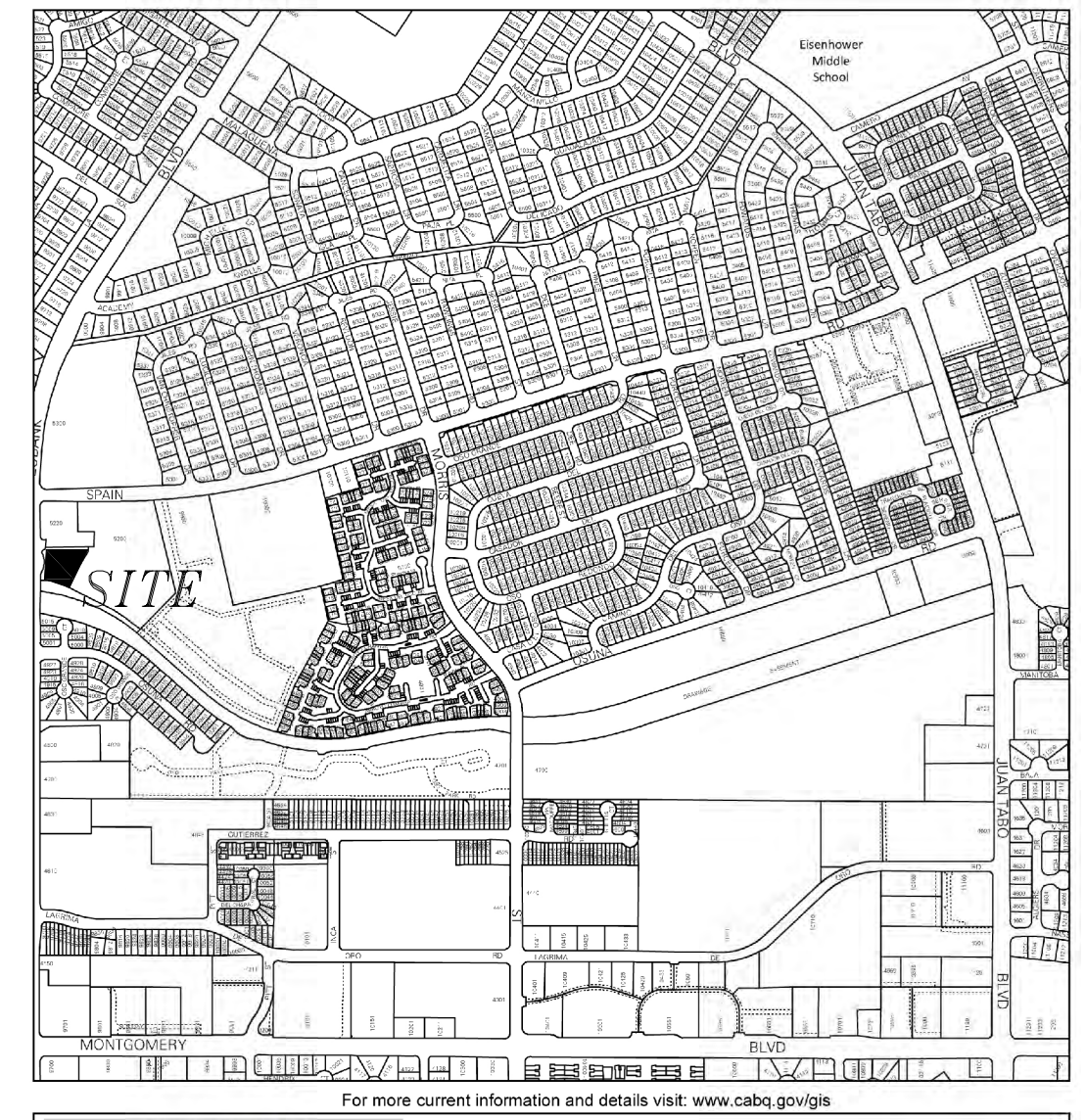
MAP PANELS

- The pin displayed on the map is an approximate location and does not represent an authorized property location.

This map complies with FEMA's standards for the use of digital flood hazard data as authorized by FEMA. The boundary shown complies with FEMA's boundary accuracy standards. The flood hazard information is derived directly from the authoritative information provided by FEMA. This map was prepared on 10/12/2020 at 8:52 PM and does not reflect changes or improvements subsequent to this date and time. The NPL and effective information may change or become superseded by new data sets.

This map is void if the use or one of the following map elements do not comply with FEMA's standards: legend, scale bar, map creation date, coordinate information, FIRM panel number, and FIRM effective date. Map images for unimproved areas cannot be used for regulatory purposes.

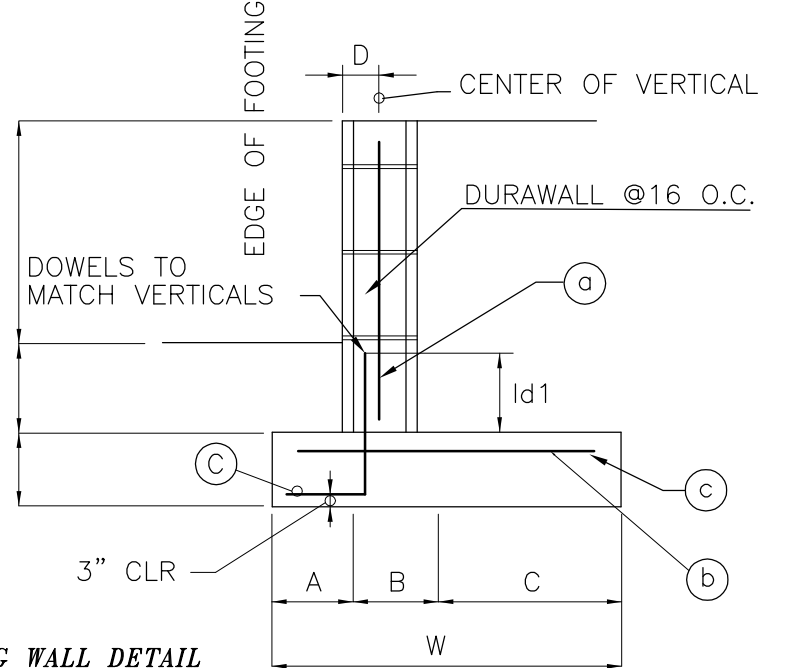
VICINITY MAP F-21



Address Map Page:
F-21-Z
Map Amended through:
3/17/2017

AGIS
Advanced Geographic Information Systems

These addresses are for informational purposes only and are not intended for address verification.



RETAINING WALL DIMENSIONS & REINFORCEMENT

MIN. DIMENSIONS										STEEL REINFORCEMENT				
H	T	A	B	C	D	W	a	b	c	ld1				
2'	1'-0"	0'-6"	0'-8"	0'-10"	5 1/4"	2'-0"	#5@24" o.c.	#5@16"	#4@16"	1'-6"				
3'	1'-0"	0'-6"	0'-8"	1'-3"	5 1/4"	2'-5"	#5@16" o.c.	#5@16"	#4@16"	1'-6"				
4'	1'-0"	0'-6"	1'-2"	6 1/4"	2'-10"	#5@16" o.c.	#5@16"	#4@16"	#4@16"	1'-6"				
5'	1'-0"	1'-0"	0'-8"	1'-9"	6 1/4"	3'-5"	#5@8" o.c.	#5@16"	#4@16"	1'-6"				
6'	1'-0"	1'-0"	0'-8"	2'-6"	6 1/4"	4'-2"	#5@8" o.c.	#5@16"	#4@16"	1'-6"				

HYDROLOGIC CALCULATIONS

Hydrologic Calculations - COA DPM 22.2 (100-Year, 6-Hour Storm)										5210 Eubank NE - Bosque Brewing									
Burak Consulting					October 2020					Burak Consulting					October 2020				
Precipitation (DPM 22.2 Table 2)	P90	P360	P1440	P4days	P10days	Precipitation (DPM 22.2 Table 2)	P90	P360	P1440	P4days	P10days	Precipitation (DPM 22.2 Table 2)	P90	P360	P1440	P4days	P10days		
2.23	2.9	3.65	4.7	5.95	2.23	2.9	3.65	4.7	5.95	2.23	2.9	3.65	4.7	5.95	2.23	2.9	3.65	4.7	5.95
Zone 4					Zone 4					Zone 4					Zone 4				
Excess Precipitation (DPM 22.2 Table 8)					Excess Precipitation (DPM 22.2 Table 8)					Excess Precipitation (DPM 22.2 Table 8)					Excess Precipitation (DPM 22.2 Table 8)				
1.08 inches-B					1.46 inches-C					2.64 inches-D					2.64 inches-D				
Peak Discharge (DPM 22.2 Table 9)					Peak Discharge (DPM 22.2 Table 9)					Peak Discharge (DPM 22.2 Table 9)					Peak Discharge (DPM 22.2 Table 9)				
2.2 cfs/ac-A					2.92 cfs/ac-B					3.73 cfs/ac-C					5.25 cfs/ac-D				

Drainage Areas	Land Treatments - Existing Conditions					Land Treatments - Fully Developed Conditions					Drainage Areas							
	A	B	C	D	Area (sf)	A	B	C	D	Area (sf)								
Basin A	0.00	0%	0.09	5%	0.00	0%	1.68	95%	77,174	0.00	0%	0.09	5%	0.00	0%	1.68	95%	77,174
Basin B	0.00	0%	0.00	5%	0.00	0%	0.09	95%	4,333	0.00	0%	0.00	5%	0.00	0%	0.09	95%	4,333
Basin C	0.00	0%	0.01	10%	0.00	0%	0.08	90%	3,898	0.00	0%	0.01	10%	0.00	0%	0.08	90%	3,898
Basin D	0.00	0%	0.05	50%	0.00	0%	0.05	50%	4,256	0.00	0%	0.03	30%	0.02	20%	0.05	50%	4,256
Basin E	0.00	0%	0.04	50%	0.01	10%	0.03	40%	3,497	0.00	0%	0.04	45%	0.01	15%	0.03	40%	3,497
Basin F	0.00	0%	0.00	0%	0.02	30%	0.05	70%	2,895	0.00	0%	0.00	0%	0.02	30%	0.05	70%	2,895
Basin G	0.00	0%	0.01	5%	0.01	5%	0.15	90%	7,287	0.00	0%	0.07	40%	0.01	5%	0.09	55%	7,287
Basin H	0.00	0%	0.01	10%	0.00	0%	0.08	90%	3,910	0.00	0%	0.00	5%	0.00	5%	0.08	90%	3,910

Discharge	Peak Flow Rate - Existing Conditions				Peak Flow Rate - Developed Conditions				Discharge
	A	B	C	D	A	B	C	D	
Basin A	0.00	0.26	0.00	8.84	9.1	0.00	0.26	0.00	8.84
Basin B	0.00	0.01	0.00	0.50	0.5	0.00	0.01	0.00	0.50
Basin C	0.00	0.03	0.00	0.42	0.4	0.00	0.03	0.00	0.42
Basin D	0.00	0.14	0.00	0.26	0.4	0.00	0.09	0.07	0.26
Basin E	0.00	0.12	0.03	0.17	0.3	0.00	0.11	0.04	0.17
Basin F	0.00	0.00	0.07	0.24	0.3	0.00	0.00	0.07	0.24
Basin G	0.00	0.02	0.03	0.79	0.8	0.00	0.20	0.03	0.48
Basin H	0.00	0.03	0.00	0.42	0.5	0.00	0.01	0.02	0.42
				12.4	12.4				10.8
									0.3
									0.7
									0.3
									0.5
									1.5

Volume	Runoff Volume - Existing Conditions				Runoff Volume - Developed Conditions				Volume
	A	B	C	D	A	B	C	D	
Basin A	0	347	0	16,129	16,477	0	347	0	16,129
Basin B	0	19	0	906	925	0	19	0	906
Basin C	0	35	0	772	807	0	35	0	772
Basin D	0	115	0	468	660	0	115	0	468
Basin E	0	157	43	308	508	0	142	64	308
Basin F	0	0	106	446	551	0	0	106	446
Basin G	0	33	44	1,443	1,520	0	262	44	882
Basin H	0	35	0	774	809	0	18	24	774

Volume	Runoff Volume - Existing Conditions				Runoff Volume - Developed Conditions				Volume
	A	B	C	D	A	B	C	D	
Basin A	35,111	1,971	1,971	0	35,111	1,971	1,971	0	35,111
Basin B	1,971	1,971	1,971	0	1,971	1,971	1,971	0	1,971
Basin C	1,699	1,699	1,699	0	1,699	1,699	1,699	0	1,699
Basin D	1,201	1,201	1,201	0	1,201	1,201	1,201	0	1,201
Basin E	1,201	1,228	1,228	27	863	863	869	6	863
Basin F	863	869	869	6	863	863	869	6	863
Basin G	1,067	1,067	1,067	0	1,067	1,067	1,067	0	1,067
Basin H	3,187	2,207	2,207	(980)	3,187	2,207	2,207	(980)	3,187
Basin H	1,704	1,710	1,710	6	1,704	1,704	1,710	6	1,704

Volume	Runoff Volume - Existing Conditions				Runoff Volume - Developed Conditions				Volume
	A	B	C	D	A	B	C	D	
Basin A	16,477	16,477	16,477	0	16,477	16,477	16,477	0	16,477
Basin B	925	925	925	0	925	925	925	0	925
Basin C	807	807	807	0	807	807	807	0	807
Basin D	660	667	667	27	660	667	667	27	660
Basin E	513	513	513	6	513	513	513	6	513
Basin F	551	551	551	0	551	551	551	0	551
Basin G	1,188	1,188	1,188	(332)	1,188	1,188	1,188	(332)	1,188
Basin H	816	816	816	6	816	816	816	6	816



NOTES

Site Location - As shown by the Vicinity Map, Zone Atlas D-21, the 40,000 square foot commercial site is located on the east side of Eubank Boulevard in the Promenade Shopping Center adjacent to Spain Boulevard. At present, the site was developed as a bank and later the location of the Godfather's Pizza and drains roughly from northeast to southwest across the existing parking lot. The purpose of this project is to construct a new addition onto the southern portion of the property that used to function as the banking drive-through.

Address - 5210 EUBANK BLVD NE ALBUQUERQUE NM 87111
Legal Description - TRACT 2 SUBDIVISION PLAT MAP FOR THE PROMENADE
UPC: 102106101726322002

Flood Zone - As shown by Panel 143G of 825 of the National Flood Insurance Program Flood Insurance Rate Maps (FIRM) for Bernalillo County, New Mexico, dated September 26, 2008, this site does not lie within a designated flood hazard zone.

Existing Conditions - Currently, the site is fully developed and is part of the Promenade Shopping Center. The entire shopping center is paved and impervious other than the small grass landscaping areas near the buildings, between parking, or along Eubank Boulevard. The western and southern areas of the property are landscaped with grass and trees. The site drains either to Eubank Boulevard to the west or Van Christopher Drive to the south.

The sewer cleanout is located in the grass landscaped area near the southeast corner of the current drive through structure. The water meter is located near an existing fire hydrant on Eubank Boulevard directly west of the center of the existing building.

The John B. Robert Dam, Bear Canyon outfall channel is located adjacent to the south of the property across Van Christopher Drive. The entire shopping center drains to this channel at the Eubank crossing. The channel is concrete lined with a bottom width of 20-feet.

Proposed Conditions - The site is to be the new location for Bosque Brewing. The existing finish floor of the existing building will be extended to the south to encompass the area currently used as the old bank drive-through. To maintain the existing finish floor throughout the entire facility, a stem wall footing will be required. A new turf patio area is to be constructed off the southwest portion of the building. This patio will be sloped at a one percent grade to carry any roof drain flow towards the north where a water quality ponding area is shown with grass. The new site grading will funnel as much runoff into the water quality pond as possible. All runoff generated on the property will drain away from the structure. A four to seven foot retaining wall will encompass the patio area to minimize damage to the existing landscaping.

The capacity of the northern retention area was calculated at 2,442 cubic feet and the required water quality volume is only 881 cubic feet. The maximum inflow was found to be 2,555 cubic feet for the six hour storm which is just slightly higher than the capacity. Runoff in excess of the ponding capacity will overtop the grass berm and will sheet flow west to Eubank Boulevard.

Portions of the existing sidewalk area on the East side of the building will be converted to additional handicap parking for the new usage.

Hydrologic Methods - The drainage basin map shows eight separate sub-basins (A-H) impacting the project area to assess peak flow rates at various points around the project site culminating at either the retention basin, or Van Christopher Drive. The calculations which appear hereon analyze both the existing and developed conditions for the 100-year, 6-hour rainfall event. The process outlined in the DPM, Section 22.2 was used to quantify the peak flow rates and volumes. As shown by these calculations, the fully developed improvements will result in a significant decrease in runoff generated by the site due to the proposed retention area. When incorporating the proposed ponding, the downstream impact is reduced when comparing to allowable and/or historical conditions.

By controlling the calculated runoff within the retention area and maintaining the existing grass on the slopes, scour and erosion is expected to be reduced to a minimum amount. A spreadsheet for Precipitation Zone 4 is included on this plan. This spreadsheet outlines the peak runoff and volume generated for each sub-basin for existing and proposed fully developed conditions. Percentage of each land treatment is shown to illustrate the addition of impervious area related to the proposed construction. By routing the proposed developed discharge rates and volumes to the retention basin, the outfall is to be controlled by incorporating a limited capacity grass lined overflow structure.

90% Compensatory Volume Management - The first flush has been mitigated based on the impervious areas listed on the attached spreadsheet. This equates to the total impervious area of the site multiplied by 0.26-inches (redevelopment area) or about 418 cubic feet for the ponding area. This storage has been provided on the plan by the retention basin as shown. The water quality ponding is not expected to exceed one foot in depth during the 100-year peak design storm

DESIGNED BY: M.H.B. | DRAWN BY: T.D.S. | CHECKED BY: [] | REVISION: [] | DATE MARK: []

MARK H. BURAK
STATE OF NEW MEXICO
Professional Engineer
No. 10987
November 4, 2020

Mark H. Burak, P.E.
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BOSQUE BREWING - EUBANK
GRADING & DRAINAGE PLAN
5210 Eubank Blvd. NE
DRAWING NUMBER: C1

1 OF 1

VAN CHRISTOPHER DR N.E.

EUBANK BLVD. N.E.

AREA = 4,256 SF

AREA = 3,898 SF

AREA = 77,174 SF

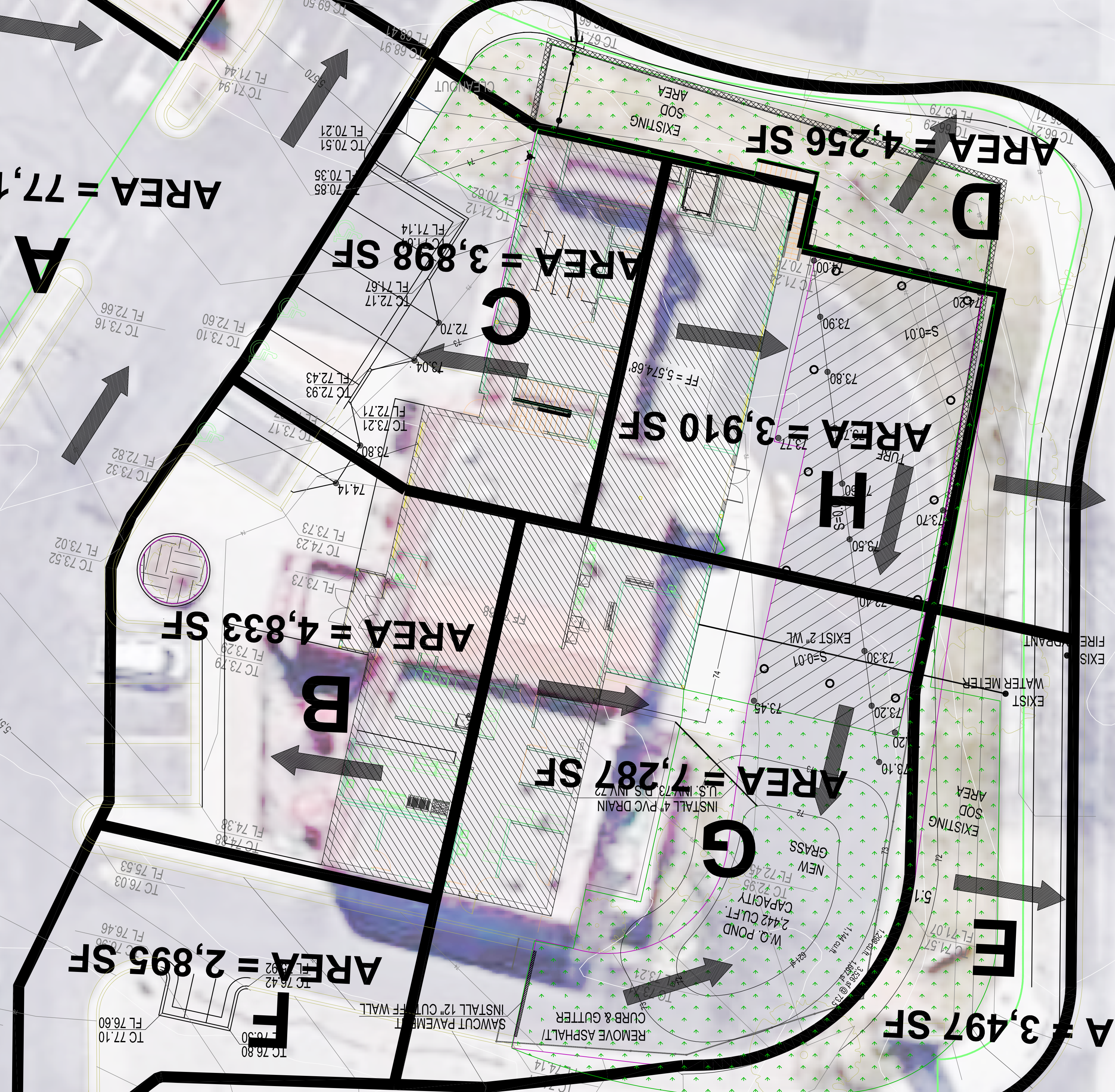
AREA = 3,910 SF

AREA = 4,833 SF

AREA = 7,287 SF

AREA = 2,895 SF

AREA = 3,497 SF



A

C

H

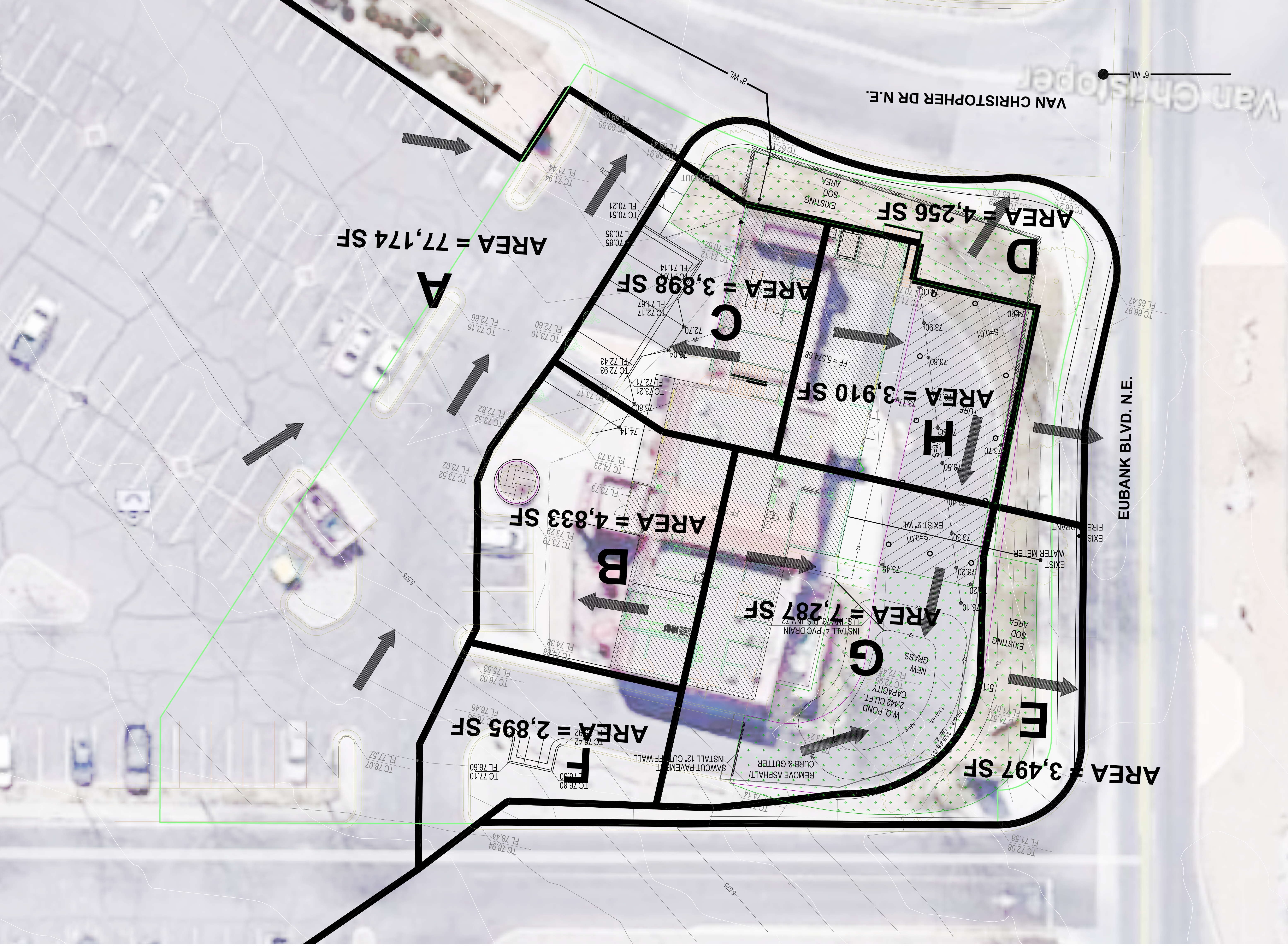
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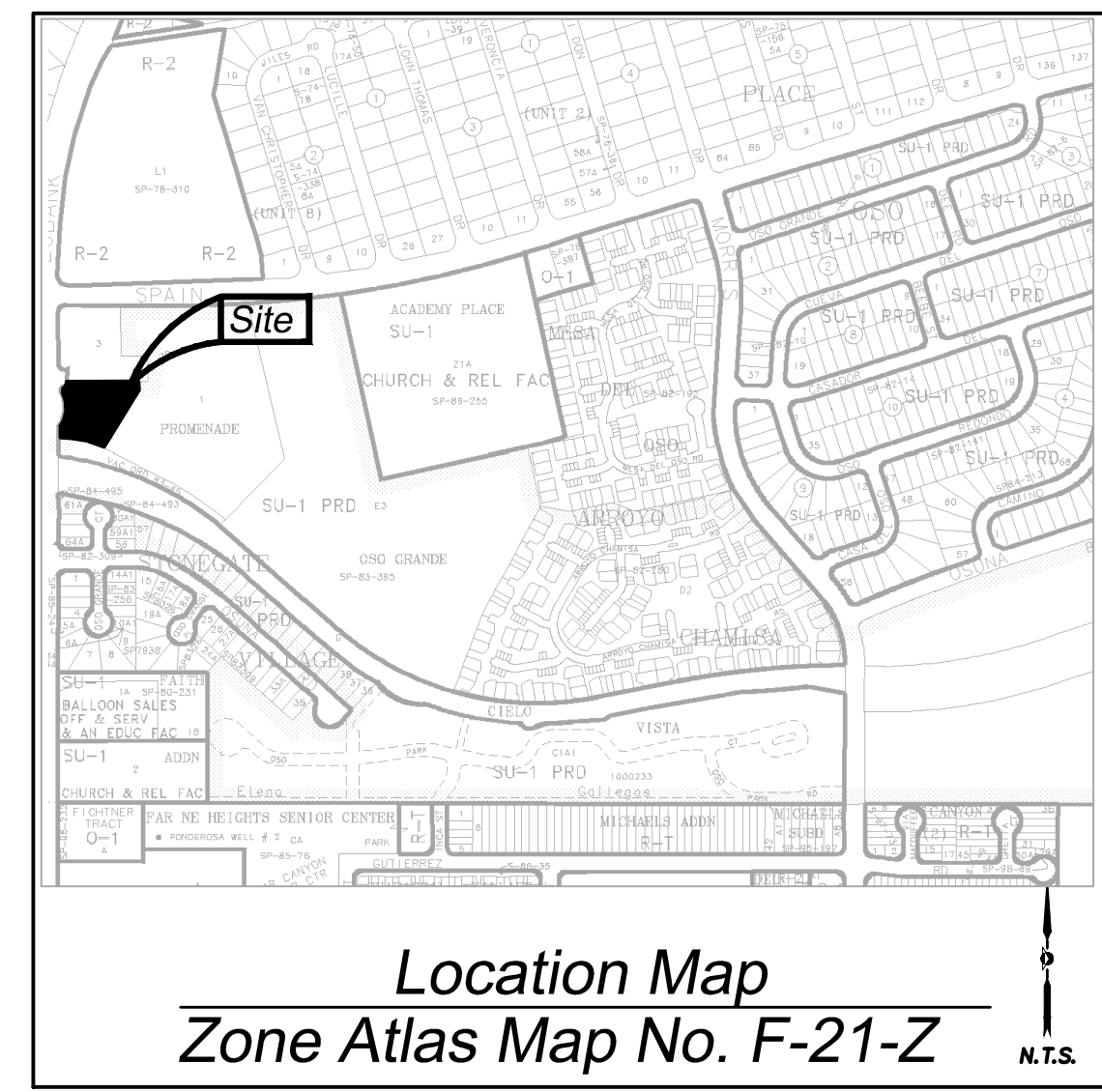
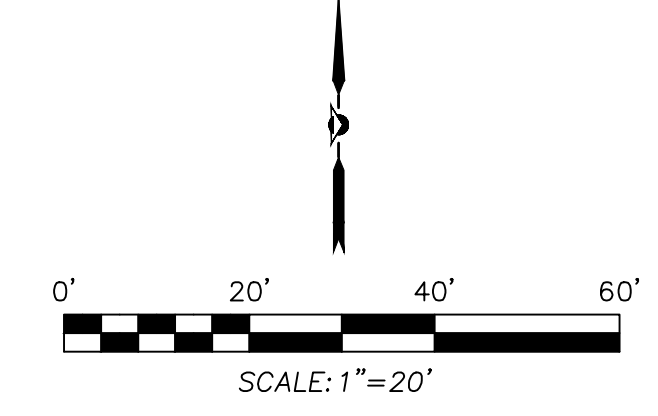
G

E

D

F



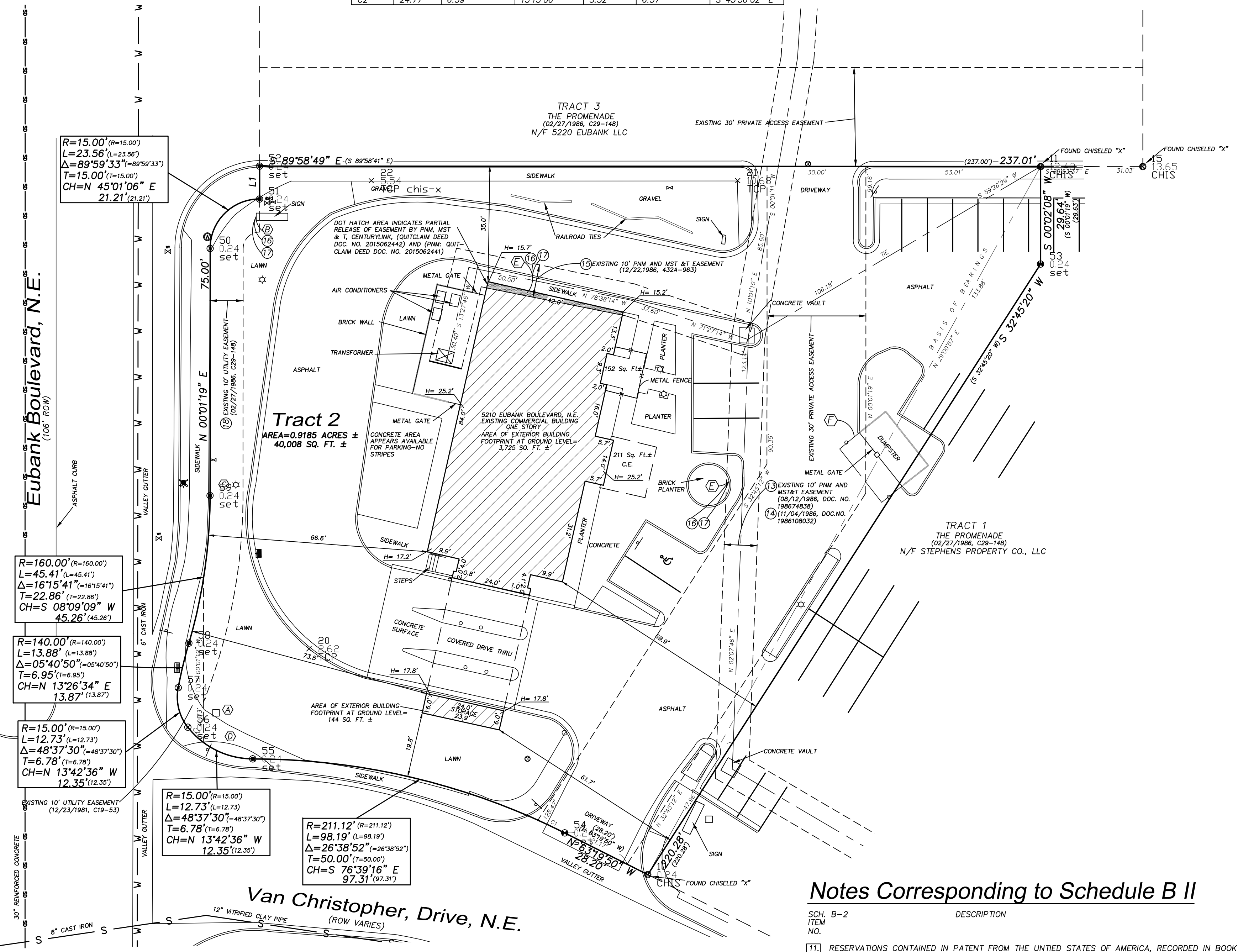


Line Table

LINE	BEARING	DISTANCE
L1	N 00°01'19" E	9.97'

Curve Table

CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	TANGENT	CHORD LENGTH	CHORD BEARING
C1	211.12'	9.02'	2°26'55"	4.51'	9.02'	N 64°33'18" W
C2	24.77'	6.59'	15°15'06"	3.32'	6.57'	S 45°36'02" E



Zoning Data

ZONING DESIGNATION = SU-1 PRD
 NUMBER OF REGULAR STRIPED PARKING SPACES = 11
 NUMBER OF HANDICAP STRIPED PARKING SPACES = 1
 NUMBER OF HANDICAP STRIPED PARKING SPACES = 12

Notes

- FIELD SURVEY PERFORMED ON APRIL 17, 2015.
- ALL BEARINGS ARE GRID BEARINGS: N.M. STATE PLANE COORDINATES, CENTRAL ZONE-NAD 1927.
- ALL DISTANCES ARE GROUND DISTANCES: U.S. SURVEY FOOT.
- THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION OF ABOVE GROUND APPURTENANCES AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL THE UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
- THIS PROPERTY LIES WITHIN PROJECTED SECTION 33, TOWNSHIP 11 NORTH, RANGE 4 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
- NO OBSERVABLE EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS WITHIN RECENT MONTHS.
- NO CHANGES IN STREET RIGHT OF WAY LINES EITHER COMPLETED OR PROPOSED, AND AVAILABLE FROM THE CONTROLLING JURISDICTION. NO OBSERVABLE EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.
- NO OBSERVABLE EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.
- ZIP CODE: 87111
- NO OBSERVED WETLANDS

Statement of Encroachments

- (A) ENCROACHMENT OF UTILITY PEDESTAL ON SUBJECT PROPERTY
 - (B) ENCROACHMENT OF SIGN INTO UTILITY EASEMENT
 - (C) ENCROACHMENT LIGHT POLE INTO UTILITY EASEMENT
 - (D) ENCROACHMENT OF SIDEWALK INTO UTILITY EASEMENT
 - (E) ENCROACHMENT OF PLANTER INTO PNM AND MST&T EASEMENT
 - (F) ENCROACHMENT OF FENCE INTO PRIVATE ACCESS EASEMENT
- ENCROACHMENTS E AND F COVERED BY EASEMENT ENCROACHMENT AGREEMENTS:
 PNM (01/23/2008, DOC. NO. 2008007137)
 QWEST (01/23/2008, DOC. NO. 2008007138)

Legend

(N 90°00'00" E) RECORD BEARINGS AND DISTANCES SHOWN IN PARENTHESES

N 90°00'00" E MEASURED BEARING AND DISTANCES

- FOUND AND USED MONUMENT AS DESCRIBED
- DENOTES NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993" SET THIS SURVEY
- ⊙ DENOTES SET PK NAIL W/BRASS WASHER "PS 11993" SET IN ASPHALT
- ⊠ DENOTES SET CHISELED "X" IN CONCRETE
- UTILITY PEDESTAL
- ⊕ WATER VALVE
- ⊖ IRRIGATION CONTROL VALVE
- ⊗ FIRE HYDRANT
- ⊘ DROP INLET
- ⊙ SIGN
- ⊚ LIGHT POLE
- ⊛ WATER METER
- ⊜ CLEANOUT
- ⊝ PULLBOX
- ⊞ HANDICAP PARKING SPACE
- WATER LINE
- - - SANITARY SEWER LINE
- - - STORM SEWER LINE

Notes:

- ALL TRACTS GRANT TO THE OTHERS A RECIPROCAL DRAINAGE EASEMENT FOR THE PURPOSE CONVEYING STORM RUNOFF OVER AND ACROSS EACH TRACT.
 - ALL PARKING AREAS ARE DESIGNATED AS COMMON PARKING AREAS FOR ALL TRACTS.
5. COMMON AREA USES:
- (A) GRANT OF EASEMENTS:
 EACH PARTY, AS GRANTOR, HEREBY GRANTS TO THE OTHER PARTY FOR BENEFIT OF THE OTHER PARTY, ITS CUSTOMERS, INVITEES AND EMPLOYEES, A NONEXCLUSIVE EASEMENT FOR ROADWAYS, WALKWAYS, INGRESS AND EGRESS, THE PARKING OF MOTOR VEHICLES AND USE OF FACILITIES INSTALLED FOR THE COMFORT AND CONVENIENCE OF CUSTOMERS, INVITEES, EMPLOYEES, AGENTS AND CONTRACTORS ON THE COMMON
- (E) UTILITY AND SERVICE EASEMENTS:
 THE PARTIES WILL COOPERATE IN THE GRANTING OF APPROPRIATE AND PROPER EASEMENTS FOR THE INSTALLATION, REPAIR AND REPLACEMENT OF STORM DRAINS, SEWERS, UTILITIES AND OTHER PROPER SERVICES NECESSARY FOR THE ORDERLY DEVELOPMENT AND OPERATION OF THE COMMON AREAS. BOTH PARTIES WILL USE THEIR BEST EFFORTS TO CAUSE THE INSTALLATION OF SUCH UTILITY AND SERVICE LINES PRIOR TO PAVING OF THE COMMON AREAS.

Flood Note

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE(S) X OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 3500100144.G, WHICH BEARS AN EFFECTIVE DATE OF SEPTEMBER 26, 2008 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE AND AN ELEVATION CERTIFICATE MAY BE NEEDED TO VERIFY THIS DETERMINATION OR APPLY FOR A VARIANCE FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

* CENTERLINE LEGAL DESCRIPTION DOES NOT FORM A MATHEMATICALLY CLOSED FIGURE. IT APPEARS THERE IS A TYPOGRAPHICAL ERROR. INTENT APPEARS TO BE TO FOLLOW CENTERLINE WHICH DOES CLOSE.

Notes Corresponding to Schedule B II

- | ITEM NO. | DESCRIPTION |
|----------|--|
| (1) | RESERVATIONS CONTAINED IN PATENT FROM THE UNITED STATES OF AMERICA, RECORDED IN BOOK 80, PAGE 353, RECORDS OF BERNALILLO COUNTY, NEW MEXICO. |
| (2) | EASEMENTS WITH COVENANTS AND RESTRICTIONS AFFECTING LAND (ECR), RECORDED MARCH 24, 1986, IN BOOK 334A, PAGE 507 AS DOCUMENT NO. 1986025404, FIRST AMENDMENT TO EASEMENTS WITH COVENANTS AND RESTRICTIONS AFFECTING LAND (ECR), RECORDED JUNE 17, 1986, IN BOOK 363A, PAGE 377 AS DOCUMENT NO. 1986054732, SECOND AMENDMENT TO EASEMENTS WITH COVENANTS AND RESTRICTIONS AFFECTING LAND, RECORDED MARCH 10, 2000, IN BOOK A3, PAGE 3603 AS DOCUMENT NO. 2000023913, AMENDMENT AND PARTIAL WAIVER OF EASEMENTS WITH COVENANTS AND RESTRICTIONS AFFECTING LAND (ECR), RECORDED JANUARY 15, 2008, AS DOCUMENT NO. 2008005197, AND AS DOCUMENT NO. 2008005198 RECORDS OF BERNALILLO COUNTY, NEW MEXICO. |
| (3) | UNDERGROUND EASEMENT IN FAVOR OF PUBLIC SERVICE COMPANY OF NEW MEXICO AND THE MOUNTAIN STATES TELEPHONE AND TELEGRAPH COMPANY, AND RIGHTS INCIDENT THERETO, RECORDED OCTOBER 29, 1986, IN BOOK 412, PAGE 467 AS DOCUMENT NO. 1986105435, RE-RECORDED NOVEMBER 4, 1986, IN BOOK 414A, PAGE 814 AS DOCUMENT NO. 1986109032, RECORDS OF BERNALILLO COUNTY, NEW MEXICO. |
| (4) | UNDERGROUND EASEMENT IN FAVOR OF PUBLIC SERVICE COMPANY OF NEW MEXICO AND THE MOUNTAIN STATES TELEPHONE AND TELEGRAPH COMPANY, AND RIGHTS INCIDENT THERETO, RECORDED DECEMBER 22, 1986, IN BOOK 432A, PAGE 963 AS DOCUMENT NO. 1986126317, ANY AFFECT OF THAT CERTAIN QUILCLAIM DEED RECORDED JUNE 25, 2015 AS DOCUMENT NO. 2015054943 RECORDED AS DOCUMENT NO. 2015062442 AND PUBLIC SERVICE COMPANY OF NEW MEXICO QUILCLAIM DEED RECORDED JULY 21, 2015 AS DOCUMENT NO. 2015062441, RECORDS OF BERNALILLO COUNTY, NEW MEXICO. |
| (5) | PNM EASEMENT ENCROACHMENT AGREEMENT, RECORDED JANUARY 23, 2008, AS DOCUMENT NO. 2008007137, AS RECORDS OF BERNALILLO COUNTY, NEW MEXICO. |
| (6) | QWEST ENCROACHMENT AGREEMENT, RECORDED JANUARY 23, 2008, AS DOCUMENT NO. 2008007138, RECORDS OF BERNALILLO COUNTY, NEW MEXICO. |
| (7) | EASEMENTS AND NOTES AS SHOWN, NOTED AND PROVIDED FOR ON THE PLAT RECORDED FEBRUARY 27, 1986 IN PLAT BOOK C29, PAGE 148, RECORDS OF BERNALILLO COUNTY, NEW MEXICO. |
| (8) | RIGHTS OF LESSEES OR TENANTS UNDER LEASES, SUBLEASE OR RENTAL AGREEMENTS. |
| (9) | ENCROACHMENT OF UTILITY PEDESTAL ONTO SUBJECT PROPERTY, ENCROACHMENT OF SIGN, LIGHT POLE AND SIDEWALK ONTO UTILITY EASEMENT, ENCROACHMENT OF BUILDING AND BRICK PLANTER ONTO EASEMENTS, ENCROACHMENT OF FENCE ONTO PRIVATE ACCESS EASEMENT, AS SHOWN ON SURVEY ENTITLED "ALTA/ACSM LAND TITLE SURVEY, TRACT 2, THE PROMENADE, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, APRIL 2015", BY LARRY W. MEDRANO, N.M.P.S. NO. 11993, DATED APRIL 24, 2015. |
| (10) | AFFECTS SUBJECT PROPERTY: AS SHOWN |
| (11) | AFFECTS SUBJECT PROPERTY: NON-SURVEY MATTER |

Legal Description

TRACT NUMBERED TWO (2) OF THE PROMENADE, WITHIN PROJECTED SECTION 33, T. 11 N., R. 4 E., N.M.P.M., ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE SUBDIVISION PLAT MAP FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON FEBRUARY 27, 1986 RECORDED IN VOL. C29, FOLIO 148.

Access Note

INGRESS AND EGRESS TO THE PREMISES IS PROVIDED BY AND EUBANK BOULEVARD, N.E., VIA AN EXISTING 30' WIDE PRIVATE ACCESS EASEMENT AND VAN CHRISTOPHER DRIVE, N.E., THE SAME BEING A PAVED AND DEDICATED RIGHTS OF WAY MAINTAINED BY THE CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT.

Surveyor's Certificate

LARRY W. MEDRANO, A LICENSED LAND SURVEYOR, LICENSE NO. 11993, IN STATE OF NEW MEXICO AND LEGALLY DOING BUSINESS IN ALBUQUERQUE, DOES HEREBY CERTIFY TO KAMPS NEW MEXICO, LLC, A NEW MEXICO LIMITED LIABILITY COMPANY, BANK OF THE WEST AND OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, AND THEIR RESPECTIVE SUCCESSORS AND ASSIGNS THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF:

- THE ACCOMPANYING SURVEY ("SURVEY") REPRESENTS A SURVEY MADE ON THE GROUND BY ME ON APRIL 17, 2015 OF THE LAND THEREIN PARTICULARLY DESCRIBED, AND SHOWS THE AREAS OF THE SUBJECT PROPERTY, THE LOCATION AND TYPE OF ALL VISIBLE BUILDINGS, STRUCTURES AND OTHER IMPROVEMENTS SITUATED ON THE SUBJECT PROPERTY, AND ANY OTHER VISIBLE MATTERS SITUATED ON THE SUBJECT PROPERTY;
- THE TITLE LINES AND LINES OF ACTUAL POSSESSION ARE THE SAME;
- THE PROPERTY DESCRIBED HEREON IS THE SAME AS THE PROPERTY DESCRIBED IN OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY COMMITMENT NO. 1502558 WITH AN EFFECTIVE DATE OF JUNE 25, 2015 AND THAT ALL EASEMENTS, COVENANTS AND RESTRICTIONS REFERENCED IN SAID TITLE COMMITMENT OR APPARENT FROM A CAREFUL PHYSICAL INSPECTION OF THE SITE OR OTHERWISE KNOWN TO ME HAVE BEEN PLOTTED HEREON OR OTHERWISE NOTED AS TO THEIR EFFECT ON THE SUBJECT PROPERTY;
- THE LOCATION OF SAID BUILDINGS AND IMPROVEMENTS IS NOT IN VIOLATION OF ANY (I) SETBACK REQUIREMENTS OR (II) OTHER RESTRICTIONS OF RECORD REFERENCED IN THE TITLE INSURANCE COMMITMENT DESCRIBED ABOVE BASED ON ZONING REPORT PROVIDED BY PURCHASER;
- ALL UTILITY SERVICES REQUIRED FOR THE OPERATION OF THE PREMISES EITHER ENTER THE PREMISES THROUGH ADJOINING PUBLIC STREETS, OR THE SURVEY SHOWS THE POINT OF ENTRY AND LOCATION OF ANY UTILITIES THAT PASS THROUGH OR ARE LOCATED ON ADJOINING LAND;
- THERE ARE NO OBSERVABLE ENCROACHMENTS ON THE ADJOINING PROPERTIES, STREETS, OR ALLEYS BY ANY OF SAID BUILDINGS, STRUCTURES AND VISIBLE IMPROVEMENTS;
- THERE ARE NO PARTY WALLS OR VISIBLE ENCROACHMENTS ON SAID DESCRIBED PROPERTY BY STREETS, ALLEYS OR BUILDINGS, STRUCTURES OR OTHER IMPROVEMENTS SITUATED ON ADJOINING PROPERTY, EXCEPT AS SHOWN HEREON;
- ANY DISCHARGE INTO STREAMS, RIVERS OR OTHER CONVEYANCE SYSTEM IS SHOWN ON THE SURVEY SPECIFICALLY AND DESCRIBED IN THE NOTES SECTION OF THE SURVEY;
- SAID DESCRIBED PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION X BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), ON FLOOD INSURANCE RATE MAP NO. 3500100144.G, WITH A DATE OF IDENTIFICATION OF SEPTEMBER 26, 2008 FOR COMMUNITY NO. 35002, IN BERNALILLO COUNTY, STATE OF NEW MEXICO, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH SAID PREMISES IS SITUATED;
- THE SUBJECT PROPERTY HAS ACCESS TO AND FROM A DULY DEDICATED AND ACCEPTED PUBLIC STREET OR HIGHWAY;
- THE SUBJECT PROPERTY DOES NOT SERVE ANY ADJOINING PROPERTY FOR DRAINAGE, UTILITIES, OR INGRESS OR EGRESS EXCEPT AS SHOWN HEREON;
- THE TOTAL NUMBER OF STRIPED PARKING SPACES ON THE SUBJECT PROPERTY IS 12, INCLUDING 1 DESIGNATED HANDICAP SPACES; AND
- THE RECORD DESCRIPTION OF THE SUBJECT PROPERTY FORMS A MATHEMATICALLY CLOSED FIGURE. THE PARTIES LISTED ABOVE ARE ENTITLED TO RELY ON THE SURVEY AND THIS CERTIFICATE.

THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH LAWS REGULATING SURVEYING IN THE STATE OF NEW MEXICO AND WITH THE MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS IN 2011 AND INCLUDES ITEMS 1, 2, 3, 4, 6, 7(A), (B)(1) AND (C), 8, 9, 10(A), 11(A), 16, 17, 18, 19 AND 20(A) IN TABLE A CONTAINED THEREIN. PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA AND NSPS AND IN EFFECT ON THE DATE OF THIS CERTIFICATION, THE UNDERSIGNED FURTHER CERTIFIES THAT IN MY PROFESSIONAL OPINION, AS A LAND SURVEYOR REGISTERED IN THE STATE OF NEW MEXICO, THE RELATIVE POSITIONAL ACCURACY OF THIS SURVEY DOES NOT EXCEED THAT WHICH IS SPECIFIED THEREIN.

LARRY W. MEDRANO
 N.M.P.S. No. 11993



OFFICE LOCATION:
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 Albuquerque, NM 87109
 MAILING ADDRESS:
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 505.856.5700 PHONE
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