

Designed by: MS  
 Drawn by: SR  
 Architect of Record: RM

Date Plotted: XXXX/XX  
 Issue for Pricing / Bidding: XXXX/XX  
 Issue for Permit Application: XXXX/XX  
 Issue for Construction: XXXX/XX

Revisions:

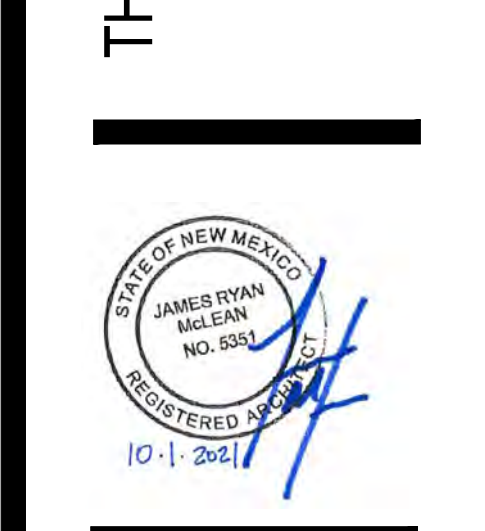
#	DATE	COMMENTS

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**THE PEAKS BY MARKANA**  
 ALBUQUERQUE, NEW MEXICO  
**LEGACY DEVELOPMENT & MANAGEMENT, LLC**



**HUMPHREYS & PARTNERS ARCHITECTS, L.P.**  
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SHEET CONTENTS:  
 SITE PLAN

SHEET NO.  
**A2.01**

20213

### SYMBOL LEGEND - SITE PLANS

	SETBACK LINE		ACCESSIBLE PARKING SPACE
	PROPERTY LINE		VAN ACCESSIBLE SPACE
	EASEMENT		FIRE HYDRANT
	GAS LINE		FIRE HYDRANT
	WATER LINE		PARKING SPACES PER BAY
	BUILDING TYPE		TYPE 'A' ANSI UNIT
	BUILDING NUMBER		TRANSFORMER

### LIGHTING LEGEND

	WALL-MOUNTED LIGHTS MUST BE MOUNTED BETWEEN 6 FEET AND 15 FEET ABOVE GRADE PER IDO, SECTION 5-8(D)(8)		CARPOT LIGHT FIXTURE
	WST LED, PERFORMANCE PACKAGE 3, 5000		POLE-MOUNTED LIGHTS, 16-FOOT MAX HEIGHT, FULLY SHIELDED.
	D-SERIES BOLLARD WITH 12 5000K		
	PEDESTRIAN LIGHTING, 12 FOOT MAXIMUM HEIGHT PER IDO SECTION 5-8(E)(1)		

### KEYNOTES

- 8'-0" x 18'-0" PARKING SPACE WITH 2' OVERHANG, TYPICAL, SEE DETAIL 2/A9.03
- 11'-0" x 18'-0" ACCESSIBLE PARKING SPACE WITH 2' OVERHANG, SEE DETAIL 1/A9.03
- 8'-0" x 15'-8" COMPACT PARKING SPACE WITH 2' OVERHANG, TYPICAL.
- TANDEM PARKING SPACE
- ACCESSIBLE CURB RAMP, SEE DETAIL 4/A9.01.
- 4' WIDE ACCESSIBLE DRIVEWAY CROSSING WITH SCORED CONCRETE.
- INDICATES LOCATION OF CARPORT PARKING STRUCTURE, SEE DETAIL 6-9/A9.01
- DOUBLE TRASH RECYCLE ENCLOSURE SURROUNDED BY 6' CMU WALL PAINTED TO MATCH BUILDINGS.
- SINGLE TRASH ENCLOSURE SURROUNDED BY 6' CMU WALL PAINTED TO MATCH BUILDINGS, SEE DETAIL 1/A9.04.
- RESIDENT ONLY REMOTE CONTROL ENTRY VEHICULAR GATE. KNOX
- EXIT ONLY VEHICULAR GATE.
- PEDESTRIAN ENTRY GATE.
- WROUGHT IRON WITH STONE PILASTERS PERIMETER VIEW FENCE.
- CMU/WROUGHT IRON COMBO PERIMETER FENCE.
- EXISTING CMU RETAINING WALL WITH WROUGHT IRON FENCE ON TOP. REMOVE AT NEW DRIVEWAYS AND SIDEWALK CONNECTIONS TO PHASE 1.
- 6'-0" SIDEWALK, CONNECTING TO PUBLIC WAYS AND CONNECTING BUILDINGS.
- 4'-0" SIDEWALK, TYPICAL ON SITE.
- EXISTING STREET.
- 6' CMU WALL
- FIRE RISER LOCATION, SEE BUILDING PLANS, ALL BUILDINGS SHALL HAVE PIV.
- POOL EQUIPMENT ROOM
- IMPACT BARRIER
- KNOXBOX
- 2 FT RETAINING WALL
- 6 FT 2 INCH RETAINING WALL
- BIKE STORAGE SPACE UNDER UNIT STAIR CASE.
- VAN ACCESSIBLE PARKING SPACE
- EV CHARGING SPACE
- MONUMENT SIGN
- STREET LIGHT TO BE INSTALLED BY AFJ
- 5'-0" SIDEWALK AT RIGHT-OF-WAY
- 6' CURB
- FLARED RAMP, SEE DETAIL 10a/A9.01
- 8' CMU WALL
- ALL WINDOWS AND WALLS DIRECTLY FACING THE SOLID WASTE CONVENIENCE CENTER WILL EXCEED THE STC (SOUND TRANSMISSION CLASS) STANDARD REQUIREMENTS TO FURTHER MITIGATE SOUND FROM THE SOLID WASTE CONVENIENCE CENTER TO THE RESIDENTIAL UNITS.
- GATE ACCESS TO WATER VAULT FOR ABCWUA

### DEVELOPMENT DATA

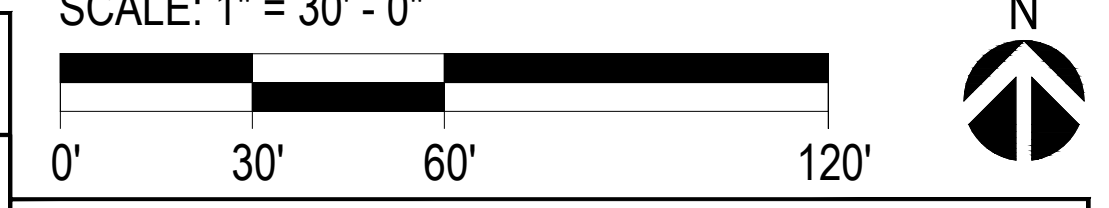
IDO: MX-L  
 PER TABLE 2-4-3-ZONE DISTRICT  
 SETBACKS PROVIDED: REQUIRED: PROVIDED:  
 FRONT SETBACK: 5 FEET 5 FEET  
 SIDE SETBACK: 0 FEET >10 FEET  
 REAR SETBACK: 15 FEET >15 FEET  
 BUILDING HEIGHT: 38 FEET  
 ALLOWED: 38 FEET  
 PROVIDED: 34'-0" FEET

PROVIDED SITE OPEN USEABLE SPACE

OPEN USEABLE SPACE REQUIRED AND PROVIDED						
UNIT NAME	UNIT TYPE	# OF UNITS	OPEN SPACE REQ. PER TABLE 5-1-1 CITY'S IDO	TOTAL REQ. SQ. FT.	BALCONY SQ. FT.	PROVIDED BALCONY SQ. FT.
S1	1BR/1BA	4	225	900	0	0
A1-L	1BR/1BA	4	225	900	44	176
A1-U	1BR/1BA	14	225	3,150	62	868
A2	1BR/1BA	16	225	3,600	107	1,712
A3	1BR/1BA	28	225	6,300	0	0
B1	2BR/2BA	2	285	570	82	164
B1-L	2BR/2BA	12	285	3,420	82	82
B1-U	2BR/2BA	12	285	3,420	82	984
B2	2BR/2BA	14	285	3,990	161	2,254
B3	2BR/2BA	14	285	3,990	110	1,540
TOTAL OPEN SPACE REQUIRED				30,240		
PROVIDED BALCONY PRIVATE OPEN SPACE						7,780
PROVIDED SITE OPEN USEABLE SPACE						65,382
TOTAL PROVIDED						73,162

### SITE NOTES

- DEVELOPMENT AND USE OF THIS SITE MUST CONFORM WITH ALL APPLICABLE CODES AND ORDINANCES.
- ALL NEW OR RELOCATED UTILITIES WILL BE PLACED UNDERGROUND UNO.
- ANY LIGHTING WILL BE PLACED SO AS TO DIRECT LIGHT AWAY FROM RESIDENTIAL DISTRICTS AND WILL BE FULLY SHIELDED TO COMPLY WITH THE NIGHT SKY PROTECTION ACT AND IDO SECTION 14-16-5-8 OUTDOOR LIGHTING.
- ALL ROOFTOP EQUIPMENT AND SATELLITE DISHES SHALL BE SCREENED TO THE HEIGHT OF THE TALLEST EQUIPMENT.
- ALL SERVICE AREAS SHALL BE SCREENED TO CONCEAL TRASH CONTAINERS, GAS METERS, TRANSFORMERS, BACKFLOW PREVENTERS AND OTHER MECHANICAL OR ELECTRICAL EQUIPMENT FROM EYE LEVEL ADJACENT TO ALL PUBLIC STREETS.
- SIDEWALK SLOPES SHALL NOT EXCEED 5% CROSS SLOPES NOT TO EXCEED 2% (REF. CIVIL) SHOULD SLOPES EXCEED 5% WALK WILL BE CONSIDERED A RAMP AND BE REQUIRED TO HAVE HANDRAILS ON EACH SIDE AS WELL AS LEVEL LANDINGS AT THE TOP AND BOTTOM OF RAMP FOR A DISTANCE OF 5' BEYOND THE EXTENT OF THE RAMP.
- ALL ACCESSIBLE BUILDING ENTRANCES SHALL HAVE NO MORE THAN A 2% SLOPE FOR A DISTANCE OF 66" PERPENDICULAR TO THE DOOR INCLUDING AN 18" MANEUVERING CLEARANCE ON PULL SIDE OF DOOR.
- NO EXPOSED CONDUIT, PIPING, ETC. IS ALLOWED ON THE EXTERIOR FACE OF THE BUILDING.
- PROVIDE 18" MANEUVERING CLEARANCE ON PULL SIDE OF ALL PEDESTRIAN GATES, MAINTAIN GROUND SLOPE AT 2%.
- A 42" HIGH GUARDRAIL, MEASURED FROM FINISH FLOOR OF WALKING SURFACE, SHALL BE PLACED ALONG WALKING SURFACE MORE THAN 30" ABOVE THE ADJACENT GRADING.
- GROUND-MOUNTED EQUIPMENT SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. ALL SCREENING AND VEGETATION SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS ARE TO ALLOW 10 FEET OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5-6 FEET OF CLEARANCE ON THE REMAINING THREE SIDES FOR SAFE OPERATION, MAINTENANCE, AND REPAIR PURPOSES.
- VISIBILITY, LANDSCAPING, FENCING, AND SIGNS SHALL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBS BETWEEN 3 AND 8 FEET IN HEIGHT (AS MEASURED FROM THE GUTTER PAN) ARE NOT ALLOWED IN THE CLEAR SIGHT TRIANGLE.
- ALL PUBLIC INFRASTRUCTURE WITHIN CITY RIGHT-OF-WAY SHALL BE INCLUDED IN A PUBLIC WORK ORDER.
- SIDEWALKS IN RIGHT-OF-WAY SHALL BE 5 FEET WIDE PER NEW DMP STANDARDS.
- THIS SITE IS LOCATED ADJACENT TO THE CITY OF ALBUQUERQUE EAGLE ROCK SOLID WASTE CONVENIENCE CENTER AND THERE MAY BE NOISE, DUST, AND OTHER IMPACTS ASSOCIATED WITH PROXIMITY TO THIS FACILITY.



### DEVELOPMENT DATA

MARKANA MODESTO LEGACY DEVELOPMENT AND MANAGEMENT, LLC						2020213
UNIT TABULATION - 2/3 STORY RESIDENTIAL						2/25/21
UNIT NAME	UNIT TYPE	NET AREA(SF)	UNIT COUNT	BED COUNT	UNTPERCEN TAGE	TOTAL AREA
S1	1br/1ba	508	4	4	3%	2,032
A1	1br/1ba	639	18	18	15%	11,502
A2	1br/1ba	775	16	16	13%	12,400
A3	1br/1ba	845	28	28	23%	23,960
B1	2br/2ba	1,030	28	52	22%	26,760
B2	2br/2ba	1,187	14	28	12%	16,818
B3	2br/2ba	1,230	14	28	12%	17,220
<b>TOTALS</b>			<b>120</b>	<b>174</b>	<b>100%</b>	<b>110,212</b>

UNIT AVERAGE NET SF: 918

\*NET AREA IS COMPUTED TO INCLUDE SQUARE FOOTAGE FROM EXTERIOR FACE OF ALL EXTERIOR FRAME WALLS THAT ENCLOSE A.C. SPACE. IT DOES NOT INCLUDE PATIOS, BALCONES, PATIO/BALCONY STORAGE.

### PROJECT DATA

UNIT AVERAGE NET SF: 918

ACREAGE: 4.27 GROSS ACRES

DENSITY: 28 UNITS/ACRE

### RESIDENTIAL PARKING:

REQUIRED	189 SPACES
SURFACE/CARPOT PARKING	115 SPACES
ADA/H VAN PARKING	6 SPACES
EV PARKING	4 SPACES 1 SPACE = 2 PER IDO 5-5(C)(5)(d)
GARAGE PARKING	26 SPACES
TANDEM PARKING	23 SPACES
PROVIDED	174 SPACES *

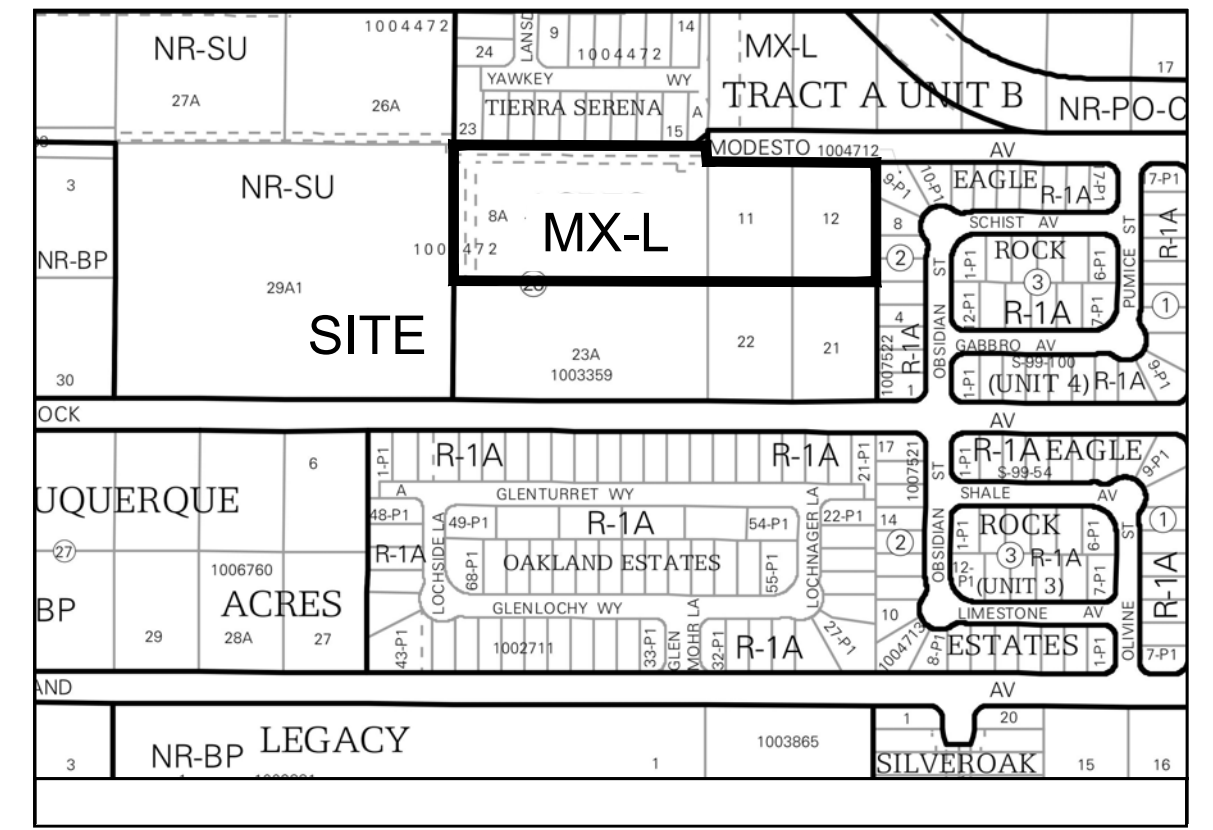
### BIKE STORAGE

REQUIRED	18 SPACE PER IDO 5-5-6
EXTERIOR STORAGE	10 AT BIKE RAMADA
SECURED STORAGE	8 INSIDE GARAGES UNDER STAIRCASE
PROVIDED	18 SPACES

\* 3% DIVISION OF 6 PARKING SPACES (3.3%) APPROVED BY CODE ENFORCEMENT AS PART OF THIS SITE PLAN APPLICATION SI-2021-00256.

### BUILDING SQ.FT.

BLDG	OCCUPANCY	AREA			TOTAL
		1ST FLR	2ND FLR	3RD FLR	
1	U/R-2	8279	8226	0	16505
2	U/R-2	7313	7497	843	15653
3	U/R-2	7426	7369	843	15638
4	U/R-2	9013	9144	2539	20696
RAMADA 1	U	93			
RAMADA 2	U	93			
POOL RR	U	1211			
<b>TOTAL</b>		<b>33428</b>	<b>32236</b>	<b>4225</b>	<b>68492</b>



PROJECT NUMBER: PR-2019-002761

Application Number: SI-2021-00256

Is an Infrastructure List required? ( ) Yes ( ) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

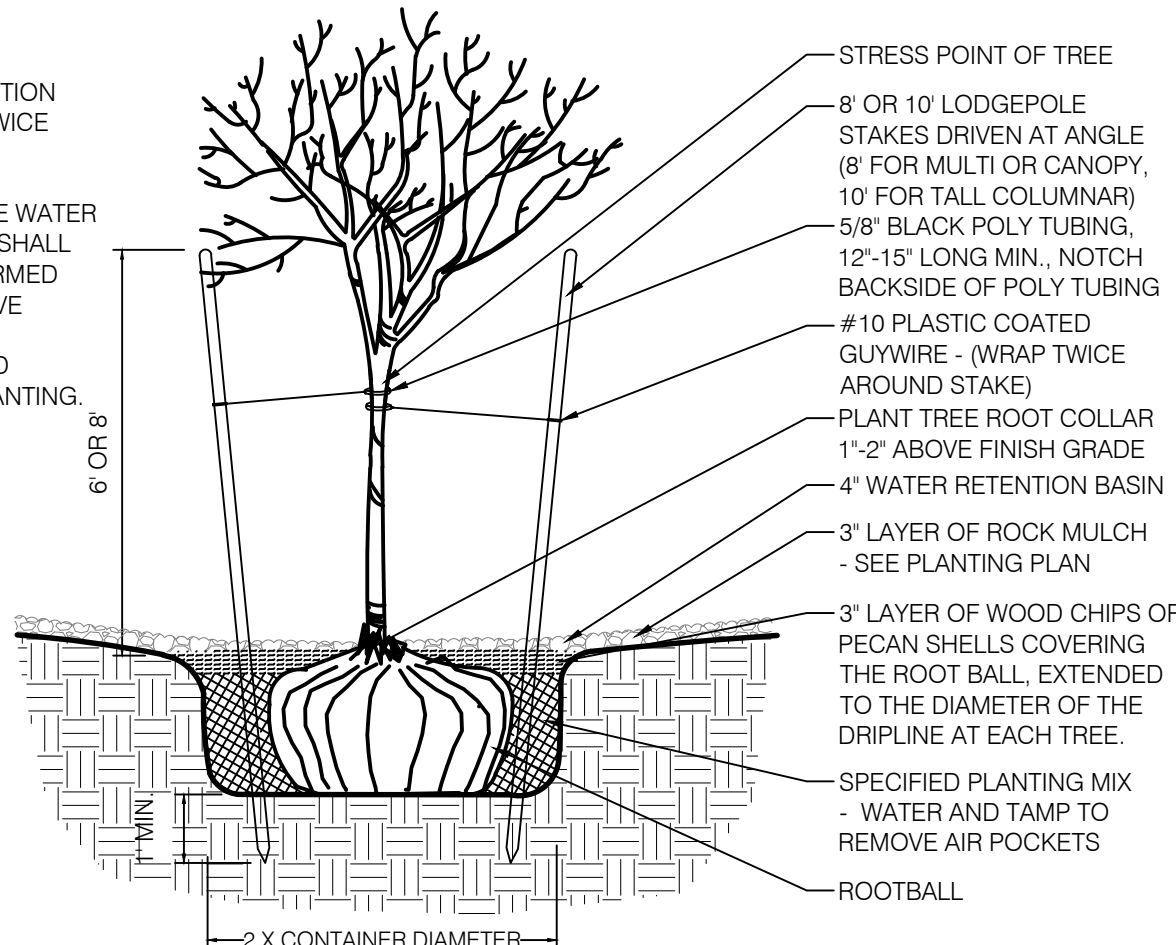
<i>Jeanne Wolfenbarger</i> Traffic Engineering, Transportation Division	Oct 28, 2021
<i>Blaine Carter</i> ABCWUA	Oct 27, 2021
<i>Ernest Amiso</i> Parks and Recreation Department	Oct 27, 2021
City Engineer/Hydrology	Date
<i>Robert Webb</i> Code Enforcement	Oct 27, 2021
DRB Chairperson, Planning Department	Date
* Environmental Health Department (conditional)	Date
Herman Gallegos Solid Waste Management	10-19-21
<i>Robert Webb</i>	Oct 28, 2021
DRB Chairperson, Planning Department	Date

\* Environmental Health, if necessary

FILE: M:\2020\2021\MARKANA MODESTO\04\_CD\04-20 NOT USED\2021\0520 FULL BACKUP DD\DRB\2021\A201-DRB.dwg LAYOUT: A201  
 SCALE: 3/64 DATE/TIME: 04/18/2021 11:19:58am  
 USER: r.madala XREF(6): 2A-26.TBLK-FINAL.dwg X-BLDG-ALL.dwg X-DWG.dwg X-CLUB.dwg X-DOCG.dwg X-LEGEND.dwg X-LEGEND-NOTES-SITE PLAN.dwg X-OPEN SPACE KEY PLAN.dwg X-OPEN SPACE.dwg X-BH-A1.dwg X-BH-A2.dwg X-BH-A3.dwg X-S1.dwg X-BH-A1.dwg X-BH-A2.dwg X-BH-A3.dwg X-BH-B1.dwg X-BH-B2.dwg X-BH-B3.dwg X-BH-B1.dwg X-BH-B2.dwg X-BH-B3.dwg X-BH-C1.dwg X-BH-C2.dwg X-BH-C3.dwg X-BH-D1.dwg X-BH-D2.dwg X-BH-D3.dwg X-BH-E1.dwg X-BH-E2.dwg X-BH-E3.dwg X-BH-F1.dwg X-BH-F2.dwg X-BH-F3.dwg X-BH-G1.dwg X-BH-G2.dwg X-BH-G3.dwg X-BH-H1.dwg X-BH-H2.dwg X-BH-H3.dwg X-BH-I1.dwg X-BH-I2.dwg X-BH-I3.dwg X-BH-J1.dwg X-BH-J2.dwg X-BH-J3.dwg X-BH-K1.dwg X-BH-K2.dwg X-BH-K3.dwg X-BH-L1.dwg X-BH-L2.dwg X-BH-L3.dwg X-BH-M1.dwg X-BH-M2.dwg X-BH-M3.dwg X-BH-N1.dwg X-BH-N2.dwg X-BH-N3.dwg X-BH-O1.dwg X-BH-O2.dwg X-BH-O3.dwg X-BH-P1.dwg X-BH-P2.dwg X-BH-P3.dwg X-BH-Q1.dwg X-BH-Q2.dwg X-BH-Q3.dwg X-BH-R1.dwg X-BH-R2.dwg X-BH-R3.dwg X-BH-S1.dwg X-BH-S2.dwg X-BH-S3.dwg X-BH-T1.dwg X-BH-T2.dwg X-BH-T3.dwg X-BH-U1.dwg X-BH-U2.dwg X-BH-U3.dwg X-BH-V1.dwg X-BH-V2.dwg X-BH-V3.dwg X-BH-W1.dwg X-BH-W2.dwg X-BH-W3.dwg X-BH-X1.dwg X-BH-X2.dwg X-BH-X3.dwg X-BH-Y1.dwg X-BH-Y2.dwg X-BH-Y3.dwg X-BH-Z1.dwg X-BH-Z2.dwg X-BH-Z3.dwg

DRB SET: 10-05-2021

- NOTES:
- THE WATER RETENTION BASIN SHALL BE TWICE THE PLANTING PIT DIAMETER.
  - THE EDGES OF THE WATER RETENTION BASIN SHALL BE SMOOTHLY FORMED WITH NO OBTRUSIVE EDGES.
  - REMOVE ROPE AND BURLAP AFTER PLANTING.



TREE PLANTING DETAIL

SCALE: N.T.S.

- KEY NOTES
- PROPERTY LINE, TYP.
  - CLEAR SIGHT TRIANGLE
  - MODERN LOW BOWL PLANTER
  - RECTANGLE TAPERED PLANTER
  - SYNTHETIC TURF
  - WATER FEATURE
  - MONUMENT SIGN, SEE ARCHITECTURAL SITE PLAN

GENERAL LANDSCAPE NOTES

**LANDSCAPE DESIGN**  
ALL PLANTING AREAS SHALL BE TOP DRESSED WITH CRUSHER FINES, 7/8" SANTA FE BROWN ROCK MULCH, 2"-4" BUILDLOGY BROWN ROCK MULCH, OR SIMILAR MATERIAL. ALL PLANTERS SHALL BE TOP DRESSED WITH A MINIMUM 2" OF SHREDDED BARK MULCH.

**IRRIGATION**  
IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE SHALL BE STRICTLY ADHERED TO. A FULLY AUTOMATED IRRIGATION SYSTEM WILL BE USED TO IRRIGATE TREE, SHRUB AND GROUND COVER PLANTING AREAS. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO ISOLATE PLANT MATERIAL ACCORDING TO SOLAR EXPOSURE AND WILL BE SET UP BY PLANT ZONES ACCORDING TO WATER REQUIREMENTS. THE TREES WILL BE PROVIDED WITH (6) 2 GPH EMITTERS, WITH THE ABILITY TO BE EXPANDED TO ACCOMMODATE THE GROWTH OF THE TREE. SHRUBS AND GROUNDCOVERS WILL BE PROVIDED WITH (2) 1 GPH EMITTERS. TREES, SHRUBS, ACCENTS, AND GROUNDCOVERS WILL BE GROUPED ON THE SAME VALVE.

WHERE LANDSCAPING IS INSTALLED IN THE PUBLIC RIGHT-OF-WAY, A SEPARATE VALVE(S) WILL BE PROVIDED AT THE PROPERTY LINE ALLOWING ISOLATION OF THE IRRIGATION TO THE LANDSCAPE WITHIN THE PUBLIC RIGHT-OF-WAY. DRIP IRRIGATION SYSTEMS AND ARTIFICIAL TURF SHALL NOT BE ALLOWED WITHIN THE PUBLIC RIGHT-OF-WAY.

**RESPONSIBILITY OF MAINTENANCE**  
MAINTENANCE OF ALL PLANTING AND IRRIGATION, INCLUDING THOSE WITHIN THE PUBLIC R.O.W., SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

**METHOD FOR COMPLYING WITH WATER CONSERVATION ORDINANCE**  
THE LANDSCAPE PLAN SHALL LIMIT THE PROVISION OF HIGH WATER USE TURF TO A MAXIMUM OF 10 PERCENT OF THE REQUIRED LANDSCAPED AREA. THE PLANT PALETTE IS PREDOMINANTLY COMPRISED OF PLANTS WITH LOW TO MEDIUM WATER USE REQUIREMENTS, THEREBY MINIMIZING IRRIGATION NEEDS WHILE ENSURING THE VIABILITY OF THE PLANTS. AN EVAPOTRANSPIRATION MANAGEMENT CONTROLLER WILL BE INCLUDED IN THE DESIGN OF THE IRRIGATION SYSTEM TO MONITOR WEATHER CONDITIONS SO THAT THE OPTIMUM MOISTURE BALANCE IS ACHIEVED AND THE POSSIBILITY OF OVER-WATERING IS REDUCED.

**PNM COORDINATION**  
COORDINATION WITH PNM'S NEW SERVICE DELIVERY DEPARTMENT IS NECESSARY REGARDING PROPOSED TREE LOCATION AND HEIGHT, SIGN LOCATION AND HEIGHT, AND LIGHTING HEIGHT IN ORDER TO ENSURE SUFFICIENT SAFETY CLEARANCES.

SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO ELECTRIC UTILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET IN FRONT AND AT LEAST FIVE FEET ON THE REMAINING THREE SIDES SURROUNDING ALL GROUND-MOUNTED EQUIPMENT FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

**CLEAR SIGHT DISTANCE**  
LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE AREA.

**LANDSCAPE AREA COVERAGE**

TOTAL SITE AREA	208,587 SF (4.78 AC)
TOTAL BUILDING AREA (BUILDING ENVELOPE):	- 68,627 SF
NET AREA	139,960 SF

REQUIRED LANDSCAPE AREA (15% OF NET AREA): 20,994 SF  
PROVIDED LANDSCAPE AREA 43,618 SF (31%)

**LANDSCAPE LIVE VEGETATIVE COVERAGE**  
LANDSCAPE COVERAGE REQUIREMENTS SPECIFY TREE CANOPIES AND GROUND-LEVEL PLANTS SHALL COVER A MINIMUM OF 75%. A MINIMUM OF 25% SHALL BE PROVIDED AS GROUND-LEVEL PLANTS (SHRUBS, GRASSES, ETC.) OF THE REQUIRED VEGETATIVE COVERAGE.

PROVIDED LIVE VEGETATIVE MATERIAL COVERAGE 76,524 SF (75%)  
PROVIDED GROUND-LEVEL PLANT COVERAGE 14,556 SF (43%)

**LANDSCAPE TURF**  
NO MORE THAN 10% OF REQUIRED LANDSCAPE AREAS SHALL BE TURF GRASS SPECIES REQUIRING IRRIGATION FOR SURVIVAL AFTER THE FIRST 2 GROWING SEASONS.

TURF AREA: 1,450 SF (6.9%)

**PARKING LOT AREA**  
THERE ARE 180 PARKING SPACES. AT LEAST 15% OF THE PARKING LOT AREA OF LOTS CONTAINING 50 OR MORE SPACES, SHALL BE LANDSCAPED.

TOTAL PARKING LOT AREA: 72,119 SF  
LANDSCAPE AREA: 14,200 SF (19%)

**PARKING LOT TREES**  
THERE ARE 180 PARKING SPACES. PARKING LOT TREE REQUIREMENTS ARE BASED UPON 1 TREE PER 10 SPACES.

PARKING LOT TREES REQUIRED: 18  
PARKING LOT TREES PROVIDED: 23

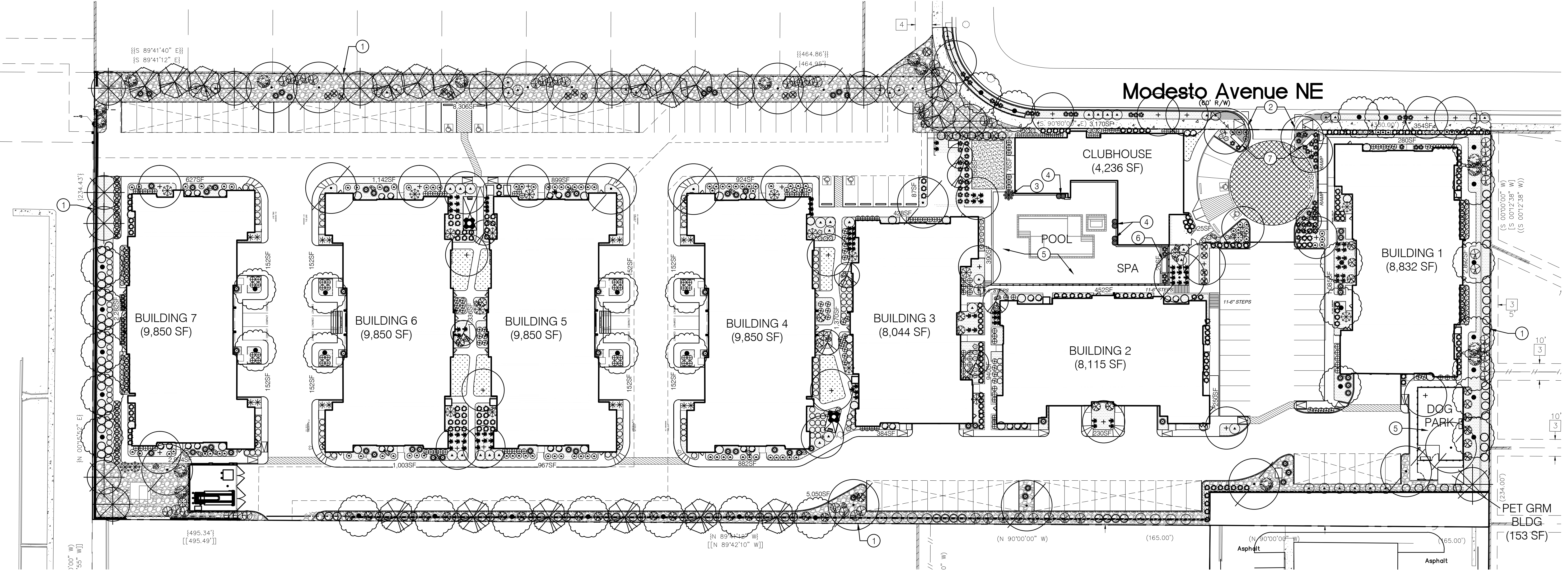
**STREET TREES**  
MODESTO AVENUE IS A LOCAL STREET AND THEREFORE DOES NOT REQUIRE STREET TREES PER PART 6-6-2 OF ROA 1994 (STREET TREES).

**SITE TREES**  
TREE REQUIREMENTS FOR MULTI-FAMILY RESIDENTIAL DEVELOPMENTS ARE AT A RATE OF ONE TREE PER GROUND FLOOR UNIT AND ONE TREE FOR EVERY SECOND FLOOR UNIT. NO ADDITIONAL TREES ARE REQUIRED FOR UNITS ABOVE SECOND STORY. 46 FIRST FLOOR UNITS AND 74 SECOND STORY UNITS ARE PROVIDED.  
SITE TREES REQUIRED: 120  
SITE TREES PROVIDED: 121

PLANT LEGEND

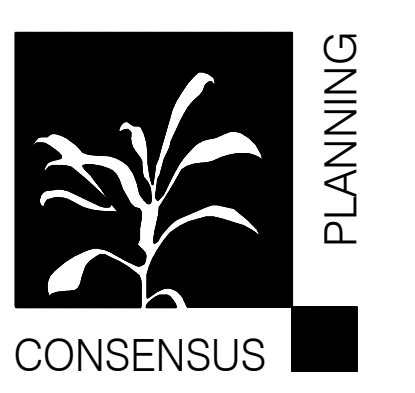
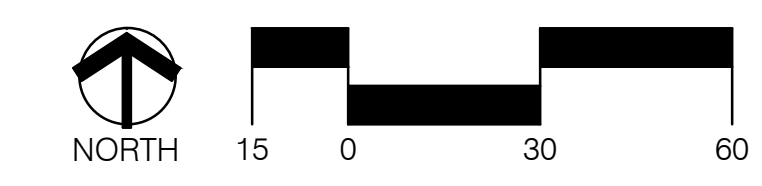
QTY.	SYMBOL	SCIENTIFIC NAME COMMON NAME (WATER USE)	SIZE	MATURE SIZE
<b>TREES</b>				
18	(Symbol)	GLEDTISIA TRIACANTHOS SHADEMASTER SHADEMASTER HONEYLOCUST (M)	2' B&B	40 HT. X 35' SPR.
9	(Symbol)	LAGERSTROEMIA IND. WATERMELON RED WATERMELON RED CRAPE MYRTLE (H)	2' MS/ 24" BOX	25' HT. X 15' SPR.
13	(Symbol)	PINUS NIGRA AUSTRIAN PINE (M)	B&B	35' HT. X 25' SPR.
34	(Symbol)	FRAXINUS OXYCARPA 'RAYWOOD' RAYWOOD ASH (M+)	2' B&B	35' HT. X 25' SPR.
30	(Symbol)	ULMUS PROPINQUA JFS-BIEBERICH EMERALD SUNSHINE ELM (M)	2' B&B	30' HT. X 25' SPR.
17	(Symbol)	VITEA AGNUS-CASTUS CHASTE TREE (M)	2' MS/ 24" BOX	20' HT. X 20' SPR.
<b>SHRUBS</b>				
29	(Symbol)	BUDDEIA DAVIDII NAN. 'NANHO PURPLE' PURPLE BUTTERFLY BUSH (M)	5-GAL.	4' HT. X 4' SPR.
39	(Symbol)	CARYOPTERIS CLANDONENSIS DARK KNT BLUE MIST DARK KNIGHT SPIREA (M)	5-GAL.	5' HT. X 5' SPR.
50	(Symbol)	CYTISUS X PRAECOX 'ALLGOLD' ALLGOLD BROOM (M)	5-GAL.	5' HT. X 5' SPR.
122	(Symbol)	JUNIPERUS CHINENSIS 'SPARTAN' SPARTAN JUNIPER (L+)	15-GAL.	12' HT. X 3' SPR.
145	(Symbol)	NANDINA DOMESTICA 'GULF STREAM' GULF STREAM NANDINA (M)	5-GAL.	3' HT. X 3' SPR.
15	(Symbol)	PINUS MUGO MUGHUS MUGO PINE (M)	5-GAL.	8' HT. X 8' SPR.
61	(Symbol)	RHUS TRILOBATA 'AUTUMN AMBER' CREEPING THREE-LEAF SUMAC (L+)	5-GAL.	18' HT. X 6' SPR.
<b>DESERT ACCENTS</b>				
16	(Symbol)	DASYLIRION TEXANUM SOTOL (RW)	5-GAL.	4' HT. X 4' SPR.
69	(Symbol)	HESPERALOE PARVIFLORA RED FLOWERING YUCCA (L+)	5-GAL.	4' HT. X 4' SPR.
20	(Symbol)	YUCCA GLORIOSA 'VARIEGATA' VARIEGATED YUCCA (RW)	5-GAL.	5' HT. X 6' SPR.
3	(Symbol)	YUCCA ROSTRATA BEAKED YUCCA (RW)	15-GAL.	12' HT. X 4' SPR.
91	(Symbol)	YUCCA RUPICOLA TWISTLEAF YUCCA (RW)	5-GAL.	2' HT. X 3' SPR.

QTY.	SYMBOL	SCIENTIFIC NAME COMMON NAME (WATER USE)	SIZE	MATURE SIZE
<b>ORNAMENTAL GRASSES</b>				
180	(Symbol)	CALAMAGROSTIS A. 'OVERDAM' VARIEGATED REED GRASS (M)	5-GAL.	3' HT. X 3' SPR.
58	(Symbol)	MISCANTHUS SINENSIS 'YAKUSHIMA' DWARF MAIDEN GRASS (M)	5-GAL.	4' HT. X 4' SPR.
117	(Symbol)	PENNISETUM ALOP. 'HAMELN' DWARF FOUNTAIN GRASS (M)	5-GAL.	3' HT. X 3' SPR.
80	(Symbol)	PENNISETUM ORIENTALE 'KARLEY ROSE' ORIENTAL FOUNTAIN GRASS (M)	5-GAL.	3' HT. X 3' SPR.
<b>FLOWERING PLANTS</b>				
103	(Symbol)	ACHILLEA MOONSHINE MOONSHINE YARROW (M)	1-GAL.	2' HT. X 2' SPR.
45 SF	(Symbol)	DELOSPERMA COOPERI/NUBIGENUM PURPLE/YELLOW ICEPLANT (L+)	1-GAL. 15" O.C.	6' HT. X 16' SPR.
46	(Symbol)	ECHINACEA PURPUREA 'POWOW WHITE' WHITE CONEFLOWER (M)	1 GAL.	3' HT. X 3' SPR.
68	(Symbol)	LAVANDULA ANGSTUFOLIA ENGLISH LAVENDER (M)	5 GAL.	3' HT. X 3' SPR.
<b>TURF GRASS</b>				
1,450 SF	(Symbol)	REVELLE BLUEGRASS	SOD	
<b>BOULDERS AND MULCHES</b>				
24	(Symbol)	LANDSCAPE BOULDERS (3X3" MIN)		
24,262 SF	(Symbol)	7/8" SANTA FE BROWN ROCK MULCH (3" DEPTH OVER FILTER FABRIC)		
16,690 SF	(Symbol)	2"-4" BUILDLOGY BROWN MULCH (6" DEPTH OVER FILTER FABRIC)		
<b>HARDSCAPE</b>				
175 LF	(Symbol)	8" CONCRETE EDGER AT TURF		
1 EA	(Symbol)	54" DIA. X 9" HT. MODERN LOW BOWL PLANTER		
3 EA	(Symbol)	60" X 30" X 24" HT. TAPERED RECTANGLE PLANTER		



LANDSCAPE PLAN

SCALE: 1"=30'-0"



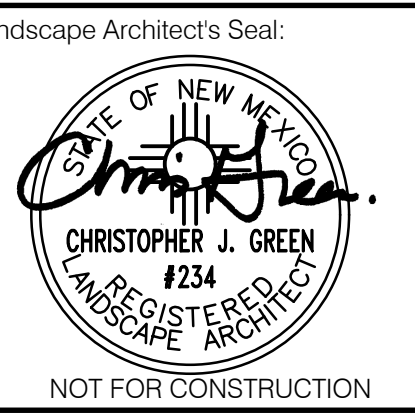
Landscape Architecture  
Urban Design  
Planning Services

302 EIGHTH ST. NW  
Albuquerque, NM 87102  
Phone (505) 764-9801  
Fax (505) 842-5495

REVISIONS

#	Date	Description

Project Name: **THE PEAKS BY MARKANA**  
LEGACY DEVELOPMENT AND MANAGEMENT, LLC  
ALBUQUERQUE, NEW MEXICO

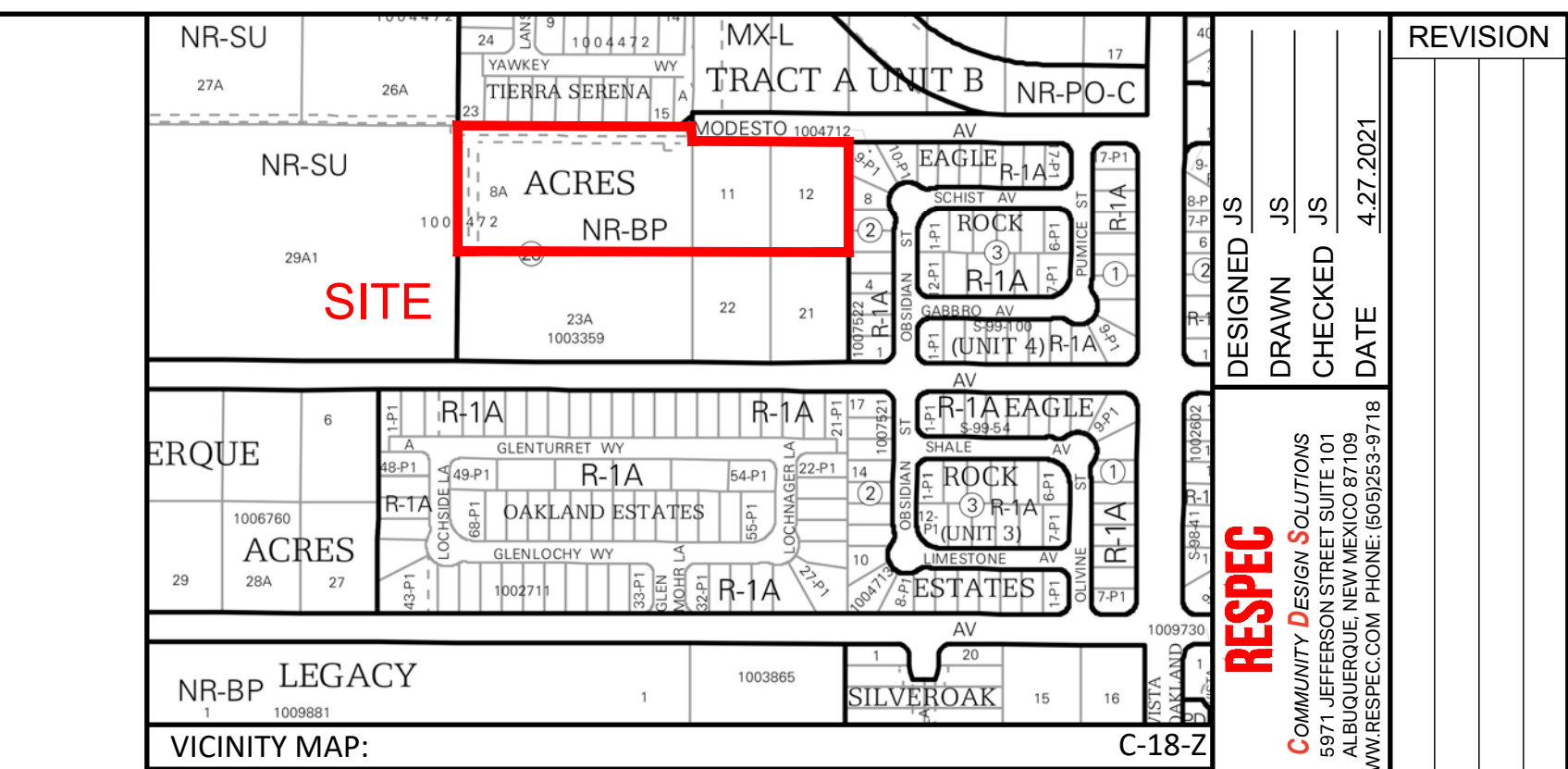
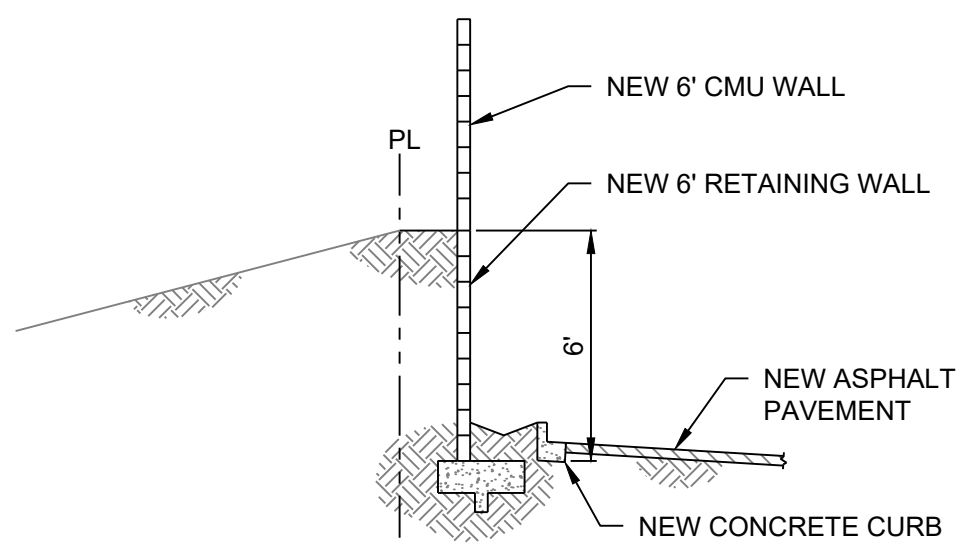
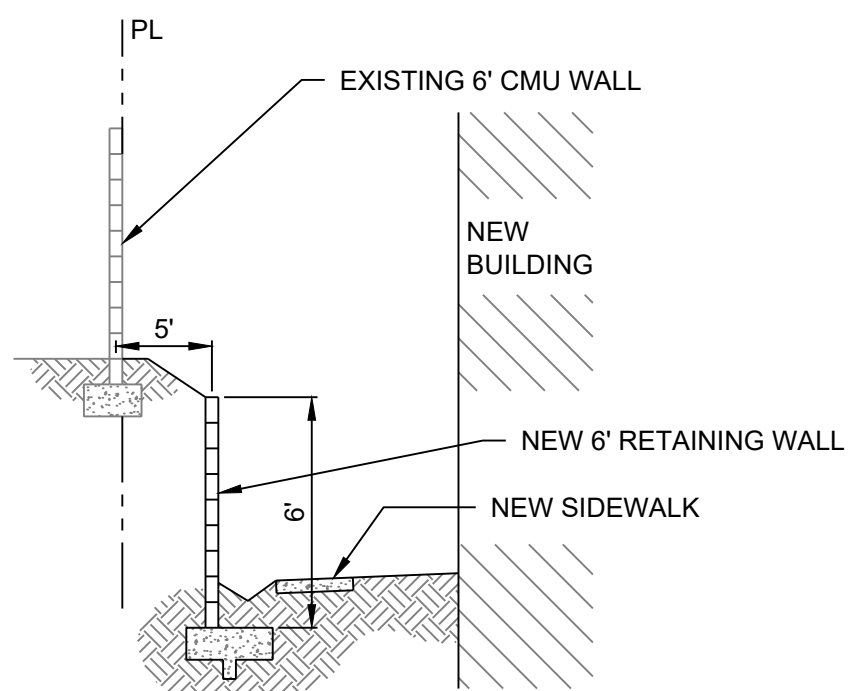
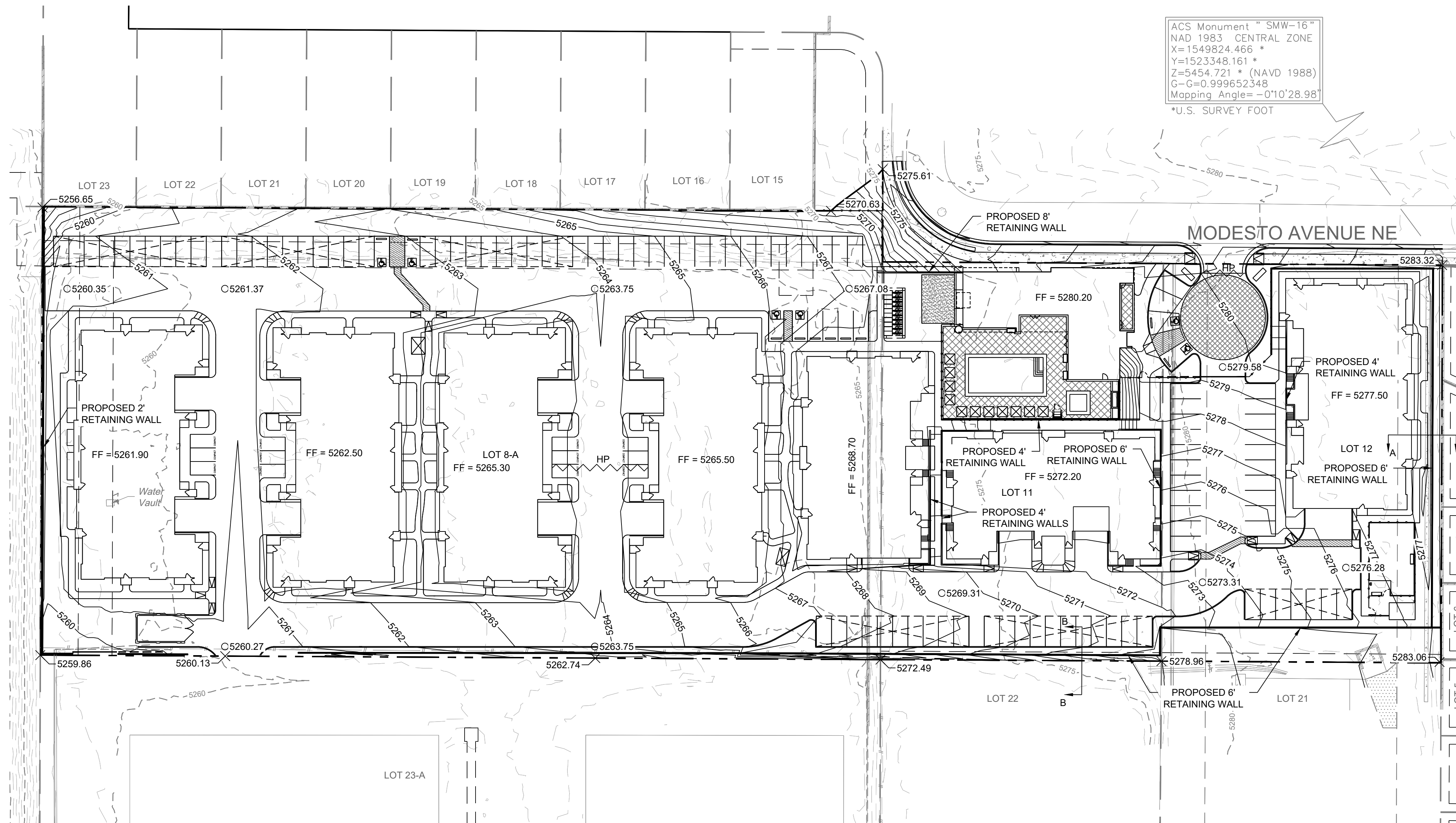


NOT FOR CONSTRUCTION

Designed By:	SC
Drawn By:	SC
Checked By:	CG
Date:	10/19/2021
Project No:	
Sheet Title:	

LANDSCAPE PLAN  
L100

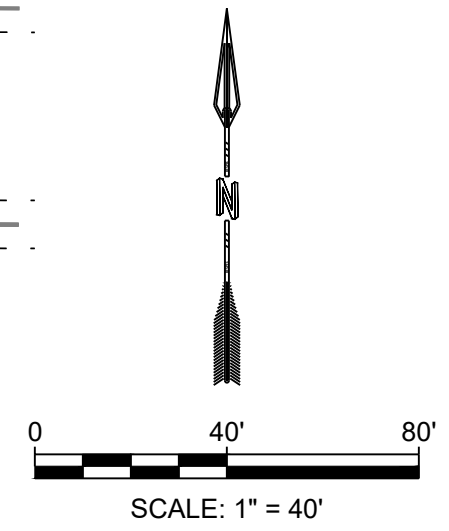
NAME: N:\Projects\03711 Legacy Modesto\03711 Modesto Grading.dwg | PLOT DATE: Apr 27, 2021 2:22pm



- NOTE:**
- THE EXISTING SITE FEATURES WILL BE DEMOLISHED UNLESS OTHERWISE SPECIFIED ON THIS PLAN.
- GRADING NOTES**
- CONTRACTOR TO FIELD VERIFY LOCATION AND ELEVATION OF ALL EXISTING DRY AND WET UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY ISSUES. UTILITY RELOCATION MAY BE REQUIRED.
  - FINISH GRADE OF SOIL EDGES ALONG PAVEMENT TO BE 1/2" BELOW EDGE OF PAVEMENT.
  - STRIP AND STOCKPILE TOPSOIL FROM GRADING AREAS. USE STOCKPILED TOPSOIL AND IMPORTED TOPSOIL AS NECESSARY FOR SURFACE RESTORATION.
  - GRADES SHOWN ARE FINAL SURFACE GRADES AFTER COMPLETION OF SURFACE IMPROVEMENTS AND PLACEMENT OF TOPSOIL.
  - GRADE AREAS AT SITE PERIMETER TO MATCH GRADES OF ADJACENT PARCELS.
  - REMOVE EXCESS SOIL FROM SITE AND DISPOSE OF PROPERLY IN ACCORDANCE WITH APPLICABLE REGULATIONS.
  - PROVIDE TEMPORARY GRADING FEATURES SUCH AS BERMS, SWALES, SUMPS AND BASINS TO MANAGE INTERIM STORM WATER RUNOFF DURING CONSTRUCTION PROCESS. STORM WATER RUNOFF LEAVING THE SITE SHALL MEET ALL FEDERAL, STATE AND LOCAL QUALITY REQUIREMENTS.
  - REFER TO GEOTECHNICAL EVALUATION REPORT 3220JJ138 BY WESTERN TECHNOLOGIES, INC. DATED JANUARY 12, 2021.

**LEGEND:**

---	PROPERTY BOUNDARY
—5270—	PROPOSED MAJOR CONTOUR
—5272—	PROPOSED MINOR CONTOUR
- - -5270 - - -	EXISTING MAJOR CONTOUR
- - -5272 - - -	EXISTING MINOR CONTOUR
~~~~~	PROPOSED HIGH POINT

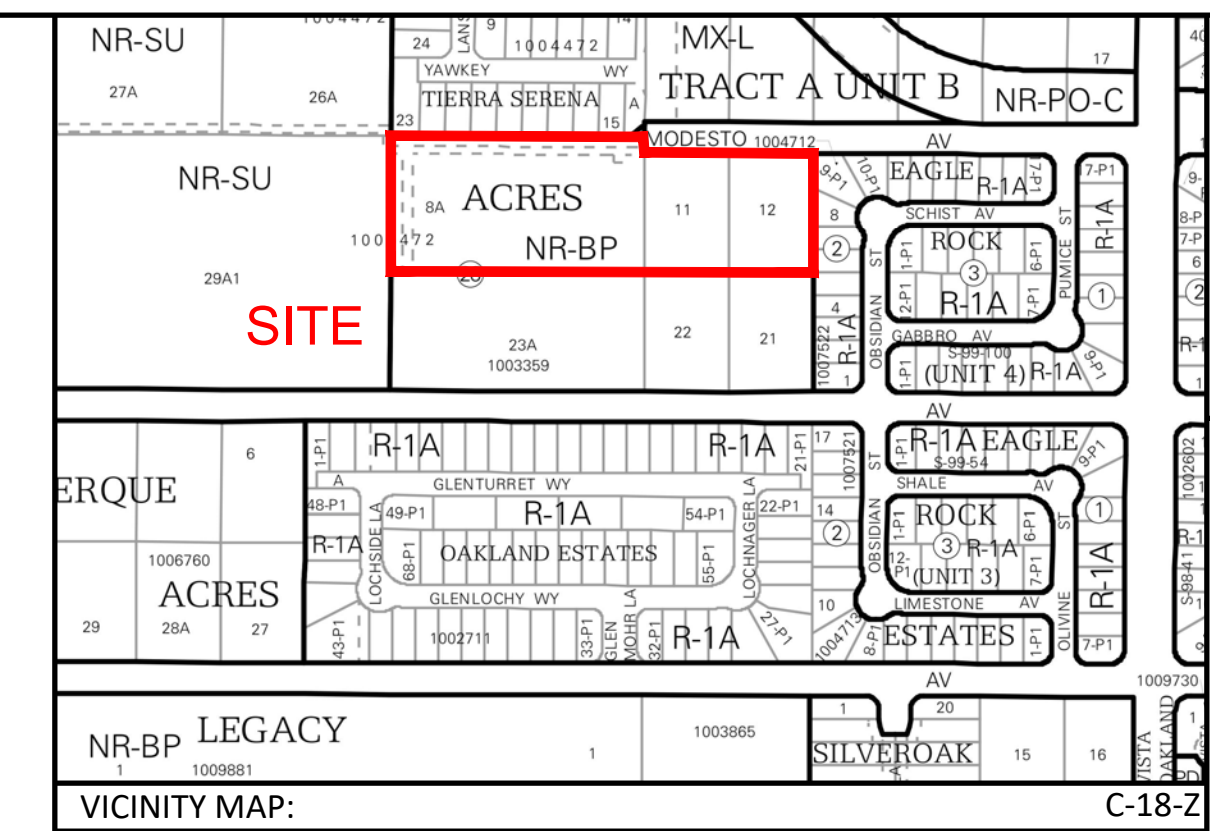
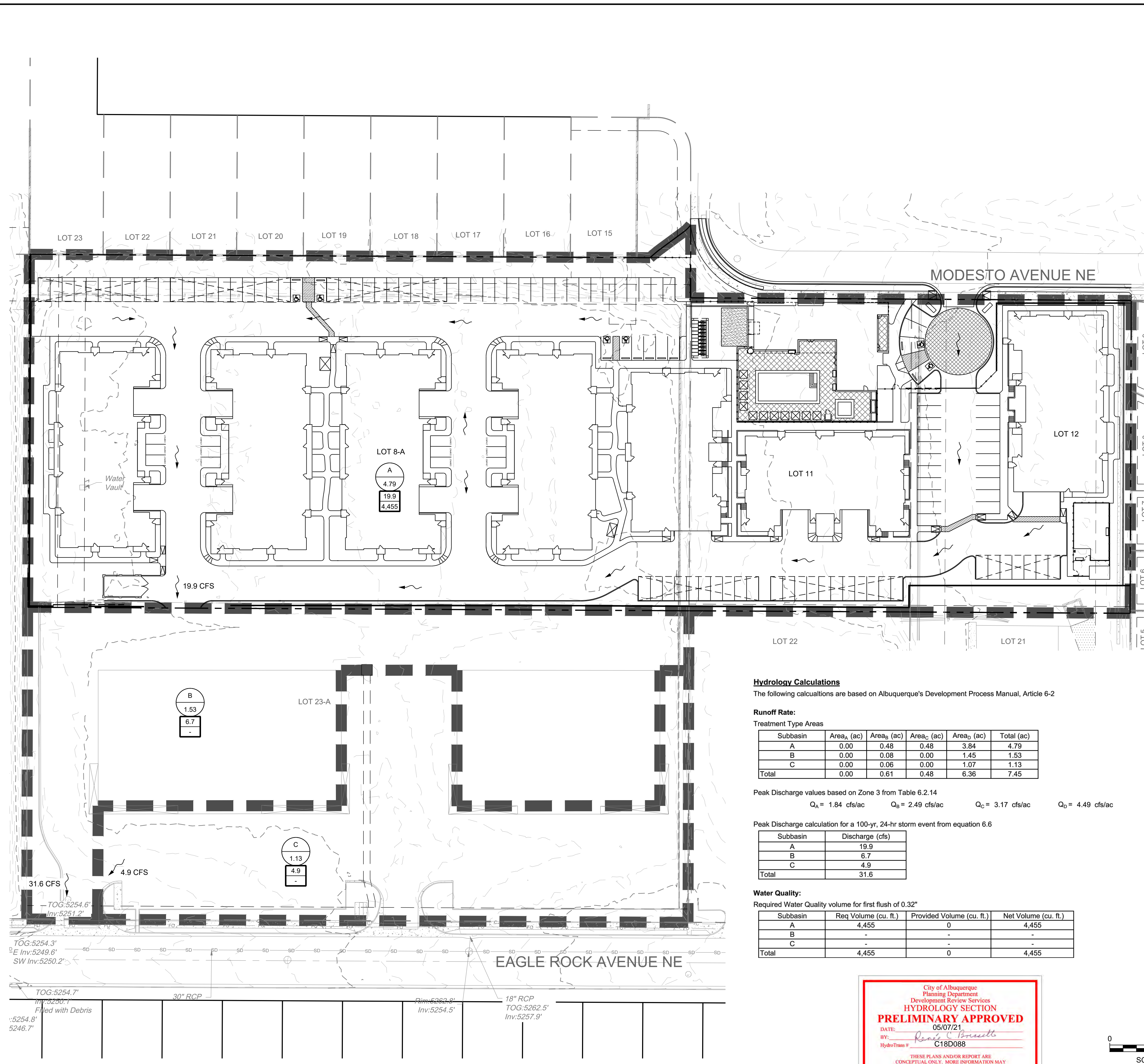


City of Albuquerque  
 Planning Department  
 Development Review Services  
**HYDROLOGY SECTION**  
**PRELIMINARY APPROVED**  
 DATE: 05/07/21  
 BY: *Ronald A. Benavente*  
 HydroTeam # C18D088

THESE PLANS AND/OR REPORT ARE CONCEPTUAL ONLY. MORE INFORMATION MAY BE NEEDED IN THEM AND SUBMITTED TO HYDROLOGY FOR BUILDING PERMIT APPROVAL.

DESIGNED JS	DRAWN JS	CHECKED JS	DATE 4.27.2021
<b>RESPEC</b> COMMUNITY DESIGN SOLUTIONS 5971 JEFFERSON STREET SUITE 101 NORTH ALBUQUERQUE, NM 87113 WWW.RESPEC.COM PHONE: (505) 253-9718			
STAMP 			
PROJECT NAME: <b>THE PEAKS BY MARKANA</b>			
SHEET TITLE: <b>CONCEPT GRADING PLAN</b>			
SUBMITTED FOR: <b>DRB SITE PLAN</b>			
SHEET NUMBER: <b>C-101</b>			

NAME: N:\Projects\03711 Legacy Modesto\03711 Modesto Drainage.dwg PLOT DATE: Apr 27, 2021 2:25pm



**BACKGROUND**

LOTS 8-A, 11, AND 12, BLOCK 26 NORTH ALBUQUERQUE ACRES, TRACT A, UNIT B IS APPROXIMATELY 4.8 ACRES IN THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO. THE PROPERTY IS LOCATED SOUTH OF MODESTO AVENUE AND NORTH OF THE EXISTING EAGLE ROCK BUSINESS CENTER. LOT 8-A WAS PREVIOUSLY DEVELOPED AS A HARLEY DAVIDSON TRAINING AREA. LOTS 11 AND 12 ARE PRIMARILY UNDEVELOPED WITH TWO EXISTING DRIVE AISLES THAT SERVE LOT 21. THE PROPOSED PROJECT IS A 120 UNIT APARTMENT COMPLEX. EXISTING SITE FEATURES WILL BE REMOVED. THE DRAINAGE REPORT FOR EAGLE ROCK BUSINESS CENTER BY MARK GOODWIN & ASSOCIATES 2008 SHOULD BE REFERENCED FOR BACKGROUND RELATED TO THE EAGLE ROCK BUSINESS CENTER. THERE IS NO DESIGNATED 100-YEAR FLOODPLAIN SHOWN ON THE SITE.

**METHODOLOGY**

HYDROLOGY CALCULATIONS FOR THE SITE ARE PERFORMED IN ACCORDANCE WITH THE ALBUQUERQUE DEVELOPMENT PROCESS MANUAL (DPM) ARTICLE 6.2 USING THE RATIONAL METHOD TO CALCULATE PEAK FLOW RATES TO ENSURE ALL FLOW PATHS ARE SUFFICIENT TO CARRY FLOWS. THE REQUIRED WATER QUALITY VOLUME WAS CALCULATED BY MULTIPLYING THE IMPERVIOUS AREA BY THE FIRST FLUSH RUNOFF VALUE OF 0.32". THIS IS A WEIGHTED VALUE BASED ON THE AMOUNT OF AREA THAT IS CONSIDERED REDEVELOPMENT AND AREA THAT IS NEW DEVELOPMENT. ALL HYDROLOGIC AND HYDRAULIC CALCULATIONS CAN BE FOUND ON THIS SHEET.

**EXISTING CONDITIONS**

THE SITE, IN GENERAL, SLOPES FROM EAST TO WEST AT A SLOPE OF APPROXIMATELY 2% - 3%. STORM WATER RUNOFF GENERATED BY THE SITE DRAINS SOUTH THROUGH THE EAGLE ROCK BUSINESS CENTER AND ULTIMATELY DISCHARGES TO EAGLE ROCK AVENUE.

**DEVELOPED CONDITIONS**

THE DRAINAGE INTENTION OF THE DEVELOPED CONDITIONS IS TO MATCH THE EXISTING DRAINAGE PATTERN AND NOT TO EXCEED THE AMOUNT DISCHARGING TO EAGLE ROCK AVENUE UNDER EXISTING CONDITIONS.

SUB-BASIN A IS THE NEW APARTMENT DEVELOPMENT. IT CONTAINS 4.79 ACRES AND GENERATES 19.9 CFS. SIMILAR TO EXISTING CONDITIONS, THIS SUB-BASIN DISCHARGES TO THE EAGLE ROCK BUSINESS CENTER (SUB-BASIN B) AND EVENTUALLY OUT INTO EAGLE ROCK AVENUE.

SUB-BASIN B IS THE NORTHERN AND WESTERN PORTIONS OF THE EAGLE ROCK BUSINESS CENTER. IT IS 1.53 ACRES AND GENERATES 6.7 CFS. THIS SUB-BASIN DISCHARGES DIRECTLY TO EAGLE ROCK AVENUE AT THE SOUTHWEST CORNER OF THE EAGLE ROCK BUSINESS CENTER SITE.

SUB-BASIN C IS THE SOUTHERN PORTION OF THE EAGLE ROCK BUSINESS CENTER. IT IS 1.13 ACRES AND GENERATES 4.9 CFS. THIS SUB-BASIN DISCHARGES INTO SUB-BASIN B AT THE SOUTHWEST CORNER OF THE EAGLE ROCK BUSINESS CENTER SITE.

THE TOTAL FLOW RATE DISCHARGING TO EAGLE ROCK AVENUE UNDER DEVELOPED CONDITIONS IS 31.6 CFS. PER THE DRAINAGE REPORT FOR EAGLE ROCK BUSINESS CENTER, THE TOTAL FLOW RATE DISCHARGING TO EAGLE ROCK IS 32.26 CFS. THEREFORE, THE DEVELOPED CONDITIONS FLOW RATE IS LESS THAN THE ALLOWABLE RATE.

THE WATER QUALITY TABLE ON THIS SHEET UNDER "HYDROLOGY CALCULATIONS" SUMMARIZES THE WATER QUALITY VOLUMES REQUIRED FOR DEVELOPED CONDITIONS. THE OWNER HAS ELECTED TO PAY THE FEE-IN-LIEU OF STORM WATER QUALITY PONDING REQUIREMENTS. THE TOTAL VOLUME REQUIRED IS 4,455 CUBIC FEET. THEREFORE, THE PAYMENT AMOUNT IS 4,455 CF X \$8/CF = \$35,640.

**Hydrology Calculations**

The following calculations are based on Albuquerque's Development Process Manual, Article 6-2

**Runoff Rate:**

Treatment Type Areas

Subbasin	Area <sub>A</sub> (ac)	Area <sub>B</sub> (ac)	Area <sub>C</sub> (ac)	Area <sub>D</sub> (ac)	Total (ac)
A	0.00	0.48	0.48	3.84	4.79
B	0.00	0.08	0.00	1.45	1.53
C	0.00	0.06	0.00	1.07	1.13
Total	0.00	0.61	0.48	6.36	7.45

Peak Discharge values based on Zone 3 from Table 6.2.14

$Q_A = 1.84 \text{ cfs/ac}$     $Q_B = 2.49 \text{ cfs/ac}$     $Q_C = 3.17 \text{ cfs/ac}$     $Q_D = 4.49 \text{ cfs/ac}$

Peak Discharge calculation for a 100-yr, 24-hr storm event from equation 6.6

Subbasin	Discharge (cfs)
A	19.9
B	6.7
C	4.9
Total	31.6

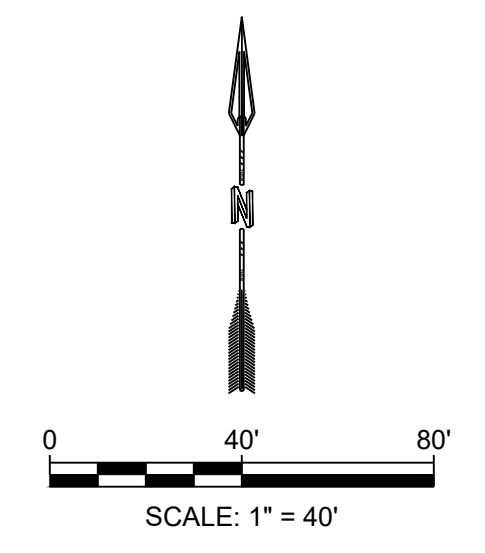
**Water Quality:**

Required Water Quality volume for first flush of 0.32"

Subbasin	Req Volume (cu. ft.)	Provided Volume (cu. ft.)	Net Volume (cu. ft.)
A	4,455	0	4,455
B	-	-	-
C	-	-	-
Total	4,455	0	4,455

City of Albuquerque  
Planning Department  
Development Review Services  
HYDROLOGY SECTION  
**PRELIMINARY APPROVED**  
DATE: 05/07/21  
BY: *Renee C. Brucette*  
HydroTeam # C18D088

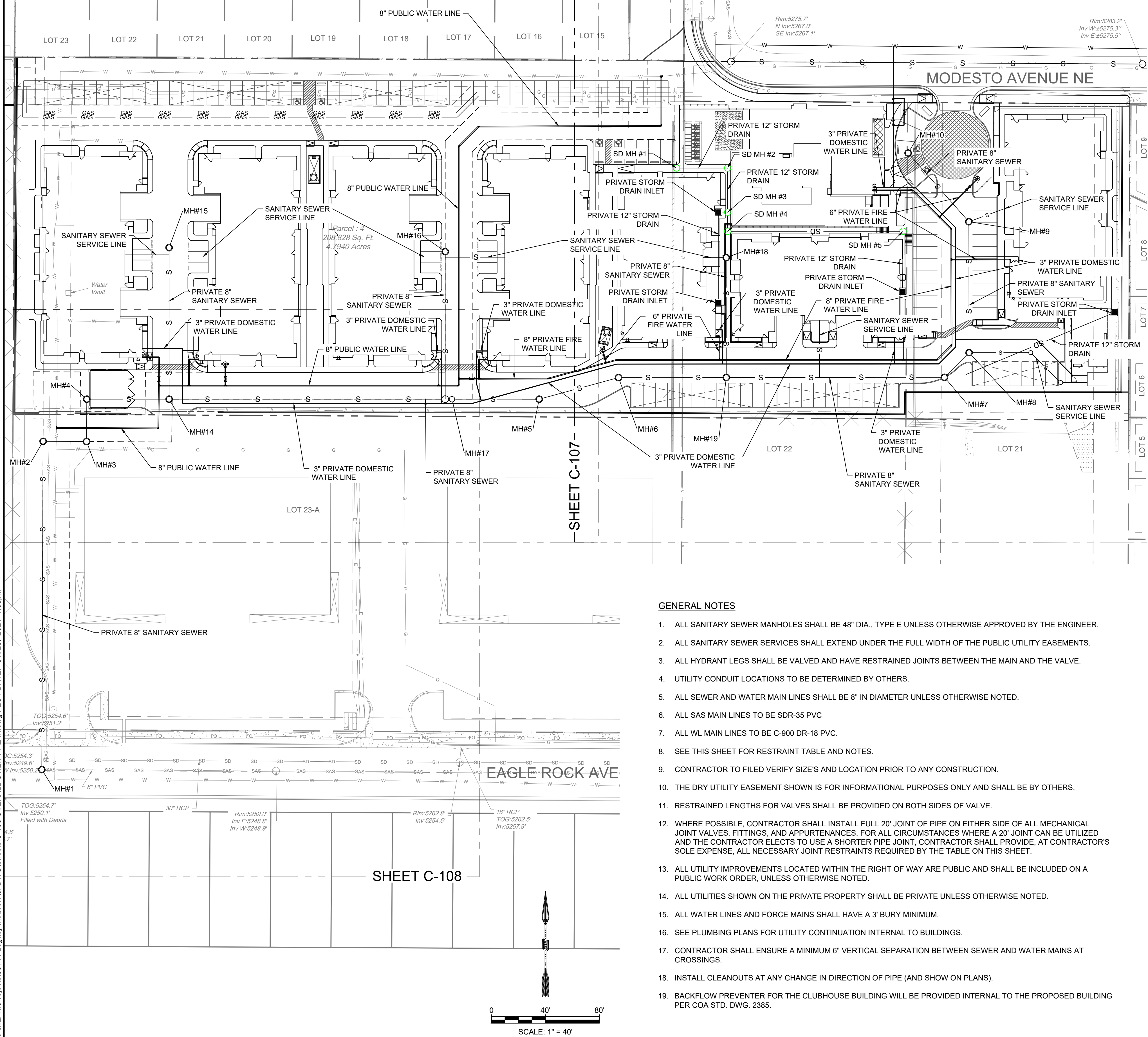
THESE PLANS AND/OR REPORT ARE CONCEPTUAL ONLY. MORE INFORMATION MAY BE NEEDED BY THEM AND SUBMITTED TO HYDROLOGY FOR BUILDING PERMIT APPROVAL.



- LEGEND:**
- XX BASIN DESIGNATION
  - XX BASIN AREA, ACRES
  - XX 100 YEAR STORM, CFS
  - XX REQUIRED WATER QUALITY VOLUME
  - SUB-BASIN BOUNDARY
  - FLOW ARROW

<p>DESIGNED JS DRAWN JS CHECKED JS DATE 4.27.2021</p> <p><b>RESPEC</b> COMMUNITY DESIGN SOLUTIONS 5971 JEFFERSON STREET SUITE 101 ALBUQUERQUE, NM 87113 WWW.RESPEC.COM PHONE (505)253-9718</p>	<p>REVISION</p> <p>STAMP    <b>PRELIMINARY</b> NOT FOR CONSTRUCTION 4/2021 THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED.</p> <p><b>nm811</b> Know what's below. Call before you dig.</p>
<p>PROJECT NAME: <b>THE PEAKS BY MARKANA</b></p>	
<p>SHEET TITLE: <b>CONCEPT DRAINAGE PLAN</b></p>	
<p>SUBMITTED FOR: <b>DRB SITE PLAN</b></p>	
<p>SHEET NUMBER: <b>C-100</b></p>	

SHEET C-106



LEGEND

- SAS --- SAS --- NEW SEWER LINE
- GAS --- GAS --- NEW GAS LINE (BY OTHERS)
- SD --- SD --- NEW STORM DRAIN LINE
- W --- W --- NEW WATERLINE
- W --- W --- EXISTING WATERLINE
- SAS --- SAS --- EXISTING SEWER LINE
- GAS --- GAS --- EXISTING GAS LINE
- NEW SEWER CLEAN OUT (TYP.)
- NEW STORM DRAIN MH (TYP.)
- NEW STORM DRAIN MH (TYP.)
- NEW FIRE DEPARTMENT CONNECTION (TYP.)

PRESSURE PIPE RESTRAINED JOINT LENGTH REQUIREMENTS  
TEST PRESSURE @ 150 PSI

LENGTHS OF PIPE TO BE RESTRAINED - ALL JOINTS WITHIN LENGTH (FEET) MUST BE RESTRAINED (APPLIES TO PVC ONLY)

PIPE SIZE	HORIZONTAL BENDS				DEAD END OR VALVE	FIRE HYDRANT TEE STD. 6-INCH BRANCH LINE FOR ALL PIPE MAIN LINE SIZES, ALL FITTINGS AND PIPE JOINTS FROM TEE TO FIRE HYDRANT FLANGE SHALL BE RESTRAINED	REDUCERS	
	90° BEND	45° BEND	22 1/2° BEND	11 1/4° BEND			L. SIDE	R. SIDE
4"	18'	8'	4'	2'	39'	6x4	28	
6"	25'	11'	5'	3'	55'	8x4	52	
8"	33'	14'	7'	4'	72'	8x6	30	
10"	39'	16'	8'	4'	87'	10x4	70	
12"	45'	19'	9'	5'	102'	10x6	53	
						10x8	29	
						12x4	88	
						12x6	74	
						12x8	54	
						12x10	50	

RESTRAINED LENGTH ON LARGE SIDE ONLY

PIPE SIZE	VERTICAL DOWNBEND				
	45°	22 1/2°	11 1/4°	UPPER BEND RESTRAINT	LOWER BEND RESTRAINT
10x10x4	21	3	1	1	1
10x10x6	43	30	18	5	1
10x10x8	63	53	44	34	25
10x10x10	79	72	64	56	49
12x12x4	17	1	1	1	1
12x12x6	40	25	10	1	1
12x12x8	61	49	38	26	15
12x12x10	78	68	59	50	41
12x12x12	95	87	79	72	64

GENERAL NOTES

- ALL SANITARY SEWER MANHOLES SHALL BE 48" DIA., TYPE E UNLESS OTHERWISE APPROVED BY THE ENGINEER.
- ALL SANITARY SEWER SERVICES SHALL EXTEND UNDER THE FULL WIDTH OF THE PUBLIC UTILITY EASEMENTS.
- ALL HYDRANT LEGS SHALL BE VALVED AND HAVE RESTRAINED JOINTS BETWEEN THE MAIN AND THE VALVE.
- UTILITY CONDUIT LOCATIONS TO BE DETERMINED BY OTHERS.
- ALL SEWER AND WATER MAIN LINES SHALL BE 8" IN DIAMETER UNLESS OTHERWISE NOTED.
- ALL SAS MAIN LINES TO BE SDR-35 PVC
- ALL WL MAIN LINES TO BE C-900 DR-18 PVC.
- SEE THIS SHEET FOR RESTRAINT TABLE AND NOTES.
- CONTRACTOR TO FILED VERIFY SIZE'S AND LOCATION PRIOR TO ANY CONSTRUCTION.
- THE DRY UTILITY EASEMENT SHOWN IS FOR INFORMATIONAL PURPOSES ONLY AND SHALL BE BY OTHERS.
- RESTRAINED LENGTHS FOR VALVES SHALL BE PROVIDED ON BOTH SIDES OF VALVE.
- WHERE POSSIBLE, CONTRACTOR SHALL INSTALL FULL 20' JOINT OF PIPE ON EITHER SIDE OF ALL MECHANICAL JOINT VALVES, FITTINGS, AND APPURTENANCES. FOR ALL CIRCUMSTANCES WHERE A 20' JOINT CAN BE UTILIZED AND THE CONTRACTOR ELECTS TO USE A SHORTER PIPE JOINT, CONTRACTOR SHALL PROVIDE, AT CONTRACTOR'S SOLE EXPENSE, ALL NECESSARY JOINT RESTRAINTS REQUIRED BY THE TABLE ON THIS SHEET.
- ALL UTILITY IMPROVEMENTS LOCATED WITHIN THE RIGHT OF WAY ARE PUBLIC AND SHALL BE INCLUDED ON A PUBLIC WORK ORDER, UNLESS OTHERWISE NOTED.
- ALL UTILITIES SHOWN ON THE PRIVATE PROPERTY SHALL BE PRIVATE UNLESS OTHERWISE NOTED.
- ALL WATER LINES AND FORCE MAINS SHALL HAVE A 3' BURY MINIMUM.
- SEE PLUMBING PLANS FOR UTILITY CONTINUATION INTERNAL TO BUILDINGS.
- CONTRACTOR SHALL ENSURE A MINIMUM 6" VERTICAL SEPARATION BETWEEN SEWER AND WATER MAINS AT CROSSINGS.
- INSTALL CLEANOUTS AT ANY CHANGE IN DIRECTION OF PIPE (AND SHOW ON PLANS).
- BACKFLOW PREVENTER FOR THE CLUBHOUSE BUILDING WILL BE PROVIDED INTERNAL TO THE PROPOSED BUILDING PER COA STD. DWG. 2385.

NOTE:

- ASSUMES MINIMUM DEPTH OF BURY = 3 FT.
- RESTRAINED LENGTH FOR VALVES SHALL BE PROVIDED ON BOTH SIDES OF VALVE.
- WHERE POSSIBLE, CONTRACTOR SHALL INSTALL FULL 20-FT JOINT OF PIPE ON EITHER SIDE OF ALL MECHANICAL JOINT VALVES, FITTINGS, AND APPURTENANCES. FOR ALL CIRCUMSTANCES WHERE A 20-FT JOINT CAN BE UTILIZED AND THE CONTRACTOR ELECTS TO USE A SHORTER PIPE JOINT, CONTRACTOR SHALL PROVIDE, AT CONTRACTOR'S SOLE EXPENSE, ALL NECESSARY JOINT RESTRAINTS REQUIRED BY TABLE ABOVE.

THRUST RESTRAINT NOTE:

ALL BURIED VALVES, FITTINGS, AND APPURTENANCES SHALL BE MECHANICAL JOINT-TYPE UTILIZING "MEGA-LUG"® STYLE MECHANICAL JOINT RESTRAINTS IN CONJUNCTION WITH "MEGA-LUG"® PIPE BELL-HARNESS RESTRAINTS WHEN ADEQUATE RESTRAINED LENGTH CAN BE OBTAINED. IN THE EVENT ADEQUATE RESTRAINED LENGTHS CANNOT BE OBTAINED, CONTRACTOR SHALL IMMEDIATELY CONTACT ENGINEER FOR DETERMINATION OF APPROPRIATE ACTION TO BE TAKEN. THE EBAA IRON "RESTRAINED LENGTH CALCULATION" PROGRAM (VERSION 4.0) HAS BEEN USED TO DETERMINE MINIMUM RESTRAINED LENGTHS SHOWN IN TABLE ABOVE. THE FOLLOWING GENERAL ASSUMPTIONS APPLY TO ALL CALCULATIONS:

TRENCH TYPE: 3  
SOIL TYPE: SM (SILTY SANDS, SAND SILT MIXTURE)  
SAFETY FACTOR: 1.5 TO 1

TYPICAL BURY DEPTH:  
4" THROUGH 12" DIAMETER PIPE 3 FT  
14" THROUGH 24" DIAMETER PIPE 4 FT

TYPICAL BURY DEPTHS FOR VERTICAL OFFSETS:  
4" THROUGH 12" DIAMETER PIPE 3 FT TO TOP OF UPPER BRANCH  
6 FT TO TOP OF LOWER BRANCH  
14" THROUGH 24" DIAMETER PIPE 4 FT TO TOP OF UPPER BRANCH  
7 FT TO TOP OF LOWER BRANCH

CONTRACTOR MAY SUBSTITUTE REDUCED RESTRAINED JOINT LENGTHS IF SOIL AND DEPTH OF BURY CONDITIONS WARRANT. CONTRACTOR SHALL PROVIDE SOIL TEST RESULTS AND APPROPRIATE CALCULATIONS TO SUPPORT THE LENGTH REDUCTION. SOIL TESTING AND CALCULATIONS SHALL BE PERFORMED AT CONTRACTOR'S SOLE EXPENSE.

DESIGNED JS  
DRAWN JS  
CHECKED JS  
DATE 10.26.2021

RESPEC COMMUNITY DESIGN SOLUTIONS  
5971 JEFFERSON STREET SUITE 101  
JEFFERSON, NEVADA 89015  
WWW.RESPEC.COM PHONE: (955) 533-9718

STAMP  
JEREMY W SHELL  
NEW MEXICO  
26341  
PROFESSIONAL ENGINEER

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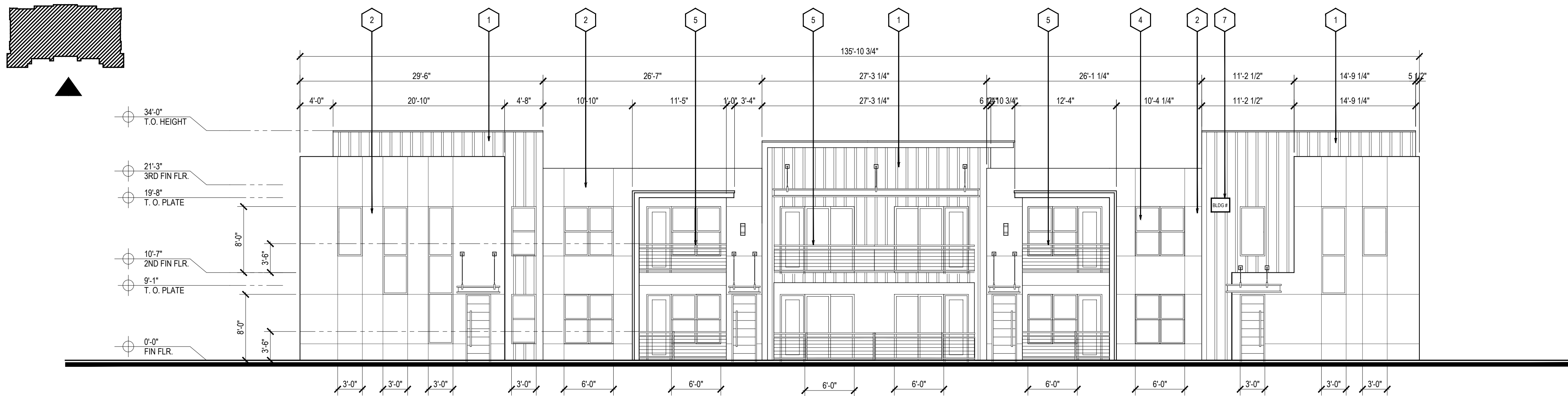
LEGACY MODESTO

OVERALL UTILITY PLAN

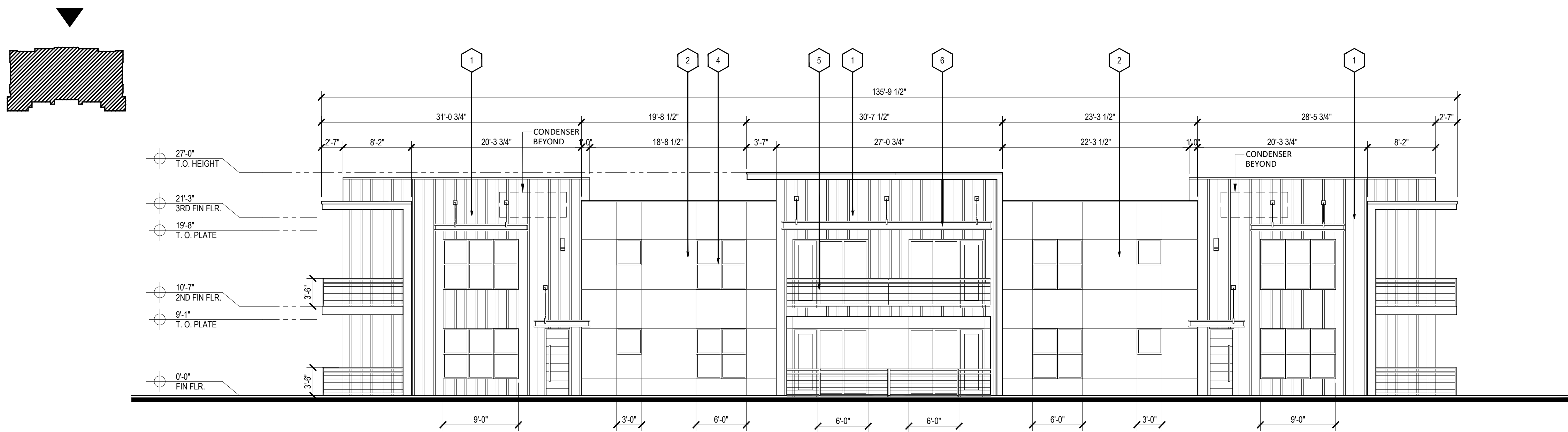
DRB SITE PLAN

SHEET NUMBER: C-105

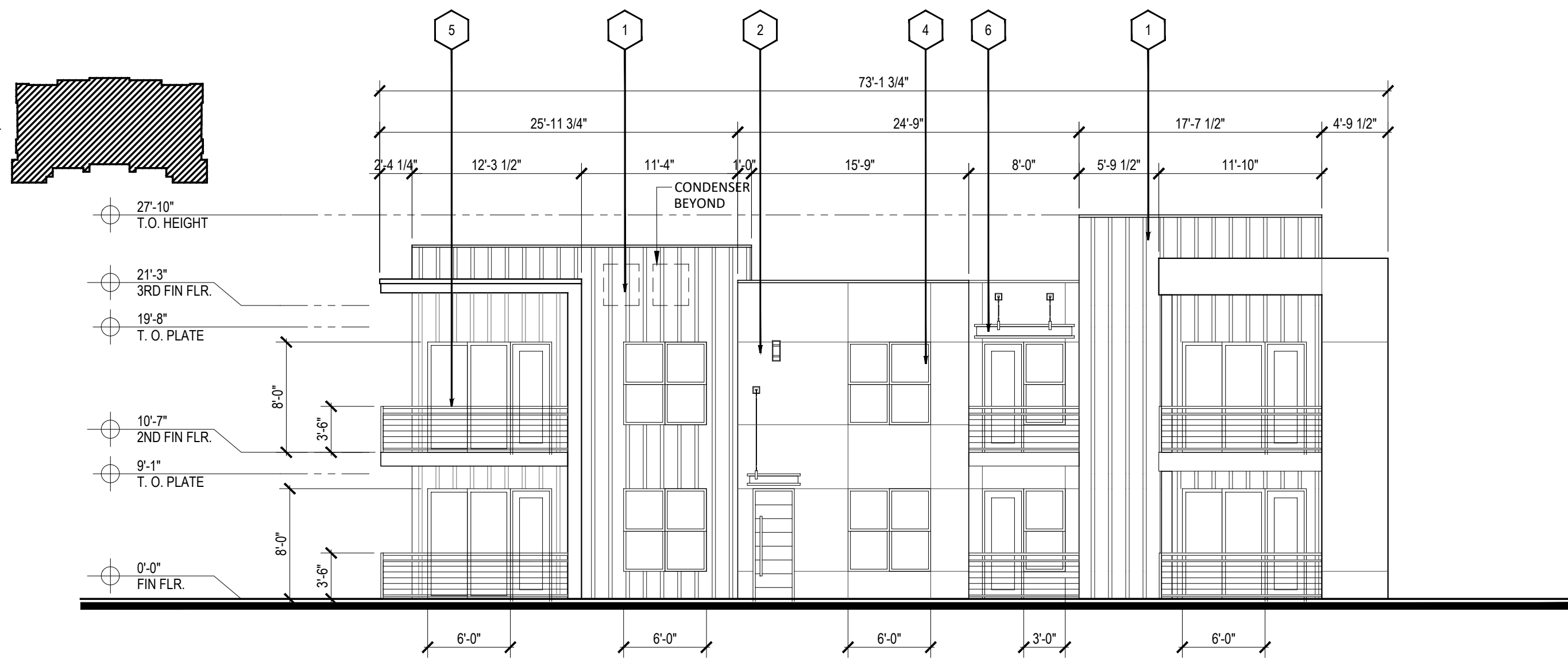
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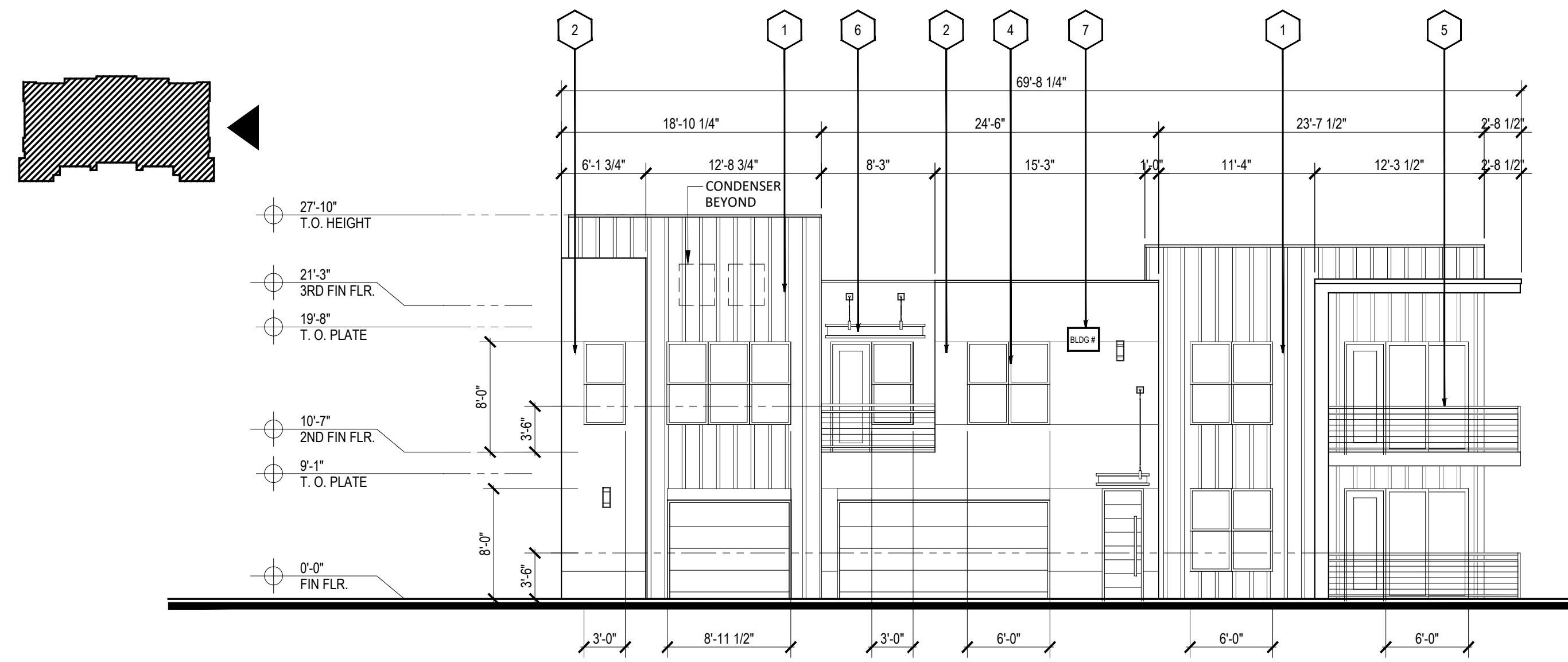
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SCALE: 1/8" = 1'-0"



**3 BLDG TYPE I - REAR ELEV**  
SCALE: 1/8" = 1'-0"

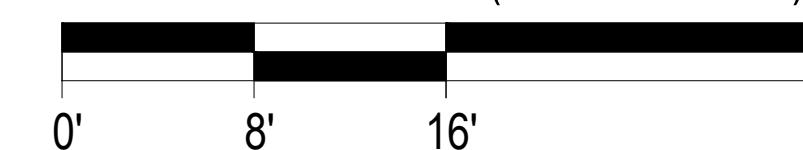


**2 BLDG TYPE I - LEFT ELEV**  
SCALE: 1/8" = 1'-0"



**1 BLDG TYPE I - RIGHT ELEV**  
SCALE: 1/8" = 1'-0"

SCALE: 1/8" = 1'-0" (24"x36" SHEET)



**MATERIAL KEY NOTE**

- 1 BOARD & BATTEN - LIGHT BROWN
- 2 STUCCO - LIGHT GRAY
- 3 WOOD-LOOK FIBER CEMENT SIDING - BROWN
- 4 VINYL WINDOW - BRONZE
- 5 METAL RAILING - BRONZE
- 6 ALUMINUM AWNING - BRONZE
- 7 WALL SIGNAGE, LIMITED TO 10% FACADE AREA HEIGHT, MAXIMUM 18 FEET, PER TABLE 5-12-2 IDO.

Designed by: MS  
 Drawn by: RM  
 Architect of Record: RM

Date Plotted: XXXX/XX/XX  
 Issue for Pricing / Bidding: XXXX/XX/XX  
 Issue for Permit Application: XXXX/XX/XX  
 Issue for Construction: XXXX/XX/XX

Revisions:		
#	DATE	COMMENTS

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**THE PEAKS BY MARKANA**  
 ALBUQUERQUE, NEW MEXICO  
 LEGACY DEVELOPMENT  
 & MANAGEMENT, LLC



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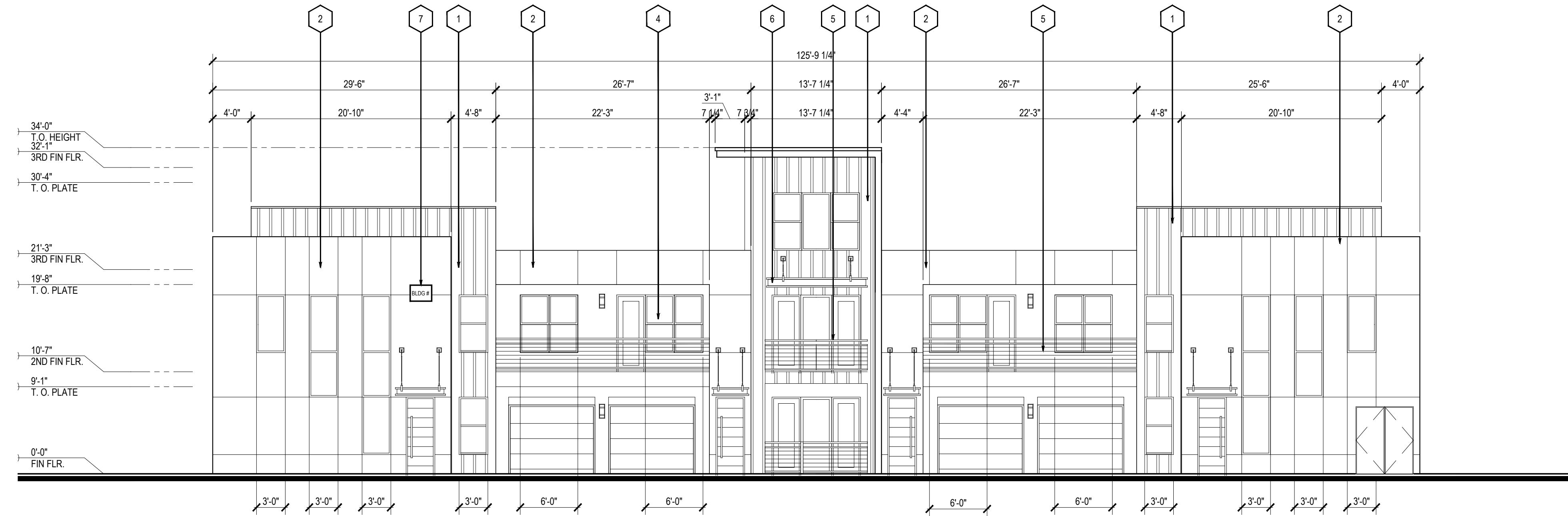
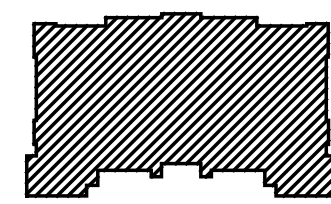
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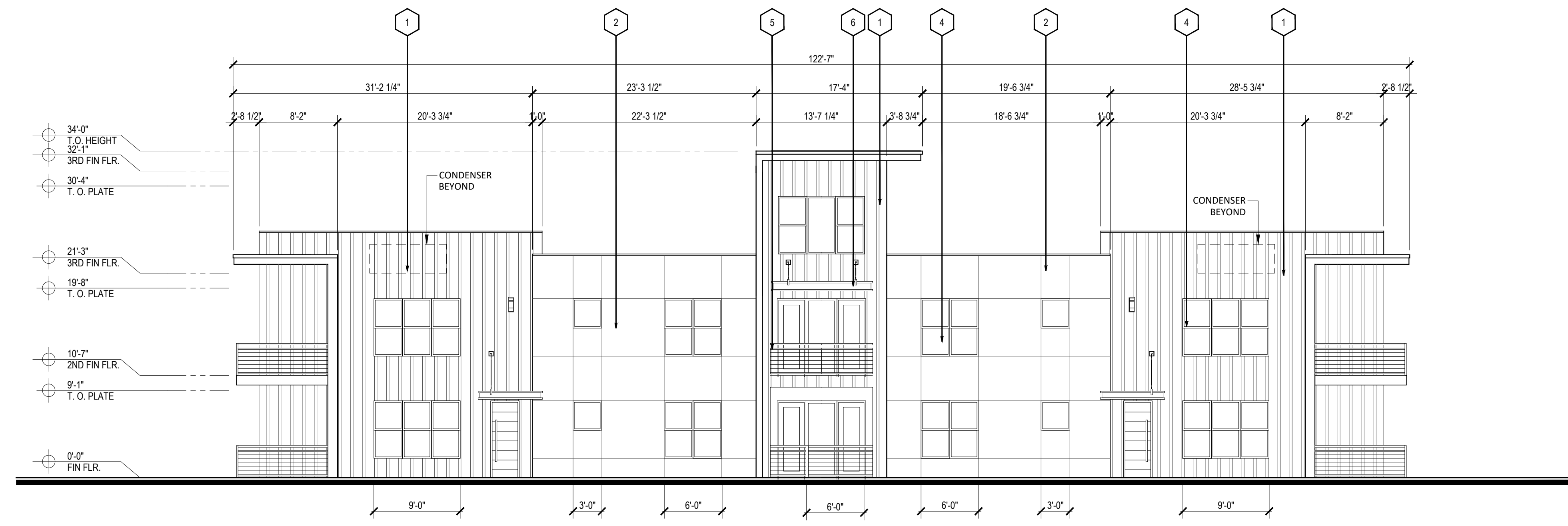
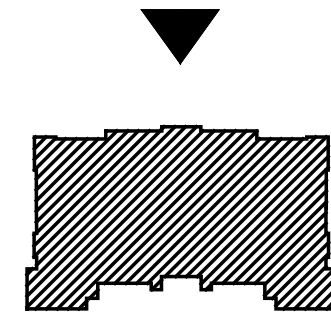
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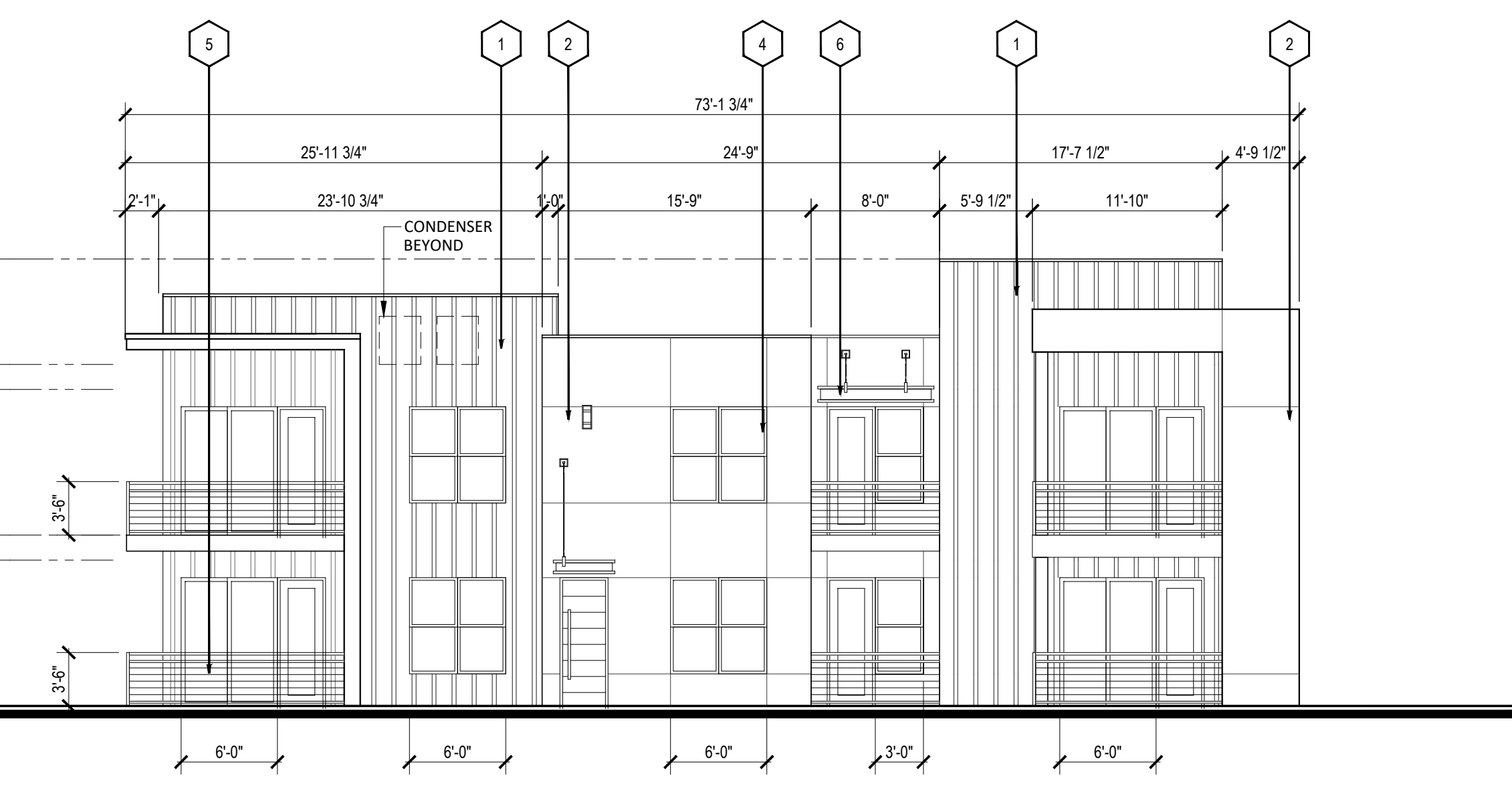
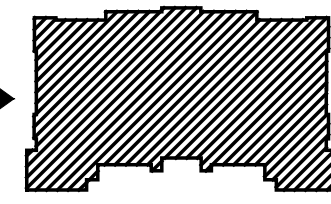
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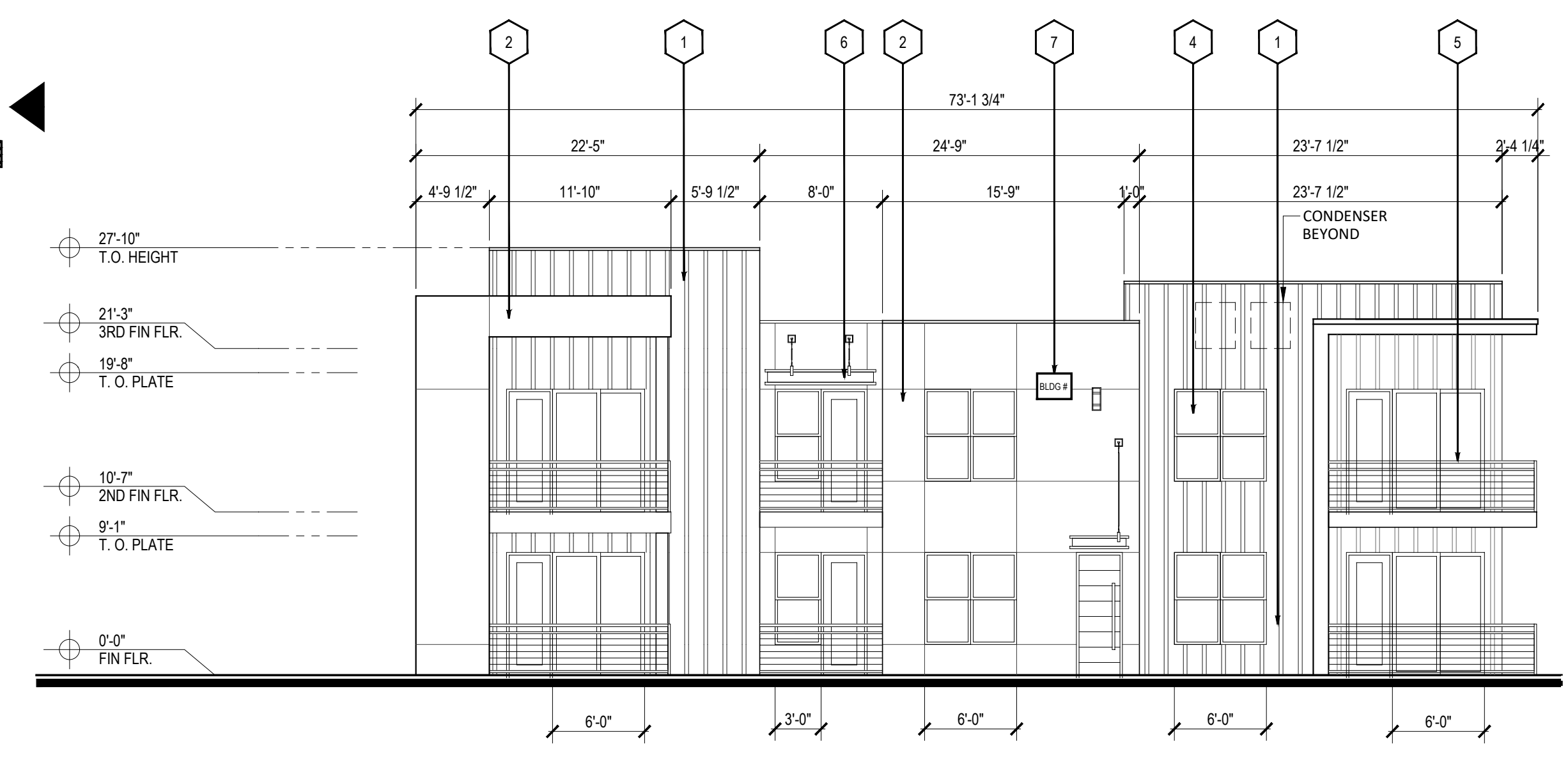
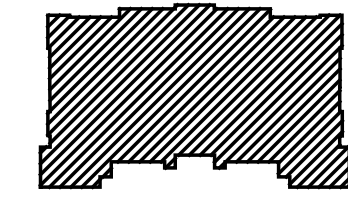
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SCALE: 1/8" = 1'-0"



**3 BLDG TYPE II - REAR ELEV**  
SCALE: 1/8" = 1'-0"

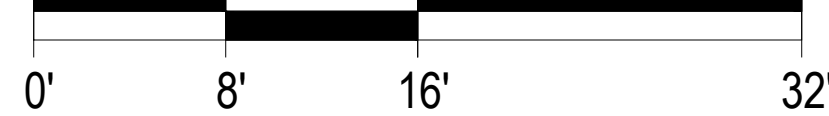


**2 BLDG TYPE II - LEFT ELEV**  
SCALE: 1/8" = 1'-0"



**1 BLDG TYPE II - RIGHT ELEV**  
SCALE: 1/8" = 1'-0"

SCALE: 1/8" = 1'-0" (24"x36" SHEET)



**MATERIAL KEY NOTE**

- 1 BOARD & BATTEN - LIGHT BROWN
- 2 STUCCO - LIGHT GRAY
- 3 WOOD-LOOK FIBER CEMENT SIDING - BROWN
- 4 VINYL WINDOW - BRONZE
- 5 METAL RAILING - BRONZE
- 6 ALUMINUM AWNING - BRONZE
- 7 WALL SIGNAGE, LIMITED TO 10% FACADE AREA, HEIGHT, MAXIMUM 18 FEET, PER TABLE 5-12-2 IDO.

Designed by: MS  
 Drawn by: RM  
 Architect of Record: RM

Date Plotted: XXXX/XX/XX  
 Issue for Pricing / Bidding: XXXX/XX/XX  
 Issue for Permit Application: XXXX/XX/XX  
 Issue for Construction: XXXX/XX/XX

Revisions:		
#	DATE	COMMENTS

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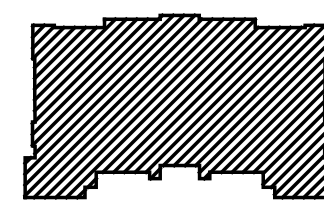
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 SHEET NO.

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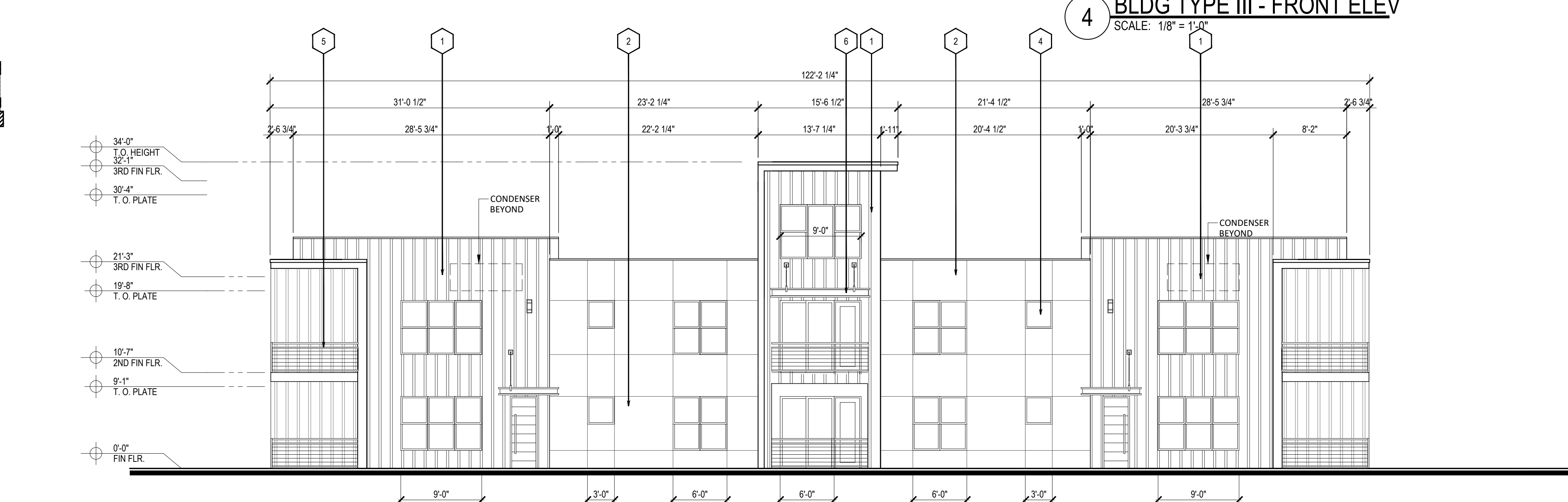
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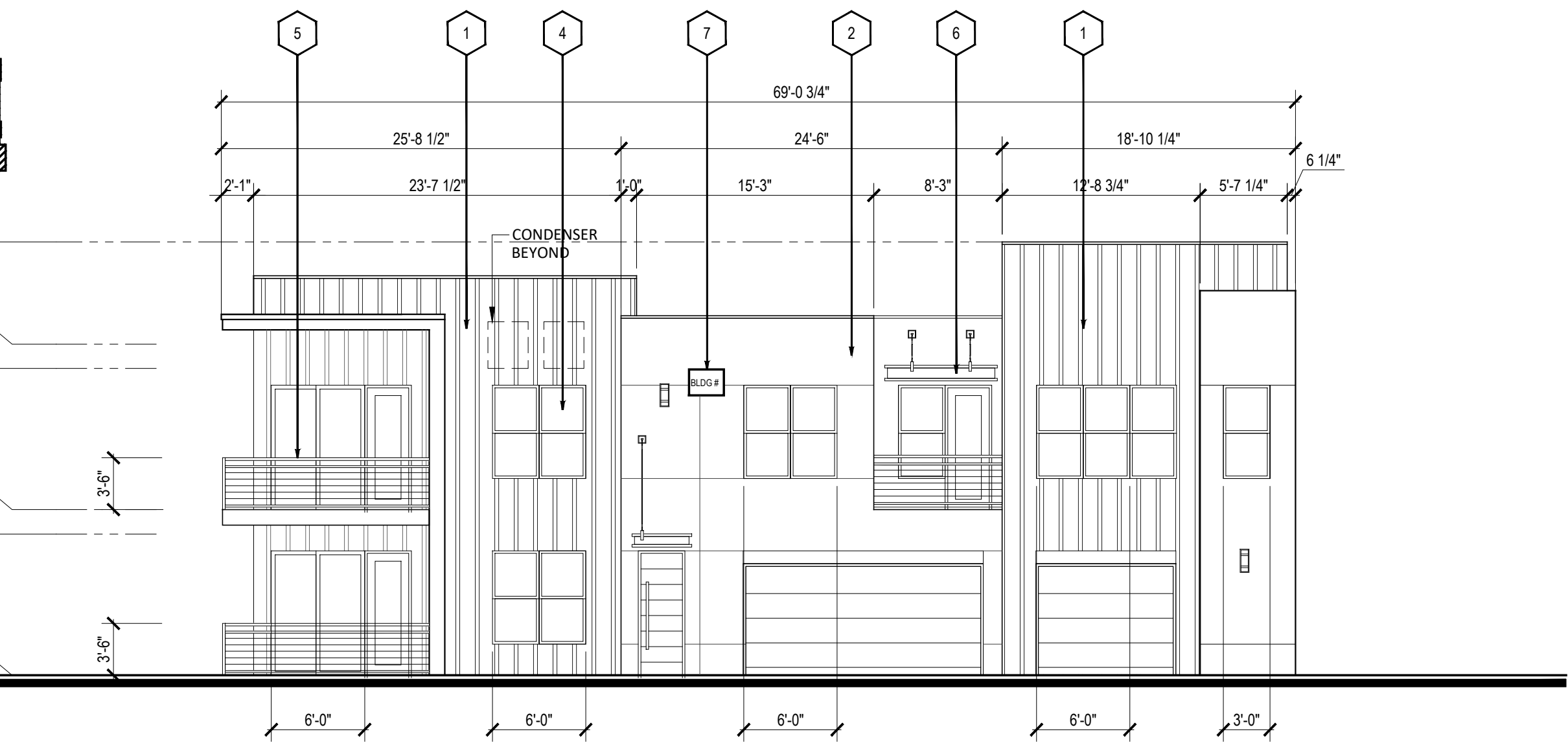
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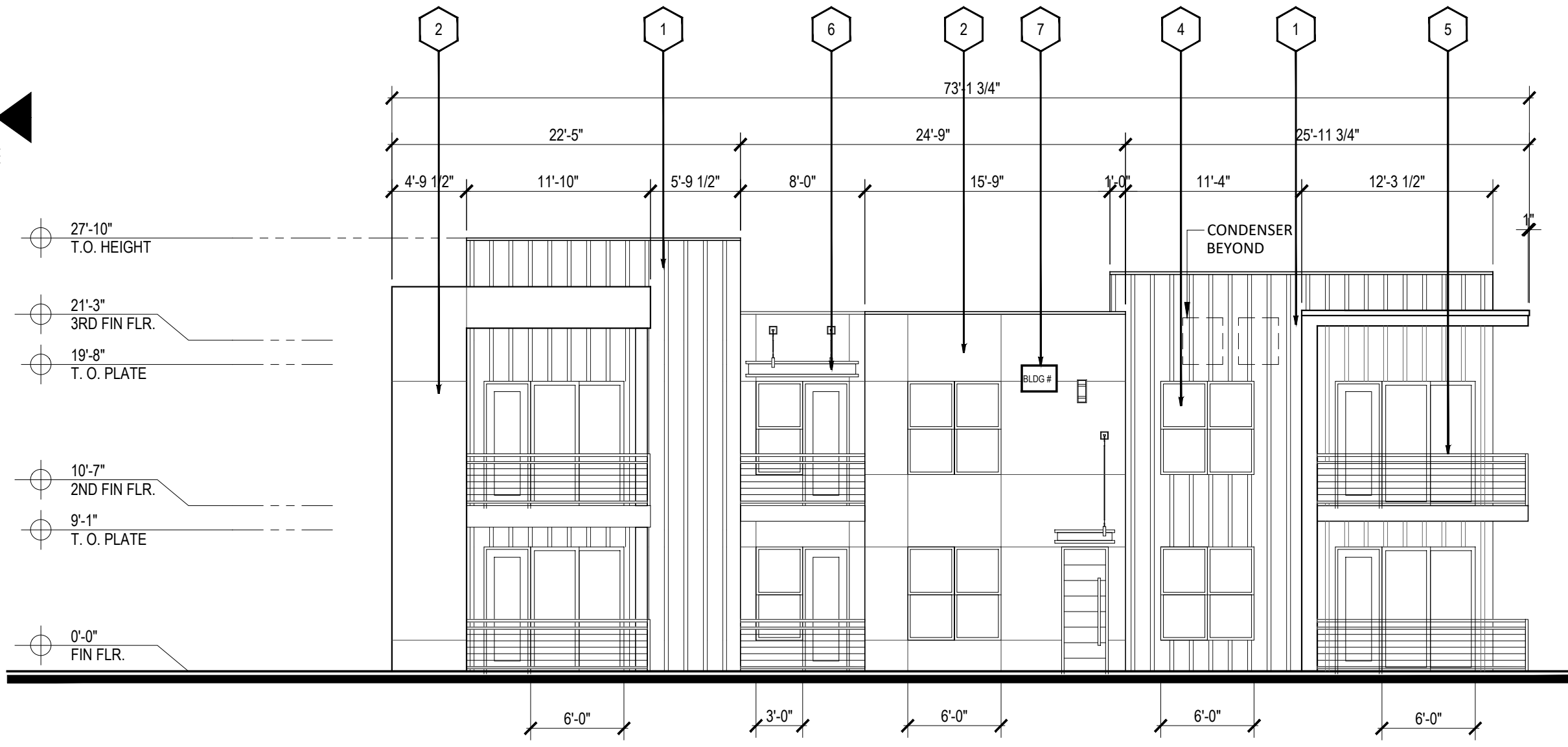
**4 BLDG TYPE III - FRONT ELEV**  
SCALE: 1/8" = 1'-0"



**3 BLDG TYPE III - REAR ELEV**  
SCALE: 1/8" = 1'-0"

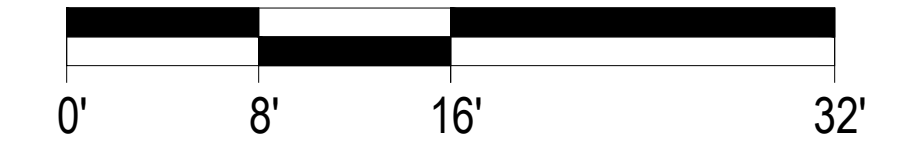


**2 BLDG TYPE III - LEFT ELEV**  
SCALE: 1/8" = 1'-0"



**1 BLDG TYPE III - RIGHT ELEV**  
SCALE: 1/8" = 1'-0"

SCALE: 1/8" = 1'-0" (24"x36" SHEET)



**MATERIAL KEY NOTE**

- 1 BOARD & BATTEN - LIGHT BROWN
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- 5 METAL RAILING - BRONZE
- 6 ALUMINUM AWNING - BRONZE
- 7 WALL SIGNAGE, LIMITED TO 10% FACADE AREA. HEIGHT, MAXIMUM 18 FEET, PER TABLE 5-12-2 IDD.

Designed by: MS  
 Drawn by: RM  
 Architect of Record: RM  
 Date Plotted: XX/XX/XX  
 Issue for Pricing / Bidding: XX/XX/XX  
 Issue for Permit Application: XX/XX/XX  
 Issue for Construction: XX/XX/XX

Revisions:		
#	DATE	COMMENTS

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SHEET CONTENTS:  
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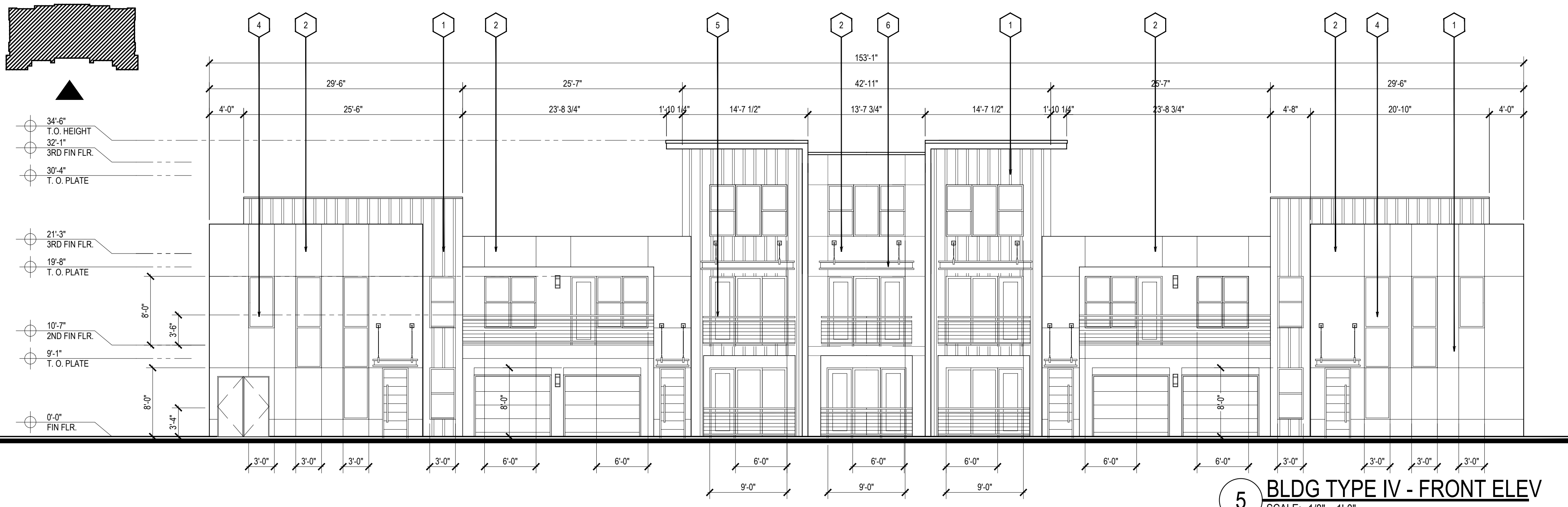
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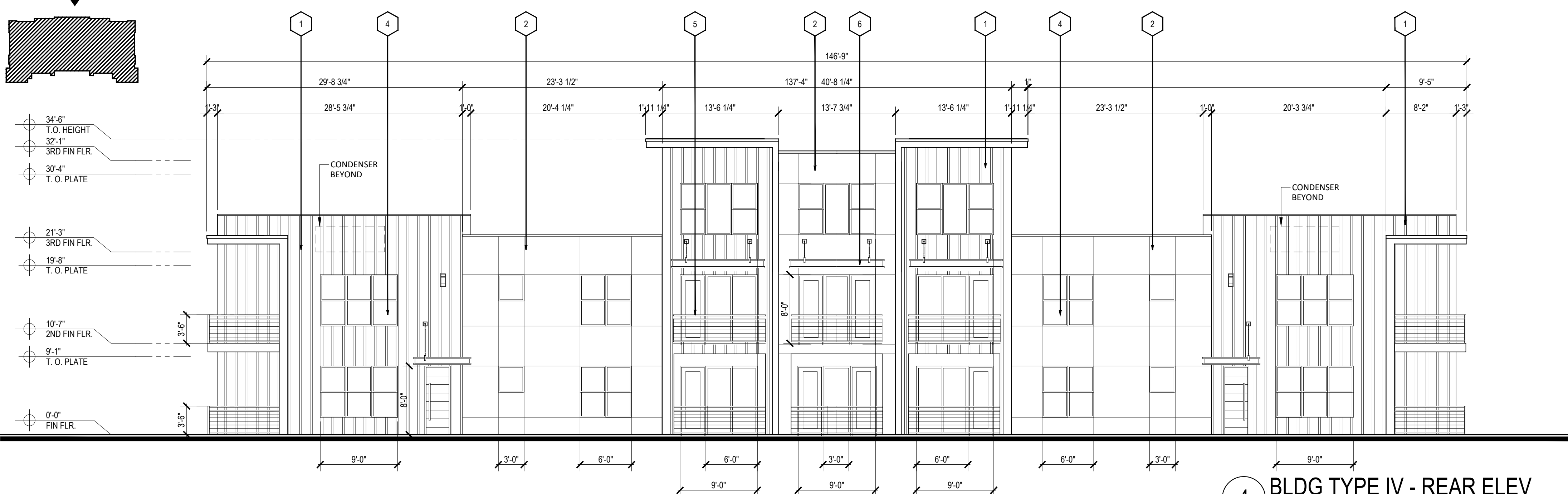
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DRB SET: 10-05-2021

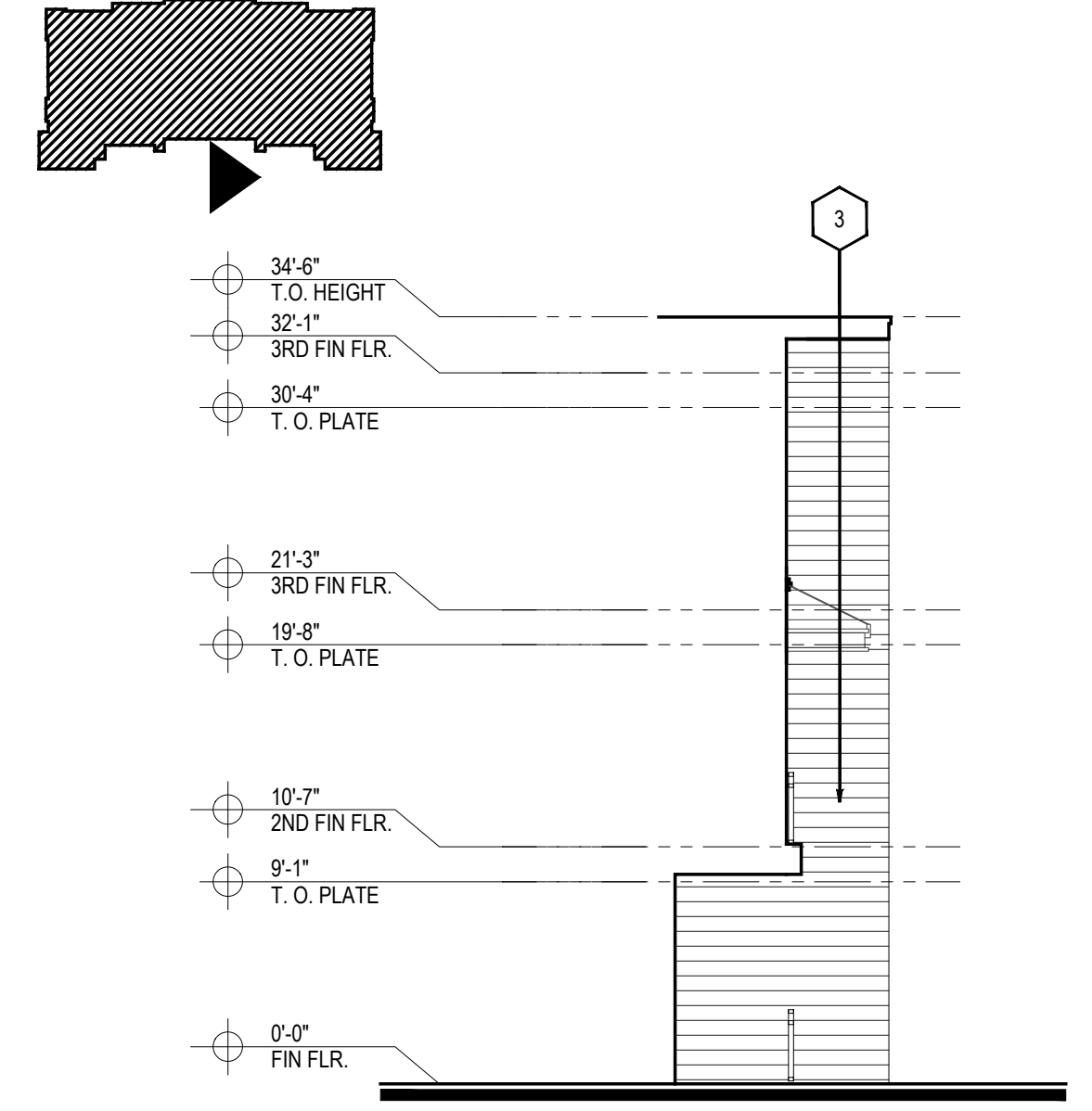




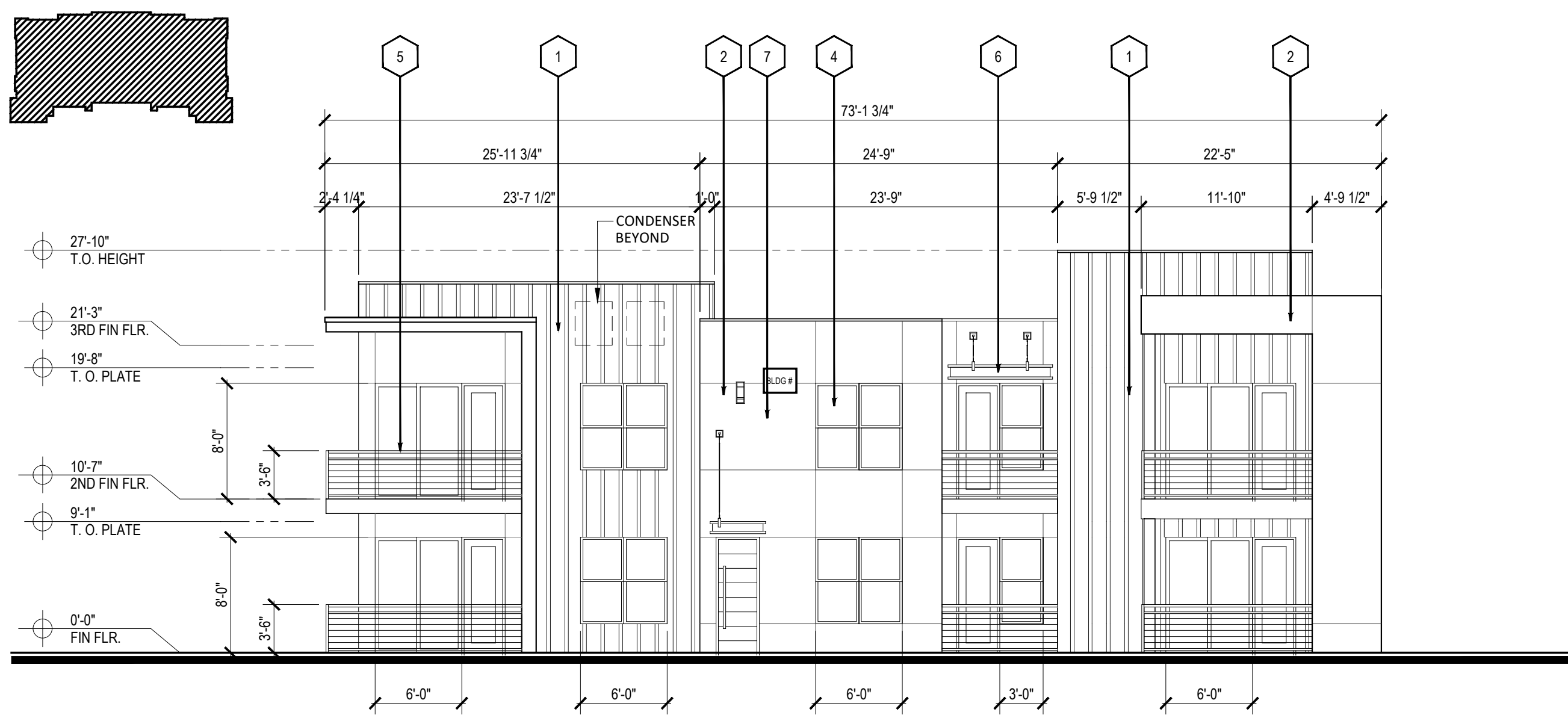
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SCALE: 1/8" = 1'-0"



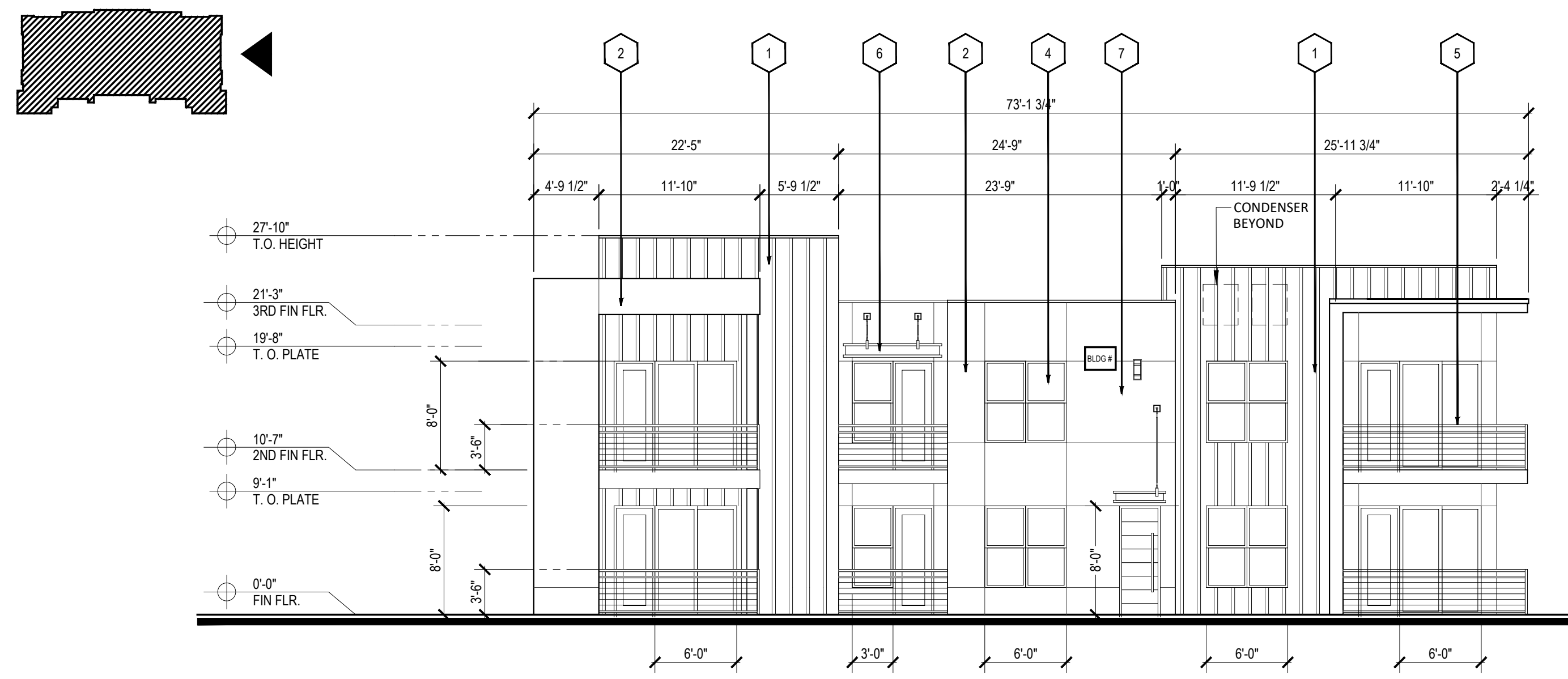
**4 BLDG TYPE IV - REAR ELEV**  
SCALE: 1/8" = 1'-0"



**3 INSIDE HIDDEN ELEVATION**  
SCALE: 1/8" = 1'-0"

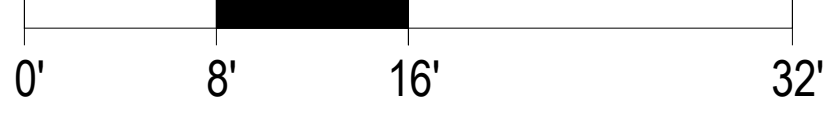


**2 BLDG TYPE IV - LEFT ELEV**  
SCALE: 1/8" = 1'-0"



**1 BLDG TYPE IV - RIGHT ELEV**  
SCALE: 1/8" = 1'-0"

SCALE: 1/8" = 1'-0" (24"x36" SHEET)



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- 7 WALL SIGNAGE LIMITED TO 10% FACADE AREA HEIGHT, MAXIMUM 18 FEET, PER TABLE 5-12-2 IDO.

Designed by:	MS	
Drawn by:	RM	
Architect of Record:	RM	
Date Plotted:		
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Revisions:		
#	DATE	COMMENTS

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SHEET CONTENTS:  
ELEVATIONS  
TYPE IV

SHEET NO.  
**A4.41**

20213

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DRB SET: 10-05-2021

Designed by:	MS	
Drawn by:	RM	
Architect of Record:	RM	
Date Plotted:		
Issue for Pricing / Bidding:	XX/XX/XX	
Issue for Permit Application:	XX/XX/XX	
Issue for Construction:	XX/XX/XX	
Revisions:		
#	DATE	COMMENTS

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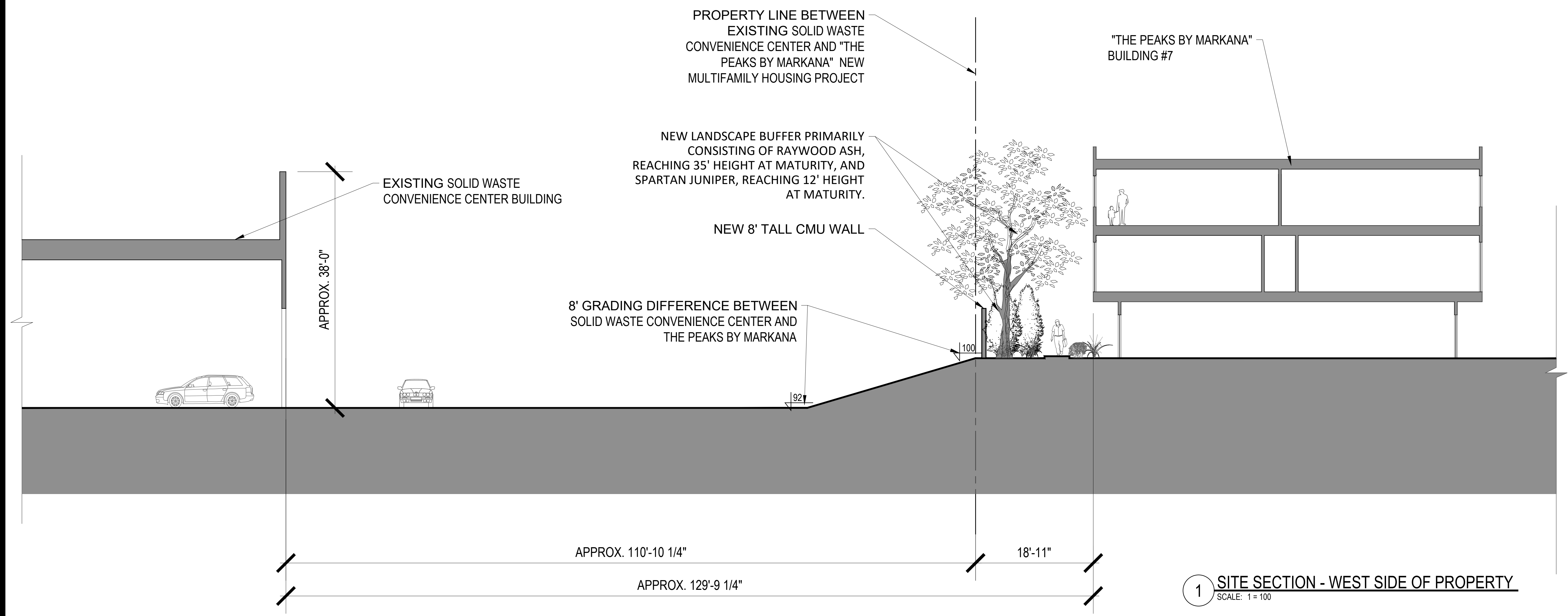


**THE PEAKS BY MARKANA**  
 ALBUQUERQUE, NEW MEXICO  
**LEGACY DEVELOPMENT & MANAGEMENT, LLC**

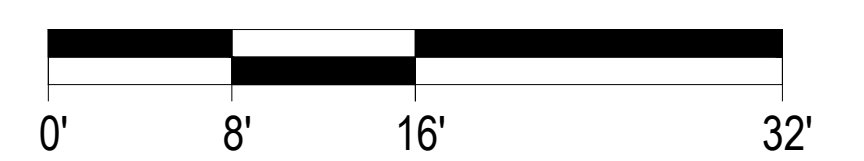


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DRB SET: 10-05-2021  
 SHEET CONTENTS:  
 SITE SECTION  
 SHEET NO.  
**A4.42**  
 20213



**1 SITE SECTION - WEST SIDE OF PROPERTY**  
 SCALE: 1" = 100'



Designed by:	MS	
Drawn by:	RM	
Architect of Record:	RM	
Date Plotted:		
Issue for Pricing / Bidding:	XXXXXX	
Issue for Permit Application:	XXXXXX	
Issue for Construction:	XXXXXX	
Revisions:		
#	DATE	COMMENTS

**MATERIAL KEY NOTE**

- 1 BOARD & BATTEN - LIGHT BROWN
- 2 STUCCO - LIGHT BROWN
- 3 WOOD-LOOK FIBER CEMENT SIDING - BROWN
- 4 VINYL WINDOW - BRONZE
- 5 METAL RAILING - BRONZE
- 6 ALUMINUM AWNING - BRONZE

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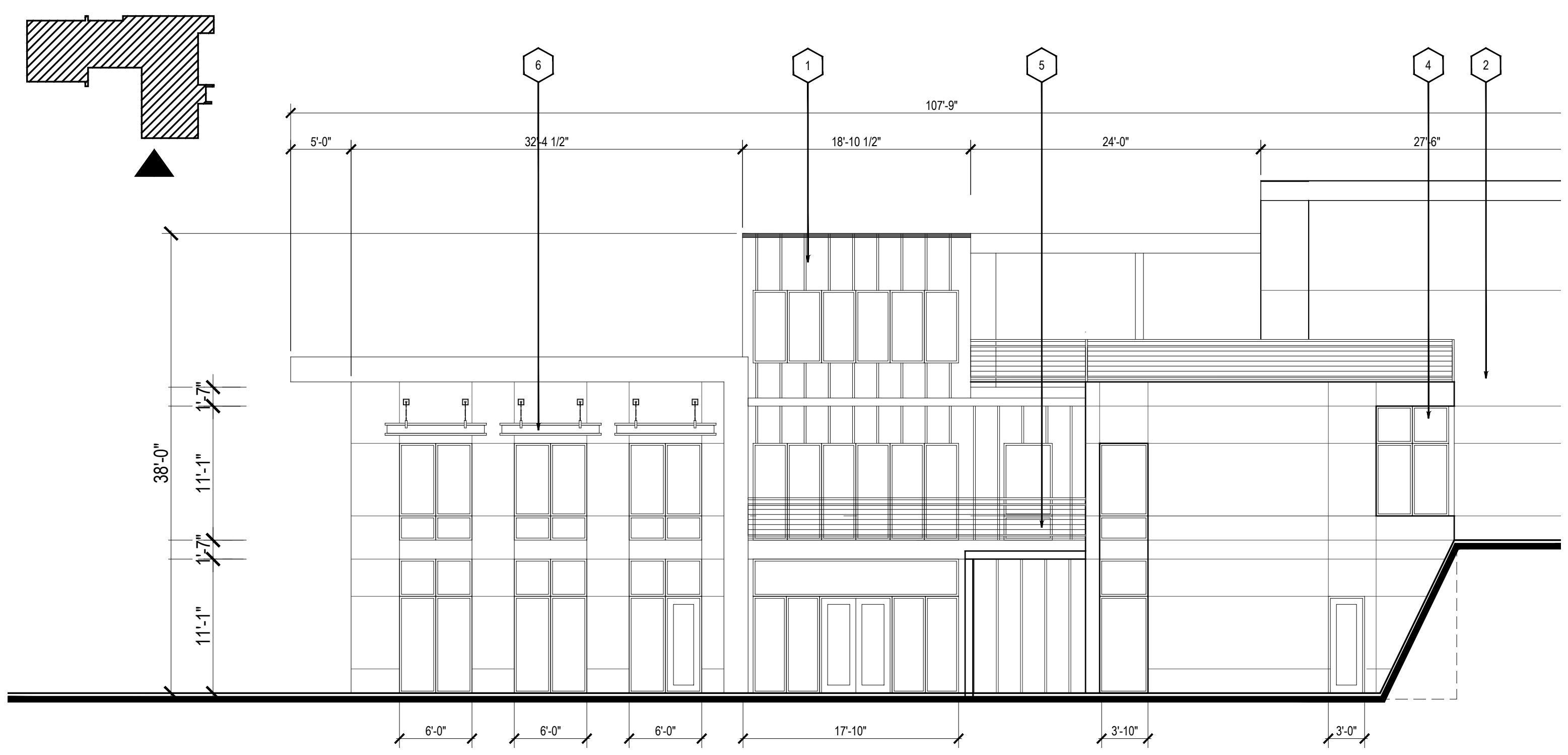


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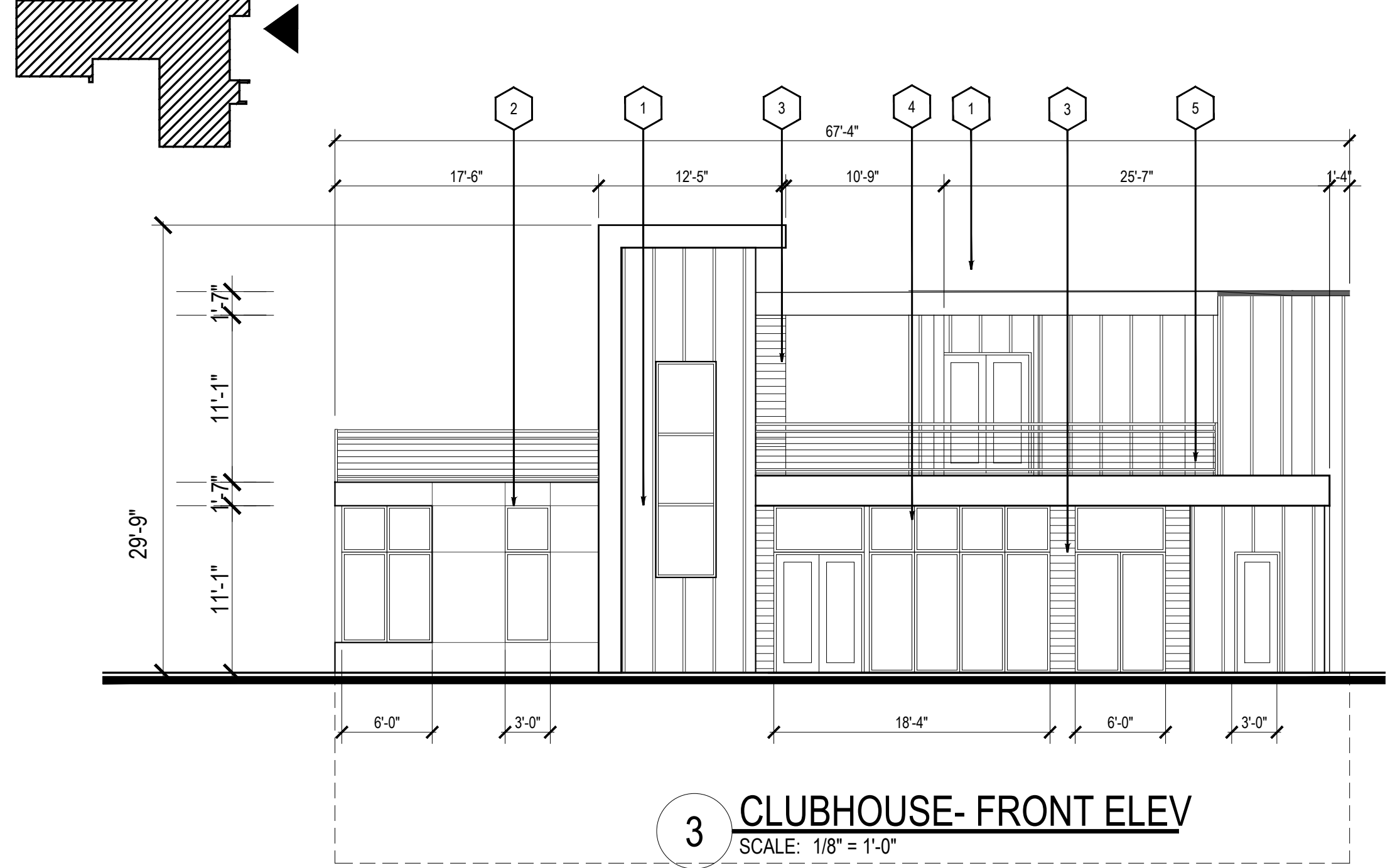


SHEET CONTENTS:  
 CLUBHOUSE ELEVATIONS  
 SHEET NO.  
**A8.02**  
 20213

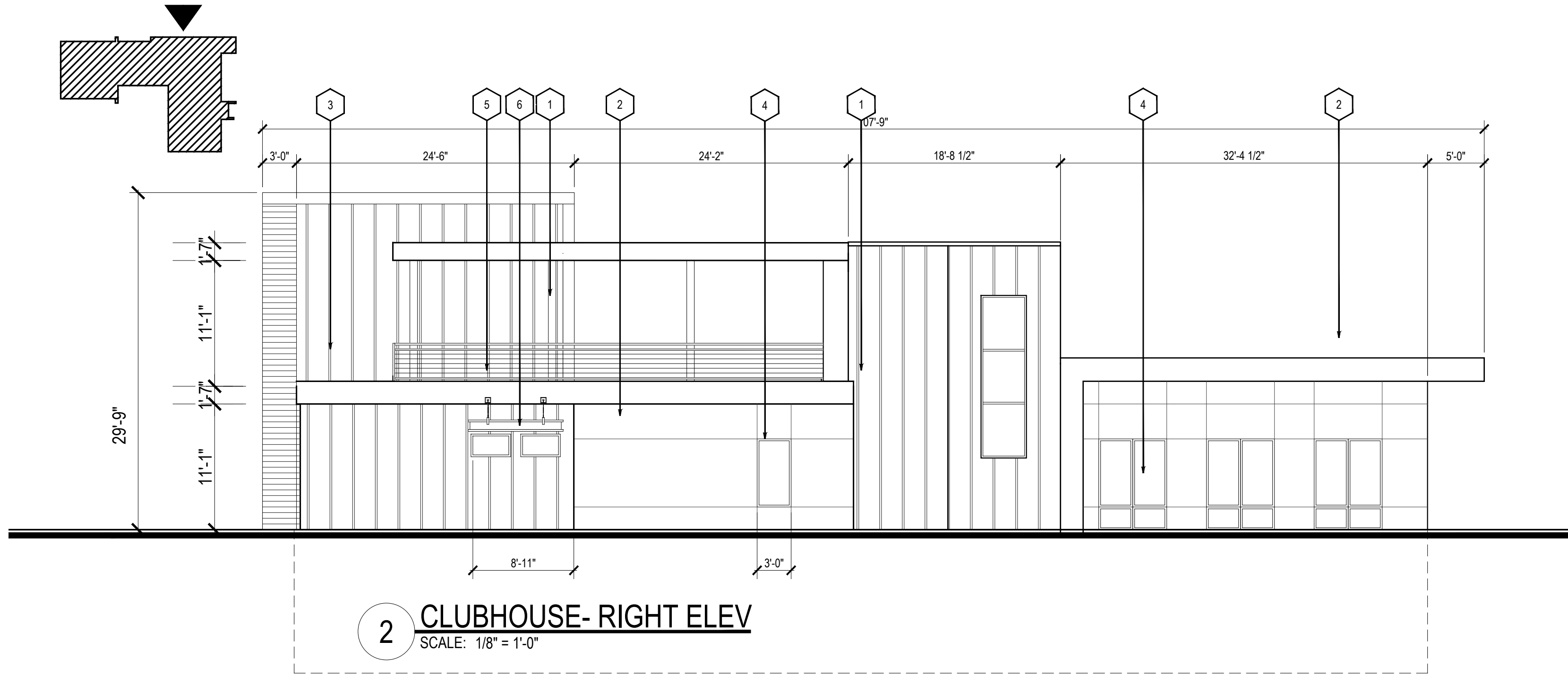
DRB SET: 10-05-2021



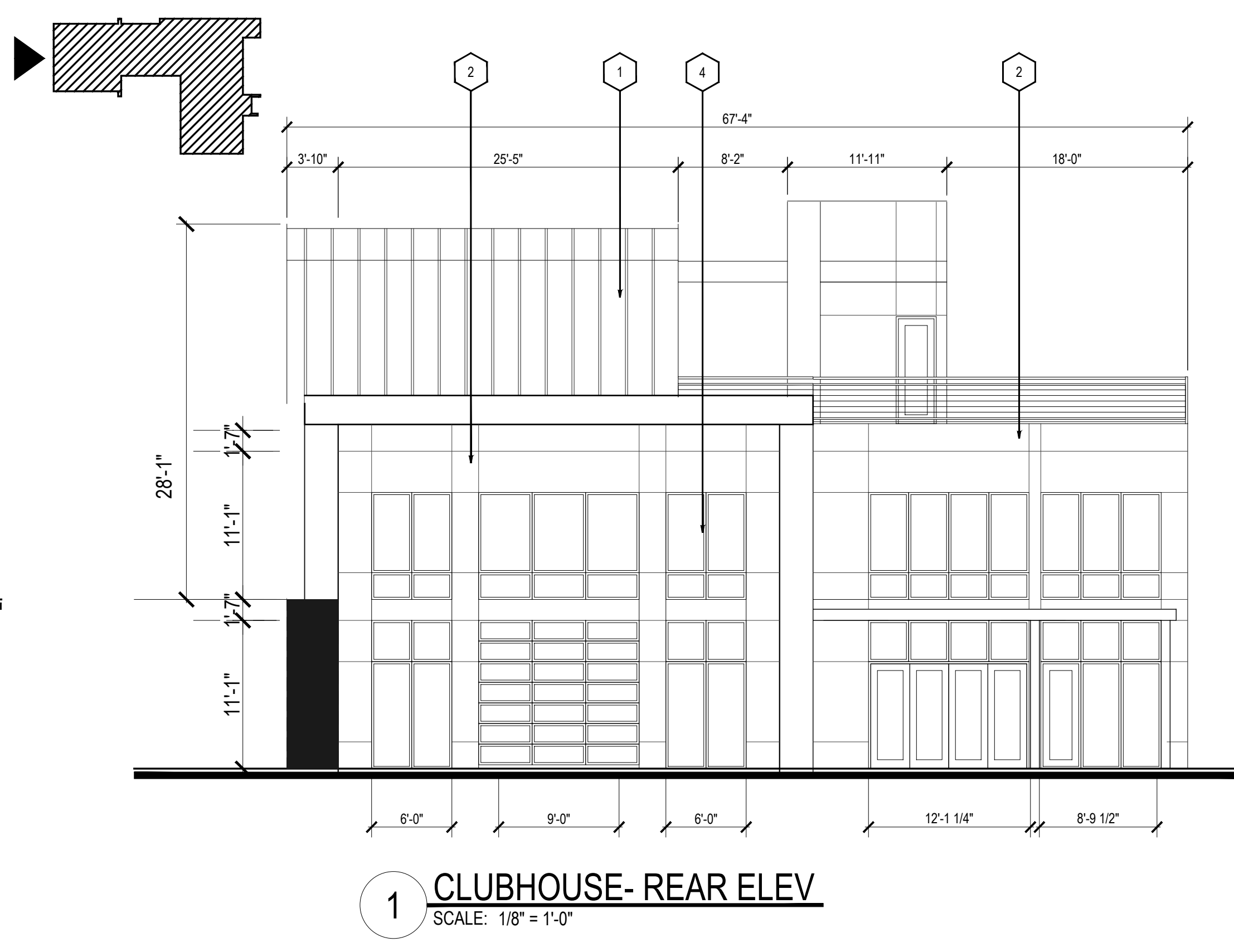
**4 CLUBHOUSE- LEFT ELEV**  
 SCALE: 1/8" = 1'-0"



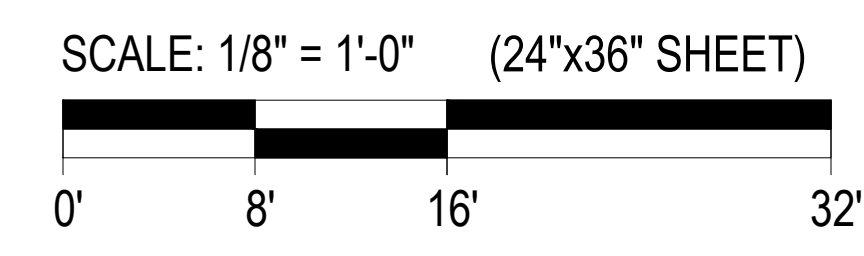
**3 CLUBHOUSE- FRONT ELEV**  
 SCALE: 1/8" = 1'-0"



**2 CLUBHOUSE- RIGHT ELEV**  
 SCALE: 1/8" = 1'-0"



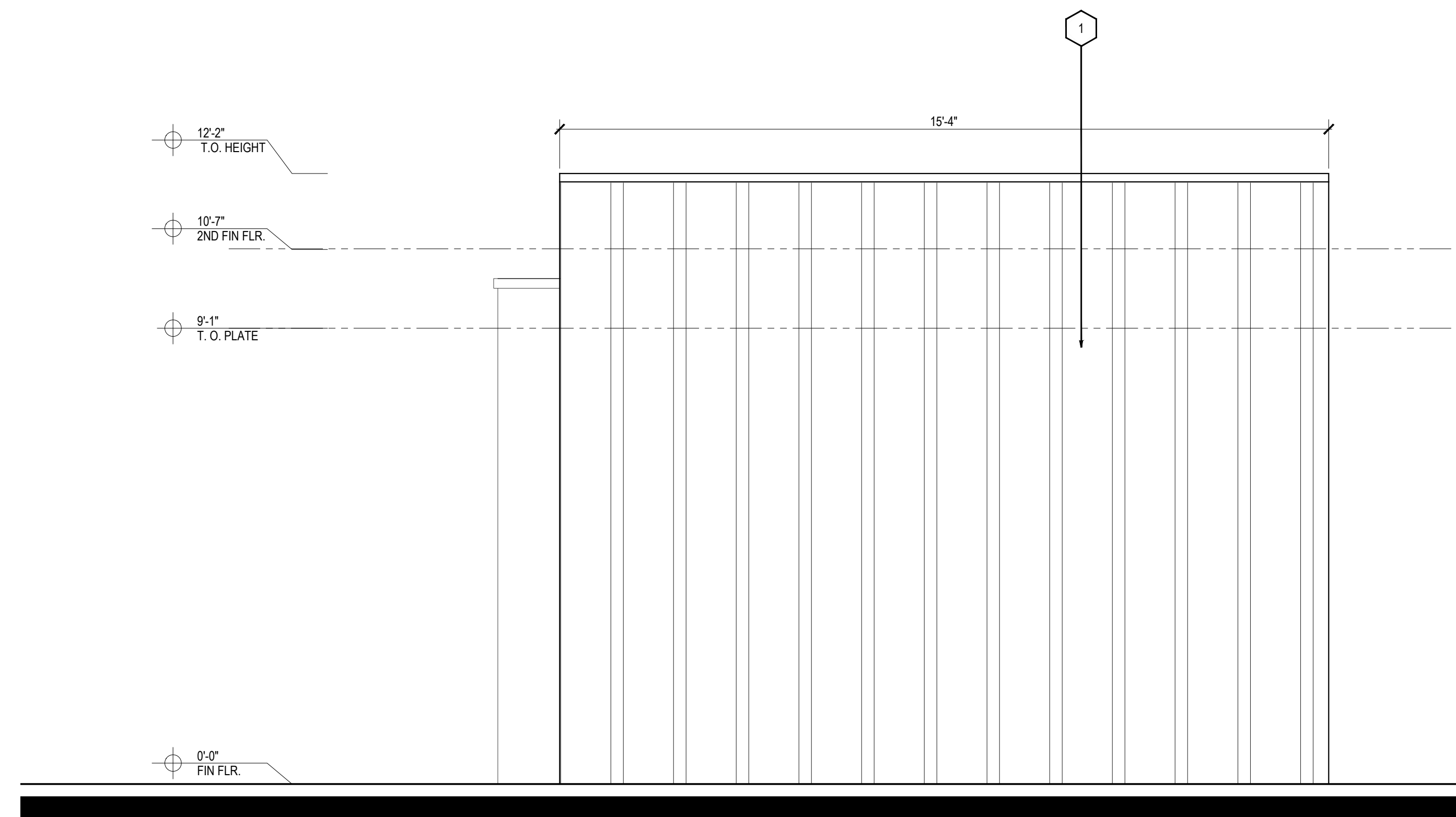
**1 CLUBHOUSE- REAR ELEV**  
 SCALE: 1/8" = 1'-0"



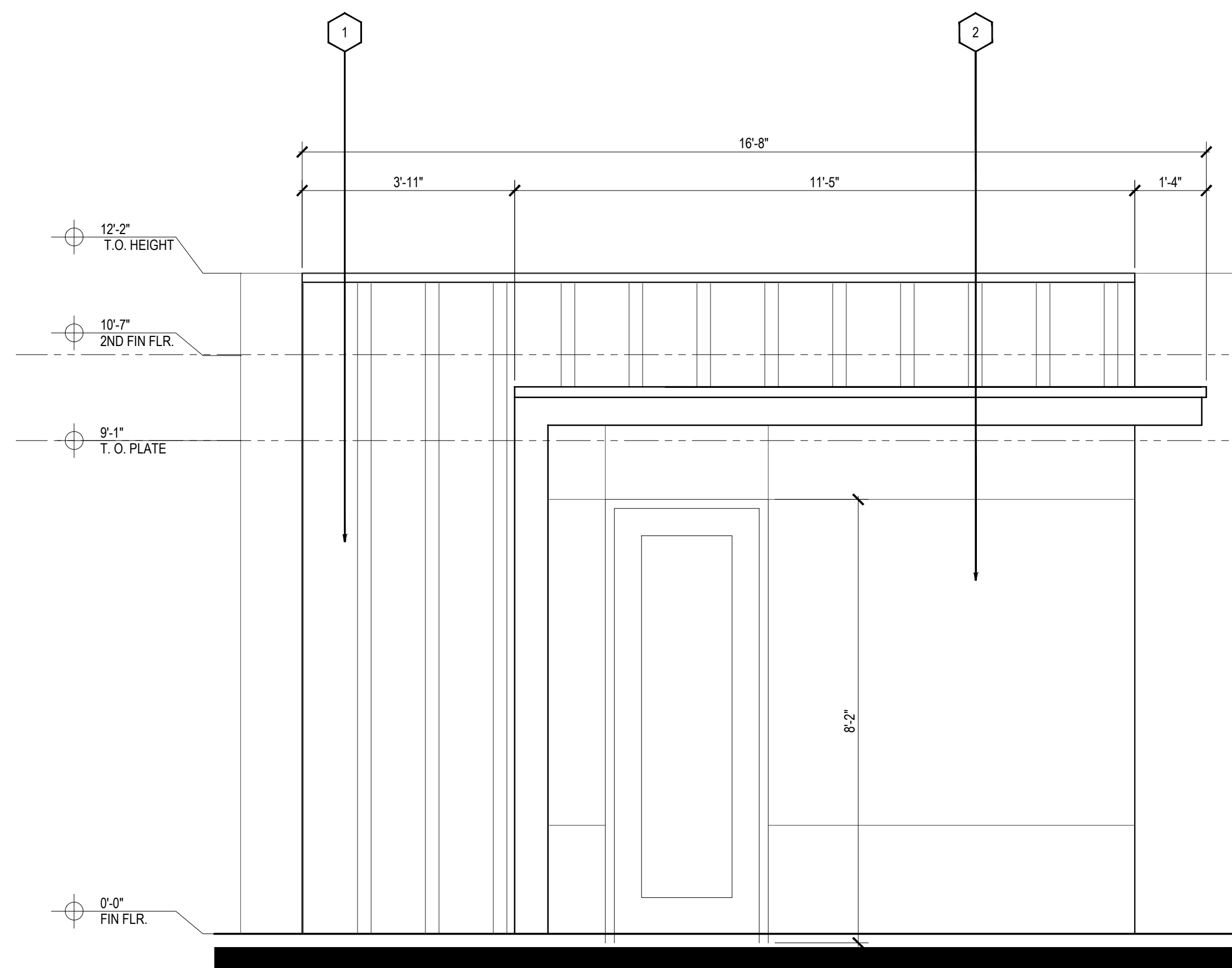
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MATERIAL KEY NOTE

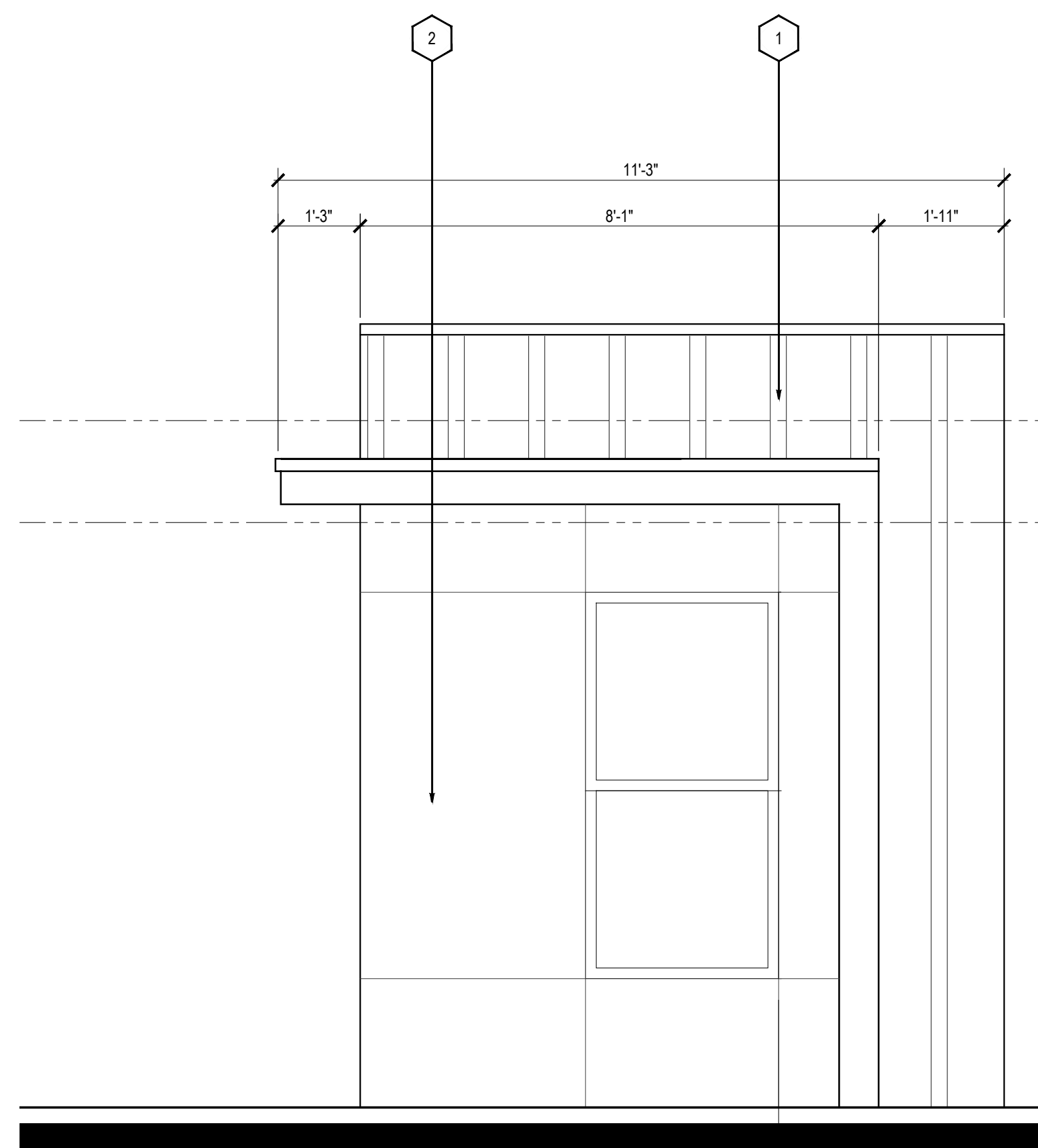
- 1 BOARD & BATTEN - LIGHT BROWN
- 2 STUCCO - LIGHT BROWN
- 3 WOOD-LOOK FIBER CEMENT SIDING - BROWN
- 4 VINYL WINDOW - BRONZE
- 5 METAL RAILING - BRONZE
- 6 ALUMINUM AWNING - BRONZE
- 7 TUBE GATE FRAME - BRONZE



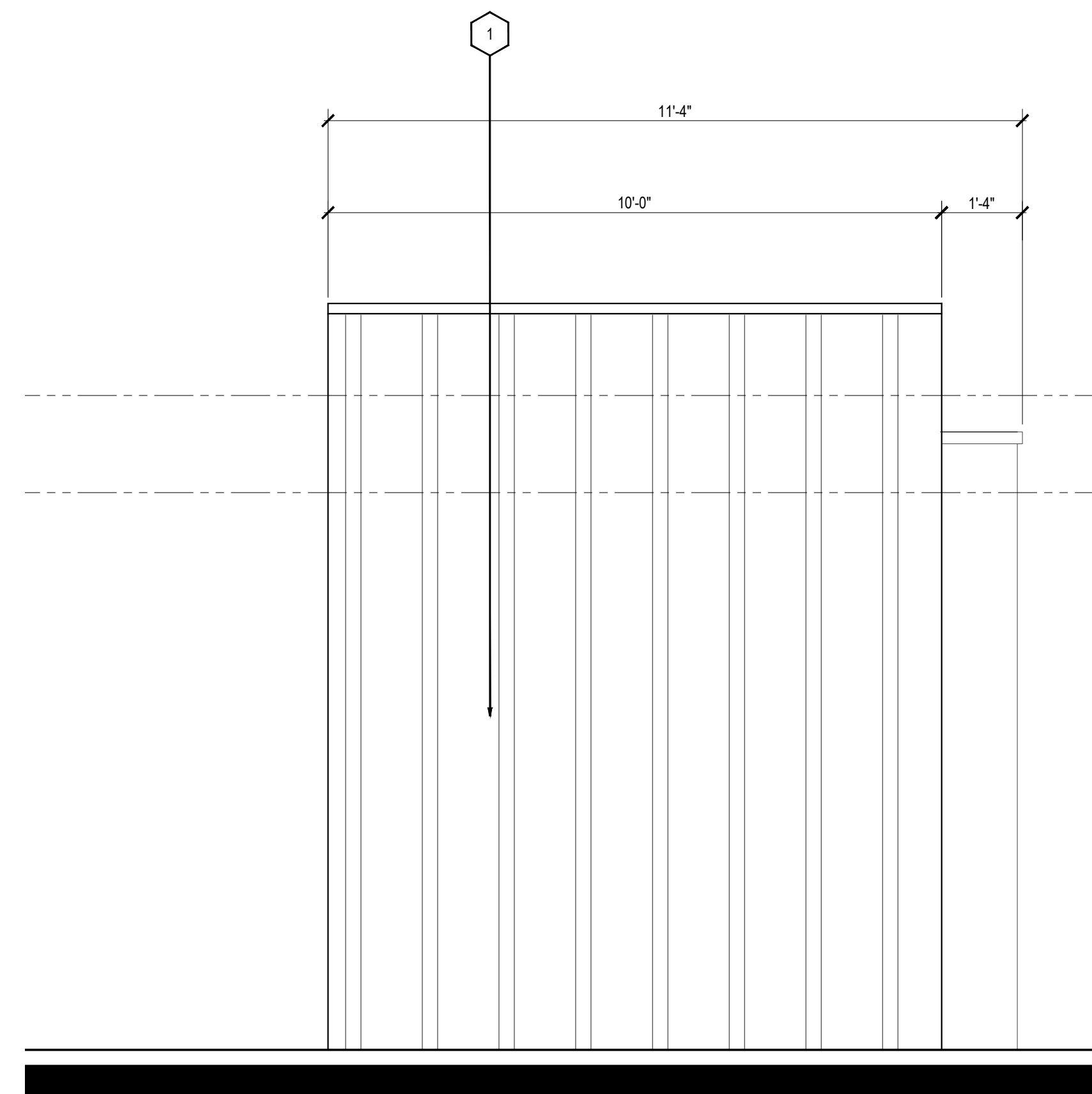
4 PET ROOM - LEFT ELEVATION  
SCALE: 1/2" = 1'-0"



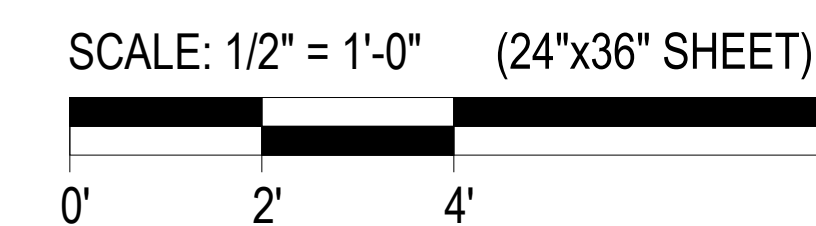
3 PET ROOM - REAR ELEVATION  
SCALE: 1/2" = 1'-0"



2 PET ROOM - FRONT ELEVATION  
SCALE: 1/2" = 1'-0"



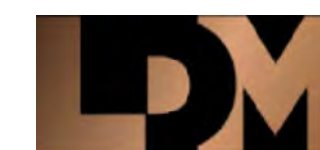
1 PET ROOM - RIGHT ELEVATION  
SCALE: 1/2" = 1'-0"



Designed by: MS  
 Drawn by: RM  
 Architect of Record: RM  
 Date Plotted: XXXX/XX/XX  
 Issue for Pricing / Bidding: XXXX/XX/XX  
 Issue for Permit Application: XXXX/XX/XX  
 Issue for Construction: XXXX/XX/XX

Revisions:		
#	DATE	COMMENTS

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SHEET CONTENTS:  
 PET GROOMING

SHEET NO.  
**A8.03**

20213





Designed by:	MS	
Drawn by:	VS	
Architect of Record:	RM	
Date Plotted:		
Issue for Pricing / Bidding:	XX/XX/XX	
Issue for Permit Application:	XX/XX/XX	
Issue for Construction:	XX/XX/XX	
Revisions:		
#	DATE	COMMENTS

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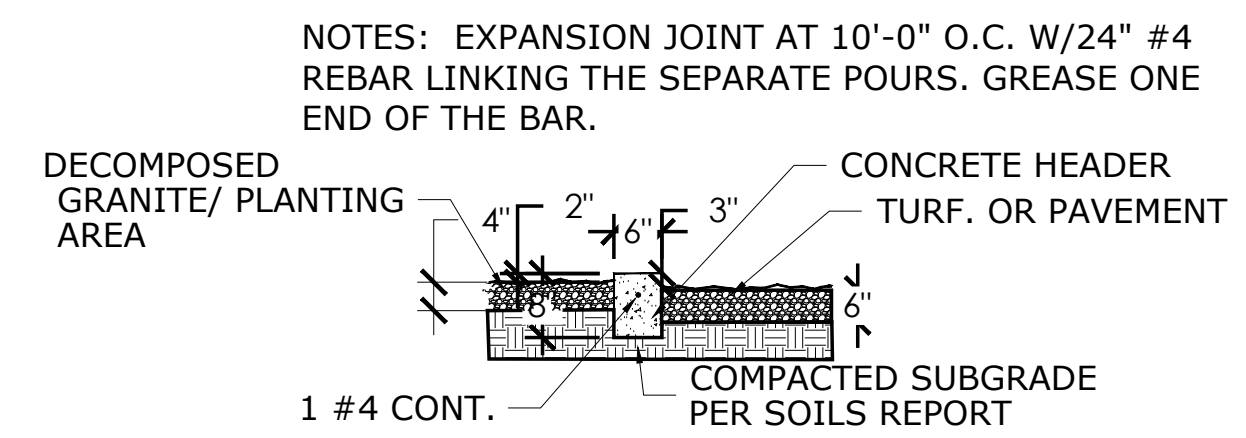
**THE PEAKS BY MARKANA**  
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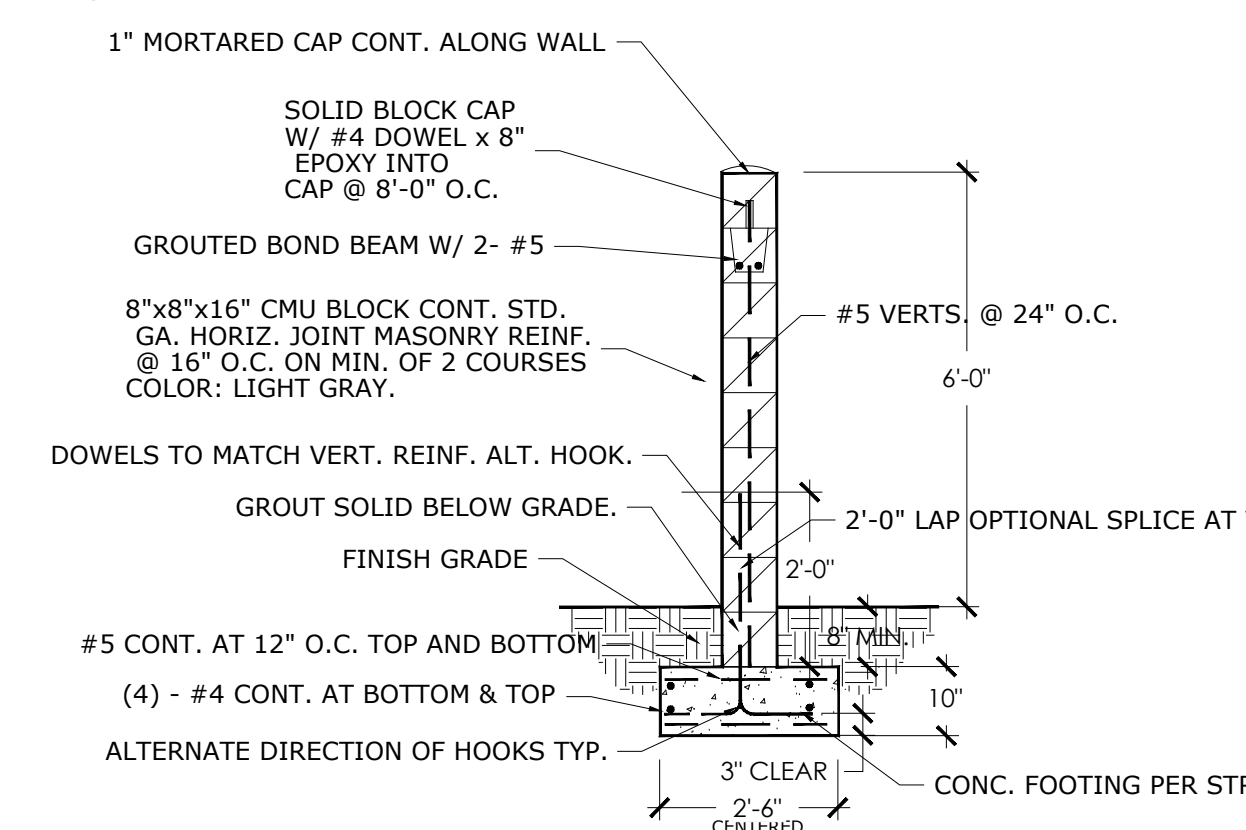
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**SHEET CONTENTS:**  
 SITE DETAILS  
 SHEET NO. **A9.08**  
 20213

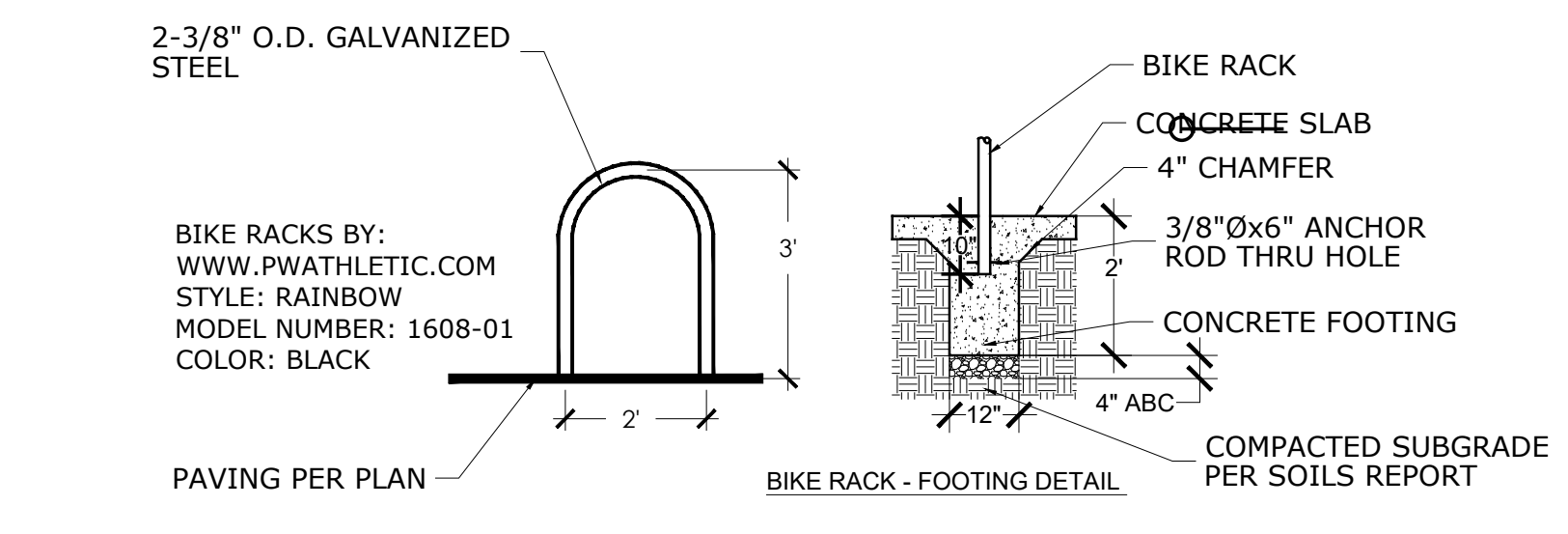
DRB SET: 10-05-2021



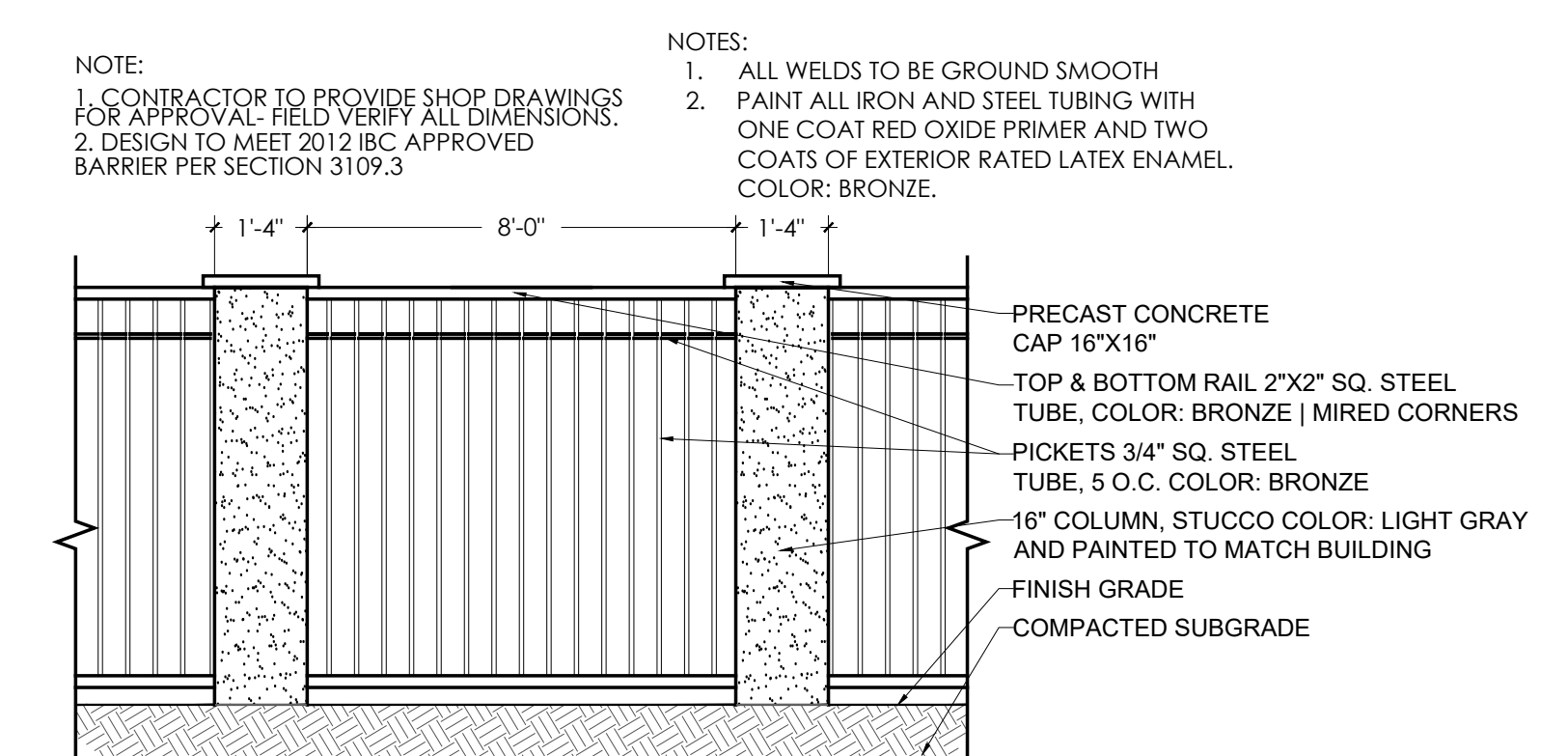
**01 CONCRETE HEADER**  
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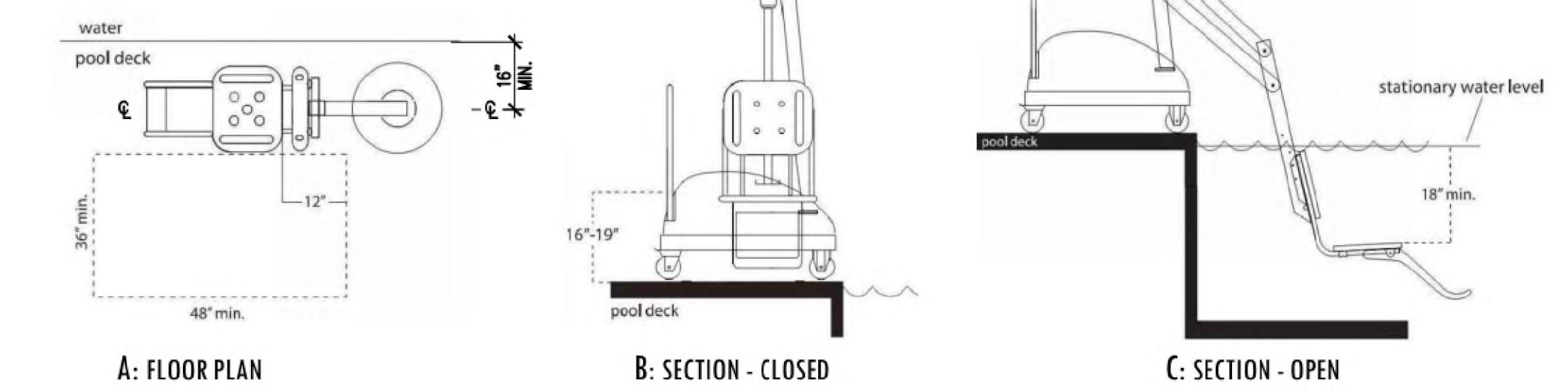
**03 CMU SITE PERIMETER WALL**  
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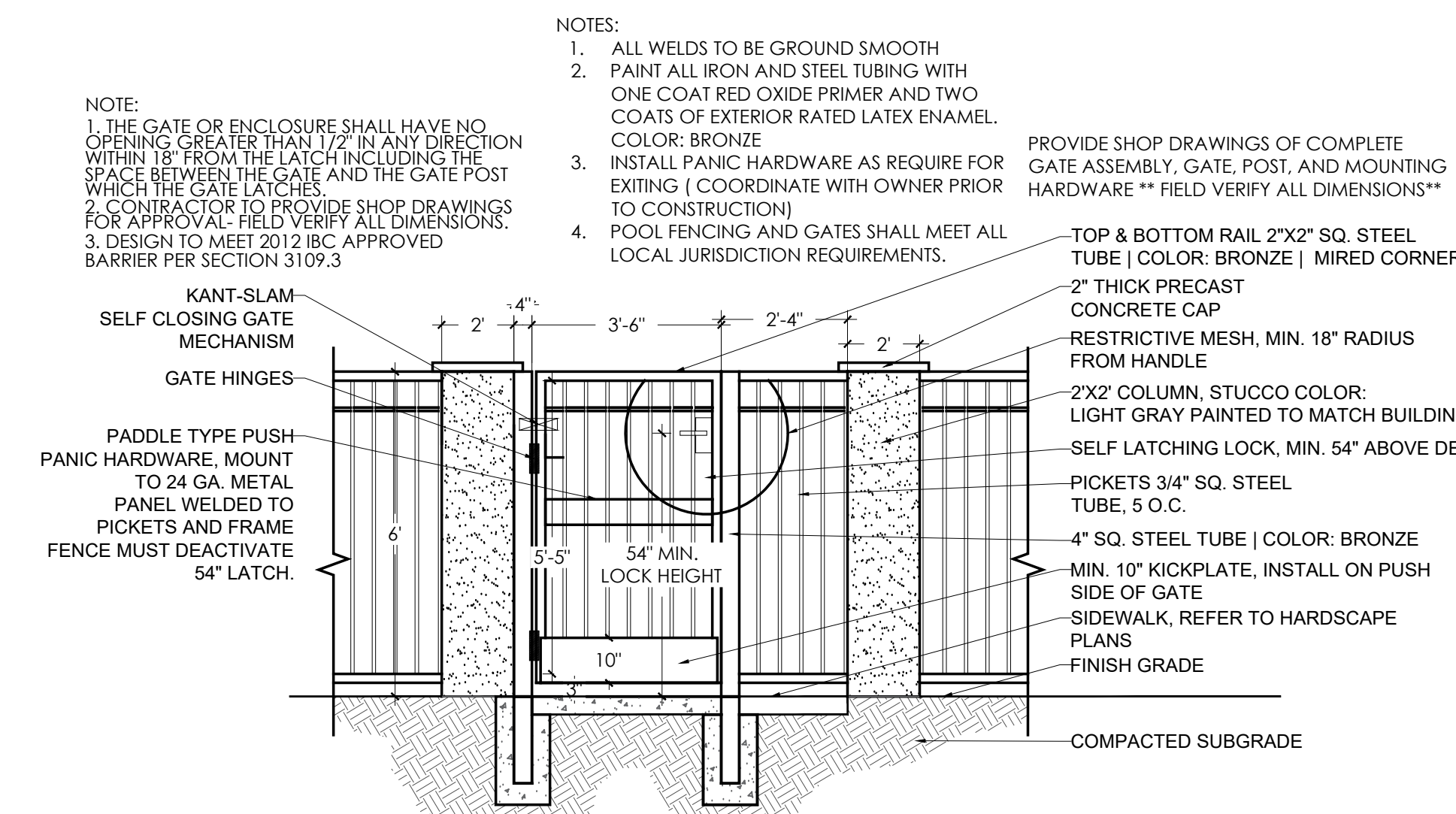
**02 BICYCLE RACK**  
 SCALE: 1/2" = 1'-0"



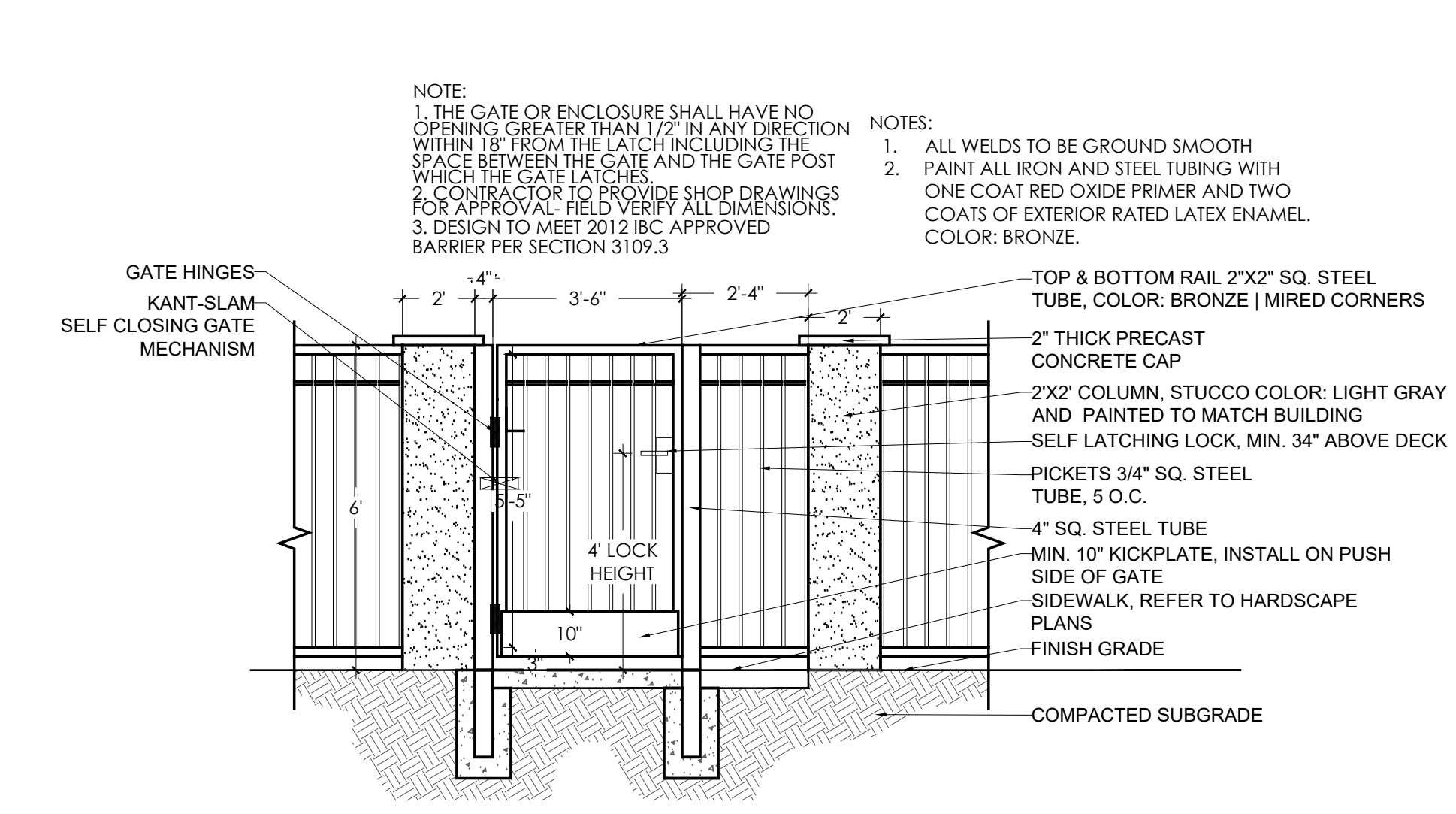
**04 TUBE STEEL PERIMETER FENCE W/ PILASTERS**  
 SCALE: 1/2" = 1'-0"



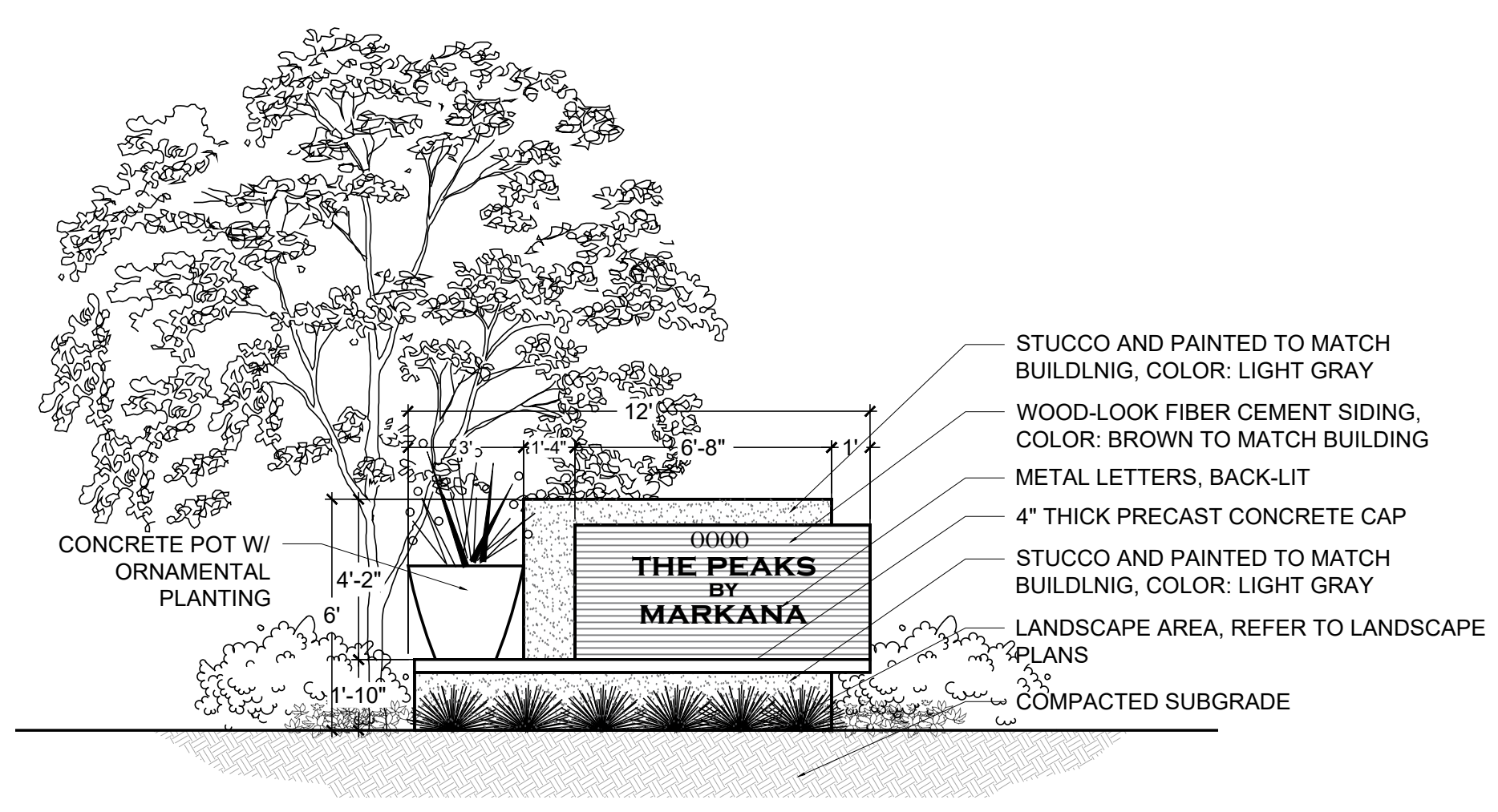
**05 POOL ADA LIFT**  
 SCALE: 3/8" = 1'-0"



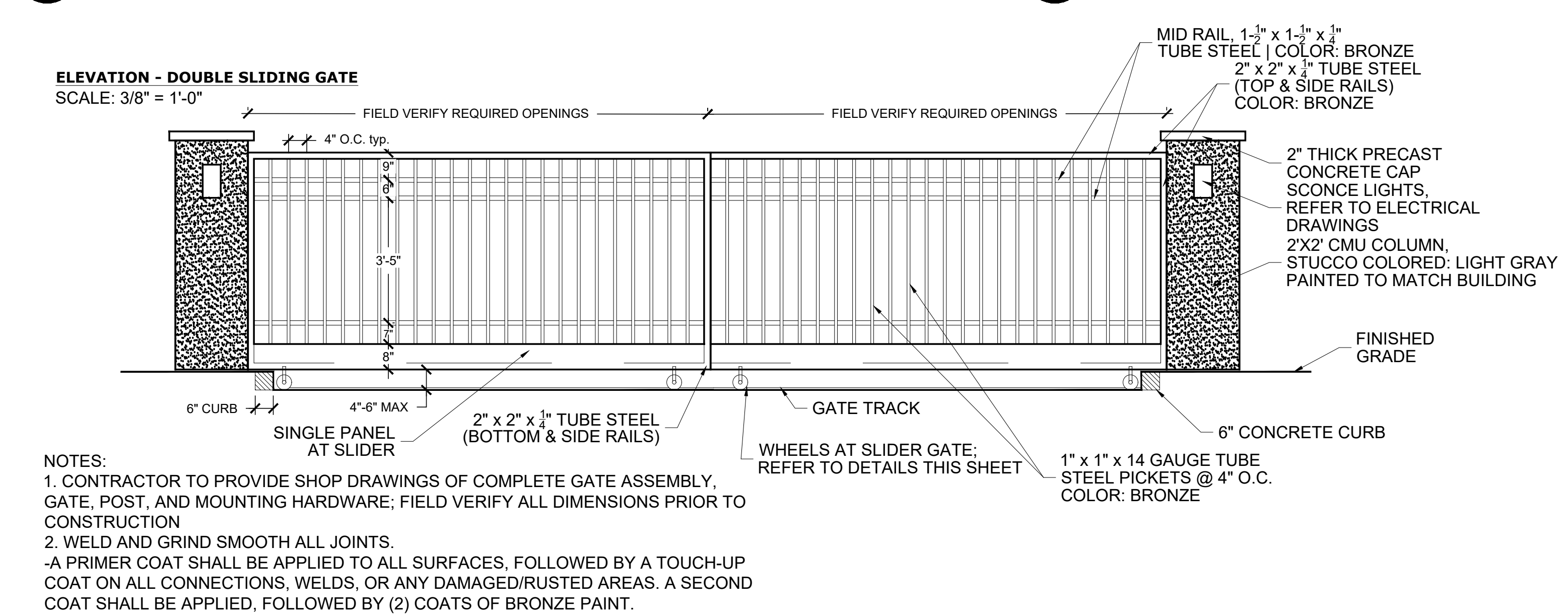
**06 TUBE STEEL POOL FENCE**  
 SCALE: 3/8" = 1'-0"



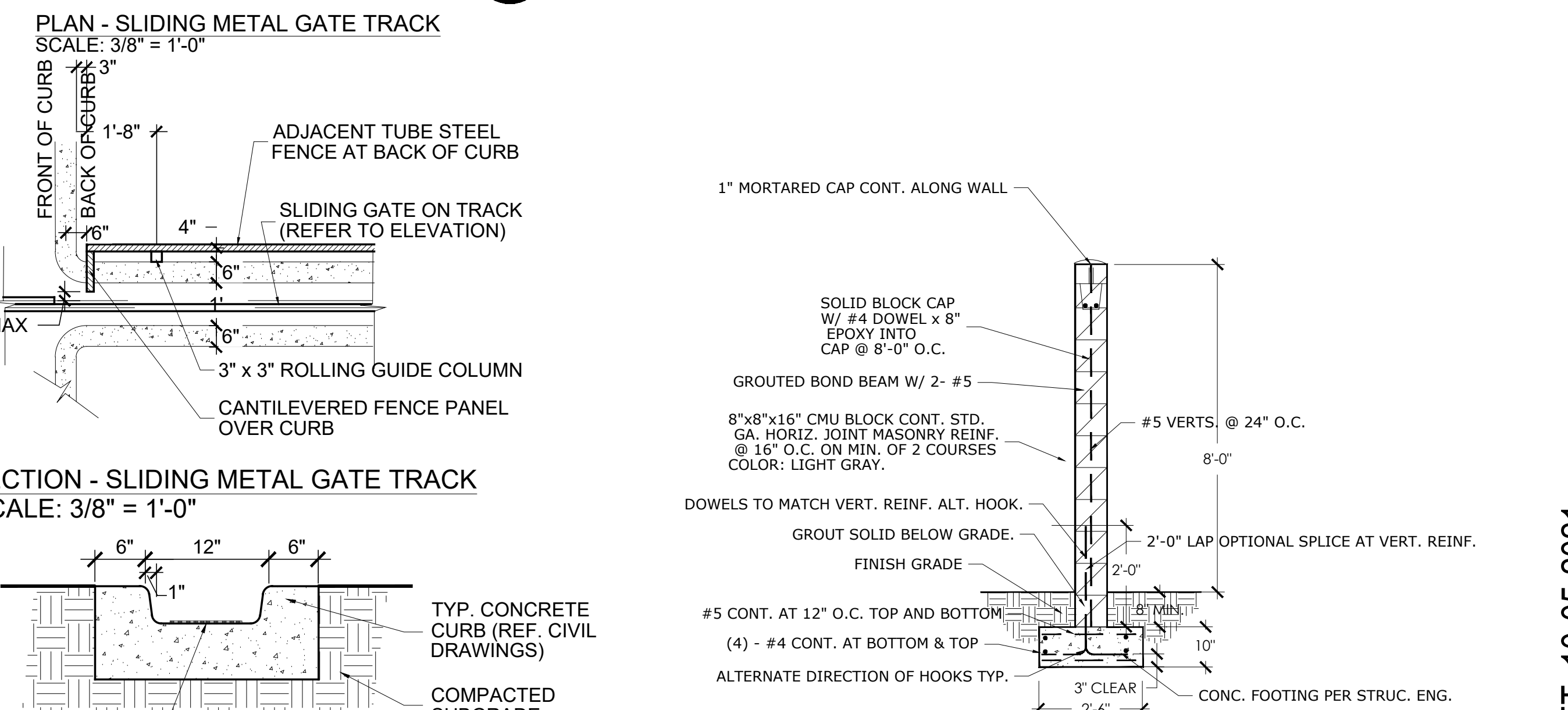
**07 PEDESTRIAN GATE**  
 SCALE: 3/8" = 1'-0"



**08 MONUMENT SIGN**  
 SCALE: 1/4" = 1'-0"



**09 VEHICULAR GATE**  
 SCALE: 3/8" = 1'-0"



**10 CMU SITE PERIMETER WALL**  
 SCALE: 3/8" = 1'-0"

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# PR-2019-002761\_SI-2021-00256\_Site\_Plan\_Aproved\_5-5-21

Final Audit Report


2021-10-28


Created:	2021-10-27
By:	Jay Rodenbeck (jrodenbeck@cabq.gov)
Status:	Signed
Transaction ID:	CBJCHBCAABAAAYnoTVnfmUP6D2HAvC_LWJknOldIOFz0K


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-  Document created by Jay Rodenbeck (jrodenbeck@cabq.gov)  
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2021-10-27 - 10:26:07 PM GMT
-  Document emailed to Jeanne Wolfenbarger (jwolfenbarger@cabq.gov) for signature  
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-  Document emailed to Ernest Armijo (earmijo@cabq.gov) for signature  
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-  Document emailed to Robert Webb (rwebb@cabq.gov) for signature  
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2021-10-28 - 5:10:23 PM GMT