

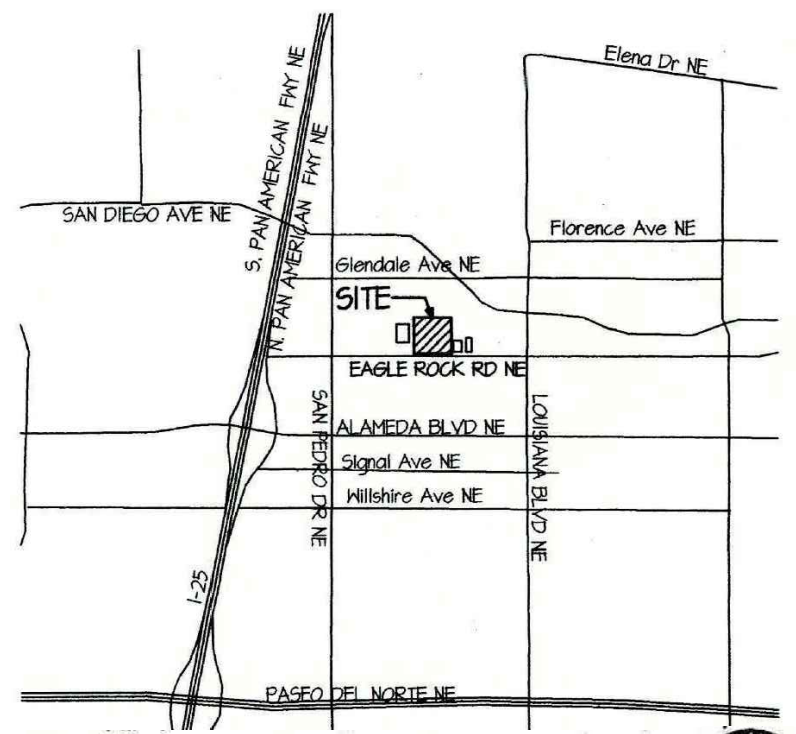
PROJECT NUMBER: PR-2019-002761
 Application Number: SI-2021-00255

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

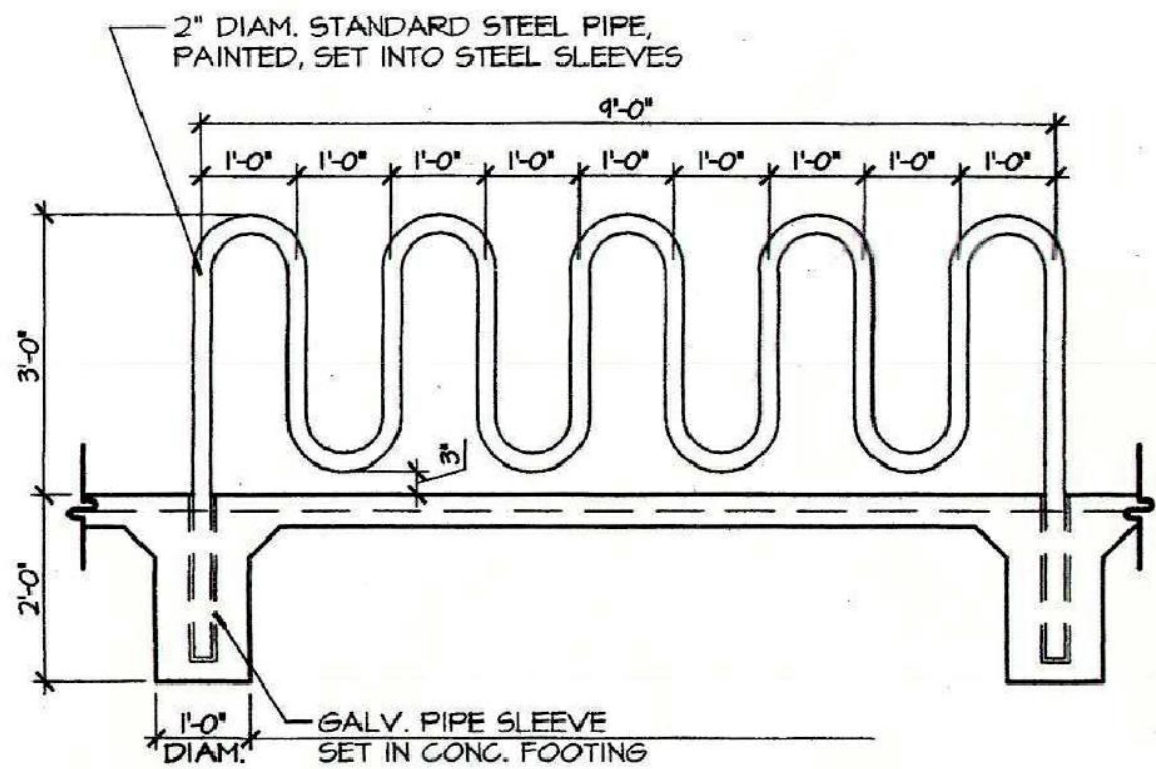
DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

<u>Jeanne Wolfenbarger</u>	May 5, 2021
<u>Blaine Carter</u>	May 5, 2021
<u>Chris Hunslett</u>	May 5, 2021
<u>Ernest Armijo</u>	May 5, 2021
<u>CS</u>	May 5, 2021
<u>W. Miller</u>	May 5, 2021

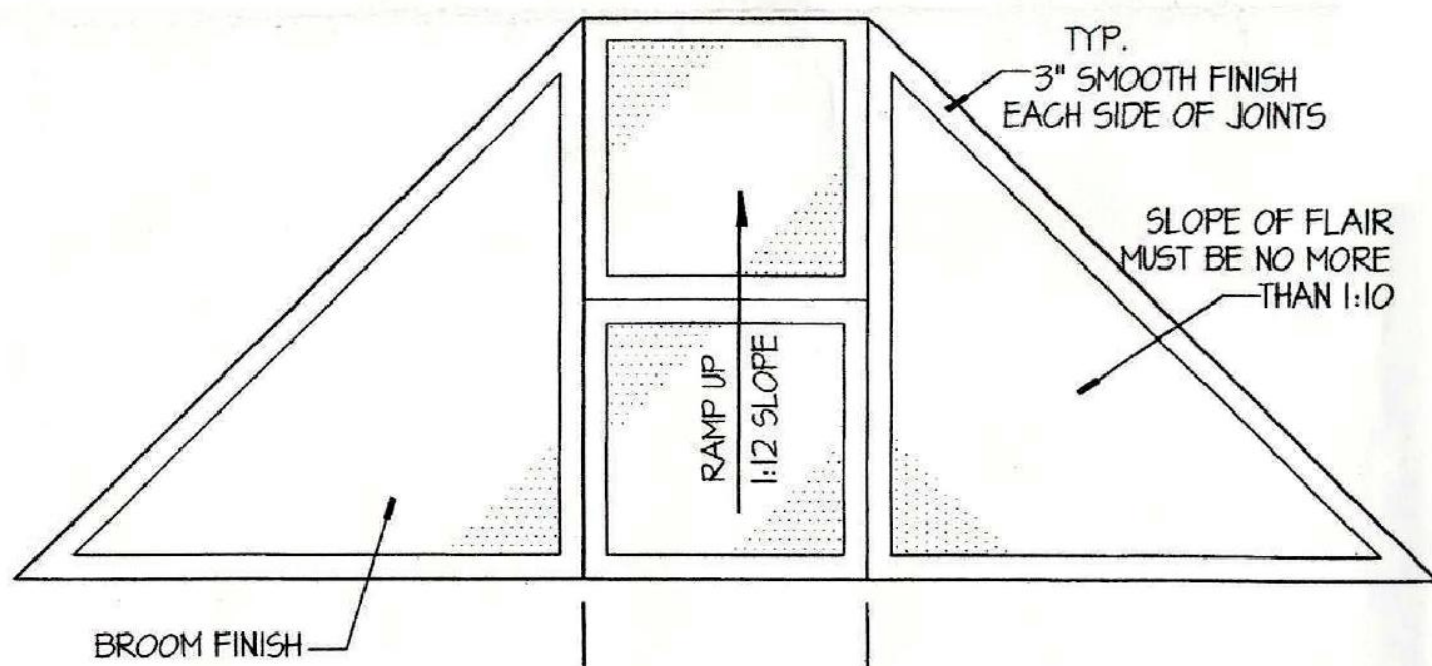
*Environmental Health Department (conditional)
 Solid Waste Management
 DRB Chairperson, Planning Department



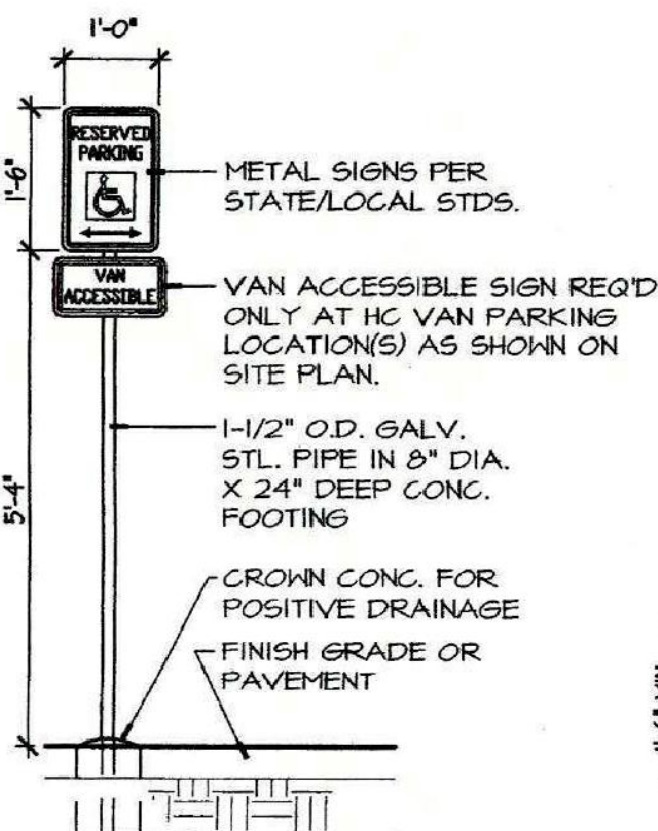
C1 VICINITY MAP
N.T.S.



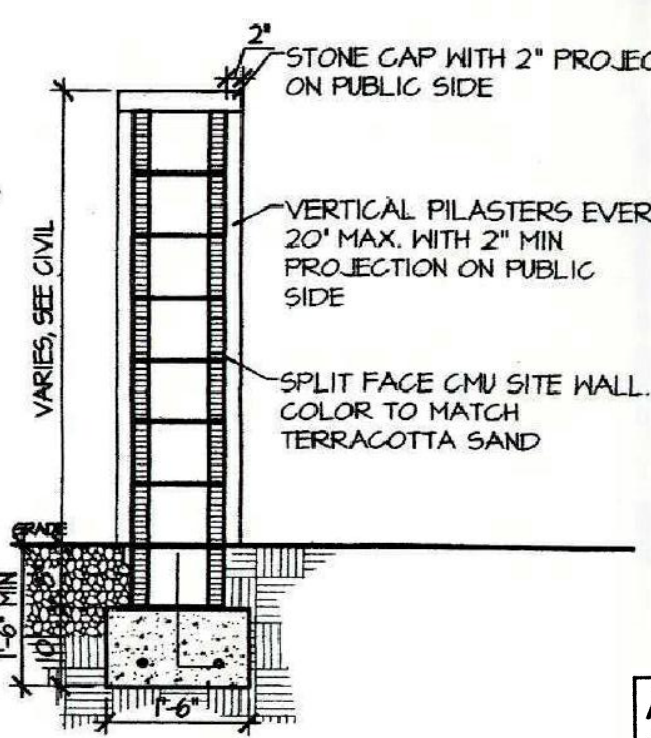
C1 BIKE RACK DETAIL
1/2"=1'-0"



B1 H.C. RAMP DETAIL
1/2"=1'-0"



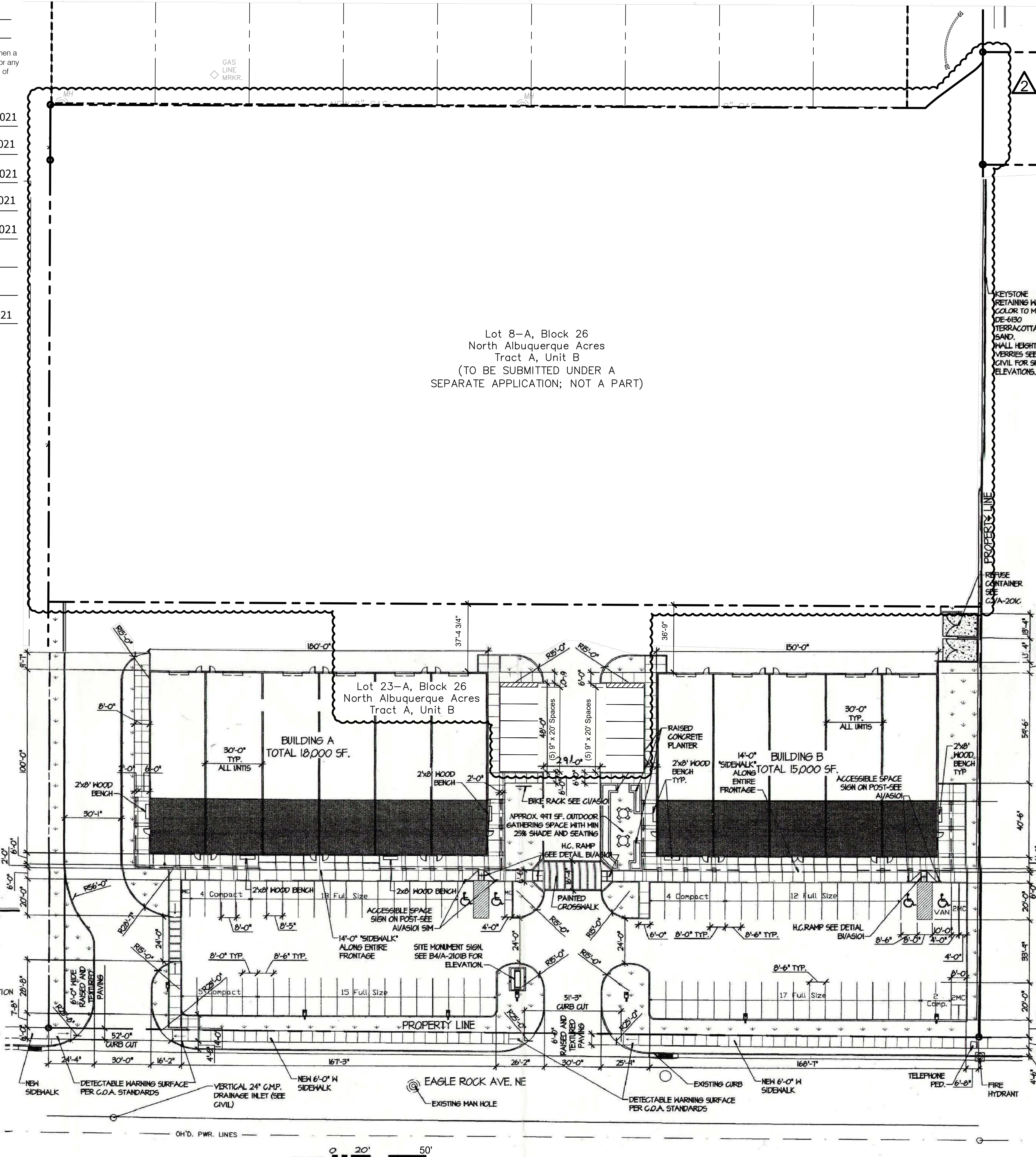
A1 H.C. SIGN DETAIL
1/2"=1'-0"



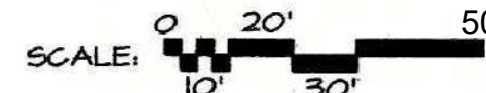
A2 SITE WALL DETAIL
1/2"=1'-0"

ADMINISTRATIVE AMENDMENT
 FILE #00282 PROJECT #002761
 Increase Bldg C sf, landscape, butler, parking adjustments, connect to Modesto Ave.
 P.B. 10 Sept 2019
 APPROVED BY DATE

A4 DRB SITE PLAN



Lot 8-A, Block 26
 North Albuquerque Acres
 Tract A, Unit B
 (TO BE SUBMITTED UNDER A SEPARATE APPLICATION; NOT A PART)



PROJECT NUMBER: 1003359
 Application Number: 07DRB-70227

Is an Infrastructure List required? (X) Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN FOR BUILDING PERMIT:

<u>Rick D...</u>	9-19-07
<u>Ryan...</u>	9-19-07
<u>Christina Sandoval</u>	9/19/07
<u>Bradley B. Brigham</u>	9/19/07
<u>Angela...</u>	9-25-07
<u>Michael...</u>	9/19/07
<u>B. Nelson</u>	9/25/07

DRAWING INDEX

AS101	SITE PLAN FOR BUILDING PERMIT
L-1	LANDSCAPE PLAN
C-101	GRADING AND DRAINAGE PLAN
A-201A	BUILDING AND STRUCTURE ELEVATIONS A
A-201B	BUILDING AND STRUCTURE ELEVATIONS B
A-201C	BUILDING AND STRUCTURE ELEVATIONS C
C-102	SITE UTILITY PLAN

SITE / BUILDING INFORMATION

LOTS 6-10 AND 23-25 BLOCK 26, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES
 ZONE- SU-2 IP (INDUSTRIAL PARK)
 SITE AREA = 6 ACRES
 CONSTRUCTION TYPE = 2B

PARKING CALCULATIONS

BUILDINGS A&B TOTAL 11 UNITS
 BUILDINGS A&B UNIT SIZE = 3,000 SF.
 BUILDINGS A&B UNIT WAREHOUSE SIZE = 2,082 SF.
 BUILDINGS A&B UNIT OFFICE SIZE = 918 SF.

GROSS LEASABLE AREA OFFICE SPACE = 10,098 SF.
 GROSS LEASABLE AREA WAREHOUSE SPACE = 22,902 SF.
 NET LEASABLE AREA = 33,000 SF.

OFFICE SPACE PARKING: 3.5 SPACES / 1,000 SF GFA = 35 SPACES REQUIRED
 WAREHOUSE PARKING: NO REQUIREMENT = 0 SPACES REQUIRED
 TOTAL PARKING REQUIRED: = 35 SPACES REQUIRED
 TOTAL PARKING PROVIDED: = 91 SPACES PROVIDED
 OFF-STREET SPACES PROVIDED = 91
 COMPACT SPACES PROVIDED = 15 (16%)

NOTE: ALL COMPACT SPACES TO BE DESIGNATED WITH PAINT ON THE PAVEMENT.

HC SPACE REQUIRED = 4
 HC SPACE PROVIDED = 4
 MOTORCYCLE SPACES REQUIRED = 5
 MOTORCYCLE SPACES PROVIDED = 6
 BIKE SPACE REQUIRED = 9 (# OF BIKES)
 BIKE SPACE PROVIDED = 10 (1 RACK WITH 10 BIKE CAPACITY)

CLEAR SIGHT DISTANCE: LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE AREA.

LEGEND

[Symbol]	NEW CONCRETE PER CIVIL
[Symbol]	ASPHALT
[Symbol]	LANDSCAPED AREA
[Symbol]	FULL CUT-OFF LIGHT POLE 15'-0" HIGH WITH 250 WATT METAL HALIDE BULB TYP.
[Symbol]	PROPOSED OFFICE AREA

EDI
 NYN
 VNC
 IAR
 MOINC
 SMENTAL

142 TRUMAN STREET NE
 ALBUQUERQUE, NM 87108
 TEL: 505.242.2861 FAX: 505.242.2862

EAGLE ROCK BUSINESS CENTER
 6401 EAGLE ROCK AVE NW
 ALBUQUERQUE, NM, 87113

STATE OF NEW MEXICO
 KRISTEN B. CALLORI
 9/16/07
 REGISTERED ARCHITECT

ISSUE: BUILDING PERMIT SET
 DRAWN: DMK
 CHECKED: KC
 DATE: 08.08.07

REVISIONS

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

0720
 AS101
 of XX

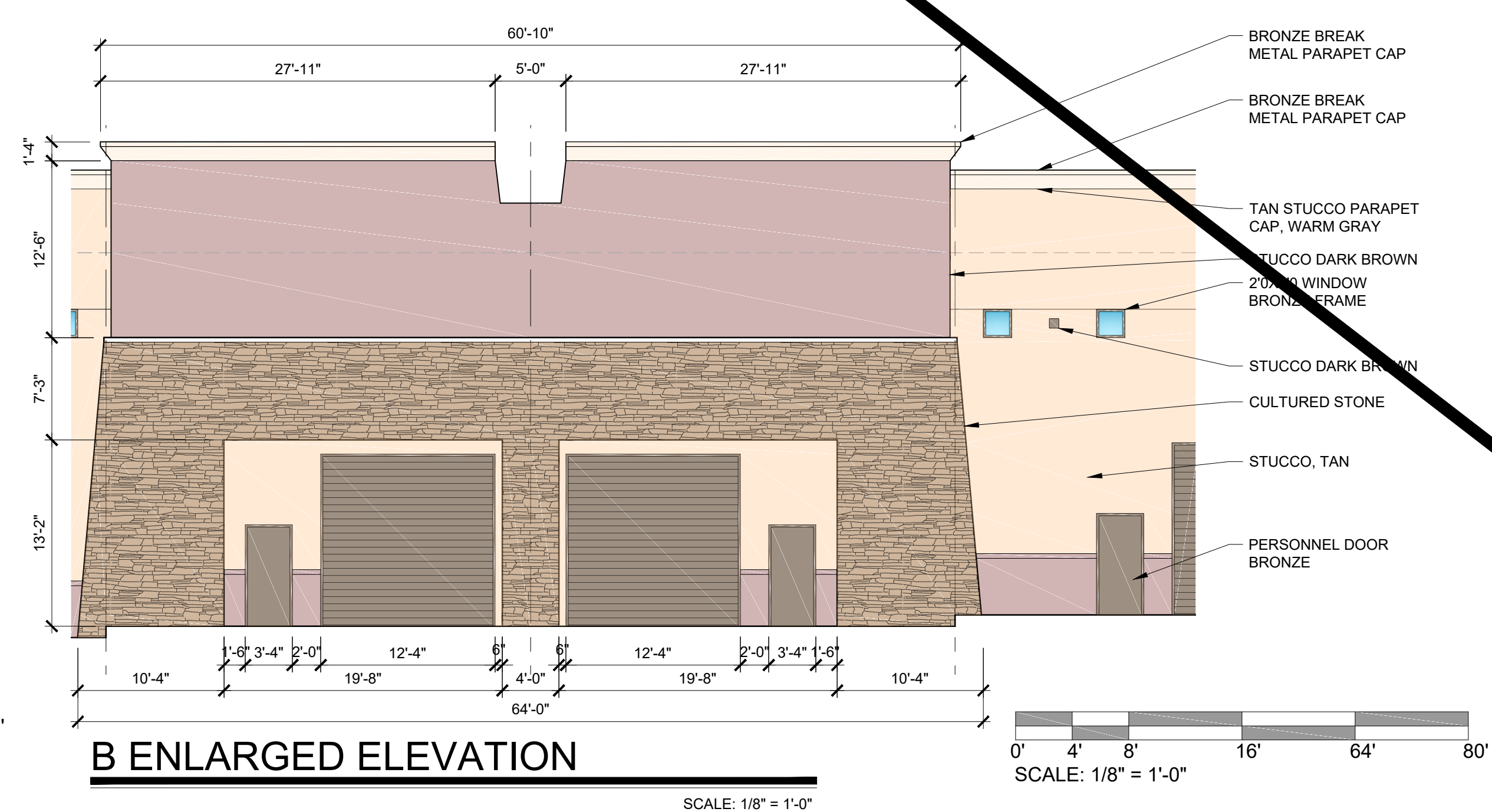
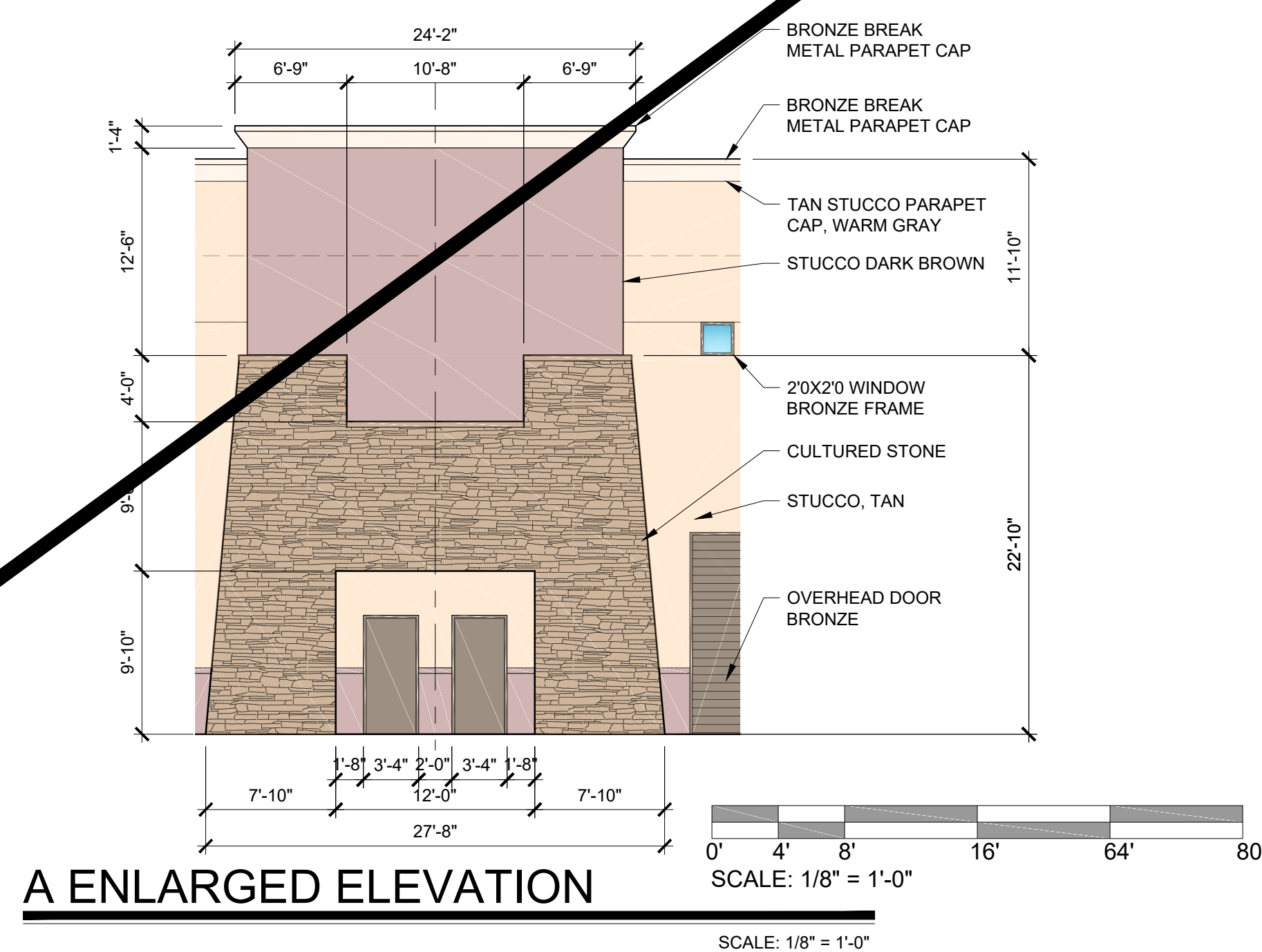
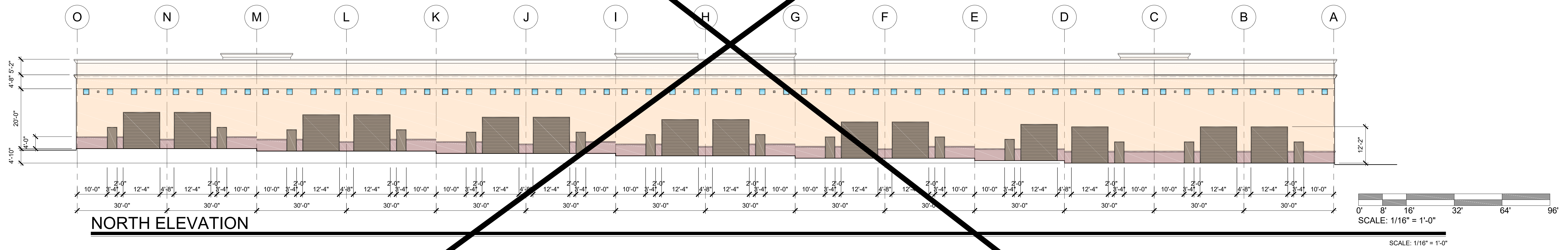
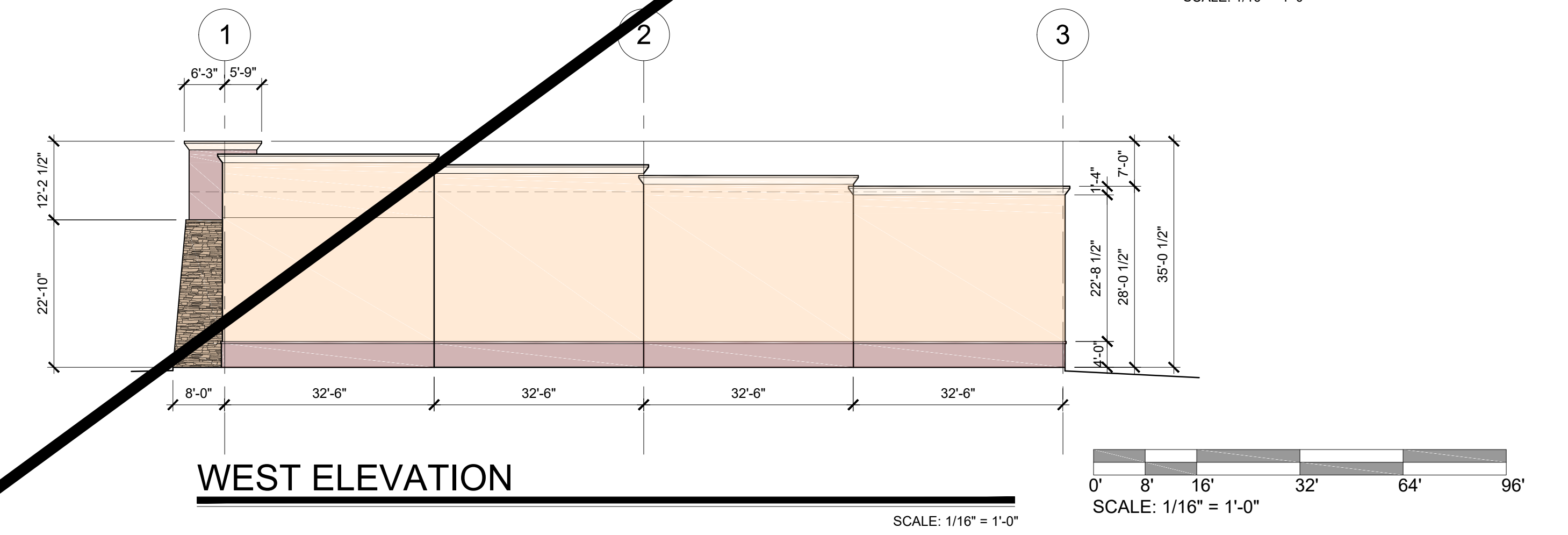
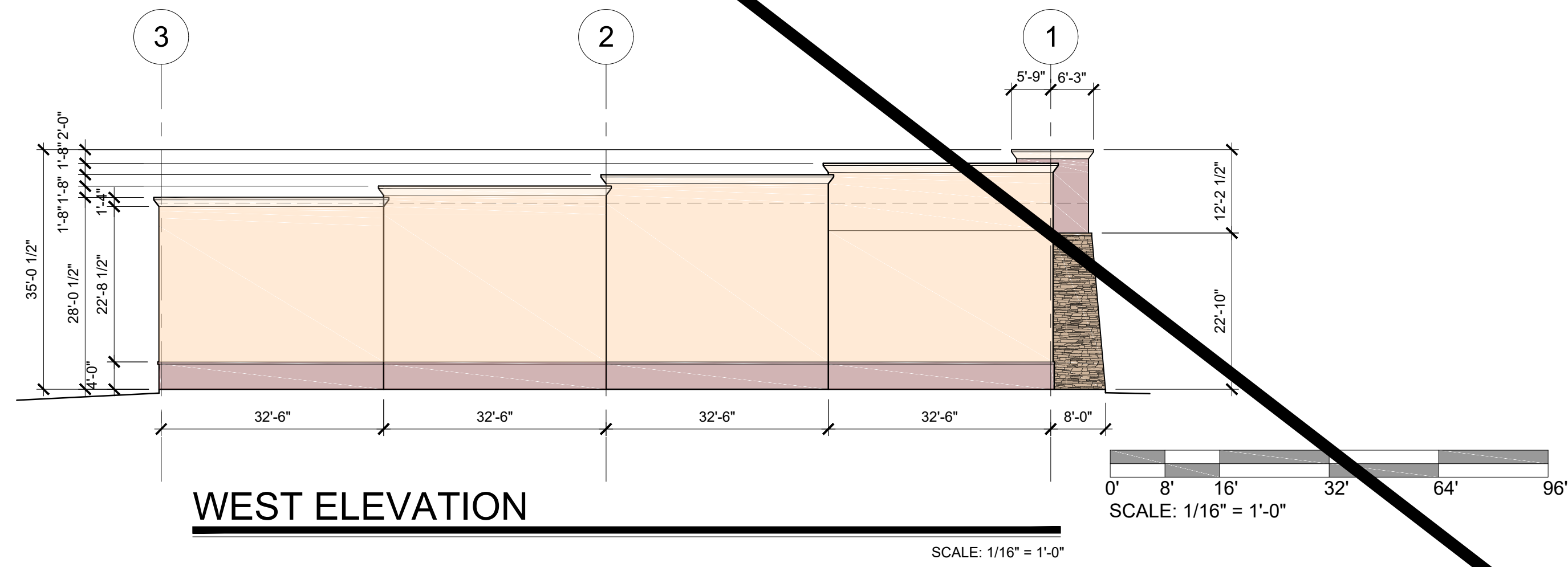
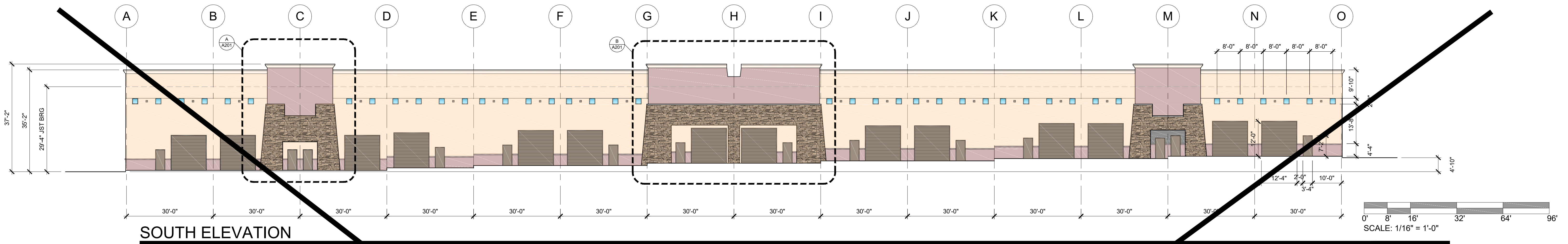
The subject property is located near a former landfill. Due to the subject property being near a former landfill, certain precautionary measures may need to be taken to ensure health and safety of the public. Recommendation made by a professional engineer with expertise in landfills and landfill gas issues (as required by the most current version of the Interim Guidelines for Development within City Designated Landfill Buffer Zones) shall be consulted prior to development of the site.

Amendment (2/26/2021): Lot 8-A removed from Site Plan. Lot 8-A to be submitted under a separate application with the two adjacent lots to the east.

Amendment (8/16/2019): Warehouse Building C square footage increased by 4,680 square feet; parking spaces have decreased by 14 spaces; a drive connection has been made to Modesto Avenue in the north east corner of the property; and the landscape buffer along the north edge of the property has been updated.

Albuquerque Environmental Health Department
 9-25-07

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Administrative Amendment (8/15/2019): Revised Building C Facade.
 Amendment (2/26/2021): Remove Sheet A-201D.

SCOTT C. ANDERSON & associates architects
 4419 4th St NW STE 8
 ALBUQUERQUE, NM 87107
 505.491.7575

EAGLE ROCK BUSINESS CENTER
 6501 EAGLE ROCK AVE NE
 ALBUQUERQUE NM, 87113

DRAWING TITLE: **BUILDING C ELEVATIONS**

DESIGNED	PROJECT NO
DRAWN	SCALE
CHECKED	DRAWING NO
REVIEWED	A-201D
DATE	OF

8/15/19